



**ZONING BOARD OF APPEALS**  
**Regular Meeting Agenda**  
**Wednesday April 2, 2025**  
**6:30 P.M.**

If you need any assistance due to a disability, please contact the Planning Department at least 48 hours in advance of the meeting at [planning@ypsitownship.org](mailto:planning@ypsitownship.org) or 734-544-4000 ext. 1.

1. Call Meeting to Order
2. Roll Call – Determination of a quorum
3. Approval of Agenda
4. Approval of February 5, 2025, Regular Meeting Minutes, and March 5, 2025, Regular Meeting Minutes

5. Public Hearing

Applicant: A1 Signs and Graphics  
Location: 1900 Packard Road, Ypsilanti, MI 48197  
Parcel ID: K-11-06-479-007  
Request: Article 15 – Sec. 1509.6: Permitted Signs in Form-Based Districts:  
Request for variance to the height and area of ground sign requirements in form-based districts.

Applicant: Charles Paisley of UPH Ypsilanti Property LLC  
Location: 1410 S. Huron Street, Ypsilanti, MI 48197  
Parcel ID: K-11-38-280-018  
Request: Article 5 – Form-Based Districts of the Township Zoning Ordinance to allow the construction of a drive-thru restaurant that exceeds the minimum setback (Sec. 503 – Standards) and minimum window transparency limits (Sec. 507 – Design Standards).

6. Open discussion for issues not on the agenda
  - a. Planning Department report
  - b. Correspondence received.
  - c. Zoning Board of Appeals members
  - d. Members of the audience and public
7. Any other business that may come before the Zoning Board of Appeals
8. Adjournment

**(THERE IS NO WORK SESSION)**

**CHARTER TOWNSHIP OF YPSILANTI**  
**ZONING BOARD OF APPEALS**  
**Wednesday, February 5, 2025**  
**6:30 PM**

**COMMISSIONERS PRESENT**

Edward Burnett  
Elizabeth El-Assadi  
Stan Eldridge  
David Marshall  
Ericka Vonyea

**STAFF AND CONSULTANTS**

Fletcher Reyher, Planning and Development Coordinator  
Sally Elmiger, Carlisle Wortman Associates

- **CALL TO ORDER/ESTABLISH QUORUM**

**MOTION:** Ms. El-Assadi called the meeting to order at 6:30 pm. Ms. El-Assadi completed the roll call and confirmed a quorum was established.

- **APPROVAL OF AGENDA**

**MOTION:** Mr. Eldridge **MOVED** to approve the agenda as presented. The **MOTION** was **SECONDED** by Mr. Burnett and **PASSED** by unanimous consent.

- **APPROVAL OF DECEMBER 4, 2024, REGULAR MEETING MINUTES**

**MOTION:** Mr. Eldridge **MOVED** to approve the December 4, 2024; Regular Meeting Minutes as presented. The **MOTION** was **SECONDED** by Mr. Marshall and **PASSED** by unanimous consent.

- **PUBLIC HEARING**



**Applicant:** Bank of America

**Location:** 2250 W. Michigan Avenue, Ypsilanti, MI 48197

**Parcel ID:** K-11-18-100-024

**Request: Article 13 – Section 1303.3 (A & B) Lighting Requirements** – Request to permit lighting levels along the western property line to exceed the maximum allowable illumination of 0.5 footcandles and allow light levels to exceed the maximum of 20 footcandles measured at ground level.

Mr. Reyher, Planning and Development Coordinator, presented a variance request from Bank of America to exceed the ordinance lighting requirements at their West Michigan Avenue location. The subject site is a 5.217-acre parcel located at the intersection of S. Hewitt Road and W. Michigan Avenue.

The applicant, Bank of America, is seeking a variance from Article 13, Sec. 1303.3 (A & B) of the Township Zoning Ordinance. The request is to exceed the maximum allowable illumination of 0.5 footcandles at the property boundary and the maximum light level of 20 footcandles measured at ground level. The proposed project includes replacing 31 existing light fixtures, adding 4 new fixtures, and installing 2 additional light poles with fixtures. In total, 38 light fixtures will be replaced, and 7 new fixtures will be added to improve the property's lighting.

Mr. Reyher presented an aerial view of the parcel; the property is adjacent to the Speedway gas station and across the street from Wendy's restaurant.

According to the Township Zoning Ordinance, Article 13, Sec. 1303.3 states that the maximum illumination levels at ground level along property lines adjacent to residential properties are limited to 0.5 footcandles. The submitted plans by Bank of America show a range of lighting footcandles from 0.0 to 13.5 footcandles, the variance would be up to 13 footcandles above the permitted level, if granted. The maximum illumination at ground level in any given area is 20.0 footcandles. The submitted plans show a maximum illumination range from 0.0 to 27.4 if a variance was granted, it would be up to 7.4 footcandles above the permitted level.

Mr. Reyher informed the ZBA that the ground level illumination is specifically underneath the bank awning where a customer can drive their car up to use the ATM.

The Zoning Board of Appeals may grant a dimensional or non-use variance only upon a finding that compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would create a practical difficulty and unreasonably present the use of the property. A finding of practical difficulty shall require a demonstration that all the following conditions are met.

**Criteria:**

- **That there are exceptional or extraordinary circumstances or conditions applying to the property in question that do not apply generally to other properties or classes of uses in the same zoning district:** The subject property, located at 2250 W. Michigan Avenue, is adjacent to a residential property to the west, making compliance with the ordinance's illumination standards critical to minimizing potential impacts on nearby residences. The applicant has not demonstrated any exceptional or extraordinary circumstances specific to this property that would prevent adherence to the lighting requirements.
- **That a variance is necessary for the preservation and enjoyment of a substantial property right possessed by other properties in the same zoning district and in the vicinity:** The lighting regulations outlined in the Township Zoning Ordinance are intended to balance functional site lighting with the protection of neighboring properties, particularly residential uses. The applicant has not provided evidence that exceeding the allowable lighting levels along the western property line or ground-level illumination is necessary to preserve a substantial property right.
- **That the authorizing of such a variance will not be a substantial detriment to adjacent property, will not be harmful to or alter the essential character of the area, and will not materially impair the purposes of this Ordinance or the public interest:** The proposed lighting levels along the western property line, ranging from 0.0 to 13.5 footcandles, exceed the allowable limit of 0.5 footcandles adjacent to residential property. Additionally, the ground-level illumination of up to 27.4 footcandles exceeds the maximum permitted level of 20.0 footcandles. These increases could create light spillover and glare, potentially impacting the adjacent residential property.
- **The property and resulting need for the variance has not been self-created by any action of the applicant or the applicant's predecessors:** Based on the submitted information, the need for the variance appears to be self-created. In the applicant's

application, they did not provide township staff with a valid explanation or justification as to why compliance with lighting regulations is not feasible.

- **The proposed variance will be the minimum necessary and no variance shall be granted where a different solution not requiring a variance would be possible:** The applicant has not demonstrated that the requested variance represents the minimum necessary or that alternative solutions such as reducing light levels or modifying the lighting plan are unfeasible. Without this information, it is not evident that the variance request is the least intrusive option to achieve the desired functionality.

Mr. Alex (GMR- Lighting Consultant, designer for Bank of America) informed the ZBA that they surveyed all the exteriors of the ATM that Bank of America has for light levels, and the bank has minimum requirements for exterior ATMs in a 50-foot radius around that ATM. When sites do not meet their minimum requirements, they get pulled into a program called the exterior lighting program, where the readings are corrected to meet the minimum requirements. Some states have statutes that require a minimum amount of footcandles around the ATM, and some do not. Michigan does not have a requirement for a minimum amount of light around ATMs, but the lighting consultants are trying to meet the bank's requirements at this point.

Mr. Alex presented the aerial view of the property; the 13.5 footcandles stated in the report are on the property line and 5.2 feet off the property line. The 50-foot compliance area abuts the property line. The reason for the light spill is because of the initiation to light all the way to the property line; the existing 20 footcandles underneath the canopy will be replaced. All the wall lights are 45 degrees, and the new lights will be cut off, all the lights will shine straight down. The main reason for the variance is due to the proximity to the property line of the ATMs; the attempt to light the 50-foot radius, that is close to the property line thus causing a spill into the residential property.

Mr. Alex informed the Board that the adjacent property is set back from the property line with a lot of trees that would reduce the glare as compared to the western portion right by the ATM, which is a challenge.

Mr. Alex stated that the existing 27.5 footcandles underneath the canopy would be replaced with the existing line, and anything less would require the removal of fixtures underneath the canopy that would make it less safe for the customers to use at night.

Ms. El-Assadi inquired if Mr. Alex read the analysis made by the Planning Township; Mr. Alex stated that the planning department had requested different options to reduce the light spillover. Mr. Alex informed the ZBA that he has not created a new set of drawings but there can be changes made to underneath the canopy but over the property line, to meet the bank standard, which would be over 0.5, no matter what changes are made.

Mr. Alex addressed the criteria: **That a variance is necessary for the preservation and enjoyment of a substantial property right possessed by other properties in the same zoning district and in the vicinity:** Mr. Alex informed the ZBA that there will be no negative effect on the property next door due to the setback of the residential area and the landscaping, and there will be no glare or lights that will go into the property windows.

**The property and resulting need for the variance has not been self-created by any action of the applicant or the applicant's predecessors:** Mr. Alex stated that the bank property is old and the ATMs have been there since the establishment of the bank, and at that point, that probably was a self-imposed item by the bank, and the bank would not have a security lighting program for the ATM.

**The proposed variance will be the minimum necessary and no variance shall be granted where a different solution not requiring a variance would be possible:** Mr. Alex stated that it would be difficult to make changes to the footcandle on the property line.

Ms. Vonyea inquired about the lighting; Mr. Alex stated that they are using high metal fluorescent, that would be built into the LED fixtures.

Ms. El-Assadi inquired about the company lighting policies; Mr. Alex stated the requirement for lighting is within the 10-foot radius of the ATM. Bank of America wants 10 footcandles, minimum underneath the ATM. And within 50 feet they need 2 footcandles around the ATM, if there is parking, it is 60 feet. And the 50-foot compliance area is close to the property line that is creating spillage.

Ms. El-Assadi informed the public that Ms. Vonyea is acting as a substitute for Marsha Kraycir; Ms. Vonyea would be part of the discussion but not a voting member.

Mr. Reyher informed the ZBA that the planning department could work with the applicant on some alternatives to shield LED lights or dim them to meet the standards or get closer to what the ordinance permits.

The ZBA inquired how far into that property the light would affect; Mr. Alex stated that the tall trees would create a buffer, and it would not create a glare.

Ms. Elmiger (Planning Consultant - Carlisle Wortman) inquired about the possibility of reducing the lighting under the canopy to 20 footcandles and if it would affect the lighting along the west boundary; Mr. Alex stated that there would be of no effect because the 27.4 is underneath the canopy and they would shine straight down. The wall fixtures on the drive-through canopy are causing the light to spill over the property line.

The ZBA suggestion to the Planning Department and the applicant is for them to work together and find a solution that would meet the township's requirements.

#### **PUBLIC HEARING OPENED AT 7:03 PM**

- A resident (West Michigan Avenue) shared her concern that she is uncomfortable using the Bank of America ATM because of the darkness; on the west side there is foliage, and there must be some meeting of the minds to come up with some compromise, whether the lighting is going to be shielded or not. The township is in need of a bank.

**(Hearing no comments)**

#### **PUBLIC HEARING CLOSED AT 7:05 PM**

**MOTION:** Mr. Elridge **MOVED** to postpone the variance requests at 2250 W. Michigan Avenue, Ypsilanti, MI 48197, Parcel K-11-18-100-024 to the lighting requirements of Article 13, Section 1303.3 (A & B) of the Township Zoning Ordinance, as shown on the plans submitted with the Zoning Board of Appeals Packet dated February 05, 2025. This postponement is to provide the applicant with an opportunity to address the comments made at this evening's meeting and return with a revised proposal that reflects those comments after meeting with the Planning Staff.

The **MOTION** was **SECONDED** by Mr. Burnett and **PASSED** by unanimous consent.

Roll Call Vote: Ms. Elizabeth El-Assadi (Yes); Mr. Stan Eldridge (Yes); Mr. David Marshall (Yes); Mr. Edward Burnett (Yes); Ericka Vonyea (Yes).

- **OPEN DISCUSSION FOR ISSUES NOT ON AGENDA**

- **PLANNING DEPARTMENT REPORT**

No Report

- **CORRESPONDENCE RECEIVED**

No Report

- **ZONING BOARD OF APPEALS MEMBERS**

The ZBA welcomed the new Board members.

- **MEMBERS OF THE AUDIENCE/PUBLIC**

No Report

- **OTHER BUSINESS THAT MAY COME BEFORE THE ZONING BOARD**

Mr. Reyher informed the ZBA that Dr. Siddiqui at 1900 Packard Road was present before the ZBA regarding a sign variance; the latest package from Dr. Siddiqui's office shows a significant change in the sign size; expected to see them at the March 5, 2025, meeting.

Culver's drive-through restaurant (1900 Packard Road) will be going to the planning commission in February to discuss the two variances to push the project forward.

- **ADJOURNMENT**

**MOTION:** Mr. Eldridge **MOVED** to adjourn at 7:10 pm. The **MOTION** was **SECONDED** by Mr. Marshall and **PASSED** by unanimous consent.

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Respectfully submitted by Minutes Services, LLC

**CHARTER TOWNSHIP OF YPSILANTI**  
**ZONING BOARD OF APPEALS**  
**Wednesday, March 5, 2025**  
**6:30 PM**

**COMMISSIONERS PRESENT**

Edward Burnett  
Elizabeth El-Assadi  
David Marshall  
Ericka Vonyea

**STAFF AND CONSULTANTS**

Fletcher Reyher, Planning and Development Coordinator

- **CALL TO ORDER/ESTABLISH QUORUM**

**MOTION:** Ms. El-Assadi called the meeting to order at 6:30 pm. Ms. El-Assadi completed the roll call and confirmed a quorum was established.

- **APPROVAL OF AGENDA**

**MOTION:** Mr. Marshall **MOVED** to amend the agenda to remove the public hearing for A1 Sign and Graphics and add the election of officers for 2025 Zoning Board of Appeals. The **MOTION** was **SECONDED** by Mr. Burnett and **PASSED** by unanimous consent.

- a. **ELECTION OF OFFICERS FOR 2025 CALENDER YEAR – AT THE FIRST REGULAR MEETING EACH YEAR, THE ZONING BOARD OF APPEALS SHALL SELECT FROM ITS MEMBERSHIP A CHAIRPERSON AND VICE CHAIRPERSON.**

Ms. El-Assadi nominated Ms. Vonyea as Vice Chair; Ms. Vonyea accepted the nomination.

**MOTION:** Ms. El-Assadi **MOVED** to nominate; Ms. Ericka Vonyea as Vice Chair for the year of 2025 Zoning Board of Appeals. The **MOTION** was **SECONDED** by Mr. Marshall and **PASSED** with unanimous consent.



Mr. Burnett nominated Ms. Elizabeth El-Assadi as Chair; Ms. Elizabeth El-Assadi accepted the nomination.

**MOTION:** Mr. Burnett **MOVED** to nominate Ms. Elizabeth El-Assadi as Chair for the year of 2025 Zoning Board of Appeals. The **MOTION** was **SECONDED** by Ms. Vonyea and **PASSED** with unanimous consent.

- **OPEN DISCUSSION FOR ISSUES NOT ON AGENDA**

Mr. Fletcher Reyher informed the previous meeting minutes from February 5<sup>th</sup>, 2025 were received late, and there will be two sets of meeting minutes to approve at the next Zoning Board of Appeals meeting.

Mr. Reyher also informed the Zoning Board of Appeals that this was his last Zoning Board of Appeals meeting with Ypsilanti Township since he has accepted a new role with Dexter Township.

- **PLANNING DEPARTMENT REPORT**

No Report

- **CORRESPONDENCE RECEIVED**

No Report

- **ZONING BOARD OF APPEALS MEMBERS**

No Report

- **MEMBERS OF THE AUDIENCE/PUBLIC**

No Report

- **OTHER BUSINESS THAT MAY COME BEFORE THE ZONING BOARD**

- **ADJOURNMENT**

**MOTION:** Mr. Burnett **MOVED** to adjourn at 6:39 pm. The **MOTION** was **SECONDED** by Mr. Marshall and **PASSED** by unanimous consent.

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Meeting Minutes Prepared by Lauren Doppke, Staff Planner



## Zoning Board of Appeals Staff Report

**Rev. April 2, 2024**

**Applicant:** A7 Signs & Graphics

**Location:** 1900 Packard Road, Ypsilanti, MI 48197, Parcel K-11-06-479-007

**Zoning:** NC, Neighborhood Corridor, with a Site Type A Designation

**Action Requested:** Request for variance to the sign requirements of Article 15 – Sec. 1509.6

### **Variance Request:**

Request for variance to the ground sign requirements of Article 15 – Sec. 1509.6 – Permitted signs in form-based districts of the Township Zoning Ordinance to construct a ground sign that exceeds the height and size requirements allowed.

### **Location and Summary of Request:**

The subject site is a 0.395-acre parcel, located at the Packard Road and Kewanee Street intersection. The property is zoned NC, Neighborhood Corridor, with a Site Type A Designation. This property is owned by Siddiqui Properties, LLC and is used as a multi-tenant space with medical and dental services.

The applicant is seeking relief from Article 15 – Sec. 1509.6 – Permitted signs in form-based districts. A7 Signs & Graphics originally requested that the Zoning Board of Appeals consider granting them a 52 sq. ft. variance, and a 7-foot height variance to the required 20 sq. ft. sign area and 4-foot height requirement.

Staff visited the site on October 14, 2024, and determined that the existing sign is approximately 9-foot tall and 4-feet wide for an area of 36 sq. ft.

The applicant attended a Zoning Board of Appeals Meeting on **November 06, 2024**, and proposed at 72 sq. ft. and 11-foot-tall sign. The Zoning Board of Appeals made the following motion:

**MOTION:** Mr. Elridge **MOVED** to postpone the variance requests at 1900 Packard Road, Ypsilanti, MI 48197, Parcel K-11-06-479-007 to the sign requirements of Section 1506.6 of the Township Zoning Ordinance for the construction of an 11-foot tall, 72 sq. ft. ground sign within the building envelope as shown on the plot plan included in the Zoning Board



of Appeals Application dated August 8, 2024, to give the applicant an opportunity to address the comments made at this evening's meeting.

The **MOTION** was **SECONDED** by Mr. Marshall.

Roll Call Vote: Ms. Marsha Kraycir (Yes); Mr. Stan Eldridge (Yes); Mr. David Marshall (Yes); Mr. Burnett (Yes).

### **MOTION PASSED.**

The applicant has returned with a revised proposal, addressing the Zoning Board of Appeals comments made at the November 6, 2024, meeting. The revised proposal is described further in this review.

### **Cross References:**

Article 15 – Sign Requirements

Article 17 – Zoning Board of Appeals

### **Aerial View – 1900 Packard Road (2023)**



Source: MapWashtenaw



## Per Sec. 1509.6

On parcels less than one (1) acre, the maximum size of a ground sign shall not exceed twenty (20) square feet in area. Additionally, on parcels less than one (1) acre, the maximum height of a ground sign shall not exceed four (4) feet in height.

Neighborhood Corridor Sign Requirements	Required	Proposed on 11-06-2024	Required Variances	Revised Proposal on 02-05-2025	Required Variances
Max. Sign Square Footage	20 sq. ft.	72 sq. ft.	52 sq. ft.	37.5 sq. ft.	17.5 sq. ft.
Max. Sign Height	4-foot	11-foot tall	7 feet	6-foot tall	2 feet

### Street View of Existing Sign – 1900 Packard Road (Photo taken on 10-14-24)



### Analysis:

The Zoning Board of Appeals may grant a dimensional or non-use variance only upon a finding that compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would create a practical difficulty and unreasonably prevent the use of the property. A finding of practical difficulty shall require demonstration that all the following conditions are met:



- 1. That there are exceptional or extraordinary circumstances or conditions applying to the property in question that do not apply generally to other properties or classes of uses in the same zoning district.**

The existing building at 1900 Packard Road accommodates seven individual medical/dental businesses. Packard Road in this location is a 35mph roadway. In our opinion, these factors create challenging conditions to advertise the individual medical/dental businesses on one ground sign so that drivers can locate a particular business.

Additionally, the existing signage requirements of 20 sq. ft. and 4 feet in height do not accommodate the listing of multiple tenants, making it difficult for the businesses on the property to adequately promote themselves to passing traffic. These circumstances create an exceptional condition that justifies the request for a larger sign to meet the needs of both the businesses and the community. Note our comments under the criteria for the minimum variance necessary for reasonable use of the property below.

- 2. That a variance is necessary for the preservation and enjoyment of a substantial property right possessed by other properties in the same zoning district and in the vicinity.**

The current signage limitations do not provide adequate space to list the multiple tenants on one ground sign, which could hinder the visibility and success of these businesses. The inability to install a sign large enough to accommodate multiple tenants could place the applicant at a disadvantage compared to other properties in the vicinity where the current ordinance limitations allow for adequate visibility.

- 3. That the authorizing of such a variance will not be a substantial detriment to adjacent property, will not be harmful to or alter the essential character of the area, and will not materially impair the purposes of this Ordinance or the public interest.**

Granting the variances as previously proposed could have negatively impacted the overall character of the area. However, the current proposal substantially diminishes the sign area and height to be more compliant with the other commercial signs within the neighborhood. As mentioned above, some additional area/height may be needed to adequately advertise seven businesses at this site. See our comments under criteria 5.





**4. The property and resulting need for the variance has not been self-created by any action of the applicant or the applicant's predecessors.**

The need for the variances is not self-created. The challenges stem from the number of individual businesses that occupy the building and the property's location on a 35mph roadway. The applicant did not build the building or create the road conditions.

**5. The proposed variance will be the minimum necessary and no variance shall be granted where a different solution not requiring a variance would be possible.**

The revised sign design reduces the square footage from 72 sq. ft. to 37.5 sq. ft. (or 34.5 sq. ft. smaller) and the height of the sign from 11-feet tall to 6-feet tall (or 5 ft. shorter). The applicant has made a reasonable effort to shrink the size of the sign based on comments made during the November 06, 2024, Zoning Board of Appeals Meeting. Overall, the height variance has been reduced to 2 feet and the sign square footage variance has been reduced to 17.5 sq. ft. In our opinion, the applicant has made sufficient modifications to be more compliant with the ordinance while providing adequate advertising for all the businesses in this building.

**Suggested motions:** The following suggested motions and conditions are provided to assist the Zoning Board of Appeals in making a complete and appropriate motion for this application. The ZBA may utilize, add to, or reject any portion of the suggested motion or any conditions suggested herein, as deemed appropriate.

**Postpone:**

I move to postpone the variance requests at 1900 Packard Road, Ypsilanti, MI 48197, Parcel K-11-06-479-007 to the sign requirements of Section 1509.6 of the Township Zoning Ordinance for the construction of an 6-foot tall, 37.5 sq. ft. ground sign within the building envelope as shown on the plan included in the Zoning Board of Appeals Packet dated April 02, 2025, to give the applicant an opportunity to address the comments made at this evening's meeting and return with a revised proposal based on these comments.

**Approve:**

I move to approve the variance requests at 1900 Packard Road, Ypsilanti, MI 48197, Parcel K-11-06-479-007 to the sign requirements of Section 1506.6 of the Township Zoning Ordinance for the construction of an 6-foot tall, 37.5 sq. ft. ground sign within the building envelope as shown on the plot plan included in the Zoning Board of Appeals Packet dated April 02, 2025 (or as modified at this evening's meeting). Granting of the requested variances meets the criteria for a non-use variance in Section 1704.2(D) of the Zoning Ordinance. Specifically, granting the requested variances is based on the following facts:



1. There are exceptional conditions applying to this property that do not generally apply to other properties in this district, including the multi-tenant nature of the exiting building compounded by the location along a 5-lane road with a 35-mph speed limit;
2. The variances are necessary to provide adequate identification for the property's multiple tenants, especially given the high traffic volume on this busy commercial corridor;
3. The variances (as modified) will not be a substantial detriment to adjacent property and will not materially impair the purposes of this ordinance or the public interest;
4. The need for the variances is not self-created, as the applicant did not create the visibility challenges or the multi-tenant nature of the building;
5. The proposed variances (as modified) are the minimum necessary to ensure adequate visibility for the tenants given the site conditions and surrounding context.

This motion is further made with the following condition:

1. The applicant shall obtain the required building permits and applicable trade permits for the construction of the sign.
2. The applicant shall adhere to the electronic changeable message sign ordinance outlined in Article 15 – Sec. 1509.8.

**Denial:**

I move to deny the variance requests at 1900 Packard Road, Ypsilanti, MI 48197, Parcel K-11-06-479-007 to the sign requirements of Section 1509.6 of the Township Zoning Ordinance for the construction of an 6-foot tall, 37.5 sq. ft. ground sign within the building envelope as shown on the plot plan included in the Zoning Board of Appeals Packet dated April 02, 2025, based on the following findings of fact that the requests do not meet the criteria in Section 1704.2(D) of the Zoning Ordinance. Specifically, the request does not comply with the following criteria: *(ZBA states reasons for denial)*

1. \_\_\_\_\_
2. \_\_\_\_\_

Respectfully Submitted,

*Fletcher Reyher*

Fletcher Reyher, AICP  
Planning and Development Coordinator  
Charter Township of Ypsilanti Planning Department



# Charter Township of Ypsilanti

## Office of Community Standards

7200 S. Huron Drive, Ypsilanti, MI 48197

Phone: (734) 544-4000 ext. #1

Website: <https://ypsitownship.org>

# ZONING BOARD OF APPEALS APPLICATION

## I. APPLICATION TYPE

- ☒ Variance  
☐ Exceptions and Special Approvals (Includes: Temporary Uses and Structures)  
☐ Administrative Review Appeal

## II. PROJECT LOCATION

Address: 1900 Packard St Parcel ID #: K-11- Zoning             
Lot Number:            Subdivision:           

## III. APPLICANT INFORMATION

Applicant: A1 Signs & Graphics Phone: 313.693.9504  
Address: 8909 Hubbell City: Detroit State: MI Zip: 48228  
Fax:            Email:             
Property Owner: Dr. Siddiqui Phone: 734.516.7857  
Address: 1900 Packard City: Ypsilanti State: MI Zip: 48197  
Fax:            Email:           

## IV. COST AND FEES

Total: \$            Breakdown of fee: Residential: \$ 125.00  
Non-residential: \$ 500.00

## V. APPLICANT SIGNATURE

The undersigned A1 Signs & Graphics represents Dr. Siddiqui :  
Applicant Property Owner

1. That Dr. Siddiqui is/are the owner(s) of lot(s)            located in the            Subdivision           , Ypsilanti Township, Michigan, otherwise known as 1900 Packard St and the property is zoned             
Property Owner Lot Subdivision Address Zoning District
2. That the petitioner hereby request Variance under Section            Article            of the Ypsilanti Township Zoning Ordinance.  
Variance/Temporary Use Section Article /Regular Meeting
3. The petitioner further state that AK have/has read and understands the provisions of said zoning ordinance as it applies to this petition.  
Applicant Initial
4. That the following is submitted in support of the petition (attach all pertinent data to support the request).

Hasan Kattan  
Applicant Signature

Hasan Kattan  
Print Name

8/8/2024  
Date



Subject: Variance Request for Ground Sign at 1900 Packard St

**ATTN: Zoning Board of Appeals Members,**

I am writing to request a variance for the installation of a ground sign (88 sqft) at 1900 Packard St. The purpose of this sign is to advertise my business and provide directional information to my establishment.

**Circumstances of Hardship:** Our property faces unique challenges that make strict adherence to the existing zoning regulations impractical. Specify any design adjustments, setbacks, or other modifications to minimize impact sealed drawing with reference to any of these conditions.

**Soil Conditions:** The condition of the soil has been surveyed by sign company as well as Architectural structural has been submitted for support. (Attached)

**Topography:** the proposed ground Sign will have features and structural foundation that will be detailed to the natural land and building features that will reduce the commercial viability and the exposure of the community or the business

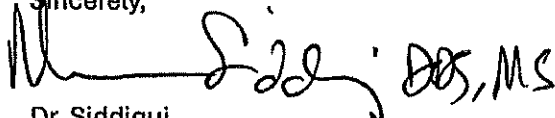
**Unique Feature:** 1900 Packard Street is located in a unique position we're visible of the sign place or reduce will be limited from the Main Street is due to the nature of how the setback of the building frontage these features are specific to this property and are not common to other commercial properties in the area but I believe will not be a impairment to the community

**Financial Hardship:** We believe that granting this variance will not substantially detract from the public good. Our proposed sign will enhance visibility for our business without compromising safety or aesthetics. Furthermore, it aligns with the overall intent of the zoning ordinance by promoting economic activity and community engagement.

**Conclusion:** We respectfully request your consideration of this variance. Our goal is to contribute positively to the community while navigating the unique challenges posed by our property and business.

Thank you for your attention to this matter. We appreciate your commitment to fair and thoughtful decision-making.

Sincerely,

A handwritten signature in black ink, appearing to read 'Dr. Siddiqui', followed by the initials 'DS, MS'.

Dr. Siddiqui  
Property Owner  
1900 Packard St  
Ypsilanti, MI  
734.516.7857



2025

**UNIVERSAL LED**  
**SIGNS & GRAPHICS**

16706 Telegraph Rd, Detroit, 48129 T. 313-693-9504

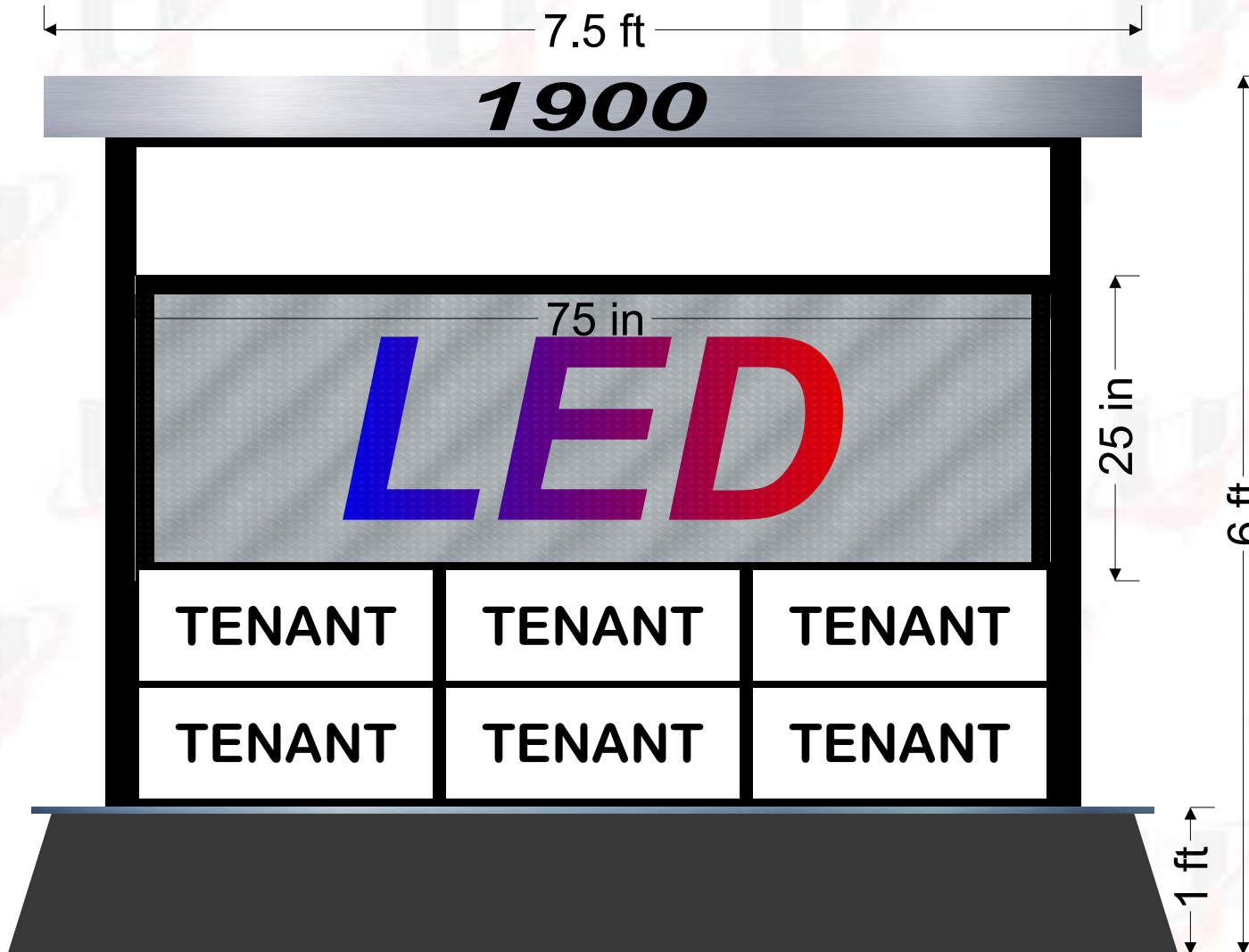
# City Drawing



## Siddiqui Orthodontics

**Project location :** 1900 Packard St, Ypsilanti, MI 48197 **T. 734.516.7857**

# SIGN DIMENSION

**TOTAL SQFT = 37.5**



Company Name	Project Name	Project Address	Project Details	Completed by	
 <b>Siddiqui</b> ORTHODONTICS <small>Mamnoon A. Siddiqui, DDS, MS</small>	<b>Monument Sign</b>	1900 Packard St, Ypsilanti, MI 48197	New Monument Sign	Drawn By: Eddie Sales Rep: Mike Date: 2 / 5 / 2025	 <small>SIGN(S) BE MANUFACTURED IN ACCORDANCE WITH ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN(S). THE SIGN WILL BEAR THE UL LABEL(S).</small>

**DISCLAIMER :** This drawing is conceptual and prepared to show approximate location, arrangement, size and color of signage. It is to change and note intended to replace the use of construction documents and/or actual field dimensions.

# SIGN SPECIFICATIONS

TOP SUPPORT POLE BRACKET  
BOLTED TO TOP SUPPORT  
LED CABINET BRACKET

TOP SUPPORT BRACKET  
WELDED TO POLE

BOLTED TO BACK OF  
LED CABINET

**3/8"-16 x 5-1/2"**

Grade 8 Coarse Thread

110v. / 12v. DC  
Power Supply

12v. LED

## NOTES:

- Galvanized Steel Frame
- Aluminum Siding and retainers
- 3/16" Lexan Faces
- Internally LIT using 12v.  
UL approved LED modules
- UL Approved Power Supply
- UL Approved ON/OFF Switch

Company Name



Project Name

**Monument  
Sign**

Project Address

1900 Packard St,  
Ypsilanti, MI 48197

Project Details

New Monument Sign

Completed by

Drawn By: Eddie  
Sales Rep: Mike  
Date: 2 / 5 / 2025





SIGN(S) BE MANUFACTURED IN  
ACCORDANCE WITH ARTICLE 600 OF  
THE NATIONAL ELECTRICAL CODE  
AND/OR OTHER APPLICABLE LOCAL  
CODES.  
THIS INCLUDES PROPER GROUNDING  
AND BONDING OF THE SIGN(S).  
THE SIGN WILL BEAR THE UL LABEL(S).

