Township Supervisor
Brenda L. Stumbo
Township Clerk
Heather Jarrell Roe
Township Treasurer
Stan Eldridge

YPSILANTI TOWNSHIP
— PLANNING & ZONING DEPARTMENT —

Trustees
John Newman II
Gloria Peterson
Debbie Swanson
Ryan Hunter

ZONING BOARD OF APPEALS

WEDNESDAY
August 7, 2024, @ 6:30 P.M.

If you need any assistance due to a disability, please contact the Planning Department at least 48 hours in advance of the meeting at planning@ypsitownship.org or 734-544-4000 ext. 1.

1. Call Meeting to Order
2. Roll Call – Determination of a quorum
3. Approval of Agenda
4. Approval of the October 04, 2023, Regular Meeting Minutes
5. Public Hearing

Applicant: Johnson Sign Company
Location: 1201 S. Huron Street, Ypsilanti, MI 48197
Parcel ID: K-11-37-420-004
Request: Article 15 – Sec. 1509.6: Permitted Signs in Form-Based Districts: Request for variance to the ground sign requirements in form-based districts.

Applicant: Vance Palmer
Location: 2789 Washtenaw Avenue, Ypsilanti, MI 48197
Parcel ID: K-11-06-303-003
Request: Article 11 – Sec. 1116.1: Veterinary Clinics: Request for variance to allow fenced animal run to be located outside.

Applicant: Skilken Gold
Location: 755 S. Hewitt Rd., 2103 and 2059 W. Michigan Avenue, Ypsilanti, MI 48197
Parcel ID: K-11-18-100-019, K-11-39-350-023, and K-11-39-350-022
Request: Article 5 – Sec. 507.E: Transparency Requirements: Request for variances to the transparency requirements on W. Michigan Ave. and S. Hewitt St. facades in form-based districts.

Applicant: Skilken Gold
Location: 755 S. Hewitt Rd., 2103 and 2059 W. Michigan Avenue, Ypsilanti, MI 48197
Parcel ID: K-11-18-100-019, K-11-39-350-023 and K-11-39-350-022

Request: Article 5 – Sec. 503.4: Building Form Types: Request for variance to the building setback requirements along S. Hewitt Rd. in form-based districts.

Applicant: Skilken Gold
Location: 755 S. Hewitt Rd., 2103 and 2059 W. Michigan Avenue, Ypsilanti, MI 48197
Parcel ID: K-11-18-100-019, K-11-39-350-023 and K-11-39-350-022
Request: Article 5 – Sec. 503.4: Building Form Types: Request for variance to the parking lot location requirements in form-based districts.

6. Open discussion for issues not on the agenda
    a. Planning Department report
    b. Correspondence received.
    c. Zoning Board of Appeals members
    d. Members of the audience and public

7. Any other business that may come before the Zoning Board of Appeals
8. Adjournment

(THERE IS NO WORK SESSION)

Township Supervisor
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YPSILANTI TOWNSHIP
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Zoning Board of Appeals
Staff Report

August 07, 2024

Applicant: Johnson Sign Company, 2240 Lansing Avenue, Jackson, MI 49202

Location: 1201 S. Huron Street, Ypsilanti, MI 48197, Parcel K-11-37-420-004

Zoning: TC, Town Center with a Site Type D Designation

Action Requested: Request for variance to the sign requirements of Article 15 – Sec. 1506.6

Variance Request:

Request for variance to the ground sign requirements of Article 15 – Sec. 1506.6 – Permitted signs in form-based districts of the Township Zoning Ordinance to construct a ground sign that exceeds the height and size requirements allowed.

Location and Summary of Request:

The subject site is a 132-acre parcel, located at the S. Huron Street and James L. Hart Parkway Intersection, just south of the S. Huron and I-94 Interchange. The property is Zoned TC, Town Center with a Site Type D Designation. This property is owned by the Charter Township of Ypsilanti but is leased to the Eagle Crest Golf Course. The golf course was established in 1989 and is also home to the Marriott Hotel and Resort. Commercial and Industrial land uses surround the site in question.

The applicant is seeking relief from Article 15 – Sec. 1506.6 – Permitted signs in form-based districts. Johnson Sign Company are asking the Zoning Board of Appeals to consider granting them a 209 sq. ft. variance, and a 2-foot height variance to the required 32 sq. ft. sign area and 6-foot height requirement.

Cross References:

Article 15 – Sign Requirements
Article 17 – Zoning Board of Appeals

CHARTER TOWNSHIP OF YPSILANTI
ZONING BOARD OF APPEALS
Wednesday, October 4, 2023
6:30 p.m.

COMMISSIONERS PRESENT	**COMMISSIONERS ABSENT**
	David Marshell
Elizabeth El-Assadi	Brad Hine
Stan Eldridge	Jeff Kenner
Edward Burnett	

MANAGEMENT PRESENT
Fletcher Reyher, Planning and Development Coordinator
Dennis McLain, Township Attorney

I. CALL MEETING TO ORDER

MOTION: Ms. El-Assadi called the meeting to order at 6:35 p.m.

II. ROLL CALL – DETERMINATION OF A QUORUM

Ms. El-Assadi completed the roll call and confirmed a quorum was established.

III. APPROVAL OF AGENDA

MOTION: Mr. Eldridge **MOVED** to approve the agenda. The **MOTION** was **SECONDED** by Mr. Burnett and **PASSED** by unanimous consent.

IV. APPROVAL OF THE SEPTEMBER 06, 2023, REGULAR MEETING MINUTES

MOTION: Mr. Eldridge **MOVED** to approve the September 6, 2023, Regular Meeting Minutes as presented. The **MOTION** was **SECONDED** by Mr. Burnett and **PASSED** by unanimous consent.

V. OLD BUSINESS

None.

VI. PUBLIC HEARING

- **Applicant**: Bryan & Arwen Mosher

Location: 2627 Southlawn Street, Ypsilanti, MI 48197

Parcel ID: K-11-06-379-007

Request: Article 4 – Sec. 406. One-Family Residential Districts:

Request for Variance to the rear yard setback requirements.

Mr. Reyher presented a report on behalf of the applicants, noting that they are requesting a variance of 30' rear yard setback as opposed to the required 35' setback. He notes that there is an exceptional circumstance for the property, which has a larger front yard setback of 30', resulting in a smaller rear yard. The proposed home addition encroaches 14' into the rear yard and would need to be reduced to 9' to meet the 35' rear yard setback, which would render the addition unusable to suit their growing family. This Variance would not be detrimental to surrounding properties or the character of the area. A large, wooded area is present that would block the view of this addition from adjacent commercial property.

MOTION: Mr. Eldridge **MOVED** to approve the variance request to the rear yard setback requirements as outlined in Article 4 – Sec. 406. One Family Residential Districts for the home addition for the property located at 2627 Southlawn Street, Ypsilanti, MI 48197, contingent that the owners obtain all required permits. The **MOTION** was **SECONDED** by Mr. Burnett and **PASSED** by unanimous consent.

Roll Call: Mr. Burnett – Yes, Mr. Eldridge – Yes, Ms. El-Assadi – Yes.

- **Applicant**: Jochen Willig

  Location: 7909 Lake Crest Drive, Ypsilanti, MI 48197

  Parcel ID: K-11-21-186-208

  Request: Article 14 – Sec. 1401. Natural Feature Setback:

  Request for Variance to the natural feature setback requirements.

  Mr. Reyher presented a report on behalf of the applicant regarding a setback variance of a shed to a natural feature. The applicant previously applied for the addition of two sheds with additional information requested for a map amendment from FEMA to be submitted

as one shed was in a flood zone. Afterward, the zoning permit was approved for two sheds. A mistaken approval was previously submitted, and the follow-up is being discussed today. The shed is proposed to be 20' away from the lake as opposed to the required 50' setback. The applicant's property and surrounding properties have extraordinary circumstances regarding steep grades in rear yards down to the lake, with the home sitting at an approximate elevation of 742' with a slope of 54' from the home to the water's edge. Constructing a shed outside of the 50' setback is unsafe. The applicant currently has one 11' x 17' shed and a two-car garage. The second shed, at 12' x 16', would increase the enjoyment of the property for the owner. It is the opinion that this added shed will not negatively impact adjacent owners. The applicant has taken several steps to mitigate dangerous slopes in grade by way of landscaping.

The applicants addressed the Commission to support the report presented by Mr. Reyher. An adjacent owner (Don & Marian Brinkman) noted that they do not support the addition of a second shed variance as they believe that as the existing shed is visually intrusive, a second shed may negatively affect the view from the lake. An adjacent owner (Matt Williams) addressed the Commission, providing concerns over the stability of the existing shed, but the Commission clarified that they are considering a second shed. Another owner (Jeff Copmanas) addressed the Commission, stating that the applicants have taken great steps to ensure all matters are addressed in a manner consistent with planning and zoning.

Mr. Eldridge presented questions for clarification regarding setting a precedent with the number of existing features, among others.

MOTION: Mr. Eldridge **MOVED** to approve the variance request to the natural feature setback in the amount of 30' for the addition of a second shed for the property located at 7909 Lake Crest Drive, Ypsilanti, MI 48197, contingent that the shed not have a permanent foundation and shall be able to be moved or removed without significant damage to the surrounding area, the applicants will take due care upon construction, will not disturb the lake's edge, or utilize use of heavy machinery. The **MOTION** was **SECONDED** by Mr. Burnett and **PASSED** by unanimous consent.

VII. OPEN DISCUSSION FOR ISSUES NOT ON THE AGENDA

a. PLANNING DEPARTMENT REPORT – Mr. Reyher reported no current applications submitted and may not reconvene until 2024.

b. CORRESPONDENCE RECEIVED – None

c. ZONING BOARD OF APPEALS MEMBERS – None

d. MEMBERS OF THE AUDIENCE AND PUBLIC – None

VIII. OTHER BUSINESS THAT MAY COME BEFORE THE ZONING BOARD OF APPEALS

None

IX. ADJOURNMENT

MOTION: Mr. Eldridge **MOVED** to adjourn at 7:24 p.m. The **MOTION** was **SECONDED** by Mr. Burnett and **PASSED** by unanimous consent.

Respectfully submitted by Minutes Services.

Township Supervisor
Brenda L. Stumbo
Township Clerk
Heather Jarrell Roe
Township Treasurer
Stan Eldridge

YPSILANTI TOWNSHIP
— PLANNING & ZONING DEPARTMENT —

Trustees
John Newman II
Gloria Peterson
Debbie Swanson
Ryan Hunter

Aerial View – 1201 S. Huron Street

Per Sec. 1506.6

Parcels one (1) acre or greater: shall not exceed thirty-two (32) square feet in area. Additionally, Parcels one (1) acre or greater: shall not exceed six (6) feet in height.

Town Center Sign Requirements	Required	Proposed
Sign Square Footage	32 sq. ft.	241 sq. ft.
Sign Height	6-foot Maximum	8-foot tall

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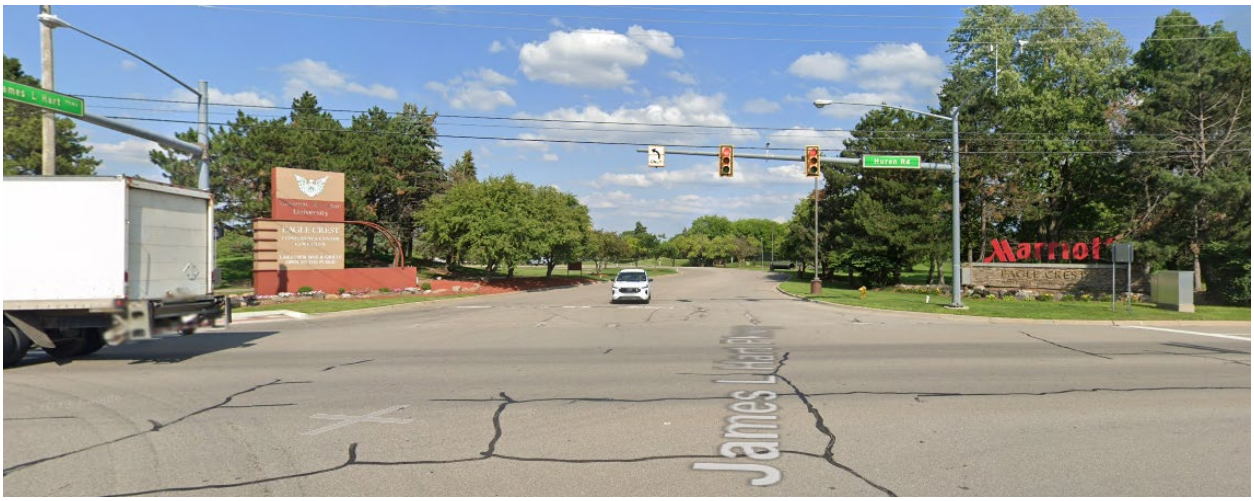
Ryan Hunter

Street View – 1201 S. Huron Street



Analysis:
The Zoning Board of Appeals may grant a dimensional or non-use variance only upon a finding that compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would create a practical difficulty and unreasonably present the use of the property. A finding of practical difficulty shall require demonstration that all the following conditions are met:

1. **That there are exceptional or extraordinary circumstances or conditions applying to the property in question that do not apply generally to other properties or classes of uses in the same zoning district.**

The property in question has unique characteristics that warrant the proposed variance. Specifically, the driveway entrance to the property is located at the first intersection approximately 1,000 feet south of the I-94 Highway interchange with a 45-mph speed limit. At 45-miles-per-hour, it would take less than one minute for a driver to travel this distance. This location and speed limit require signage that is easily visible to drivers who need to make relatively quick decisions due to the high-speed traffic and the proximity to the highway exit. Also, this entrance serves as a primary point of entry for visitors to this site, making effective signage crucial for safety and navigation.

Moreover, the parcel in question is very large (132 acres), with a wide frontage on Huron St. (over 1,000 feet). This condition does not generally apply to other properties in this zoning district and contributes to the uniqueness of the site.

2. **That a variance is necessary for the preservation and enjoyment of a substantial property right possessed by other properties in the same zoning district and in the vicinity.**

The variance is necessary to allow the applicant to enjoy the same substantial property rights possessed by other properties in the same zoning district and vicinity, including adequate identification of the golf course given the traffic speeds and expansive size of the property.

Furthermore, given the property's unique location as the first entrance off a highway interchange, adequate signage is essential for safe and efficient navigation.

3. **That the authorizing of such a variance will not be a substantial detriment to adjacent property, will not be harmful to or alter the essential character of the area, and will not materially impair the purposes of this Ordinance or the public interest.**

Variance relief for this property will not be a substantial detriment to, harmful to, or alter the essential character of the area. The new sign is adequately scaled relative to the size

of the property and length of frontage to identify the entrance to the golf course, and not too large in relation to the size of the property to negatively impact the character of the area.

4. **The property and resulting need for the variance has not been self-created by any action of the applicant or the applicant's predecessors.**

The need for the variance arises from factors beyond the applicant's control, such as the property's unique location, roadway speed limits, size of the property, and visibility requirements. The applicant did not create these circumstances but must respond to them to ensure the property's successful use via adequate identification.

5. **The proposed variance will be the minimum necessary and no variance shall be granted where a different solution not requiring a variance would be possible.**

The proposed 8-foot tall, 241 sq. ft. sign is the minimum necessary to achieve the desired visibility and communication goals. The applicant has explored other options, but none would meet the requirements given the site conditions without a variance. The design of the proposed sign is also 51 sq. ft. (or 17%) smaller than the existing sign.

Suggested motions: The following suggested motions and conditions are provided to assist the Zoning Board of Appeals in making a complete and appropriate motion for this application. The ZBA may utilize, add, or reject any portion of the suggested motion or any conditions suggested herein, as deemed appropriate.

Postpone:

I move to postpone the variance requests at 1201 S. Huron Street, Ypsilanti, MI 48197, Parcel K-11-37-420-004 to the sign requirements of Section 1506.6 of the Township Zoning Ordinance for the construction of an 8-foot tall, 241, sq. ft. ground sign within the building envelope as shown on the plot plan included in the Zoning Board of Appeals Application dated June 26, 2024 to give the applicant an opportunity to address the comments made at this evening's meeting, and return with a revised proposal based on these comments.

Approve:

I move to approve the variance requests at 1201 S. Huron Street, Ypsilanti, MI 48197, Parcel K-11-37-420-004 to the sign requirements of Section 1506.6 of the Township Zoning Ordinance for the construction of an 8-foot tall, 241 sq. ft. ground sign within the building envelope as shown on the plot plan included in the Zoning Board of Appeals Application dated June 26, 2024. Granting of the requested variance meets the criteria for a non-use variance in Section 1704(D) of the Zoning Ordinance. Specifically, granting the requested variances is based on the following facts:

1. There are exceptional conditions applying to this property that do not generally apply to other properties in this district, such as the size of the parcel, the entrance location relatively close to the highway interchange, and traffic speeds;
2. The variances will create adequate identification of the property's primary entrance, assisting in preserving safe traffic movements from a road with a 45-mph speed limit;
3. The variances will not be a substantial detriment to adjacent property and will not materially impair the purposes of this ordinance or the public interest,
4. The need for the variances is not self-created, as the applicant did not create the proximity to the highway interchange, or traffic speeds, and;
5. The proposed variances are the minimum necessary to adequately identify the golf course, given the site conditions of proximity to the highway, traffic speeds, and large property size.

This motion is further made with the following conditions:

1. The applicant shall obtain the required building permits and applicable trade permits for the construction of the sign.

Denial:

I move to deny the variance requests at 1201 S. Huron Street, Ypsilanti, MI 48197, Parcel K-11-37-420-004 to the sign requirements of Section 1506.6 of the Township Zoning Ordinance for the construction of an 8-foot tall, 241, sq. ft. ground sign within the building envelope as shown on the plot plan included in the Zoning Board of Appeals Application dated June 26, 2024., based on the following findings of fact that the requests do not meet the criteria in Section 1704(D) of the Zoning Ordinance. Specifically, the request does not comply with the following criteria: (*ZBA states reasons for denial*)

1. _____

2. _____

Respectfully Submitted,

Fletcher Reyher

Fletcher Reyher, AICP
Planning and Development Coordinator
Charter Township of Ypsilanti Planning Department

Charter Township of Ypsilanti
Office of Community Standards
7200 S. Huron Drive, Ypsilanti, MI 48197
Phone: (734) 485-3943
Website: https://ytown.org

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JUN 26 2024
YPSILANTI TOWNSHIP
OCS

ZONING BOARD OF APPEALS APPLICATION

I. APPLICATION TYPE

- [x] Variance
- [ ] Exceptions and Special Approvals (Includes: Temporary Uses and Structures)
- [ ] Administrative Review Appeal

II. PROJECT LOCATION

Address: 1201 S Huron Parcel ID #: K-11- 37-420-004 Zoning TC
Lot Number: _____ Subdivision: _____

III. APPLICANT INFORMATION

Applicant: Johnson Sign Co Phone: 734-483-2000
Address: 2240 Lansing Ave City: Jackson State: Mi Zip: 49202
Fax: _____ Email: jess@johnsonsign.com
Property Owner: Charter Twp of Ypsilanti - Eagle Crest Golf Course Phone: _____
Address: 7200 S Huron River Dr City: Ypsilanti State: MI Zip: 48197
Fax: _____ Email: _____

IV. COST AND FEES

Total: $_____

Breakdown of fee:		
	Residential:	**$ 125.00**
	✓ **Non-residential:**	**$ 500.00**

V. APPLICANT SIGNATURE

The undersigned Johnson Sign Co (Applicant) represents Eagle Crest Golf Course (Property Owner):

1. That Eagle Crest Golf Course (Property Owner) is/are the owner(s) of lot(s) _____ (Lot) located in the _____ (Subdivision) Subdivision , Ypsilanti Township, Michigan, otherwise known as 1201 S Huron St (Address) and the property is zoned TC (Zoning District)

2. That the petitioner hereby request Variance (Variance/Temporary Use /Regular Meeting) under Section 1500.6 (Section) Article XV (Article) of the Ypsilanti Township Zoning Ordinance.

3. The petitioner further state that JJ (Applicant Initial) have/has read and understands the provisions of said zoning ordinance as it applies to this petition.

4. That the following is submitted in support of the petition (attach all pertinent data to support the request).

James Johnson
Applicant Signature **Print Name** Date 6/18/2024

Charter Township of Ypsilanti
Office of Community Standards
7200 S. Huron Drive, Ypsilanti, MI 48197
Phone: (734) 485-3943
Website: https://ytown.org

OFFICE USE ONLY

All Zoning Board of Appeals Applications	
☐ The application is filled out in its entirety. ☐ If the applicant is not the property owner, written and signed permission from the property owner is required. ☐ Fees ☐ Letter of interest of the applicant in the property	☐ Plot plan or lot survey to scale showing the following: ☐ All property lines and dimensions ☐ All existing and proposed structures and dimensions ☐ Lot area calculations necessary to show compliance with regulations ☐ Easements and dimensions, if applicable ☐ Location of drives, sidewalks, and other paved areas on the property and on the adjacent streets. ☐ Location and dimensions of the nearest structures on adjacent properties.

JOHNSON SIGN CO.

BUILDING FIRST IMPRESSIONS THAT LAST

Charter Township of Ypsilanti
Office of Community Standards
7200 S. Huron Drive
Ypsilanti, MI 48197

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OCS

Letter of Intent for Zoning Variance
For: Eagle Crest Golf Course
1201 S Huron St
Ypsilanti, MI 48197

Zoning: TC Parcel ID #: K -11-37-420-004

Dear Planning and Zoning Members,

We, Johnson Sign Co, are requesting a variance on behalf of Eagle Crest Golf Course, for the above address, to seek relief from the constraints of the sign ordinance standards set forth in Article XV, Sec. 1500.6 A.(1) pertaining to ground signs in the TC zoning district.

Eagle Crest Golf Course seeks to remove their existing 291 square foot, 21' tall sign and erect in its place a 241 square foot and 8' overall height sign that emulates the Marriott sign on the opposite side of the entrance drive. The proposed sign would exceed the ordinance by 209 square feet and 2 feet in height.

Granting of the requested variance would not be a detriment to the surrounding properties. The proposed sign provides an updated, clean, and uniform look to the area which is heavily traveled by drivers heading to and from I-94 and would serve to enhance the character of the area with the cohesive property signage.

Thank you for your consideration,

Sincerely,
Jessica Johnsen

Permit Coordinator
Johnson Sign Co

Dear Jim,

Eagle Crest Golf Club gives Johnson Sign Company permission to write a letter of intent to pursue the variance. Please proceed with the variance for the new front entrance sign at Eagle Crest Resort. This new sign will match the Marriott sign located on the south side of the entrance of the resort. We need to be in harmony with our neighbors and make the front entrance of this world-class resort look the same on both sides of the entrance. Our 35-year-old sign that is located on the north side of the entrance is outdated, has been repaired multiple times and is much bigger than the new sign we are proposing to Ypsilanti Township. This new sign is an upgrade for Eagle Crest Golf Club and will look great to our community.

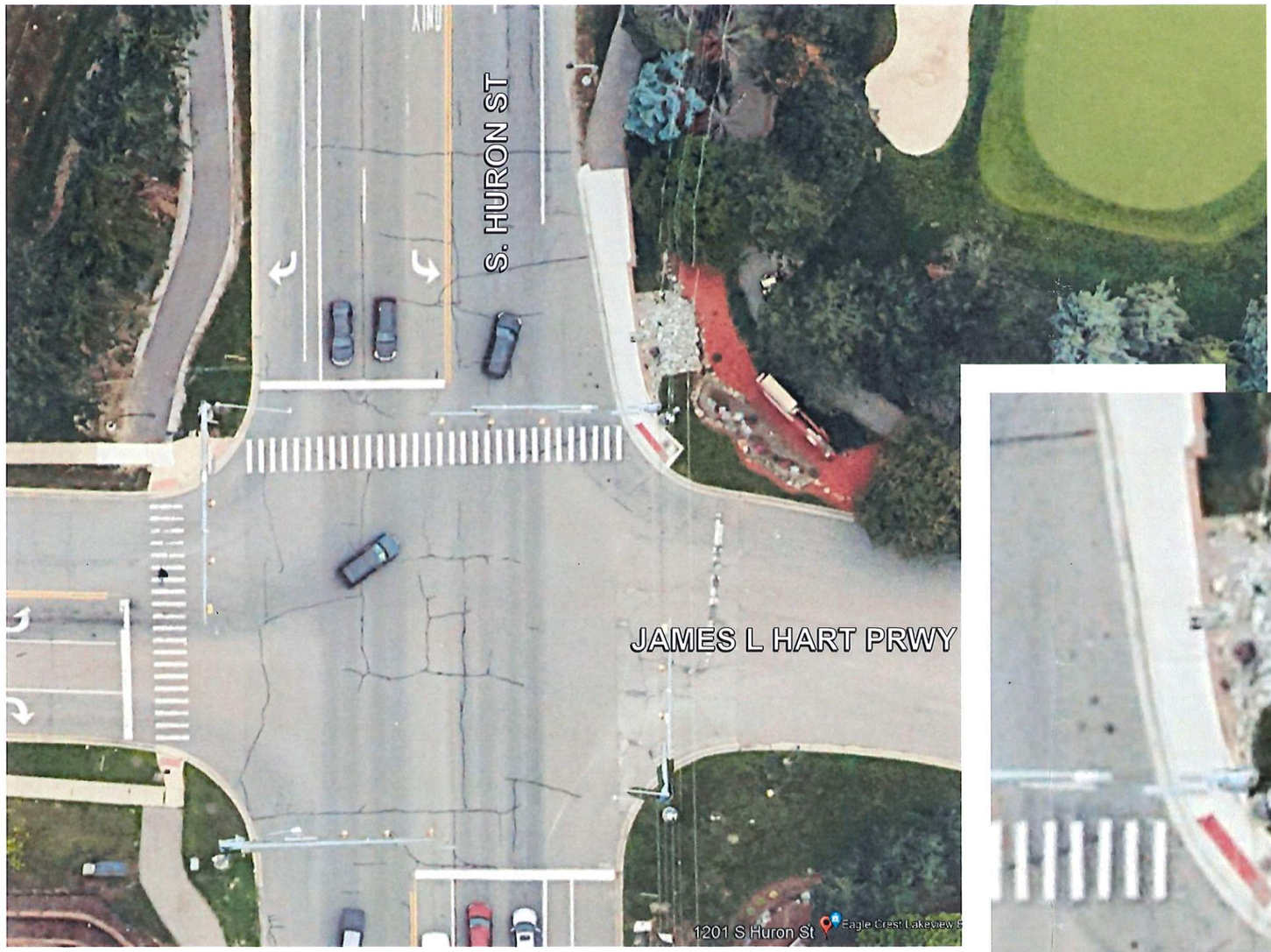
Thank you.

