



**ZONING BOARD OF APPEALS
Regular Meeting Agenda
Wednesday February 05, 2025
6:30 P.M.**

If you need any assistance due to a disability, please contact the Planning Department at least 48 hours in advance of the meeting at planning@ypsitownship.org or 734-544-4000 ext. 1.

1. Call Meeting to Order
2. Roll Call – Determination of a quorum
3. Approval of Agenda
4. Approval of the December 04, 2024, Regular Meeting Minutes
5. Public Hearing

Applicant: Bank of America
Location: 2250 W. Michigan Avenue, Ypsilanti, MI 48197
Parcel ID: K-11-18-100-024
Request: Article 13 – Section 1303.3 (A & B) Lighting Requirements – Request to permit lighting levels along the western property line to exceed the maximum allowable illumination of 0.5 footcandles and allow light levels to exceed the maximum of 20 footcandles measured at ground level.

6. Open discussion for issues not on the agenda
 - a. Planning Department report
 - b. Correspondence received.
 - c. Zoning Board of Appeals members
 - d. Members of the audience and public
7. Any other business that may come before the Zoning Board of Appeals
8. Adjournment

(THERE IS NO WORK SESSION)

**CHARTER TOWNSHIP OF YPSILANTI
ZONING BOARD OF APPEALS
Wednesday, December 4, 2024
6:30 pm**

COMMISSIONERS PRESENT

Elizabeth El-Assadi
Stan Eldridge
David Marshall
Edward Burnett

STAFF AND CONSULTANTS

Fletcher Reyher, Planning and Development Coordinator
Sally Elmiger - Carlisle Wortman Associates
Dennis McLain – Township Attorney

• **CALL TO ORDER/ESTABLISH QUORUM**

MOTION: Ms. El-Assadi called the meeting to order at 6:30 p.m. Ms. El-Assadi completed the roll call and confirmed a quorum was established.

• **APPROVAL OF AGENDA**

MOTION: Mr. Eldridge **MOVED** to approve the agenda as presented. The **MOTION** was **SECONDED** by Mr. Burnett and **PASSED** by unanimous consent.

• **APPROVAL OF NOVEMBER 6, 2024, SPECIAL MEETING MINUTES**

MOTION: Mr. Eldridge **MOVED** to approve November 6, 2024; Special Meeting Minutes as presented. The **MOTION** was **SECONDED** by Mr. Marshall and **PASSED** by unanimous consent.

• **PUBLIC HEARING**

Applicant: Andy Patel

Location: 350 & 460 Joe Hall Drive, Ypsilanti, MI 48197

Parcel ID: K-11-38-363-029 & K-11-38-363-003

Request: Article 4 – Sec. 414.3: Dimensional Requirements – To allow the hotel building to exceed 40-foot height by 14 Feet 8.5’, for a total height of 54 Feet 8.5’.

Mr. Fletcher Reyher, Planning and Development Coordinator, presented a variance request from Andy Patel seeking a height variance for a Holiday Inn Express located at 350 and 460 Joe Hall Drive. The subject parcel is located on the north side of Joe Hall Drive. The applicant proposes a 93-room, 4-story Holiday Inn. The site is zoned Innovation and Technology (I-T), and the maximum building height is 40-feet. The applicant is seeking a variance to exceed the maximum building height.

Mr. Fletcher Reyher informed the ZBA that 54 feet 8.5 inches is the top of what is called a parapet. A parapet is a faux roof, when viewed from outside it appears as a roof but it's a hollowed-out wall with mechanical equipment stored on top of the roof.

Mr. Fletcher Reyher informed the ZBA that the variance would change from 40 feet to the height of the roof shown on the plans (ZBA Packet dated December 04, 2024); the motion made by the ZBA would cover what is proposed in the plans.

The applicant, Mr. Patel, attended a Planning Commission meeting (November 26, 2024); the motion for preliminary site plan was postponed in order for the applicant to come before the ZBA to seek variance.

The Zoning Board of Appeals may grant a dimensional or non-use variance only upon a finding that compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would create a practical difficulty and unreasonably present the use of the property.

Criteria's:

- **That there are exceptional or extraordinary circumstances or conditions applying to the property in question that do not apply generally to other properties or classes of uses in the same zoning district:** The Innovation and Technology (I-T) district permits up to 4-stories, and 40-feet in height. The applicant complies with the maximum number of stories but exceeds the maximum height. The site is encumbered with regulated wetlands and woodlands, which reduce the total buildable area of the lot. Obtaining the required number of hotel rooms to make the hotel viable would require either significant detrimental impacts to the wetlands and woodlands or acquisition of additional property.

- **That a variance is necessary for the preservation and enjoyment of a substantial property right possessed by other properties in the same zoning district and in the vicinity:** The variances being requested would permit the use of the property for a hotel which is a permitted use in the Innovation and Technology (I-T) district. A height variance was granted to recent hotels including the Wolverine Eagle Hospitality hotel on Hewitt and Michigan Avenue and the Fairfield Inn on James L. Hart.
- **That the authorizing of such a variance will not be a substantial detriment to adjacent property, will not be harmful to or alter the essential character of the area, and will not materially impair the purposes of this Ordinance or the public interest:** The variance to extend the building height would not hinder the current character of the area as Hampton Inn and Fairfield Inn both on James L Hart Parkway are 54 feet in height.
- **The property and resulting need for the variance has not been self-created by any action of the applicant or the applicant's predecessors:** The applicant did not create the parcel conditions and is working within the parameters.
- **The proposed variance will be the minimum necessary and no variance shall be granted where a different solution not requiring a variance would be possible:** The Planning Department feels that the additional height to the structure is reasonable based on the natural feature encumbrances on the parcel and the similar heights of hotels in the immediate area.

The Applicant (Andy Patel) and the Engineer (Zach Boeve: VK Civil) were present at the meeting. Mr. Zach Boeve shared with the ZBA that they were requesting a height variance and the reason being in order to make the hotel profitable and successful; the extra four story would allow extra rooms which would require the exceeding of the 40 Foot requirement. Another reason would permit the minimization of the footprint of the hotel; preserving the existing trees/ avoids the existing wetland, while still remaining economical. The extra height would allow the storage of the mechanical equipment onto the roof, rather than on the ground level, which reduces the footprint of the impact of the development, providing a more aesthetic look. Hotels in the

surrounding area have received the same variance as requested; this would help in following a precedence that is been set.

The ZBA inquired with the applicant if they could spread out the floor plan and have more rooms instead of extending upwards since the site is on two lots; Mr. Zach Boeve stated that a large utility easement for both water and sewer for the township runs through the lot and it is considered a no built easement. The plan is to maximize the available space between that easement, the ordinance setbacks on the west property line, and the regulated easements to the front or in the rear.

Mr. Patel stated that he was not the owner until he had the approval to build. The ZBA shared their concern that Mr. Patel would not have extraordinary circumstances at that point, because he's not the owner of the property.

Sally Elmiger (Planning Consultant - Carlisle Wortman) informed the ZBA that Mr. Patel has an option to purchase the property and permission from the property owner to seek approvals to develop this land, the criteria would be within the context of that agreement. Mr. Patel could buy another piece of property; the district does permit him to have four stories. The owner has given Mr. Patel the authority to seek the site plan and planning approvals that are necessary to develop the property.

The ZBA inquired about the applicant's response to the traffic report; Mr. Patel stated the Township attorney had responded to the seller's letter; Mr. Patel informed the ZBA that he was meeting the seller to discuss the light, since it is part of the site plan approval.

Ms. El-Assadi discussed the height variance (40 feet to 41 feet, 10.5 inches) and the traffic light (obtain all outside agency approvals, including the arrangement for the installation of the traffic signal).

PUBLIC HEARING OPENED AT 6:55 PM

(Hearing no comments)

PUBLIC HEARING CLOSED AT 6:56 PM

MOTION: Mr. Elridge **MOVED** to approve the variance request to permit an increase in the overall height of the proposed building located within the Innovation and Technology (I-T) district from 40 feet to 41 feet and 10.5 inches to the roof line in order to permit the construction of a 93-room hotel upon the property located at 350

and 460 Joe Hall Drive (K-11-38-363-029, K-11-38-363-003). The plans being referenced are included in this packet with the following practical difficulties noted:

- The authorizing of the requested variance will not be a substantial detriment to adjacent property and will not materially impair the purposes of this ordinance or the public interest.
- The site is encumbered with regulated wetlands and woodlands, which reduce the total buildable area of the lot, and it has been determined and agreed that the subject parcel has exceptional conditions requiring the additional building height.
- The proposed height is similar to other hotels in the immediate area.
- **This motion is further made with the following conditions:** The applicant shall obtain Final Site Plan and Detailed Engineering Approval; and shall obtain all outside agency permits and approvals for the construction of the hotel, including, but not limited to the property owner or the developer. Entering into a road improvement agreement with the Washtenaw County Road Commission for the installation of a traffic signal at the intersection of Huron Street and Joe Hall drive as part of the development.