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# SIGN ELEVATIONS





Company Name	Project Name	Project Address	Project Details	Completed by	 <small>SIGN(S) BE MANUFACTURED IN ACCORDANCE WITH ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN(S). THE SIGN WILL BEAR THE UL LABEL(S).</small>
 <b>Siddiqui</b> ORTHODONTICS <small>Mamnoon A. Siddiqui, DDS, MS</small>	<b>Monument Sign</b>	1900 Packard St, Ypsilanti, MI 48197	New Monument Sign	Drawn By: Eddie Sales Rep: Mike Date: 2 / 5 / 2025	

**DISCLAIMER :** This drawing is conceptual and prepared to show approximate location, arrangement, size and color of signage. It is to change and note intended to replace the use of construction documents and/or actual field dimensions.

# SIGN LOCATION MAP



Company Name	Project Name	Project Address	Project Details	Completed by	
 <b>Siddiqui</b> <b>ORTHODONTICS</b> <small>Mamnoon A. Siddiqui, DDS, MS</small>	<b>Monument Sign</b>	1900 Packard St, Ypsilanti, MI 48197	New Monument Sign	Drawn By: Eddie Sales Rep: Mike Date: 2 / 5 / 2025	 <small>SIGN(S) BE MANUFACTURED IN ACCORDANCE WITH ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES.                      THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN(S).                      THE SIGN WILL BEAR THE UL LABEL(S).</small>

**DISCLAIMER :** This drawing is conceptual and prepared to show approximate location, arrangement, size and color of signage. It is to change and note intended to replace the use of construction documents and/or actual field dimensions.



**Carlisle | Wortman**  
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: March 19, 2025

**Zoning Board of Appeals – Variance Analysis  
For  
Ypsilanti Township, Michigan**

<b>Applicant:</b>	Charles Paisley of UPH Ypsilanti Property LLC
<b>Project Name:</b>	Culver's Restaurant
<b>Plan Date:</b>	Site Plan: December 20, 2024
<b>Location:</b>	1410 S. Huron St.
<b>Zoning:</b>	TC – Town Center – Form Based District
<b>Action Requested:</b>	Variances for front setback, service lane/parking in front yard, and deficient glazing on facades facing S. Huron St.

**PROJECT DESCRIPTION**

The applicant is proposing to develop a Culver's restaurant on the west side of Huron St., just north of the new Aldi food store. The restaurant will be 4,330 s.f. in size, with 104 seats and a 65-space parking lot. The business will include a drive-through component, with two order stations. Other site features include an outdoor patio, sidewalk connection to S. Huron St., landscaping, and lighting.

The requested variances are listed below:

- Building setback from S. Huron St. – Proposing a 74-foot front-yard setback instead of the 30-foot setback allowed Sec. 503, Building Form B, if an outdoor plaza is incorporated into the site design. Required variance dimension is 44-feet.
- Parking in front yard along S. Huron St. – Proposing to locate a service lane from the drive-through, and approximately 5 waiting spaces in the front yard along S. Huron, when Sec. 1204 of the ordinance requires that parking and associated maneuvering lanes be in a side or rear yard.

Benjamin R. Carlisle, *President* John L. Enos, *Vice President*  
Paul Montagno, *Principal* Megan Masson-Minock, *Principal* Laura Kreps, *Principal* Brent Strong, *Principal*  
David Scurto, *Principal* Sally M. Elmiger, *Principal* Craig Strong, *Principal* Douglas J. Lewan, *Principal*  
Richard K. Carlisle, *Past President/Senior Principal* R. Donald Wortman, *Past Principal*



- Deficient glazing on facade facing S. Huron St. Fifty percent glazing is required on a front building facade that faces a right-of-way, Per Sec. 507 of the ordinance. The proposal offers 41% glazing in this façade, for a needed variance of 9%.

Note that the north-facing (or side) façade also does not meet the transparency requirement for a façade facing a parking lot (or 30%). However, the ordinance gives the Planning Commission the flexibility to consider other site features (such as a patio) to “count” toward this transparency requirement. We consider it more appropriate for the Planning Commission (vs. Zoning Board of Appeals) to make this determination since the ordinance allows them this flexibility. Therefore, a transparency variance for the north façade is not part of this request.

In this review, we have evaluated the requested variances against the criteria in the ordinance.

### APPEAL AND DEMONSTRATION OF PRACTICAL DIFFICULTY

The Zoning Board of Appeals may grant a dimensional or non-use variance only upon a finding that compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would create a practical difficulty and unreasonably prevent the use of the property. A finding of practical difficulty shall require demonstration that all the following conditions are met. We have evaluated the proposal against the criteria in the ordinance, and provide comments after each:

- (1) *That there are exceptional or extraordinary circumstances or conditions applying to the property in question that do not apply generally to other properties or classes of uses in the same zoning district. Exceptional or extraordinary circumstances or conditions include but may not be limited to:*
- a. exceptional narrowness, shallowness, or shape of a specific property;*
  - b. exceptional topographic conditions;*
  - c. any other physical situation on the land, building or structure deemed by the Zoning Board of Appeals to be extraordinary; or,*
  - d. development characteristics of land immediately adjoining the property in question that creates an exceptional constraint.*

#### **CWA Comments:**

- A. **Front Building Setback:** The Town Center Form Based Code requires a ten (10) foot build-to-line for new development in the zoning district. The Ordinance does make a provision that this setback can be extended to thirty (30') feet if the new development provides for a permanent space for an outdoor café, public space, or a cross-connection access drive to adjacent property. Culver's has provided an outdoor dining area, partially in the front yard on the north side of the building. This would increase the setback line to thirty (30') feet. Additionally, Culver's is having to accommodate a new 15-foot-wide easement for public water main along S. Huron. This easement cannot be encumbered by a structure or building. The proposal places the building approximately 64 feet from the watermain easement.

In previous versions of the site design, we discussed some differences between the siting of the Aldi building and the Culver's building. The applicant's response memo explained that the elevation of the access driveway (west side of Aldi) that will extend to Culver's dictates the elevation of the Culver's building to allow acceptable grades for ADA access. The applicant has

worked with the Planning staff to try and meet the form-based requirements. However, they note that due to the significant site topography, the existing elevation of the access road, and watermain easement, moving the building closer to meet the 30-foot setback is not possible. We agree with this assessment.

- B. **Parking in Front Yard along S. Huron.** The site arrangement on this set of plans represents a significant revision from a previous site layout. The previous site layout located the drive-through order boards, three maneuvering lanes, and a few vehicle waiting spaces in the front yard. This revised site layout has substantially reduced these features in the front yard. However, given the limitations presented by the site's topography, and the existing elevation of the access driveway, locating some of these features in the front yard is unavoidable.
- C. **Glazing (Transparency) on Façade facing Right-of-Way.** The Architectural Design Standards in the Form Based Districts are intended to create a character for the district that encourages the greatest amount of visual interest and architectural consistency. One way this is accomplished is by requiring the first floors of all buildings be designed to encourage and complement pedestrian-scaled activity by the use of windows and doors so that active uses within the building are visible from or accessible to the street.

The front building façade of this new building includes six windows. The floor plans show that dining tables line the front façade of the building, allowing diners to see the street, and pedestrians outside to see the activity in the building. One building design feature we think adds to the deficient transparency for this facade is the fact that this wall extends above the first floor by approximately 88 s.f. If this portion of the wall above the first floor were eliminated from the calculation, the windows in this façade would exceed the 50% requirement. We would consider this unique feature of the building to meet this criterion.

- (2) *That a variance is necessary for the preservation and enjoyment of a substantial property right possessed by other properties in the same zoning district and in the vicinity;*

**CWA Comments:**

- A. **Front Building Setback:** Granting the front setback variance will allow for development of this property. The unusual topography along the west side of S. Huron St., and the location of a new watermain easement, creates unique challenges, when coupled with the requirements of the specific business type (i.e., drive-through) proposed for this site.
- B. **Parking in Front Yard along S. Huron.** See comments above.
- C. **Glazing (Transparency) on Façade facing Right-of-Way.** As mentioned under Criterion 1, if the building wall were only as tall as a "first floor," the proposed windows would exceed the 50% transparency requirement. We believe the proposed design meets the intent of the ordinance by allowing views between the inside diners and the pedestrian activity on the street. Granting this variance will allow for development of the property, as proposed.

March 19, 2025

- (3) *That the authorizing of such variance will not be a substantial detriment to adjacent property, will not be harmful to or alter the essential character of the area, and will not materially impair the purposes of this ordinance or the public interest;*

**CWA Comments:**

- A. **Front Building Setback.** The proposed location of the building is as close to S. Huron St. as allowed by the new watermain easement, existing topography, elevation of the access drive, and fact that this business features a drive-through service. We don't think granting this variance will be harmful to or alter the essential character of the area.
- B. **Parking in Front Yard along S. Huron.** See comments above. Also, the Landscape Plan shows that the service lane and vehicle waiting spaces in the front yard will be substantially screened from view of S. Huron St. by new trees and plantings.
- C. **Glazing (Transparency) on Façade facing Right-of-Way.** The intent of the transparency requirement is to establish a pedestrian-oriented corridor as new developments are built. In our opinion, the proposed glazing in this façade achieves this goal and establishes the desired pedestrian character. And by achieving this goal, we think the façade will benefit the character of the area, and not be detrimental to the character of the area.

- (4) *The problem and resulting need for the variance has not been self-created by any action of the applicant or the applicant's predecessors; and*

**CWA Comments:**

- A. **Front Building Setback.** The existing topography, need for a watermain easement along S. Huron St., and the elevation of the access drive have not been self-created by any action of the applicant.
- B. **Parking in Front Yard along S. Huron.** See comments above.
- C. **Glazing (Transparency) on Façade facing Right-of-Way.** We believe the transparency requirements were established with a traditional 2-story commercial building in mind. However, modern commercial architecture is rarely 2-stories tall. If the taller front wall of this building were lowered to just the first floor, the amount of windows in this façade would exceed the transparency requirement. We don't consider the need for this variance to be self-created.

- (5) *The proposed variance will be the minimum necessary and no variance shall be granted where a different solution not requiring a variance would be possible.*

**CWA Comments:**

- A. **Front Building Setback.** See our comments under Criterion 3 above.
- B. **Parking in Front Yard along S. Huron.** See our comments under Criterion 3 above.

March 19, 2025

- C. **Glazing (Transparency) on Façade facing Right-of-Way.** As mentioned above, if the taller front wall of this building were lowered to just the first floor, the amount of windows in this façade would exceed the transparency requirement. We consider the requested variance the minimum necessary.

## RECOMMENDATIONS

In our opinion, the subject site has a practical difficulty due to the unique topography on the west side of S. Huron St., the existing elevation of the access road to this property (from Aldis), accommodating a watermain easement along S. Huron, and the fact that a drive-through lane is a major component of this business's operation. We also consider the building design to meet the broader ordinance goals of encouraging pedestrian-scale activity and interaction between the activities in the building and pedestrians along the street. Providing transparency is one way to achieve these goals, but can also be achieved through outdoor dining opportunities, which this site design provides. We would consider the proposal to meet the criteria for the requested variances.

---



CARLISLE/WORTMAN ASSOC., INC.

Sally M. Elmiger, AICP, LEED AP

Principal

Township Supervisor  
Brenda L. Stumbo  
Township Clerk  
Debbie Swanson  
Township Treasurer  
Stan Eldridge



# YPSILANTI TOWNSHIP

— PLANNING & ZONING DEPARTMENT —

Trustees  
John Newman II  
Gloria Peterson  
Karen Lovejoy Roe  
LaResha Thornton

## Draft Motions

### Culver's Restaurant 1410 S. Huron St. Front Building & Parking Setback, Transparency Variances

April 2, 2025

**Applicant:** Charles Paisley of UPH Ypsilanti Property LLC

**Project Name:** Front building & parking setback, transparency variances

**Plan Date:** December 20, 2024

**Location:** 1410 S. Huron St., Ypsilanti, MI 48197 Parcel #K-11-07-300-075

**Zoning:** TC – Town Center – Form Based District

**Action Requested:** Grant variances for front building & parking setback and transparency of front (facing S. Huron St.) building façade.

### ***SUGGESTED MOTIONS:***

#### **Variances**

The following suggested motions are provided to assist the Zoning Board of Appeals in making a complete and appropriate motion for this application. The ZBA may utilize, add to, or reject any portion of the suggested motion suggested herein, as deemed appropriate.

#### **Postpone:**

I move to postpone the variance requests at 1410 S. Huron, Ypsilanti, MI 48197, Parcel K-11-38-280-016 to the requirements of Section 503, *Standards*; and Section 507, *Design standards* of the Township Zoning Ordinance for the construction of Culver's restaurant with drive-through facilities as shown on the plans included in the Zoning Board of Appeals Packet dated April 02, 2025, to give the applicant an opportunity to address the comments made at this evening's meeting and return with a revised proposal based on these comments.

#### **Approve:**

I move to approve the variance requests at 1410 S. Huron, Ypsilanti, MI 48197, Parcel K-11-38-280-016 to the requirements of Section 503, *Standards*; and Section 507, *Design standards* of the Township Zoning Ordinance for the construction of Culver's



restaurant with drive-through facilities as shown on the plans included in the Zoning Board of Appeals Packet dated April 02, 2025, (or as modified at this evening's meeting). Granting of the requested variances meets the criteria for a non-use variance in Section 1704.2(D) of the Zoning Ordinance. Specifically, granting the requested variances is based on the following facts:

1. There are exceptional conditions applying to this property that do not generally apply to other properties in this district, including the topography, existing grade of the access road, location of a new 15-foot-wide utility easement along the east side of the site that cannot be encumbered by construction, and the unique design feature of the building;
2. The variances are necessary to allow development of this property, given the unusual topography, access road, utility easement, and "first floor" condition of the building;
3. The variances will not be a substantial detriment to adjacent property and will not materially impair the purposes of this ordinance or the public interest;
4. The need for the variances is not self-created, as the applicant did not create the site conditions or building conventions for traditional architecture;
5. The proposed variances are the minimum necessary to allow development of this property given the unusual site features and traditional building conventions.

**Denial:**

I move to deny the variance requests at 1410 S. Huron, Ypsilanti, MI 48197, Parcel K-11-38-280-016 to the requirements of Section 503, *Standards*; and Section 507, *Design standards* of the Township Zoning Ordinance for the construction of Culver's restaurant with drive-through facilities as shown on the plans included in the Zoning Board of Appeals Packet dated April 02, 2025, based on the following findings of fact that the requests do not meet the criteria in Section 1704.2(D) of the Zoning Ordinance. Specifically, the request does not comply with the following criteria: (*ZBA states reasons for denial*)

1. \_\_\_\_\_
2. \_\_\_\_\_

**Charter Township of Ypsilanti****Office of Community Standards**

7200 S. Huron Drive, Ypsilanti, MI 48197

Phone: (734) 544-4000 ext. #1

Website: <https://ypsitownship.org>**ZONING BOARD OF  
APPEALS APPLICATION****I. APPLICATION TYPE**

- ☒ Variance
- ☐ Exceptions and Special Approvals (Includes: Temporary Uses and Structures)
- ☐ Administrative Review Appeal

**II. PROJECT LOCATION**Address: 1410 S Huron Street Parcel ID #: K-11-38-280-018 Zoning TC, Town Center

Lot Number: \_\_\_\_\_ Subdivision: \_\_\_\_\_

**III. APPLICANT INFORMATION****Applicant:** Charles Paisley of UPH Ypsilanti Property LLC Phone: 248-860-8365Address: 49169 Alpha Drive City: Wixom State: MI Zip: 48393Fax: \_\_\_\_\_ Email: charles@unionpacificholdings.com**Property Owner:** Charter Township of Ypsilanti Phone: 734-544-3678Address: 7200 S Huron River Drive City: Ypsilanti State: MI Zip: 48197Fax: \_\_\_\_\_ Email: freyher@ypsitownship.org**IV. COST AND FEES**Total: \$ 500

<b>Breakdown of fee:</b>	<b>Residential:</b>	<b>\$ 125.00</b>
	<b>Non-residential:</b>	<b>\$ 500.00</b>

**V. APPLICANT SIGNATURE**The undersigned Charles Paisley represents Ypsilanti Township:

Applicant

Property Owner

1. That Ypsilanti Township is/are the owner(s) of lot(s) \_\_\_\_\_ located in the \_\_\_\_\_

Property Owner

Lot

Subdivision

Subdivision, Ypsilanti Township, Michigan, otherwise known as 1410 S. Huron Street and the property is

Address

zoned TC

Zoning District

2. That the petitioner hereby request Variances under Section 503 Article 3.C.4 of the Ypsilanti TownshipVariance/Temporary Use  
/Regular Meeting

Section

Article

3. The petitioner further state that CP have/has read and understands the provisions of said zoning ordinance as itApplicant  
Initial

4. That the following is submitted in support of the petition (attach all pertinent data to support the request).

DocuSigned by:

Charles Paisley

2330380CAEBD443

Charles Paisley2/17/2025

Applicant Signature

Print Name

Date



**Charter Township of Ypsilanti**  
**Office of Community Standards**  
7200 S. Huron Drive, Ypsilanti, MI 48197  
Phone: (734) 544-4000 ext. #1  
Website: <https://ypsitownship.org>

**OFFICE USE ONLY**

**All Zoning Board of Appeals Applications**

<input type="checkbox"/> The application is filled out in its entirety. <input type="checkbox"/> If the applicant is not the property owner, written and signed permission from the property owner is required. <input type="checkbox"/> Fees <input type="checkbox"/> Letter of interest of the applicant in the property	<input type="checkbox"/> Plot plan or lot survey to scale showing the following: <input type="checkbox"/> All property lines and dimensions <input type="checkbox"/> All existing and proposed structures and dimensions <input type="checkbox"/> Lot area calculations necessary to show compliance with regulations <input type="checkbox"/> Easements and dimensions, if applicable <input type="checkbox"/> Location of drives, sidewalks, and other paved areas on the property and on the adjacent streets. <input type="checkbox"/> Location and dimensions of the nearest structures on adjacent properties.
---	--





### Variance Request

Section 503.(C).4, 507 (B): Front yard setback. The proposed building is required to be located between 10 to 30 feet from the right of way. We request that a variance be granted to locate the building 74 feet from Huron Street right of way.

Section 1205, 507 (C), 1118: Service lane/waiting spaces in front yard. Given the orientation of the drive thru, we request a variance to allow service lane/waiting spaces in the front yard.

Section 507 (H): Front façade of the building requires 50% transparency and side façade 30% transparency. Requesting a variance to allow 41% transparency for the façade facing Huron Street and 21% transparency facing the parking to the north.



Know what's below.  
Call before you dig.

BENCHMARK NO. 1 ELEV. = 764.57'  
NORTHWEST BOLT ON LIGHT POLE BASE  
LOCATED ±60' WEST OF HURON ST C/L  
AND ±339' NORTH OF BRINKER WAY  
(N.A.V.D. 88)

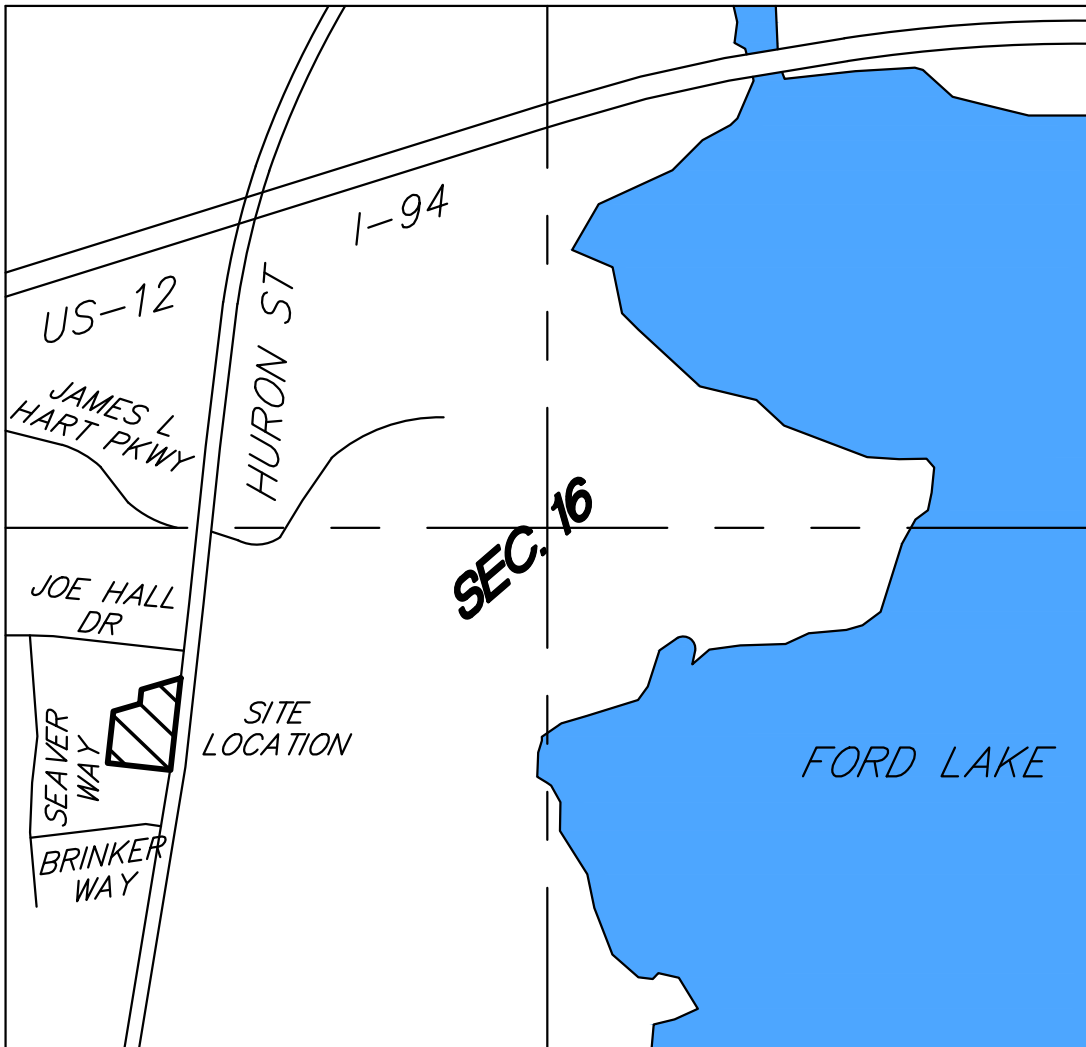
BENCHMARK NO. 2 ELEV. = 759.59'  
BENCH TIE SOUTH FACE UP ON POWER POLE,  
LOCATED ±60' WEST OF HURON ST C/L AND  
±70' SOUTH OF JOE HALL DRIVE C/L  
(N.A.V.D. 88)

BENCHMARK NO. 3 ELEV. = 759.17'  
SOUTHWEST BOLT ON LIGHT POLE BASE,  
LOCATED ±71' WEST OF HURON STREET  
AND ±21' NORTH OF JOE HALL DRIVE C/L  
(N.A.V.D. 88)

# CULVER'S RESTAURANT

1410 S HURON STREET

YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN



LOCATION MAP  
NOT TO SCALE

QUANTITIES		
ITEM	ITEM	ESTIMATED
DESCRIPTION	UNITS	QUANTITY
Soil Erosion and Sedimentation Control	Lsum	1
Clear and Grub (including all site removals)	Lsum	1
Topsoil Stripping and Stockpiling	Acre	3.3
Site Grading, Cut = 500 yards, Fill = 25,200 yards	Lsum	1
Surface Restoration, 4" (minimum) Topsoil, and Seed	Acre	1.8
Bit Mix	Ton	1,098
Aggregate Base, 21AA - 6"(CIP)	Syd	5,152
Concrete Sidewalk, 4" thick (incl: base)	Sft	4,518
Concrete Pavement, 6" thick	Sft	771
Concrete Pavement, 8" thick	Sft	682
24" Conc. Curb and Gutter (incl: base)	Lft	1,993
6" Sock Wrap Perf Underdrain	Lft	200
6" PVC Pipe	Lft	47
6" Cleanout	Ea	1
12" Storm Sewer, SLOPP	Lft	275
12" Storm Sewer, Sock Wrap Perf	Lft	129
15" Storm Sewer, SLOPP	Lft	260
18" Storm Sewer, SLOPP	Lft	40
18" Flared End Section with stone	Ea	1
18" Flared End Section with stone	Ea	1
Underground Detention System	Lsum	1
4' Dia. Storm Catch Basin	Ea	5
Outlet Control Structure (Per Detail)	Ea	1
4' Dia. Manhole	Ea	1
10" Sanitary Main	Lft	200
Grease Trap	Ea	1
6" Cleanout	Ea	4
6" Lateral (including property line riser)	Lft	336
6" Watermain	Lft	152
12" Watermain	Lft	478
6" Valve and Box	Ea	2
6"x6" Tee	Ea	1
8"x6" Tee	Ea	1
5" Hydrant Assembly (including valve and main)	Ea	1
2" Curb Stop & Box (including copper service line)	Ea	1

## INDEX OF SHEETS

C-100	TITLE SHEET
C-101	EXIST. CONDITIONS & REMOVALS PLAN
C-102	SITE LAYOUT PLAN
C-103	SITE UTILITY PLAN
C-104	SITE GRADING AND SESC PLAN
C-105	TRIBUTARY MAP
C-201	WATERMAIN PROFILE PLAN
C-202	SANITARY PROFILE PLAN
C-203	STORM PROFILE PLAN
C-501	DETAIL PLAN
	YCUA STANDARD WATER MAIN DETAILS
	YCUA STANDARD WATER MAIN DETAILS
	YCUA STANDARD WATER MAIN DETAILS
	YCUA STANDARD SANITARY SEWER DETAILS
	YCUA STANDARD SANITARY SEWER DETAILS
L-101	LANDSCAPE PLAN
1 OF 2	TOPOGRAPHIC TREE
2 OF 2	TOPOGRAPHIC TREE



TITLE SHEET  
CULVERS - YPSILANTI  
PART OF SECTION 16, T3S, R7E  
YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

CLIENT:  
UPH YPSILANTI, LLC  
49169 ALPHA DRIVE  
WIXOM, MI 48393  
(248) 971-0252

PROJECT NO.  
231072

C-100

REVISIONS:

DRAWN BY: YS  
APPROVED BY: MDC  
DATE: JULY 18, 2024  
REVISIONS:  
DECEMBER 20, 2024 TOWNSHIP COMMENTS

Roosien & Associates  
SURVEYING AND ENGINEERING

2025 PEARFIELD AVE. SE  
WASHTENAW, MI 48393  
GRAND RAPIDS, MI 49505  
TEL: (616) 361-7220



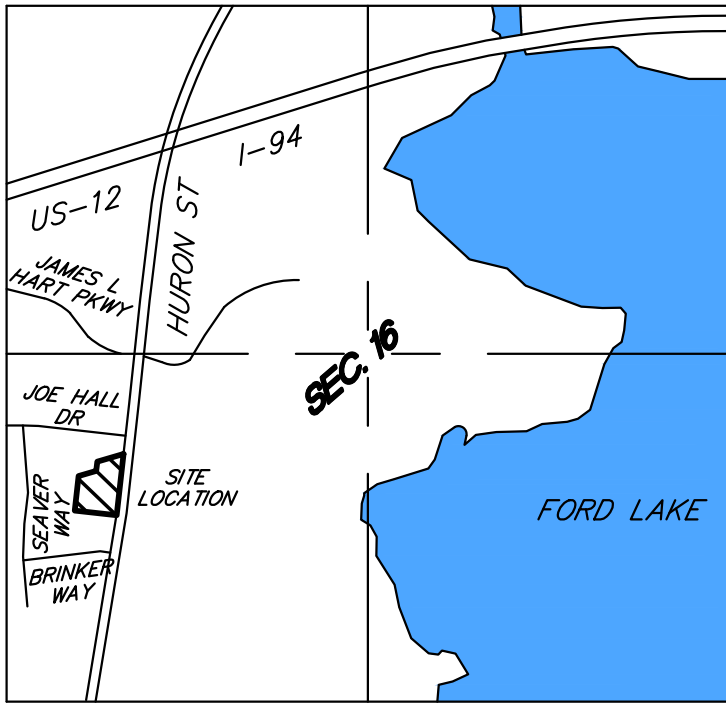


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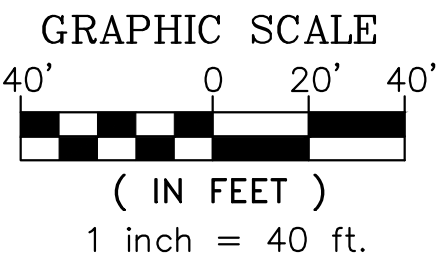
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LOCATED ±71' WEST OF HURON STREET  
AND ±21' NORTH OF JOE HALL DRIVE C/L  
(N.A.V.D. 88)



ADDRESS: 1410 S HURON STREET,  
YPSILANTI, MI 48197



#### EXISTING LEGEND

SURVEY	TREES
● PROPERTY IRON FOUND	⊗ DECIDUOUS TREE
○ WATER MANHOLE	⊗ ELECTRICAL UTILITY POLE
○ HYDRANT	○ GUY WIRE
○ SANITARY SEWER MANHOLE	⊗ LIGHT POLE
○ MISC SIGN	⊗ STORM SEWER CURB CATCH BASIN
	⊗ ROUND CATCH BASIN
	⊗ FLARED END SECTION
	CONCRETE
	BITUMINOUS
	EXIST. GRAVEL REMOVAL
	CENTER LINE
	PROPERTY LINE
	CONTOUR LINE (MAJOR)
	CONTOUR LINE (MINOR)
	EXIST. TREE LINE
	EXIST. TREE LINE REMOVAL
	WTR WATER MAIN
	SAN SANITARY SEWER
	STM STORM SEWER
	G NATURAL GAS
	OHE OVERHEAD ELECTRIC

#### LEGAL DESCRIPTION

That part of the Southwest 1/4 of Section 16, Town 3 South, Range 7 East, Ypsilanti Township, Washtenaw County, Michigan and described as follows: Commencing at the Southeast Corner of Lot 10 of "Washtenaw Business Park," part of French Claim 680 & 681, Town 3 South, Range 7 East, Ypsilanti Township, Washtenaw County, Michigan, according to the plat thereof, as recorded in Liber 33 of Plats, Pages 19 through 27, inclusive, Washtenaw County Records; thence N72deg 40' 20"E 820.92 feet along the South line of said "Washtenaw Business Park" to the West line of Whittaker Road a.k.a. South Huron Street (60-foot wide 1/2 Right-of-Way) to the PLACE OF BEGINNING; thence S05deg16'09"W 507.79 feet along the West line of said Whittaker Road a.k.a. Huron Street; thence N84deg43'51"W 380.01 feet; thence N05deg16'09"E 272.02 feet; thence N72deg40'20"E 186.88 feet; thence N05deg15'56"E 77.61 feet; thence N72deg40'20"E 224.73 feet to PLACE OF BEGINNING. Subject to the ingress & egress easement over the West 33 feet.

NINE EXISTING NON-INVASIVE TREES ARE TO BE REMOVED AND MUST BE REPLACED. SEE TREE SURVEY AND PROPOSED LANDSCAPE PLAN FOR REMOVALS AND PROPOSED TREES.

NOTE: EXISTING CONDITIONS PLAN WAS  
CREATED FROM INFORMATION PROVIDED BY  
NOWAK & FRAUS ENGINEERS ON AUGUST 5,  
2024 AND ALDI'S ENGINEER, DESINE, INC.