Wes Blevins, PGA
General Manager
Eagle Crest Golf Club

EAGLE CREST
CONFERENCE RESORT

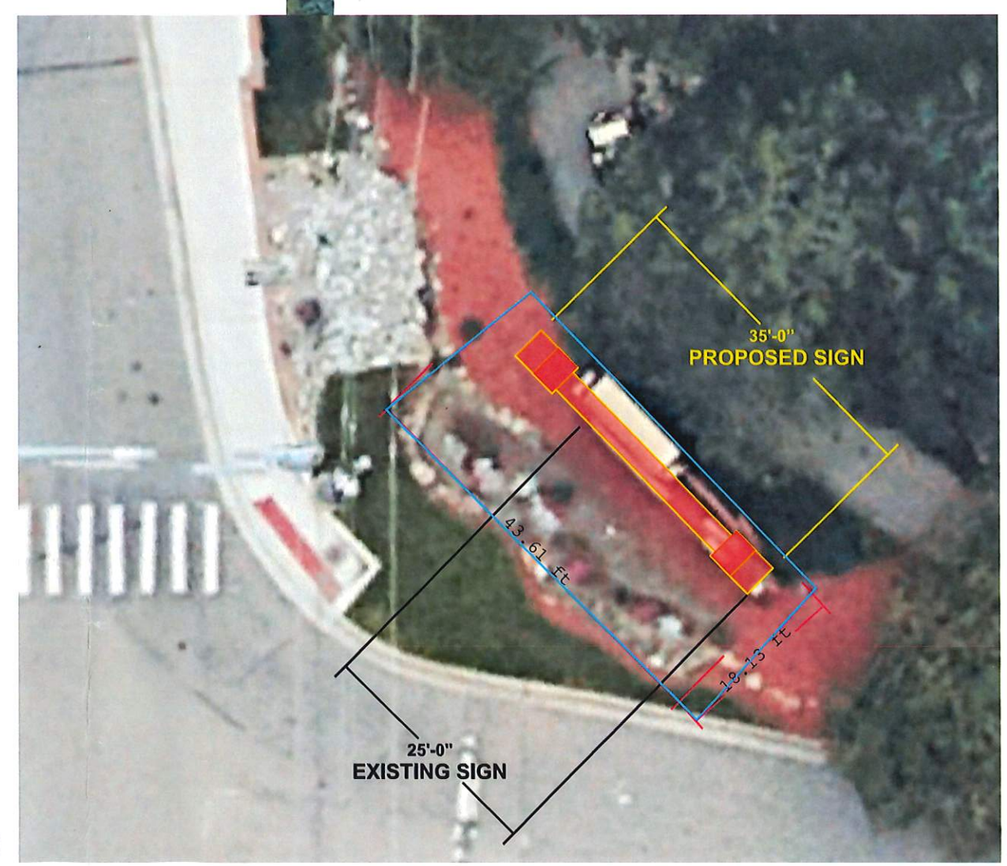
New Single Sided Masonry Gateway Sign

SITE OVERVIEW



THE NEW SIGN IS POSITIONED CENTERED ON THE EXISTING POLES. THE EASTERN LEAD EDGE IS THE SAME AS THE EXISTING SIGN.

Landscaped area outlined in blue, approx. 43.5' x 18' (783 sq ft)



SCALE 1/16" = 1'

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JUN 26 2024
YPSILANTI TOWNSHIP
OCS

JOHNSON SIGN CO · ESTABLISHED 1964
2240 Lansing Ave, Jackson, MI 49202
2900 Alpha Access St., Lansing, MI 48910
663 S. Mansfield, Ypsilanti, MI 48198
1965 Pine Creek Rd., Manistee, MI 49660
517 784 3720 | www.johnsonsign.com

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INTERNATIONAL SIGN ASSOCIATION
MIDWEST SIGN ASSOCIATION

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-SUITABLE FOR WET LOCATIONS-
IN ACCORDANCE WITH NEC 600

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# OF SETS	1 SINGLE SIDED	RETURN DEPTH	44" OVA	RACEWAY COLOR	N.A.	DESIGNER	S WILKIE
FACE COLOR	SEE SPECS	TYPE OF INSTALL	POLES / FOOTINGS	TRANSFORMER	N.A.	DATE	04/05/24
RETURN COLOR	STONE	TYPE OF FACE	ALUMINUM / STONE	BALLAST	N.A.	JOB NO.	231562
RETAINER COLOR	TO MATCH	RACEWAY D. H. L.	N.A.	COMMENTS:		JOB NAME	2231562-12
LED COLOR	WHITE / RGB	HOUSINGS	N.A.	SALESPERSON:	JIM ANDERSON	ADDRESS:	1201 S. Huron Street | Ypsilanti, MI 48197

APPROVED BY: _____

DATE: _____

New Single Sided Masonry Gateway Sign

EXISTING SIGN

PROPOSED SIGN

JOHNSON SIGN CO
ESTABLISHED 1964

2240 Lansing Ave, Jackson, MI 49202
2900 Alpha Access St., Lansing, MI 48910
663 S. Mansfield, Ypsilanti, MI 48198
1965 Pine Creek Rd., Manistee, MI 49660
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-SUITABLE FOR WET LOCATIONS-
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APPROVED BY: _____

DATE: _____

New Single Sided Masonry Gateway Sign

ENLARGED DETAIL IMAGE

JOHNSON SIGN CO
ESTABLISHED 1964
2240 Lansing Ave, Jackson, MI 49202
2900 Alpha Access St., Lansing, MI 48910
663 S. Mansfield, Ypsilanti, MI 48198
1965 Pine Creek Rd., Manistee, MI 49660
517 784 3720 | www.johnsonsign.com

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INTERNATIONAL SIGN ASSOCIATION

MIDWEST SIGN ASSOCIATION

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-SUITABLE FOR WET LOCATIONS-
IN ACCORDANCE WITH NEC 600

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ENGINEER'S SEAL

STATE OF MICHIGAN
MUSTAFA HUSSAIN
ENGINEER
No. 6201040371
LICENSED PROFESSIONAL ENGINEER
5/15/24

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# OF SETS	1 SINGLE SIDED	RETURN DEPTH	44" OVA	RACEWAY COLOR	N.A.	DESIGNER	S WILKIE
FACE COLOR	SEE SPECS	TYPE OF INSTALL	POLES / FOOTINGS	TRANSFORMER	N.A.	DATE	04/05/24
RETURN COLOR	STONE	TYPE OF FACE	ALUMINUM / STONE	BALLAST	N.A.	JOB NO.	231562
RETAINER COLOR	TO MATCH	RACEWAY D. H. L.	N.A.	COMMENTS:		JOB NAME	2231562-12
LED COLOR	WHITE / RGB	HOUSINGS	N.A.	SALESPERSON:	JIM ANDERSON	ADDRESS:	1201 S. Huron Street | Ypsilanti, MI 48197

APPROVED BY: _____

DATE: _____

(1) SINGLE FACE ILLUMINATED STONE GATEWAY SIGN

(1) SET OF 20" HIGH INTERNALLY ILLUMINATED CHANNEL LETTERS GREEN TRIM CAP, RETURNS, AND TRANSLUCENT VINYL 1ST SURFACE WHITE ACM CONTOUR BACKER ATTACHED TO ALUMINUM RACEWAYS MOUNTED ON ALUMINUM CAP TOP OF STONE WALL
(1) SET OF 12" INTERNALLY ILLUMINATED CHANNEL LETTERS WHITE TRIM CAP, RETURNS, AND ACRYLIC FACES ON RACEWAY PAINTED TO MATCH STONE MOUNTED ON STONE WALL FACE
(2) NON-LIT .25" ALUMINUM RAISED LOGOS STUD MOUNTED TO STONE COLUMNS FACES WITH 3M OPAQUE VINYL 1ST SURFACE (GAME ABOVE LETTERS PAINTED WHITE)
(1) 6' X 25' AFFINITY STONE (CAMBRIDGE) WALL AND
(2) STONE COLUMNS BUILD ON A INTERNAL STEEL STRUCTURE WITH (3) ALUMINUM 4" HIGH CAPS/ PAINTED TO MATCH 3M PUTTY 59 TEXTURED

SIGN WILL REQUIRE (3) 20A 120V DEDICATED CIRCUIT (BY OTHERS)

COLOR SPECS

WHITE

EMU GREEN - TBD

AFFINITY STONE CAMBRIDGE

PTM 3M PUTTY *TEXTURED*

ENGINEER'S SEAL

STATE OF MICHIGAN
MUSTAFA HUSSAIN
ENGINEER
No. 6201040371
LICENSED PROFESSIONAL ENGINEER
5/15/24

JOHNSON SIGN CO
ESTABLISHED 1964
2240 Lansing Ave., Jackson, MI 49202
2900 Alpha Access St, Lansing, MI 48910
663 S Mansfield St., Ypsilanti, MI 48197
1965 Pine Creek Rd, Manistee, MI 49660
517-784-3720/www.johnsonsign.com

JOB NAME: EAGLE CREST GOLF CLUB

LOCATION: 1201 S HURON ST. YPSILANTI MI 48197

ACCOUNT REP: JA

DESIGNER: LE

REVISION:

NOTES: FURNISH & INSTALL AS FOLLOWS

FILE NAME: 231562-11

SCALE: 3/8"=1'

This design and all material appearing hereon constitute the original unpublished work of Johnson Sign Co. may not be duplicated, used or disclosed without written consent.

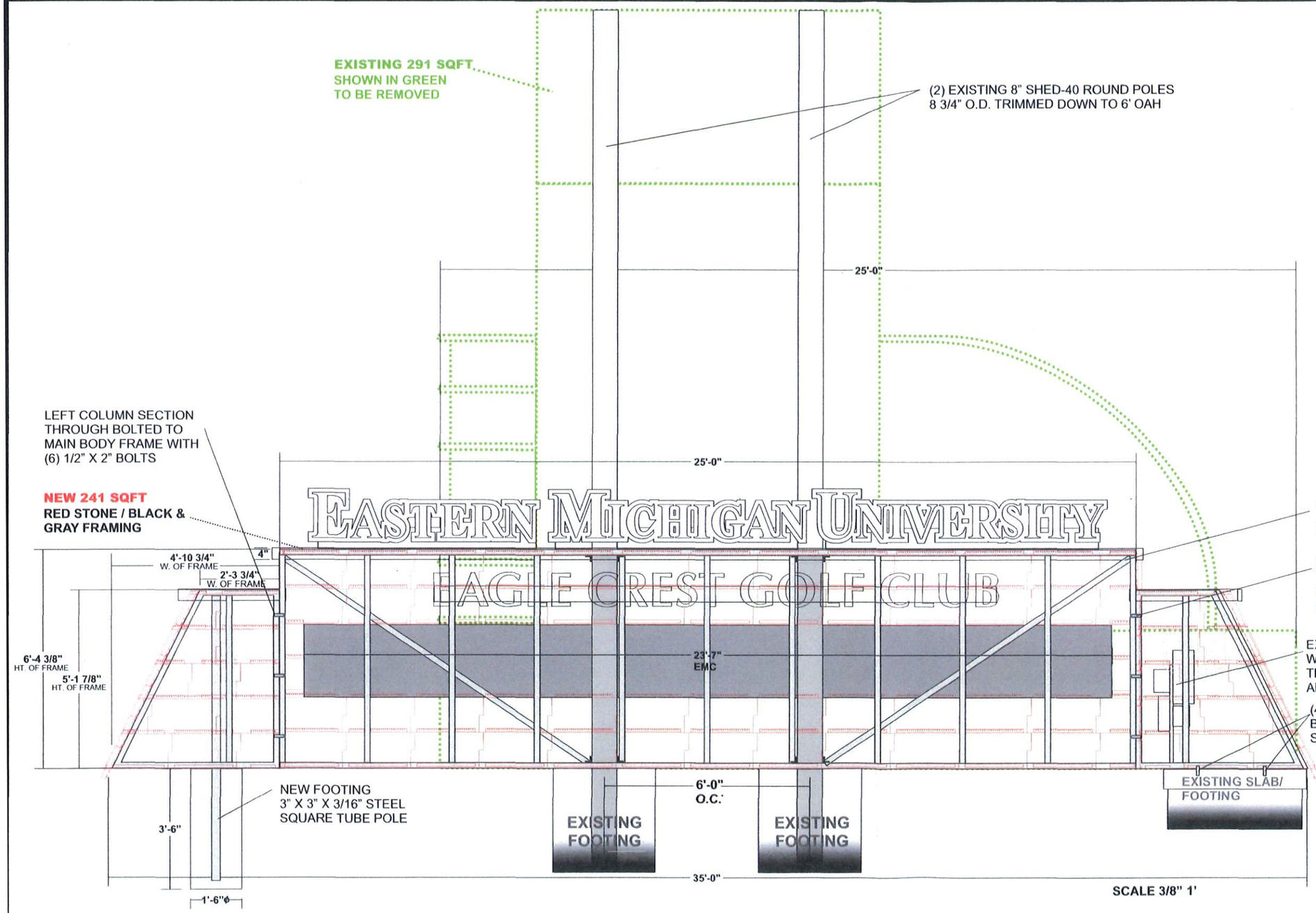
THIS SIGN IS INTENDED TO BE MANUFACTURED IN ACCORDANCE WITH ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING & BONDING OF THE SIGN. SIGN WILL BEAR UL LABEL(S).

JOHNSON SIGN CO DOES NOT PROVIDE PRIMARY ELECTRIC TO SIGN LOCATION RESPONSIBILITY OF OTHERS

CUSTOMER APPROVAL: _____ DATE: _____

WSA WORLD SIGN ASSOCIATES · ISA INTERNATIONAL SIGN ASSOCIATION · MSA MIDWEST SIGN ASSOCIATION

New Single Sided Masonry Gateway Sign



NOTES:
THE SIGN SUPPORTING STEEL POLES AND CONCRETE FOOTINGS ARE DESIGNED FOR 115 MPH, 3 SEC. GUST ULTIMATE WIND SPEED FOR EXPOSURE B, RISK CATEGORY II AS PER 2015-MBC.

ALL MOUNTING HARDWARE SHALL BE NON-CORROSIVE.

ALL WELDING SHALL BE DONE USING E70 ELECTRODES AS PER AWS D1.1 & D1.2.

ALL STRUCTURAL BOLTS SHALL BE ASTM A325 HS.

ALL ALUMINUM SECTIONS SHALL BE 6063-T6 ALLOY.

FOOTINGS ARE DESIGNED FOR:
ALLOWABLE SOIL PRESSURE OF:
BEARING = 2000 PSF
LATERAL = 150 PSF/FT
AS PER 2015-MBC,
TABLE 1806.2

ENGINEER'S SEAL

STATE OF MICHIGAN
MUSTAFA
HUSSAIN
ENGINEER
No.
6201040371
LICENSED PROFESSIONAL ENGINEER
5/15/24

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WORLD SIGN ASSOCIATES

INTERNATIONAL SIGN ASSOCIATION

MIDWEST SIGN ASSOCIATION

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-SUITABLE FOR WET LOCATIONS-
IN ACCORDANCE WITH NEC 600

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# OF SETS	1 SINGLE SIDED	RETURN DEPTH	44" OVA	RACEWAY COLOR	N.A.	DESIGNER	S WILKIE
FACE COLOR	SEE SPECS	TYPE OF INSTALL	POLES / FOOTINGS	TRANSFORMER	N.A.	DATE	04/05/24
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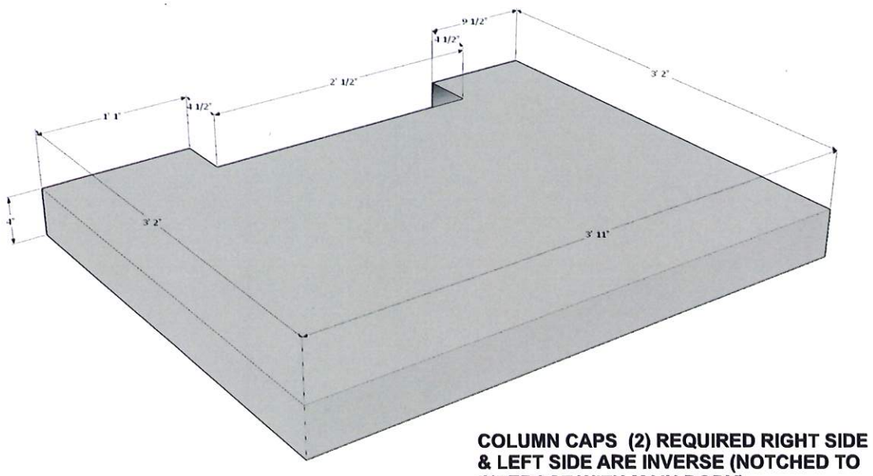
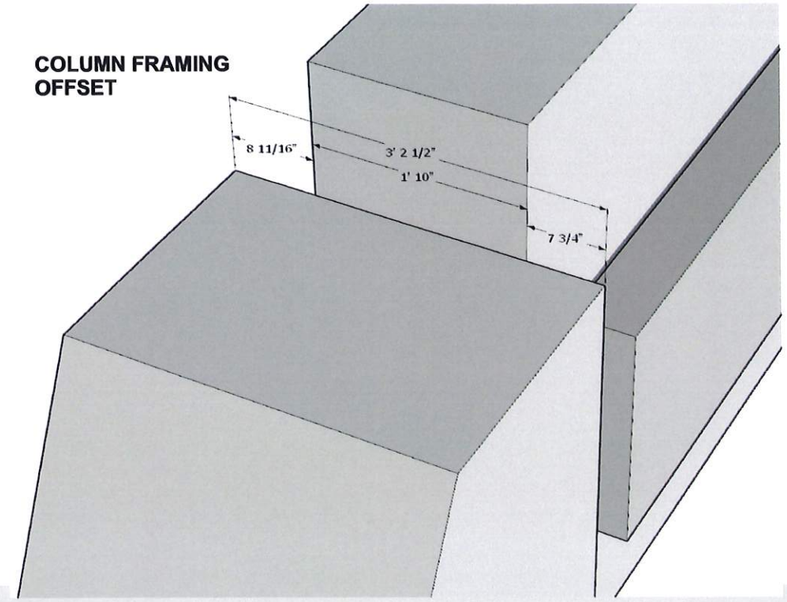
APPROVED BY: _____

DATE: _____



COLUMN CAPS (2) REQUIRED RIGHT SIDE & LEFT SIDE ARE INVERSE (NOTCHED TO INTERACT WITH MAIN BODY)

COLUMN FRAMING OFFSET



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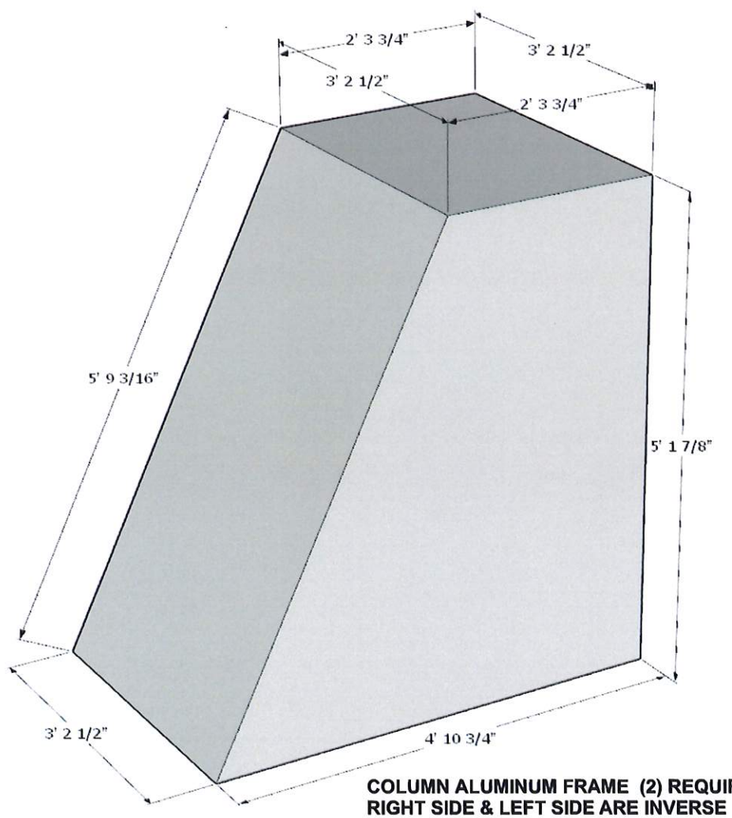
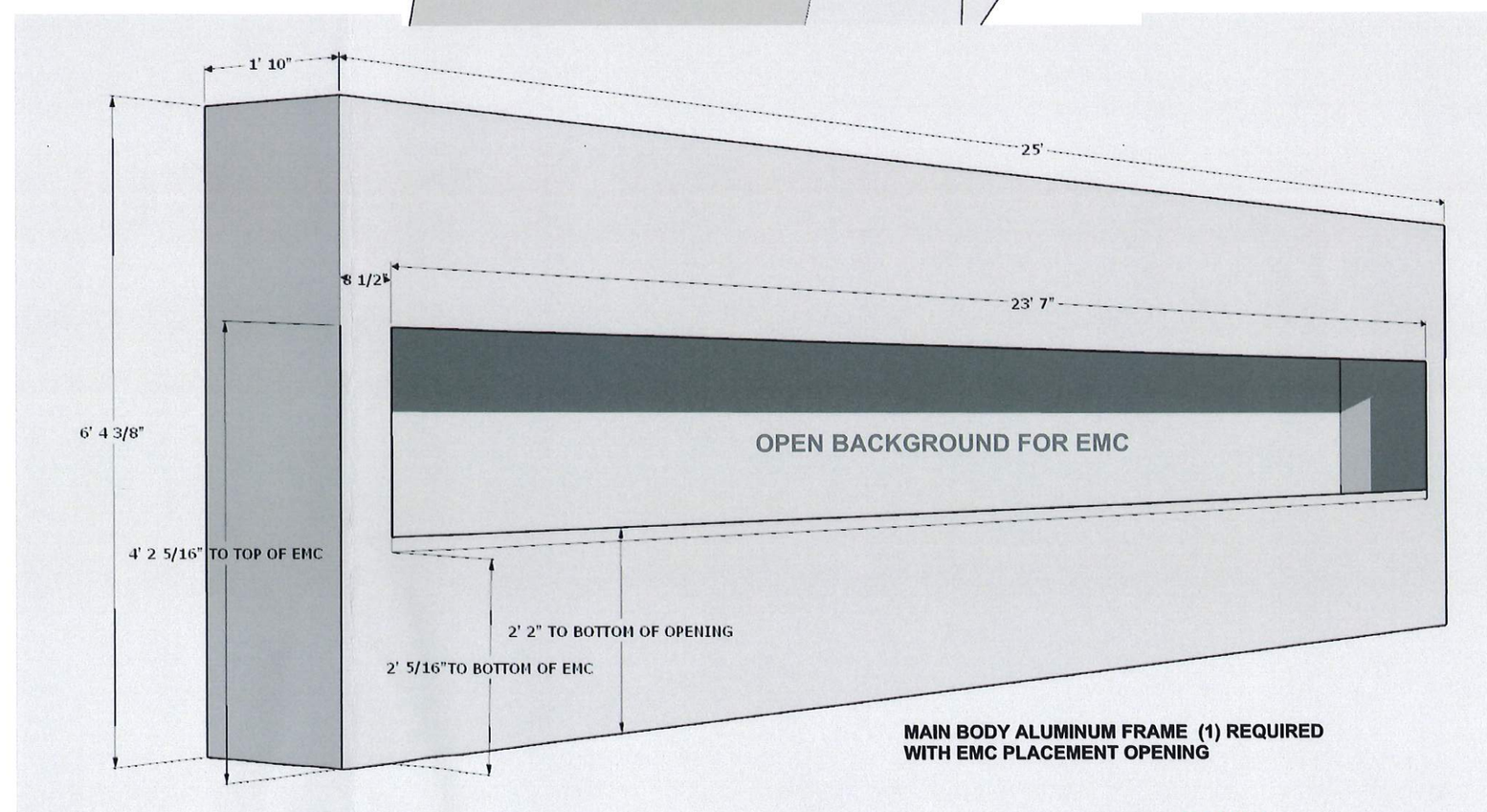


COLUMN ALUMINUM FRAME (2) REQUIRED RIGHT SIDE & LEFT SIDE ARE INVERSE



MAIN BODY ALUMINUM FRAME (1) REQUIRED WITH EMC PLACEMENT OPENING

DESIGNER	S WILKIE
DATE	04/05/24
JOB NO.	231562
JOB NAME	2231562-12
ADDRESS:	1201 S. Huron Street | Ypsilanti, MI 48197

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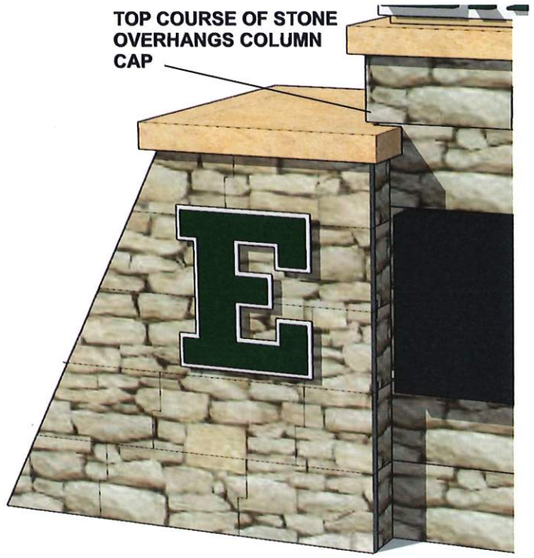
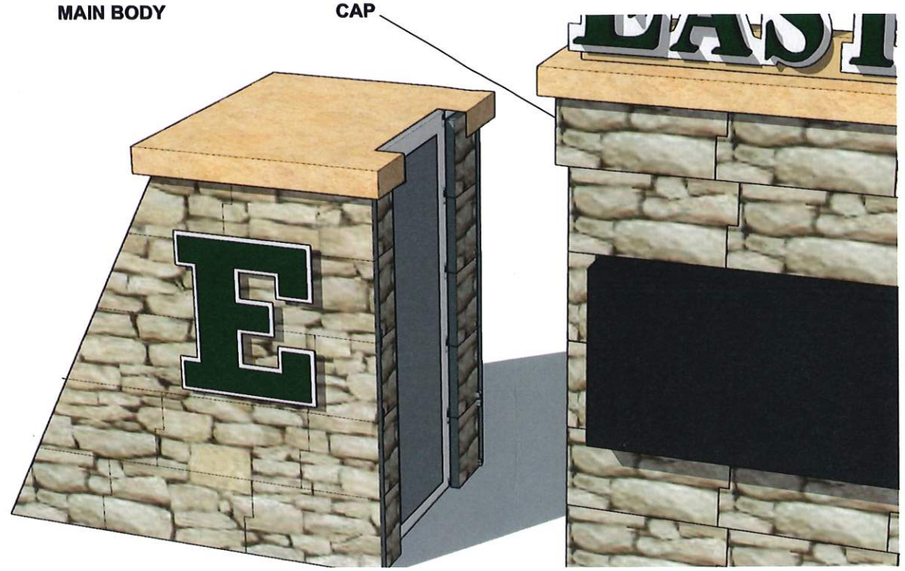
COLUMN FITTED TO MAIN BODY

TOP COURSE OF STONE OVERHANGS COLUMN CAP



COLUMN DETACHED FROM MAIN BODY

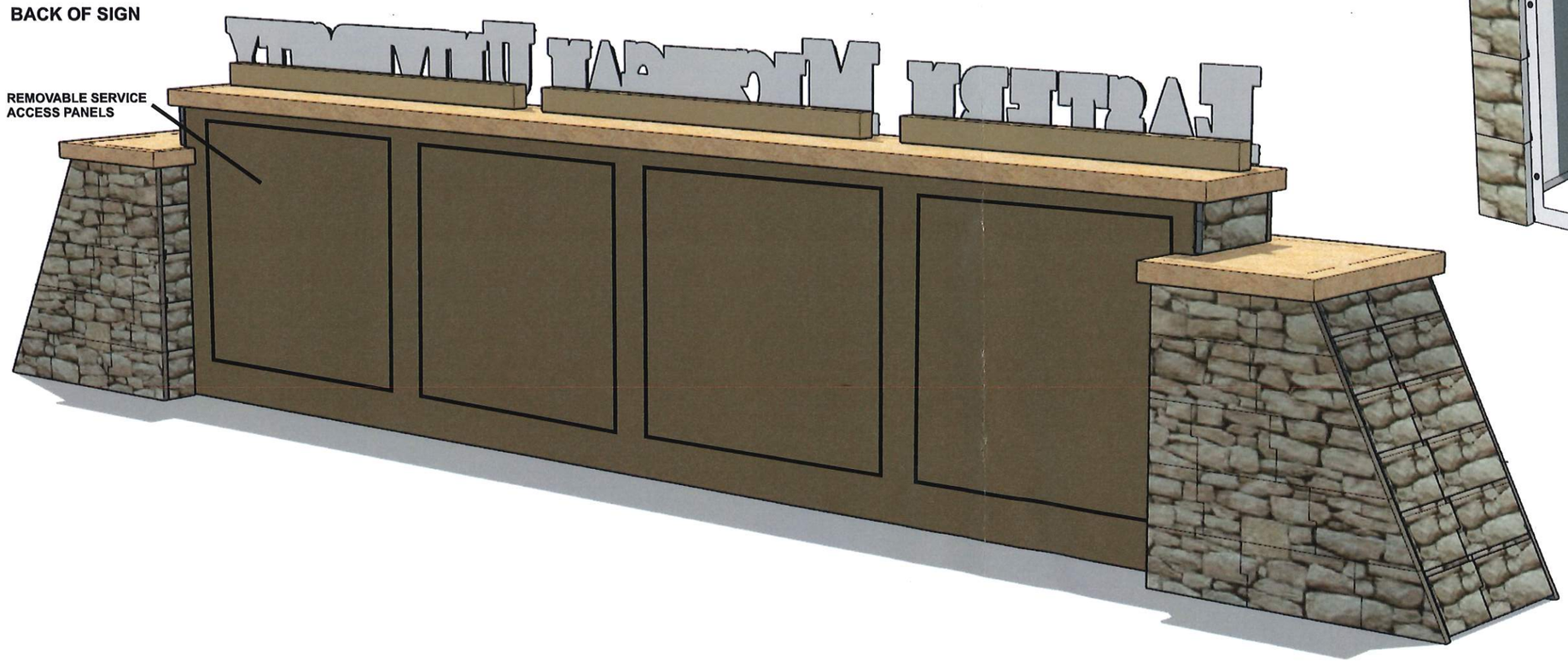
TOP COURSE OF STONE OVERHANGS COLUMN CAP



SERVICE ACCESS OPENING

BACK OF SIGN

REMOVABLE SERVICE ACCESS PANELS



DESIGNER	S WILKIE
DATE	04/05/24
JOB NO.	231562
JOB NAME	2231562-12
ADDRESS:	1201 S. Huron Street | Ypsilanti, MI 48197

MESSAGE CENTER REMOVED

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517 784 3720 | www.johnsonsign.com

DESIGNER	S WILKIE
DATE	04/05/24
JOB NO.	231562
JOB NAME	2231562-12
ADDRESS:	1201 S. Huron Street | Ypsilanti, MI 48197

Township Supervisor
Brenda L. Stumbo
Township Clerk
Heather Jarrell Roe
Township Treasurer
Stan Eldridge

YPSILANTI TOWNSHIP
— PLANNING & ZONING DEPARTMENT —

Trustees
John Newman II
Gloria Peterson
Debbie Swanson
Ryan Hunter

Zoning Board of Appeals
Staff Report

August 07, 2024

Applicant: Vance Palmer, 6235 Corunna Road, Flint, MI 48532

Location: 2789 Washtenaw Avenue, Ypsilanti, MI 48197, Parcel K-11-06-303-003

Zoning: RC, Regional Corridor with a Site Type B Designation

Action Requested: Request for variance to the dog run requirements of Article 11 – Sec. 1116.1

Variance Request:

Request for variance to the dog run requirements of Article 11 – Sec. 1116.1 – Veterinary Clinics of the Township Zoning Ordinance to construct a 35' x 65' outdoor dog run enclosed by a 6' tall chain-link fence behind the existing building.