The **MOTION** was **SECONDED** by Mr. Marshall.

Roll Call Vote: Ms. Elizabeth El-Assadi (Yes); Mr. Stan Eldridge (Yes); Mr. David Marshall (Yes); Mr. Burnett (Yes).

MOTION PASSED.

- **OPEN DISCUSSION FOR ISSUES NOT ON AGENDA**

- **PLANNING DEPARTMENT REPORT**

2025 Schedule of Meetings: Mr. Fletcher Reyher presented on screen the 2025 calendar dates for the Zoning Board of Appeals Meetings.

MOTION: Mr. Elridge **MOVED** to accept the 2025 meeting schedule as mentioned in the report. The **MOTION** was **SECONDED** by Mr. Burnett and **PASSED** by unanimous consent.

- **CORRESPONDENCE RECEIVED**

No Report

- **ZONING BOARD OF APPEALS MEMBERS**

No Report

- **MEMBERS OF THE AUDIENCE/PUBLIC**

No Report

- **OTHER BUSINESS THAT MAY COME BEFORE THE ZONING BOARD**

No Report

- **ADJOURNMENT**

MOTION: Mr. Eldridge **MOVED** to adjourn at 7:02 p.m. The **MOTION** was **SECONDED** by Mr. Burnett and **PASSED** by unanimous consent.

Respectfully submitted by Minutes Services



Zoning Board of Appeals Staff Report

February 05, 2025

Applicant: Bank of America

Location: 2250 W. Michigan Avenue, Ypsilanti, MI 48197, Parcel K-11-18-100-024

Zoning: RC, Regional Corridor, Site Type C

Action Requested: Request for variance to the lighting requirements outlined in Article 13 – Section 1303.3 (A & B)

Variance Request:

Request for a variance from the lighting regulations under Article 13 – Sec. 1303.3 (A & B) of the Township Zoning Ordinance, to permit lighting levels along the Western property line to exceed the maximum allowable illumination of 0.5 footcandles and allow light levels to exceed the maximum of 20 footcandles measured at ground level.

Location and Summary of Request:

The subject site is a 5.217-acre parcel located at the intersection of S. Hewitt Road and W. Michigan Avenue. The property is zoned R-C (Regional Corridor) with a Site Type C designation and is home to Bank of America, which provides essential banking services to the local community.

The applicant, Bank of America, is seeking a variance from Article 13, Sec. 1303.3 (A & B) of the Township Zoning Ordinance. The request pertains to exceeding the maximum allowable illumination of 0.5 footcandles at the property boundary and the maximum light level of 20 footcandles measured at ground level.

The proposed project includes replacing thirty-one (31) existing light fixtures, adding four (4) new fixtures, and installing two (2) additional light poles with fixtures. In total, thirty-eight (38) light fixtures will be replaced, and seven (7) new fixtures will be added to improve the property's lighting.

Cross References:

Article 13 – Site Design Standards
Article 17 – Zoning Board of Appeals

Township Supervisor
 Brenda L. Stumbo
 Township Clerk
 Debbie Swanson
 Township Treasurer
 Stan Eldridge



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 — PLANNING & ZONING DEPARTMENT —

Trustees
 John Newman II
 Gloria Peterson
 Karen Lovejoy Roe
 LaResha Thornton

2250 W. Michigan Avenue, Ypsilanti, MI 48197 – Aerial Photograph 2023



Source: Map Washtenaw

Sec. 1303.3. (A & B)

Maximum Illumination Levels

Lighting Regulation	Permitted Level	Submitted Plans	Variance Required
Maximum illumination at ground level along the western property line (adjacent to residential property)	0.5 footcandles	0.0 to 13.5 footcandles	Up to 13 footcandles above the permitted level
Maximum illumination at ground level in any given area	20.0 footcandles	0.0 to 27.4 footcandles	Up to 7.4 footcandles above the permitted level



Analysis:

The Zoning Board of Appeals may grant a dimensional or non-use variance only upon a finding that compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would create a practical difficulty and unreasonably present the use of the property. A finding of practical difficulty shall require demonstration that all the following conditions are met:

- 1. That there are exceptional or extraordinary circumstances or conditions applying to the property in question that do not apply generally to other properties or classes of uses in the same zoning district.**

The subject property, located at 2250 W. Michigan Avenue, is adjacent to a residential property to the west, making compliance with the ordinance's illumination standards critical to minimizing potential impacts on nearby residences. The applicant has not demonstrated any exceptional or extraordinary circumstances specific to this property that would prevent adherence to the lighting requirements under Section 1303.3(A & B).

- 2. That a variance is necessary for the preservation and enjoyment of a substantial property right possessed by other properties in the same zoning district and in the vicinity.**

The lighting regulations outlined in the Township Zoning Ordinance are intended to balance functional site lighting with the protection of neighboring properties, particularly residential uses. The applicant has not provided evidence that exceeding the allowable lighting levels along the western property line or ground-level illumination is necessary to preserve a substantial property right. Other similarly situated properties within the same zoning district appear capable of complying with these illumination standards.

- 3. That the authorizing of such a variance will not be a substantial detriment to adjacent property, will not be harmful to or alter the essential character of the area, and will not materially impair the purposes of this Ordinance or the public interest.**

The proposed lighting levels along the western property line, ranging from 0.0 to 13.5 footcandles, exceed the allowable limit of 0.5 footcandles adjacent to residential property. Additionally, the ground-level illumination of up to 27.4 footcandles exceeds the maximum permitted level of 20.0 footcandles. These increases could create light spillover and glare, potentially impacting the adjacent residential property and altering the character of the area. Approving the variance may undermine the intent of the ordinance to limit light pollution and protect residential uses.

- 4. The property and resulting need for the variance has not been self-created by any action of the applicant or the applicant's predecessors.**



The applicant has not provided a valid explanation or justification as to why compliance with the lighting regulations is not feasible. Based on the submitted information, the need for the variance appears to be self-created, as the site design and proposed lighting levels could potentially be modified to adhere to the ordinance.

5. The proposed variance will be the minimum necessary and no variance shall be granted where a different solution not requiring a variance would be possible.

The applicant has not demonstrated that the requested variance represents the minimum necessary or that alternative solutions—such as reducing light levels or modifying the lighting plan—are unfeasible. Without this information, it is not evident that the variance request is the least intrusive option to achieve the desired functionality.



Suggested motions: The following suggested motions and conditions are provided to assist the Zoning Board of Appeals in making a complete and appropriate motion for this application. The ZBA may utilize, add, or reject any portion of the suggested motion or any conditions suggested herein, as deemed appropriate.

Postpone:

I move to postpone the variance requests at 2250 W. Michigan Avenue, Ypsilanti, MI 48197, Parcel K-11-18-100-024 to the lighting requirements of Article 13, Section 1303.3(A & B) of the Township Zoning Ordinance, as shown on the plans submitted with the Zoning Board of Appeals Packet dated February 05, 2025. This postponement is to provide the applicant with an opportunity to address the comments made at this evening's meeting and return with a revised proposal that reflects those comments.

Approve:

I move to approve the variance requests at 2250 W. Michigan Avenue, Ypsilanti, MI 48197, Parcel K-11-18-100-024 to the lighting requirements of Article 13, Section 1303.3(A & B) of the Township Zoning Ordinance, as shown on the plans submitted with the Zoning Board of Appeals Packet dated February 05, 2025. Granting the requested variances meets the criteria for a non-use variance in Section 1704(D) of the Zoning Ordinance. Specifically, the approval is based on the following findings:

1. _____

2. _____

Denial:

I move to deny the variance requests at 2250 W. Michigan Avenue, Ypsilanti, MI 48197, Parcel K-11-18-100-024 to the lighting requirements of Article 13, Section 1303.3(A & B) of the Township Zoning Ordinance, as shown on the plans submitted with the Zoning Board of Appeals Packet dated February 05, 2025, based on the following findings of fact:

1. The applicant has not demonstrated the presence of exceptional or extraordinary circumstances applying to the property that would prevent compliance with the lighting standards. The property conditions are typical of other commercial properties adjacent to residential areas within the zoning district.
2. The request is not necessary for the preservation of a substantial property right, as other similarly situated properties in the zoning district comply with the ordinance requirements without requiring a variance.
3. The proposed lighting levels, which exceed 0.5 footcandles along the western

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property line and 20.0 footcandles at ground level, would likely result in adverse impacts to the adjacent residential property, contrary to the purpose of the lighting regulations in protecting neighboring properties.