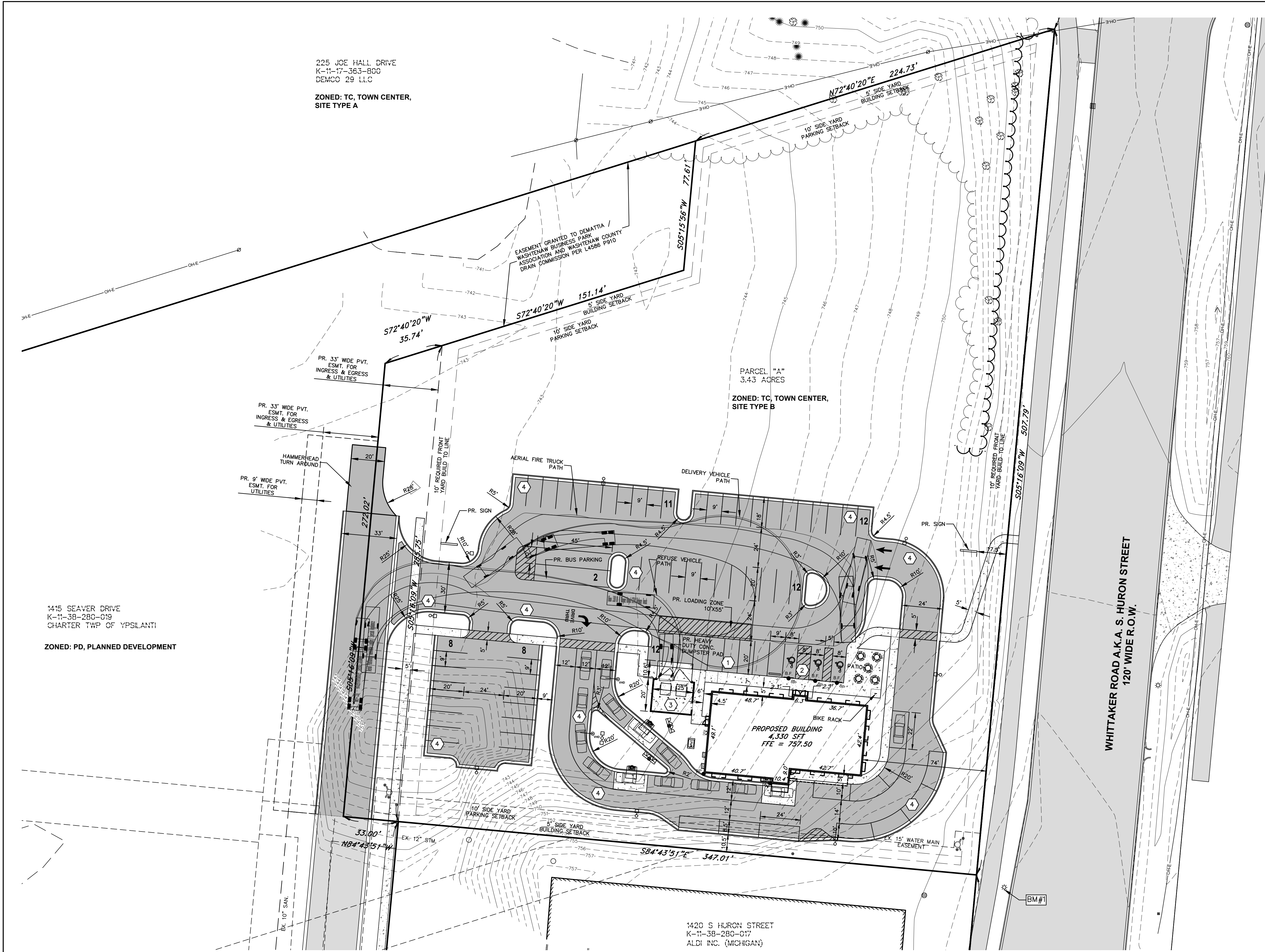
EXIST. CONDITIONS & REMOVALS PLAN  
CULVERS - YPSILANTI  
PART OF SECTION 16, T3S, R7E  
YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

CLIENT:  
UPH YPSILANTI, LLC  
49169 ALPHA DRIVE  
WIXOM, MI 48393  
(248) 971-0252

PROJECT NO.  
231072

C-101





SITE DATA:		
SITE:	3.43 ACRES (3.22 ACRES EXCLUDING R.O.W.)	
ZONED:	TC, TOWN CENTER, SITE TYPE B	
USE:	DRIVE THRU RESTAURANT; HOURS FROM 10AM TO 11PM SEVEN DAYS A WEEK; 60 TOTAL EMPLOYEES WITH MAX OF 18 EMPLOYEES AT ONE TIME	
	<u>REQUIRED</u>	<u>PROVIDED</u>
MAXIMUM BUILDING HEIGHT:	38'	23'
FRONT BUILDING RBL:	10'	74'
SIDE BUILDING SETBACK:	5'	43.5' TO SOUTH
REAR BUILDING SETBACK:	10'	317'
PARKING DATA:		
MIN. REQUIRED PARKING: 73 SPACES		
(0.7 SPACES PER SEAT) = (104 * 0.7) = 72.8		
PROPOSED PARKING: 65 SPACES		
(INCLUDES 3 BARRIER FREE SPACES AND 2 BUS SPACES)		
STACKING FROM WINDOW:	10 SPACES REQ.	13 SPACES PROP.
PULL AHEAD WAITING:	8 SPACES	
FOOD DELIVERY:	3 SPACES	
PARKING SPACE:	90 DEG. 9' x 18'	9' x 18' MIN.
	PARALLEL 8.5' x 24'	8.5' x 24' MIN.
DRIVE AISLE WIDTH	(TWO WAY): 24'	24' MIN.
	(ONE WAY): 12'	12' MIN.
REFUSE WILL BE COLLECTED DURING NON-BUSINESS HOURS BETWEEN 7AM AND 10AM, SO THERE IS NO CONFLICT WITH PARKING ACCESSING THE DUMPSTER. LOADING WILL OCCUR DURING NON BUSINESS HOURS BY BONDED CARRIER. AS A RESULT, NO LOADING ZONE IS REQUIRED FOR OPERATIONS. THE LOADING ZONE SHOWN WILL NOT BE STRIPED IN THE FIELD. IT IS FOR INFORMATIONAL PURPOSES ONLY.		

**NOTES**

A) ALL DIMENSIONS SHOWN TO THE CONCRETE CURB AND GUTTER ARE TO THE FACE OF THE CURB (6 INCHES FROM THE BACK OF THE CURB) UNLESS NOTED OTHERWISE.

B) THE CONCRETE GUTTER PAN IS TO TIP IN THE SAME DIRECTION AS THE ADJACENT PAVEMENT. THE GUTTER PAN IN THE BARRIER FREE SPACES SHALL BE PLACED FLAT.

C) THE LAST 3 FEET OF ALL OF THE CURB SHALL BE DUBBED DOWN UNLESS NOTED OTHERWISE.

D) REFER TO ARCHITECTURAL PLANS FOR DETAILS OF CONCRETE DOOR STOPS, DUMPSTER ENCLOSURE, DETAIL OF BUILDING, EXACT BUILDING DIMENSIONS, AND EXACT LOCATION OF DRIVE THROUGH MENU BOARDS, ORDER STATIONS, AND HEIGHT CLEARANCE BAR.

E) ALL BARRIER FREE SPACES AND SIDEWALKS SHALL MEET A.D.A. REQUIREMENTS.

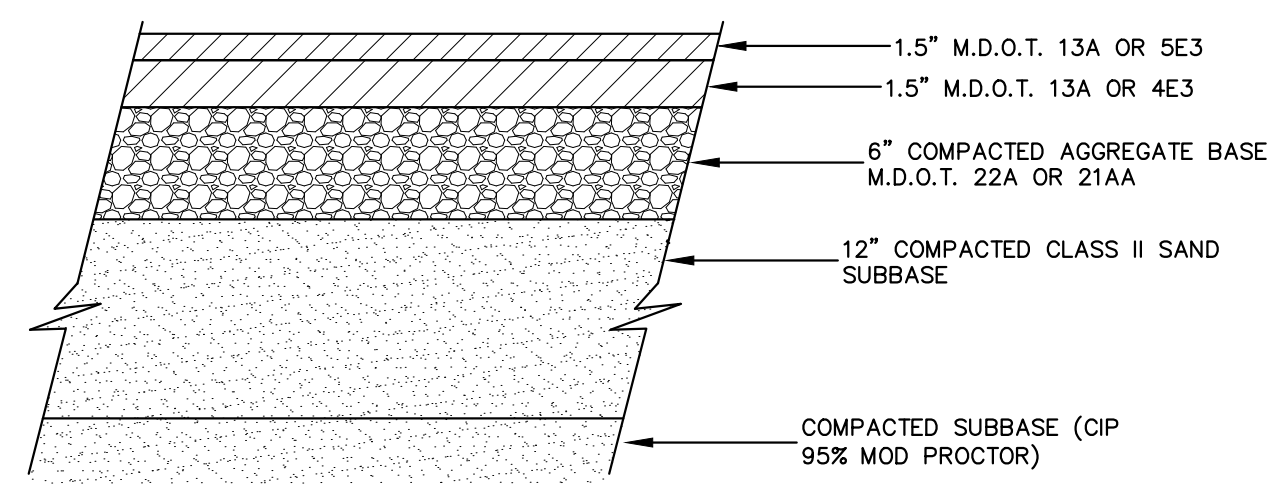
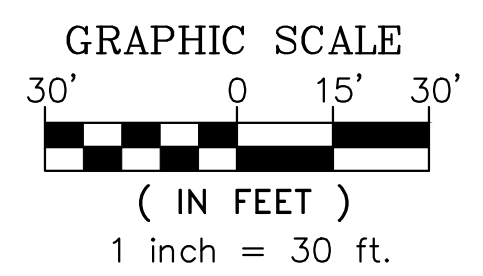
F) ALL SIGNAGE SHALL CONFORM TO YPSILANTI TOWNSHIP STANDARDS.

**SITE PLAN KEY NOTES**

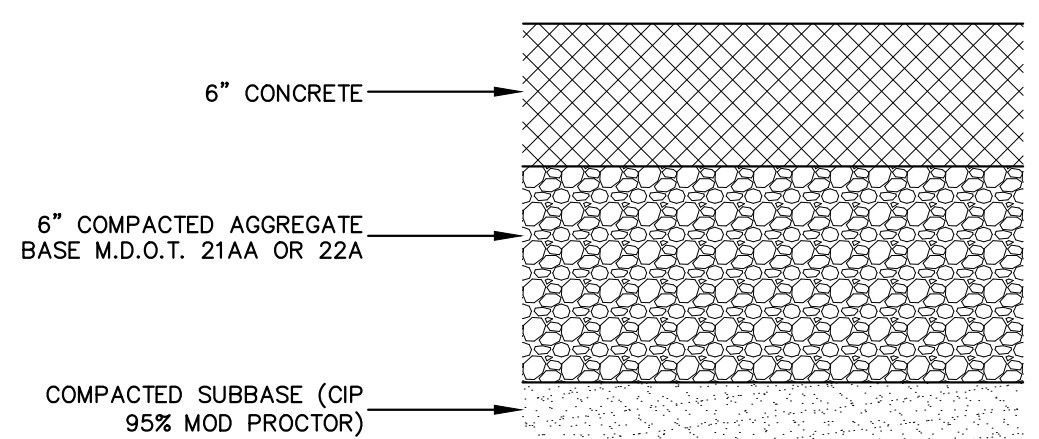
- 1 RAISED CONCRETE SIDEWALK
- 2 FLUSH SLAB EDGE AND BARRIER FREE RAMP
- 3 DUMPSTER ENCLOSURE (SEE ARCH)
- 4 MDOT F-4 CURB AND GUTTER
- 5 ORDER STATION AND MENU BOARD
- 6 HEIGHT CLEARANCE BAR

**LEGEND**

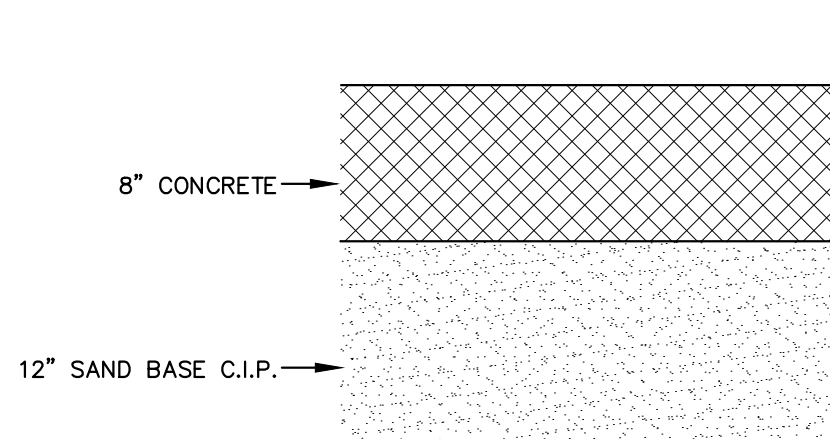
- 750- EXISTING MAJOR CONTOUR
- 749- EXISTING MINOR CONTOUR
- [Pattern] PROPOSED BIT. PAVEMENT
- [Pattern] PROPOSED CONC.
- [Symbol] BUMP BLOCK
- [Symbol] BUMP POST
- [Symbol] PROPOSED LIGHT POLE



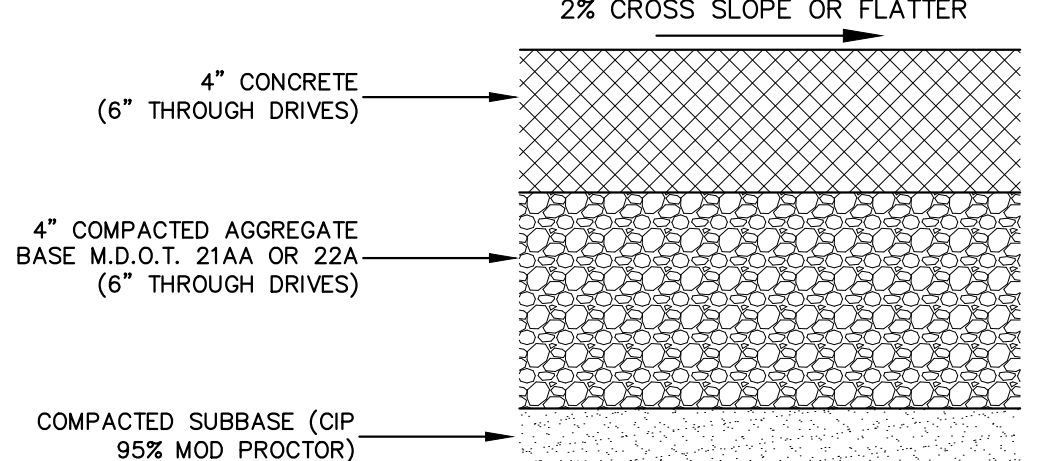
**BIT PAVEMENT-SECTION**  
NOT TO SCALE



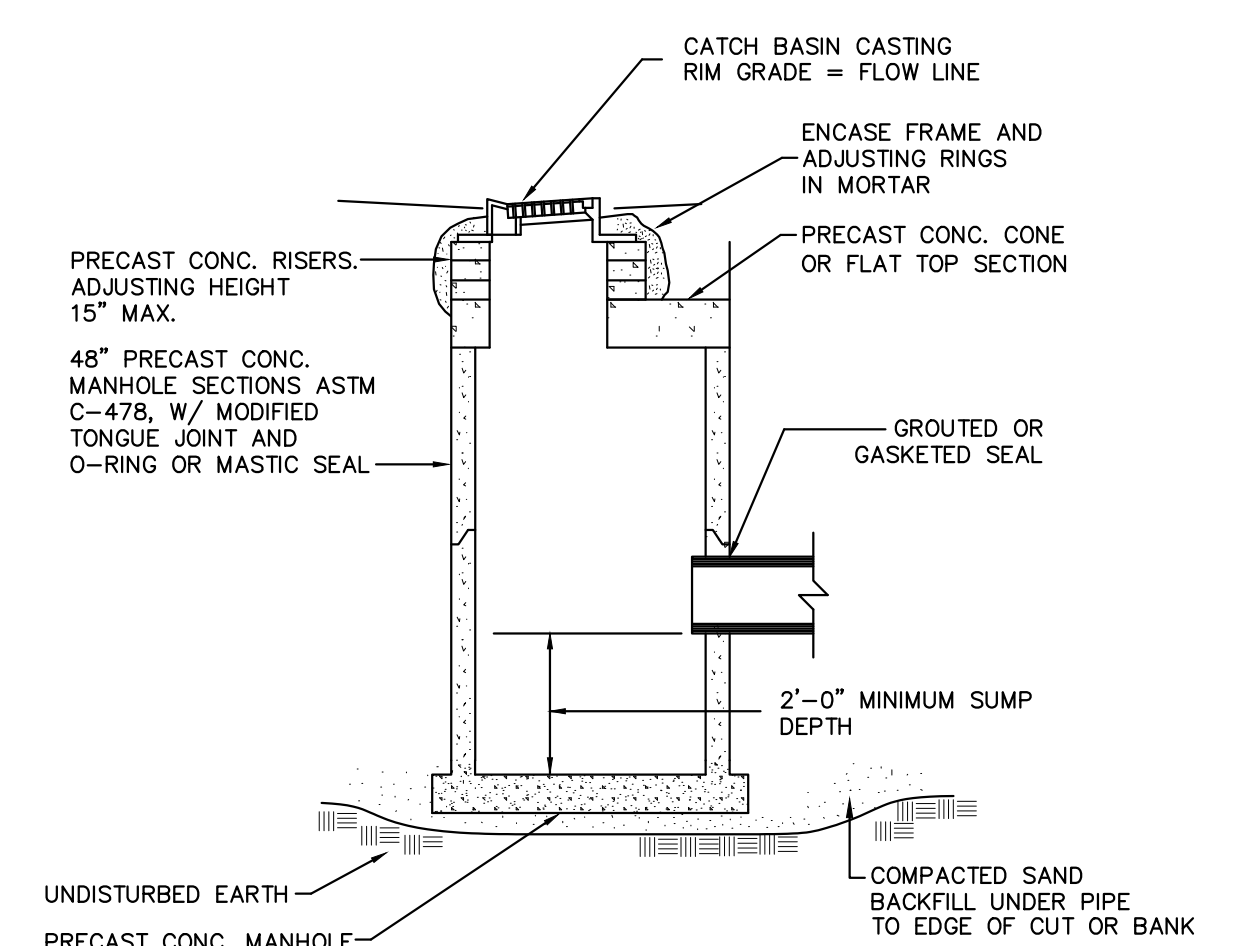
**CONCRETE PAVEMENT**  
NOT TO SCALE



**HEAVY-DUTY CONCRETE FOR DUMPSTER ENCLOSURE**  
NOT TO SCALE



**CONCRETE SIDEWALK**  
NOT TO SCALE



**TYPICAL CATCH BASIN**  
NOT TO SCALE

REVISIONS:

APPROVED BY: JDC	DATE: JULY 18, 2024
DRAWN BY: YS	REVISIONS:
DECEMBER 20, 2024	TOWNSHIP COMMENTS

**Rooston & Associates**  
ENGINEERING AND ARCHITECTURE

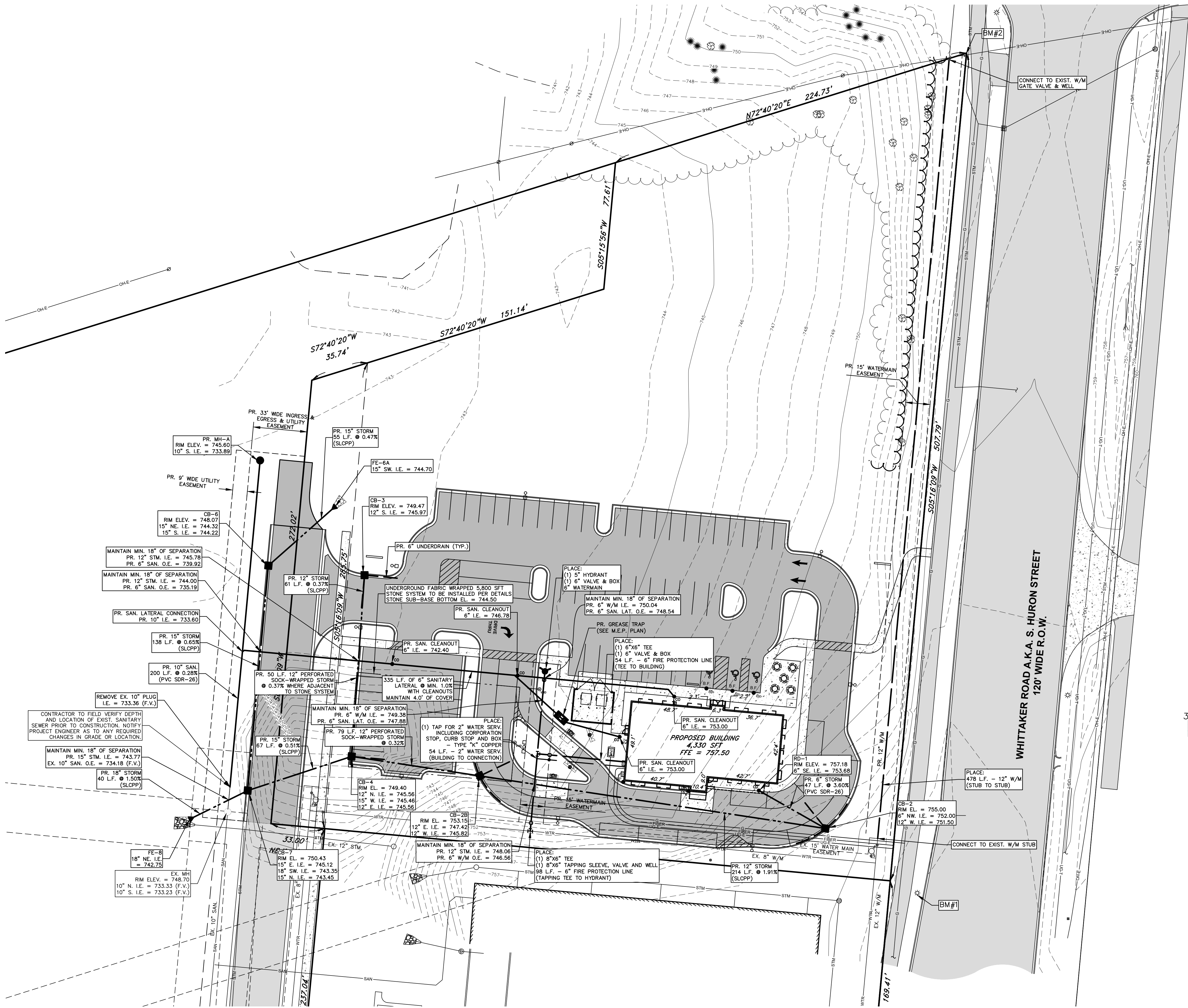
49169 ALPHA DRIVE  
WIXOM, MI 48393  
(248) 971-0252

**SITE LAYOUT PLAN**  
**CULVERS - YPSILANTI**  
PART OF SECTION 16, T3S, R7E  
YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

CLIENT:  
**UPH YPSILANTI, LLC**  
**49169 ALPHA DRIVE**  
**WIXOM, MI 48393**  
**(248) 971-0252**

PROJECT NO.  
231072  
  
C-102





GENERAL PRIVATE UTILITY NOTES:

PROPOSED PRIVATE UTILITY SERVICE AS SHOWN IS SCHEMATIC ONLY. ACTUAL LOCATION TO BE COORDINATED WITH INDIVIDUAL UTILITY COMPANY AND APPROVED BY OWNER.

CONTRACTOR SHALL COORDINATE LOCATION OF ALL PRIVATE UTILITIES (GAS, ELECTRIC, PHONE, CABLE, ETC.) WITH THE LOCAL UTILITY COMPANIES AND THE MECHANICAL DRAWINGS. COORDINATE ALL PRIVATE UTILITY LOCATIONS WITH ALL SUB-SURFACE SITE UTILITIES SHOWN ON THIS PLAN.

GENERAL STORM SEWER NOTES:

SITE CONTRACTOR TO END STORM CONNECTION 5' FROM BUILDING WITH A CLEAN-OUT AND TEMPORARY CAP. COORDINATE CONNECTION WITH BUILDING PLUMBING CONTRACTOR.

UNLESS NOTED OTHERWISE ON THE PLAN, STORM SEWER PIPE SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE PER AASHTO M252 AND PRE-WRAPPED WITH A GEOTEXTILE FILTER SOCK. PAVEMENT SUBGRADE TO BE GRADED TO SLOPE TOWARDS THE PROPOSED UNDERDRAIN TRENCHES THROUGHOUT THE SITE.

UNDERDRAIN (4"-10") SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE TYPE S, PER AASHTO M252 AND PRE-WRAPPED WITH A GEOTEXTILE FILTER SOCK. PAVEMENT SUBGRADE TO BE GRADED TO SLOPE TOWARDS THE PROPOSED UNDERDRAIN TRENCHES THROUGHOUT THE SITE.

ROOF DRAIN PIPE OR PIPE INDICATED TO BE PVC SHALL MEET THE REQUIREMENTS OF ASTM D3034, SDR 35. JOINTS TO BE ELASTOMERIC SEALS IN ACCORDANCE WITH ASTM F477.

MATERIALS, INSTALLATION, AND TESTING OF THE STORM SEWER SYSTEM SHALL CONFORM TO YPSILANTI TOWNSHIP STANDARDS.

GENERAL WATER SERVICE NOTES:

SITE CONTRACTOR TO END FIRE PROTECTION LINE 12" ABOVE FINISHED FLOOR INSIDE THE BUILDING WITH A TEMPORARY CAP. COORDINATE CONNECTION WITH BUILDING PLUMBING CONTRACTOR.

IRRIGATION WATER SERVICE TO BE TAPPED OFF WATER SERVICE INSIDE BUILDING UTILITY ROOM. COORDINATE WITH LANDSCAPER AND BUILDING PLUMBER.

WATER MAIN AND FIRE PROTECTION LINE PIPE SHALL BE CLASS 53 DUCTILE IRON PER ANSI/AWWA C151/A21.51, THICKNESS CLASS PER ANSI/AWWA C110/A21.50. FITTINGS SHALL BE DUCTILE IRON PER ANSI/AWWA C153/21.53, PRESSURE CLASS 350.

DOMESTIC SERVICE SHALL BE COPPER, TYPE K, ANNEALED AND SOFT TEMPER PER ASTM B-88. FITTINGS SHALL CONFORM TO ASTM B-88. MINIMUM COVER OVER PIPE SHALL BE 5.5'.

MATERIALS, INSTALLATION, AND TESTING OF WATER SERVICE LINES SHALL CONFORM TO YPSILANTI COMMUNITY UTILITIES AUTHORITY STANDARDS AND THE STATE PLUMBING CODE.

GENERAL SANITARY SEWER NOTES:

SITE CONTRACTOR TO END SANITARY LATERAL 5' FROM BUILDING WITH A CLEAN-OUT AND TEMPORARY CAP. COORDINATE CONNECTION WITH BUILDING PLUMBING CONTRACTOR.

SANITARY SEWER LATERALS AND FITTINGS SHALL BE PVC PER ASTM D3034, SDR 26. JOINTS TO BE ELASTOMERIC SEALS IN ACCORDANCE WITH ASTM D3212.

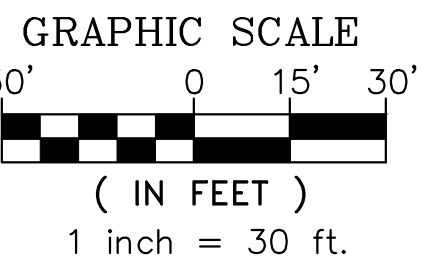
SANITARY SEWER SERVICE SHALL NOT BE LOCATED WITHIN OR UNDER THE UNDERGROUND DRY WELL.

MATERIALS, INSTALLATION, AND TESTING OF SANITARY SEWER SHALL CONFORM TO THE YPSILANTI COMMUNITY UTILITIES AUTHORITY STANDARDS.

MINIMUM COVER OVER SANITARY LATERAL SHALL BE 4.0'.

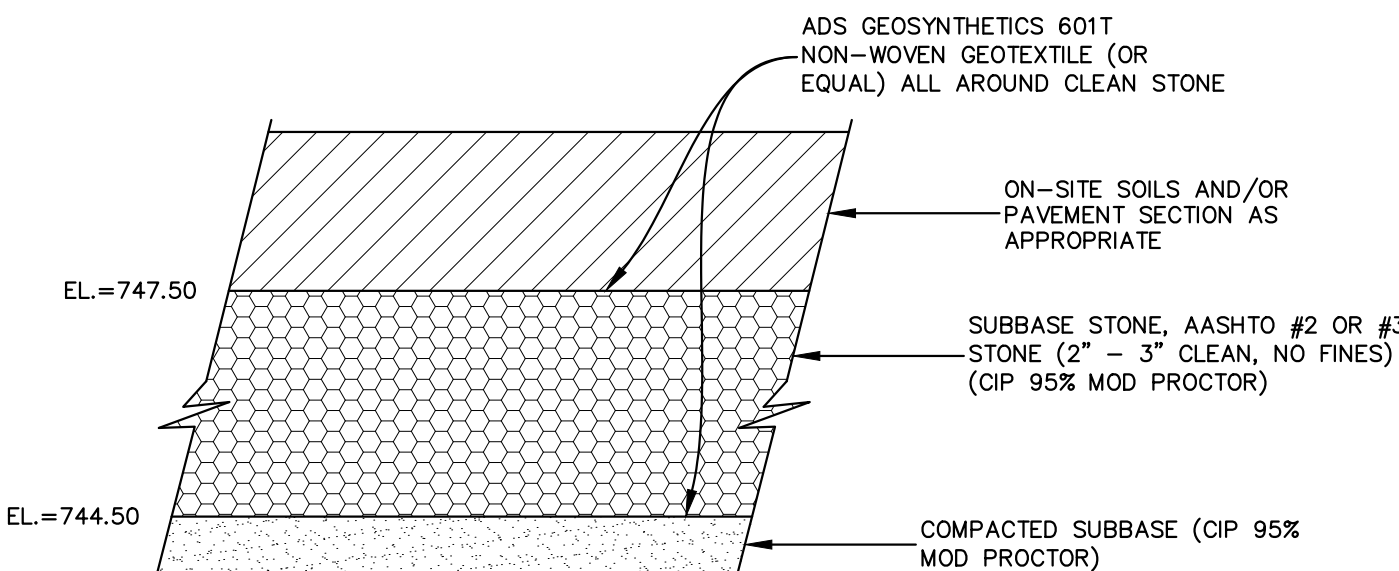
LEGEND

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED BIT. PAVEMENT
- PROPOSED CONC.
- PROPOSED STORM SEWER
- PROPOSED WATER LINE
- PROPOSED SANITARY LINE
- PROPOSED CLEAN OUT
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- NATURAL GAS



SANITARY SEWER CAPACITY DESIGN:

EQUIVALENT RESIDENTIAL UNIT FOR RESTAURANTS: 4 UNITS PER 1,000 SFT  
4,330 SFT \* 4 UNITS/1000 SFT = 17.32 UNITS  
POPULATION EQUIVALENT: 3.5 PEOPLE PER UNIT  
3.5 PEOPLE \* 17.32 UNIT = 60.62 PEOPLE  
AVERAGE FLOW: 100 GPD/PERSON \* 60.62 PEOPLE = 6,062 GPD  
MAXIMUM FLOW: 24 AVERAGE FLOW = 12,124 GPD



UNDERGROUND FABRIC WRAPPED STONE SECTION  
NOT TO SCALE

SITE UTILITY PLAN  
CULVERS - YPSILANTI  
PART OF SECTION 16, T3S, R7E  
YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

CLIENT:  
UPH YPSILANTI, LLC  
49169 ALPHA DRIVE  
WIXOM, MI 48393  
(248) 971-0252

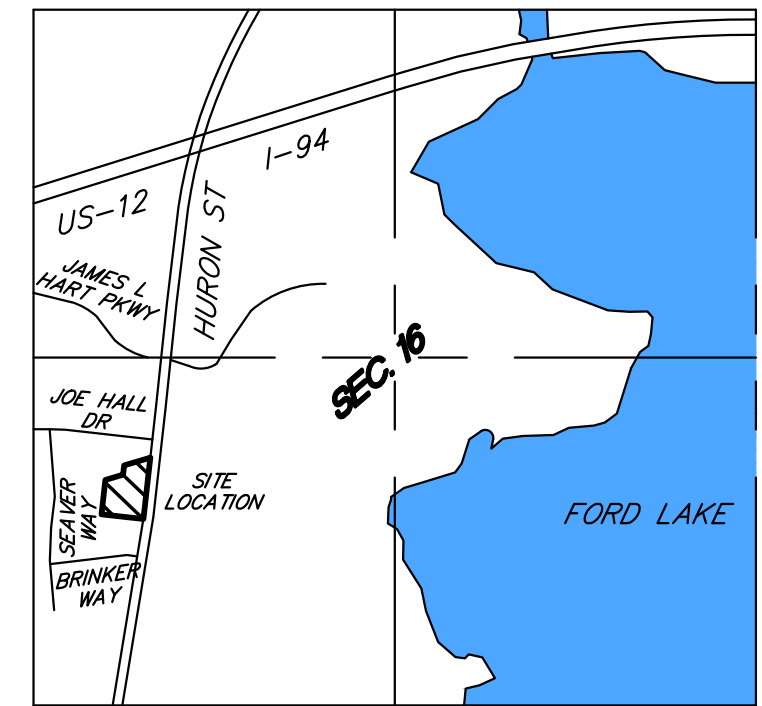
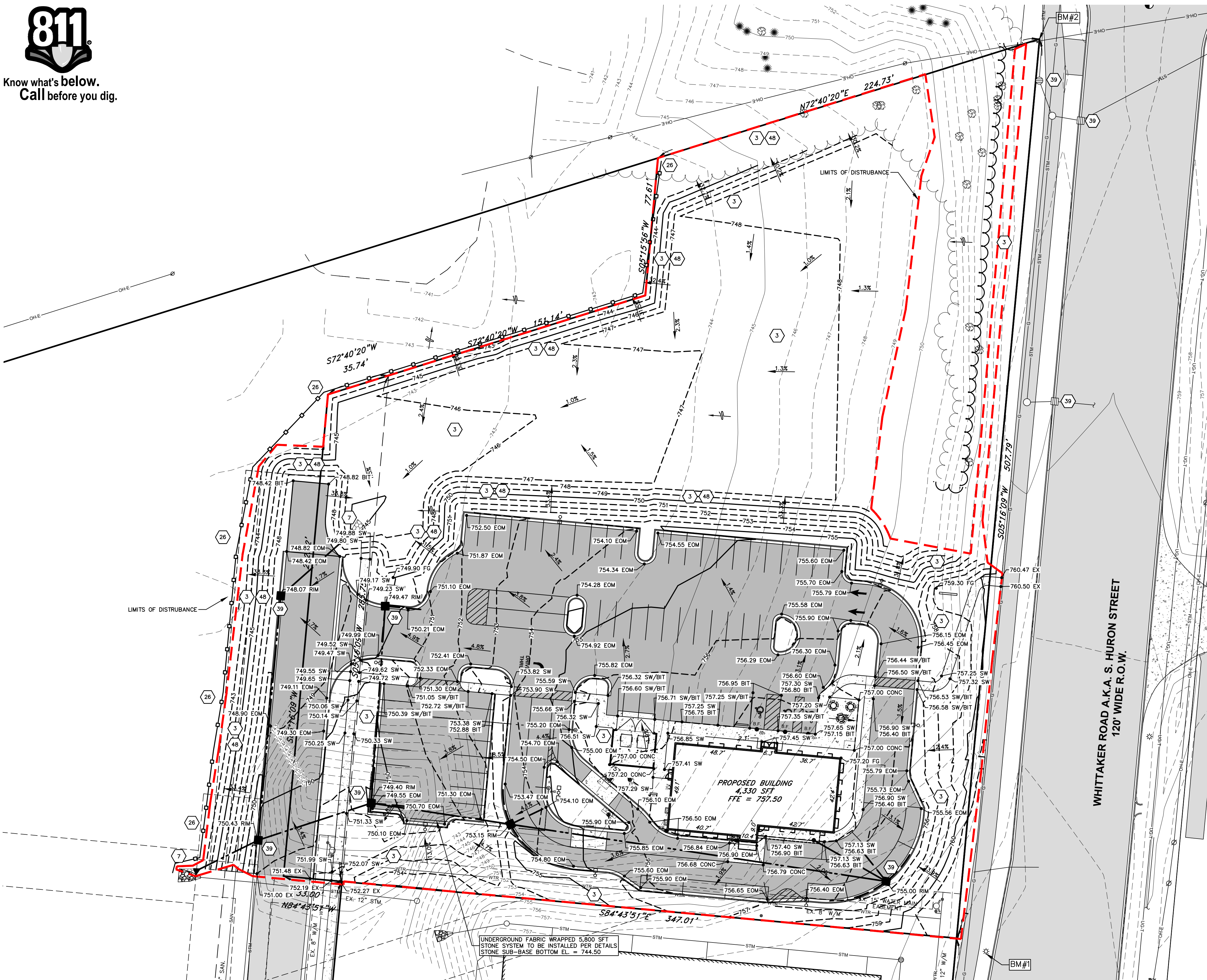
PROJECT NO.  
231072

C-103



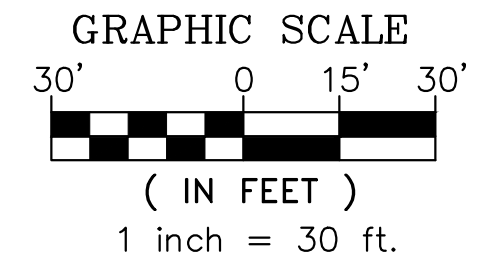


Know what's below.  
Call before you dig.