Sec. 1116.1 requires that "veterinary clinics when such use is conducted entirely within an enclosed building. **No animal kennels or animal runs shall be allowed outside the principal building. Animal kennels or runs within a principal building shall provide no windows which can be opened to the outside.** All buildings are set back at least one hundred (100) feet from abutting residential district on the same side of the street."

Location and Summary of Request:

The subject site is a 0.946-acre parcel, located along Washtenaw Avenue. The property is zoned RC, Regional Corridor with a Site Type B Designation. This property is owned by Redd Guppy, LLC, and home to the Veterinarian Clinic, Dr. Paws who opened their doors to the public July of 2024.

The applicant is seeking relief from Article 11 – Sec. 1116.1 – Veterniary Clinics. Vance Palmer is asking the Zoning Board of Appeals to consider granting Dr. Paws a variance to allow a 35' x 65' outdoor dog behind the building. This dog run is not for boarding purposes, but to allow animals to do their business when they are at the clinic for medical services.

Cross References:

Article 11 – Sec. 1116. – Veterinary Clinics
Article 17 – Zoning Board of Appeals

Township Supervisor
Brenda L. Stumbo
Township Clerk
Heather Jarrell Roe
Township Treasurer
Stan Eldridge

YPSILANTI TOWNSHIP
— PLANNING & ZONING DEPARTMENT —

Trustees
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Aerial View – 2789 Washtenaw Avenue

Street View – 2789 Washtenaw Avenue

Analysis:
The Zoning Board of Appeals may grant a dimensional or non-use variance only upon a finding that compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would create a practical difficulty and unreasonably present the use of the property. A finding of practical difficulty shall require demonstration that all the following conditions are met:

1. **That there are exceptional or extraordinary circumstances or conditions applying to the property in question that do not apply generally to other properties or classes of uses in the same zoning district.**

It seems that the property in question might have exceptional or extraordinary circumstances that are not generally applicable to other properties or classes of uses in the same zoning district. The nature of the veterinary clinic's operations, which includes the need for a designated area for dogs to relieve themselves, could be considered an exceptional circumstance.

2. **That a variance is necessary for the preservation and enjoyment of a substantial property right possessed by other properties in the same zoning district and in the vicinity.**

It is the Planning Department's opinion that the variance could be necessary for the preservation and enjoyment of a substantial property right possessed by other properties in the same zoning district and vicinity. The operational needs of the clinic, such as providing a space for dogs to relieve themselves, might justify this variance as a necessary allowance.

3. **That the authorizing of such a variance will not be a substantial detriment to adjacent property, will not be harmful to or alter the essential character of the area, and will not materially impair the purposes of this Ordinance or the public interest.**

It is the planning department's opinion that authorizing such a variance will not be a substantial detriment to adjacent properties, will not be harmful to or alter the essential character of the area, and will not materially impair the purposes of this Ordinance or the public interest. The proposed dog run is to be located behind the building, used only during business hours, and accessed solely by staff. The site is located along a busy commercial corridor (Washtenaw Avenue) and is surrounded by commercial businesses. The proposed dog run is located approximately 400' away from a residential property. There is a natural buffer located between the Dr. Paws site and the Westlawn neighborhood. Both traffic noise from Washtenaw Avenue and the natural buffer will help relieve some noise produced by this dog run. This dog run is not for day care operations, it is simply for the operation needs of the veterinarian clinic.

4. **The property and resulting need for the variance has not been self-created by any action of the applicant or the applicant's predecessors.**

The planning department suggests that the need for the variance does not appear to be self-created by any action of the applicant or the applicant's predecessors. The operational requirements of a veterinary clinic necessitate an area for dogs to relieve themselves, which seems to be an inherent need rather than a self-created situation.

5. **The proposed variance will be the minimum necessary and no variance shall be granted where a different solution not requiring a variance would be possible.**

It is the planning department's opinion that the proposed variance appears to be the minimum necessary to meet the operational needs of the veterinary clinic. The dog run's size and location behind the building seem to be a practical solution that minimizes impact while addressing the clinic's requirements.

Suggested motions: The following suggested motions and conditions are provided to assist the Zoning Board of Appeals in making a complete and appropriate motion for this application. The ZBA may utilize, add, or reject any portion of the suggested motion or any conditions suggested herein, as deemed appropriate.

Postpone:

I move to postpone the variance request at 2789 Washtenaw Avenue, Ypsilanti, MI 48197, Parcel K-11-06-303-003 to the dog run requirements of Section 1116.1 of the Township Zoning Ordinance to allow a 35'W x 65'L x 6'H chain link dog run to be constructed within the building envelope as shown on the plot plan included in the Zoning Board of Appeals application dated June 28, 2024, to give the applicant an opportunity to address the comments made at this evening's meeting, and return with a revise proposal based on these comments.

Approve:

I move to approve the variance request at 2789 Washtenaw Avenue, Ypsilanti, MI 48197, Parcel K-11-06-303-003 to the dog run requirements of Section 1116.1 of the Township Zoning Ordinance to allow a 35'W x 65'L x 6'H chain link dog run to be constructed within the building envelope as shown on the plot plan included in the Zoning Board of Appeals application dated June 28, 2024. Granting of the requested variance meets the criteria for a non-use variance in Section 1704(D) of the Zoning Ordinance. Specifically, granting the requested variances is based on the following facts:

1. The nature of the veterinary clinic's operations, which includes the need for a designated area for dogs to relieve themselves, is considered an exceptional

circumstance;

2. The variance will allow the veterinary clinic to perform their jobs and care for animals;
3. The proposed dog run is to be located behind the building, used only during business hours, and accessed solely by staff. The dog run will not be seen by the public;
4. The operational requirements of a veterinary clinic necessitate an area for dogs to relieve themselves, which is not a self-created situation;
5. The variance appears to be the minimum necessary to meet the operational needs of the veterinary clinic.

This motion is further made with the following conditions:

1. The applicant shall obtain the required Zoning Permit for the construction of the dog run.

Denial:

I move to deny the variance request at 2789 Washtenaw Avenue, Ypsilanti, MI 48197, Parcel K-11-06-303-003 to the dog run requirements of Section 1116.1 of the Township Zoning Ordinance to allow a 35'W x 65'L x 6'H chain link dog run to be constructed within the building envelope as shown on the plot plan included in the Zoning Board of Appeals application dated June 28, 2024., based on the following findings of fact that the requests do not meet the criteria in Section 1704(D) of the Zoning Ordinance. Specifically, the request does not comply with the following criteria: (*ZBA states reasons for denial*)

1. _____

2. _____

Respectfully Submitted,

Fletcher Reyher

Fletcher Reyher, AICP
Planning and Development Coordinator
Charter Township of Ypsilanti Planning Department

Charter Township of Ypsilanti
Office of Community Standards
7200 S. Huron Drive, Ypsilanti, MI 48197
Phone: (734) 544-4000 ext. #1
Website: https://ypsitownship.org

ZONING BOARD OF APPEALS APPLICATION

I. APPLICATION TYPE

- [x] Variance
- [ ] Exceptions and Special Approvals (Includes: Temporary Uses and Structures)
- [ ] Administrative Review Appeal

II. PROJECT LOCATION

Address: 2789 Washtenaw Ave Parcel ID #: K-11- 06-303-003 Zoning RC
Lot Number: _____ Subdivision: _____

III. APPLICANT INFORMATION

Applicant: Vance Palmer Phone: 810-280-2720
Address: 6235 Corunna Rd City: Flint State: MI Zip: 48532
Fax: _____ Email: vance.palmer@outlook.com
Property Owner: Red Guppy LLC Phone: 734-812-4730
Address: 2789 Washtenaw Ave City: Ypsilanti State: MI Zip: 48197
Fax: _____ Email: ceastmandvm@gmail.com

IV. COST AND FEES

Total: $ ~~1~~ 500.00

Breakdown of fee:		
	Residential:	**$ 125.00**
	Non-residential:	**$ 500.00**

V. APPLICANT SIGNATURE

The undersigned Vance Palmer (Applicant) represents Red Guppy LLC (Property Owner):

1. That Red Guppy LLC (Property Owner) is/are the owner(s) of lot(s) _____ (Lot) located in the _____ (Subdivision) Subdivision , Ypsilanti Township, Michigan, otherwise known as 2789 Washtenaw Ave (Address) and the property is zoned RC (Zoning District)

2. That the petitioner hereby request variance (Variance/Temporary Use /Regular Meeting) under Section 1116 (Section) Article XI (Article) of the Ypsilanti Township Zoning Ordinance.

3. The petitioner further state that VP (Applicant Initial) have/has read and understands the provisions of said zoning ordinance as it applies to this petition.

4. That the following is submitted in support of the petition (attach all pertinent data to support the request).

Applicant Signature	Print Name	Date
	Vance Palmer	6/28/2024

YPSILANTI TOWNSHIP

Charter Township of Ypsilanti
Office of Community Standards
7200 S. Huron Drive, Ypsilanti, MI 48197
Phone: (734) 544-4000 ext. #1
Website: https://ypsitownship.org

OFFICE USE ONLY

All Zoning Board of Appeals Applications	
☐ The application is filled out in its entirety. ☐ If the applicant is not the property owner, written and signed permission from the property owner is required. ☐ Fees ☐ Letter of interest of the applicant in the property	☐ Plot plan or lot survey to scale showing the following: ☐ All property lines and dimensions ☐ All existing and proposed structures and dimensions ☐ Lot area calculations necessary to show compliance with regulations ☐ Easements and dimensions, if applicable ☐ Location of drives, sidewalks, and other paved areas on the property and on the adjacent streets. ☐ Location and dimensions of the nearest structures on adjacent properties.

GAZALL, LEWIS & ASSOCIATES ARCHITECTS, INC.

MOTT FOUNDATION BUILDING
503 SOUTH SAGINAW STREET
SUITE 100
FLINT, MICHIGAN 48502-1851
810.239.4691
gazall-lewis.com
info@gazall-lewis.com

JOHN R. GAZALL, AIA, NCARB
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CHRISTOPHER A. NEDANIS, ASSOC. AIA
VICE PRESIDENT
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FOUNDER 1968-1999
MEMBER OF THE AMERICAN INSTITUTE OF ARCHITECTS

June 27, 2024

Ypsilanti Township
7200 S. Huron River Drive
Ypsilanti, MI 48197

Attn: Mr. Fletcher Reyher
Staff Planner

Re: Dr. Paws Veterinary Hospital – **Variance Request**
2789 Washtenaw Ave
Ypsilanti, MI 48197

Dear Mr. Reyher,

Dr. Paws Veterinary Hospital is seeking a variance from Section 1116 to allow a fenced-in area for dogs. The new Owners at 2789 Washtenaw Avenue presented before Planning Commission on March 26 and received Final Site Plan Review approval on April 11, 2024. The building is currently being renovated for a new Veterinary Clinic.

We are pleased to provide the following information in regards to a variance request for Section 1116, Article XI of the Township Ordinance.

- Application Form
- Letter for a Variance Request
- Site Plan
- Site Survey
- Fee (under separate submittal)

Section 1116 states that Veterinary clinics shall be conducted entirely within an enclosed building. No animal kennels or animal runs shall be allowed outside the principal building.

This request is not for a kennel which is typically an enclosed shelter with a roof. Dogs will not be spending the night at this facility. The vet clinic will be open Monday – Friday at normal business hours and a half day on Saturdays.

This variance request is for an enclosed area which will allow staff to walk dogs in a safe and isolated environment. They will be on a leash and supervised at all times. The fenced-in area will help protect the dogs from running into adjacent yards, being exposed to traffic and parking vehicles and/or from running into a busy Washtenaw Avenue should an animal break loose from their collar and leash. It also helps to restrict the area for the dogs to do their business making clean up easier. Access will be close to the building to allow staff to open the back door directly into the fenced area to minimize escape risks.

GAZALL, LEWIS & ASSOCIATES ARCHITECTS, INC.
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SUITE 100
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VICE PRESIDENT
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Being on a busy road, the fenced-in area provides an extra level of protection in case a dog gets loose and therefore can be contained. Their time outside is no different than someone walking their dog.

Not Self-Created
The variance request is not self-created as it is a condition of the Ordinance. It is the Owners' right to seek a variance based on the specific use of the property.

Veterinary clinics and hospitals are allowed within this zoning classification, however the Ordinance does not allow a dog run in any zoning district. Therefore, a variance is the only means to provide a secured outdoor area.

Substantial Property Right
The variance will increase the usability of the property.

Granting this variance will not be a substantial detriment to the public good or impair the intent of the Ordinance. It will not be harmful to or alter the essential character of the area. It will not materially impair the purposes of this Ordinance or public interest nor will it negatively impact traffic or public safety.

The proposed fence will be chain-linked for durability and surrounded by existing as well as new landscaping and coniferous trees to reduce visibility and noise.

Minimum Variance Necessary
The proposed fenced area will be 30' x 40' which is reduced from the area shown on the original site plan drawing. The area will allow the dogs ample space to move around safely.

The only time there will be more than one dog in the run at the same time will be if they are from the same family.

Compliance with Other Laws
The proposed fence will be installed in compliance with setback dimensions. The property does not abut any residential homes.

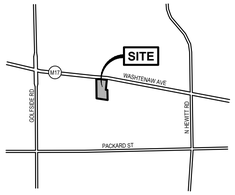
We appreciate your consideration for this request and look forward to answering any questions you may have.

Thank you.

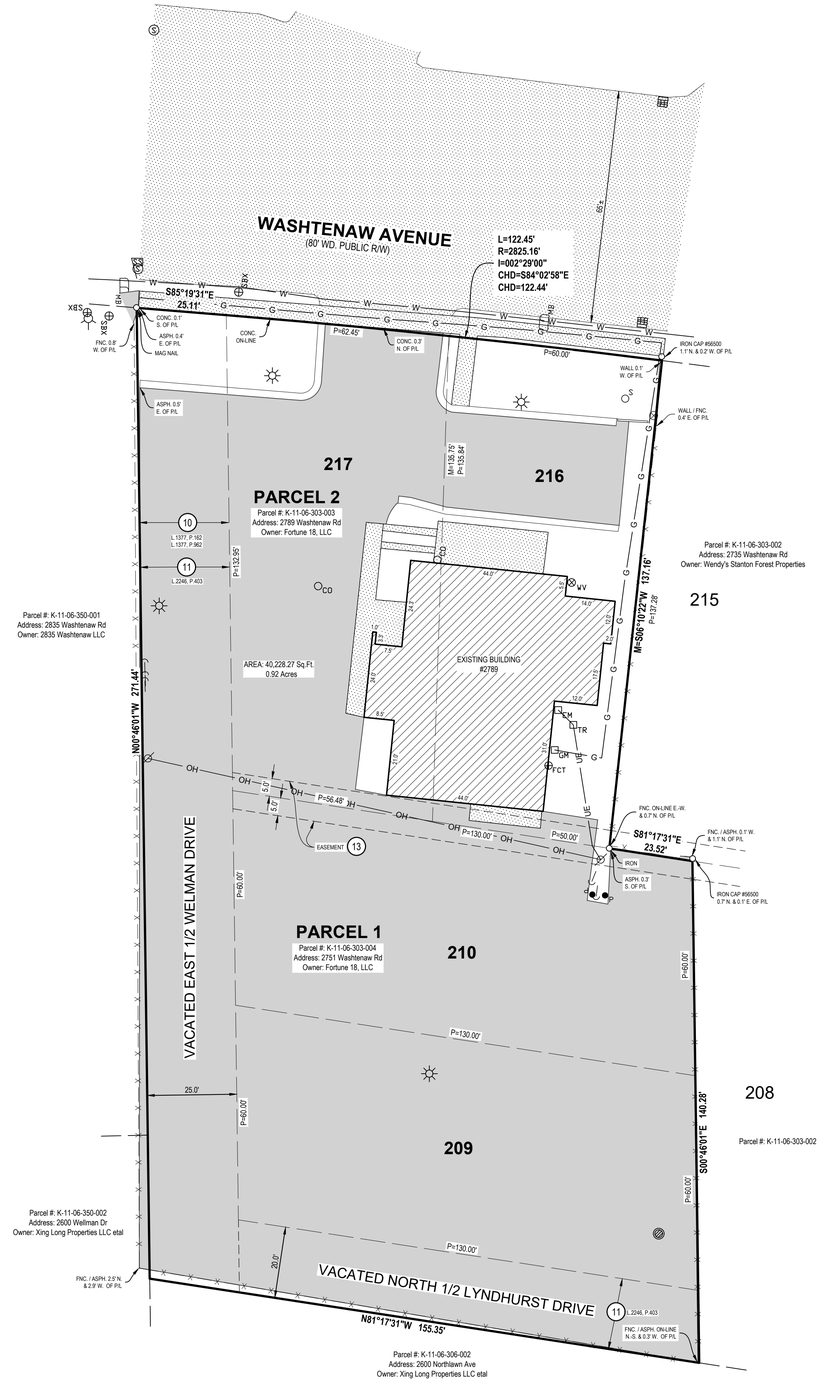
Debbie Honea

Debbie Honea
Project Manager

CC: Case Construction
Drs. Eastman and Acuna



LOCATION MAP
NOT TO SCALE



LEGEND

- Iron - Found as noted
- Catch Basin - Round
- Catch Basin - Square
- CO Cleanout
- EM Electric Meter
- FCT Faucet
- GM Gas Meter
- Guy Anchor
- Hydrant
- Light Pole
- MB Mailbox
- Miss Dig Flag - Electric
- Miss Dig Flag - Gas
- Miss Dig Flag - Sanitary
- Miss Dig Flag - Water
- P Post
- Utility Pole
- SBX Stop Box
- S Sign
- Sanitary Manhole
- TR Transformer
- WV Water Valve
- UE — Electric Underground Line
- X — X — Fence
- G — Gas Line
- W — Watermain
- Asphalt
- Existing Building
- Concrete
- M= Measured Dimension
- P= Platted Dimension

N

0' 10' 20' 40'

SCALE: 1" = 20'

811 Know what's **below.** **CALL** before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE:
EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "(PLAN)" WERE OBTAINED FROM AVAILABLE CITY AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

TITLE INFORMATION

The Title Description and Schedule B items hereon are from ATA National Title Group, LLC (underwritten by First American Title Insurance Company), File Number: 81-23888228-SCM, dated August 24, 2023.

TITLE DESCRIPTION

The Land is described as follows: Situated in the Township of Ypsilanti, County of Washtenaw, State of Michigan

Parcel 1
Lots 209 and 210, Fairview Heights Number One, according to the plat thereof as recorded in Liber 7, Page 23 of Plats, Washtenaw County Records; ALSO the East 1/2 of vacated Welman Drive along said Lots 209 and 210; ALSO the North 1/2 of vacated Lyndhurst Drive along Lot 209.

Parcel 2
Lots 216 and 217, Fairview Heights Number One, according to the plat thereof as recorded in Liber 7, Page 23 of Plats, Washtenaw County Records; ALSO the East 1/2 of vacated Welman Drive along said Lot 217.

SCHEDULE B - SECTION II NOTES

(10) Terms, conditions and provisions contained in, and easements created and/or reserved by, Resolution adopted by the Board of County Road Commissioners of the County of Washtenaw recorded in Liber 1377, Page 162, and re-recorded in Liber 1377, Page 962, Washtenaw County Records. **The easement described in this document is shown on this survey.**

(11) Terms, conditions and provisions contained in, and easements created and/or reserved by, Resolution adopted by the Board of County Road Commissioners of the County of Washtenaw recorded in Liber 2246, Page 403, Washtenaw County Records. **The easement described in this document is shown on this survey.**

(12) Terms, conditions and provisions contained in Special Conditional Use Agreement recorded in Liber 4915, Page 898, Washtenaw County Records. **Not a survey matter.**

(13) Easements over subject property as shown on the plat of Fairview Heights Number One, as recorded in Liber 7, Page 23 of Plats, Washtenaw County Records. **The easement described in this document is shown on this survey.**

(14) Lack of a right of direct access to and from Parcel 1. NOTE: This is included for informational purposes.

SURVEYOR'S NOTES

1) ALTA TABLE "A" ITEM NO. 1 - Existing and placed monuments at all major corners of the boundary of the property have been shown.
2) ALTA TABLE "A" ITEM NO. 2 - Address of the surveyed property is 2789 Washtenaw Avenue, Ypsilanti, MI 48197.
3) ALTA TABLE "A" ITEM NO. 3 - Flood Zone Classification: **An examination of the National Flood Insurance Program's Flood Insurance Rate Map for Community Number 260542, Map Number 26161C0407E, with an Effective Date of April 3, 2012, shows this parcel to be located in Zone X (subject to map scale uncertainty). No field surveying was performed to determine this zone.**
4) ALTA TABLE "A" ITEM NO. 4 - **Gross Land Area: 40,228.27 Square Feet / 0.92 Acres**
5) ALTA TABLE "A" ITEM NO. 7(a) - **Exterior dimensions of all permanent buildings at ground level have been shown.**
6) ALTA TABLE "A" ITEM NO. 8 - Substantial features observed in the process of conducting fieldwork have been shown.
7) ALTA TABLE "A" ITEM NO. 13 - Names of adjoining owners have been shown according to current tax records.
8) ALTA TABLE "A" ITEM NO. 16 - Evidence of recent earth moving work, building construction or building additions observed in the process of conducting the fieldwork. **None observed.**
9) Note to the client, insurer, and lender - Lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, the client is advised that excavation may be necessary.
10) Basis of Bearing: NAD83 Michigan State Planes, South Zone, International Foot
11) NOTE TO CONTRACTORS: 3 (THREE) WORKING DAYS BEFORE YOU DIG, CALL MISS DIG AT TOLL FREE 1-800-482-7171 FOR UTILITY LOCATIONS ON THE GROUND.
12) The land shown in this survey is the same as that described in ATA National Title Group, LLC, File Number: 81-23888228-SCM, dated August 24, 2023.
13) Access to property is from Washtenaw Avenue.

SURVEYOR'S CERTIFICATION

To ATA National Title Group, LLC; First American Title Insurance Company:
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 8, 13, & 16 of Table A thereof. The fieldwork was completed on September 14, 2023.

Date of Plat or Map: September 14, 2023

STATE OF MICHIGAN
Brandon George Parrent
License No. 4001063096
LICENSED PROFESSIONAL SURVEYOR

Brandon G. Parrent
Professional Surveyor No. 4001063096
Nederveld, Inc.
bparrent@nederveld.com

NEDERVELD
www.nederveld.com
800.222.1868
ANN ARBOR
3037 Miller Rd.
Ann Arbor, MI 48103
Phone: 734.929.6963
CHICAGO
COLUMBUS
GRAND RAPIDS
HOLLAND
INDIANAPOLIS

PREPARED FOR:
Redd Guppy, LLC
Jonie Acuna

1050 Abbey Court
Northville, MI 48167

CREATED:
Drawn: R.Paramo Date: 09.14.23

REVISIONS:
Rev:
Drawn: Date:

2789 Washtenaw Avenue

ALTA/NSPS Land Title Survey

2789 Washtenaw Avenue, Ypsilanti, MI 48197
PART OF THE SOUTHWEST 1/4 OF SECTION 6, T3S, R7E, YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

STAMP:

PROJECT NO: 23500310

SHEET NO: AL

SHEET: 1 OF 1

23500310AL.dwg RP 10/16/2023 15:14

© 2023 Nederveld, Inc.

PROJECT DESCRIPTION:

THE EXISTING BUILDING AND SITE WILL BE IMPROVED FOR USE AS A NEW VETERINARY HOSPITAL. THE PROJECT INCLUDES NEW EXTERIOR PAINT TO AN EXISTING VACANT BUILDING AND AN OVERALL RE-DESIGN OF THE SITE.

PREVIOUS USES INCLUDE: A RESTAURANT AND USED CAR LOT. THE PROPOSED USE COMPLIES WITH THE CURRENT MIXED-USE ZONING.

THE NEW OWNERS WILL MAKE MANY SITE IMPROVEMENTS TO BE AS COMPLIANT WITH THE CURRENT ZONING ORDINANCE AS POSSIBLE. IMPROVEMENTS INCLUDE: REMOVING 46% OF THE EXISTING IMPERVIOUS SURFACE, PROVIDE NEW LANDSCAPING, NEW SIGNAGE, RE-STRIPE THE PARKING LOT, NEW DUMPSTER WITH ENCLOSURE, NEW SIDEWALKS AND BARRIER FREE RAMPS. THE EXISTING STORMWATER MANAGEMENT SHALL REMAIN AS A SHEET-DRAIN METHOD FOLLOWING NATURAL SLOPE TO THE EXISTING CATCH BASIN LOCATED IN THE SOUTHEAST CORNER OF THE PROPERTY. DUE TO THE LARGE PERCENTAGE OF REMOVED IMPERVIOUS SURFACE, DRAINAGE WILL IMPROVE PER THE INCREASED LAWN AREA THROUGHOUT THE SITE.