4. The need for the variance appears to be self-created, as the applicant has not provided a valid justification as to why the lighting plan cannot be modified to comply with the ordinance.
5. The variance requested does not appear to be the minimum necessary to achieve adequate site lighting, as alternative solutions to reduce light levels have not been explored or provided by the applicant.

Respectfully Submitted,

Fletcher Reyher

Fletcher Reyher, AICP
Planning and Development Coordinator
Charter Township of Ypsilanti Planning Department

ZONING BOARD OF APPEALS APPLICATION

I. APPLICATION TYPE

- Variance
- Exceptions and Special Approvals (Includes: Temporary Uses and Structures)
- Administrative Review Appeal

II. PROJECT LOCATION

Address: _____ Parcel ID #: K-11- Zoning _____
Lot Number: _____ Subdivision: _____

III. APPLICANT INFORMATION

Applicant: _____ Phone: _____
Address: _____ City: _____ State: _____ Zip: _____
Fax: _____ Email: _____
Property Owner: _____ Phone: _____
Address: _____ City: _____ State: _____ Zip: _____
Fax: _____ Email: _____

IV. COST AND FEES

Total: \$ _____ Breakdown of fee: Residential: \$ 125.00
Non-residential: \$ 500.00

V. APPLICANT SIGNATURE

The undersigned _____ represents _____:
Applicant Property Owner

1. That _____ is/are the owner(s) of lot(s) _____ located in the _____
Property Owner Lot Subdivision
Subdivision, Ypsilanti Township, Michigan, otherwise known as _____ and the property is
Address
zoned _____
Zoning District
2. That the petitioner hereby request _____ under Section _____ Article _____ of the Ypsilanti Township
Variance/Temporary Use Section Article
Zoning Ordinance. /Regular Meeting
3. The petitioner further state that _____ have/has read and understands the provisions of said zoning ordinance as it
Applicant Initial
applies to this petition.
4. That the following is submitted in support of the petition (attach all pertinent data to support the request).

Brian Kreke _____
Applicant Signature Print Name Date



Charter Township of Ypsilanti

Office of Community Standards

7200 S. Huron Drive, Ypsilanti, MI 48197

Phone: (734) 544-4000 ext. #1

Website: <https://ypsitownship.org>

OFFICE USE ONLY

All Zoning Board of Appeals Applications

<input type="checkbox"/> The application is filled out in its entirety.	<input type="checkbox"/> Plot plan or lot survey to scale showing the following:
<input type="checkbox"/> If the applicant is not the property owner, written and signed permission from the property owner is required.	<input type="checkbox"/> All property lines and dimensions
<input type="checkbox"/> Fees	<input type="checkbox"/> All existing and proposed structures and dimensions
<input type="checkbox"/> Letter of interest of the applicant in the property	<input type="checkbox"/> Lot area calculations necessary to show compliance with regulations
	<input type="checkbox"/> Easements and dimensions, if applicable
	<input type="checkbox"/> Location of drives, sidewalks, and other paved areas on the property and on the adjacent streets.
	<input type="checkbox"/> Location and dimensions of the nearest structures on adjacent properties.



BANK OF AMERICA

2250 W MICHIGAN AVE | EXTERIOR LIGHTING PROJECT

2250 W Michigan Ave,
Ypsilanti, MI 48197
MI8-166



PROJECT AREA LOCATION

ELECTRICAL:

DRAWING INDEX	
SHEET	DESCRIPTION
E-001	ELECTRICAL SYMBOLS, NOTES, LEGEND & INDEX
E-101	ELECTRICAL SITE LIGHTING PLAN AND SCHEDULES
E-102	ELECTRICAL SITE PHOTOMETRIC PLANS
E-401	ELECTRICAL PANEL SCHEDULES
E-501	LIGHT FIXTURE CUTSHEETS

STRUCTURAL:

DRAWING INDEX	
SHEET	DESCRIPTION
S-001	STRUCTURAL NOTES & DETAILS

ISSUED FOR PERMIT: 11/03/2023

PROJECT MANAGER: **CBRE**

CBRE GLOBAL WORKPLACE SOLUTIONS
100 S. Charles Street, 3rd Floor
Baltimore, MD, 21201
Tel: (703) 302-2529
Contact: Sergio Merino
email: Sergio.Merino@cbre.com



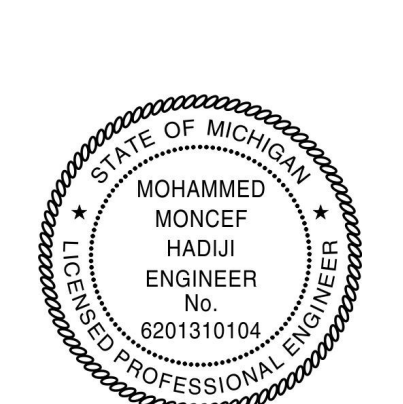
PROJECT BY :

TEFA ENGINEERING, PLLC
80 State Street
Albany, NY 12207-2543
Tel: (321) 877-4292
Contact: Justin Mulhollan
email: justin.mulhollan@tfc-eng.com



LIGHTING DESIGNER:

GMR
1629 Smirt Drive, Suite 200
Heath, TX, 75032
Office: (972) 771-6038
www.gmr1.com



PRINTED NAME: MOHAMMED M. HADJI

ELECTRICAL SYMBOL LEGEND

Table with columns: SYMBOL, DESCRIPTION, SYMBOL, DESCRIPTION, ABBREVIATIONS. Includes sections for BASIC MATERIALS, ELECTRICAL SYMBOLS, and DEMOLITION.

NOTE: SOME SYMBOLS SHOWN ON THIS LEGEND MAY NOT PERTAIN TO THIS PROJECT.

ELECTRICAL GENERAL NOTES

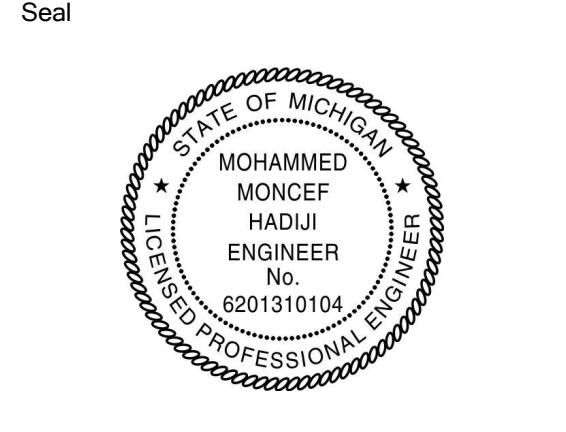
GENERAL REQUIREMENTS: THE DRAWINGS AND APPLICABLE SPECIFICATIONS SHALL BE CONSIDERED SUPPLEMENTARY TO THE OTHER AND ARE... ELECTRICAL DEMOLITION NOTES: EXISTING LIGHT FIXTURES AND EQUIPMENT SHOWN IN DASHED LINE TYPE ARE EXISTING TO BE DEMOLISHED... APPLICABLE CODES: ALL WORK UNDER THIS DIVISION SHALL BE IN STRICT COMPLIANCE AND IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE FOLLOWING CODES AND STANDARDS...



Bank of America Exterior Lighting Program logo and contact information for the project.

CBRE logo and contact information for the project.

Table with columns: Revisions, No., Date, Description. Lists project revisions.



Project No: 521167
Issue Date: 10.25.2024
Drawn By: D. SAENER
Approved By: M. HADJI
Scale: N.T.S.

Drawing Title: ELECTRICAL SYMBOLS, NOTES, LEGEND & INDEX
Drawing No.: E-001

WHERE THERE IS A DISCREPANCY BETWEEN ABOVE GENERAL NOTES AND SPECIFICATIONS, WHERE APPLICABLE, SPECIFICATIONS SHALL BE FOLLOWED