LOCATION MAP  
NOT TO SCALE

ADDRESS: 1410 S HURON STREET,  
YPSILANTI, MI 48197

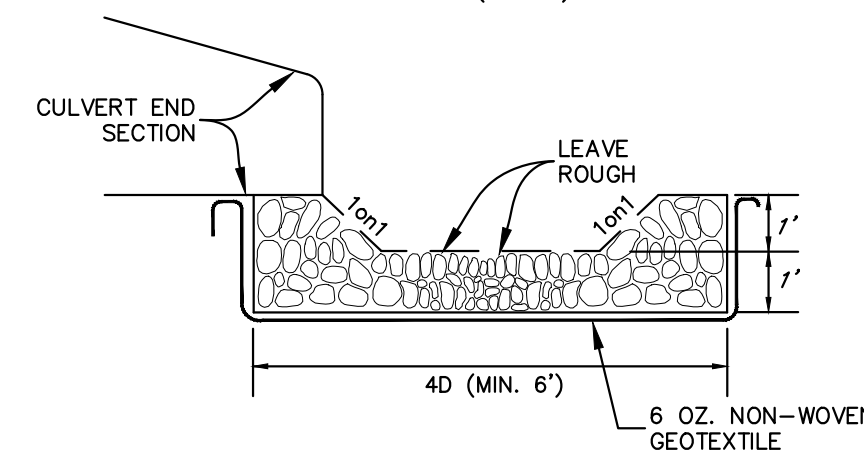
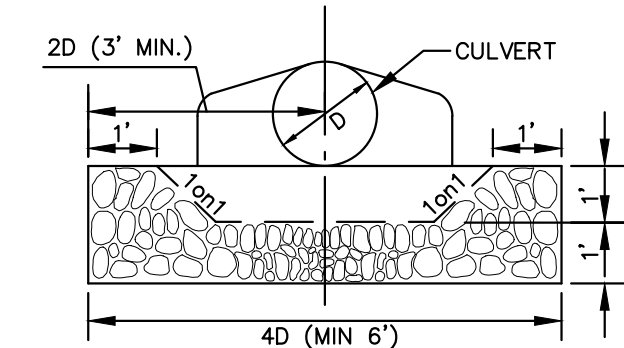


SOIL EROSION CONTROL KEY

- 3 PERMANENT/TEMPORARY SEEDING
- 7 RIP RAP
- 26 GEOTEXTILE SILT FENCE
- 39 INLET PROTECTION WITH GEOTEXTILE AND STONE
- 48 SOIL EROSION CONTROL BLANKET (N.A.G. S-150 OR EQUAL)

LEGEND

- 750 EXISTING MAJOR CONTOUR
- 749 EXISTING MINOR CONTOUR
- 750 PROPOSED MAJOR CONTOUR
- 749 PROPOSED MINOR CONTOUR
- PROPOSED BIT. PAVEMENT
- PROPOSED CONC.
- PROPOSED STORM SEWER
- DRAINAGE AREA
- PROPOSED SPOT ELEVATION
- GRADE BREAK LINE
- SIDEWALK RAMP W/ LANDINGS AT EACH END
- LIMITS OF DISTURBANCE



RIPRAP APRON  
NOT TO SCALE

CONSTRUCTION SEQUENCE	2025												REMARKS
	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC	
INSTALL SILT FENCING AND INLET PROTECTION													REQUIRED
CLEAR VEGETATION AND STRIP AND STOCKPILE TOPSOIL													
ROUGH GRADE SITE													
CONSTRUCT BUILDING													
INSTALL UTILITIES													
INSTALL CURBING AND PAVEMENT													
FINISH GRADE, PLACE PLANTINGS, TOPSOIL AND SEED, AND MULCH BLANKETS													
CLEAN PAVEMENTS AND STORM SEWER													
REMOVE TEMPORARY EROSION CONTROL													

STORM WATER MANAGEMENT SYSTEM MAINTENANCE				
THE STORM SEWER AND DETENTION SYSTEMS MUST BE INSPECTED AND MAINTAINED ON A REGULAR BASIS FOR OPTIMAL PERFORMANCE. SEE CHART BELOW FOR SUGGESTED INTERVALS. ESTIMATED ANNUAL BUDGET FOR MAINTENANCE IS \$800.				
TASKS	COMPONENTS			
	UNDERGROUND DETENTION SYSTEM	CATCH BASIN INLETS	CATCH BASIN OUTLETS	STORM SEWER SYSTEM
INSPECT FOR ACCUMULATION	●	●	●	●
REMOVE SEDIMENT ACCUMULATION	●	●	●	●
INSPECT FOR DEBRIS (DEAD VEGETATION AND TRASH)	●	●	●	●
CLEAN DEBRIS	●	●	●	●
	SCHEDULE			
	ANNUALLY			
	EVERY 2-5 YEARS AS NEEDED			
	EARLY SPRING, FALL AND AFTER MAJOR STORMS			
	AS NEEDED			

NOTE:  
- REFER TO MDOT SOIL EROSION & SEDIMENTATION CONTROL MANUAL.  
- CONTRACTOR SHALL PLACE NA-GREEN S-150 (OR APPROVED EQUAL) EROSION CONTROL BLANKET ON ALL SLOPES 1 ON 3 OR STEEPER AND IN THE BOTTOM ONE FOOT OF THE DRAINAGE SWALES.  
- SITE SOILS CONSIST OF CLAY LOAM AND CLAY PER USDA NRCS MAPS.  
- TOTAL DISTURBED AREA IS 3.32 ACRES.  
- SEAWER FARM DETENTION BASIN IS LOCATED 420 FEET WEST OF THE SITE.  
- CONTRACTOR SHALL SWEEP THE STREET OF ANY DIRT TRACKED ONTO IT BY THE CONSTRUCTION OPERATION AS NEEDED AND AS DIRECTED BY COUNTY SESC AGENT.  
- THESE MEASURES ARE MINIMUM REQUIRED. CONTRACTOR MAY NEED ADDITIONAL MEASURES DEPENDING ON WEATHER, TIMING, ETC.

REVISIONS:

DRAWN BY: YS  
APPROVED BY: MDC  
DATE: JULY 18, 2024  
REVISIONS:  
DECEMBER 20, 2024 TOWNSHIP COMMENTS

Rooston & Associates  
ENGINEERING AND ARCHITECTURE  
1000 PLANTERS AVE. SE  
GRAND RAPIDS, MI 49505  
TEL: (616) 361-7220

SITE GRADING AND SESC PLAN  
CULVERS - YPSILANTI  
PART OF SECTION 16, T3S, R7E  
YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

CLIENT:  
UPH YPSILANTI, LLC  
49169 ALPHA DRIVE  
WIXOM, MI 48393  
(248) 971-0252

PROJECT NO.  
231072





STORMWATER NOTES:  
THE PROPOSED LOT IS A PORTION OF THE TOWNSHIP SEAVAR FARM PROPERTY. THE TOWNSHIP HAS CONSTRUCTED A REGIONAL STORMWATER BASIN FOR THE MASTER DEVELOPMENT INCLUDING THIS PROPERTY. THE REGIONAL DETENTION BASIN DOES REQUIRE SOME ADDITIONAL CONSTRUCTION WORK AND EXPANSION. THIS WORK IS SCHEDULED TO OCCUR PRIOR TO OR CONCURRENT WITH THE DEVELOPMENT OF THIS PROJECT. AS A RESULT, STORM WATER QUALITY VOLUME IS THE ONLY REQUIREMENT THAT MUST BE MET FOR THIS PROJECT. THE PROPOSED UNDERGROUND DRY WELL WILL MEET THIS REQUIREMENT.

THE PROPOSED IMPERVIOUS AREA FOR THIS SITE EXCLUDING THE AREA MORE THAN TEN FEET NORTH OF THE NORTHERN PARKING SPACES IS 1.15 ACRES OF THE 1.78 ACRES OR 64.6% OF THE PROJECT.

ADS, Inc. Drainage Handbook

Specifications • 1-11

#### N-12<sup>®</sup> PLAIN END PIPE (PER AASHTO) SPECIFICATION

##### Scope

This specification describes 4- through 60-inch (100 to 1500 mm) N-12 plain end pipe (per AASHTO) for use in gravity-flow land drainage applications.

##### Pipe Requirements

N-12 plain end pipe (per AASHTO) shall have a smooth interior and annular exterior corrugations.

- 4- through 10-inch (100 to 250 mm) pipe shall meet AASHTO M252, Type S or SP.
- 12- through 60-inch (300 to 1500 mm) pipe shall meet AASHTO M294, Type S or SP, or ASTM F2306.
- Manning's "n" value for use in design shall be 0.012.

##### Joint Performance

Pipe shall be joined with coupling bands covering at least two full corrugations on each end of the pipe. Standard connections shall meet or exceed the soil-tight requirements of AASHTO M252, AASHTO M294, or ASTM F2306.

Gasketed connections shall incorporate a closed-cell synthetic expanded rubber gasket meeting the requirements of ASTM D1056 Grade 2A2. Gaskets, when applicable, shall be installed by the pipe manufacturer.

##### Fittings

Fittings shall conform to AASHTO M252, AASHTO M294, or ASTM F2306.

##### Material Properties

Material for pipe and fitting production shall be high density polyethylene conforming with the minimum requirements of cell classification 424420C for 4- through 10-inch (100 to 250 mm) diameters, and 435400C for 12- through 60-inch (300 to 1500 mm) diameters, as defined and described in the latest version of ASTM D3350, except that carbon black content should not exceed 4%. The 12- through 60-inch (300 to 1500 mm) pipe material shall comply with the notched constant ligament-stress (NCLS) test as specified in Sections 9.5 and 5.1 of AASHTO M294 and ASTM F2306 respectively.

##### Installation

Installation shall be in accordance with ASTM D2321 and ADS recommended installation guidelines, with the exception that minimum cover in trafficked areas for 4- through 48-inch (100 to 1200 mm) diameters shall be one foot. (0.3 m) and for 60-inch (1500 mm) diameter the minimum cover shall be 2 ft. (0.6 m) in single run applications. Backfill for minimum cover situations shall consist of Class 1 (compacted), Class 2 (minimum 90% SPI) or Class 3 (minimum 95% material). Maximum fill heights depend on embedment material and compaction level; please refer to Technical Note 2.01. Contact your local ADS representative or visit our website at [www.adspipe.com](http://www.adspipe.com) for a copy of the latest installation guidelines.

##### Build America, Buy America (BABA)

N-12 Plain End pipe (per AASHTO), manufactured in accordance with AASHTO M252, AASHTO M294 or ASTM F2306, complies with the requirements in the Build America, Buy America (BABA) Act.

##### Pipe Dimensions

Outside Diameter (in.)	4	6	8	10	12	15	18	24	30	36	42	48	60
Minimum Cover (ft.)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Minimum Cover (mm)	305	305	305	305	305	305	305	305	305	305	305	305	305
Minimum Cover (in.)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00

\*Pipe O.D. values are provided for reference purposes only, values stated for 12 through 60-inch are ±1 inch. Contact a sales representative for exact values.

\*\*All diameters available with or without perforations.

Calculated by:	YS	Date:	11/11/2024	Project Name:	Culver's - Ypsilanti
Checked by:	MDC	Date:	11/19/2024	Project #	231072

Structure	Area (sft)	Area (acres)	Hard Surface (sft)	Hard Surface (acres)	Gravel Surface (acres)	RIM (feet)	CALC "C"	C X A
RD-1	4,330	0.10	4,330	0.10	0.00	757.18	0.95	0.09
CB-2	14,310	0.33	6,404	0.15	0.00	755.00	0.73	0.24
CB-2b	10,447	0.24	7,098	0.16	0.00	753.15	0.82	0.20
CB-3	31,234	0.72	26,995	0.62	0.00	749.47	0.90	0.64
CB-4	14,776	0.34	5,111	0.12	0.00	749.40	0.69	0.23
FE-6A	64,393	1.48	0	0.00	0.00	N/A	0.89	1.32
CB-6	12,638	0.29	9,223	0.21	0.00	748.07	0.84	0.24
CB-7	7,553	0.17	6,119	0.14	0.00	750.43	0.87	0.15
FE-8	0	0.00	0	0.00	0.00	N/A	0.00	0.00
Dev Totals =		1.72		1.15	0.00			1.41
Weighted C <sub>w</sub> = 0.82								

Pavement: c = 0.95  
Gravel: c = 0.85  
Green Space / Lawn: c = 0.55  
Water Surface: c = 1.00

#### Required Detention Basin Volume Calculation

Project Name:	Culver's - Ypsilanti
Project Number:	231072
Date:	November 11, 2024
Subcatchment:	Area to Basin

#### Required Water Quality:

Rainfall:	1.0 in
Runoff Coefficient (C):	0.82
Proposed Developed Area:	1.72 acres
Required Water Quality Volume:	5,107 cft
Max Flow:	0.12 cfs (to drain in 24 hours)

#### Underground Storage System Design:

Stone wrapped with fabric:	
Stone System Area:	5,800 sft
Stone Storage Thickness:	3.00 feet
Void Ratio:	30%
Wrapped Stone Storage Capacity:	5,220 cft

#### Basin Elevations

Basin Bottom:	744.50
Water Quality:	747.50
Outlet Rim:	749.40

#### Outlet Design

	Sediment Control	Bank Erosion	Flood Control	Total
Stage	Head (ft)	Flow (cfs)	Head (ft)	Flow (cfs)
Water Quality:	2.94	0.10		0.10

#### Primary Spillway - 10 year

Q (design):	0.82	Q (proposed):	Q = C * L * H <sup>3/2</sup>
Runoff Coeff (C):	0.82	C =	2.6
110 (in / hr):	3.96	Width (at base; ft):	4.00
Area (ac):	1.72	H (ft):	0.667
Q (design):	5.61 cfs	Q (cfs):	5.67

## Section IV Computational Requirements For Stormwater Management Systems

### Part E STANDARD METHOD RUNOFF VOLUME WORK SHEETS

#### W1 Determining Post-Development Cover Types, Areas, Curve Numbers, and Runoff Coefficients

Total Site Area = 1.73 ac  
Total Site Area Excluding "Self-Crediting" BMPs = 1.73 ac<sup>A</sup>

Cover Type	Soil Type	Area (ft <sup>2</sup> )	Area(ac)	Runoff Coefficient (c)	(C) (Area)
		4,330	0.10	0.95	0.09
		14,310	0.33	0.73	0.24
		31,234	0.72	0.90	0.64
		14,776	0.34	0.69	0.23
		10,447	0.24	0.82	0.20

Total - Σ(C)(Area) = 1.41  
Area Total - Σac or Σsf = 1.72  
Weighted C - Σ(C)(Area)/Σac or Σsf = 0.82

Previous Cover Type	Soil Type	Area (ft <sup>2</sup> )	Area(ac)	Curve Number	(CN) (Area)

Total - Σ(CN)(Area) =  
Area Total - Σac or Σsf =  
Weighted CN - Σ(CN)(Area)/Σac or Σsf =

Impervious Cover Type	Soil Type	Area (ft <sup>2</sup> )	Area(ac)	Curve Number	(CN) (Area)

<sup>A</sup> Use this area for the remainder of the runoff calculations  
<sup>B</sup> Required for first flush runoff calculations  
<sup>C</sup> Required for bankfull and 100-year runoff calculations

Total - Σ(CN)(Area) =  
Area Total - Σac or Σsf =  
Weighted CN - Σ(CN)(Area)/Σac or Σsf =

#### W2 Standard Method Runoff Volume Calculations

##### First Flush Runoff Calculations (V<sub>f</sub>)

A.

$$V_{ff} = (1") \left( \frac{1"}{12"} \right) \left( \frac{43560 ft^2}{1 ac} \right) AC$$
$$V_{ff} = (1") \left( \frac{1"}{12"} \right) \left( \frac{43560 ft^2}{1 ac} \right) (0.82)(1.73)$$
$$V_{ff} = 5,123 ft^3$$

A = Total Site Areas (ac) excluding "Self-Crediting" BMPs from Worksheet 1  
C = Weighted Runoff Coefficient from Worksheet 1

#### STORM SEWER COMPUTATION SHEET

Calculated by:	YS	Date:	November 11, 2024	Project Name:	Culver's - Ypsilanti
Checked by:	MC	Date:	November 19, 2024	Project #	231072

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
Notes	Structure ID		Area (INPUT @ 2) (ACRES)	C For Input @ Col. 2	C x A	SUM OF C x A	Rainfall Intensity "I" (in/hr)	Design Flow Σ C x A x I (cfs)	Pipe Diameter (in)	Slope of Energy Grade Line (ft/ft)	Actual Pipe Slope (%)	Gravity Full Flow Discharge (cfs)	Gravity Full Flow Velocity (ft/s)	Pipe Length (ft)	Travel Time (min)	Pipe Invert Elevation		Pipe Outlet Elevation		HGL Elevation		HGL Elevation	
	From	To														Upper	Lower	Upper	Lower	Upper	Lower	Upper	Lower
	RD-1	CB-2	0.10	0.95	0.09	0.09	15.0	3.96	0.37	4	0.32%	3.60%	1.28	6.41	47	753.88	752.00	757.18	755.00	752.39	752.25	4.79	
		CB-2	0.33	0.73	0.24	0.33	15.1	3.95	1.32	12	0.10%	1.91%	5.82	7.41	214	751.80	747.42	755.00	753.15	748.13	747.92	6.87	
		CB-2b	0.24	0.82	0.20	0.53	15.6	3.90	2.07	12	0.25%	0.32%	2.38	3.03	79	745.82	745.56	753.15	749.40	746.28	746.08	6.87	
		CB-3	0.72	0.90	0.64	0.64	15.0	3.96	2.54	12	0.37%	0.37%	2.56	3.26	111	745.97	745.96	749.40	746.50	746.08	746.08	2.98	
		CB-4	0.34	0.69	0.23	1.41	16.0	3.87	5.44	15	0.51%	0.51%	5.45	4.44	67	745.46	745.12	749.40	750.43	746.08	745.74	5.32	
		FE-6A	1.48	0.89	1.32	1.32	15.0	3.96	5.20	15	0.47%	0.47%	5.23	4.26	55	744.70	744.44	N/A	748.07	745.78	745.52		
		CB-6	0.29	0.84	0.24	1.56	15.2	3.94	6.14	15	0.65%	0.65%	6.15	5.02	138	744.34	743.45	748.07	750.43	745.52	744.62	2.55	
		CB-7	0.17	0.87	0.15	3.12	16.3	3.84	11.99	18	0.94%	1.50%	15.20	8.60	40	743.35	742.75	750.43	N/A	744.62	744.25	5.81	

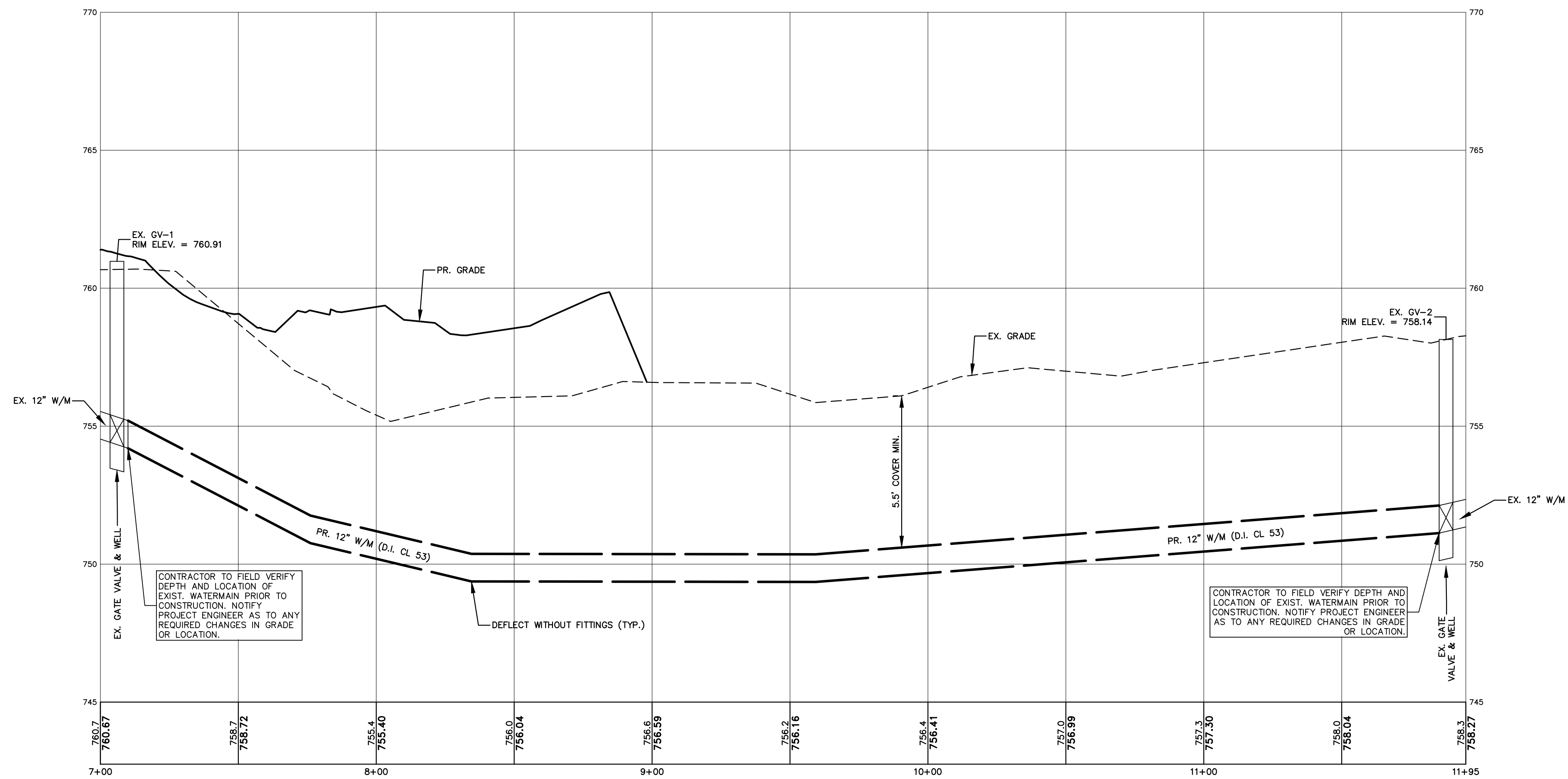
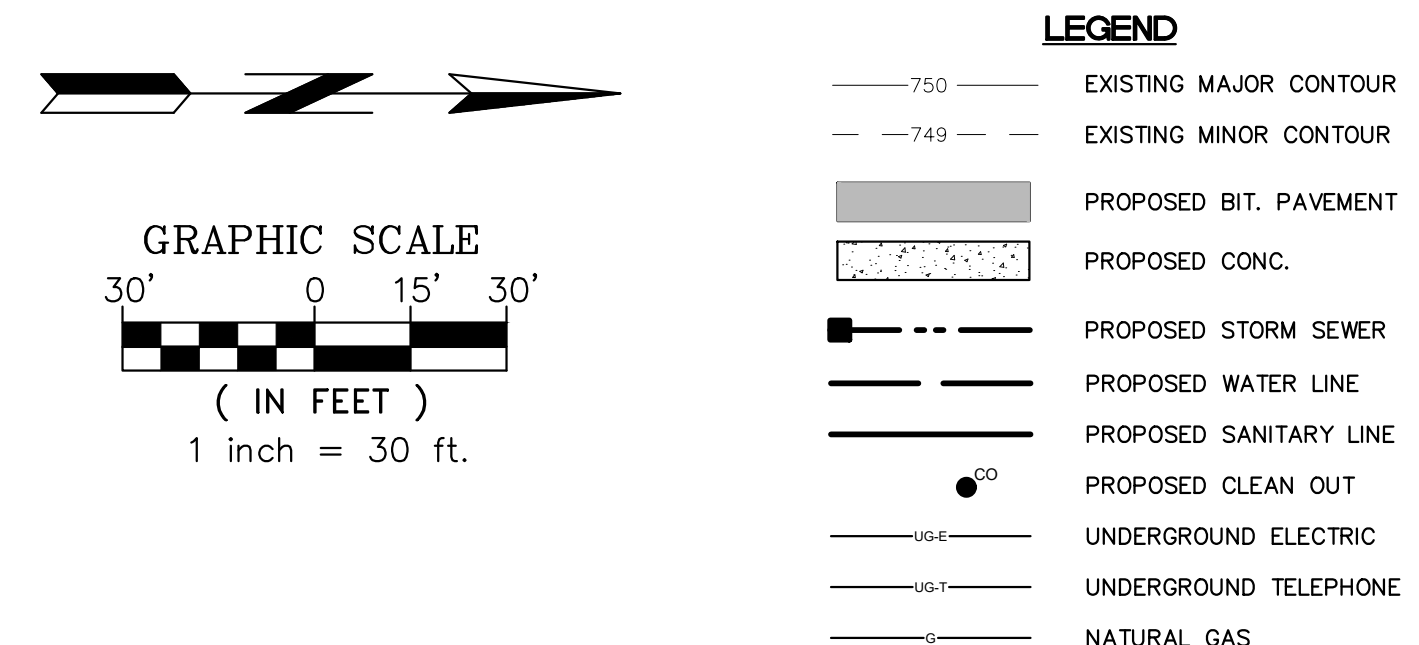
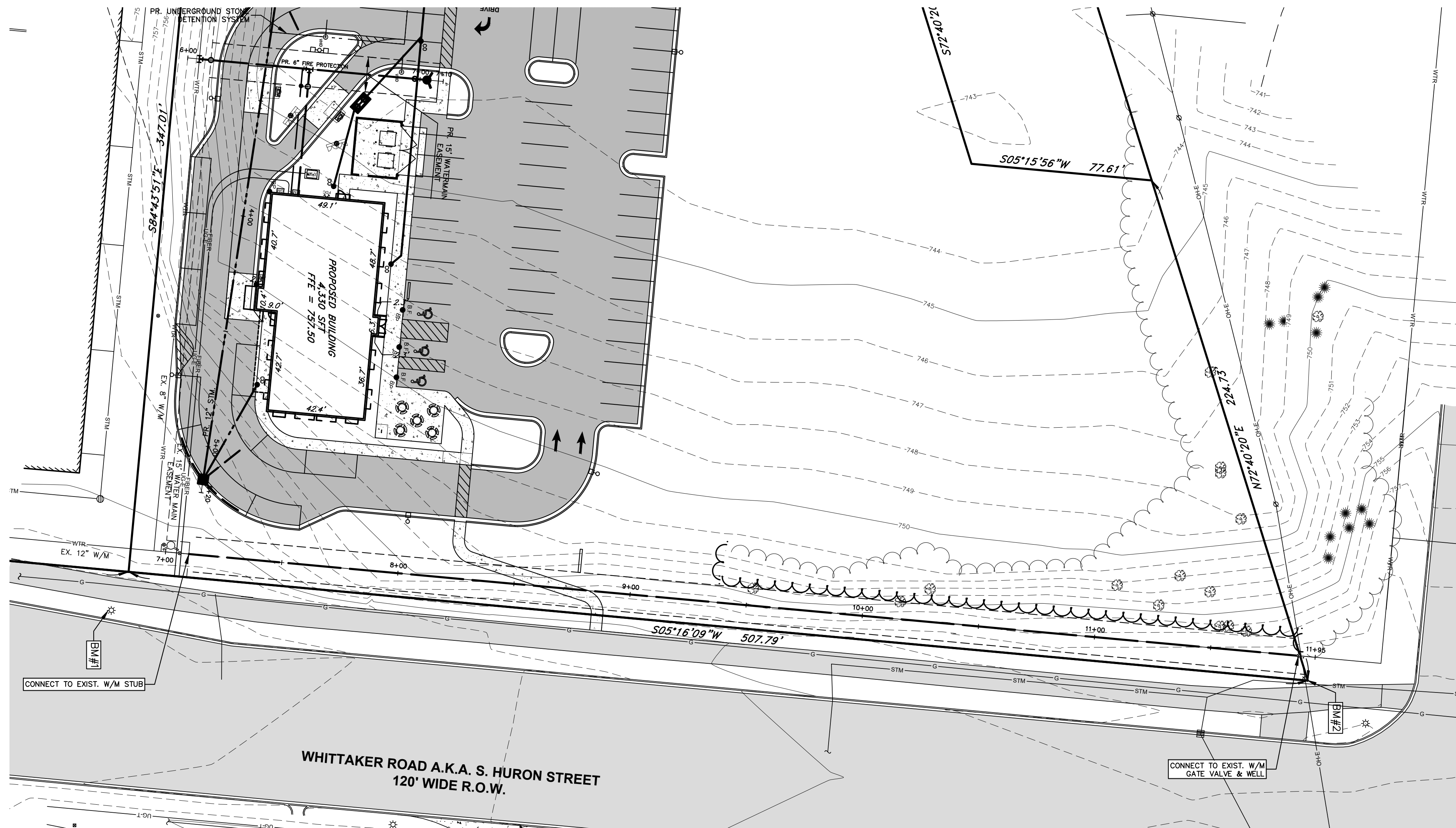
TRIBUTARY MAP  
CULVERS - YPSILANTI  
PART OF SECTION 16, T3S, R7E  
YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