BUILDING CODE

2021 MICHIGAN REHABILITATION CODE
2015 MICHIGAN MECHANICAL CODE
2018 MICHIGAN PLUMBING CODE
2017 NATIONAL ELECTRICAL CODE WITH PART 8 STATE AMENDMENTS

USE GROUP CLASSIFICATION

"B" - BUSINESS

CONSTRUCTION TYPE

"5B" UNPROTECTED

AREA:

EXISTING BUILDING BUILT IN 1973
3182 SQ. FT. TOTAL AREA (INTERIOR WALLS)

OCCUPANT LOAD

3182 S.F. / 100 = 32
MAXIMUM STAFF: 10

FIRE SUPPRESSION

NOT FIRE SUPPRESSED

CODAL NOTES

ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

ALL FLOOR, CEILING AND WALL FINISHES SHALL COMPLY WITH SECTION 8 OF THE MICHIGAN BUILDING CODE.

ALL NEW DOORS AND GLASS WITHIN 24" OF DOOR EDGE TO BE SAFETY GLASS/TEMPERED GLASS.

PROVIDE EXIT SIGNS AS REQUIRED.

PROVIDE MEANS OF EGRESS ILLUMINATION (EMERGENCY LIGHTING) AT ALL AREAS REQUIRED. ARTIFICIAL LIGHTING INTENSITY OF ILLUMINATION SHALL NOT BE LESS THAN 1 FOOT CANDLE.

PROVIDE 18" x 60" CLEAR AREA ON PULL SIDE OF ALL DOORS AND 12" x 48" CLEAR AREA ON PUSH SIDE OF ALL DOORS.

LANDSCAPE SCHEDULE

SYMBOL		SPECIFICATION	QTY
	PROPOSED CANOPY TREE	HACKBERRY	9
	PROPOSED DECIDUOUS SHRUB	DWARF LILAC	22
	PROPOSED EVERGREEN SHRUB	LOW SPREADING JUNIPER	18
	PROPOSED ORNAMENTAL TREE	CLEVELAND PEAR	8
	PROPOSED EVERGREEN	BLACK HILLS SPRUCE	12
PROPOSED TREES SHALL HAVE A MINIMUM OF 2" CALIPER OR 6' HIGH			
	EXISTING TO REMAIN	VARIOUS SHRUBS TRIM AND PRUNE AS REQUIRED	
	EXISTING TO REMAIN	VARIOUS DECIDUOUS TREES TRIM AND PRUNE AS REQUIRED	

SHEET INDEX

C1.0	SITE PLAN
AL	SITE SURVEY BY NEDERVELD

SITE DATA

ZONING: RC

SETBACKS: FRONT - 40' REAR - 30' SIDE - 10'

LOT SIZE: 0.92 ACRES / 40,228.27 SQUARE FEET

PARCEL NUMBERS: SEE SHEET AL FOR SITE SURVEY

PROPOSED USE: VETERINARY CLINIC

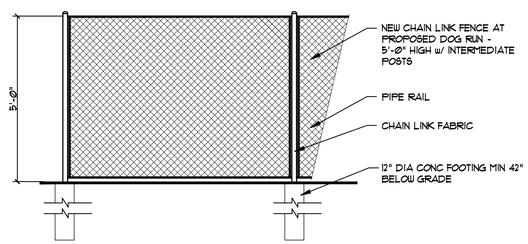
NUMBER OF EMPLOYEES: 10

OCCUPANT LOAD: 32 PERSONS

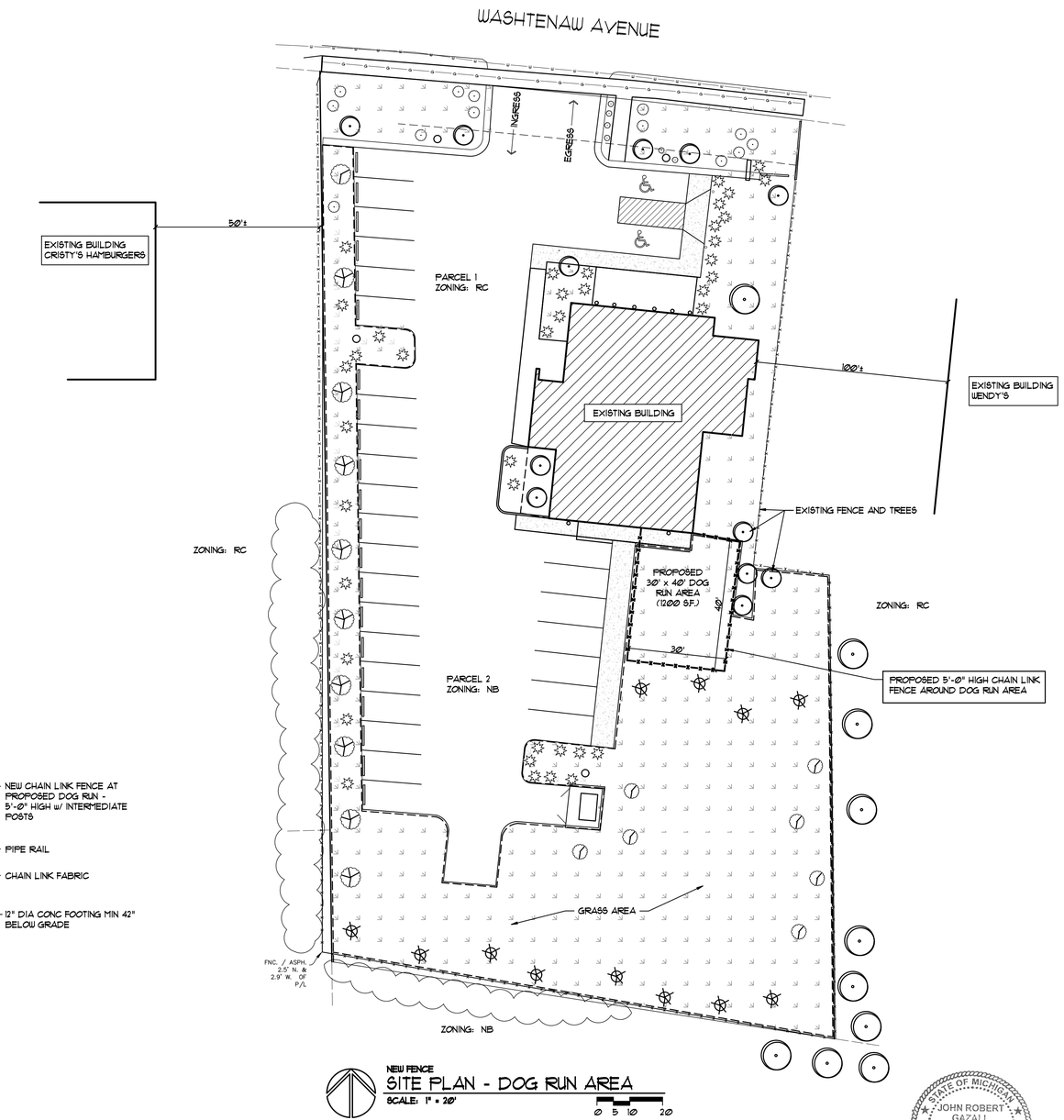
PARKING SPACES REQUIRED: 3182 / 250 S.F. = 13
BF SPACES REQUIRED: 1

PARKING SPACES PROVIDED: 28 w/ 2 BF SPACES. TOTAL: 30

LEGAL DESCRIPTION:
(SEE ALSO SHEET AL)
YP961-34-35: LOTS 21, 27 FAIRVIEW HEIGHTS NUMBER ONE, ALSO THE E 1/2 OF VACATED WELMAN DRIVE



FENCE ELEVATION AT DOG RUN
NO SCALE



NEW FENCE
SITE PLAN - DOG RUN AREA
SCALE: 1" = 20'
0 5 10 20

STATE OF MICHIGAN
JOHN ROBERT GAZALL
ARCHITECT
No. 1301035127
LICENSED ARCHITECT
06/27/2024

JUNE 27, 2024
VARIANCE REQUEST SUBMITTAL
GLA COMMISSION #2023-50

CASE CONSTRUCTION CO., INC.
GENERAL CONTRACTOR
Providing Construction & Design Build Services Since 1924
(810) 732-2000
www.caseconstruction.co

DRAWN	DGH
CHECKED	
REVISED DATE	
DATE	JUNE 27, 2024

REVISIONS

GAZALL, LEWIS & ASSOCIATES ARCHITECTS, INC.
MOTT FOUNDATION BUILDING
503 SOUTH SAGINAW STREET SUITE 100
FLINT, MICHIGAN 48502
• PHONE (810) 239-4691
• FAX (810) 239-5191
• GL@GAZALL-LEWIS.COM
• WWW.GAZALL-LEWIS.COM

VARIANCE REQUEST FOR NEW FENCE
DR. PAWS VETERINARY HOSPITAL
2789 WASHTENAW AVE. YPSILANTI, MICHIGAN

COMMISSION 2023-50
SHEET C1.0

Jun 27, 2024 - 2:42pm
X:\2023-50 YPSILANTI VET CLINIC\2023-50 SITE.dwg

Township Supervisor
Brenda L. Stumbo
Township Clerk
Heather Jarrell Roe
Township Treasurer
Stan Eldridge

YPSILANTI TOWNSHIP
— PLANNING & ZONING DEPARTMENT —

Trustees
John Newman II
Gloria Peterson
Debbie Swanson
Ryan Hunter

Zoning Board of Appeals
Staff Report

August 07, 2024

Applicant: Skilken Gold

Project Name: Sheetz Fueling Station / Convenience Store

Plan Date: June 12, 2024

Location: 2103 E. Michigan Avenue, 2509 E. Michigan Avenue, and 755 S. Hewitt Road, Ypsilanti, MI 48197, Parcel K-11-39-350-023, K-11-39-350-022, and K-11-18-100-019

Zoning: RC, Regional Corridor with a Site Type C Designation

Variance Request:

- Variance for Building setback from S. Hewitt Road.
- Variance for parking in front yard along S. Hewitt Road.
- Variance for deficient glazing on facades facing W. Michigan Avenue & S. Hewitt Road.

Location and Summary of Request:

The applicant is proposing to build a 6,132 sq. ft. convenience store/gas station and restaurant building, and eight (8) gas pumps (for a total of 16 fueling positions) at the southeast corner of W. Michigan Avenue and S. Hewitt Road. Other site features include an outdoor eating patio, parking, future EV charging stations, two air machines, outdoor sales of propane, ice, and windscreen fluid (shown on building elevations), and landscaping. This business will operate 24 hours per day, seven days a week.

This site is made up of three separate parcels. The applicant is proposing to split off the southern portion of the property to create a new parcel, which is not part of this development project.

Three variances are required to construct the project as designed:

1. Building setback from S. Hewitt Rd. further than permitted by Form Based ordinance standards. (Article 5 – Sec. 503.4, Building Form Type). The building is set back 62.5 feet when a maximum of 10 feet is required.
2. Parking is in the front yard along S. Hewitt, which is not permitted in the Form Based ordinance standards. (Article 5, Sec. 503.4, Building Form Type)
3. Amount of glazing is deficient in W. Michigan Ave. and S. Hewitt St. façades. (Article 5 – Sec. 503.7, Transparency Requirements).

Township Supervisor
Brenda L. Stumbo
Township Clerk
Heather Jarrell Roe
Township Treasurer
Stan Eldridge

YPSILANTI TOWNSHIP
— PLANNING & ZONING DEPARTMENT —

Trustees
John Newman II
Gloria Peterson
Debbie Swanson
Ryan Hunter

Aerial View of Subject Properties:

Suggested motions (Building Setback from S. Hewitt Road):
The following suggested motions and conditions are provided to assist the Zoning Board of Appeals in making a complete and appropriate motion for this application. The ZBA may utilize, add, or reject any portion of the suggested motion or any conditions suggested herein, as deemed appropriate.

Postpone:

I move to postpone the variance request at 2103 E. Michigan Avenue, 2509 E. Michigan Avenue, and 755 S. Hewitt Road, Ypsilanti, MI 48197, Parcel K-11-39-350-023, K-11-39-350-022, and K-11-18-100-019 to the building setback requirements from S. Hewitt Road outlined in Article 5 – Sec. 503.4 as indicated within the building envelope as shown on the site plan included in the Zoning Board of Appeals Packet dated June 12, 2024, to give the applicant an opportunity to address the comments made at this evening's meeting, and return with a revise proposal based on these comments.

Approve:

I move to approve the variance request at 2103 E. Michigan Avenue, 2509 E. Michigan Avenue, and 755 S. Hewitt Road, Ypsilanti, MI 48197, Parcel K-11-39-350-023, K-11-39-350-022, and K-11-18-100-019 to the building setback requirements to S. Hewitt Road outlined in Article 5 – Sec. 503.4 and indicated within the building envelope as shown on the site plan included in the Zoning Board of Appeals Packet dated June 12, 2024. Granting of the requested variance meets the criteria for a non-use variance in Section 1704(D) of the Zoning Ordinance. Specifically, granting the requested variances is based on the following facts:

1. The site is occupied by a road easement in the northwest corner, as shown on Sheet C-6. The ordinance requires that the building be placed at the 10-foot build-to-line, which is the line 10-feet from the front property line along a street. Because of this road easement, the building cannot be located 10 feet from the S. Hewitt Rd. property line. Therefore, special circumstances exist on this property that make compliance with the ordinance for building location impossible.
2. To locate the building on the site, the applicant cannot put it in the easement. Locating the building out of the easement means that the building cannot meet the build-to-line requirement. Granting the building location variance will allow development of this site.
3. The building is proposed as close to the corner as possible, given the existing easement along S. Hewitt.
4. The applicant did not create the existing easement along S. Hewitt.
5. The location of the building is 10 feet away from the edge of the easement, making the requested variance the minimum necessary.

Denial:

I move to deny the variance request at 2103 E. Michigan Avenue, 2509 E. Michigan Avenue, and 755 S. Hewitt Road, Ypsilanti, MI 48197, Parcel K-11-39-350-023, K-11-39-350-022, and K-11-18-100-019 to the building setback requirements from S. Hewitt Road outlined in Article 5 – Sec. 503.4 and indicated within the building envelope as shown on the site plan included in the Zoning Board of Appeals Packet dated June 12, 2024, based on the following findings of fact that the requests do not meet the criteria in Section 1704(D) of the Zoning Ordinance. Specifically, the request does not comply with the following criteria: (*ZBA states reasons for denial*)

1. _____

2. _____

Suggested motions (Parking in front yard along S. Hewitt):
The following suggested motions and conditions are provided to assist the Zoning Board of Appeals in making a complete and appropriate motion for this application. The ZBA may utilize, add, or reject any portion of the suggested motion or any conditions suggested herein, as deemed appropriate.

Postpone:

I move to postpone the variance request at 2103 E. Michigan Avenue, 2509 E. Michigan Avenue, and 755 S. Hewitt Road, Ypsilanti, MI 48197, Parcel K-11-39-350-023, K-11-39-350-022, and K-11-18-100-019 to the parking location requirements outlined in Article 5 – Sec. 503.4 and indicated within the building envelope as shown on the site plan included in the Zoning Board of Appeals Packet dated June 12, 2024, to give the applicant an opportunity to address the comments made at this evening's meeting, and return with a revise proposal based on these comments.

Approve:

I move to approve the variance request at 2103 E. Michigan Avenue, 2509 E. Michigan Avenue, and 755 S. Hewitt Road, Ypsilanti, MI 48197, Parcel K-11-39-350-023, K-11-39-350-022, and K-11-18-100-019 to the parking location requirements outlined in Article 5 – Sec. 503.4 and indicated within the building envelope as shown on the site plan included in the Zoning Board of Appeals Packet dated June 12, 2024. Granting of the requested variance meets the criteria for a non-use variance in Section 1704(D) of the Zoning Ordinance. Specifically, granting the requested variances is based on the following facts:

1. The location of the building is complicated by the existing easement. This sets the building further east on the property, lessening the space to locate compliant

parking spaces outside of the front yard along S. Hewitt.

2. The required location of the building necessitates the parking be shifted into the front yard along S. Hewitt St., given the fuel pumps and canopy occupying the rear yard behind the building. The applicant is not proposing any more parking spaces than required.
3. Authorizing the variance to locate parking on the west side of the site vs. the east side of the site will reduce activity near the residences to the east, helping to maintain the residential character to the east.
4. Because of the easement, the building is set further back from S. Hewitt than the ordinance calls for, limiting the possible locations for required parking that keeps the business activity away from the residences to the east.
5. The location of the six parking spaces is 30-feet from the S. Hewitt St. property line, and approximately 32-53 feet ahead of the S. Hewitt St. building façade. The location of these six spaces also accommodates the 14 parking spaces along the building. We consider this variance to be the minimum necessary because the project is only proposing the required number of parking spaces, and locating the six spaces on the west side of the site keeps the activity in the parking lot as far from the residential neighbors as possible.

Denial:

I move to deny the variance request at 2103 E. Michigan Avenue, 2509 E. Michigan Avenue, and 755 S. Hewitt Road, Ypsilanti, MI 48197, Parcel K-11-39-350-023, K-11-39-350-022, and K-11-18-100-019 to the parking location requirements outlined in Article 5 – Sec. 503.4 and indicated within the building envelope as shown on the site plan included in the Zoning Board of Appeals Packet dated June 12, 2024, based on the following findings of fact that the requests do not meet the criteria in Section 1704(D) of the Zoning Ordinance. Specifically, the request does not comply with the following criteria: (*ZBA states reasons for denial*)

1. _____

2. _____

Suggested motions (Transparency Requirements):

The following suggested motions and conditions are provided to assist the Zoning Board of Appeals in making a complete and appropriate motion for this application. The ZBA may utilize, add, or reject any portion of the suggested motion or any conditions suggested herein, as deemed appropriate.

Postpone:

I move to postpone the variance request at 2103 E. Michigan Avenue, 2509 E. Michigan Avenue, and 755 S. Hewitt Road, Ypsilanti, MI 48197, Parcel K-11-39-350-023, K-11-39-350-022, and K-11-18-100-019 to the transparency requirements outlined in Article 5 – Sec. 503.7 and indicated within the building envelope as shown on the site plan included in the Zoning Board of Appeals Packet dated June 12, 2024, to give the applicant an opportunity to address the comments made at this evening's meeting, and return with a revise proposal based on these comments.

Approve:

I move to approve the variance request at 2103 E. Michigan Avenue, 2509 E. Michigan Avenue, and 755 S. Hewitt Road, Ypsilanti, MI 48197, Parcel K-11-39-350-023, K-11-39-350-022, and K-11-18-100-019 to the transparency requirements outlined in Article 5 – Sec. 503.7 and indicated within the building envelope as shown on the site plan included in the Zoning Board of Appeals Packet dated June 12, 2024. Granting of the requested variance meets the criteria for a non-use variance in Section 1704(D) of the Zoning Ordinance. Specifically, granting the requested variances is based on the following facts:

1. _____

2. _____

Denial:

I move to deny the variance request at 2103 E. Michigan Avenue, 2509 E. Michigan Avenue, and 755 S. Hewitt Road, Ypsilanti, MI 48197, Parcel K-11-39-350-023, K-11-39-350-022, and K-11-18-100-019 to the parking location requirements as indicated within the building envelope as shown on the site plan included in the Zoning Board of Appeals Packet dated June 12, 2024, based on the following findings of fact that the requests do not meet the criteria in Section 1704(D) of the Zoning Ordinance. Specifically, the request does not comply with the following criteria: (*ZBA states reasons for denial*)

1. _____

2. _____

Township Supervisor
Brenda L. Stumbo
Township Clerk
Heather Jarrell Roe
Township Treasurer
Stan Eldridge

YPSILANTI TOWNSHIP
— PLANNING & ZONING DEPARTMENT —

Trustees
John Newman II
Gloria Peterson
Debbie Swanson
Ryan Hunter

Respectfully Submitted,

Fletcher Reyher

Fletcher Reyher, AICP
Planning and Development Coordinator
Charter Township of Ypsilanti Planning Department

Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: July 30, 2024

Zoning Board of Appeals – Variance Analysis
For
Ypsilanti Township, Michigan

Applicant: Silken Gold, represented by Derick Riba

Project Name: Sheetz Fueling Station/Convenience Store

Plan Date: June 12, 2024

Location: 2509 & 2103 W. Michigan Avenue, and 755 S. Hewitt

Zoning: RC – Regional Corridor – Form Based District

Action Requested: Variance for:

- Building setback from S. Hewitt Rd.
- Parking in front yard along S. Hewitt Rd.
- Deficient glazing on facades facing W. Michigan Ave. & S. Hewitt Rd.

PROJECT DESCRIPTION

The applicant is proposing to build a 6,132 s.f. convenience store/gas station and restaurant building, and eight (8) gas pumps (for a total of 16 fueling positions) at the southeast corner of W. Michigan Avenue and S. Hewitt Road. Other site features include an outdoor eating patio, parking, future EV charging stations, two air machines, outdoor sales of propane, ice, and windscreen fluid (shown on building elevations), and landscaping. This business will operate 24 hours per day, seven days a week.

This site is made up of three separate parcels. The applicant is proposing to split off the southern portion of the property to create a new parcel, which is not part of this development project.

Three variances are required to construct the project as designed:

1) Building setback from S. Hewitt Rd. further than permitted by Form Based ordinance standards. (Article 5 – Sec. 503.4, Building Form Type). The building is set back 62.5 feet when a maximum of 10-feet is required.
2) Parking is in front yard along S. Hewitt, which is not permitted in the Form Based ordinance standards. (Article 5, Sec. 503.4, Building Form Type)
3) Amount of glazing is deficient in W. Michigan Ave. and S. Hewitt St. façades. (Article 5 – Sec. 503.7, Transparency Requirements). The ordinance requires 50% of the first floor adjacent to a street to be transparent glazing. The project proposes the following:

	Proposed Glazing		
	Transparent Glazing	**Faux Window Glazing***	**Total**
W. Michigan Ave.	8.93%	17.8%	26.8%
S. Hewitt St.	11.03%	5,62%	16.65%

*Sec. 507, *Design Standards*, subsection "E", *Transparency*, states that the use of tinted, reflective, or opaque glass (such as the faux windows in this proposal) does not meet the definition of façade transparency.

APPEAL AND DEMONSTRATION OF PRACTICAL DIFFICULTY

The Zoning Board of Appeals may grant a dimensional or non-use variance only upon a finding that compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would create a practical difficulty and unreasonably prevent the use of the property. A finding of practical difficulty shall require demonstration that all the following conditions are met. We have evaluated the proposal against the criteria in the ordinance, and provide comments after each:

(1) That there are exceptional or extraordinary circumstances or conditions applying to the property in question that do not apply generally to other properties or classes of uses in the same zoning district. Exceptional or extraordinary circumstances or conditions include but may not be limited to:
a. exceptional narrowness, shallowness, or shape of a specific property;
b. exceptional topographic conditions;
c. any other physical situation on the land, building or structure deemed by the Zoning Board of Appeals to be extraordinary; or,
d. development characteristics of land immediately adjoining the property in question that creates an exceptional constraint.

CWA Comments:

Building Location: The site is occupied by a road easement in the northwest corner, as shown on Sheet C-6. The ordinance requires that the building be placed at the 10-foot build-to-line, which is the line 10-feet from the front property line along a street. Because of this road easement, the building cannot be located 10-feet from the S. Hewitt Rd. property line. Therefore, special circumstances exist on this property that make compliance with the ordinance for building location impossible.

Parking Location: The ordinance requires that parking be located in the side or rear yard. The proposal locates six (6) parking spaces in the front yard along S. Hewitt Rd. The ordinance definition of a "front" yard is: "*An open space extending the full width of the lot, the depth of which is the minimum horizontal distance between the front lot line and the nearest line of the main building*." The six parking spaces are closer to S. Hewitt Rd. than the building. We consider the following to create special circumstances for the location of these six spaces:

a. The site is a corner lot, with two front yards.
b. The fueling station component of the project requires that the interior of the site be occupied by the fuel pumps and canopy, requiring parking to be located around the perimeter of the site. (Note: The 12 spaces to the east of the building are located in a "side" yard, as defined by the ordinance: "*Side Yard. An open space between a main building and the side lot line, extending from the front yard to the rear yard, the width of which is the horizontal distance from the nearest point of the side lot line to the nearest point of the main building*.")
c. The location of the building is complicated by the existing easement. This sets the building further east on the property, lessening the space to locate compliant parking spaces outside of the front yard along S. Hewitt.
d. The east side of the site abuts a residential neighborhood. Placing these six spaces away from the neighbors reduces potential impacts to these neighbors.

Transparency. The Architectural Design Standards in the Form Based Districts are intended to create a character for the district that encourages the greatest amount of visual interest and architectural consistency. One way this is accomplished is by requiring the first floors of all buildings be designed to encourage and complement pedestrian-scaled activity by the use of windows and doors so that active uses within the building are visible from or accessible to the street. The standard requires 50% of any façade facing a right-of-way be occupied by windows and doors. The façade facing W. Michigan Ave. is 8.93% transparent, and the façade facing S. Hewitt Rd. is 11.03% transparent.

The applicant has not provided any floor plans to show how the interior of the building coordinates with the location of doors and windows. Floor plans should be provided with the variance request to allow the Zoning Board of Appeals to confirm windows/doors would interfere with these facilities.

The submittal includes building facades of the "back" elevation (which faces W. Michigan Ave.), and the "left" elevation (which faces S. Hewitt Rd.).

<u>W. Michigan Ave. Façade</u>. In our opinion, the façade facing W. Michigan Ave. is not designed as a "front" façade, welcoming pedestrians to the building. Utility cabinets are located on this façade, as well as the scuppers for stormwater conveyance. It is clearly a "back" as labeled. The focus of this building is toward the parking lots (or the east and south sides of the building). We consider the W. Michigan Ave. façade an important façade to achieve the goals of the Form-Based ordinance. Has the applicant investigated using the "picture window" style shown on the east elevation to create a "front" façade along W. Michigan Ave.? Has making the windows taller been investigated to increase the transparency? Has the applicant considered allowing customers to view the activity in the food preparation area? Would it be possible to have a pedestrian door on the W. Michigan Ave. side of the building? The W. Michigan façade should be modified to better meet the transparency requirement.

S. Hewitt Façade. Has the applicant considered flipping the orientation of the building, and locating the patio (with the associated window/door configuration) on the west side facing S. Hewitt? This would eliminate the need for a transparency variance. Since the six parking spaces along S. Hewitt are located in the easement, we would assume that an outdoor patio would also be permitted in the easement; however, there appears to be enough space to locate the patio here without encroaching on the easement. The Form-Based ordinance would encourage locating the patio along the street-side of the project. This location could also be more pleasant for patio users rather than overlooking a parking lot. Lastly, placing the patio on this side of the building will screen any activity in the patio from the residences to the east.

(2) *That a variance is necessary for the preservation and enjoyment of a substantial property right possessed by other properties in the same zoning district and in the vicinity;*

Building Location: To locate the building on the site, the applicant cannot put it in the easement. Locating the building out of the easement means that the building cannot meet the build-to-line requirement. Granting the building location variance will allow development of this site.

Parking Location: The required location of the building necessitates the parking be shifted into the front yard along S. Hewitt St., given the fuel pumps and canopy occupying the rear yard behind the building. The applicant is not proposing any more parking spaces than required.

Transparency.
W. Michigan Ave. Façade. The variance for transparency on the W. Michigan Ave. facade is not necessary to preserve a substantial property right possessed by other properties. The Form-Based standards are relatively new, and existing businesses along this corridor were developed before this standard was in place. The intent of the ordinance is to establish a pedestrian-oriented corridor as new developments are established. The applicant should address the questions posed in #1 above, and also explain why the transparency requirements for the W. Michigan façade cannot be met along this street-facing frontage.

S. Hewitt Façade. The applicant should respond to the possibility of locating the patio, and the associated windows/doors, on the west façade that faces S. Hewitt St. to eliminate the need for this variance.

(3) *That the authorizing of such variance will not be a substantial detriment to adjacent property, will not be harmful to or alter the essential character of the area, and will not materially impair the purposes of this ordinance or the public interest;*

Building Location: The building is proposed as close to the corner as possible, given the existing easement along S. Hewitt.

Parking Location: Authorizing the variance to locate parking on the west side of the site vs. the east side of the site will reduce activity near the residences to the east, helping to maintain the residential character to the east.