LUMINAIRE SCHEDULE

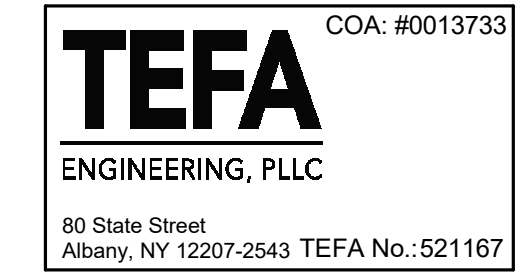
SEE FIXTURE CLARIFICATION NOTE #9

CONTRACTOR TO VERIFY MOUNTING ACCESSORIES BEFORE ORDERING

TOTAL FIXTURE COUNT	TYPE	NEW POLE COUNT	MANUFACTURER	MODEL	MODEL NUMBER	NOTES	MOUNTING HEIGHT	MOUNTING ACCESSORY	BUG RATING	MOUNTING	KILOWATT PER HOUR	TOTAL WATTAGE
8	BA1	-	CREE	CPY	CPY250-C-2L-40K7-F-UL-DM-BZ	REPLACE EXISTING FIXTURE	MATCH EXISTING CANOPY HEIGHT	-	B1-U0-G0	SURFACE CANOPY MOUNT	0.014	112 W
9	EK1	-	CREE	ZR22	ZR-22-D-40L-840-CV-UNV-10V5	REPLACE EXISTING FIXTURE	MATCH EXISTING CANOPY HEIGHT	-	B2-U0-G1	RECESSED CANOPY MOUNT	0.027	243 W
2	OC1	1	CREE	OSQ	OSQM-C-16L-40K7-5N-UL-NM-BK	ADD NEW POLE AND FIXTURE	18' AFG	OSQ-ML-C-DA-BK	B3-U0-G2	POLE MOUNT	0.097	194 W
1	OC2	-	CREE	OSQ	OSQM-C-16L-40K7-5N-UL-NM-BK	ADD NEW FIXTURE	18' AFG	OSQ-ML-C-DA-BK, WM-DM-BK	B3-U0-G2	WALL MOUNT	0.097	97 W
1	OK1	-	CREE	OSQ	OSQL-C-22L-40K7-4M-UL-NM-BK	ADD NEW FIXTURE	18' AFG	OSQ-ML-C-DA-BK, WM-DM-BK	B3-U0-G3	WALL MOUNT	0.131	131 W
2	OU1	-	CREE	OSQ	OSQL-C-22L-40K7-3M-UL-NM-BK	REPLACE EXISTING FIXTURE	MATCH EXISTING	OSQ-ML-C-DA-BK	B3-U0-G3	POLE MOUNT	0.131	262 W
2	OU2	-	CREE	OSQ	OSQL-C-22L-40K7-3M-UL-NM-BZ	REPLACE EXISTING FIXTURE	MATCH EXISTING	OSQ-ML-C-DA-BZ	B3-U0-G3	POLE MOUNT	0.131	262 W
1	OX1	1	CREE	OSQ	OSQL-C-22L-40K7-3B-UL-NM-BK	ADD NEW POLE AND FIXTURE	18' AFG	OSQ-ML-C-DA-BK	B2-U0-G2	POLE MOUNT	0.131	131 W
1	SB1	-	CREE	SECURITY EDGE	SEC-EDG-2S-WM-02-E-UL-BZ-525-40K	REPLACE EXISTING FIXTURE	MATCH EXISTING	-	B1-U0-G1	WALL MOUNT	0.037	37 W
1	SG1	-	CREE	SECURITY EDGE	SEC-EDG-3M-WM-04-E-UL-BZ-350-40K	REPLACE EXISTING FIXTURE	MATCH EXISTING	-	B1-U0-G1	WALL MOUNT	0.046	46 W
4	SJ1	-	CREE	SECURITY EDGE	SEC-EDG-4M-WM-02-E-UL-BZ-700-40K	REPLACE EXISTING FIXTURE	MATCH EXISTING	-	B1-U0-G1	WALL MOUNT	0.05	200 W
4	SK1	-	CREE	SECURITY EDGE	SEC-EDG-4M-WM-04-E-UL-BZ-525-40K	REPLACE EXISTING FIXTURE	MATCH EXISTING	-	B2-U0-G2	WALL MOUNT	0.07	280 W
2	SK2	-	CREE	SECURITY EDGE	SEC-EDG-4M-WM-04-E-UL-BZ-525-40K	ADD NEW FIXTURE	11' - 6" AFG	-	B2-U0-G2	WALL MOUNT	0.07	140 W

GENERAL NOTES:

- FOR ALL FIXTURES MARKED TO BE REPLACED IN KIND (<RPL>), REMOVE EXISTING LIGHT FIXTURE AND PREPARE EXISTING CIRCUIT TO RECEIVE NEW FIXTURE. CONNECT NEW FIXTURE TO EXISTING CIRCUIT & CONTROLS AS PREVIOUSLY REMOVED LIGHT.
 - PERFORM INSULATION IMPEDENCE (MEGGER) TEST TO DETERMINE IF CONDUCTOR REUSE IS VIABLE. REUSE CONDUCTORS IF TEST PASSES. IF TEST RESULTS FALL OUTSIDE OF NOMINAL VALUES, REMOVE CONDUCTORS BACK TO SOURCE AND REPLACE WITH NEW CONDUCTORS MATCHING EXISTING WIRE GAUGE, TYPE, MATERIAL AND INSULATION AS PREVIOUS.
 - IF INSULATION IMPEDENCE TEST FAILED, PERFORM CONDUIT INTEGRITY TESTS TO DETERMINE IF REUSE OF EXISTING CONDUIT IS VIABLE. REUSE CONDUIT IF TEST PASSES. IF TEST RESULTS FALL OUTSIDE OF NOMINAL VALUES, REMOVE CONDUIT BACK TO SOURCE AND REPLACE WITH NEW CONDUIT MATCHING EXISTING MATERIAL, SIZE & BURIAL DEPTH.
- VOLTAGES OF ALL NEW FIXTURES SHALL MATCH THAT OF THE FIXTURE AND BRANCH CIRCUIT IT IS REPLACING OR MATCH THE EXISTING BRANCH CIRCUIT THAT IT WILL BE CONNECTED TO. REFER TO LIGHTING FIXTURE SCHEDULE FOR ADDITIONAL INFORMATION.
- ALL NEW CONDUIT ROUTES SHALL BE INSTALLED SUCH THAT THEY ARE HIDDEN FROM VIEW. ROUTE CONDUITS UNDERGROUND, THRU WALLS, OR ABOVE CEILING, TYP. COORDINATE WITH PROJECT MANAGER FOR SPECIFIC ROUTING CONCERNS. TRIM ALL TREES/LANDSCAPING TO MINIMIZE IMPEDING LIGHT FROM ANY LIGHT FIXTURES THAT IMPACT THE 60' RADIUS AROUND ALL ATMS AND A RADIUS OF 50' AROUND ALL AFTER-HOUR DEPOSITORIES. CONSIDERATION MUST BE GIVEN TO TREES/LANDSCAPING IN A STATE OF FULL FOLIAGE/BLOOM AND FUTURE GROWTH. ALL LANDSCAPING WORK WILL BE PERFORMED BY OTHERS WITH A SEPARATE PERMIT (IF REQUIRED).
- GENERAL CONTRACTOR TO CONFIRM EXISTING POLE BASE CONDITIONS ARE SUITABLE FOR MOUNTING NEW POLE AND POLE MOUNTING BRACKET.
- HALF SHADED LIGHTING FIXTURES SHALL BE PROVIDED WITH EMERGENCY BATTERY PACKS AND CONNECTED TO THE NEAREST UNSWITCHED LIGHTING LEGS.



COA-#0013733
80 State Street
Albany, NY 12207-2543 TEFA No. 521167

Bank of America Exterior Lighting Program



Bank of America
PROPERTY ID: MIB-166
BULLETIN: 3-2020

2250 W Michigan Ave.
Ypsilanti, MI 48197

KEYED NOTES:

- EXACT LOCATION UNKNOWN. EXISTING ELECTRICAL PANEL TO REMAIN. CONTRACTOR TO TRACE AND LOCATE EXISTING SITE LIGHTING CIRCUIT AND SOURCE. VERIFY PANEL SIZE, VOLTAGE, AND BREAKER SIZE AND NOTIFY ENGINEER OF RECORD PRIOR TO ORDERING OR SUBMITTING EQUIPMENT.
- PROVIDE NEW WALL MOUNTED LIGHTING FIXTURE. UTILIZE EXISTING EXTERIOR BUILDING LIGHTING CIRCUIT. REWORK/EXTEND EXISTING CONDUIT AND CONDUCTORS AS NECESSARY.
- PROVIDE NEW POLE, NEW LIGHTING FIXTURE, AND NEW CONCRETE BASE. UTILIZE EXISTING SITE LIGHTING CIRCUIT SERVING SIMILAR FIXTURES AND MATCH CONTROL METHODOLOGY. REWORK/EXTEND CONDUIT AND CONDUCTORS WHERE NECESSARY TO ACHIEVE FULLY FUNCTIONAL AND OPERATIONAL SITE LIGHTING. MATCH EXISTING CONDUIT AND CONDUCTOR SIZES.

LOAD DEMAND CALCULATION (EXTERIOR POLE LIGHTS)

	VA	AMPS @ 120V/1P
EXISTING CALCULATED SITE LIGHTING LOAD	388 VA	3.23 A
DEMOLISHED CALCULATED SITE LIGHTING LOAD	-388 VA	-3.23 A
NEW LIGHTING LOAD	1077 VA	8.98 A
CALCULATED DEMAND LOAD	388 VA	3.23 A
	-388 VA	-3.23 A
	+1077 VA	+8.98 A
	1077 VA	8.98 A

CONTRACTOR SHALL TRACE AND VERIFY ALL CIRCUITS BEING CONNECTED.