CLIENT:  
UPH YPSILANTI, LLC  
49169 ALPHA DRIVE  
WIXOM, MI 48393  
(248) 971-0252

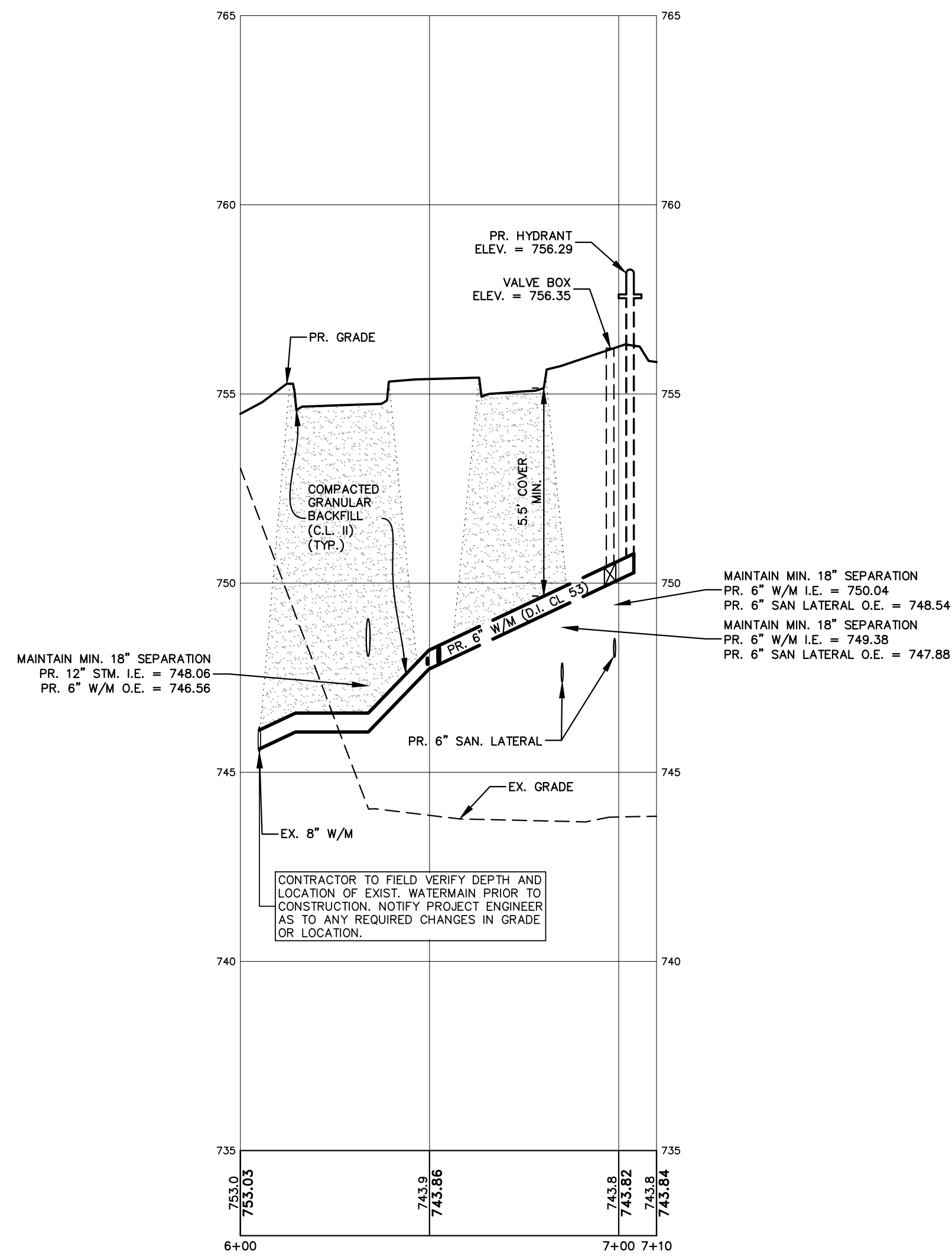
PROJECT NO.  
231072

C-105



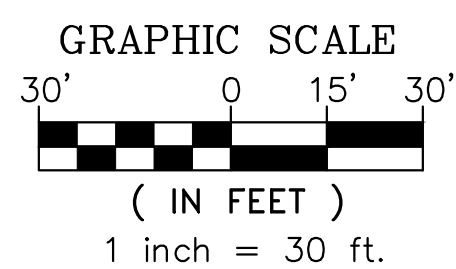
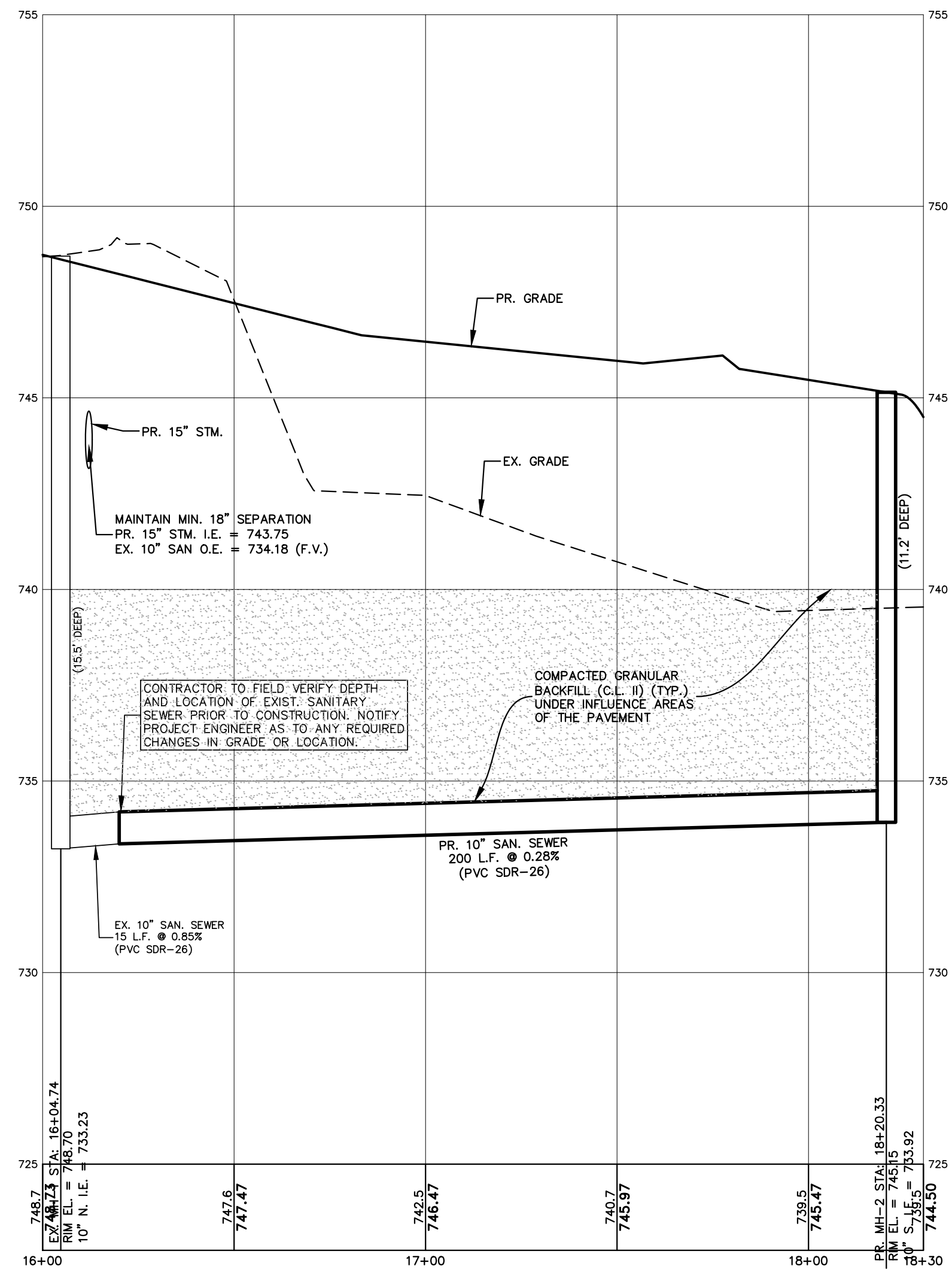
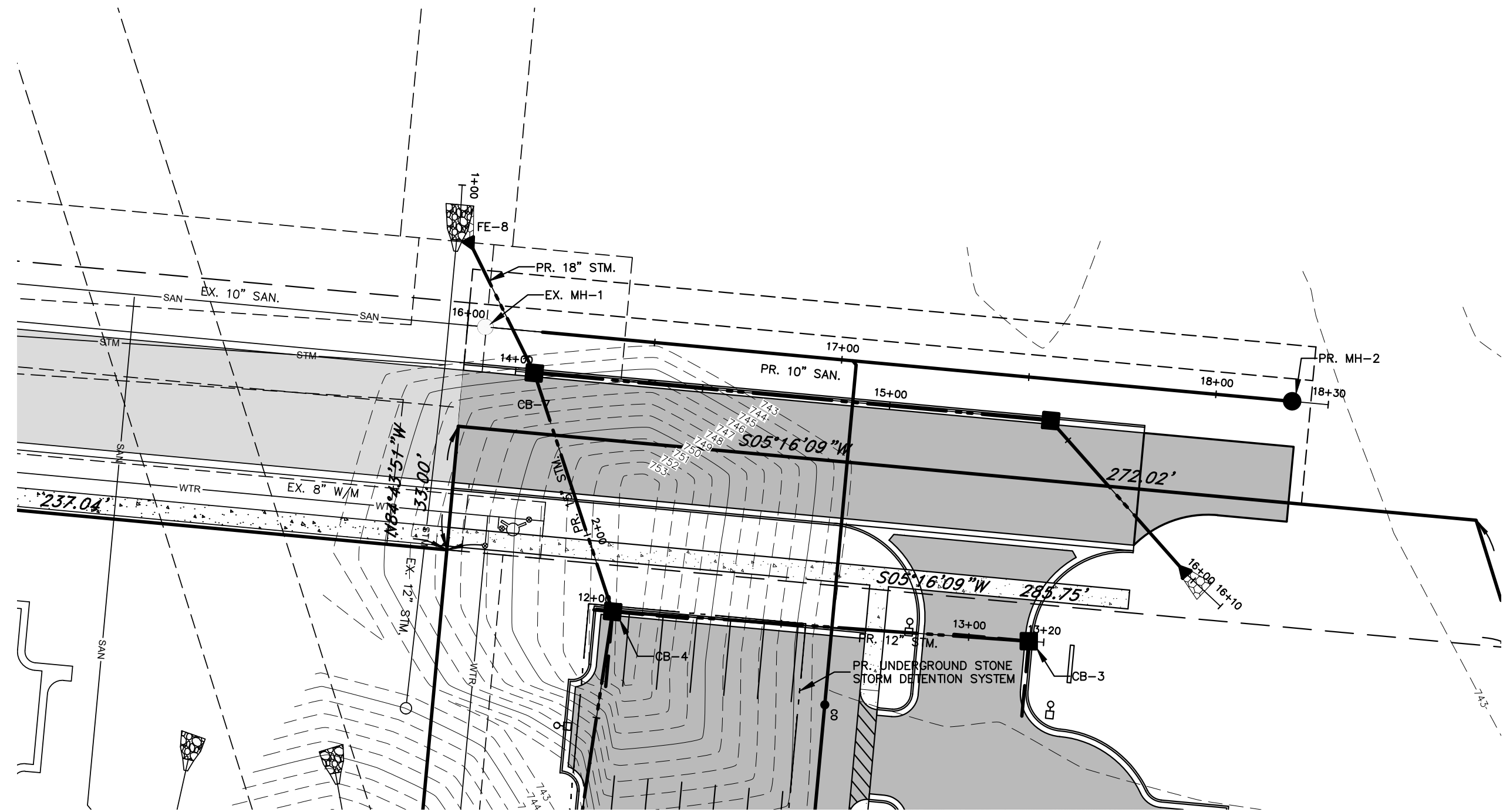


**WATERMAIN PROFILE**  
SCALE: 1"=30' HORIZ. 1"=3' VERT.



**WATERMAIN PROFILE**  
SCALE: 1"=30' HORIZ. 1"=3' VERT.

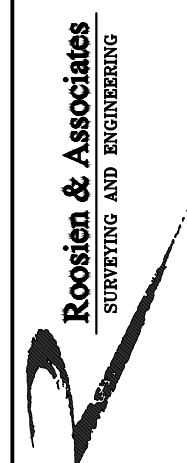




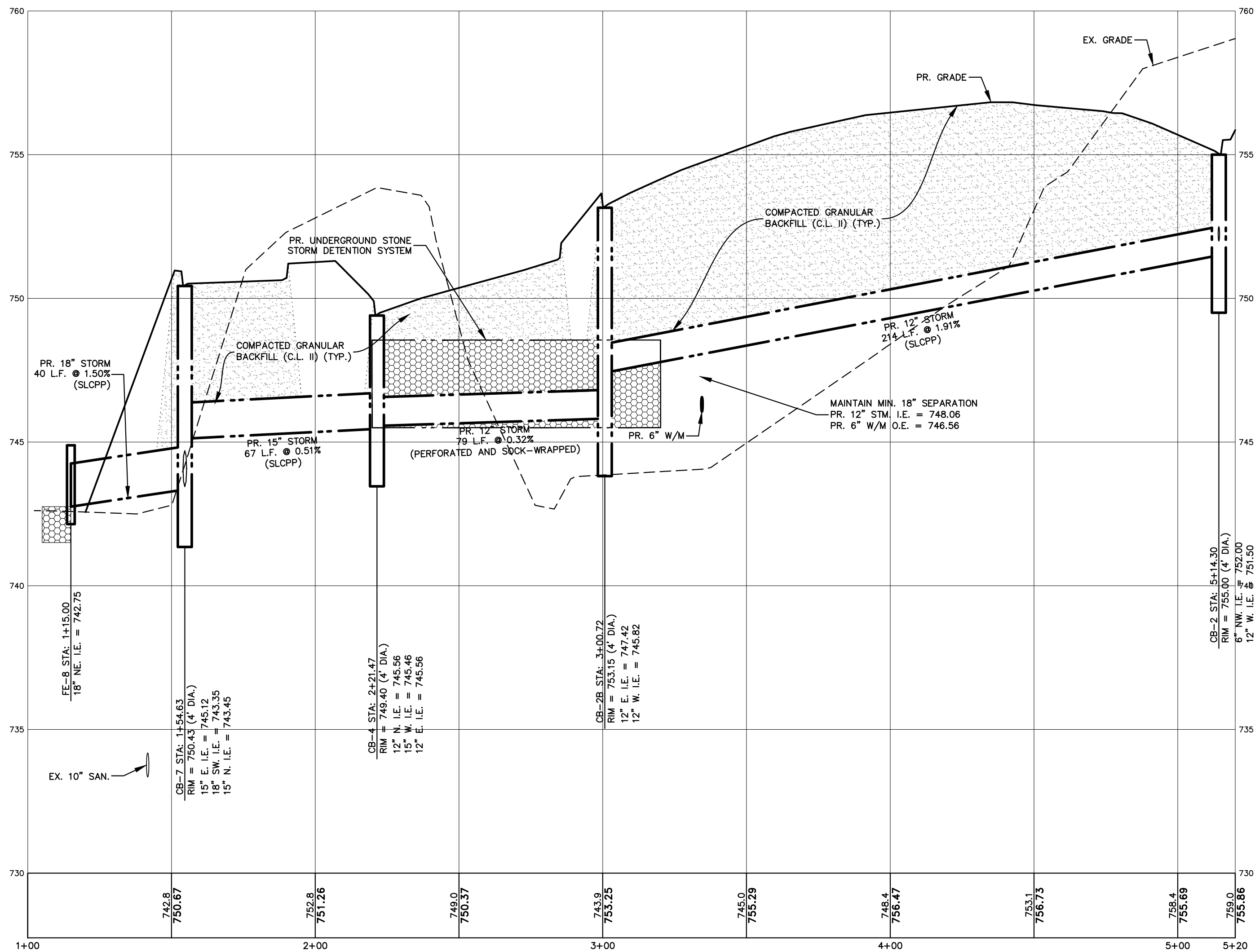
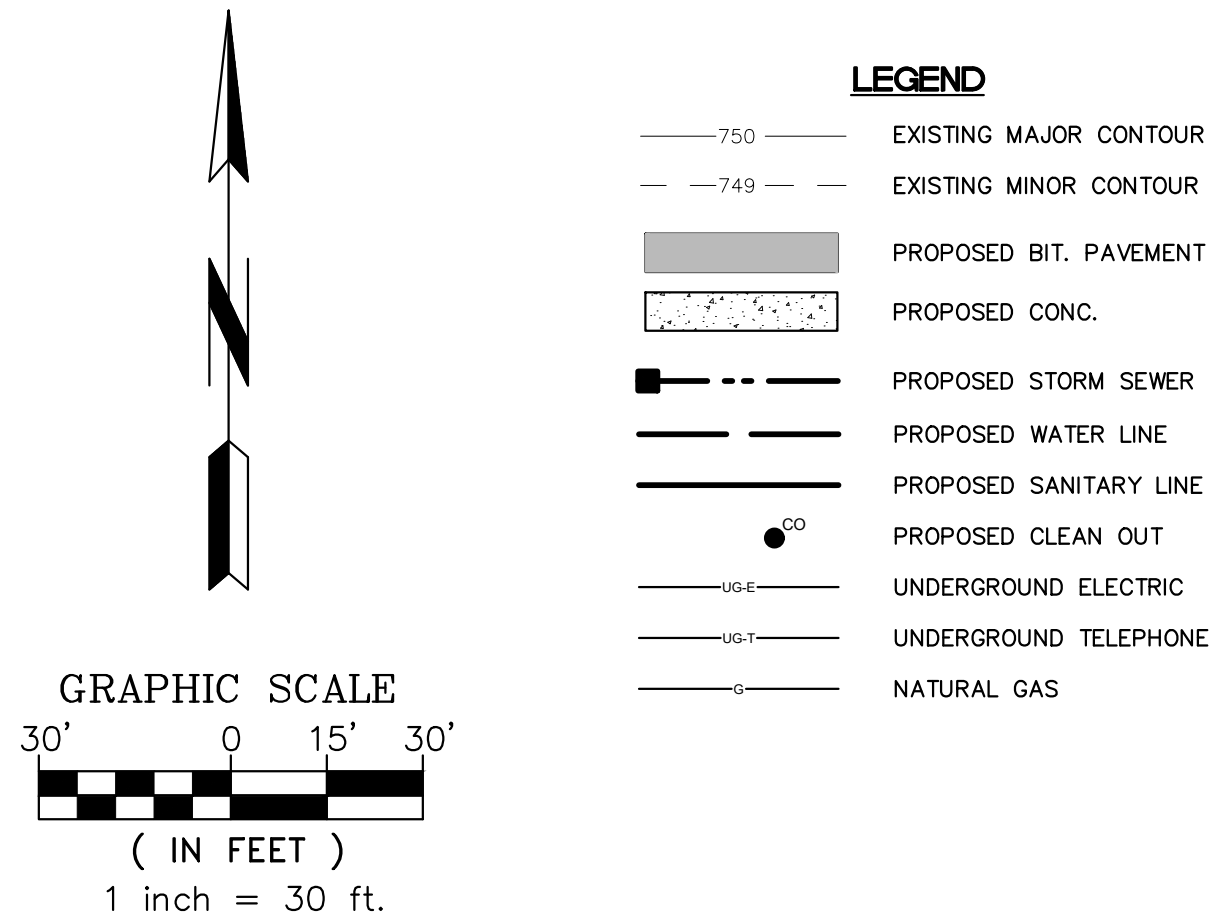
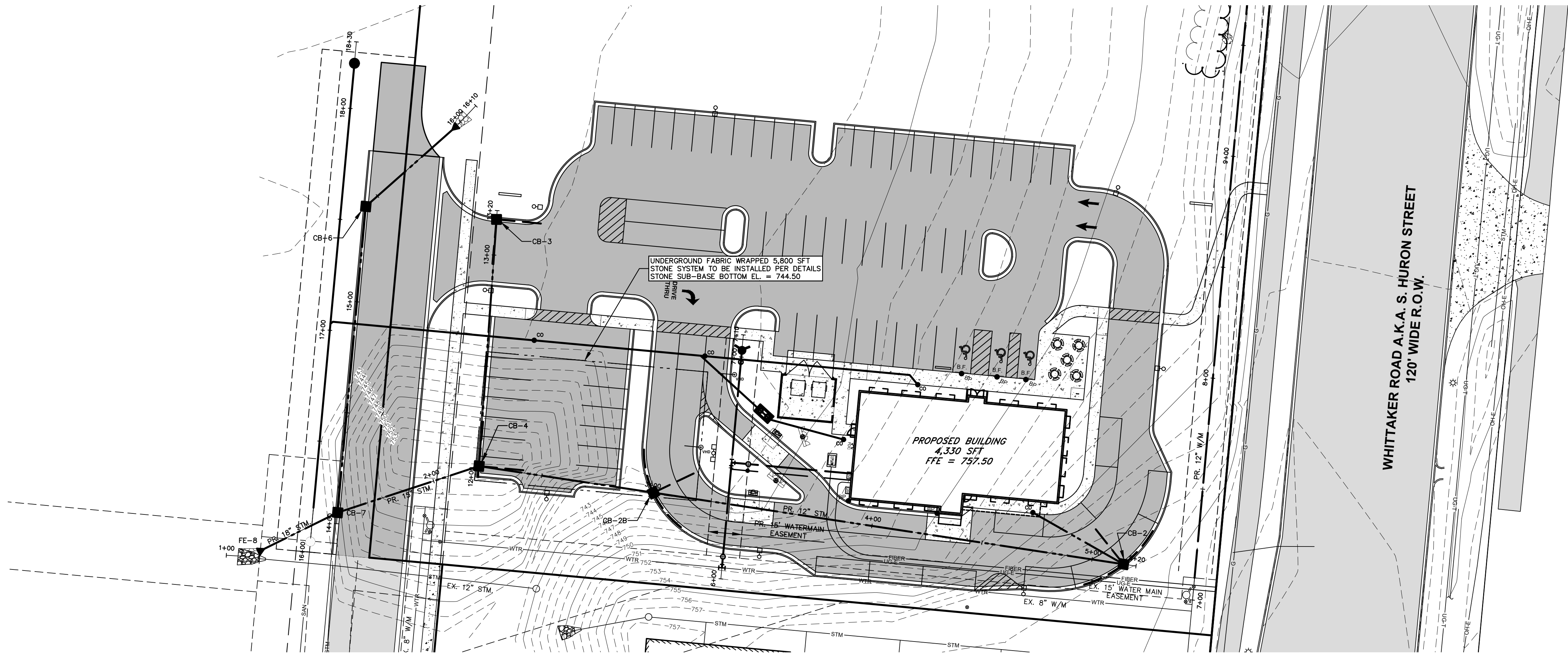
- LEGEND**
- 750 EXISTING MAJOR CONTOUR
  - 749 EXISTING MINOR CONTOUR
  - PROPOSED BIT. PAVEMENT
  - PROPOSED CONC.
  - PROPOSED STORM SEWER
  - PROPOSED WATER LINE
  - PROPOSED SANITARY LINE
  - PROPOSED CLEAN OUT
  - UNDERGROUND ELECTRIC
  - UNDERGROUND TELEPHONE
  - NATURAL GAS

**SANITARY PROFILE**  
SCALE: 1"=30' HORZ. 1"=3' VERT.

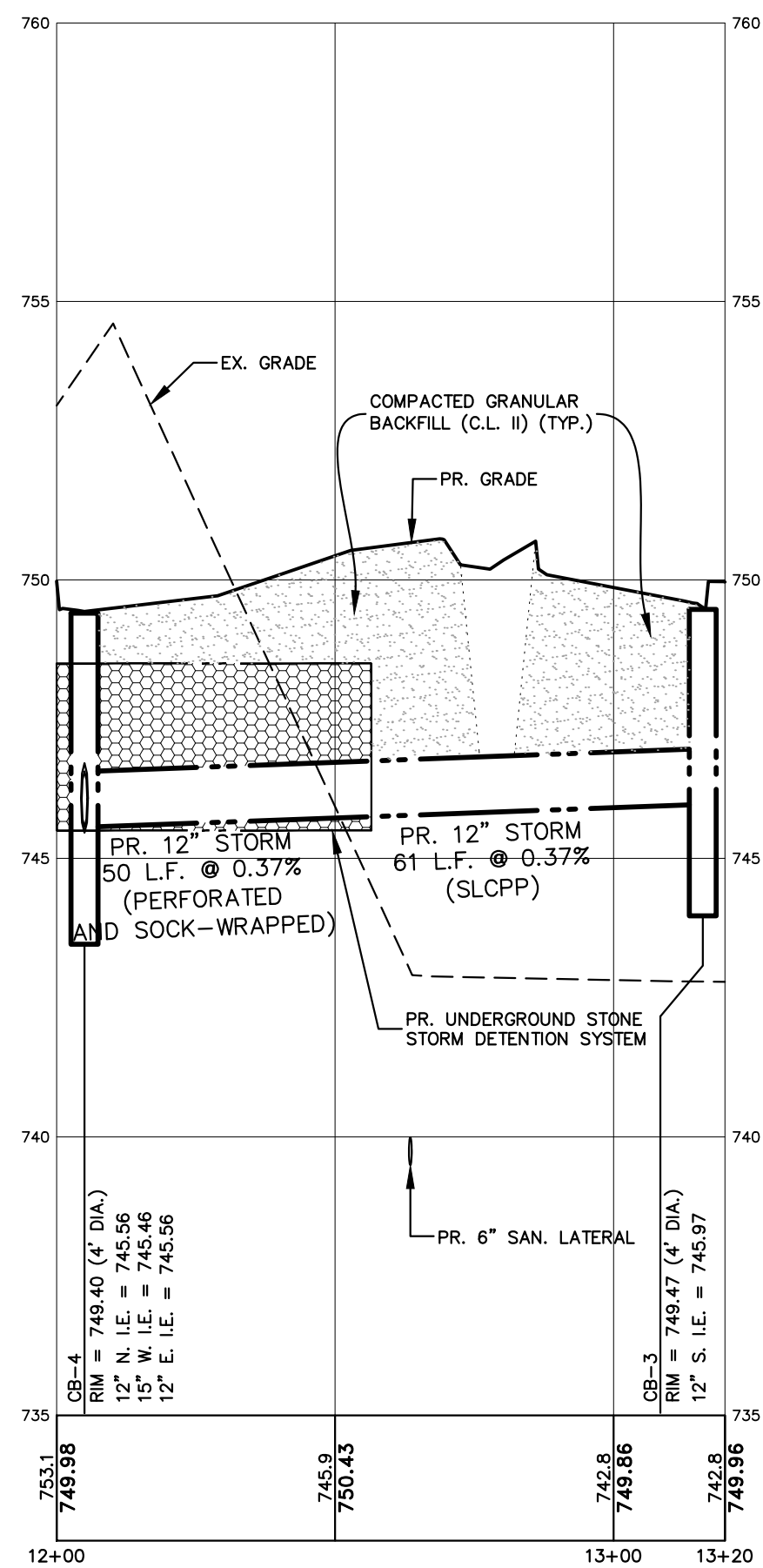
CLIENT: <b>UPH YPSILANTI, LLC</b> 49169 ALPHA DRIVE WIXOM, MI 48393 (248) 971-0252	SANITARY PROFILE PLAN CULVERS - YPSILANTI PART OF SECTION 16, T3S, R7E YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN	
	PROJECT NO. 231072	
	C-202	
	DRAWN BY: YS APPROVED BY: MDC DATE: JULY 18, 2024 REVISIONS: DECEMBER 20, 2024 TOWNSHIP COMMENTS	



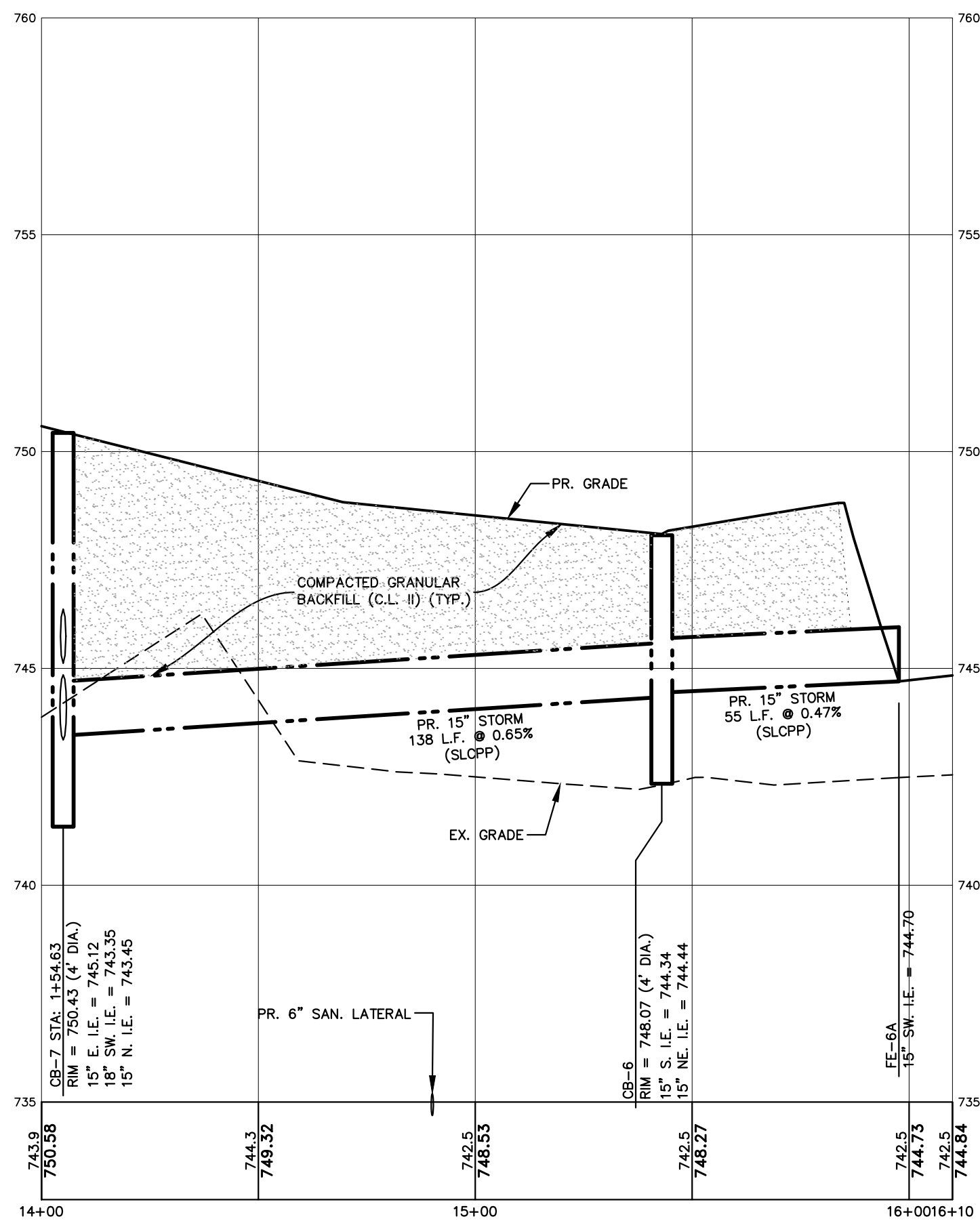
**Rooston & Associates**  
SURVEYING AND ENGINEERING  
2635 FARMFIELD AVE. SE  
GRAND RAPIDS, MI 49505  
TEL: (616) 361-7220



STORM SEWER PROFILE  
SCALE: 1"=30' HORZ. 1"=3' VERT.

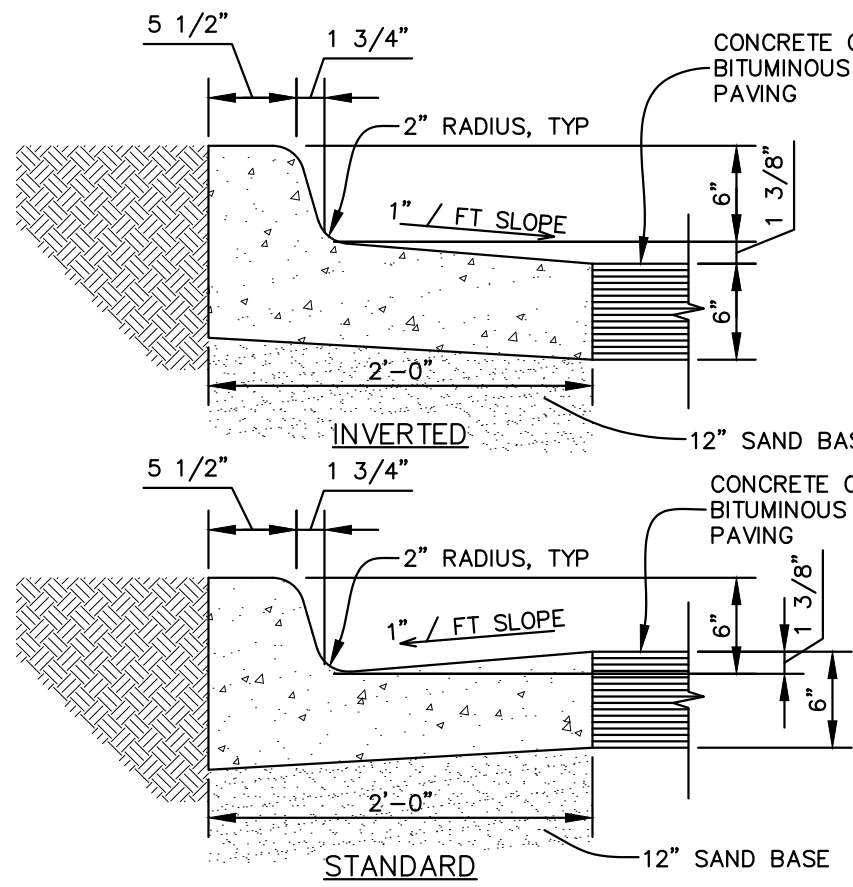


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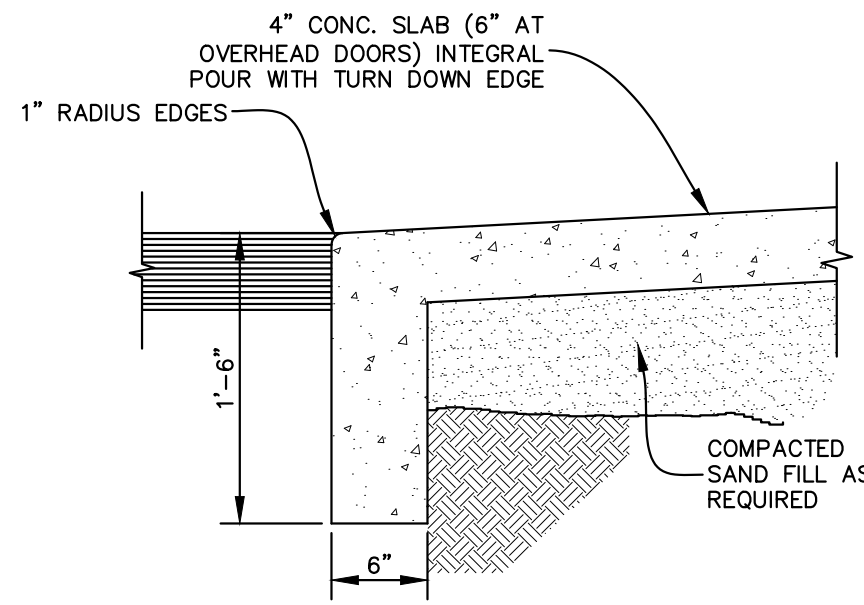


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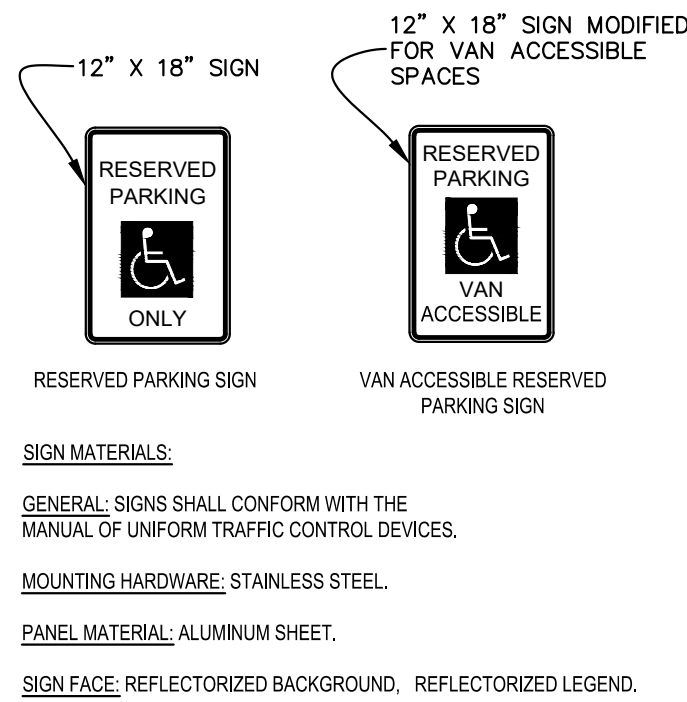




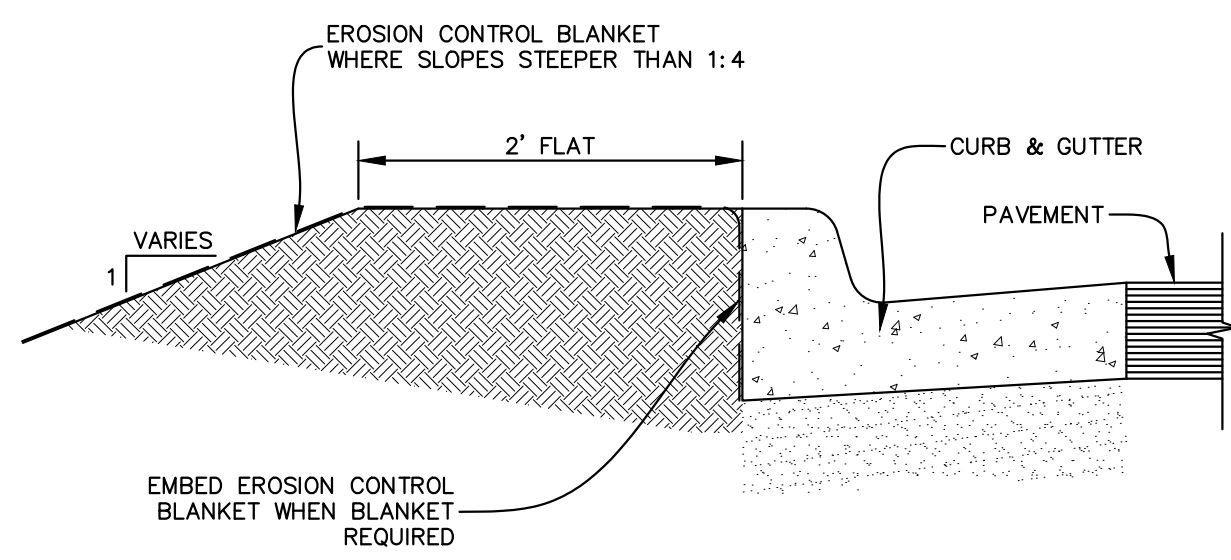
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NOT TO SCALE