Transparency.

W. Michigan Ave. Façade. The intent of the transparency requirement is to establish a pedestrian-oriented corridor as new developments are established. Meeting this requirement along W. Michigan Ave. will present a "front" along the street, and will establish the desired pedestrian character. In our opinion, granting the variance will impair he purpose of the Form-Based ordinance standards.

S. Hewitt Façade. The applicant should respond to the possibility of locating the patio, and the associated windows/doors, on the west façade that faces S. Hewitt St. to eliminate the need for this variance.

(4) The problem and resulting need for the variance has not been self-created by any action of the applicant or the applicant's predecessors; and

Building Location: The applicant did not create the existing easement along S. Hewitt.

Parking Location: Because of the easement, the building is set further back from S. Hewitt than the ordinance calls for, limiting the possible locations for required parking that keeps the business activity away from the residences to the east.

Transparency.

W. Michigan Ave. Façade. This building is being designed from the ground up, and the proposed design requires the requested transparency variance. The "back-of-house" activities can still be accommodated if larger/taller windows or a door are incorporated on the W. Michigan Ave. façade into the "public" portion of the building. Also, many restaurants allow their customers to view food preparation areas.

S. Hewitt Façade. The applicant should respond to the possibility of locating the patio, and the associated windows/doors, on the west façade that faces S. Hewitt St. to eliminate the need for this variance.

(5) The proposed variance will be the minimum necessary and no variance shall be granted where a different solution not requiring a variance would be possible.

Building Location: The location of the building is 10-feet away from the edge of the easement, making the requested variance the minimum necessary.

Parking Location: The location of the six parking spaces is 30-feet from the S. Hewitt St. property line, and approximately 32-53 feet ahead of the S. Hewitt St. building façade. The location of these six spaces also accommodates the 14 parking spaces along the building. We consider this variance to be the minimum necessary because the project is only proposing the required number of parking spaces, and locating the six spaces on the west side of the site keeps the activity in the parking lot as far from the residential neighbors as possible.

Transparency.

W. Michigan Ave. Façade. Other options that could minimize this variance include adding larger/taller windows or a door into the "public" portion of the building, and/or allowing customers to view food preparation areas.

S. Hewitt Façade. An alternative to the variance includes locating the patio, and the associated windows/doors, on the west façade that faces S. Hewitt St., which would eliminate the need for this variance.

RECOMMENDATIONS

In our opinion, the subject site has a practical difficulty (existing road easement along S. Hewitt St.) that prevents the applicant from meeting the build-to-line requirement (building setback from a street), and the requirement prohibiting a parking lot in a front yard. These requests also meet the other criteria in the ordinance to justify a variance.

However, regarding the transparency variance requests, the applicant should provide/respond to the following:

1) Floor plans should be provided with the variance request.

2) **W. Michigan Ave. Transparency Variance**. The applicant should respond to the following, and offer other options to increase the transparency on the W. Michigan Ave. façade:
   a. Has the applicant investigated using the "picture window" style shown on the east elevation to create a "front façade" along W. Michigan Ave.?
   b. Has making the windows taller been investigated to increase the transparency?
   c. Has the applicant considered allowing customers to view the activity in the food preparation area?
   d. Would it be possible to add a pedestrian door on the W. Michigan Ave. side of the building?

3) **S. Hewitt St. Transparency Variance**. ZBA and applicant to discuss flipping the orientation of the building, and locating the patio (with the associated window/door configuration) on the west side of the building, facing S. Hewitt. Benefits this could provide include:
   a. Eliminate the need for a transparency variance along the S. Hewitt St. frontage.
   b. Location could be developed to be more pleasant for patio users, as they wouldn't be overlooking a parking lot.
   c. Locating the patio on the west side of the building would buffer activity on the patio from the residents to the east.

CARLISLE/WORTMAN ASSOC., INC.
Sally M. Elmiger, AICP, LEED AP
Principal

Charter Township of Ypsilanti
Office of Community Standards
7200 S. Huron Drive, Ypsilanti, MI 48197
Phone: (734) 544-4000 ext. #1
Website: https://ypsitownship.org

ZONING BOARD OF APPEALS APPLICATION

I. APPLICATION TYPE

- [x] Variance
- [ ] Exceptions and Special Approvals (Includes: Temporary Uses and Structures)
- [ ] Administrative Review Appeal

II. PROJECT LOCATION

Address: 2509 & 2103 W Michigan Ave & 755 Hewitt Parcel ID #: K-11- 39350022, 39350023,18-100-019 Zoning RC
Lot Number: _____ Subdivision: _____

III. APPLICANT INFORMATION

Applicant: Skilken Gold c/o Derick Riba Phone: 419-799-7656
Address: 4270 Morse Road City: Columbus State: OH Zip: 43230
Fax: _____ Email: driba@skilkengold.com
Property Owner: See attached Phone: _____
Address: _____ City: _____ State: ____ Zip: _____
Fax: _____ Email: _____

IV. COST AND FEES

Total: $ 1,000

Breakdown of fee:		
	Residential:	**$ 125.00**
	Non-residential:	**$ 500.00**

V. APPLICANT SIGNATURE

The undersigned Derick Riba (Applicant) represents see attached (Property Owner):

1. That see attached (Property Owner) is/are the owner(s) of lot(s) _____ (Lot) located in the _____ (Subdivision) Subdivision , Ypsilanti Township, Michigan, otherwise known as 2509 & 2103 W Michigan Ave & 755 Hewitt (Address) and the property is zoned RC (Zoning District)

2. That the petitioner hereby request Variance (Variance/Temporary Use /Regular Meeting) under Section 507 & 503 (Section) Article 5 (Article) of the Ypsilanti Township Zoning Ordinance.

3. The petitioner further state that DR (Applicant Initial) have/has read and understands the provisions of said zoning ordinance as it applies to this petition.

4. That the following is submitted in support of the petition (attach all pertinent data to support the request).

_____	Derick Riba	_____
Applicant Signature	Print Name	Date

Charter Township of Ypsilanti
Office of Community Standards
7200 S. Huron Drive, Ypsilanti, MI 48197
Phone: (734) 544-4000 ext. #1
Website: https://ypsitownship.org

OFFICE USE ONLY

All Zoning Board of Appeals Applications	
☐ The application is filled out in its entirety. ☐ If the applicant is not the property owner, written and signed permission from the property owner is required. ☐ Fees ☐ Letter of interest of the applicant in the property	☐ Plot plan or lot survey to scale showing the following: ☐ All property lines and dimensions ☐ All existing and proposed structures and dimensions ☐ Lot area calculations necessary to show compliance with regulations ☐ Easements and dimensions, if applicable ☐ Location of drives, sidewalks, and other paved areas on the property and on the adjacent streets. ☐ Location and dimensions of the nearest structures on adjacent properties.

STONEFIELD

July 11, 2024

Fletcher Reyher, AICP
Planning & Development
7200 S. Huron River Drive
Ypsilanti, MI 48197

RE: Sheetz Development – Zoning Board of Appeals
K11-39-350-022, K11-39-350-023, K11-05-100-019
2103 West Michigan Avenue
Ypsilanti Township, Washtenaw County, Michigan

Fletcher:

Stonefield Engineering and Design is pleased to submit documents for your review for the above referenced project. Please find the following items enclosed.

ITEM DESCRIPTION	*DATED*	*COPIES*	*PREPARED BY*
Site Development Plans	06-12-2024	email	Stonefield Engineering & Design
Architectural Plans	04-08-2024	email	Convenience Architecture
Zoning Board of Appeals Application	07-08-2024	1	Skilken Gold
Purchase Agreement	03-19-2024	email	Casto
Check for $500.00		1	Stonefield Engineering & Design

Please consider the following summaries as a part of the zoning board of appeals application:

Front Build-to-Line
(62.5 FT proposed, 10 FT required (Planning Commission may waive this requirement up to 30 FT)):

1. **The existing property contains an approximately 55 FT x 28 FT easement that is located at the corner of the lot. The easement restricts the ability to adhere to the 10 FT build-to-line along South Hewitt.**
2. **The requested variance would require the proposed development to be setback substantially farther from US-12 than what is required by the zoning code and would reduce the building visibility compared to buildings that are able to adhere to the build-to requirements.**
3. **Authorizing the requested variance will not be detrimental to the essential character of the area but rather allow the development to more closely align with the form-based districts objectives.**
4. **The easement in question benefits the county road commission and is not self-created.**
5. **The requested variance is the minimum necessary to ensure an additional setback variance is not required for the build-to-line along Michigan Avenue.**

Parking within Hewitt Street Front Yard
(30.0 FT proposed, 62.5 FT required):

1. **The existing property contains an approximately 55 FT x 28 FT easement that is located at the corner of the lot. The easement restricts the ability to adhere to the 10 FT build-to-line along South Hewitt which in turn requires the building and front yard to be set back significantly from the Hewitt frontage that what is desired by the zoning code.**
2. **The requested variance is necessary to allow for development consistent with other properties in the district. The design follows the intent of the form based zoning and ensures the largest setback possible from the residences to the east and screens the fueling canopy to the greatest extent possible.**
3. **Authorizing the requested variance will not be detrimental to the essential character of the area but rather allow the development to more closely align with the form-based districts objectives. Additionally, approval of this variance will maintain a larger setback from the residentially parcels to the East.**
4. **The easement that necessitates this grant benefits the county road commission and is not self-created.**
5. **The requested variance is the minimum necessary to most closely adhere to the form-based zoning standards while not negatively impacting the residential parcels to the East.**

First floor transparency when facing the right-of-way
Michigan Avenue Elevation (26.8% proposed, 50% required):
S. Hewitt Road Elevation (16.65% proposed, 50% required):

1. **Commercial properties at the same intersection do not adhere to the same standard the proposed development is required to adhere to. The proposed project has adhered to the required standard to the greatest extent possible.**
2. **The variance requested is the minimum necessary to develop the site in a manner consistent with other commercial parcels in the vicinity.**
3. **The requested variance will not be detrimental to adjacent properties but will rather allow for a vacant commercial parcel to be developed. The variance will not impair the purpose of this ordinance as it is the minimum variance necessary to allow this development to move forward.**
4. **The requested variance is necessary for a unique business to be located on the subject property. The need for this variance stems from needing to have a "back of house" to allow for restaurant operations to occur while maintaining welcoming entrances on 3-sides of the building for customers.**
5. **The requested variance is the minimum necessary to allow the property to be developed as presented. The variance will allow for back of house operations to occur while also adhering to the Township setback requirements to the greatest extent possible.**

Please contact our office if you have any questions or comments regarding this submission.

Best Regards,

Eric Williams, PE
ewilliams@stonefieldeng.com
Stonefield Engineering and Design, LLC

Kevin Heffernan, PE
kheffernan@stonefieldeng.com
Stonefield Engineering and Design, LLC

Via Email
V:\DET\2023\DET-230091.01-Skilken Gold-2103 West Michigan Avenue, Ypsilanti Charter Township, MI\Correspondence\Outgoing\Municipal\2024-07-10_Zoning Board of Appeals.docx

CASTO
250 Civic Center Drive, Suite 500 | Columbus, Ohio 43215
614.228.5331 | www.castoinfo.com

March 19, 2024

Charter Township of Ypsilanti
Office of Community Standards
7200 S. Huron Drive
Ypsilanti, MI 48197

Re: Real Estate Purchase and Sale Agreement dated January 23, 2023 between Commercial Site Acquisitions, Inc., ("Buyer") and RNA Of Ann Arbor, Incorporated and Wholesale Group of Ann Arbor, Inc. ("Seller") Re: 2059 W Michigan Ave, Ypsilanti, MI 48197 and 755 S Hewitt Road, Ypsilanti, MI 48197 ("Property")

Commercial Site Acquisitions, Inc, the Buyer of the above referenced Property, hereby grants to Morse Road Development LLC, Skilken Gold, Sheetz, and their assignors, agents, or tenants, permission to perform the following as it pertains to their due diligence for the purchase of the Property:

- Reference the Property parcel(s);
- Seek approval for:
  - Special Land Use Permit;
  - Preliminary Site Plan Approval; and
  - Any variances related to the development of the site for the fuel and convenience use.

Please feel free to contact me with any questions or concerns.

Sincerely,

Jason M. Freeman
Vice President, Commercial Site Acquisitions, Inc

REAL ESTATE PURCHASE AND SALE AGREEMENT

THIS REAL ESTATE PURCHASE AND SALE AGREEMENT (this "**Agreement**") is made and entered into as of the Effective Date, by and among R.N.A. OF ANN ARBOR, INCORPORATED, a Michigan corporation ("**R.N.A.**") and WHOLESALE GROUP OF ANN ARBOR, INC., a Michigan Corporation ("**Wholesale**"; together with R.N.A., collectively, "**Seller**"), and **COMMERCIAL SITE ACQUISITIONS, INC.**, an Ohio corporation ("**Buyer**").

WITNESSETH:

WHEREAS, the Seller is the owner of marketable fee simple interest in the real property situated in the City of Ypsilanti, Washtenaw County, Michigan, consisting of: (i) approximately 1.84 acres of land known as 2059 W. Michigan Avenue, Ypsilanti, Michigan 48197, Washtenaw County Parcel Number K-11-39-350-022, titled in R.N.A., and (ii) approximately 3.99 acres of land known as 755 S. Hewitt Road, Ypsilanti, Michigan 48197, Washtenaw County Parcel Number K-11-18-100-019, titled in Wholesale; and

WHEREAS, Buyer desires to purchase the Property (as defined below) and other rights described herein.

NOW, THEREFORE, for good and valuable consideration, the parties hereto agree as follows:

1. PROPERTY. Subject to the terms and conditions of this Agreement, Seller agrees to sell to Buyer and Buyer agrees to purchase from Seller, in accordance with the provisions of this Agreement, the following described property: (i) all of Seller's right, title and interest in and to Washtenaw County, Parcel Nos. K-11-39-350-022 and K-11-18-100-019, consisting of approximately 5.83 acres of land, as the same is described and/or depicted on Exhibit A attached hereto and made a part hereof; (ii) all riparian, oil, gas and mineral rights and all privileges, governmental permits and approvals, impact fee credits, development rights, warranties, contracts, improvements, easements, and other rights, interests and appurtenances to the Property; and (iii) all intangible property and all plans, specifications, studies and reports owned or controlled by Seller related to the Property (collectively, the "**Property**").

2. PURCHASE PRICE. The total purchase price for the Property to be paid to Seller by Buyer (the "**Purchase Price**") shall be the sum of [redacted]. The Purchase Price shall be paid to Seller at Closing, plus or minus prorations and other adjustments as provided in this Agreement, including all Deposit(s) (hereinafter defined) credited against the Purchase Price, by federal wire transfer of immediately available funds to Title Company.

3. EARNEST MONEY.

3.1 Earnest Money Deposit. Within seven (7) business days of the Effective Date, Buyer shall deposit into escrow with the Title Company its earnest money deposit in the amount of [redacted] (the "**Deposit**"). The Deposit shall be held as follows: (i) at Closing, the Deposit shall be delivered to Seller and credited against the Purchase Price and all interest (if any) earned on the Deposit shall be paid to Buyer or credited against the Purchase Price; (ii) if Seller fails or refuses to perform, or any contingency is not satisfied or waived, the Deposit shall be returned to Buyer in accordance with this Agreement; or (iii) if Buyer fails or refuses to perform, the Deposit shall be paid to Seller in accordance with Section 11 of this Agreement. If the parties are unable to agree upon the

IN WITNESS WHEREOF, the parties hereto have executed this Agreement on the date first above written.

SELLER:

R.N.A. OF ANN ARBOR, INCORPORATED,
a Michigan corporation

By: _____
Print Name: Mufid Farhat
Its: C.E.O

Date: 1/23/2023

WHOLESALE GROUP OF ANN ARBOR, INC.,
a Michigan corporation

By: _____
Print Name: Mufid Farha
Its: C.E.O

Date: 1/23/2023

BUYER:

COMMERCIAL SITE ACQUISITIONS, INC.,
an Ohio corporation

By: _____
Print Name: Eric Leibowitz
Its: VP

Date: 1/23/23

CASTO
250 Civic Center Drive, Suite 500 | Columbus, Ohio 43215
614.228.5331 | www.castoinfo.com

March 19, 2024

Charter Township of Ypsilanti
Office of Community Standards
7200 S. Huron Drive
Ypsilanti, MI 48197

Re: Real Estate Purchase and Sale Contract dated February 7, 2023 between Commercial Site Acquisitions, Inc, ("Buyer") and Lewis Frye Jr and Gale M Frye ("Seller") Re: 2103 W Michigan Ave, Ypsilanti, MI 48197 ("Property")

Commercial Site Acquisitions, Inc, the Buyer of the above referenced Property, hereby grants to Morse Road Development LLC, Skilken Gold, Sheetz, and their assignors, agents, or tenants, permission to perform the following as it pertains to their due diligence for the purchase of the Property:

- Reference the Property parcel(s);
- Seek approval for:
  - Special Land Use Permit;
  - Preliminary Site Plan Approval; and
  - Any variances related to the development of the site for the fuel and convenience use.

Please feel free to contact me with any questions or concerns.

Sincerely,

Jason M. Freeman
Vice President, Commercial Site Acquisitions, Inc

Real Estate Purchase and Sale Contract

This Real Estate Purchase and Sale Contract (the "Contract") is entered into as of the Effective Date, by and among LEWIS FRYE JR. and GAYLE M. FRYE, married individuals (the "Seller"), and COMMERCIAL SITE ACQUISITIONS, INC., an Ohio corporation (the "Buyer"), who hereby agree as follows:

1. PROPERTY DESCRIPTION: Buyer offers to purchase from the Seller in accordance with the provisions of this Contract, the following described real estate including, without limitation, appurtenant rights, privileges, easements and other rights and interests related thereto located in the City of Ypsilanti, County of Washtenaw, State of Michigan, and known as: 2103 W. Michigan Avenue, Ypsilanti, Michigan 48197, Washtenaw County Parcel No. K-11-39-350-023 (the "Property"), a description and/or depiction of which is attached hereto as Exhibit A.

2. PRICE AND TERMS: Buyer shall pay the purchase price of [redacted] (the "Purchase Price") to Seller at Closing by wire transfer or by bank cashier's check.

3. CONTINGENCIES: Property Inspection: Buyer, at Buyer's expense shall have one hundred twenty (120) days after the full execution of this Contract (the "Due Diligence Period") to evaluate the Property and have the Property and all improvements, fixtures and equipment inspected, including soils tests and environmental assessments. Seller shall cooperate in making the Property reasonably available for such inspection(s). Buyer agrees to indemnify and hold Seller harmless from any injury or damage caused by such inspection(s), except to the extent arising from or related to the acts or omissions of Seller or any pre-existing conditions of the Property discovered by Buyer. If Buyer is not satisfied with the Property, in Buyer's sole discretion, Buyer may terminate this Contract by delivering written notice of such termination to Seller prior to expiration of the Due Diligence Period, as may be extended below, and the Deposit shall be returned to Buyer. Failure of Buyer to deliver written termination notice within such time period shall constitute a waiver of Buyer's right to terminate pursuant to this provision.

   Notwithstanding anything herein to the contrary, Buyer shall have the option to extend the Due Diligence Period for two (2) periods of forty-five (45) days each to allow Buyer to continue to inspect the Property, provided Buyer has delivered, prior to the expiration of the initial Due Diligence Period or prior extension period, as applicable: (a) written notice to Seller of its election to extend the Due Diligence Period, and (b) an extension payment of [redacted]) (each an "Extension Payment") to the Title Company. Any Extension Payment shall be non-refundable to Buyer once made, except in the event of Seller's default as set forth in Section 11 of this Contract, but any Extension Payment, and all interest (if any) earned shall be applied to (or credited against) the Purchase Price at Closing. The term "Due Diligence Period" as used herein shall be deemed to include the extended time periods contemplated in this paragraph, provided such extension is duly and timely exercised.

4. POSSESSION: Seller shall deliver exclusive possession of the Property to Buyer at Closing subject to no tenancies.

5. DAMAGE OR DESTRUCTION OF PROPERTY: Risk of physical loss to the Property and any improvements shall be borne by Seller until Closing and during its period of post-closing occupancy.

6. EVIDENCE OF TITLE: Buyer may obtain an owner's title insurance commitment during the Due Diligence Period and, at Closing, an owner's title policy in the amount of the Purchase Price. The title commitment and policy shall be issued by Devon Title, or its affiliate, 1680 Crooks Road, Troy, Michigan 48084, attention: Rana Abu-Joudeh, at (248) 273-4300, rabujoudeh@devontitle.com (the "Title Company"). Buyer and Seller shall each pay fifty percent (50%) of the costs, fees and premium for the commitment, the owner's policy and any endorsements to remove the standard title exceptions. Buyer shall pay the costs, fees and premium for any lender's policy, any lender endorsements and any other endorsements to the owner's policy (i.e., in addition to those required to remove the standard title exceptions). Buyer and Seller shall each pay fifty percent (50%) of all other costs of the Title Company, including any escrow fees, closing fees and document coordination fees. Buyer may obtain a survey during the Due Diligence Period at its own cost. At Closing, Seller shall deliver such documents as may reasonably be required to convey and vest title to the Property in the Buyer and to enable the Title Company to issue the title policy.

7. CONVEYANCE AND CLOSING: The closing of this transaction (the "Closing") shall occur within fifteen (15) days after expiration of the Due Diligence Period. At Closing, Buyer shall pay all conveyance and/or transfer fees, and Seller shall convey title to the Property to Buyer by a limited warranty deed. Buyer shall pay for all recording fees and all other Closing costs, including any escrow fees owed to the Title Company.

8. TAXES AND ASSESSMENTS: All real estate taxes, assessments, and any payments in lieu thereof pursuant to state laws applicable to the Property (collectively, "Taxes") for the calendar year of Closing shall be apportioned and prorated on a per-diem basis between the parties as of the date of Closing, regardless of the collection date therefore. Seller's share of such pro-ration shall be based upon the number of days in such calendar year which precede (but do not include) the date of Closing and Buyer's share shall be based on the number of days in such year that include and follow the date of Closing. Seller shall also pay or credit against the Purchase Price at Closing all other unpaid Taxes that are a lien for years prior to Closing.

BUYER:

COMMERCIAL SITE ACQUISITONS, INC.,
an Ohio corporation

By: _____

Name: JASON FREEMAN

Title: VICE PRESIDENT

Date: 2/7/23

BUYER'S ADDRESS FOR NOTICES:

250 Civic Center Drive, Suite 500
Columbus, OH 43215
Attention: Jason Freeman, Steven Dankof Jr., and Rachel Stine
Email: jfreeman@castoinfo.com and
sdankof@castoinfo.com and
rstine@castoinfo.com

SELLER:

Lewis Frye

LEWIS FRYE JR.

Gayle M Frye

GAYLE M. FRYE

Date: 02/06/23

SELLER'S ADDRESS FOR NOTICE PURPOSES:

2290 Draper Avenue
Ypsilanti, MI 48197
Attention: Lewis Frye Jr. and Gayle M. Frye
Email: mrlewisfryejr@gmail.com

SHEETZ

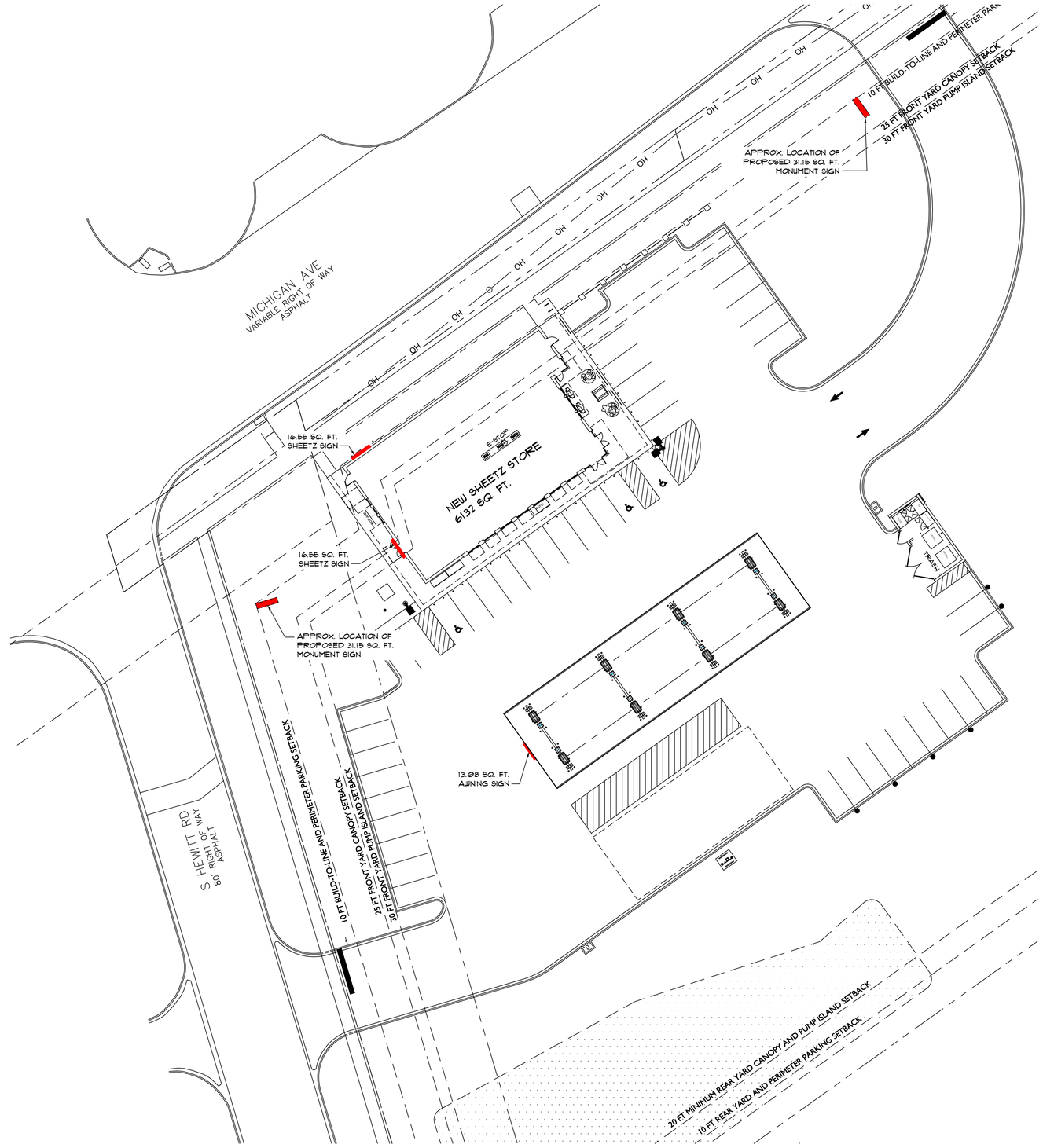
SHEETZ, INCORPORATED
5700 SIXTH AVENUE
ALTOONA, PA 16602
(814) 946-3611

NEW SHEETZ STORE "YPSILANTI"

INT. OF MICHIGAN AVENUE AND HEWITT ROAD YPSILANTI, MICHIGAN

SIGNAGE SQUARE FOOTAGE BREAKDOWN

BUILDING ELEVATIONS	SHEETZ SIGN = 16.55 SQ. FT. X 2 = 33.10 SQ. FT.	
	TOTAL = 33.10 SQ. FT.	33.10 SQ. FT.
GAS PRICE MONUMENT SIGN	SHEETZ SIGN = 12.13 SQ. FT. X 1 = 12.13 SQ. FT.	
	GAS PRICE SIGN = 19.02 SQ. FT. X 1 = 19.02 SQ. FT.	
	TOTAL = 31.15 SQ. FT. X 2 = 62.30 SQ. FT.	
GAS CANOPY AWNING	SHEETZ SIGN AREA = 13.08 SQ. FT. X 1 = 13.08 SQ. FT.	
	FUEL OFFERING FLAG AREA = 2.76 SQ. FT. X 16 = 44.16 SQ. FT.	
	TOTAL = 57.24 SQ. FT.	57.24 SQ. FT.