Consultants:

Project Manager:



CBRE GLOBAL WORKPLACE SOLUTIONS
100 E. Charles Street, 20th Floor
Baltimore, MD 21201
Tel: (410) 382-2629
Contact: Sergio Merino
Email: Sergio.Merino@cbre.com

Lighting Designer:



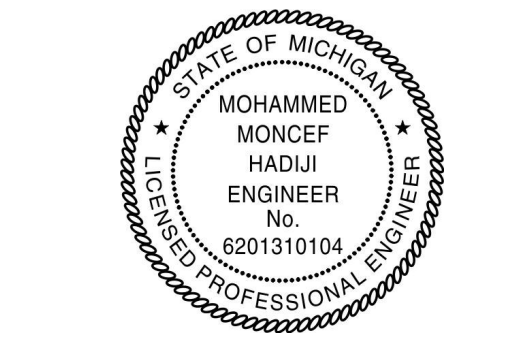
GMR
1625 Smel Drive, Suite 200
Heath, TX 75032
Tel: (972) 771-6038
www.gmr1.com

Revisions:

No.	Date	Description
2	10/25/24	REV 1

TO THE BEST OF MY KNOWLEDGE THESE DRAWINGS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE BUILDING CODES.

Seal



PRINTED NAME: M. MOHAMMED HADUJI

Project No.: 521167

Issue Date: 10.25.2024

Drawn By: D. SAENGER

Approved By: M. HADUJI

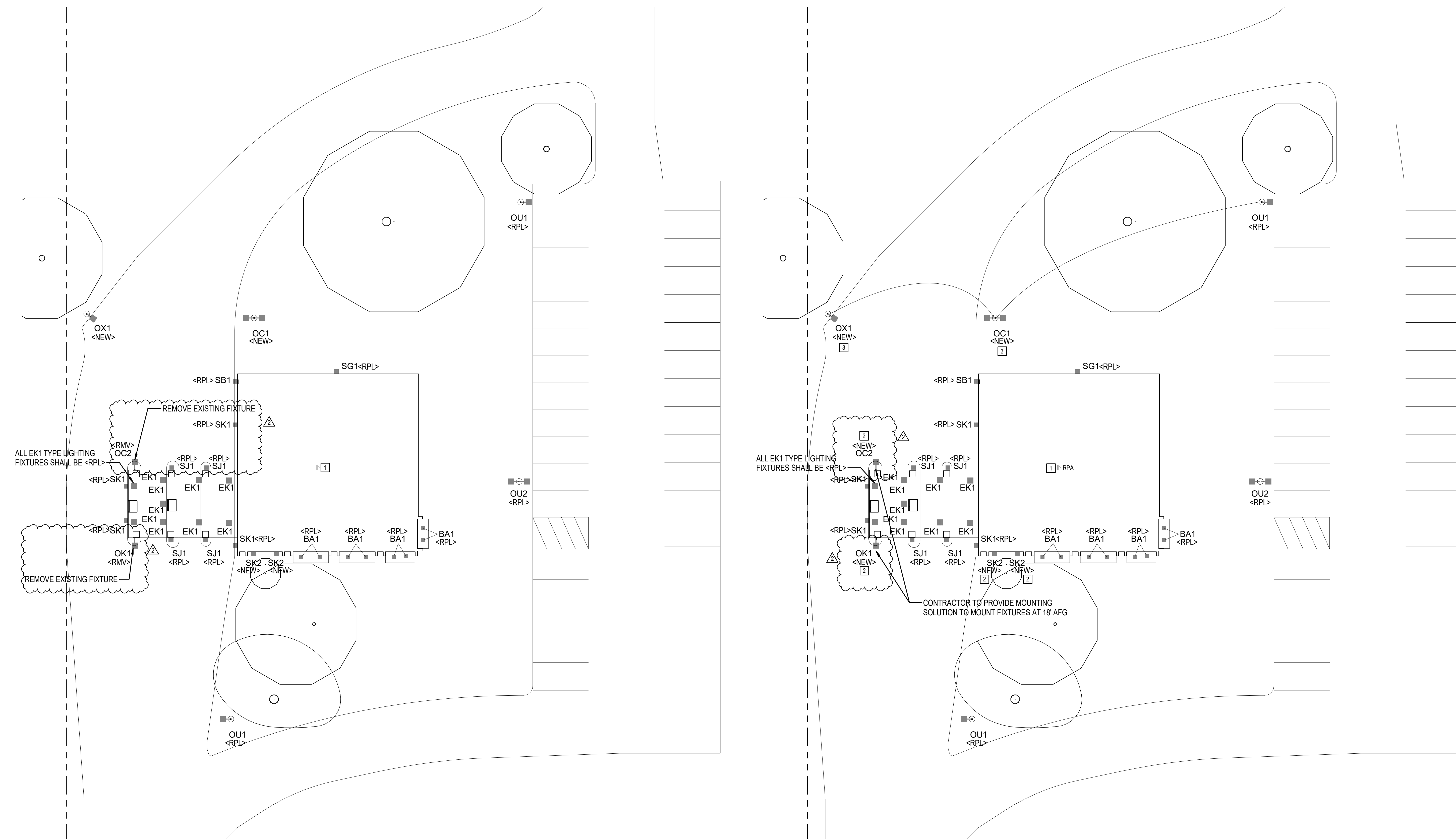
Scale: As indicated

Drawing Title:

ELECTRICAL SITE LIGHTING PLAN AND SCHEDULES

Drawing No.:

E-101



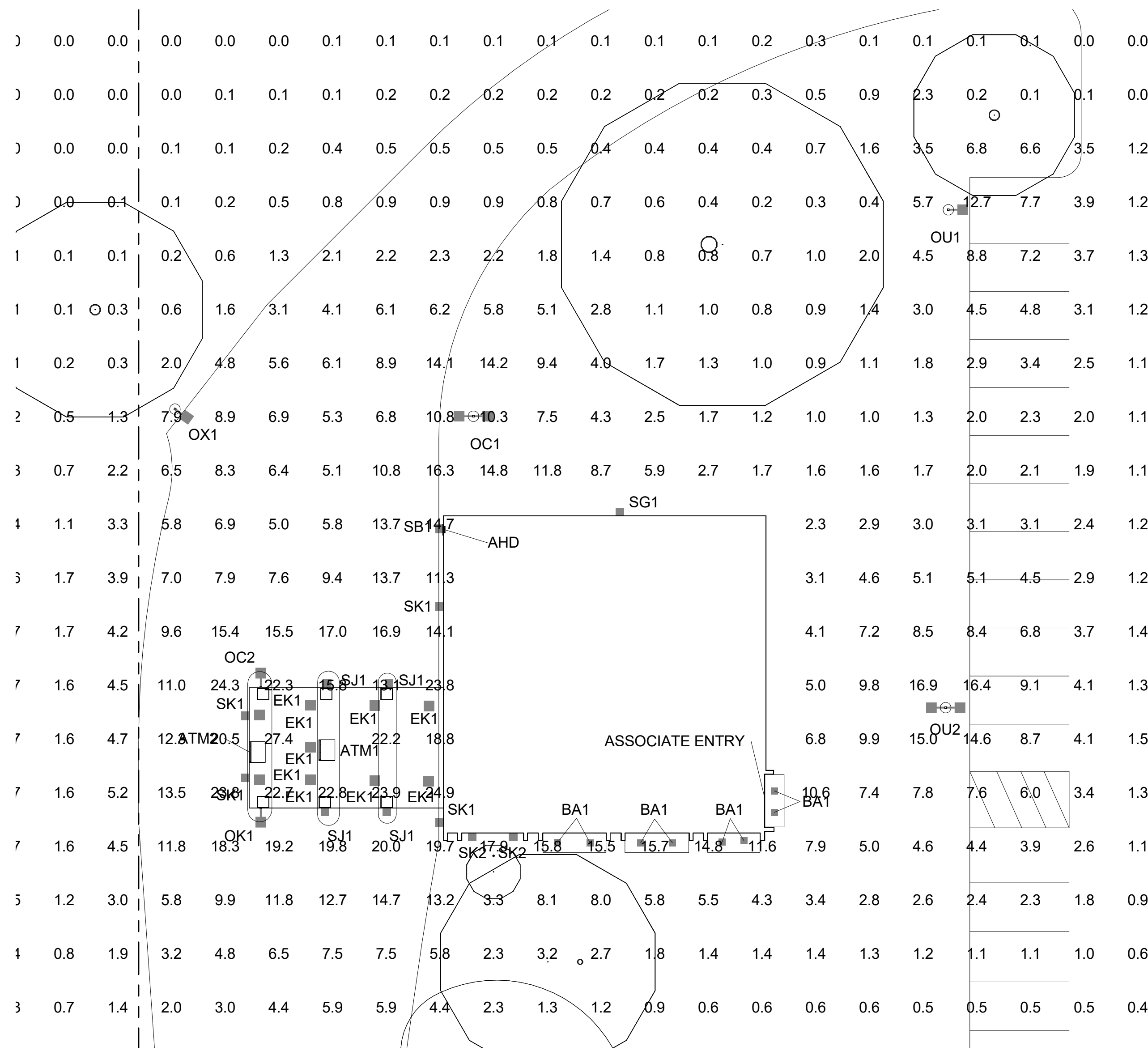
1 SITE LIGHTING PLAN - DEMOLITION
1/16" = 1'-0"