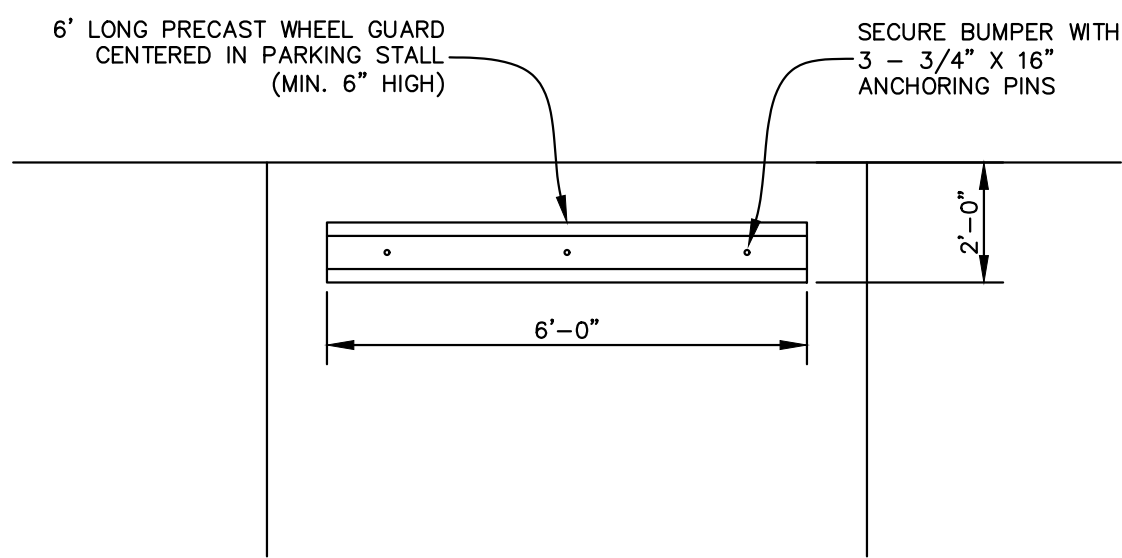
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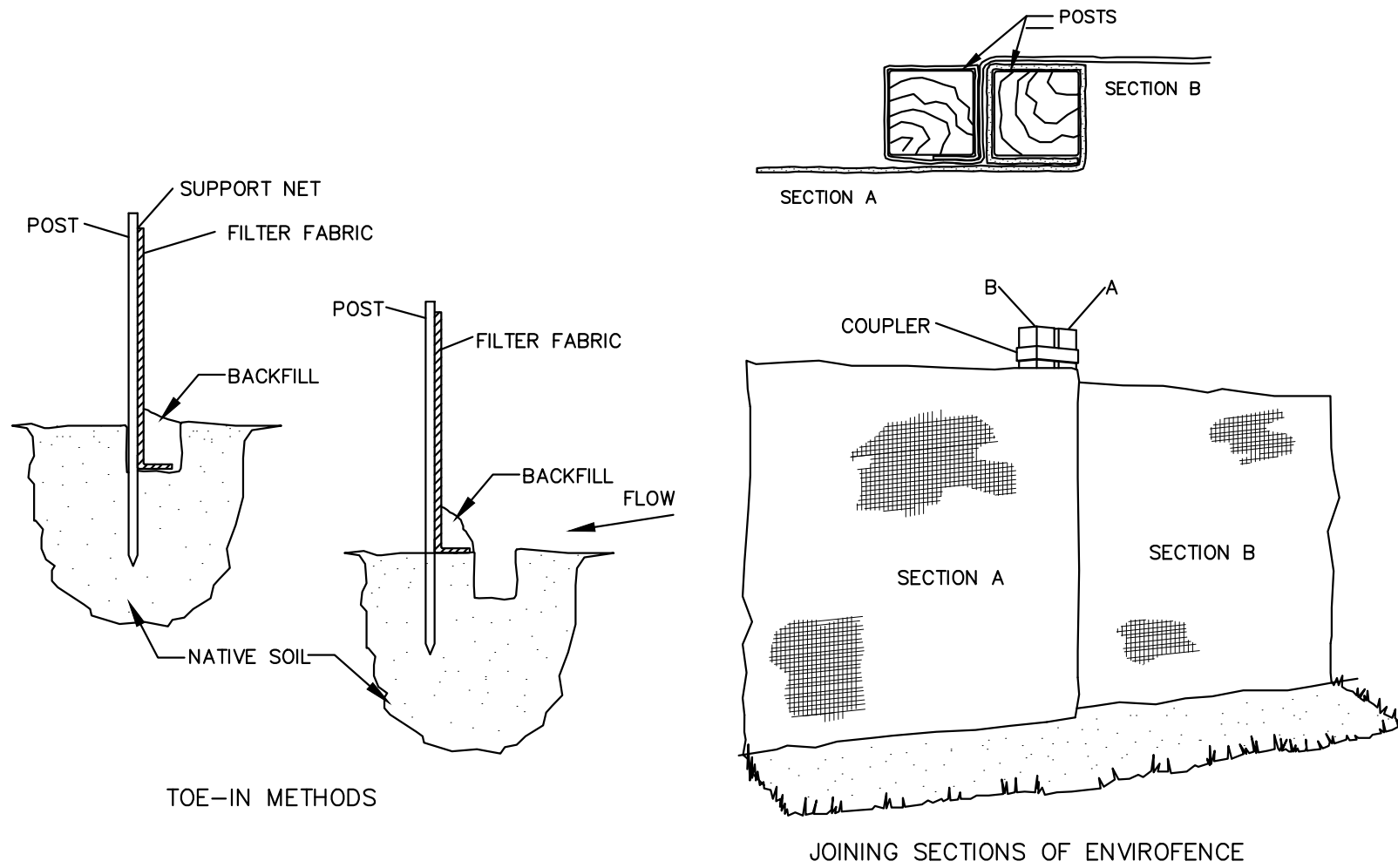
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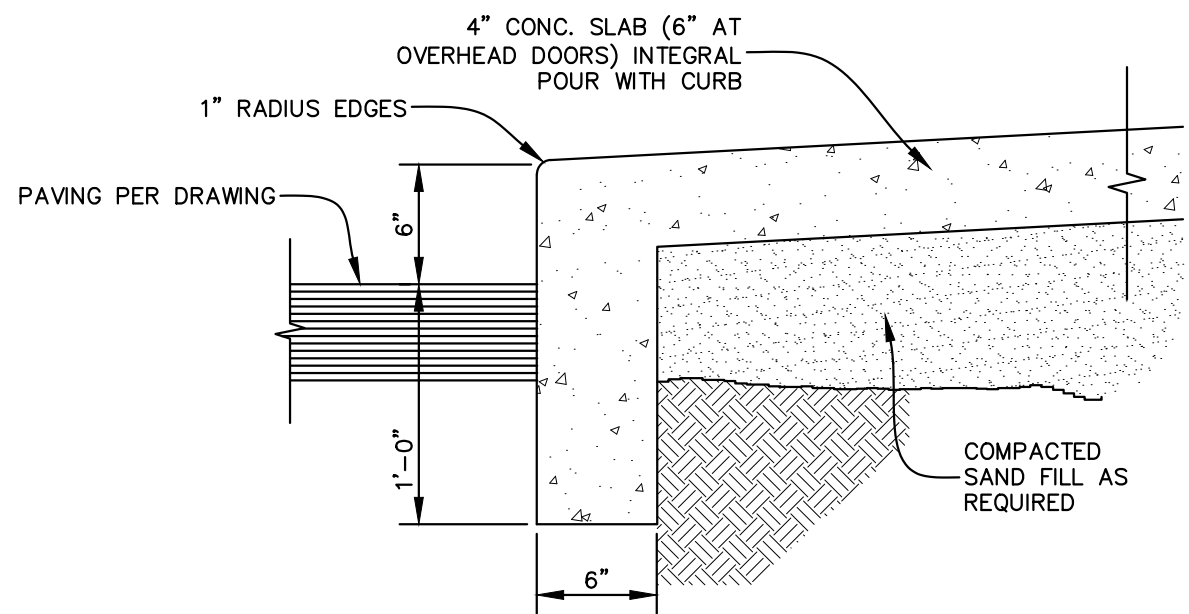
**SLOPE BEHIND CURB IN FILL SECTION**  
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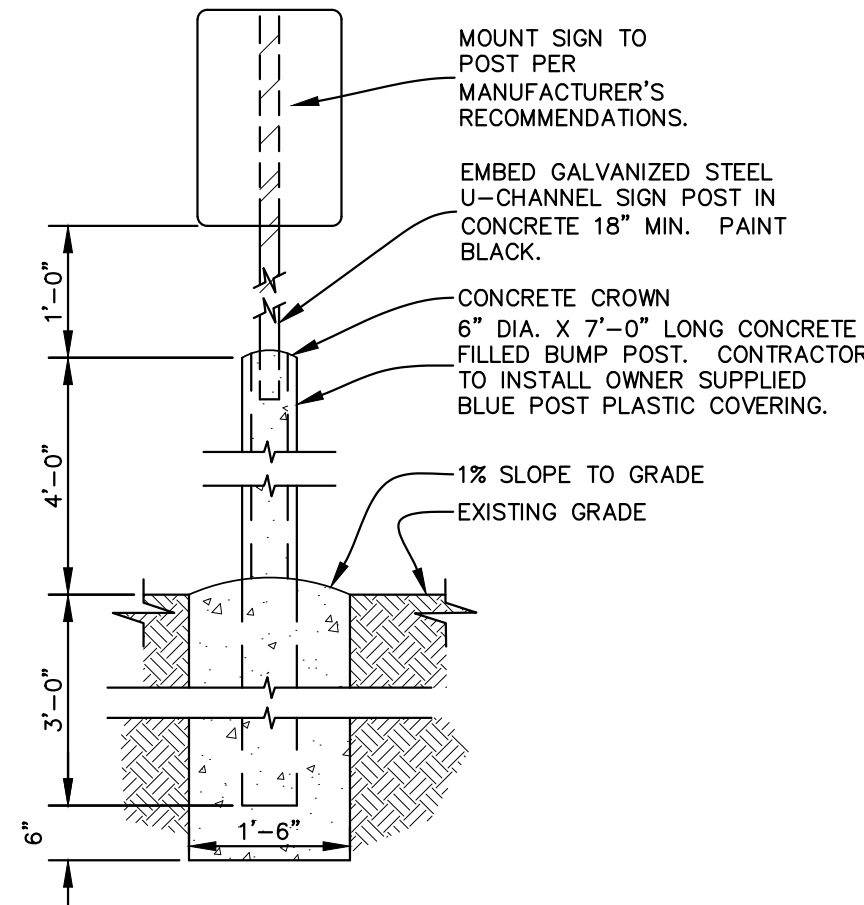
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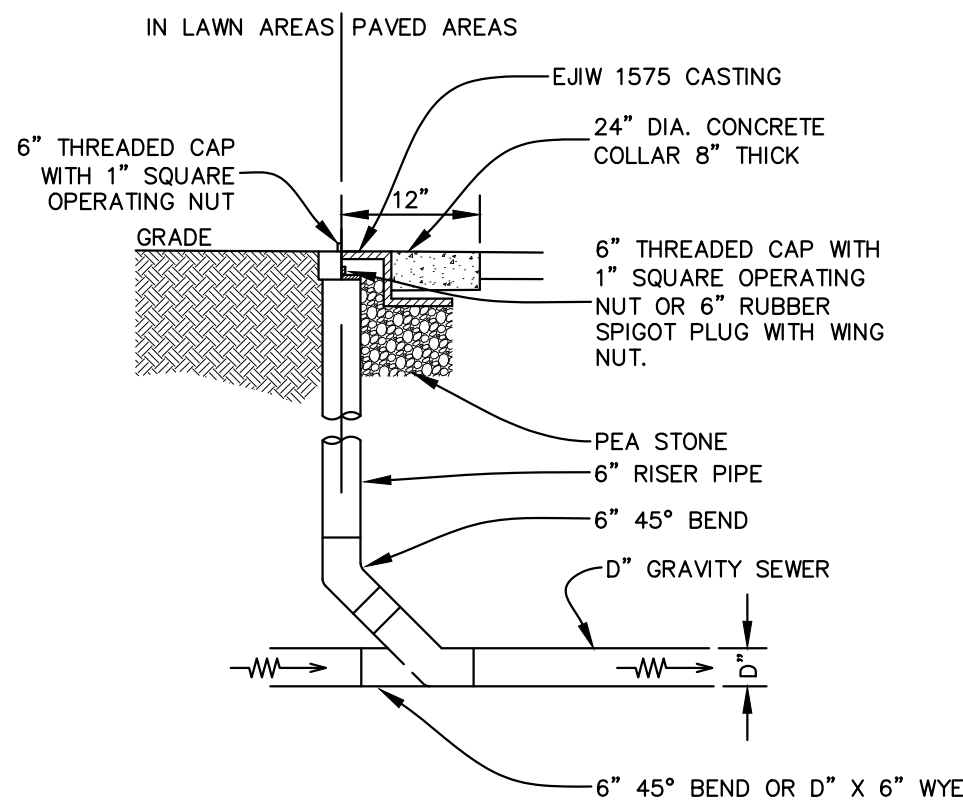
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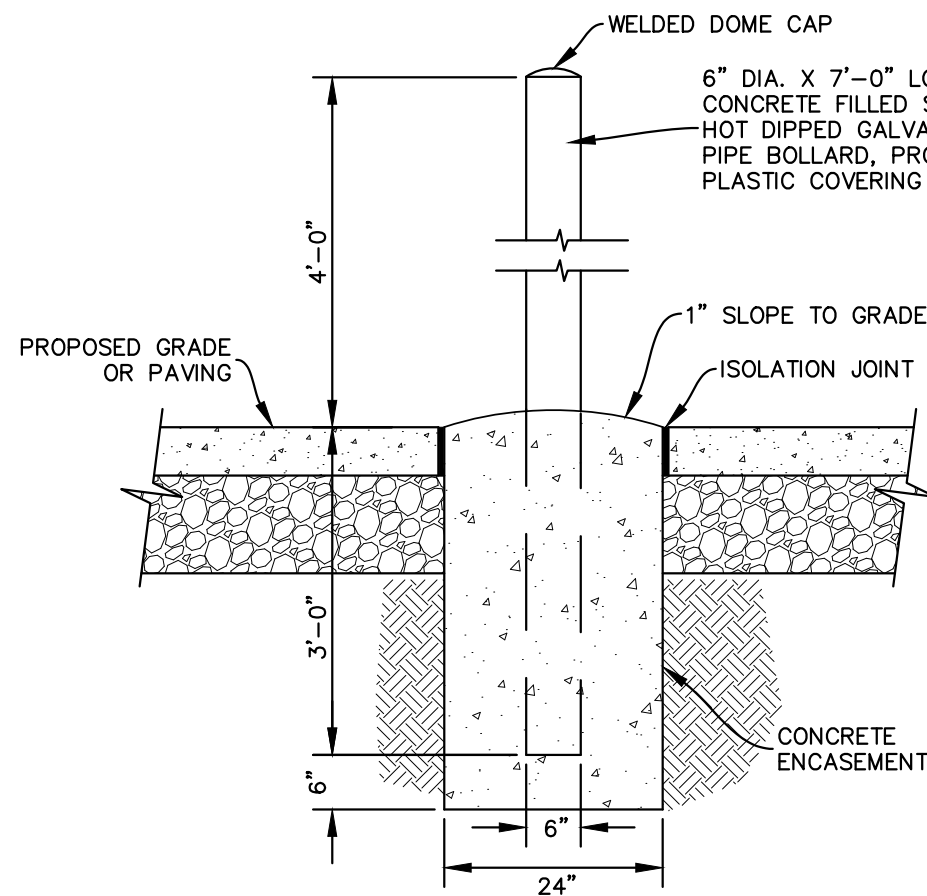
**RAISED SIDEWALK EDGE**  
NOT TO SCALE



**SIGN MOUNTED IN BUMP POST**  
NOT TO SCALE



**GRAVITY SEWER CLEAN OUT**  
NOT TO SCALE



**BUMP POST**  
NOT TO SCALE

**INLET PROTECTION - FABRIC DROP SPECIFICATIONS**

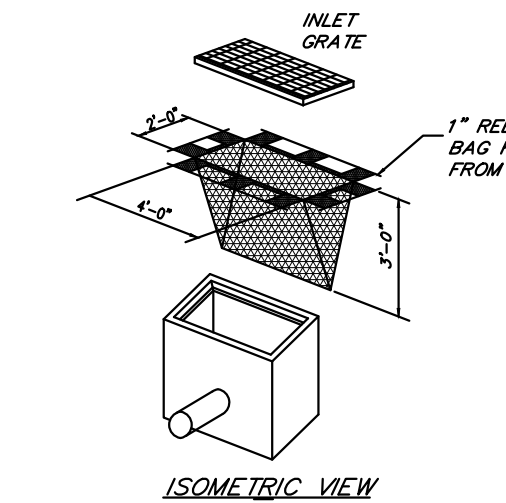
S58

- When** • When sediment laden stormwater requires treatment before entering a stormwater drainage system.
- Why** • To prevent sediment from entering stormwater systems.
- Where** • Use in or at stormwater inlets, especially at construction sites or in streets.
- How** 1. A filter fabric bag is hung inside the inlet, beneath the grate.  
2. Replace grate, which will hold bag in place.  
3. Anchor filter bag with 1" rebar for removal from inlet.  
4. Flaps of bag that extend beyond the bag can be buried in soil in earth areas.
- Maintenance** • Drop inlet filters should be inspected routinely and after each major rain event.  
• Damaged filter bags should be replaced.  
• Clean and/or replace filter bag when 1/2 full.  
• Replace clogged fabric immediately.  
• If needed, initiate repairs immediately upon inspection.  
• Remove entire protective mechanism when upgradient areas are stabilized and streets have been swept.
- Limitations** • Can only accommodate small flow quantities.  
• Requires frequent maintenance.  
• Ponding may occur around storm drains if filter is clogged.

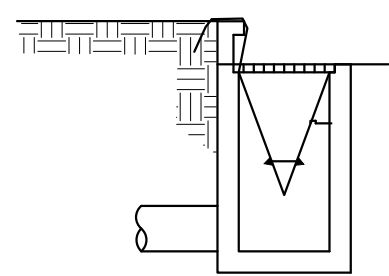


**INLET PROTECTION - FABRIC DROP**

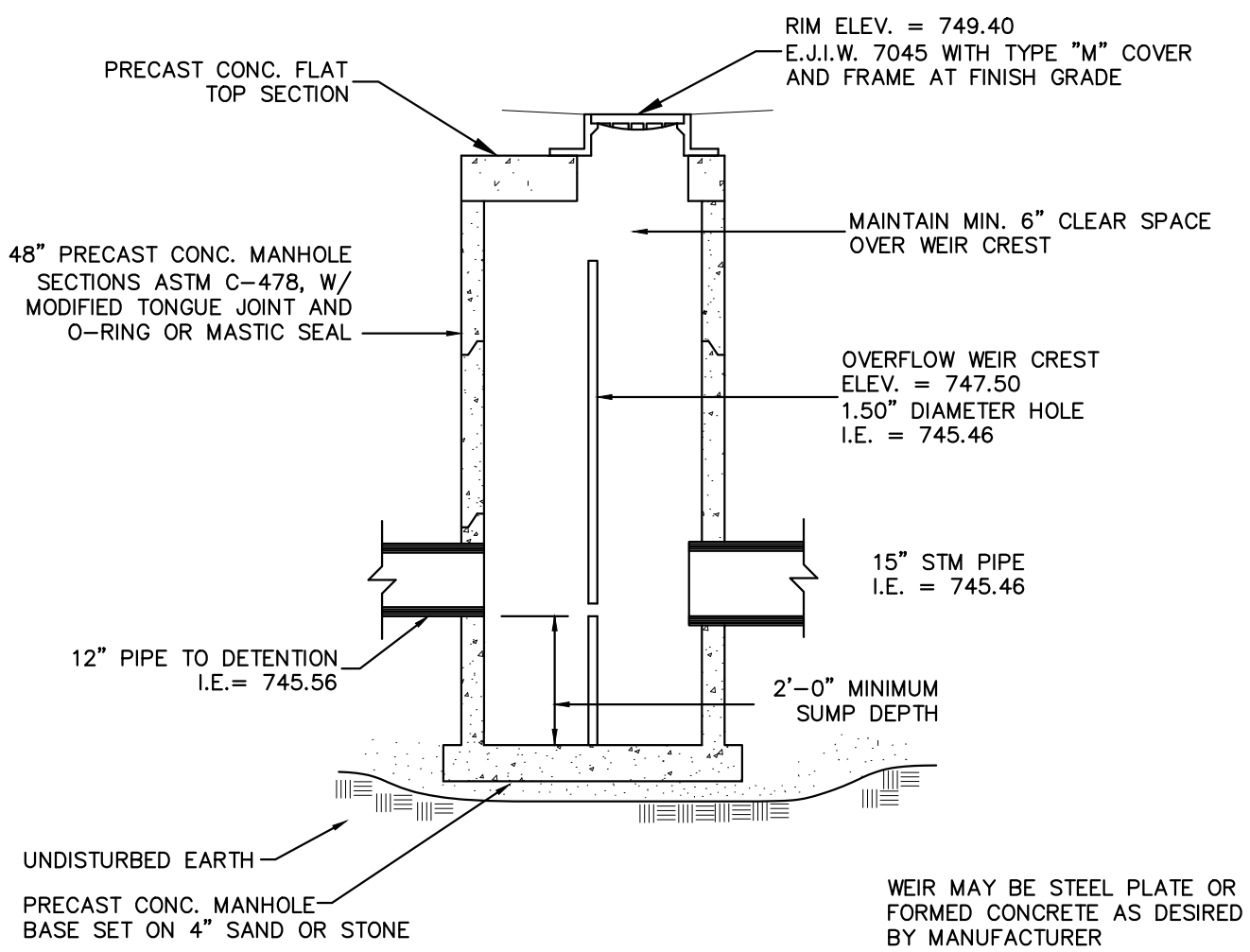
S58



ISOMETRIC VIEW



INSTALLATION DETAIL



**CB-4 WITH WEIR**  
NOT TO SCALE

**PROJECT NOTES AND SPECIFICATIONS**

**GENERAL NOTES**

- A) ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, CODES, RULES AND REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED BY STATE AND LOCAL AGENCIES RELATED TO SOIL EROSION AND SEDIMENTATION.
- B) ALL ITEMS OF WORK NOT COVERED BY THESE SPECIFICATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE YPSILANTI TOWNSHIP SPECIFICATIONS AND IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE OF MICHIGAN DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR CONSTRUCTION. THE MOST STRINGENT REQUIREMENTS AS LISTED IN THE GEOTECHNICAL REPORT, PLANS AND SPECIFICATIONS SHALL APPLY.
- C) ALL LOCATIONS OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. EXACT LOCATIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE BEGINNING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR CONTACTING MISS DIG AT 811/482-7171 AT LEAST 3 WORKING DAYS PRIOR TO ANY UNDERGROUND CONSTRUCTION.
- D) CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER 48 HOURS BEFORE WORK BEGINS.
- E) ROOSSEN AND ASSOCIATES AS THE DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE OR LIABLE FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE DRAWINGS, SPECIFICATIONS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH RISE FROM OTHERS' FAILURE TO OBTAIN AND FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

F) CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY, CONSTRUCTION MEANS, CONTROLS, TECHNIQUES, SEQUENCES AND PROCEDURES.

**GENERAL SPECIFICATIONS**

- A) ALL CONSTRUCTION AREAS SHALL BE CLEARED OF ALL TREES, BRUSH, WEEDS, ETC. ALL SPOIL MATERIAL IS TO BE DISPOSED OF IN AREAS DESIGNATED BY THE OWNER AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- B) STRIP ALL TOPSOIL AND ORGANIC MATERIAL ON SITE WITHIN THE CONSTRUCTION LIMITS OF THE PROJECT WHERE GRADES ARE TO BE CHANGED, OR IN AREAS TO BE IMPROVED. IF MATERIAL IS FREE OF ROOTS, ROCKS AND DEBRIS, AND IS APPROVED BY THE ENGINEER, IT SHALL BE TEMPORARILY STOCKPILED ON SITE FOR LATER USE.
- C) CONSTRUCTION ACCESS AND MATERIAL STORAGE IS LIMITED TO THE AREAS DESIGNATED ON THE DRAWINGS OR AS APPROVED BY THE OWNER.
- D) WHERE IT IS NECESSARY TO WORK OUTSIDE THE PROPERTY CONTROLLED BY THE OWNER, THE CONTRACTOR SHALL OBTAIN LEGAL AUTHORITY FROM ADJACENT PROPERTY OWNERS TO COMPLETE THE WORK AS OUTLINED IN THESE DOCUMENTS.
- E) ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE BROUGHT TO FINISH GRADES AS SHOWN ON THE DRAWINGS. ALL AREAS DISTURBED SHALL BE RESTORED WITH A MINIMUM OF 4" OF TOPSOIL, SEEDED AND MULCHED.
- F) THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION ON THE NEED FOR IMPORTED OR EXPORTED MATERIAL. THE PROPOSED GRADING PLAN MAY NOT PROVIDE FOR A "BALANCED" SITE.
- G) ALL AREAS DISTURBED DUE TO SITE ACCESS SHALL BE RESTORED TO THE PRECONSTRUCTION CONDITION OR BETTER.
- H) BACKFILL AND COMPACTION: ALL BACKFILL SHALL BE CLEAN, FREE OF LARGE ROCKS, DEBRIS AND ORGANIC MATERIAL. COMPACT ALL BACKFILL TO 95% OF MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST, ASTM D-1557. BACKFILL SHALL BE PLACED IN A MAXIMUM OF 12" LIFTS.
- I) STORM SEWER CATCH BASINS AND OUTLET STRUCTURES TO BE 4' DIA., UNLESS OTHERWISE NOTED. ALL CATCH BASINS SHALL HAVE A 2' DEEP SUMP. CATCH BASIN GRATE SHALL BE E.J.W. #7045 TYPE M1 UNLESS OTHERWISE NOTED.

**SITE CONCRETE FLATWORK**

A) MATERIALS: READY MIXED CONCRETE: ASTM C94. MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 3,500 PSI FOR ALL EXTERIOR CONCRETE. 1. SLUMP RANGE: 2 INCHES TO 4 INCHES. 2. AIR CONTENT: 4 PERCENT TO 7 PERCENT. 3. LIMESTONE AGGREGATE SHALL BE USED.

B) CURING MATERIAL: ASTM C171 WHITE, OPAQUE POLYETHYLENE FILM TYPE.

C) EXPANSION JOINT FILLERS: SHALL BE ASTM D1751 PREFORMED, BITUMINOUS FIBER TYPE WITH EXPANSION BOARD CAP AND REMOVABLE TOP CAP SECTION.

D) CONCRETE SEALER: SEALANT TO BE 2-PART URETHANE PAVING SEALANT. SEALANT TO BE POURABLE, CHEMICALLY CURING COMPLYING WITH FS SS-5-200 WITH MINIMUM MOVEMENT CAPABILITY OF 12.5 PERCENT. HYDRO20, ENVIROSEAL 40.

E) CONSTRUCTION JOINTS FLATWORK 1) MAXIMUM DISTANCE BETWEEN EXPANSION JOINTS 100 FEET, UNLESS OTHERWISE SHOWN. SCORE CONTROL JOINTS EQUAL TO THE WIDTH OF THE WALK, OR DRIVE BUT NOT TO EXCEED THE LESSER OF 12 FEET OR 24 TIMES THE THICKNESS. 2) INSTALL EXPANSION JOINTS MATERIAL AT ABUTMENT TO CURBS AND ADJACENT STRUCTURES, UNLESS OTHERWISE SHOWN.

F) CONSTRUCTION JOINTS CURBS AND GUTTERS 1) MAXIMUM CONSTRUCTION BETWEEN EXPANSION JOINTS 20 FEET, STRAIGHT CURB 10 FEET.

G) PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH DETAIL SHOWN ON THIS DRAWING.

H) PRIOR TO PLACEMENT OF GRAVEL, THE SAND SUBBASE SHALL BE ROLLED TO OBTAIN A MINIMUM OF 95% OF MAXIMUM DENSITY PER THE MODIFIED PROCTOR TEST, ASTM D-1557

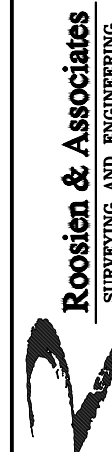
I) PRIOR TO PLACEMENT OF ASPHALT, THE GRAVEL SHALL BE PROOF ROLLED AND COMPACTED TO 98% OF MAXIMUM UNIT DENSITY PER THE MODIFIED PROCTOR TEST, ASTM D-1557

**STRIPING**

- A) PARKING LOT STRIPING SHOULD FOLLOW THE BELOW COLOR SCHEDULE.  
- PARKING AND STORAGE LOT STALLS SHOULD BE STRIPED IN YELLOW PAINT.  
- BARRIER-FREE STALLS SHOULD BE STRIPED IN BLUE PAINT
- B) FOR UNCURED SURFACES USE SETFAST WATERBORNE TRAFFIC MARKING PAINT.

REVISIONS:

DRAWN BY: VS  
APPROVED BY: JDC  
DATE: JULY 18, 2024  
REVISIONS:  
DECEMBER 20, 2024 TOWNSHIP COMMENTS



4835 PLANKFIELD AVE. SE WALKER, MI 48090-4505  
TEL: (616) 361-7220

DETAIL PLAN  
CULVERS - YPSILANTI  
PART OF SECTION 16, T3S, R7E  
YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

CLIENT:  
UPH YPSILANTI, LLC  
49169 ALPHA DRIVE  
WIXOM, MI 48393  
(248) 971-0252

PROJECT NO.  
231072

C-501



Section 130: Landscape Requirements

B. General landscaping.

(1) A mixture of evergreen and deciduous trees shall be planted at the rate of one (1) tree for each one thousand (1,000) square feet or fraction thereof of lawn area.

(2) One (1) shrub for every five hundred (500) square feet or fraction thereof of lawn area.

Provided based on 24,254 sf of lawn area: 33 deciduous trees, 3 ornamental trees, 3 evergreen trees and 137 shrubs (note: total number of trees and shrubs for entire site)

C. Street yard landscaping.

Whenever, in this ordinance, a landscaped setback is required between a public or private street and a parking or building setback, all such yards shall be landscaped in accordance with the following:

(1) A minimum of one (1) large deciduous tree shall be planted for each forty (40) lineal feet of frontage, or portion thereof, plus

(2) A minimum of one (1) ornamental tree shall be planted for each one hundred (100) lineal feet of frontage or portion thereof, plus

(3) A minimum of one (1) shrub shall be planted for each ten (10) lineal feet of frontage, or portion thereof.

(4) Creative placement of the trees, such as staggering, clustering, and/or other methods, is encouraged in an effort to eventually achieve a canopy.

Provided based on 251 in. ft. of street frontage: 6 canopy trees, 3 ornamental trees and 34 shrubs.

D. Parking lot landscaping

(1) Interior requirements:

One (1) large deciduous tree shall be required for each two thousand (2,000) square feet of paved driveway and parking lot surface, provided that no less than two (2) trees are provided.

Provided based on 37335 sf of pavement: 13 trees

(2) Perimeter

Canopy trees shall be provided along the perimeter of a parking lot at a minimum rate of one (1) tree per forty (40) feet of lot perimeter; however, trees need not be planted on forty (40) foot centers.

Provided based on 400 lf of perimeter: 24 trees

Where an off-street parking area is located within a required front yard, a landscape berm or continuous minimum three (3) foot tall hedge row shall be provided within the greenbelt between parking area and the road right-of-way.

Provided 36" tall shrub screen

Quantity	Common Name	Latin Name	Planted Size
7	Brandywine Red Maple	Acer rubrum 'Brandywine'	2 1/2" cal. (B4B)
4	Red Oak	Quercus rubra	2 1/2" cal. (B4B)
3	Ginkgo Tree	Ginkgo biloba	2 1/2" cal. (B4B)
7	Columnar Hornbeam	Carpinus betulus 'Frans Fontaine'	2 1/2" cal. (B4B)
7	Boulevard American Linden	Tilia americana 'Boulevard'	2 1/2" cal. (B4B)
3	Kousa Dogwood	Cornus Kousa	2 1/2" cal. (B4B)
1	Royal Raindrops Flowering Crab	Malus 'Royal Raindrops'	2 1/2" cal. (B4B)
3	Serbian Spruce	Picea omorika	6' ht. (B4B)
12	Double Play Red Spirea	Spirea japonica 'Double Play Red'	24" spd. (pot)
13	Little Henry Itsea	Itea virginica 'Sprich'	30" ht. (pot)
13	Dwarf Red Twig Dogwood	Cornus stolonifera 'Artic Fire'	36" ht. (pot)
23	Hick's Yew	Taxus 'Hicksii'	36" ht. (pot)
12	Dwarf Korean Lilac	Syringa meyeri 'Palibin'	36" ht. (pot)
20	Blue Arrow Juniper	Juniperus virginiana 'Blue Arrow'	5' ht. (B4B)
17	Spilled Wine Weigela	Weigela florida 'Bokraspiwi'	24" spd. (pot)
11	Pink Summersweet	Clethra alnifolia 'Ruby Spice'	36" ht. (pot)
16	Doubs Frosted Juniper	Juniperus chinensis 'Doubs Frosted'	24" spd. (pot)
21	Heavy Metal Switch Grass	Panicum virgatum 'Heavy Metal'	1 gal. (pot)
5	Orange Coneflower	Echinacea sombrero 'Adobe Orange'	1 gal. (pot)
13	Silvery Sunproof Lily Turf	Liriope 'Silvery Sunproof'	1 gal. (pot)

Plant List

1413 SEASIDE DRIVE  
K-11-17-363-000  
DEMCO 24 LLC  
ZONED: TC, TOWN  
CENTER, SITE TYPE A

3 Heavy Metal Switch Grass (1 gal.)  
3 Ginkgo Tree (2 1/2" cal.)  
3 Ginkgo Tree (2 1/2" cal.)  
Hydroseeded Lawn  
Hydroseeded Lawn  
Hydroseeded Lawn  
2 Brandywine Red Maple (2 1/2" cal.)

225 JOE HALL  
DRIVE  
K-11-17-363-000  
DEMCO 24 LLC  
ZONED: TC, TOWN  
CENTER, SITE TYPE A

372A4020W 131.14'

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372A4020W 1







Tree Inventory List

Job Number:0257

Job Location:1410 South Huron St, Ypsilanti

Date:12/6/2024

Performed By:A. Simon

Condition Description Notes:

"Good" - no observed structural defects\*

"Fair" - minor structural defects, marginal form, some insect activity noted\*

"Poor" - major structural defects, poor form, insect infested\*

\*Structural defects may include decayed wood, cracks, root problems, weak branch unions

cankers, poor tree architecture, dead/failed branches due to various causes.