SIGN LOCATIONS

CREATED 04-08-24

G:\Sites\under-contract\MI-214556-Ypsilanti-Hewitt Road\Sign Package\MI-Ypsilanti-Hewitt-coversheet.dwg, 4/8/2024 10:27:04 AM

1 FRONT ELEVATION (SOUTHEAST)

1/4" = 1'-0"

FIRST FLOOR GLAZING CALCULATION (2' TO 8') FRONT ELEVATION = 626 SQ FT		
DESCRIPTION	AREA (SQ FT)	% OF COVERAGE
TRANSPARENT GLAZING	196.10	31.33%
FAUX WINDOW GLAZING	N/A	N/A
TOTAL GLAZING	196.10	31.33%

TYPICAL EXTERIOR ELEVATION NOTES:

- ALL LIGHTS SHOWN ABOVE AND/OR BELOW DOORS OR WINDOWS ARE TO BE CENTERED ON THE DOOR OR WINDOW UNLESS NOTED OTHERWISE.
- FIXTURES/EQUIPMENT BETWEEN TWO DOORS OR WINDOWS ARE TO BE CENTERED EQUALLY.
- EXTERIOR SEALANT FOR STONE SHALL COMPLY WITH SECTION 07 9005 JOINT SEALANTS, GENERAL BUILDING FASCADE WEATHER SEALANT AND SHALL MATCH THE COLOR OF THE STORE.

EXTERIOR ELEVATION KEYNOTES:

1. BRICK VENEER, COLOR: 680 BY CONTINENTAL BRICK COMPANY. SEE MASONRY SPEC
2. CAST STONE SILL, COLOR: CRAB ORCHARD. SEE MASONRY SPEC
3. ANCHORED CAST STONE MASONRY VENEER, COLOR: CRAB ORCHARD. SEE MASONRY SPEC
4. EXTERIOR LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS
5. ARCHITECTURAL CANOPY, COLOR: REGAL RED, PREMIUM TWO-COAT KYNAR FINISH
6. BRICK PAVER WALKWAY
7. LIGHTED CURVED FASCIA CANOPY ATTACHMENT
8. METAL COPING, COLOR: DARK BRONZE
9. WALL MOUNTED BUILDING SIGN, SEE SHEET A200.
10. STANDING SEAM METAL ROOF, COLOR: BRITE RED
11. ROOF EQUIPMENT SCREEN, COLOR: DARK BRONZE
12. GUTTER, COLOR TO MATCH CUPOLA COLOR
13. DOWNSPOUT, COLOR: DARK BRONZE
14. DRIVE-THRU WINDOW (IF APPLICABLE)
15. METAL STANDING SEAM SHED STYLE AWNING AND FRAME ASSEMBLY, ROOF COLOR: BRITE RED, FRAME COLOR: DARK BRONZE
16. BRICK SOLDIER COURSE, COLOR: 680 BY CONTINENTAL BRICK COMPANY. SEE MASONRY SPEC
17. BRICK ROWLOCK COURSE, COLOR: 680 BY CONTINENTAL BRICK COMPANY. SEE MASONRY SPEC
18. CONTROL JOINT, SEE MASONRY SPEC
19. STEEL ROOF LADDER AND CRANKY POST, COLOR: DARK BRONZE
20. STANDARD THROUGH WALL SCUPPER WITH CONDUCTOR HEAD & DOWNSPOUT, COLOR: DARK BRONZE
21. OVERFLOW SCUPPER
22. ALUMINUM STOREFRONT SYSTEM, SEE A600
23. EXTERIOR HOSE BIB, REFER TO PLUMBING DRAWINGS
24. OUTDOOR FURNITURE
25. ELECTRICAL RECEPTACLE, REFER TO ELECTRICAL DRAWINGS
26. ELECTRICAL EQUIPMENT, REFER TO ELECTRICAL DRAWINGS
27. HM DOOR AND FRAME, COLOR: DARK BRONZE
28. EMERGENCY WATER CONNECTION, REFER TO PLUMBING DRAWINGS
29. SEAMLESS ALUM PANEL SYSTEM WITH EXPOSED FASTENERS, COLOR: DARK BRONZE
30. PROPANE LOCKER
31. ICE MERCHANDISER
32. RTI FILLPORT
33. STEEL BOLLARD, COLOR: DARK BRONZE
34. CO2 FILLPORT
35. DECORATIVE ALUMINUM FENCE, COLOR DARK BRONZE
36. AUTOMATIC DOOR PUSH PLATE AND BOLLARD, BOLLARD COLOR: DARK BRONZE
37. GAS METER AND RISER, REFER TO CIVIL UTILITY PLAN, COLOR: DARK BRONZE
38. NOT USED.
39. LIGHT CHANNEL AT PARAPET COPING. SEE ARCHITECTURAL AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.

2 RIGHT ELEVATION (NORTHEAST

1/4" = 1'-0"

FIRST FLOOR GLAZING CALCULATION (2' TO 8') LEFT ELEVATION = 498 SQ FT		
DESCRIPTION	AREA (SQ FT)	% OF COVERAGE
TRANSPARENT GLAZING	198.73	40.07%
FAUX WINDOW GLAZING	N/A	N/A
TOTAL GLAZING	198.73	40.07%

OUTLINE AREA = 14.84 SQ.FT.
BOX AREA = 16.52 SQ.FT.
TYPICAL OF FOUR
PROJECTS 7" OFF FACE OF BUILDING

A WALL MOUNTED "SHEETZ" BUILDING SIGN

1/2" = 1'-0"

Convenience Architecture and Design P.C.
351 Sheetz Way, Claysburg, PA 16625

phone (814) 239-6013
email tcolumbu@sheetz.com
web site www.sheetz.com

PROJECT NAME:
NEW SHEETZ STORE

YPSILANTI
S. HEWITT ROAD

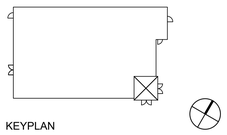
Int. of South Hewitt Road and Michigan Avenue
Ypsilanti, MI

OWNER:
SHEETZ, INC.

5700 SIXTH AVE.
ALTOONA, PA 16602

CONSULTANT

PROFESSIONAL



KEYPLAN

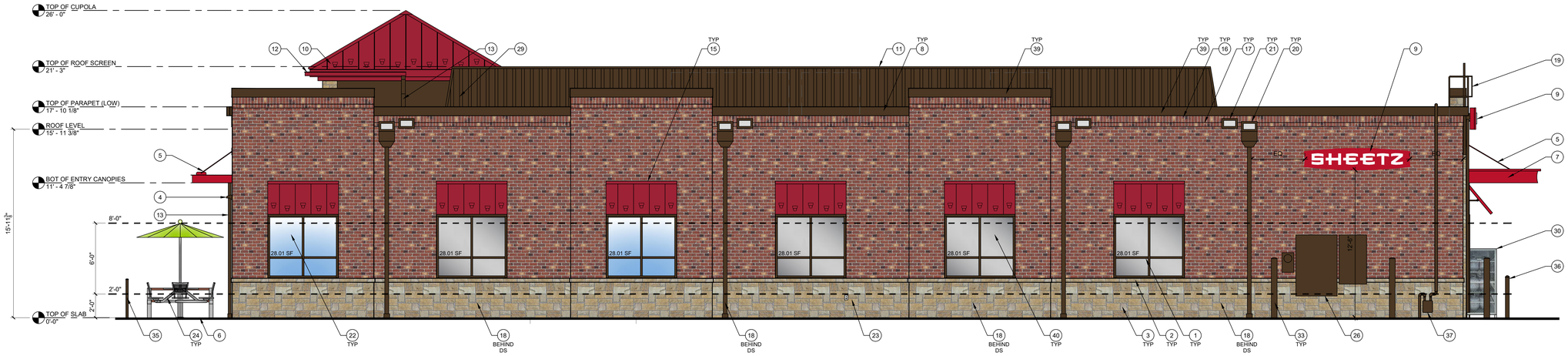
MARK	DATE	DESCRIPTION

ISSUE:	04.02.2024
SITE ID NO:	214556
AUTHOR BY:	RJK, JNW
REVIEW BY:	RJH
VERSION:	6132R_v1.6

EXTERIOR ELEVATIONS

A200

PRELIMINARY ELEVATIONS



3 BACK ELEVATION (NORTHWEST)

1/4" = 1'-0"

FIRST FLOOR GLAZING CALCULATION (2' TO 8') REAR ELEVATION = 627 SQ FT		
DESCRIPTION	AREA (SQ FT)	% OF COVERAGE
TRANSPARENT GLAZING	56.02	8.93%
FAUX WINDOW GLAZING	112.04	17.87%
TOTAL GLAZING	168.06	26.80%

TYPICAL EXTERIOR ELEVATION NOTES:

- ALL LIGHTS SHOWN ABOVE AND/OR BELOW DOORS OR WINDOWS ARE TO BE CENTERED ON THE DOOR OR WINDOW UNLESS NOTED OTHERWISE.
- FIXTURES/EQUIPMENT BETWEEN TWO DOORS OR WINDOWS ARE TO BE CENTERED EQUALLY.
- EXTERIOR SEALANT FOR STONE SHALL COMPLY WITH SECTION 07 9005 JOINT SEALANTS. GENERAL BUILDING FASCADE WEATHER SEALANT AND SHALL MATCH THE COLOR OF THE STORE.

EXTERIOR ELEVATION KEYNOTES:

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2. CAST STONE SILL, COLOR: CRAB ORCHARD. SEE MASONRY SPEC
3. ANCHORED CAST STONE MASONRY VENEER, COLOR: CRAB ORCHARD. SEE MASONRY SPEC
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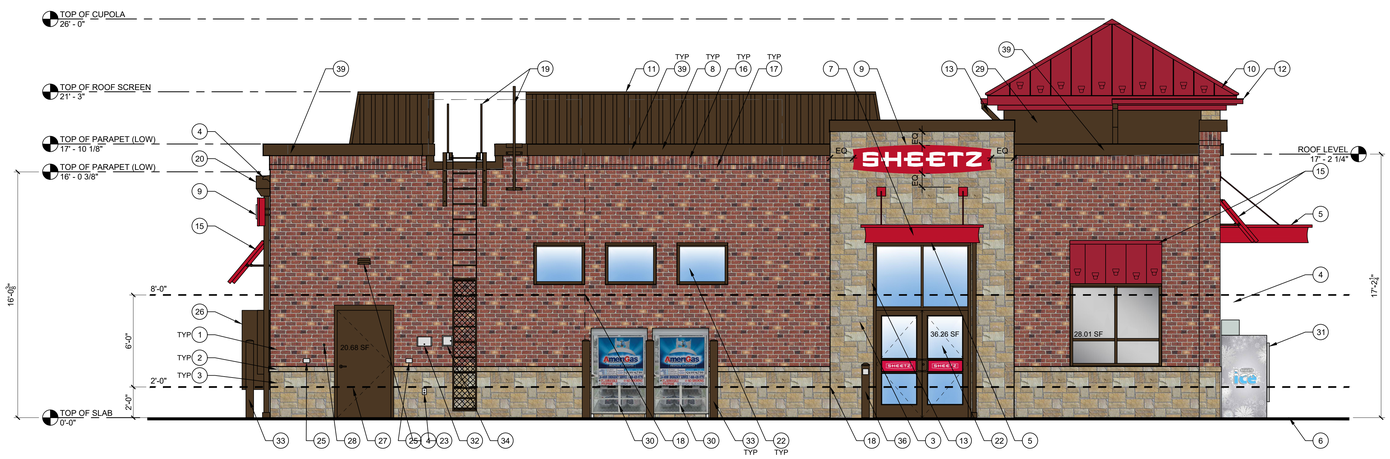
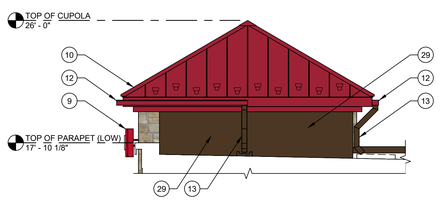


4 LEFT ELEVATION (SOUTHWEST)

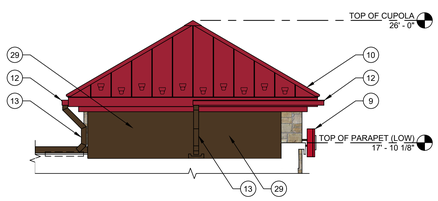
1/4" = 1'-0"

FIRST FLOOR GLAZING CALCULATION (2' TO 8') RIGHT ELEVATION = 498 SQ FT		
DESCRIPTION	AREA (SQ FT)	% OF COVERAGE
TRANSPARENT GLAZING BETWEEN	54.94	11.03%
FAUX WINDOW GLAZING	28.01	5.62%
TOTAL GLAZING	82.95	16.65%



5 CUPOLA ELEVATION FROM ROOF

1/4" = 1'-0"



6 CUPOLA ELEVATION FROM ROOF

1/4" = 1'-0"

Convenience Architecture and Design P.C.
351 Sheetz Way, Claysburg, PA 16625

phone (814) 239-6013
email tcolumbu@sheetz.com
web site www.sheetz.com

PROJECT NAME:
NEW SHEETZ STORE

YPSILANTI
S. HEWITT ROAD

Int. of South Hewitt Road
and Michigan Avenue
Ypsilanti, MI

OWNER:
SHEETZ, INC.

5700 SIXTH AVE.
ALTOONA, PA 16602

CONSULTANT

PROFESSIONAL

KEYPLAN

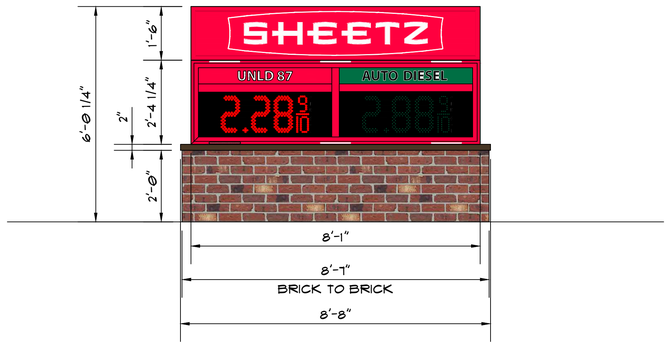
MARK	DATE	DESCRIPTION

ISSUE:	04.02.2024
SITE ID NO:	214556
AUTHOR BY:	RJK, JNW
REVIEW BY:	RJH
VERSION:	6132R_v1.6

EXTERIOR ELEVATIONS

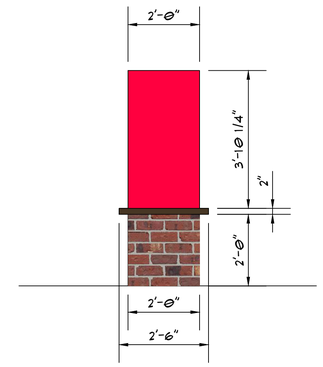
A201

PRELIMINARY ELEVATIONS



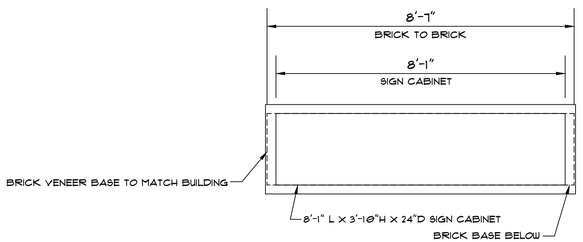
GAS PRICE SIGN DETAIL - PARTIAL ELEVATION

SCALE: 1/2" = 1'-0" AREA: 31.15 SQ. FT.



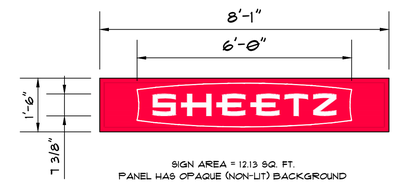
MONUMENT SIGN SIDE ELEVATION

SCALE: 1/2"=1'-0"

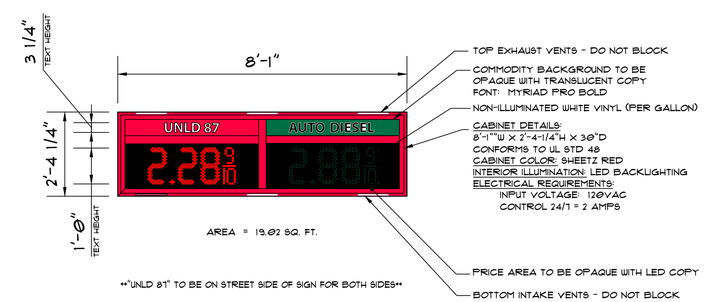


PLAN VIEW

SCALE: 1/2"=1'-0"

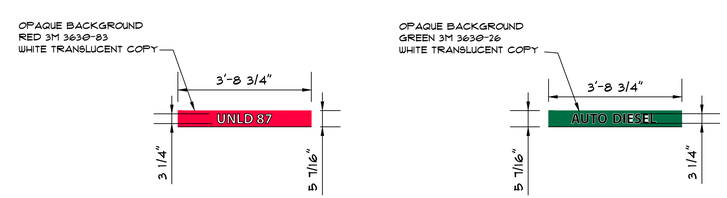


SIGN AREA = 12.13 SQ. FT.
PANEL HAS OPAQUE (NON-LIT) BACKGROUND



AREA = 19.02 SQ. FT.

"UNLD 87" TO BE ON STREET SIDE OF SIGN FOR BOTH SIDES



SIGN CABINET DETAILS

TOTAL SIGN AREAS: 31.15 SQ. FT.

*SIGN IS TYPICAL OF TWO

Convenience Architecture and Design P.C.
351 Sheetz Way, Claysburg, PA 16625

phone (814) 239-6013
email tcolumbu@sheetz.com
web site www.sheetz.com

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YPSILANTI

Int. of Michigan Avenue
and Hewitt Road
Ypsilanti
Michigan

OWNER:
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5700 SIXTH AVE.
ALTOONA, PA 16602

CONSULTANT

PROFESSIONAL

KEYPLAN

MARK	DATE	DESCRIPTION

ISSUE: 04-05-24
PROJECT NO:
AUTHOR BY: DNC
REVIEW BY:
SHEET TITLE

MONUMENT SIGN DETAILS

1

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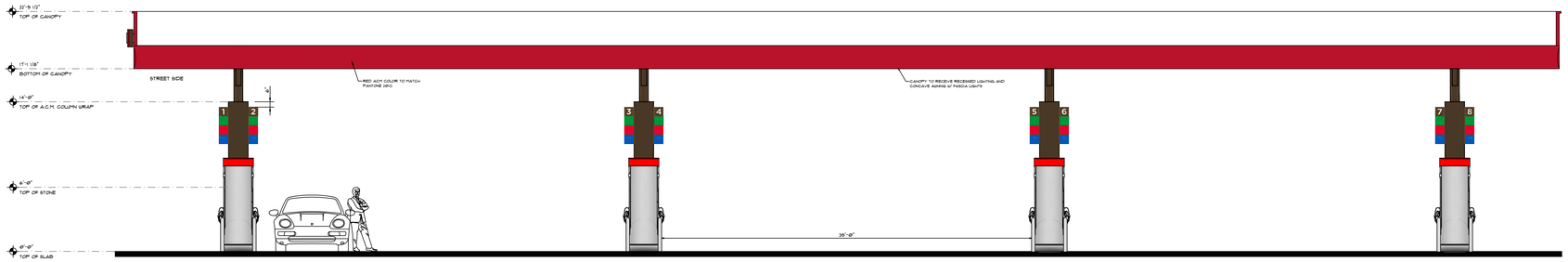
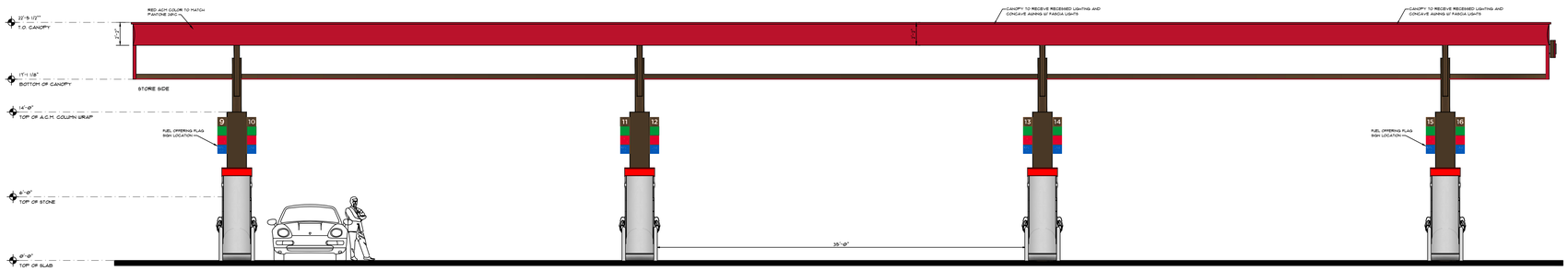
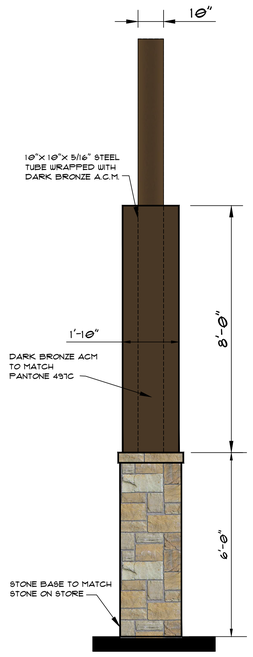


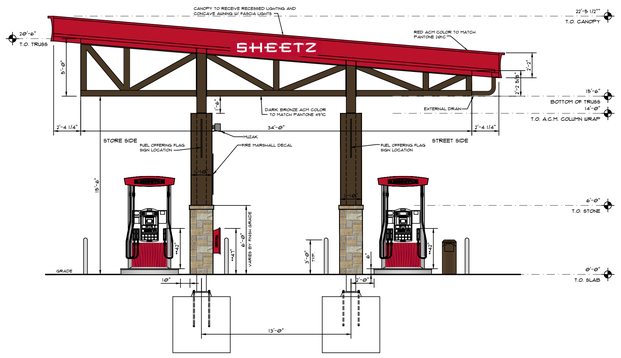
SIDE 'B' ELEVATION
SCALE: 3/16" =1'-0"



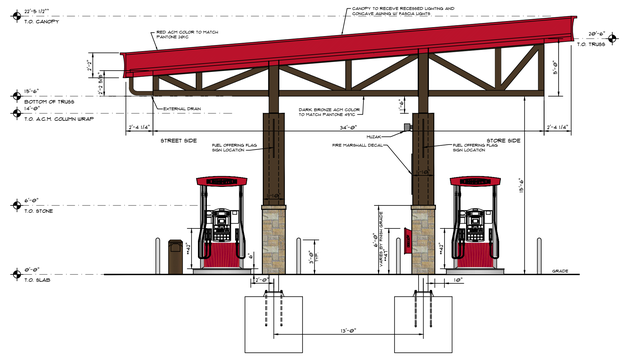
SIDE 'D' ELEVATION
SCALE: 3/16" =1'-0"



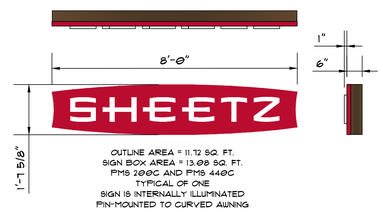
COLUMN ELEVATION
SCALE: 1/2" =1'-0"



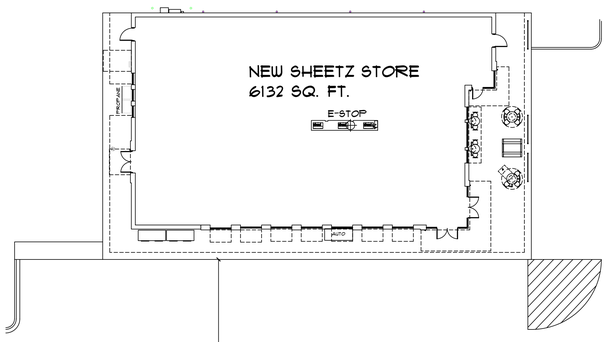
SIDE 'A' LEFT SIDE ELEVATION
SCALE: 3/16" =1'-0"

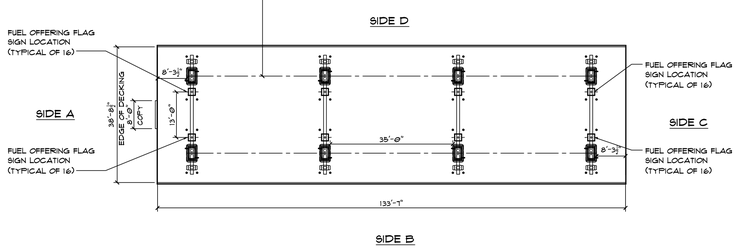


SIDE 'C' RIGHT SIDE ELEVATION
SCALE: 3/16" =1'-0"

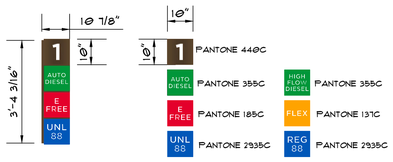


CANOPY MOUNTED SHEETZ SIGN DETAIL
SCALE: 1/2" =1'-0"

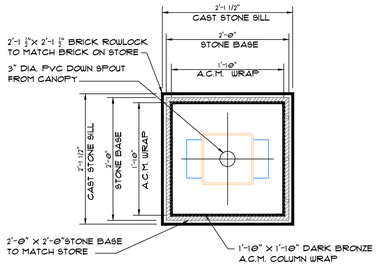




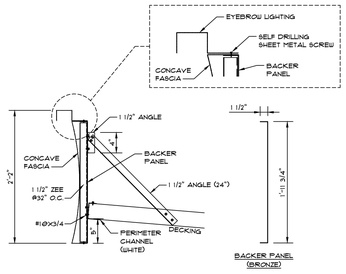
PLAN VIEW FOR LOGO LOCATIONS



DOUBLE FACED FUEL OFFERING FLAG SIGN DETAILS
SCALE: 1/2" =1'-0"



STONE COLUMN BASE DETAIL
SCALE: 1/4" =1'-0"



CONCAVE FASCIA MOUNTING DETAIL
SCALE: 1/4" =1'-0"

Convenience Architecture and Design P.C.
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CONSULTANT

PROFESSIONAL

KEYPLAN

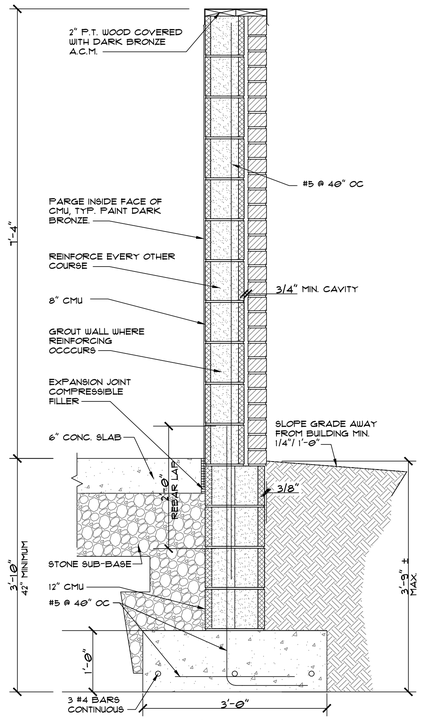
MARK	DATE	DESCRIPTION

ISSUE: 04-05-24
PROJECT NO:
AUTHOR BY: DNC
REVIEW BY:
SHEET TITLE

GAS AWNING

2

G:\Sites\under-contract\MI-214556-Ypsilanti-Hewitt Road\Sign Package\MI-Ypsilanti-Hewitt-awning.dwg, 4/5/2024 1:54:13 PM