2 SITE LIGHTING PLAN - NEW WORK
1/16" = 1'-0"

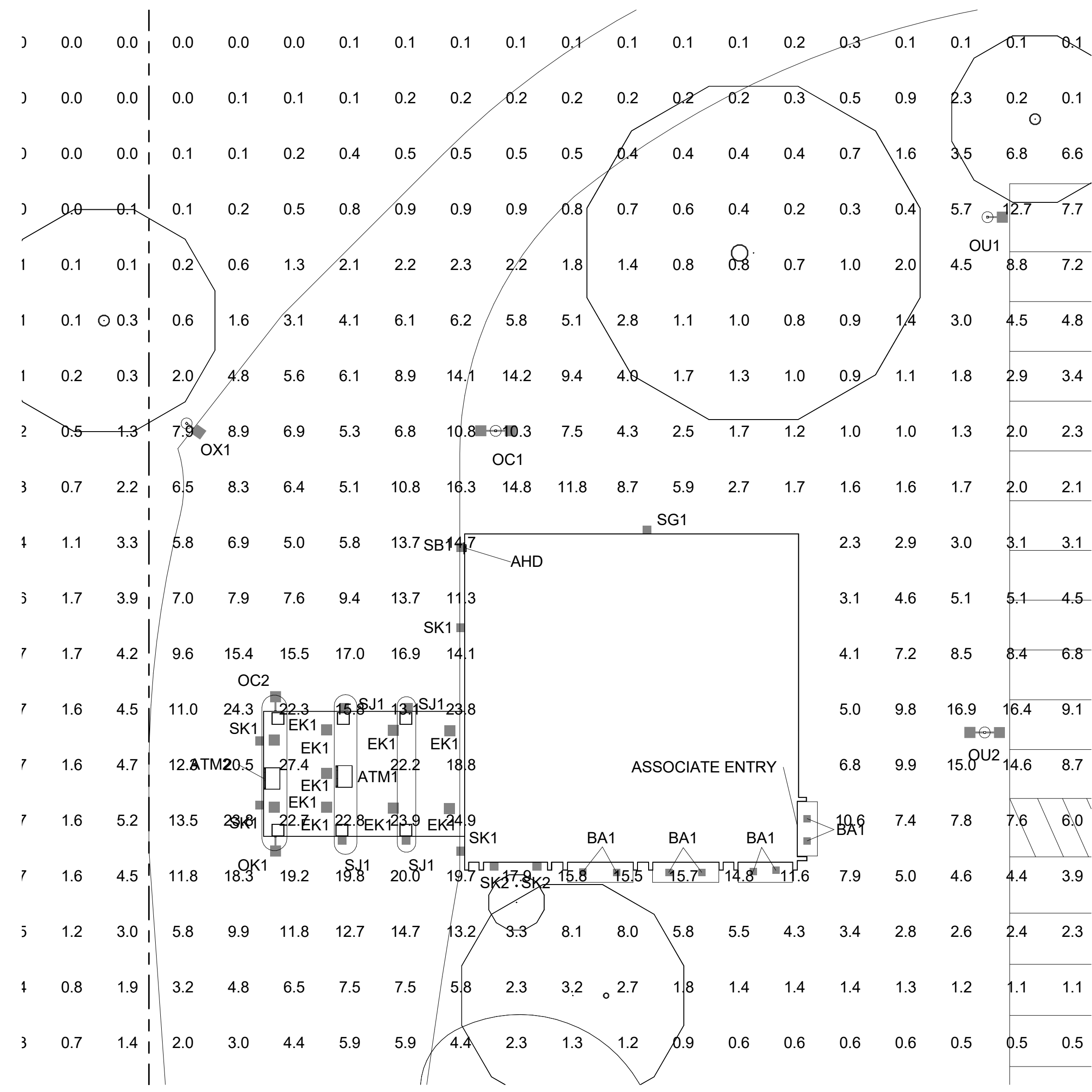
L:\2024\1004521167-Bank of America Exterior Lighting - Ypsilanti, MI (2250 W Michigan Ave) MIB-166_P22.rvt 10/24/2024 4:20:16 PM

CALCULATION SUMMARY - FULL SITE						
Calculation Points Name	Average	Maximum	Minimum	Avg/Min	Max/Min	
FULL SITE @ 36"	2.5 fc	27.4 fc	0.0 fc	0.0	0.0	

CALCULATION SUMMARY - COMPLIANCE						
Calculation Points Name	Average	Maximum	Minimum	Avg/Min	Max/Min	
ALL UNITS 50' @ 36"	12.6 fc	49.0 fc	1.7 fc	7.3	28.3	



2 FULL SITE PHOTOMETRIC
 E-102 1/16" = 1'-0"



1 COMPLIANCE AREA PHOTOMETRIC
 1/16" = 1'-0"

Consultants:
 Project Manager:

CBRE
 CBRE GLOBAL WORKPLACE SOLUTIONS
 100 E. Charles Street, 30th Floor
 Baltimore, MD 21201
 Tel: (410) 382-2529
 Contact: Sergio Merino
 email: Sergio.Merino@cbre.com

Lighting Designer:

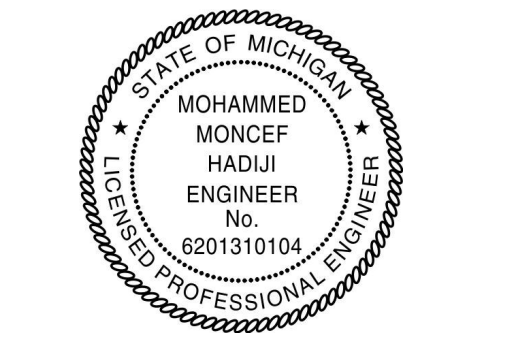
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 Tel: (972) 771-6038
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Revisions:

No.	Date	Description
2	10/25/24	REV 1

TO THE BEST OF MY KNOWLEDGE, THESE DRAWINGS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE BUILDING CODES.

Seal



PRINTED NAME: M. MOHAMMED HADJI

Project No.: 521167

Issue Date: 10.25.2024

Drawn By: D. SAENGER

Approved By: M. HADJI

Scale: 1/16" = 1'-0"

Drawing Title:

ELECTRICAL SITE PHOTOMETRIC PLANS

Drawing No.:

E-102



GENERAL NOTES:

- WHERE FIXTURES ARE BEING REPLACED, INPUT WATTAGE OF NEW LIGHT FIXTURES BEING INSTALLED IS LOWER THAN WATTAGE OF FIXTURES BEING REPLACED. EXISTING FIXTURES BEING REMOVED ARE TYPICAL OF TYPE HPS, MH, FLUORESCENT, ETC. WHILE THE NEW FIXTURES BEING INSTALLED ARE LED. LED FIXTURES, WITH THE SAME LIGHT OUTPUT AS THE EXISTING FIXTURES, ARE OF A HIGHER EFFICIENCY THEREBY REQUIRING LESS LOAD.
- ALL EXTERIOR BRANCH LIGHTING CIRCUITS WITH FIXTURES BEING REPLACED WILL HAVE A LOWER LOAD THAN PREVIOUS CONDITION. WHERE NEW LIGHT FIXTURES ARE ADDED TO EXISTING EXTERIOR LIGHTING BRANCH CIRCUITS, THE REVISED ELECTRICAL DEMAND LOAD HAS BEEN NET OVERALL REDUCED WHEN COMPARED TO THE ORIGINAL DEMAND.
- OVERALL BUILDING ELECTRICAL DEMAND HAS BEEN REDUCED.
- CONTRACTOR SHALL TRACE AND VERIFY ALL BOLDDED CIRCUITS. CONTRACTOR SHALL TRACE AND VERIFY ALL CIRCUITS BEING CONNECTED TO PER SHEET E-101.