Tree #	Tag #	Dia. (in)	Other Dia.	Botanical Name	Common Name	Condition	Comment 1	Comment 2
1	1541	9.4		Acer negundo	boxelder	fair	asymmetric crown	
2	1542	9.5	5.4	Acer negundo	boxelder	fair	co-dominant trunks	heavy vine
3	1543	14.9		Acer negundo	boxelder	fair	asymmetric crown	heavy vine
4	1544	10.8		Acer negundo	boxelder	fair	pruned for OH lines	asymmetric crown
5	1545	14.2		Acer negundo	boxelder	fair	pruned for OH lines	twisted or bent trunk
6	1546	26.4	23	Acer negundo	boxelder	fair	pruned for OH lines	leaning
7	1547				tag not used			
8	1548				tag not used			
9	1549	26.2		Populus deltoides	eastern cottonwood	fair	pruned for OH lines	asymmetric crown
10	1550	30		Populus deltoides	eastern cottonwood	fair	pruned for OH lines	co-dominant trunks at 5 ft
11	1551	17		Populus deltoides	eastern cottonwood	fair	pruned for OH lines	asymmetric crown
12	1552	10.5	6.1	Acer negundo	boxelder	fair	co-dominant trunks	45 degree lean
13	1553	7.3		Acer negundo	boxelder	fair	asymmetric crown	leaning
14	1554	7.8		Acer negundo	boxelder	fair	asymmetric crown	suckers
15	1555	8.1		Acer negundo	boxelder	fair	heavy vine	
16	1556	27		Acer negundo	boxelder	good		
17	1557	4.6		Ulmus americana	American elm	good		
18	1558	11.1	9.5	Morus alba	white mulberry	fair	co-dominant trunks	heavy vine
19	1559	15.5	13	Acer negundo	boxelder	fair	co-dominant trunks	broken or dead limbs
20	1560	23		Acer negundo	boxelder	good		
21	1561	21		Populus deltoides	eastern cottonwood	good		
22	1562	13.2		Acer negundo	boxelder	fair	asymmetric crown	
23	1563	8.4	5.8	Morus alba	white mulberry	fair	co-dominant trunks	asymmetric crowns
24	1564	9.9	9	Acer negundo	boxelder	fair	co-dominant trunks	asymmetric crowns
25	1565	26		Populus deltoides	eastern cottonwood	good		
26	1566	6.6		Acer negundo	boxelder	fair	asymmetric crown	leaning
27	1567	10		Acer negundo	boxelder	good		
28	1568	8.2		Populus deltoides	eastern cottonwood	good		
29	1569	11.8		Populus deltoides	eastern cottonwood	good		
30	1570	8		Populus deltoides	eastern cottonwood	good		
31	1571	11.2		Populus deltoides	eastern cottonwood	good		
32	1572	14.1		Acer negundo	boxelder	fair	missing over 30% bark	
33	1573	7.7		Acer negundo	boxelder	fair	asymmetric crown	leaning
34	1574	20.2		Ulmus americana	American elm	good		
35	1575	8		Acer negundo	boxelder	fair	twisted or bent trunk	
36	1576	6.4		Rhamnus cathartica	common buckthorn	fair	asymmetric crown	
37	1577	11.2	6	Morus alba	white mulberry	fair	40 degree lean	windfall leaning on tree
38	1578	12.8	10.7	Morus alba	white mulberry	fair	co-dominant trunks	
39	1579	8.2		Acer negundo	boxelder	good		
40	1580	7.5		Acer negundo	boxelder	good		
41	1581	6.3		Acer negundo	boxelder	poor	large crack in trunk	
42	1582	6.8		Acer negundo	boxelder	good		
43	1583	7.7		Acer negundo	boxelder	good		
44	1584	11	6.2	Morus alba	white mulberry	good	co-dominant trunks	
45	1585	6.4		Acer negundo	boxelder	fair	twisted or bent trunk	40 degree lean
46	1586	9.3		Acer negundo	boxelder	good		
47	1587	10.1		Acer negundo	boxelder	fair	twisted or bent trunk	
48	1588	20.5		Acer negundo	boxelder	fair	60 degree bend	heavy vine
49	1589	7.5		Celtis occidentalis	northern hackberry	fair	twisted or bent trunk	
50	1590	10.5		Morus alba	white mulberry	fair	twisted or bent trunk	heavy vine
51	1591	7.7		Acer negundo	boxelder	fair	broken or dead limbs	heavy vine
52	1592	6.8		Acer negundo	boxelder	good		
53	1593	10.1		Acer negundo	boxelder	good		
54	1594	6.7		Acer negundo	boxelder	good		
55	1595	6.2		Acer negundo	boxelder	good		
56	1596	9.3		Acer negundo	boxelder	fair	broken or dead limbs	
57	1597	7.3		Acer negundo	boxelder	good		
58	1598	6		Acer negundo	boxelder	fair	twisted or bent trunk	heavy vine
59	1599	7.3		Malus sp.	crabapple sp.			
60	1600	9.7		Acer negundo	boxelder	fair	broken or dead limbs	30 degree lean
61	3822	7.9		Acer negundo	boxelder	fair	twisted or bent trunk	
62	3823	7.8		Acer negundo	boxelder	fair	twisted or bent trunk	
63	3824	8.7	5	Acer negundo	boxelder	fair	co-dominant trunks	30 degree lean
64	3825	6.1	5.4	Morus alba	white mulberry	good	weeping at union	
65	3826	5.8		Ulmus americana	American elm	good	windfall leaning on tree	
66	3827	8.5		Acer negundo	boxelder	good		
67	3828	6		Acer negundo	boxelder	fair	45 degree lean	
68	3829	11		Acer negundo	boxelder	good		
69	3830	7.1		Acer negundo	boxelder	good		
70	3831	15.5	3	Acer negundo	boxelder	good		
71	3832	9.2		Ulmus americana	American elm	good		
72	3833	7.8		Populus deltoides	eastern cottonwood	good		
73	128	14.5	13.4	Acer negundo	boxelder	poor	co-dominant trunks	multiple dead trunks
74	134	18.1	15.3	Acer negundo	boxelder	fair	co-dominant trunks	twisted or bent trunks

PROJECT LOCATION

No. 1410 S. Huron St.  
Part of French Claim 681,  
Town 3 South, Range 7 East,  
Ypsilanti Township,  
Washtenaw County, Michigan

SHEET

Topographic  
Tree  
ALTA/NSPS Land Title Survey



REVISIONS

12-10-24 ADD TREE SURVEY


DRAWN BY:  
J. Nelson

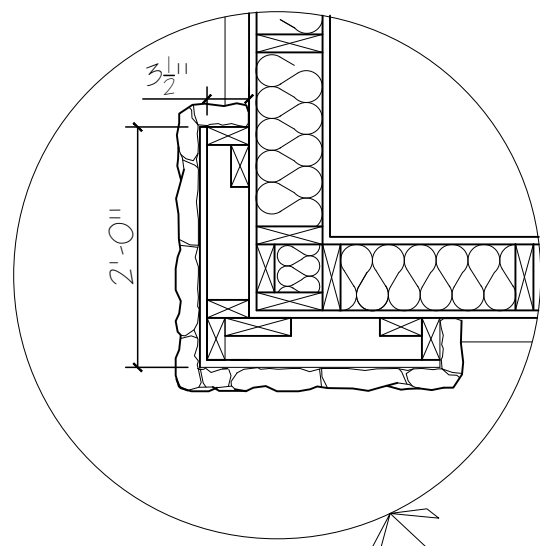
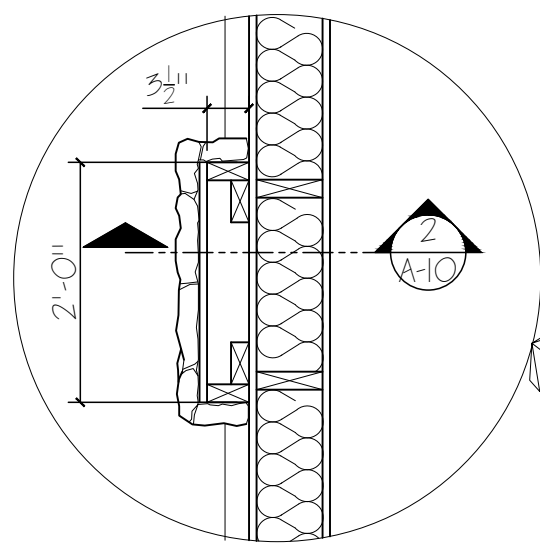
PROJECT MANAGER:  
B. Fraus

APPROVED BY:  
K. Navaroli

EMAIL:  
knavaroli@nfe-engr.com

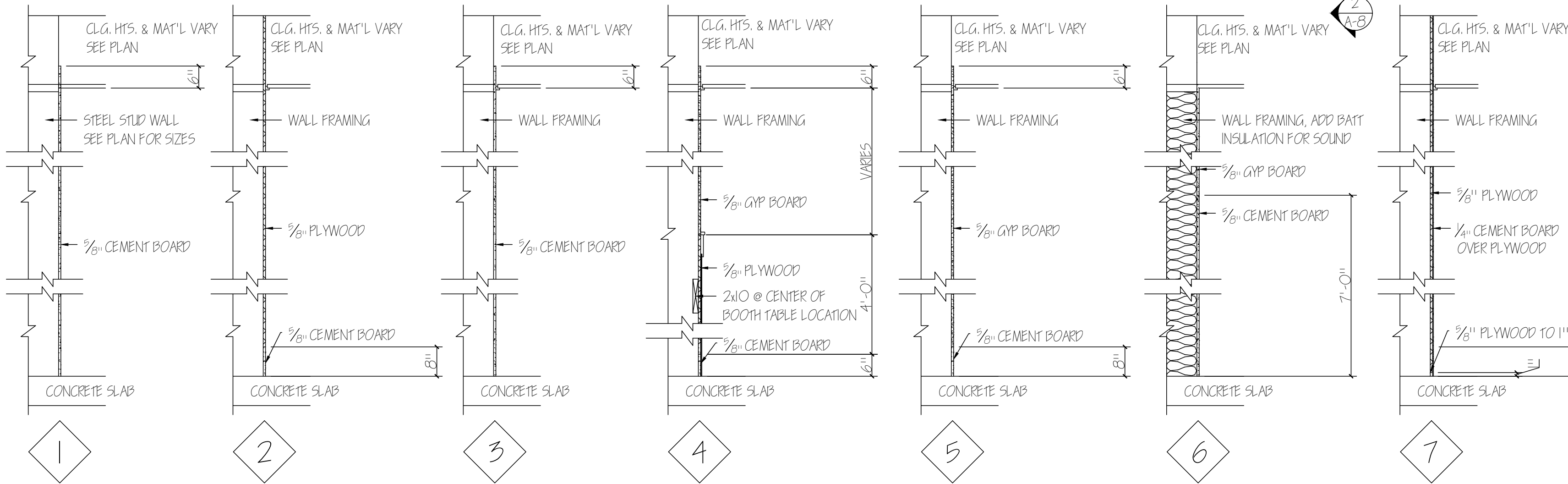
DATE:  
August 05, 2024





WALL TYPE DETAILS

SCALE: 1/2" = 1'-0"

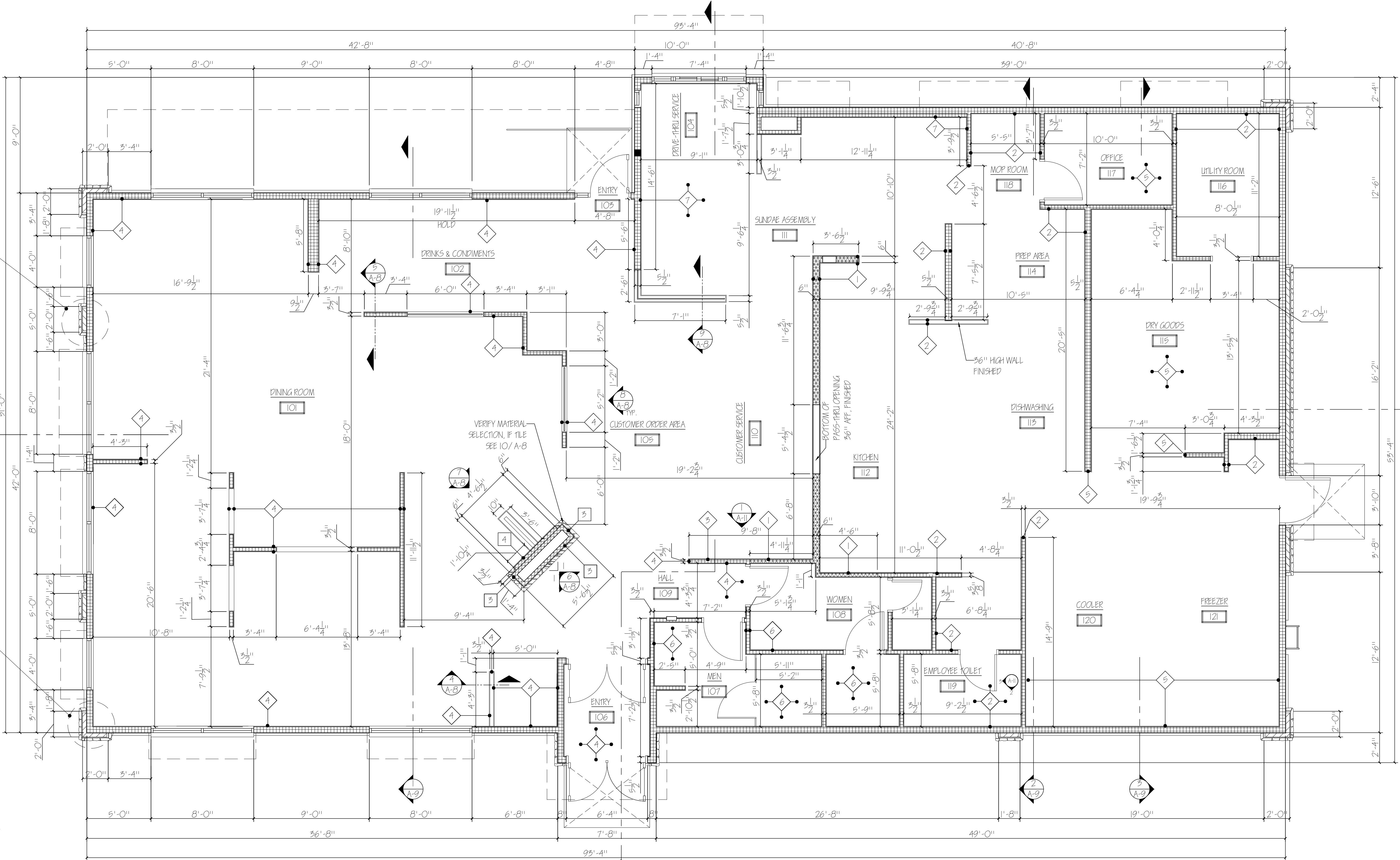
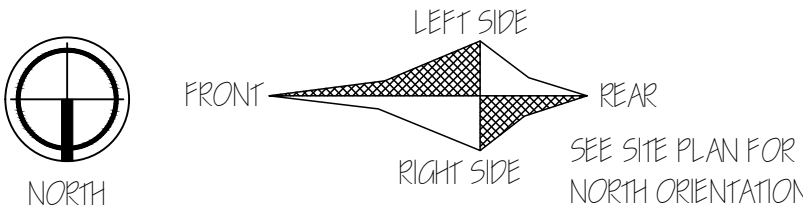


- GENERAL NOTES:
- DIMENSIONS SHOWN ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
  - ALL INTERIOR GYPSUM TO RECEIVE PAINT OR VMC SHOULD BE TAPED, SEALED, AND SANDED TO RECEIVE FINISH.

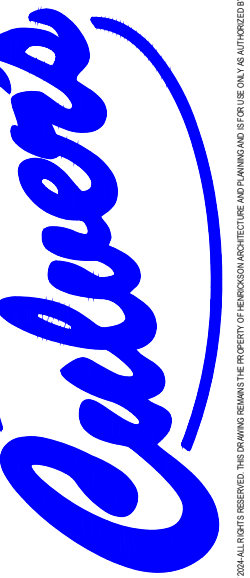
DIMENSIONED FLOOR PLAN - METRO L - 2024 PROTOTYPE

SCALE: 1/4" = 1'-0"

4,310 SQUARE FEET



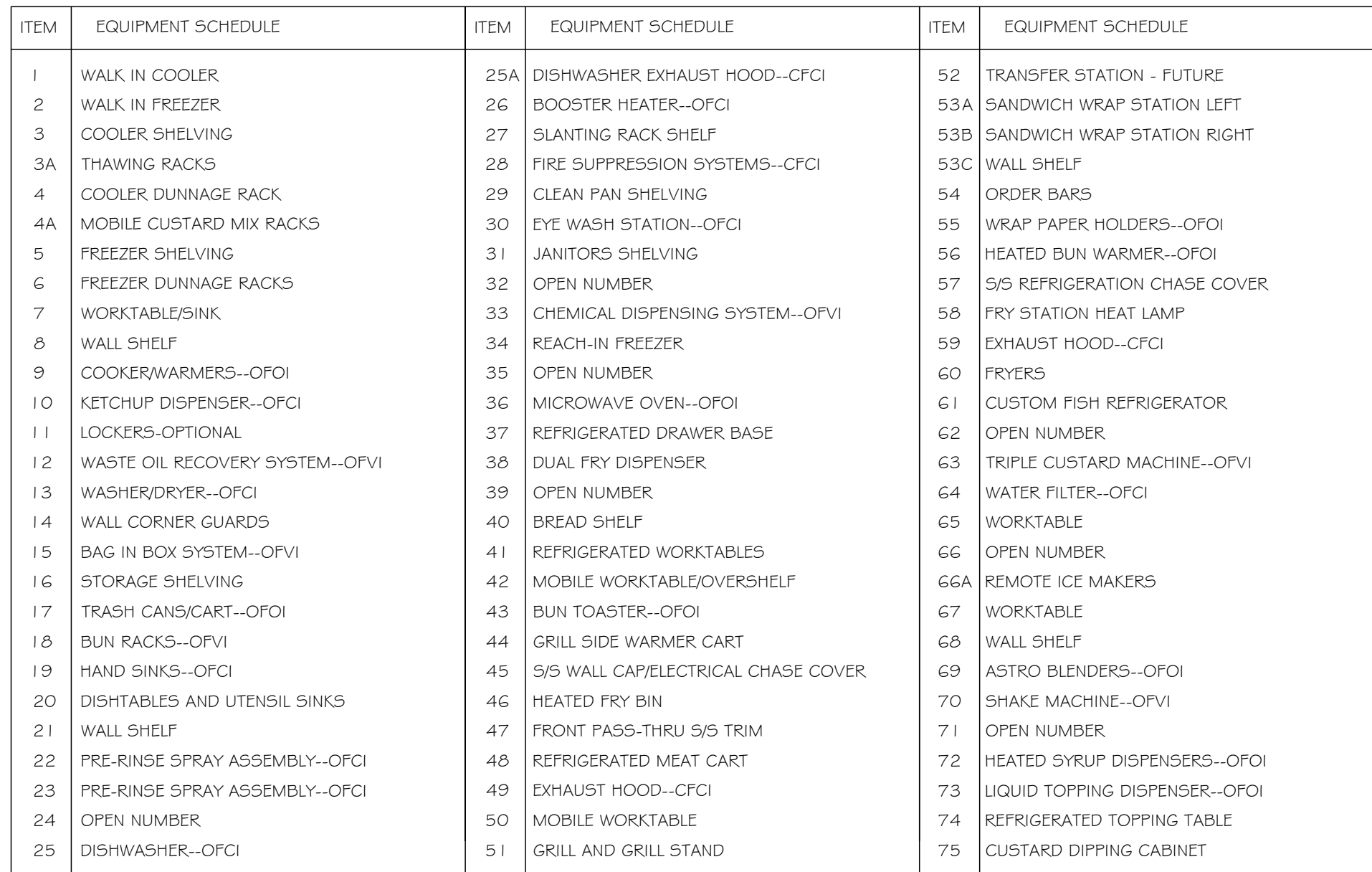




**NOT FOR CONSTRUCTION**

AWN BY: •  
ECKED: • DSH

PROJECT No. • 240504



ITEM	EQUIPMENT SCHEDULE	ITEM	EQUIPMENT SCHEDULE
76	CAKE CONE DISPENSER	102	TRAY / TRASH CABINET
77A	SUNDAE TOPPING DISPENSERS	103	ICE AND SODA DISPENSER--OPVFI
77B	SUNDAE TOPPING WALL SHELF	104	SODA MACHINE CARBONATOR--OPVFI
78	CUP AND DISH DISPENSER	105	LID DISPENSER--OFOFI
79	WALL SHELVES	106	REACH IN RETAIL FREEZER
80	REFRIGERATED 5/5 BACKCOUNTER	107	CONDIMENT CUP DISPENSERS
81	HEATED PASS-THRU UNIT	108	TABLES/CHAIRS/BOOTHS
82	TOOL SHELF	109	CONDIMENT DISPENSERS
83	REACH IN REFRIGERATOR	110	NAPKIN DISPENSERS
84	COFFEE MAKER--OPVFI	111	STRAW DISPENSERS--OFOFI
85	POWER WASHER-OPTIONAL--OPVFI	112	CONDIMENT PANIS--OFOFI
86	MENU BOARD--OPVFI	113	BEVERAGE COUNTER
87	WAFFLE CONE DISPENSER--OFOFI	114	CONDIMENT COUNTER
88	OPEN NUMBER	115	OPEN NUMBER
89	FOOD LABEL MAKER--OPVFI	116	HAND TOWEL DISPENSERS--OFOFI
90	FRONT SERVICE COUNTER	117	TOWEL PAPER DISPENSERS--OFOFI
91	CASH REGISTERS AND SYSTEM--OPVFI	118	MONITOR BRACKETS--OPVFI
92	CUP DISPENSERS	119	WASTE RECEPTACLE
93	5/5 DRIVE-THRU COUNTER	120	HIGH TOP TABLES AND CHAIRS
94	5/5 DRIVE-THRU COUNTER	121	DROP IN CUSTARD COLD PAN
95	CUP DISPENSERS	122	OPEN NUMBER
96	ICE AND SODA DISPENSER--OPVFI	123	WORKTOP REFRIGERATOR
97	SODA MACHINE CARBONATOR--OPVFI	124	WORKTABLE
98	ICED TEA BREWER/DISPENSERS--OPVFI	125	MOBILE WORKTABLE
99	OPEN NUMBER	126	SLANTING WALL SHELF
100	DISPLAY CABINET-OPTIONAL	300	TRIM PACKAGE (NOT SHOWN)
101	TRAY / TRASH / RECYCLE CABINET	505	REFRIGERATION SYSTEMS (NOT SHOWN)

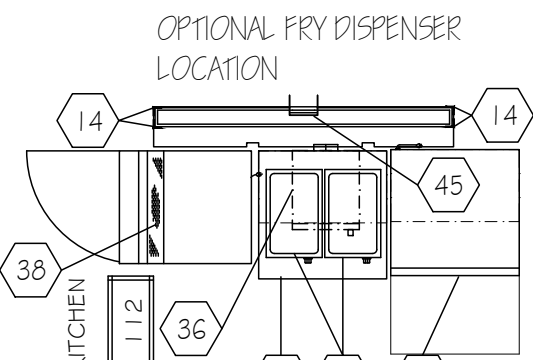
ALL DRAWINGS FS-1 THROUGH FS-9  
SHOULD BE INCLUDED IN ALL  
ARCHITECTURAL SETS

SEATING SUMMARY	
SIX PERSON TABLES	(2) X 6 = 12
FOUR PERSON TABLES	(12) X 4 = 48
THREE PERSON TABLES	(1) X 3 = 3
TO-GO COUNTER	(1) X 5 = 5
TWO PERSON TABLES	(18) X 2 = 36
TOTAL SEATING CAPACITY	104
TOTAL TABLE TOPS	34

ALL ITEMS ARE OWNER FURNISHED, EQUIPMENT CONSOLIDATOR INSTALLED, EXCEPT AS FOLLOWS.

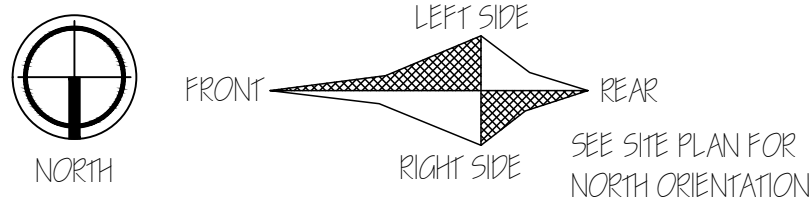
OFCI--OWNER FURNISHED CONTRACTOR INSTALLED  
OFOI--OWNER FURNISHED OWNER INSTALLED  
CFCI--CONTRACTOR FURNISHED CONTRACTOR INSTALLED  
OFVI--OWNER FURNISHED VENDOR INSTALLED

ALL ROUGH-INS AND FINAL CONNECTIONS OF ALL EQUIPMENT BY OTHERS

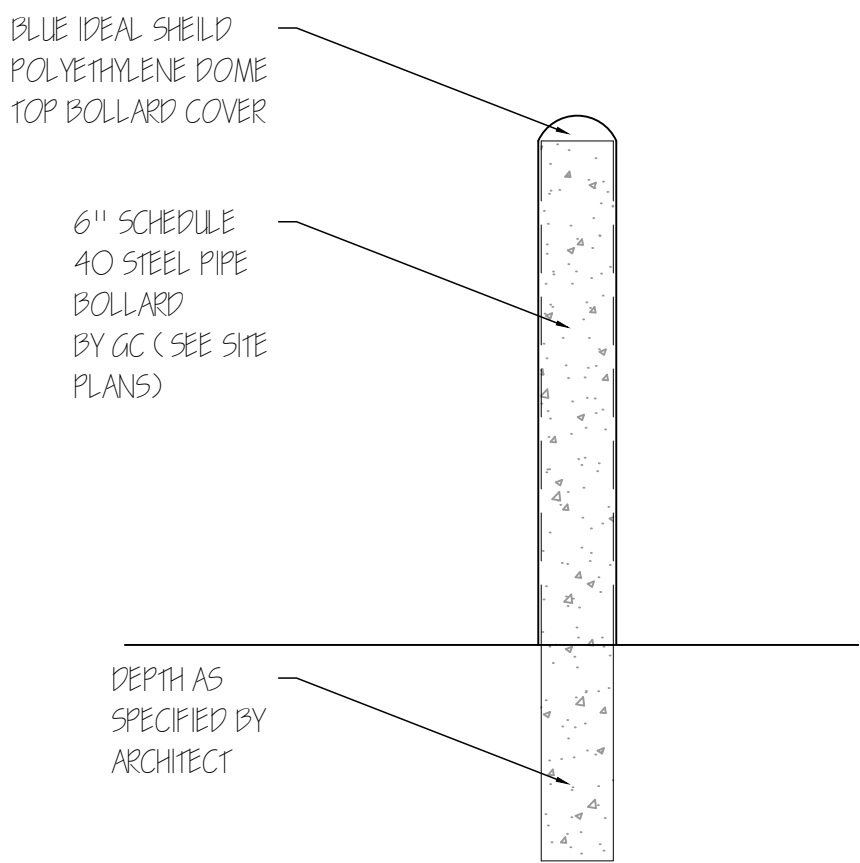


**DETAIL - OPTIONAL FRY DISPENSER LOCATION**  
**SCALE: 1/4" = 1'-0"**

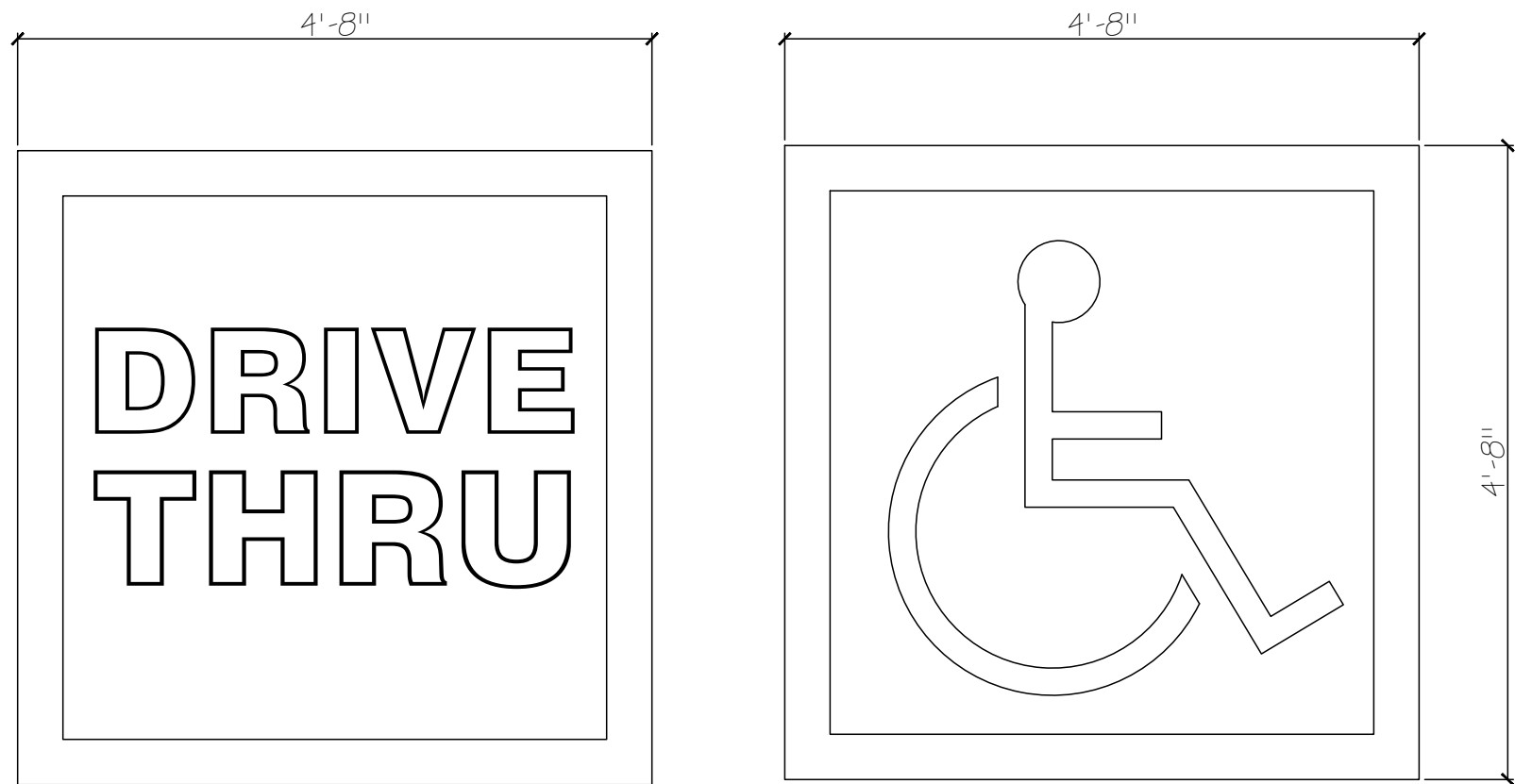
**SCALE:  $\frac{1}{4}" = 1'-0"$**





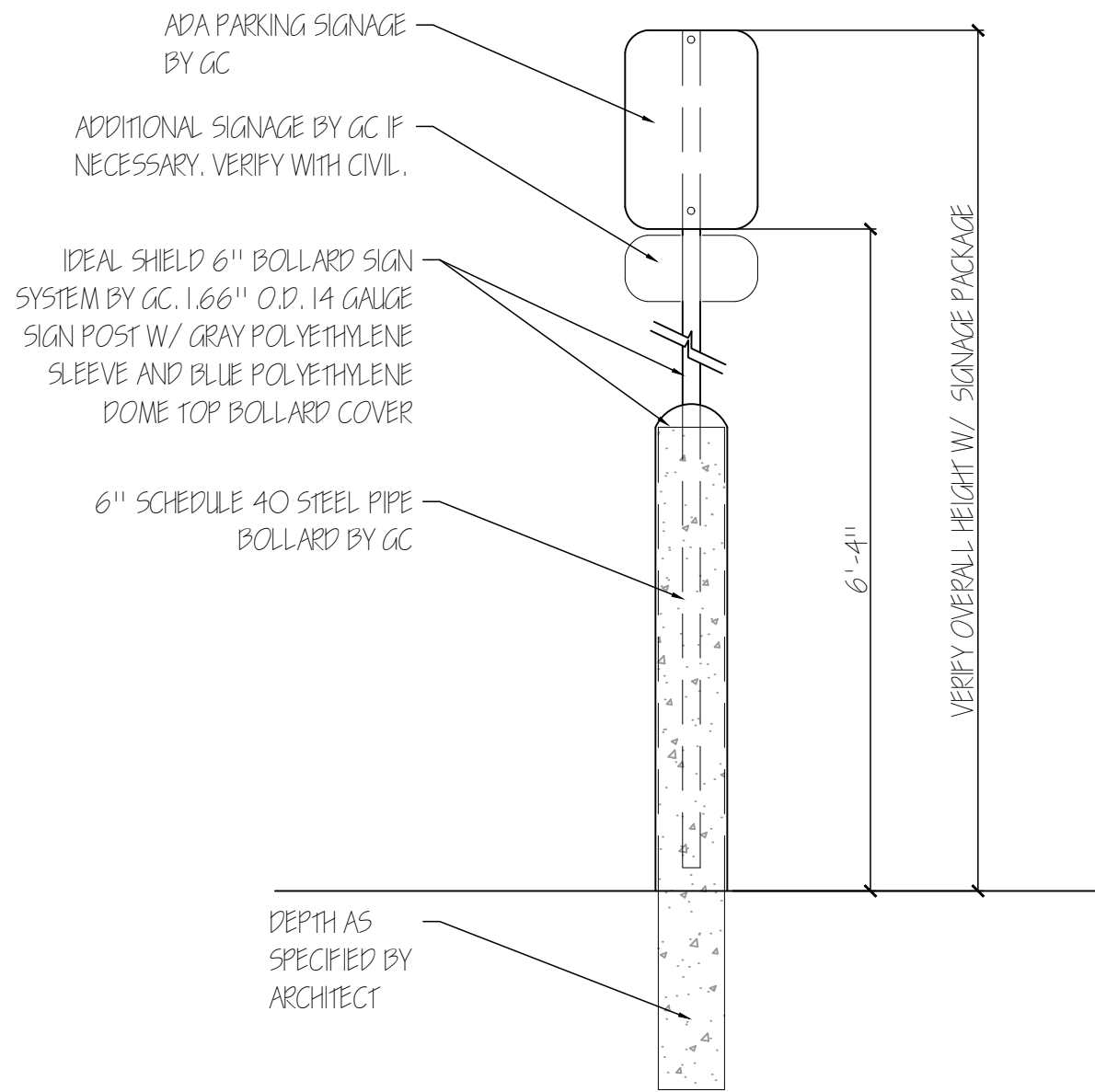


1 BOLLARD (TYP.)  
C-1 SCALE: 3/4" = 1'-0"

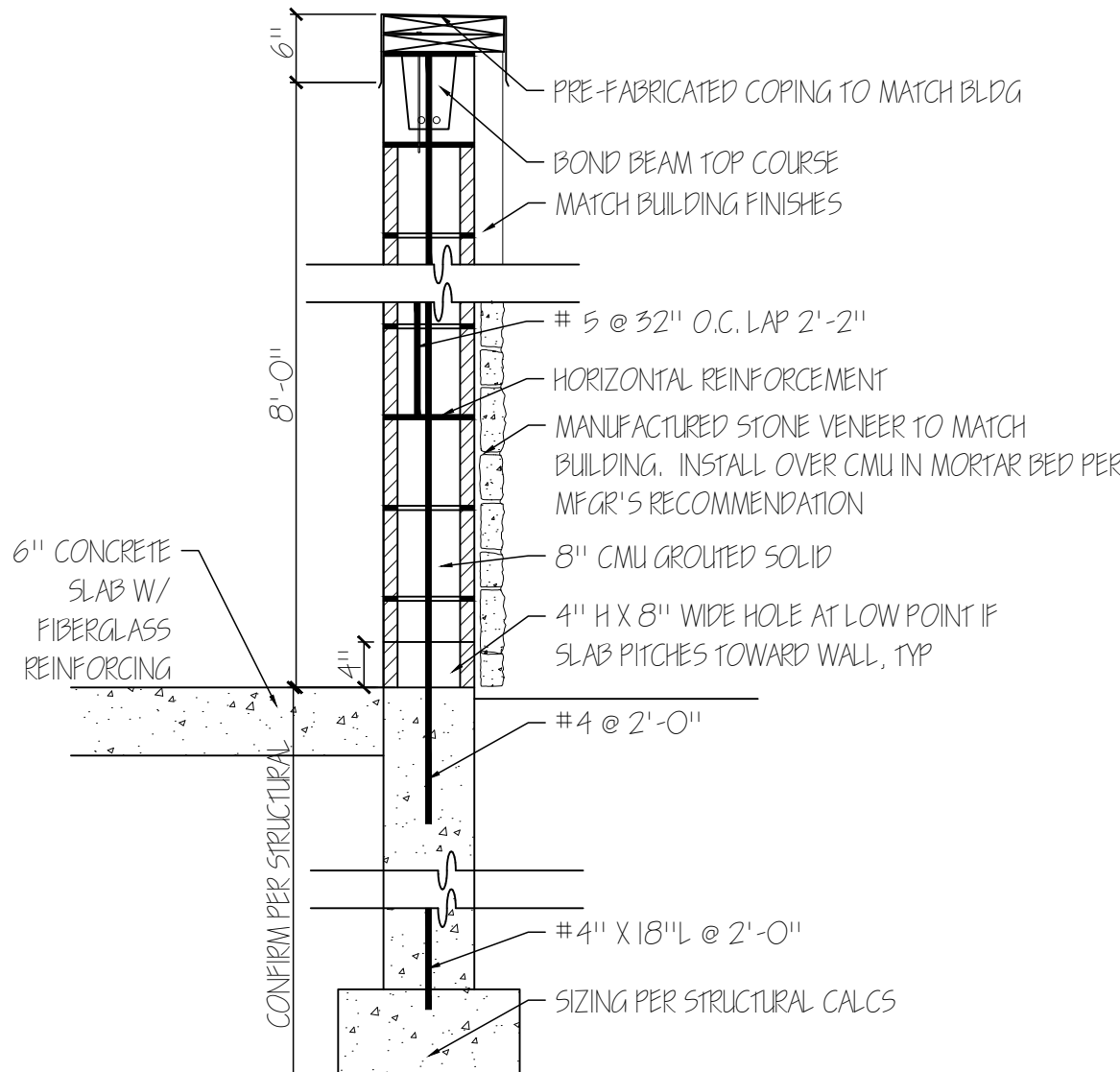


NOTE: ALL PARKING LOT SYMBOLS TO HAVE WHITE TEXT AND BORDER WITH BLUE BACKGROUND STRIPING. ALL PARKING LOT STRIPING TO BE WHITE WITH TRIPLE LINE SHOWN AT RIGHT FOR DRIVE THRU