SECTION DETAIL
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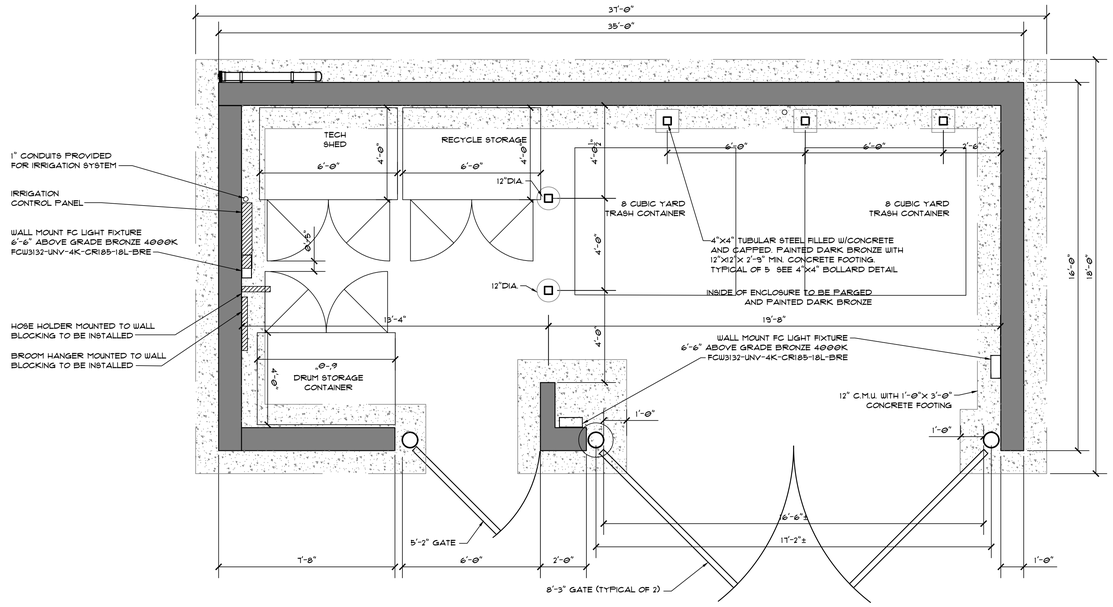
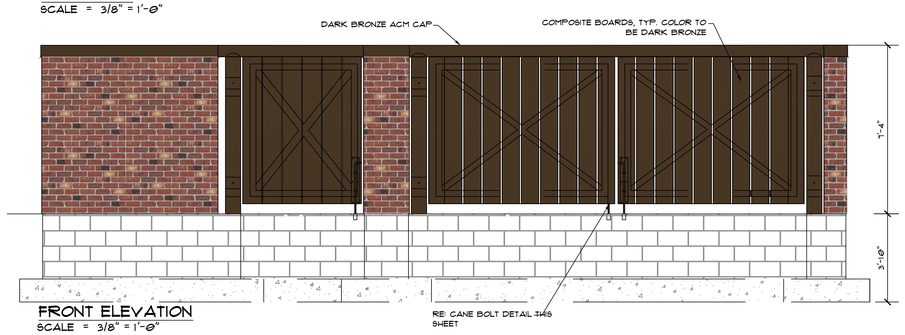
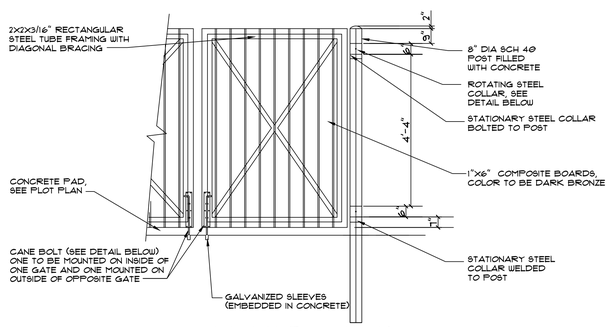


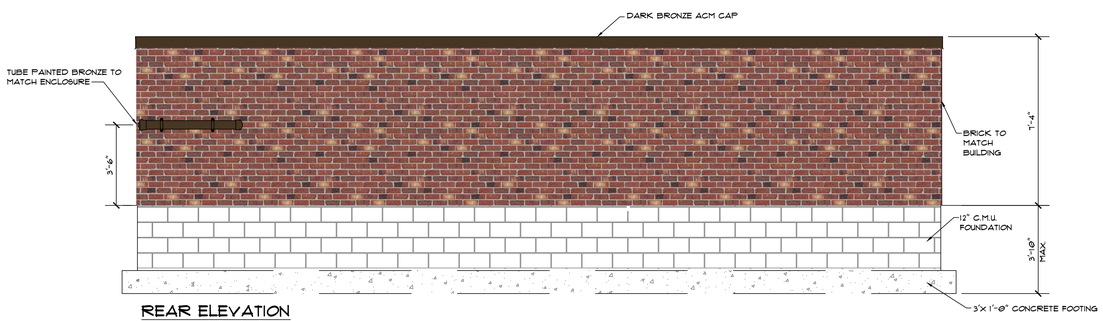
PLAN VIEW
SCALE = 3/8" = 1'-0"



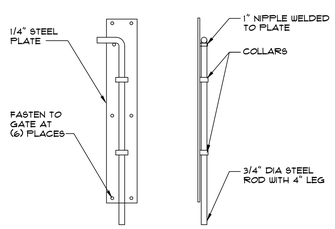
FRONT ELEVATION
SCALE = 3/8" = 1'-0"



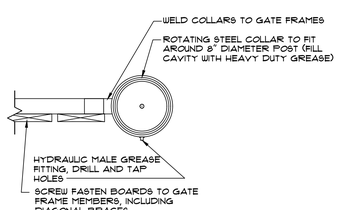
GATE AND POST DETAIL
FOR QUANTITIES OF GATES AND POSTS SEE PLOT PLAN



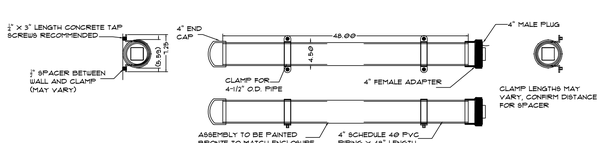
REAR ELEVATION
SCALE = 3/8" = 1'-0"



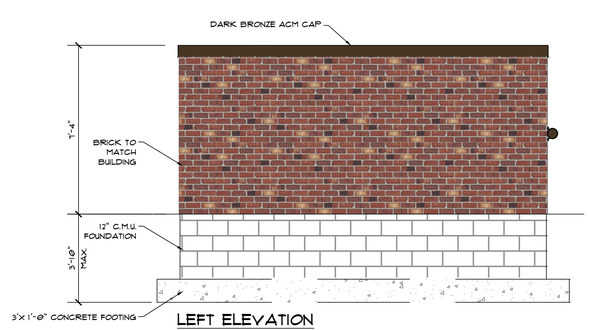
CANE BOLT DETAIL
ONE TO BE MOUNTED ON INSIDE OF ONE GATE AND ONE MOUNTED ON OUTSIDE OF OPPOSITE GATE



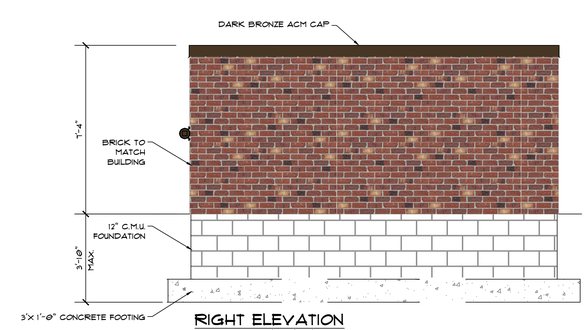
HINGE/COLLAR DETAIL
SCALE: NOT TO SCALE



GUAGE STICK DETAILS
SCALE: 1" = 1'-0



LEFT ELEVATION
SCALE = 3/8" = 1'-0"



RIGHT ELEVATION
SCALE = 3/8" = 1'-0"

Convenience Architecture and Design P.C.
351 Sheetz Way, Claysburg, PA 16625

phone (814) 239-6013
email tcolumbu@sheetz.com
web site www.sheetz.com

PROJECT NAME:

NEW SHEETZ STORE

YPSILANTI

Int. of South Hewitt Road and Michigan Avenue
Ypsilanti
Michigan

OWNER:

SHEETZ, INC.

5700 SIXTH AVE.
ALTOONA, PA 16602

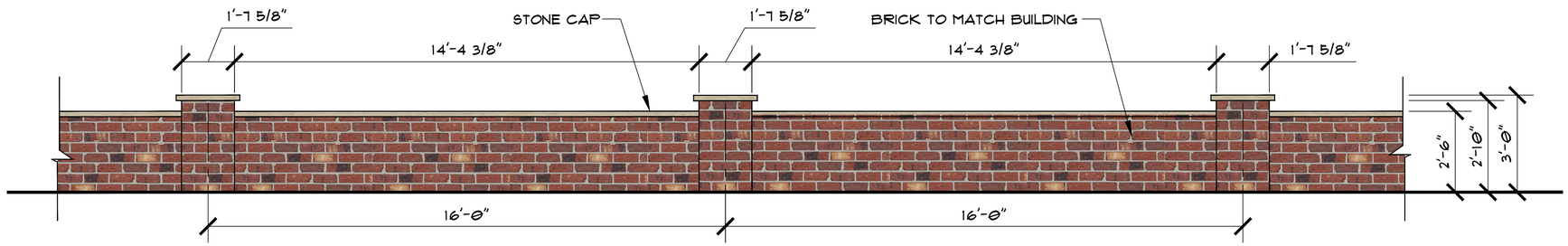
MARK	DATE	DESCRIPTION

ISSUE: 04-05-24
PROJECT NO:
AUTHOR BY: DNC
REVIEW BY:
SHEET TITLE

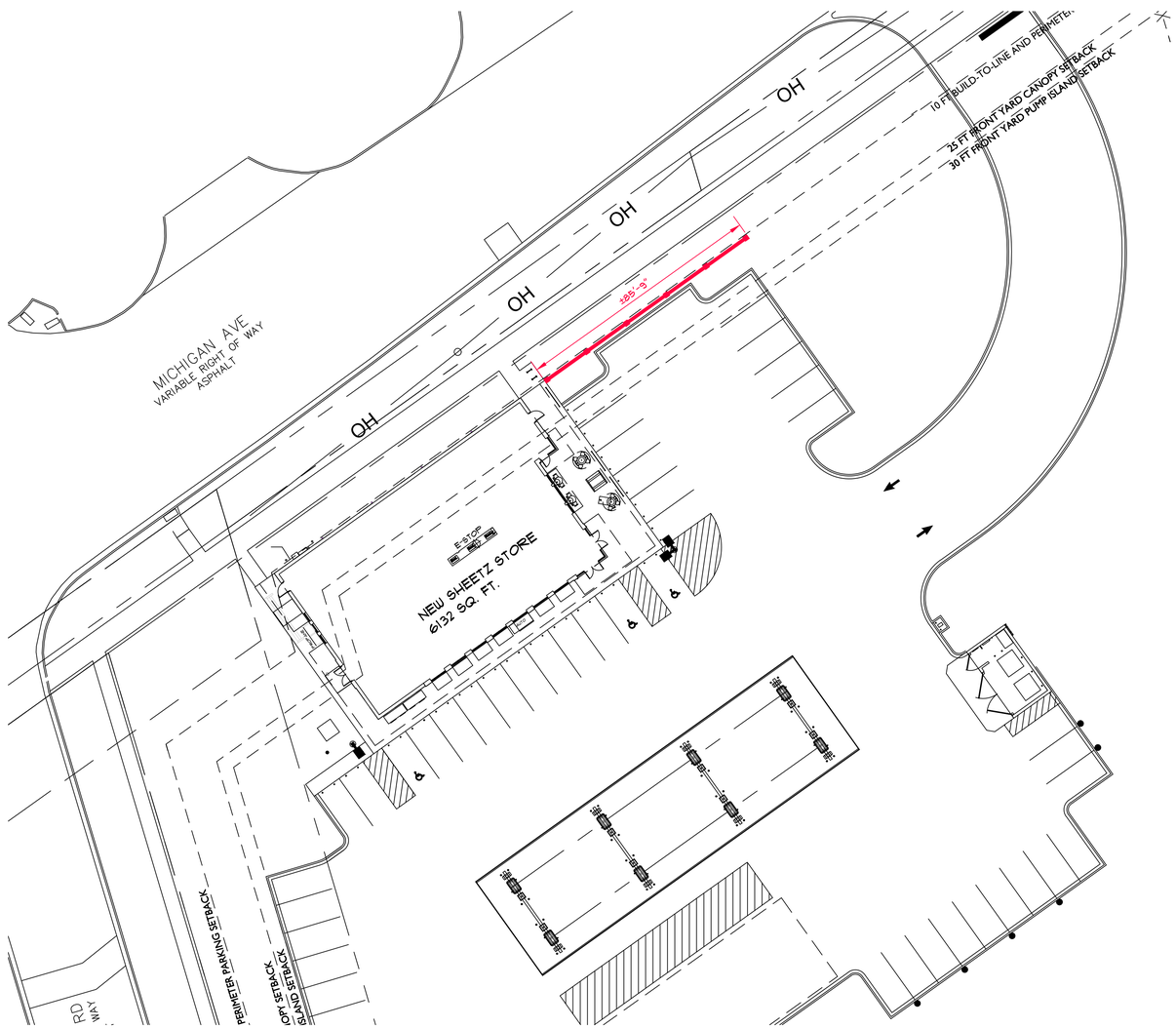
TRASH ENCLOSURE

3

G:\Sites\under-contract\MI-214556-Ypsilanti-Hewitt Road\Engineering and Permits\Trash Enclosure\MI-Ypsilanti-Hewitt-trash enclosure.dwg, 4/5/2024 2:51:29 PM



WALL ELEVATION DETAIL
SCALE: 1/2" = 1'-0"



SITE PLAN LOCATION
SCALE: 1/2" = 1'-0"

Convenience Architecture and Design P.C.
351 Sheetz Way, Claysburg, PA 16625

phone (814) 239-6013
email tcolumbu@sheetz.com
web site www.sheetz.com

PROJECT NAME:
NEW SHEETZ STORE
YPSILANTI

Int. of South Hewitt Road
and Michigan Avenue
Ypsilanti
Michigan

OWNER:
SHEETZ, INC.

5700 SIXTH AVE.
ALTOONA, PA 16602

MARK	DATE	DESCRIPTION
DNC	05-13-24	REVISED WALL TO SOLID MASONRY

ISSUE: 04-05-24
PROJECT NO:
AUTHOR BY: DNC
REVIEW BY:
SHEET TITLE

PERIMETER
WALL ELEVATIONS

4

G:\Sites\under-contract\MI-214556-Ypsilanti-Hewitt Road\Engineering and Permits\Perimeter Wall\MI-Ypsilanti-Hewitt-perimeter wall.dwg, 5/13/2024 4:49:53 PM

SITE DEVELOPMENT PLANS

FOR

SHEETZ

PROPOSED CONVENIENCE STORE AND FUEL SALES

PID: K11-39-350-022, K-11-39-350-023, K-11-18-100-019

2103 WEST MICHIGAN AVENUE

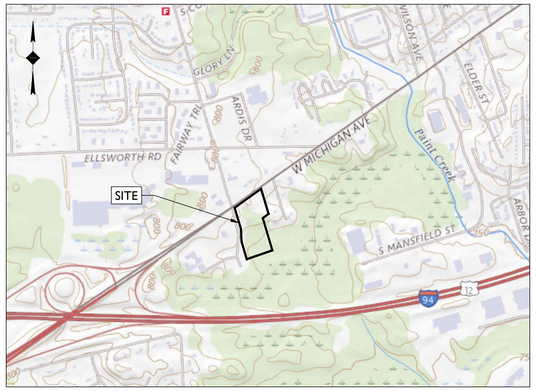
CHARTER TOWNSHIP OF YPSILANTI, WASHTENAW COUNTY, MICHIGAN

APPLICANT

SKILKEN GOLD
4270 MORSE ROAD
COLUMBUS, OH 43230
419.799.7656
DRIBA@SKILKENGOLD.COM

ENGINEER

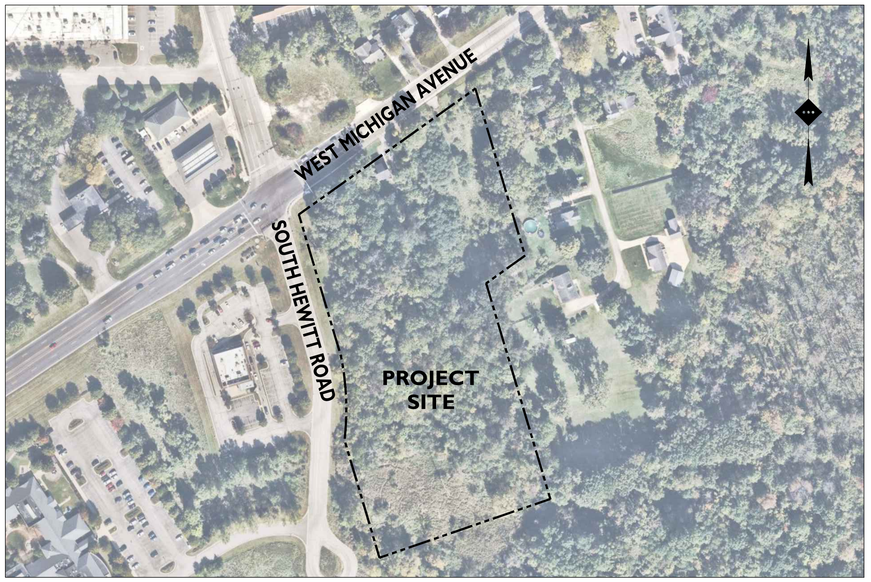
STONEFIELD ENGINEERING & DESIGN, LLC
607 SHELBY STREET, SUITE 200
DETROIT, MI 48220
248.247.1115
EWILLIAMS@STONEFIELDENG.COM



SOURCE: USGS TOPOGRAPHICAL MAPPER, DATE RETRIEVED 12/22/2023

LOCATION MAP

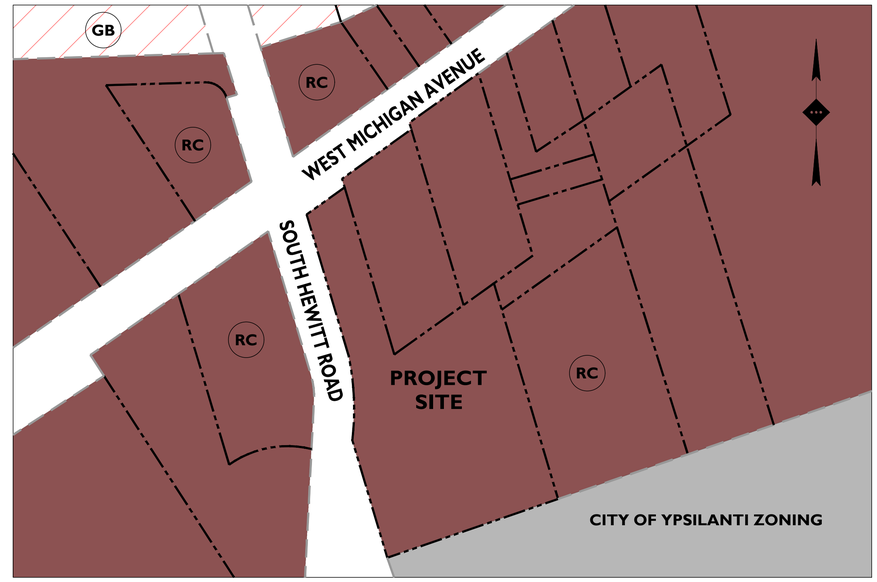
SCALE: 1" = 1000'±



SOURCE: NEARMAP ONLINE MAPPING SYSTEM, DATE RETRIEVED 12/22/2023

AERIAL MAP

SCALE: 1" = 150'±



SOURCE: CHARTER TOWNSHIP OF YPSILANTI ZONING MAP, DATE RETRIEVED 03/12/2024

RC - REGIONAL CORRIDOR DISTRICT

GB - GENERAL BUSINESS DISTRICT

ZONING MAP

SCALE: 1" = 150'±

PLANS PREPARED BY:

STONEFIELD engineering & design

Detroit, MI · New York, NY · Boston, MA
Princeton, NJ · Tampa, FL · Rutherford, NJ
www.stonefieldeng.com

607 Shelby Suite 200, Detroit, MI 48226
Phone 248.247.1115

811 Know what's **below** **Call** before you dig.

PROJECT NARRATIVE:

THE PROJECT PROPOSES A 6,139 SF CONVENIENCE STORE (PERMITTED USE) AND RESTAURANT (PERMITTED USE) WITH FUEL SALES (SPECIAL LAND USE) AT THE SOUTHEAST CORNER OF WEST MICHIGAN AVENUE AND SOUTH HEWITT ROAD. THE SITE IS LOCATED WITHIN THE RC - REGIONAL CORRIDOR DISTRICT. THE BUILDING IS PROPOSED ALONG THE HARD CORNER, WITH THE FUEL CANOPY AND PUMPS TO THE SOUTH. PARKING IS PROVIDED WITHIN THE SIDE AND REAR YARDS; 62 SPACES ARE PROPOSED WHERE 60 ARE REQUIRED. OUTDOOR SEATING IS PROVIDED ALONG THE EASTERN FACADE OF THE BUILDING. LANDSCAPING IS PROPOSED TO SCREEN THE SITE FROM ABUTTING RIGHTS-OF-WAY AND RESIDENTIAL PROPERTIES. STORMWATER WILL BE DETAINED AND RELEASED TO THE EXISTING WETLANDS ON THE SOUTHERN PORTION OF THE SITE.

PLAN REFERENCE MATERIALS:

1. THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
   - ALTA / NSPS LAND TITLE SURVEY PREPARED BY KEM-TEC, DATED 12/08/23
   - ARCHITECTURAL PLANS PREPARED BY CONVENIENCE ARCHITECTURE AND DESIGN P.C., DATED 12/08/2023
   - AERIAL MAP PROVIDED BY NEARMAP ONLINE MAPPING SYSTEM, DATE RETRIEVED 12/22/2023
   - LOCATION MAP PROVIDED BY USGS TOPOGRAPHICAL MAPS, DATED RETRIEVED 12/22/2023
2. ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX

DRAWING TITLE	SHEET #
COVER SHEET	C-1
DEMOLITION / TREE REMOVAL PLAN	C-2
TREE REMOVAL PLAN & SITE PLAN OVERLAY	C-3
TREE INVENTORY	C-4 & C-5
SITE PLAN	C-6
TRUCK CIRCULATION	C-7
GRADING PLAN	C-9 & C-10
STORMWATER MANAGEMENT PLAN	C-11 THRU C-13
UTILITY PLAN	C-14
LANDSCAPING PLAN	C-15 & C-16
LANDSCAPING DETAILS	C-17
SOIL EROSION & SEDIMENT CONTROL PLAN	C-18
CONSTRUCTION DETAILS	C-19 THRU C-21
STORMWATER MANAGEMENT CALCULATIONS	C-22

SHEET INDEX

DRAWING TITLE	SHEET #
ALTA / NSPS LAND TITLE SURVEY	2 OF 2

ISSUE	DATE	BY	DESCRIPTION
3	06/12/2024	KH	REVISED FOR SITE PLAN REVIEW
2	05/09/2024	NB/JD	FOR SITE PLAN REVIEW
1	04/09/2024	NB/JD	FOR SITE PLAN REVIEW

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STONEFIELD engineering & design
Rutherford, NJ · New York, NY · Boston, MA
Princeton, NJ · Tampa, FL · Detroit, MI
www.stonefieldeng.com
607 Shelby Suite 200, Detroit, MI 48226
Phone 248.247.1115

SITE DEVELOPMENT PLAN

SHEETZ

PROPOSED CONVENIENCE STORE AND FUEL STATION

PID: K11-39-350-022, K-11-39-350-023, K-11-18-100-019
2103 WEST MICHIGAN AVENUE
CHARTER TOWNSHIP OF YPSILANTI
WASHTENAW COUNTY, MICHIGAN

STATE OF MICHIGAN · JONATHAN REID COOKSEY · ENGINEER · LICENSED PROFESSIONAL ENGINEER

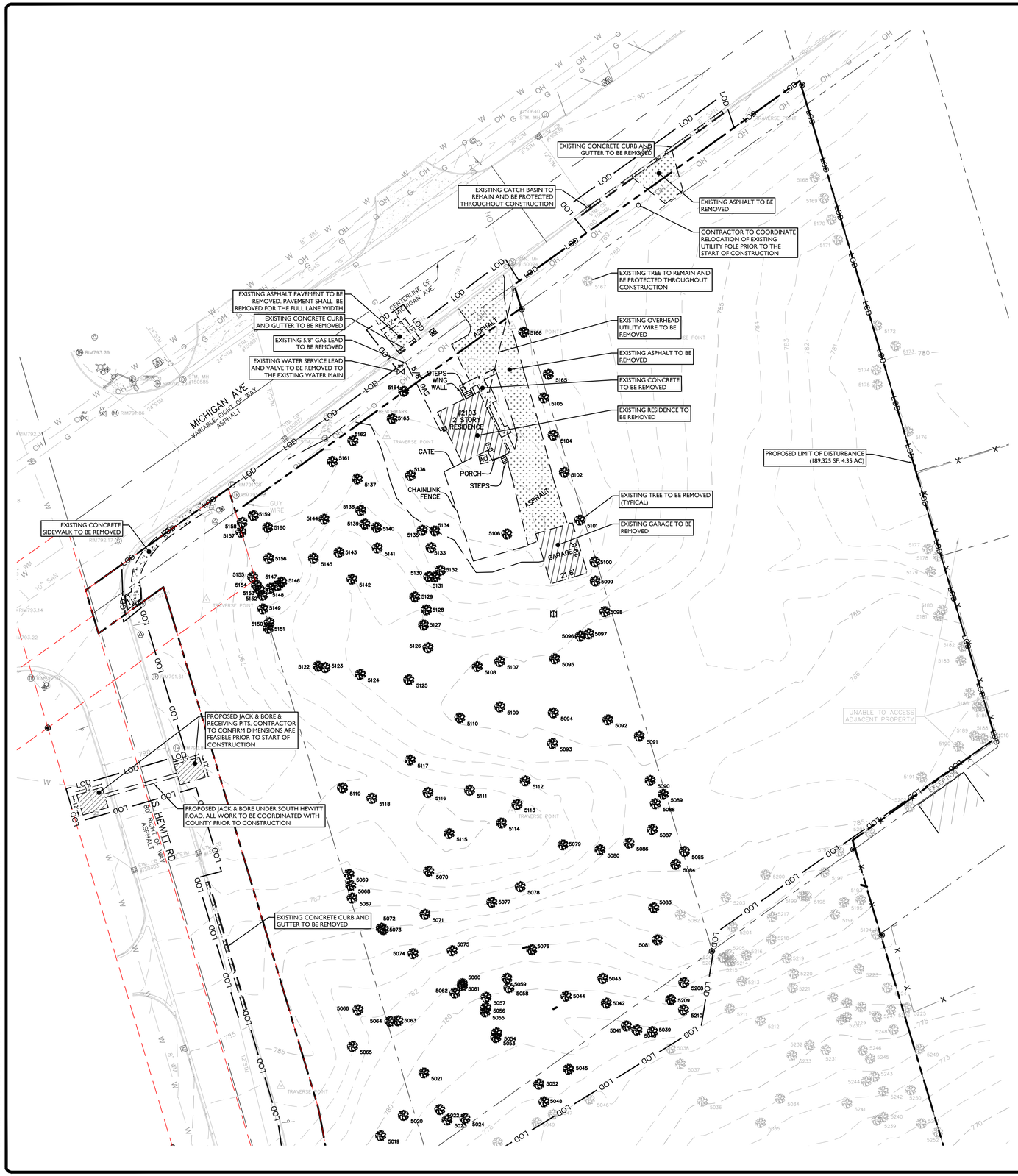
STONEFIELD engineering & design

SCALE: AS SHOWN | PROJECT ID: DET-230091.01

TITLE: COVER SHEET

DRAWING: C-1

V:\DET\2023\DET-230091.01 SKILKEN GOLD\2103 WEST MICHIGAN AVENUE, YPSILANTI CHARTER TOWNSHIP, MI\CAD\PLOT\DSP-01 COVER.DWG



SYMBOL	DESCRIPTION
	FEATURE TO BE REMOVED / DEMOLISHED
LOD	LIMIT OF DISTURBANCE
	CONCRETE TO BE REMOVED
	ASPHALT TO BE REMOVED
	TREE TO BE REMOVED

ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO REMAIN UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS

Know what's **below**
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TREE REMOVAL REQUIREMENTS

CODE SECTION	REQUIRED	PROPOSED
§ 24-68(a)	TREES TO BE REMOVED GREATER THAN 8" D.B.H. SHALL BE REPLACED AT A 1:1 RATIO	
	TOTAL REGULATED TREE REMOVAL: 85 TOTAL	
	NON REGULATED TREE REMOVAL: 44 TOTAL	
	TOTAL REPLACEMENT TREES	
	85 TREES TO BE REMOVED = 85 REPLACEMENT TREES	
§ 24-67(4)b.2	SHOULD PLANTING NOT BE FEASIBLE ON SITE A 30% REDUCTION IS APPLICABLE	
	(85 TREES) * (0.30) = 26 TREE DEDUCTION	
	(85 TREES) - (26 TREES) = 59 TREES	0 TREES
§ 24-68(d)	WHEN PLANTING ON SITE IS LIMITED DONATION TO TREE FUND BASED ON PER TREE BASIS IS PERMITTED	DONATION TO TREE FUND: WILL COMPLY

REPLACEMENT TREE CALCULATION: (68 REPLACEMENT TREES) * ($300.00 REPLACEMENT COST) = $20,400

DEMOLITION NOTES

1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.