Bank of America Exterior Lighting Program



PROPERTY ID: MIB-166 | 2250 W Michigan Ave, Ypsilanti, MI 48197
BULLETIN: 3-2020

Panel: RPA

Location: RPA Mounting: SURFACE Dist. / Phase / Wires: -- K.A.L.C. Rating: EXIST BUS Rating: 225 A
Supply From: Enclosure: TYPE 1 Max Height Busing: Yes Mains Type: MLO MCB Rating: N/A

K N	C K	Circuit Description	Wiring	Phase	Wires	A (KVA)	B (KVA)	C (KVA)	Wiring	Phase	Wires	Circuit Description	K N	
		BATHROOM LOUNGE & DRIVE-UP LTG	20	1	0.000	0.000			1	20	GENERAL RECEPTACLES	2		
		3 TELLERLINE LTG	20	1		0.000	0.000		1	20	GENERAL RECEPTACLES	4		
		5 PLATFORM WEST LIGHTS	20	1				0.000	0.000	1	20	GENERAL RECEPTACLES	6	
		7 EXTERIOR ROOF LIGHTS	20	1	0.000	0.000			1	20	GENERAL RECEPTACLES	8		
		9 CANOPY LTG	20	1	0.000	0.000			1	20	BATHROOM HEATERS GFIS	10		
		11 OPENGLOSE LIGHTS	20	1				0.000	0.000	1	20	PHOTO EYE LTG CONT	12	
		13 RECEPT LEFT OF FRIDGE	20	1	0.000	0.000			1	20	CLOSING ROOM GEN RECEPT	14		
		15 BASEMENT GENERAL RECEPTACLES	20	1		0.000	0.000		1	20	HALLWAY & CLOSING ROOM LIGHTS	16		
		17 BASEMENT GEN. RECEPT	20	1				0.000	0.000	1	20	CLOSING ROOM GEN. RECEPT	18	
		19 HEATER PANEL	20	1	0.000	0.000			1	20	SPARE	20		
		21 LOUNGE HEATER & GEN. RECEPT	20	1		0.000	0.000		1	20	EXTERIOR CANOPY LIGHTS	22		
		23 TELLERLINE IG RECEPT	20	1				0.000	0.000	1	20	LOBBY RECEPT	24	
		25 TELLERLINE IG RECEPT	20	1	0.000	0.000			1	20	BUILDING SIGN	26		
		27 WALK LIGHTS	20	1		0.000	0.000		1	20	POLE LIGHTS	28		
		29 STARWAY LIGHTS	20	1				0.000	0.000	1	20	TELLER HEATER DRIVE UP	30	
		31 ELECTRIC WATER HEATER	20	1	0.000	0.000			1	20	EXTERIOR CANOPY LIGHTS	32		
		33 BASEMENT LIGHTS	20	1		0.000	0.000		1	20	NETWORK PRINTER	34		
		35 BASEMENT LIGHTS	20	1				0.000	0.000	1	20	FAX/COOPY MACHINE	36	
		37 DRIVE UP HEATER	20	1	0.000	0.000			1	20	KITCHEN RECEPTACLES	38		
		39 DRIVE UP IG RECEPT	20	1		0.000	0.000		1	20	BACKDOOR LIGHT	40		
		41 DRIVE UP GEN. RECEPT	20	1				0.000	0.000	1	20	EXISTING EMERGENCY	42	
			Connected Phase Load (KVA)			0.000	0.000	0.000						
			Connected Phase Amps (A)			0.000	0.000	0.000						
Load Classification			Connected Load	Demand Factor	Demand Load	Panel Totals								
						Total Connected Load (KVA):		0.000						
						Total Demand Load (KVA):		0.000						
						Total Demand Current (A):		0						

Panel Keynotes (KN):

BOLDDED CIRCUITS INDICATE POTENTIAL CIRCUITS FOR REUSE. CONTRACTOR SHALL TRACE AND VERIFY ALL EXISTING EXTERIOR LIGHTING BRANCH CIRCUITS.

Consultants:

Project Manager:

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 Baltimore, MD 21201
 Tel: (410) 382-2629
 Contact: Sergio Merino
 email: Sergio.Merino@cbre.com

Lighting Designer:

GMR
 Facility Analysis & Engineering
 GMR
 1625 Smoak Drive, Suite 200
 Heath, TX 75032
 Tel: (972) 771-6038
 www.gmr7.com

Revisions:

No.	Date	Description

TO THE BEST OF MY KNOWLEDGE, THESE DRAWINGS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE BUILDING CODES.

Seal



PRINTED NAME: M. MOHAMMED HADUJI
 Project No.: 521167
 Issue Date: 10.25.2024
 Drawn By: D. SAENGER
 Approved By: M. HADUJI
 Scale:
 Drawing Title:
ELECTRICAL PANEL SCHEDULES

Drawing No.: E-401

ZR Series
ZR14™, ZR22™, and ZR24™ LED Troffers

Product Description
The ZR LED troffer provides energy productivity and code compliance - all with installation that is so simple you can't do it wrong. The ZR Series delivers from 2000 to 3000 lumens and offers quality light that is perfect for both new construction and renovation. Multiple control options including 0-10V, SmartCast™ Technology, Linear, and Lumina Ecosystem products optimize ambient and accent lighting, and provide energy savings and maintenance savings resulting in lower electricity bills, reduced maintenance and an improved cost of ownership over traditional lighting control systems. The ZR LED troffer extends a breakthrough in balancing energy savings, visual comfort and project budgets.

Performance Summary
Efficiency: Up to 144 LPW
Initial Delivered Lumens: 2,033 to 10,120 (see table below)
Input Power: 19W-73W
CRI: 81+
 CCT: 3000K, 4000K, 5000K, 5700K

Assembled in the USA by Cree Lighting from US and imported parts

Limited Warranty: 5 years on luminaires; 5 years on SmartCast™ and Lumina controls; up to 5 years on SmartCast™ accessories; 1 year for luminaire accessories.
Lumina Warranty: 5-year Energy Bank Up (EBU) Warranty - 1 year on Battery Back Up (BBU) regardless of accordance with local code.

Accessories

Accessory	Description
SmartCast™ Technology Face Plate	SmartCast™ Technology Face Plate
SmartCast™ Technology Wireless Plug Level Control	SmartCast™ Technology Wireless Plug Level Control
SmartCast™ Technology Wireless Switch	SmartCast™ Technology Wireless Switch
SmartCast™ Technology Wireless Scene Controller	SmartCast™ Technology Wireless Scene Controller
SmartCast™ 10V Zone Controller	SmartCast™ 10V Zone Controller
SmartCast™ 10V Zone Controller	SmartCast™ 10V Zone Controller
SmartCast™ 10V Zone Controller	SmartCast™ 10V Zone Controller
SmartCast™ 10V Zone Controller	SmartCast™ 10V Zone Controller

CPY Series - Version C
CPY250™ LED Canopy/Soffit Luminaire

Product Description
The CPY250 LED Canopy/Soffit Luminaire has an extremely thin profile constructed of rugged cast aluminum. It can be surface mounted easily from below the canopy deck and can be pendant mounted. Direct imaging of the LEDs is eliminated with a highly efficient patterned flat or 3-D™ etched acrylic glass lens.

Performance Summary
Assembled in the USA by Cree Lighting from US and imported parts
Initial Delivered Lumens: Up to 21,000
Efficacy: Up to 145 LPW
CRI: Minimum 70 CRI (40K, 50K, 57K), 80 CRI (50K), 90 CRI (40K, 50K)
 CCT: 3000K, 4000K, 5000K, 5700K

Limited Warranty: 10 years on luminaire; 10 years for Colorfast DataGuard™ finish; 5 years for PML sensor; up to 5 years for SmartCast™ accessories; 1 year for field-installed accessories.

Accessories

Accessory	Description
Direct Mount Luminaire	Direct Mount Luminaire
DM Mount / DM Mount with HZ Option	DM Mount / DM Mount with HZ Option
Flat Lens	Flat Lens
Drop Lens	Drop Lens
DM Mount / DM Mount with HZ Option	DM Mount / DM Mount with HZ Option
Flat Lens	Flat Lens
Drop Lens	Drop Lens
DM Mount / DM Mount with HZ Option	DM Mount / DM Mount with HZ Option
Flat Lens	Flat Lens
Drop Lens	Drop Lens

OSQ Series
OSQ™ LED Area/Flood Luminaire featuring Patented NanoComfort™ Technology - Version C

Product Description
The OSQ™ Area/Flood Luminaire blends extreme optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged cast aluminum with an integral, weatherproof LED driver compartment. Weatherable mounting configurations offer simple installation. Its slim, low profile design minimizes wind load requirements and blends seamlessly into the site providing even, quality illumination. Luminaire is suitable upgrade for HID applications up to 400 Watts. Large is suitable upgrade for HID applications up to 1000 Watts. Extra Large is suitable upgrade for HID applications up to multiple 1000 Watts.