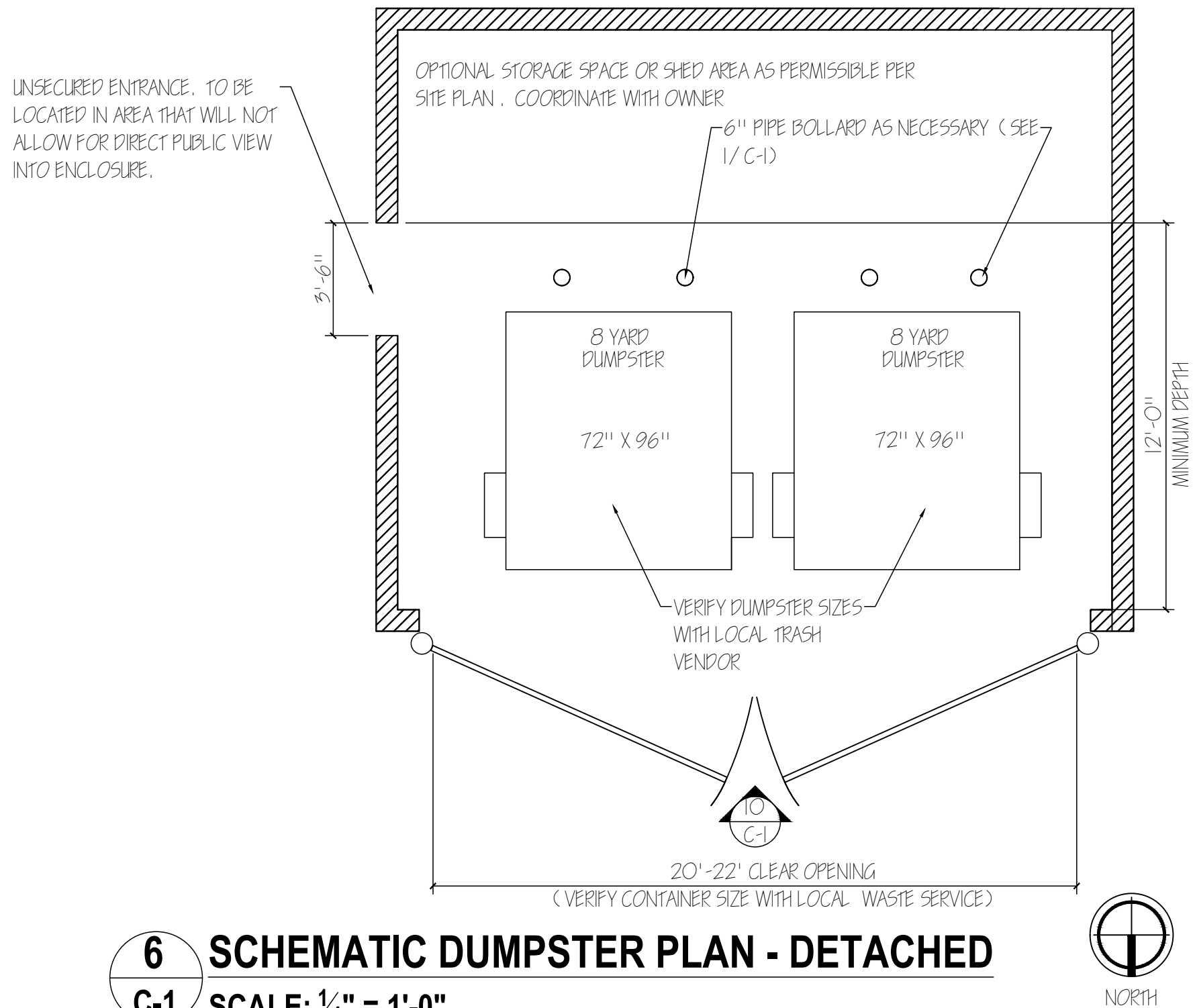
2 PAINTED SYMBOL & STRIPING STANDARDS  
C-1 SCALE: 3/4" = 1'-0"



3 BOLLARD SIGN SYSTEM  
C-1 SCALE: 3/4" = 1'-0"



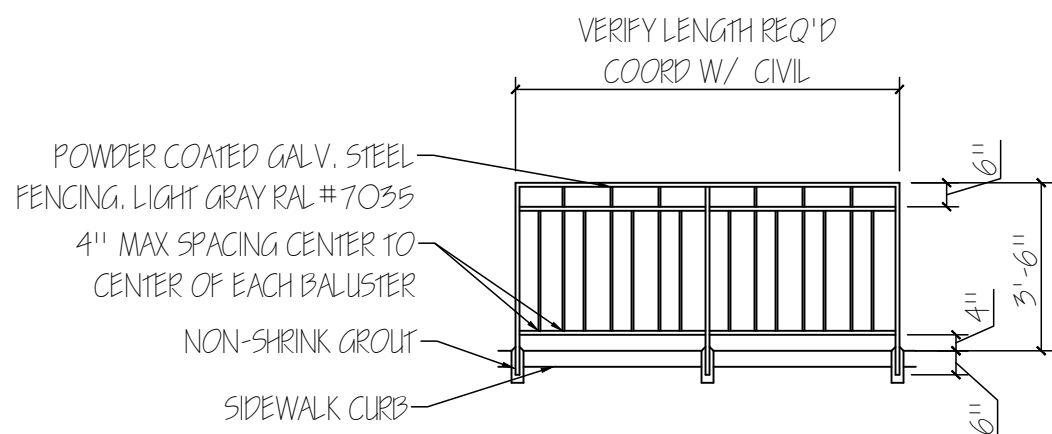
5 SECT. - DUMPSTER ENCLOSURE  
C-1 SCALE: 3/4" = 1'-0" (ATTACHED TO BUILDING)



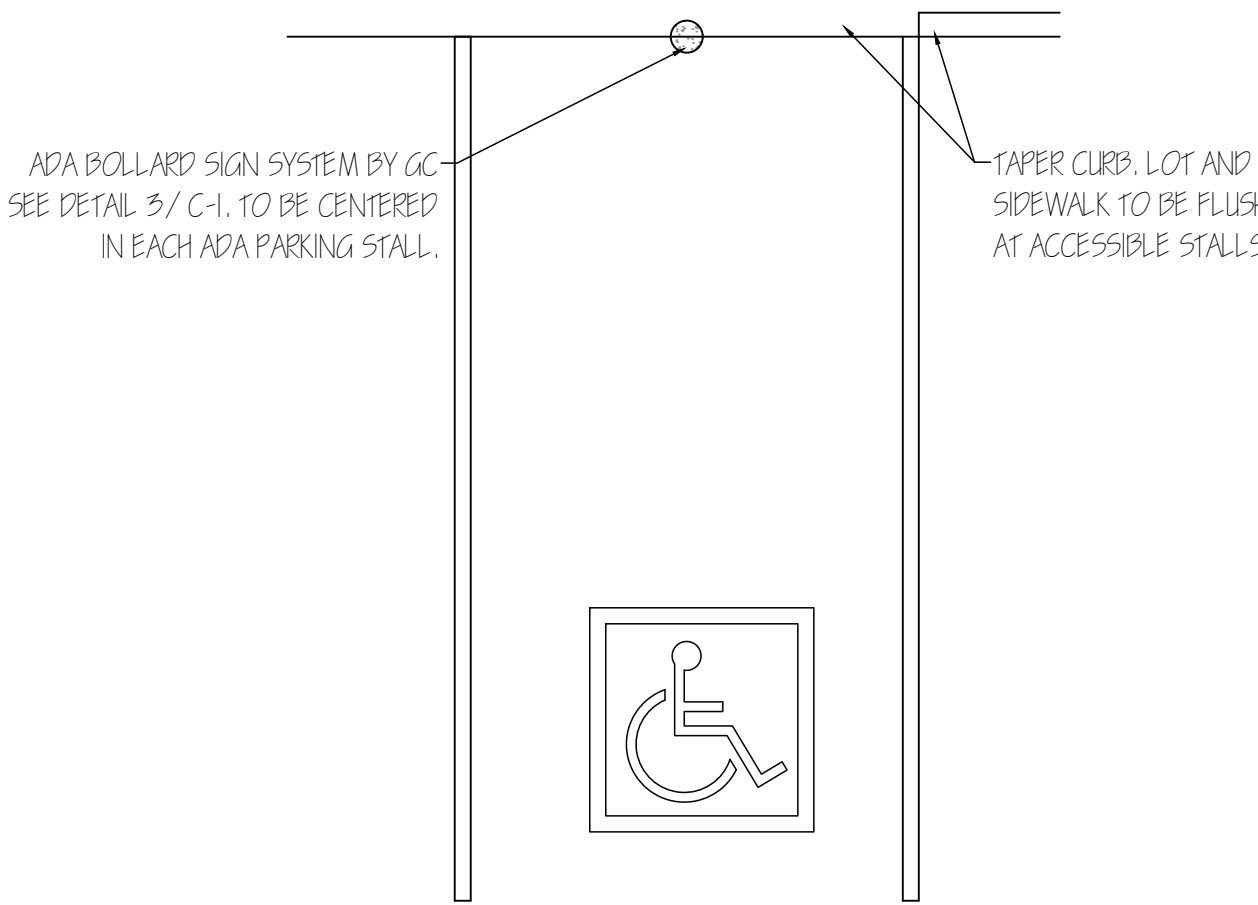
6 SCHEMATIC DUMPSTER PLAN - DETACHED  
C-1 SCALE: 1/4" = 1'-0"

DETAIL 4 - NOT USED

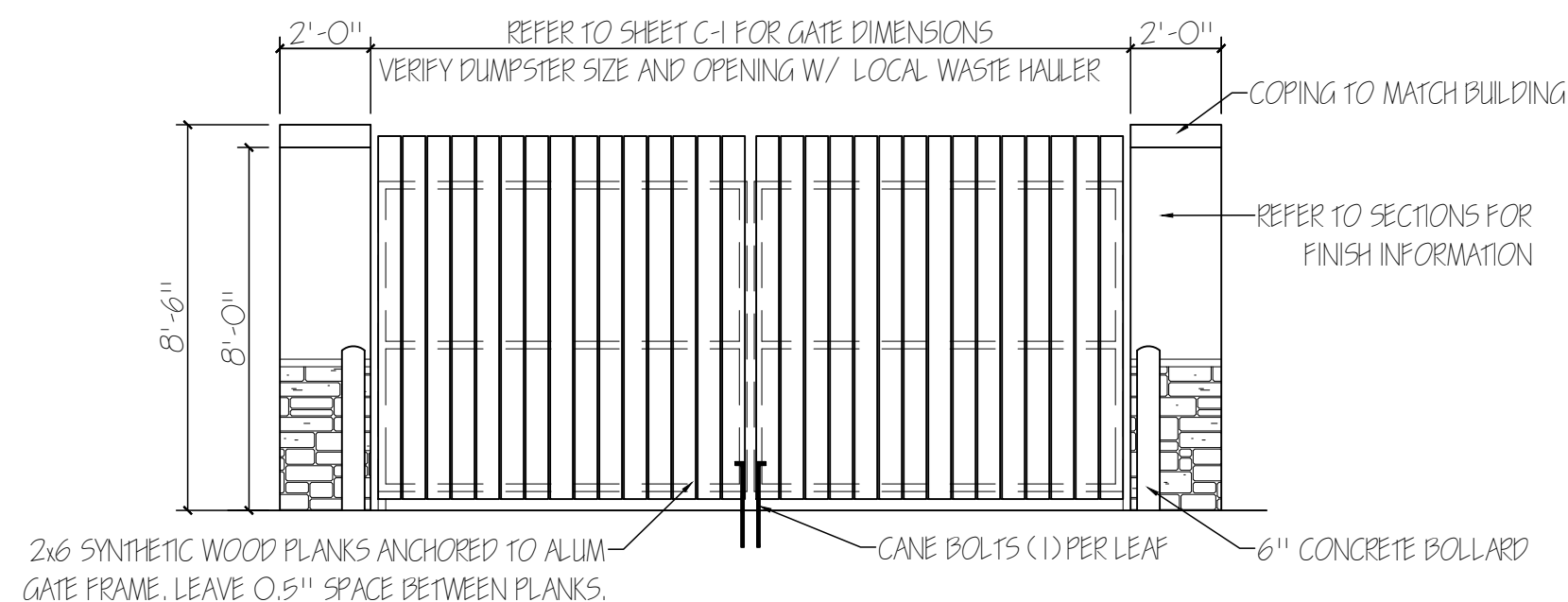
DETAIL 7 - NOT USED



8 ELEV. GUARD RAIL  
C-1 SCALE: 1/4" = 1'-0"



9 TYP. ADA STALL  
C-1 SCALE: 1/4" = 1'-0"



10 ELEV. DUMPSTER ENCLOSURE  
C-1 SCALE: 1/4" = 1'-0"

NOTE: DUMPSTER MAY BE ATTACHED OR DETACHED. REFER TO PROJECT SPECIFIC SITE PLAN.

#### NATIONAL ACCOUNTS PROGRAM:

1. CRESCENT ELECTRIC SUPPLY COMPANY: INTERIOR AND EXTERIOR LIGHTING, LIGHTING CONTROLS, DISTRIBUTION GEAR, DEVICES, COVER PLATES, AND LIGHT POLES/ HEADS.

NATIONAL ACCOUNT SUPPORT: [culvers@cesco.com](mailto:culvers@cesco.com)  
CONTACT FOR SITE PHOTOMETRIC PLAN

#### TYPICAL SITE LIGHTING SPECS:

- LA LITHONIA D-SERIES SIZE 3 LED FLOOD LIGHT. (FOR OPTIONAL FLAG POLE)

#### TYPICAL PARKING LOT LIGHTING SPECS: (VERIFY WITH CRESCENT ELECTRIC)

- P1 PARKING LOT FIXTURE LITHONIA D-SERIES SIZE 1, DSXLED. VERIFY EXACT SPECS AND POLE HEIGHT WITH SITE PHOTOMETRICS AND CITY REQUIREMENTS NOT SHOWN. VERIFY WITH CIVIL PLANS

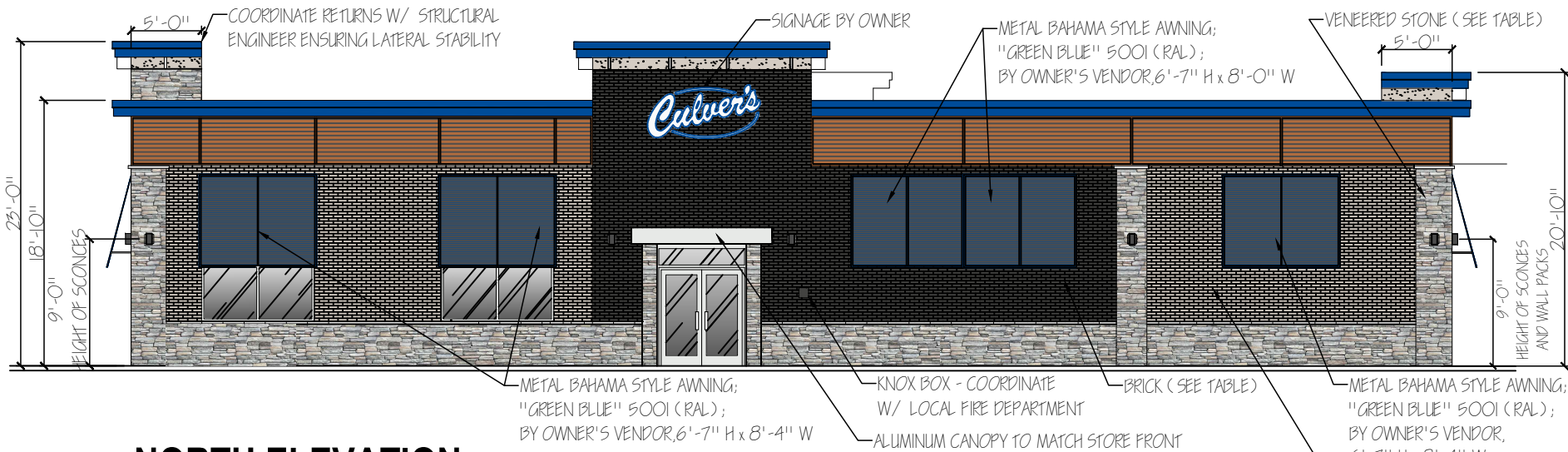
#### GENERAL NOTES:

1. THIS IS A GENERIC SITE/ BUILDING PLAN. PLEASE SEE PROJECT SPECIFIC SITE, BUILDING, AND CIVIL PLANS FOR ACTUAL CONDITIONS AND SIGNAGE LOCATIONS.
2. COORDINATE PATIO AND LANDSCAPE LIGHTING WITH OWNER.
3. CONTRACTOR TO VERIFY SIGNAGE REQUIREMENTS WITH ASSIGNED SIGN VENDOR PRIOR TO ROUGH-INS.
4. PARKING LOT LIGHTING, MAIN BUILDING SIGNAGE, AND MENU BOARD SIGNAGE TO BE CONTROLLED SEPARATELY. SEE SHEET E-6 FOR EXTERIOR LIGHT SWITCHING
5. DETAILS LISTED ARE SUGGESTED STANDARD DETAILS. ARCHITECT AND ENGINEER FOR EACH PROJECT ARE RESPONSIBLE TO MODIFY AS NECESSARY TO COMPLY WITH LOCAL CODES OR CONDITIONS.

#### SUGGESTED LANDSCAPE GUIDELINES:

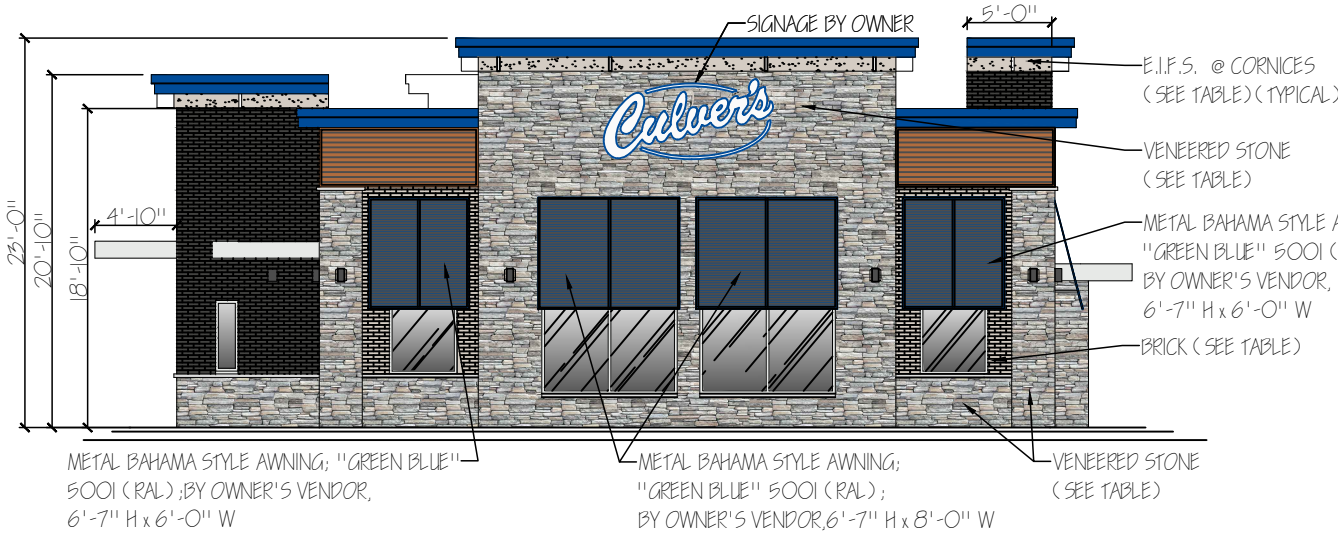
1. LANDSCAPING SHOULD UTILIZE PLANTINGS NATIVE TO THE LOCATION AND BLEND WITH THE DOMINANT EXISTING OR PLANNED CHARACTER OF THE SITE.
2. LANDSCAPING SHOULD BE PROVIDED AT PERIMETER OF BUILDING TO HELP ANCHOR STRUCTURE TO SITE AND SCREEN MATERIAL TRANSITION TO FOUNDATION.
3. SHRUBS OR TREES THAT ARE LOCATED IN FRONT OF THE BUILDING OR SITE SIGNAGE SHOULD BE NO TALLER THEN 4 FEET IN HEIGHT.
4. DRIVE THRU AREAS WITH SITE LINES TO UTILITY BOXES OR OTHER SIMILAR ELEMENTS SHOULD BE SCREENED WITH PLANTINGS.
5. GRASS, VEGETATIVE GROUND COVER, MULCH, OR ROCK SHALL BE USED IN ALL OPEN SPACE INCLUDING PARKING LOT BUMP-OUTS AND ISLANDS.
6. PERIMETER OF PATIO SHOULD HAVE PLANTINGS OR LANDSCAPE FEATURE TO HELP SCREEN VIEW OF PARKING LOT.
7. ANY WATER FEATURES SHOULD BE PONDLESS AND POTENTIAL LIABILITY SHOULD BE CONSIDERED FOR ANY SIMILAR LANDSCAPE FEATURES.





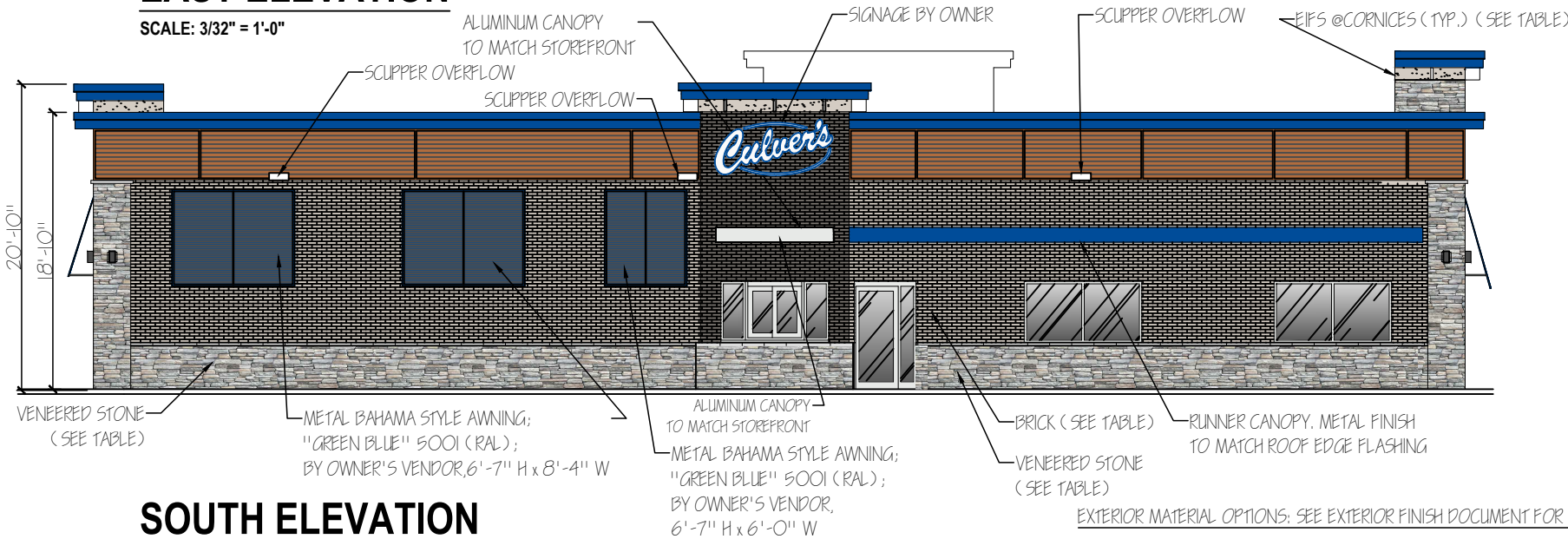
## NORTH ELEVATION

SCALE: 3/32" = 1'-0"



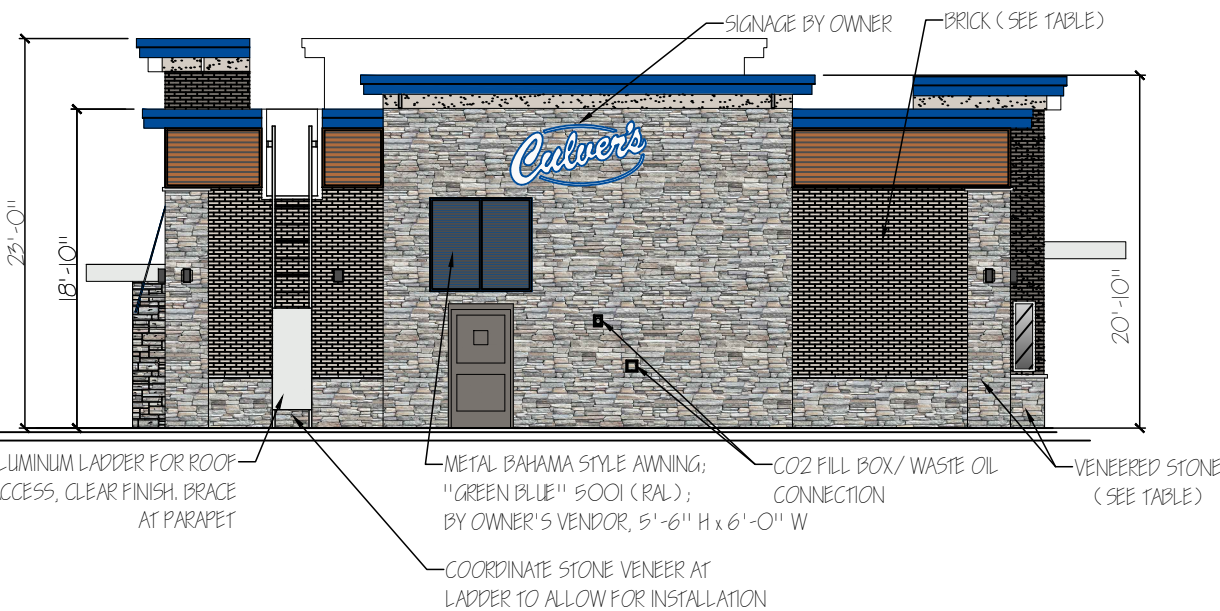
## EAST ELEVATION

SCALE: 3/32" = 1'-0"



## SOUTH ELEVATION

SCALE: 3/32" = 1'-0"



## WEST ELEVATION

SCALE: 3/32" = 1'-0"

BAHAMA STYLE AWNINGS  
(OWNER SUPPLIED / VENDOR INSTALLED)

### QUANTITIES:

- 5 - METAL AWNINGS @ 6'-7" H x 8'-4" W x 2'-0" D
- 4 - METAL AWNINGS @ 6'-7" H x 8'-0" W x 2'-0" D
- 3 - METAL AWNINGS @ 6'-7" H x 6'-0" W x 2'-0" D
- 1 - METAL AWNING @ 5'-6" H x 6'-0" W x 2'-0" D
- 13 - TOTAL

### METAL AWNING COLOR SPECIFICATIONS:

- "GREEN BLUE" 5001 (RAL) BY OWNER'S VENDOR

EXTERIOR MATERIAL OPTIONS: SEE EXTERIOR FINISH DOCUMENT FOR SELECTIONS

### GENERAL NOTES:

- METAL COMPRESSION EDGE AT PARAPET COLOR: "HARBOR BLUE"
- DO NOT DRYSTACK CULTURED STONE

### MATERIAL OPTIONS:

#### STONE:

- ENVIRONMENTAL STONWORKS, STYLE: TUSCAN LEDGE, COLOR: "ANDES SUMMIT" OR
- BORAL STONE, STYLE: COUNTRY LEDGESTONE, COLOR: MATCH "ANDES SUMMIT"

#### COMPOSITE CLADDING:

- NEWTECHWOOD, "ULTRASHIELD NATUREL" WOOD-LOOK CLADDING, COLOR: "BRAZILIAN IPE"

#### SILL & ACCESSORIES:

- COORDINATE COLOR PER MFG. RECOMMENDATION, FLAT LIGHT STONES TO BE USED AT SCONE FIXTURES

#### MAIN FIELD MATERIAL:

- BRICK: MEDIUM SAND FINISH. COLOR: SW6071 "POPULAR GRAY"

#### TOWERS & ENTRY ACCENT:

- BRICK: MEDIUM SAND FINISH, COLOR: SW7019 "GAUNTLET GRAY" (DARK COLOR)
- E.I.F.S. @ CORNICE: MEDIUM SAND FINISH. COLOR: SW6071 "POPULAR GRAY"

### OTHER EXTERIOR BUILDING FINISHES

EXTERIOR HOLLOW METAL:	PAIN TO MATCH "GAUNTLET GRAY"
REMOVABLE MULLION:	SILVER, TO MATCH ALUMINUM
BOLLARD COVER:	ACCESSIBLE BLUE
ALUMINUM FRAMES & DOORS:	CLEAR ANODIZED FINISH
TRANSITION BASE FLASHING:	PREFINISHED, MATCH UPPER MATERIAL
ROOF LADDER:	MILL FINISH, ALUMINUM
LIGHT FIXTURES:	SEE ELECTRICAL

### CLADDING ALTERNATE

IN LIEU OF ULTRASHIELD COMPOSITE CLADDING, PROVIDE LONGBOARD CLADDING SYSTEM COMPLETE W/ MFG. CLIPS & TRIMS. INSTALL ON FURRING STRIPS PER MANUFACTURER SPECIFICATIONS.

S.P.A.  
EXTERIOR ELEVATIONS  
PROJECT No. 240504  
DRAWN BY: JMV  
DATE: 12.26.2024

A-3



## Metro - L

S. HURON STREET & JOE HALL DR.  
YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

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CULVERS - YPSILANTI

Material	North		South		East		West	
	Material Sf.	% of Total	Material Sf.	% of Total	Material Sf.	% of Total	Material Sf.	% of Total
Solid	444	79%	433	77%	180	59%	306	100%
Storefront	116	21%	127	23%	126	41%	0	0%
	0	0%	0	0%	0	0%	0	0%
	0	0%	0	0%	0	0%	0	0%
Total	560	100%	560	100%	306	100%	306	100%