Performance Summary
Utilizes Cree TrueWhite™ Technology on 5000K Luminaires
Assembled in the USA by Cree Lighting from US and imported parts
Initial Delivered Lumens: 1,000 - 85,000
Efficacy: Up to 171 LPW
CRI: Minimum 70 CRI (3000K, 4000K & 5700K), 90 CRI (5000K)
 CCT: 3000K, 4000K, 5000K, 5700K

Limited Warranty: 10 years for luminaire; 10 years for Colorfast DataGuard™ finish; 5 years for BML sensor; up to 5 years for SmartCast™ accessories; 1 year for luminaire accessories.

Ordering Information
Fully assembled poles are composed of two components that must be ordered separately.
Example: MOUNT OSQ-M-1-C-8-60-1 Luminaire OSQ-C-4L-2007-2M-1L-8M-60

Series	Size	Lumen Package	CR/ CCT	Lens	Control	Voltage	Factory Installed Options*
28	24L	24L Lenses	4,240 Lumens	80 CRI/4000K	Blank	100V	Emergency Backup
		48L Lenses	8,480 Lumens	80 CRI/4000K	SE1	100V	Emergency Backup
		96L Lenses	16,960 Lumens	80 CRI/4000K	SE1	100V	Emergency Backup
		144L Lenses	25,440 Lumens	80 CRI/4000K	SE1	100V	Emergency Backup

Series	Size	Lumen Package	CR/ CCT	Optic	Voltage	Mounting	Color Options	Controls	Options				
CPY250	C	250	2500	15° Flat Lens	120V	DM	BK	None	None				
										3000K	4000K	5000K	5700K
										80 CRI	90 CRI	90 CRI	90 CRI
										Flat Lens	3-D™ Lens	3-D™ Lens	3-D™ Lens
										Drop Lens	Drop Lens	Drop Lens	Drop Lens
										SmartCast™	SmartCast™	SmartCast™	SmartCast™

Series	Size	Lumen Package	CR/ CCT	Optic	Voltage	Mounting	Color Options	Controls	Options			
OSQ	C	3000	3000	Flat Lens	120V	DM	BK	None	None			
										4000K	5000K	5700K
										80 CRI	90 CRI	90 CRI
										Flat Lens	3-D™ Lens	3-D™ Lens
										Drop Lens	Drop Lens	Drop Lens
										SmartCast™	SmartCast™	SmartCast™

SMARTCAST™ TECHNOLOGY **EcoSystem** **vivo** **CBC** **CREE LIGHTING**

US: 800.234.4800 T: 800.234.4800 F: 518.253.5415
Canada: csl@lighting.canada.com T: 800.473.1234 F: 800.473.7507

CREE LIGHTING

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Canada: csl@lighting.canada.com T: 800.473.1234

FIXTURE TYPE EK1

FIXTURE TYPE BA1

FIXTURE TYPE OC1, OK1, OU1, OU2, OX1

THE EDGE® Series
LED Security Wall Pack Luminaire

Product Description
The EDGE™ wall mount luminaire has a slim, low profile design. The luminaire end caps are made from rugged die cast aluminum with integral, weatherproof LED driver compartments and high performance aluminum heat sinks specifically designed for LED applications. Housing is rugged aluminum, includes a lightweight mounting box for installation over standard and must ring single gang J-Boxes. Secures to wall with four 5/16" (3mm) screws (by thread). Condole entry front, bottom, sides and rear. Allows mounting for uplight or downlight. Designed and approved for easy through-wiring. Includes leaf/flash guard.

Performance Summary
Patented NanoOptic™ Product Technology
Assembled in the USA of U.S. and imported parts
CRI: Minimum 70 CRI (4000K & 5700K), 80 CRI (3000K), 90 CRI (5000K)
 CCT: Full-Range Amber, 3000K (v-), 300K (v-), 300K (v-), 500K (v-), 5700K (v-), 500K (v-), 500K (v-)
 Limited Warranty: 10 years on luminaire/10 years on Colorfast DataGuard™ finish/1 year on accessories.

Accessories

Accessory	Description
Beauty Plate	Beauty Plate
Hand-Hold Remotes	Hand-Hold Remotes
SmartCast™ Technology Wireless Plug Level Control	SmartCast™ Technology Wireless Plug Level Control
SmartCast™ Technology Wireless Switch	SmartCast™ Technology Wireless Switch
SmartCast™ Technology Wireless Scene Controller	SmartCast™ Technology Wireless Scene Controller
SmartCast™ 10V Zone Controller	SmartCast™ 10V Zone Controller
SmartCast™ 10V Zone Controller	SmartCast™ 10V Zone Controller
SmartCast™ 10V Zone Controller	SmartCast™ 10V Zone Controller
SmartCast™ 10V Zone Controller	SmartCast™ 10V Zone Controller

SSS Series
Crown-Wild® Straight Square Steel Poles

Product Description
Cree Lighting's proprietary Crown-Wild® pole base crown weld configuration was designed to minimize stress on poles most vulnerable to failure, provide superior strength and higher rated load ratings. These poles of similar height and cross-section. Both premium pole design and extended life finish combine for a 10-year limited warranty (for luminaire and mounting hardware).

Performance Summary
Assembled in the USA of U.S. and imported parts
CRI: Minimum 70 CRI (4000K & 5700K), 80 CRI (3000K), 90 CRI (5000K)
 CCT: Full-Range Amber, 3000K (v-), 300K (v-), 300K (v-), 500K (v-), 5700K (v-), 500K (v-), 500K (v-)
 Limited Warranty: 10 years on luminaire/10 years on Colorfast DataGuard™ finish/1 year on accessories.

Accessories

Accessory	Description
Beauty Plate	Beauty Plate
Hand-Hold Remotes	Hand-Hold Remotes
SmartCast™ Technology Wireless Plug Level Control	SmartCast™ Technology Wireless Plug Level Control
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Series	Size	Lumen Package	CR/ CCT	Lens	Control	Voltage	Factory Installed Options*
28	24L	24L Lenses	4,240 Lumens	80 CRI/4000K	Blank	100V	Emergency Backup
		48L Lenses	8,480 Lumens	80 CRI/4000K	SE1	100V	Emergency Backup
		96L Lenses	16,960 Lumens	80 CRI/4000K	SE1	100V	Emergency Backup
		144L Lenses	25,440 Lumens	80 CRI/4000K	SE1	100V	Emergency Backup

Series	Size	Lumen Package	CR/ CCT	Optic	Voltage	Mounting	Color Options	Controls	Options				
CPY250	C	250	2500	15° Flat Lens	120V	DM	BK	None	None				
										3000K	4000K	5000K	5700K
										80 CRI	90 CRI	90 CRI	90 CRI
										Flat Lens	3-D™ Lens	3-D™ Lens	3-D™ Lens
										Drop Lens	Drop Lens	Drop Lens	Drop Lens
										SmartCast™	SmartCast™	SmartCast™	SmartCast™

Series	Size	Lumen Package	CR/ CCT	Optic	Voltage	Mounting	Color Options	Controls	Options			
OSQ	C	3000	3000	Flat Lens	120V	DM	BK	None	None			
										4000K	5000K	5700K
										80 CRI	90 CRI	90 CRI
										Flat Lens	3-D™ Lens	3-D™ Lens
										Drop Lens	Drop Lens	Drop Lens
										SmartCast™	SmartCast™	SmartCast™

SMARTCAST™ TECHNOLOGY **EcoSystem** **vivo** **CBC** **CREE LIGHTING**

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Canada: csl@lighting.canada.com T: 800.473.1234

FIXTURE TYPE SB1, SG1, SJ1, SK1, SK2

LIGHT POLE CUTSHEET

Bank of America Exterior Lighting Program



2250 W Michigan Ave.,
Ypsilanti, MI 48197

PROPERTY ID: MB-166
BULLETIN: 3-2020

Consultants:

Project Manager:



CBRE GLOBAL WORKPLACE SOLUTIONS
100 S. Centre Street, 3rd floor
Baltimore, MD 21201
Tel: (410) 302-2059
Contact: Sergio Marino
email: Sergio.Marino@cbre.com

Lighting Designer:



GMR
1629 Smf Drive, Suite 202
North, TX 75232
Tel: (972) 771-6038
www.gmr.com

Revisions:	No.	Date	Description

TO THE BEST OF MY KNOWLEDGE THESE DRAWINGS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE BUILDING CODES.

Seal



PRINTED BY: M. MOHAMMED HADJI

Project No.: 521167

Issue Date: 10.25.2024

Drawn By: D. SAENGER

Approved By: M. HADJI

Scale:

Drawing Title: LIGHT FIXTURE CUTSHEETS

Drawing No.: E-501