30' 0' 30' 60'
GRAPHIC SCALE IN FEET
1" = 30'

ISSUE	DATE	BY	DESCRIPTION
3	06/12/2024	KH	REVISED FOR SITE PLAN REVIEW
2	05/09/2024	NB/JD	FOR SITE PLAN REVIEW
1	04/09/2024	NB/JD	FOR SITE PLAN REVIEW

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www.stonefieldeng.com
607 Shelby Suite 200, Detroit, MI 48226
Phone 248.247.1115

SITE DEVELOPMENT PLAN

SHEETZ

PROPOSED CONVENIENCE STORE AND FUEL STATION

PID: K-11-39-350-022, K-11-39-350-023, K-11-18-100-019
2103 WEST MICHIGAN AVENUE
CHARTER TOWNSHIP OF YPSILANTI
WASHTENAW COUNTY, MICHIGAN

STATE OF MICHIGAN
JONATHAN REID GOOSBY
ENGINEER
No. 6201060425
LICENSED PROFESSIONAL ENGINEER

STONEFIELD engineering & design

SCALE: 1" = 30' | PROJECT ID:DET-230091.01

TITLE:
DEMOLITION / TREE REMOVAL PLAN

DRAWING:
C-2

V:\DET\2023\DET-230091.01 EDLAKEN GOLD\2103 WEST MICHIGAN AVENUE, YPSILANTI CHARTER TOWNSHIP, MI\CAD\PLOT\DEMO\D-02.DWG-04/05 DEMOD.DWG

SYMBOL	DESCRIPTION
LOD	LIMIT OF DISTURBANCE
	TREE TO BE REMOVED
	PROPOSED CURB
	PROPOSED BUILDING
	PROPOSED CONCRETE
100	PROPOSED GRADING CONTOUR

ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO REMAIN UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS

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DEMOLITION NOTES

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TREE REMOVAL REQUIREMENTS

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	(85 TREES) - (26 TREES) = 59 TREES	0 TREES
§ 24-68(d)	WHEN PLANTING ON SITE IS LIMITED DONATION TO TREE FUND BASED ON PER TREE BASIS IS PERMITTED	DONATION TO TREE FUND; WILL COMPLY

REPLACEMENT TREE CALCULATION: (68 REPLACEMENT TREES) * ($300.00 REPLACEMENT COST) = $20,400

30' 0' 30' 60'

GRAPHIC SCALE IN FEET
1" = 30'

ISSUE	DATE	BY	DESCRIPTION
3	06/12/2024	KH	REVISED FOR SITE PLAN REVIEW
2	05/09/2024	NB/JD	FOR SITE PLAN REVIEW
1	04/09/2024	NB/JD	FOR SITE PLAN REVIEW

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www.stonefieldeng.com
607 Shelby Suite 200, Detroit, MI 48226
Phone 248.247.1115

SITE DEVELOPMENT PLAN

SHEETZ

PROPOSED CONVENIENCE STORE AND FUEL STATION

PID: K-11-230-020-023, K-11-230-020-033, K-11-18-100-019
2103 WEST MICHIGAN AVENUE
CHARTER TOWNSHIP OF YPSILANTI
WASHTENAW COUNTY, MICHIGAN

STATE OF MICHIGAN
JONATHAN REID GOOKSBY
ENGINEER
No. 6201061428
LICENSED PROFESSIONAL ENGINEER

STONEFIELD engineering & design

SCALE: 1" = 30'
PROJECT ID: DET-230091.01

TITLE:

TREE REMOVAL PLAN & SITE PLAN OVERLAY

DRAWING:

C-3

V:\DET\2023\DET-230091.01-SHEETZ\DWG\CAD\230-230 WEST MICHIGAN AVENUE, YPSILANTI CHARTER TOWNSHIP MI\CADD\PLOTTER\PD-02-SITE-DEMO.DWG

TREE INVENTORY for: 2103 West Michigan Avenue, Ypsilanti Township, Michigan

Tree #	d.b.h. (inches)	Canopy Radius (feet)	Botanical Name	Common Name	Condition	Comments	(N) Not Regulated (s = size, sp = species, c = condition)	Historic (H) Specimen (S)	Reccomendation
4992	14	15	*Juglans spp.*	Walnut	poor	- Extensive rot/hollow @ crotch	N (c)		To Remain
4993	9 / 7	9	*Catalpa speciosa*	Northern Catalpa	fair	- Contorted crown			To Remain
4994	13	14	*Populus deltoides*	Cottonwood	fair	- Dead branch(es)			To Remain
4995	14	15	*Populus deltoides*	Cottonwood	fair	- Bent/crooked/bowed leader			To Remain
4996	10	11	*Ulmus pumila*	Siberian Elm	fair	- Bent/crooked/bowed leader			To Remain
4997	15	16	*Populus deltoides*	Cottonwood	fair	- 1-sided crown			To Remain
4998	10	11	*Populus deltoides*	Cottonwood	fair	- 1-sided crown			To Remain
4999	7	7	*Salix spp.*	Willow	poor	- HAZARD - Broken trunk/leader	N (s, c)		To Remain
5000	13	14	*Populus deltoides*	Cottonwood	fair	- Bent/crooked/bowed leader			To Remain
5001	14	15	*Populus deltoides*	Cottonwood	fair	- Dead branch(es)			To Remain
5002	13	14	*Populus deltoides*	Cottonwood	fair	- Contorted crown			To Remain
5003	16	17	*Juglans spp.*	Walnut	fair	- Dead branch(es)			To Remain
5004	18	19	*Juglans spp.*	Walnut	good				To Remain
5005	17 / 15	18	*Morus spp.*	Mulberry	poor	- Lean > 45 degrees	N (c)		To Remain
5006	23	---	—	---	dead		N (c)		To Remain
5007	17	18	*Morus spp.*	Mulberry	fair	- Contorted crown			To Remain
5008	33	10	*Populus deltoides*	Cottonwood	poor	- 75% or more dead	N (c)		To Remain
5009	8	8	*Juglans spp.*	Walnut	fair	- Dead branch(es)			To Remain
5010	9	9	*Catalpa speciosa*	Northern Catalpa	fair	- Dead branch(es)			To Remain
5011	9	9	*Ulmus spp.*	Elm	good				To Remain
5012	10	11	*Juglans spp.*	Walnut	fair	- Dead branch(es)			To Remain
5013	8 / 4	8	*Juglans spp.*	Walnut	fair	- Contorted crown			To Remain
5014	8	8	*Juglans spp.*	Walnut	fair	- Dead branch(es)			To Remain
5015	7 / 6	7	*Juglans spp.*	Walnut	fair	- 'V'-shaped crotch(es)	N (s)		To Remain
5016	15	5	*Malus spp.*	Apple / Crabapple	poor	- 75% or more dead	N (c)		To Remain
5017	7	7	*Juglans spp.*	Walnut	good		N (s)		To Remain
5018	11	12	*Acer negundo*	Boxelder	fair	- Contorted crown			To Be Removed
5019	9	9	*Juglans spp.*	Walnut	fair	- Dead branch(es)			To Be Removed
5020	10	11	*Juglans spp.*	Walnut	fair	- Bent/crooked/bowed leader			To Be Removed
5021	21	22	*Juglans spp.*	Walnut	fair	- Dead branch(es)			To Be Removed
5022	10	11	*Juglans spp.*	Walnut	fair	- Dead branch(es)			To Be Removed
5023	10	11	*Tilia americana*	American Linden	good				To Be Removed
5024	26	20	*Prunus serotina*	Black Cherry	poor	- 50% or more dead	N (c)		To Be Removed
5025	8	8	*Prunus spp.*	Cherry	fair	- Bent/crooked/bowed leader			To Remain
5026	9	9	*Juglans spp.*	Walnut	fair	- Contorted crown			To Remain
5027	26	27	*Prunus serotina*	Black Cherry	fair	- Dead branch(es)			To Remain
5028	9	9	*Juglans spp.*	Walnut	fair	- Bent/crooked/bowed leader			To Remain
5029	8	8	*Juglans spp.*	Walnut	fair	- Bent/crooked/bowed leader			To Remain
5030	9	9	*Catalpa speciosa*	Northern Catalpa	fair	- Dead branch(es)			To Remain
5031	9	9	*Juglans spp.*	Walnut	good				To Remain
5032	12	13	*Catalpa speciosa*	Northern Catalpa	fair	- Contorted crown			To Remain
5033	11	10	*Juglans spp.*	Walnut	poor	- Split(ting)/break(ing) apart	N (c)		To Remain
5034	10	11	*Juglans spp.*	Walnut	good				To Remain
5035	8	8	*Juglans spp.*	Walnut	good				To Remain
5036	9	9	*Juglans spp.*	Walnut	good				To Remain
5037	22	23	*Prunus serotina*	Black Cherry	poor	- 50% or more dead	N (c)		To Remain
5038	18	19	*Ulmus spp.*	Elm	fair	- 1-sided crown			To Remain
5039	12	13	*Ulmus spp.*	Elm	fair	- Contorted crown			To Be Removed
5040	18	15	*Prunus serotina*	Black Cherry	poor	- Split(ting)/break(ing) apart	N (c)		To Be Removed
5041	14	15	*Prunus serotina*	Black Cherry	fair	- Dead branch(es)			To Be Removed
5042	8	8	*Juglans spp.*	Walnut	fair	- Dead branch(es)			To Be Removed
5043	12 / 6	13	*Juglans spp.*	Walnut	fair	- Contorted crown			To Be Removed
5044	12 / 9	13	*Juglans spp.*	Walnut	poor	- Split(ting)/break(ing) apart	N (c)		To Be Removed
5045	14 / 7	15	*Ulmus spp.*	Elm	fair	- Contorted crown			To Be Removed
5046	10	11	*Prunus serotina*	Black Cherry	fair	- Bent/crooked/bowed leader			To Remain
5047	8	8	*Prunus serotina*	Black Cherry	fair	- Bent/crooked/bowed leader			To Remain
5048	12	13	*Prunus serotina*	Black Cherry	poor	- Extensive rot & dead branches	N (c)		To Be Removed
5049	17	18	*Prunus serotina*	Black Cherry	poor	- Extensive rot & dead branches	N (c)		To Remain
5050	11	5	*Prunus serotina*	Black Cherry	poor	- 75% or more dead	N (c)		To Remain
5051	12	13	*Prunus serotina*	Black Cherry	fair	- Bent/crooked/bowed leader			To Remain
5052	21 / 9 / 9	10	*Acer negundo*	Boxelder	poor	arger trunk(s) dead & substantial	N (c)		To Be Removed
5053	10	11	*Prunus spp.*	Cherry	fair	- Vine-choked			To Be Removed
5054	8	---	—	---	dead		N (c)		To Be Removed
5055	8	8	*Acer negundo*	Boxelder	fair	- Contorted crown			To Be Removed
5056	8	8	*Acer negundo*	Boxelder	fair	- Bent/crooked/bowed leader			To Be Removed
5057	8	8	*Prunus spp.*	Cherry	poor	- 75% or more dead	N (c)		To Be Removed
5058	8	---	—	---	dead		N (c)		To Be Removed
5059	9 / 9 / 7	9	*Prunus spp.*	Cherry	poor	- 50% or more dead	N (c)		To Be Removed
5060	9	9	*Ulmus spp.*	Elm	fair	- Contorted crown			To Be Removed
5061	8	8	*Populus deltoides*	Cottonwood	poor	- 50% or more dead	N (c)		To Be Removed
5062	11	---	—	---	dead		N (c)		To Be Removed
5063	10	---	—	---	dead		N (c)		To Be Removed
5064	9	9	*Juglans spp.*	Walnut	fair	- Contorted crown			To Be Removed
5065	13	14	*Juglans spp.*	Walnut	good				To Be Removed
5066	8	8	*Juglans spp.*	Walnut	good				To Be Removed
5067	11 / 10	12	*Acer negundo*	Boxelder	poor	Partially uprooted / knocked ove	N (c)		To Be Removed
5068	20 / 13 / 11	21	*Morus spp.*	Mulberry	fair	- Contorted crown			To Be Removed
5069	20	---	—	---	dead		N (c)		To Be Removed
5070	36	38	*Quercus spp.*	Oak (white family)	fair	- Dead branch(es)			To Be Removed
5071	28	29	*Quercus spp.*	Oak (red family)	fair	- Rot in trunk			To Be Removed
5072	10 / 7	11	*Morus spp.*	Mulberry	fair	- Contorted crown			To Be Removed
5073	26	20	*Prunus serotina*	Black Cherry	poor	- 50% or more dead	N (c)		To Be Removed
5074	12 / 3	13	*Juglans spp.*	Walnut	fair	- 'V'-shaped crotch(es)			To Be Removed
5075	23	15	*Prunus serotina*	Black Cherry	poor	- 75% or more dead	N (c)		To Be Removed
5076	8	8	*Catalpa speciosa*	Northern Catalpa	fair	- Contorted crown			To Be Removed
5077	9	9	*Juglans spp.*	Walnut	fair	- Bent/crooked/bowed leader			To Be Removed
5078	11	0	*Juglans spp.*	Walnut	poor	- Split(ting)/break(ing) apart	N (c)		To Be Removed
5079	7	7	*Juglans spp.*	Walnut	fair	- Bent/crooked/bowed leader	N (s)		To Be Removed
5080	12	13	*Juglans spp.*	Walnut	good				To Be Removed

TREE SURVEY COMPLETED BY KEM-TEC SURVEYING DATED 9/29/2023.

5081	11	12	*Juglans spp.*	Walnut	fair	- Dead branch(es)			To Be Removed
5082	9	9	*Juglans spp.*	Walnut	fair	- Bent/crooked/bowed leader			To Remain
5083	9	9	*Juglans spp.*	Walnut	fair	- Bent/crooked/bowed leader			To Be Removed
5084	9	9	*Juglans spp.*	Walnut	good				To Be Removed
5085	7	7	*Juglans spp.*	Walnut	good		N (s)		To Be Removed
5086	14 / 4	15	*Juglans spp.*	Walnut	fair	- Smaller trunk(s) dead			To Be Removed
5087	10 / 8	11	*Catalpa speciosa*	Northern Catalpa	fair	- Contorted crown			To Be Removed
5088	8	8	*Juglans spp.*	Walnut	good				To Be Removed
5089	24	20	*Prunus serotina*	Black Cherry	poor	- 50% or more dead	N (c)		To Be Removed
5090	20	15	*Prunus serotina*	Black Cherry	poor	- 50% or more dead	N (c)		To Be Removed
5091	21	22	*Juglans spp.*	Walnut	good				To Be Removed
5092	9	9	*Juglans spp.*	Walnut	fair	- Broken branch(es)			To Be Removed
5093	22	20	*Prunus serotina*	Black Cherry	fair	- Dead branch(es)			To Be Removed
5094	25	26	*Prunus serotina*	Black Cherry	fair	- Rot in trunk			To Be Removed
5095	32	34	*Prunus serotina*	Black Cherry	fair	- Dead branch(es)			To Be Removed
5096	28	25	*Prunus serotina*	Black Cherry	poor	- 50% or more dead	N (c)		To Be Removed
5097	27	25	*Prunus serotina*	Black Cherry	poor	- Extensive rot & dead branches	N (c)		To Be Removed
5098	8	8	*Juglans spp.*	Walnut	fair	- Bent/crooked/bowed leader			To Be Removed
5099	16 / 10 /...	10	*Acer negundo*	Boxelder	poor	- Split(ting)/break(ing) apart	N (c)		To Be Removed
5100	17 / 9	18	*Acer negundo*	Boxelder	poor	- Extensive rot & dead branches	N (c)		To Be Removed
5101	12	13	*Morus spp.*	Mulberry	fair	- Contorted crown			To Be Removed
5102	10	11	*Juglans spp.*	Walnut	fair	- 1-sided crown			To Be Removed
5103	23	24	*Ulmus spp.*	Elm	fair	- Dead branch(es)			To Remain
5104	11 / 11	12	*Morus spp.*	Mulberry	poor	- Extensive rot & dead branches	N (c)		To Be Removed
5105	7	7	*Morus spp.*	Mulberry	fair	- Contorted crown	N (s)		To Be Removed
5106	10	11	*Acer platanoides*	Norway Maple	good				To Be Removed
5107	11	12	*Juglans spp.*	Walnut	good				To Be Removed
5108	10	11	*Juglans spp.*	Walnut	fair	- Broken branch(es)			To Be Removed
5109	11	12	*Celtis occidentalis*	Hackberry	good				To Be Removed
5110	29	25	*Prunus serotina*	Black Cherry	poor	- 50% or more dead	N (c)		To Be Removed
5111	28	20	*Prunus serotina*	Black Cherry	poor	- Extensive rot & dead branches	N (c)		To Be Removed
5112	26	20	*Prunus serotina*	Black Cherry	poor	- 50% or more dead	N (c)		To Be Removed
5113	10	---	—	---	dead		N (c)		To Be Removed
5114	10 / 4 / 2	11	*Ulmus spp.*	Elm	fair	- Contorted crown			To Be Removed
5115	18	10	*Prunus serotina*	Black Cherry	poor	- 75% or more dead	N (c)		To Be Removed
5116	14	15	*Pseudotsuga menziesii*	Douglasfir	fair	ower/shaded branches dead/missing			To Be Removed
5117	9	9	*Juglans spp.*	Walnut	fair	- Contorted crown			To Be Removed
5118	12	13	*Juglans spp.*	Walnut	good				To Be Removed
5119	8	5	*Ulmus pumila*	Siberian Elm	poor	- 50% or more dead	N (c)		To Be Removed
5120	12 /...	---	—	---	dead		N (c)		To Be Removed
5121	49	45	*Acer saccharinum*	Silver Maple	poor	- Hollow/extensive rot	N (c)		To Remain
5122	12 / 12	13	*Juglans spp.*	Walnut	fair	- Contorted crown			To Be Removed
5123	13	14	*Juglans spp.*	Walnut	fair	- Leaning			To Be Removed
5124	13	14	*Juglans spp.*	Walnut	fair	- Bent/crooked/bowed leader			To Be Removed
5125	8 / 7	8	*Acer platanoides*	Norway Maple	fair	- Contorted crown			To Be Removed
5126	8	8	*Juglans spp.*	Walnut	fair	- Contorted crown			To Be Removed
5127	8	5	*Juglans spp.*	Walnut	poor	- 50% or more dead	N (c)		To Be Removed
5128	13 / 13 / 11	14	*Juglans spp.*	Walnut	fair	- 'V'-shaped crotch(es)			To Be Removed
5129	12	13	*Juglans spp.*	Walnut	fair	- 1-sided crown			To Be Removed
5130	9	9	*Juglans spp.*	Walnut	fair	- Dead branch(es)			To Be Removed
5131	11	12	*Juglans spp.*	Walnut	good				To Be Removed
5132	8 / 7 / 3	8	*Morus spp.*	Mulberry	fair	- Smaller trunk(s) dead			To Be Removed
5133	7 / 4	7	*Acer negundo*	Boxelder	fair	- Contorted crown	N (s)		To Be Removed
5134	8	8	*Prunus serotina*	Black Cherry	fair	- 1-sided crown			To Be Removed
5135	8	8	*Prunus serotina*	Black Cherry	fair	- Leaning			To Be Removed
5136	31 / 21	33	*Morus spp.*	Mulberry	poor	- Split(ting)/break(ing) apart	N (c)		To Be Removed
5137	12	13	*Acer platanoides*	Norway Maple	fair	- Leaning			To Be Removed
5138	8	8	*Ulmus spp.*	Elm	fair	- Contorted crown			To Be Removed
5139	8	8	*Ulmus pumila*	Siberian Elm	fair	- Extensive rot & dead branches			To Be Removed
5140	14 / 8	15	*Morus spp.*	Mulberry	fair	- Contorted crown			To Be Removed
5141	8 / 8 / 6 /...	---	—	---	dead		N (c)		To Be Removed
5142	11	12	*Juglans spp.*	Walnut	fair	- Contorted crown			To Be Removed
5143	11	12	*Juglans spp.*	Walnut	fair	- Dead branch(es)			To Be Removed
5144	13	14	*Juglans spp.*	Walnut	fair	- Bent/crooked/bowed leader			To Be Removed
5145	8	8	*Juglans spp.*	Walnut	fair	- Bent/crooked/bowed leader			To Be Removed
5146	17	5	*Acer platanoides*	Norway Maple	poor	- 75% or more dead	N (c)		To Be Removed
5147	21	22	*Acer platanoides*	Norway Maple	fair	- 1-sided crown			To Be Removed
5148	17	18	*Acer platanoides*	Norway Maple	good				To Be Removed
5149	17	15	*Acer platanoides*	Norway Maple	poor	- 75% or more dead	N (c)		To Be Removed
5150	11	12	*Acer platanoides*	Norway Maple	poor	- Extensive rot & dead branches	N (c)		To Be Removed
5151	14 / 13	15	*Acer platanoides*	Norway Maple	fair	- Contorted crown			To Be Removed
5152	15	16	*Acer platanoides*	Norway Maple	fair	- Contorted crown			To Be Removed
5153	10 / 3	11	*Acer platanoides*	Norway Maple	fair	- Smaller trunk(s) dead			To Be Removed
5154	10	11	*Acer platanoides*	Norway Maple	fair	- Contorted crown			To Be Removed
5155	10	11	*Acer platanoides*	Norway Maple	fair	- Contorted crown			To Be Removed
5156	13	14	*Acer platanoides*	Norway Maple	fair	- Bent/crooked/bowed leader			To Be Removed
5157	9	9	*Acer platanoides*	Norway Maple	fair	- Contorted crown			To Be Removed
5158	8	8	*Acer platanoides*	Norway Maple	fair	- Contorted crown			To Be Removed
5159	18 / 18	20	*Acer platanoides*	Norway Maple	fair	- 'V'-shaped crotch(es)			To Be Removed
5160	23	24	*Acer platanoides*	Norway Maple	fair	- Girdling root(s)			To Be Removed
5161	8	8	*Juglans spp.*	Walnut	fair	- 1-sided crown			To Be Removed
5162	11 / 10	12	*Juglans spp.*	Walnut	fair	- 'V'-shaped crotch(es)			To Be Removed
5163	31	33	*Acer saccharinum*	Silver Maple	poor	- Extensive rot & dead branches	N (c)		To Be Removed
5164	30	32	*Ulmus pumila*	Siberian Elm	fair	- Dead branch(es)			To Be Removed
5165	13 / 13 / 8	15	*Thuja spp.*	Arborvitae	fair	- Smaller trunk(s) dead			To Be Removed
5166	16	17	*Acer platanoides*	Norway Maple	fair	- 'V'-shaped crotch(es)			To Be Removed
5167	29	30	*ditsia triacanthos 'Inerm*	less Honeylocust (fe	good				To Remain
5168	13	14	*Acer platanoides*	Norway Maple	good				To Remain
5169	10	11	*Acer platanoides*	Norway Maple	good				To Remain
5170	9	9	*Acer platanoides*	Norway Maple	fair	- Dead branch(es)			To Remain
5171	8 / 4	8	*Acer platanoides*	Norway Maple	fair	- Smaller trunk(s) dead			To Remain

TREE SURVEY COMPLETED BY KEM-TEC SURVEYING DATED 9/29/2023.

ISSUE	DATE	BY	DESCRIPTION
3	06/12/2024	KH	REVISED FOR SITE PLAN REVIEW
2	05/09/2024	NB/JD	FOR SITE PLAN REVIEW
1	04/09/2024	NB/JD	FOR SITE PLAN REVIEW

NOT APPROVED FOR CONSTRUCTION

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Phone 248.247.1115

SITE DEVELOPMENT PLAN

SHEETZ

PROPOSED CONVENIENCE STORE AND FUEL STATION

PID: K11-39-350-022, K-11-39-350-023, K-11-18-100-019
2103 WEST MICHIGAN AVENUE
CHARTER TOWNSHIP OF YPSILANTI
WASHTENAW COUNTY, MICHIGAN

STATE OF MICHIGAN · JONATHAN REID COOKSEY ENGINEER No. 6201069428 · LICENSED PROFESSIONAL ENGINEER

STONEFIELD engineering & design

SCALE: 1" = 30' | PROJECT ID: DET-230091.01

TITLE: **TREE INVENTORY**

DRAWING: **C-4**

V:\DET\2023\DET-230091.01-SKILKEN GOLD-2103 WEST MICHIGAN AVENUE, YPSILANTI CHARTER TOWNSHIP, MI\CADD\PLOT\SDP-02-03-04-05-DEMO.DWG

5172	18	19	*Quercus spp.*	Oak (white family)	good				To Remain
5173	21	22	*Juglans spp.*	Walnut	good				To Remain
5174	10	11	*Juglans spp.*	Walnut	fair	- Contorted crown			To Remain
5175	13	14	*Juglans spp.*	Walnut	fair	- Bent/crooked/bowed leader			To Remain
5176	30 / 28	35	*Quercus spp.*	Oak (white family)	fair	- 'V'-shaped crotch(es)			To Remain
5177	32	34	*Ulmus spp.*	Elm	fair	- Smaller trunk(s) dead			To Remain
5178	9	---	—	---	dead		N (c)		To Remain
5179	27	28	*Quercus spp.*	Oak (red family)	fair	- Leaning			To Remain
5180	11	5	*Prunus spp.*	Cherry	poor	- 75% or more dead	N (c)		To Remain
5181	11	10	*Prunus spp.*	Cherry	poor	- 50% or more dead	N (c)		To Remain
5182	10	11	*Acer rubrum*	Red Maple	fair	- Bent/crooked/bowed leader			To Remain
5183	8	5	*Prunus spp.*	Cherry	poor	- 75% or more dead	N (c)		To Remain
5184	12	5	*Prunus spp.*	Cherry	poor	- 75% or more dead	N (c)		To Remain
5185	11	---	—	---	dead		N (c)		To Remain
5186	11	---	—	---	dead		N (c)		To Remain
5187	15	5	*Prunus spp.*	Cherry	poor	- 75% or more dead	N (c)		To Remain
5188	20 /...	21	*Prunus serotina*	Black Cherry	fair	- 'V'-shaped crotch(es)			To Remain
5189	16	17	*Prunus serotina*	Black Cherry	fair	- Dead branch(es)			To Remain
5190	20	---	—	---	dead		N (c)		To Remain
5191	25	26	*Acer negundo*	Boxelder	poor	- Extensive rot & dead branches	N (c)		To Remain
5192	26	27	*Prunus serotina*	Black Cherry	fair	- Dead branch(es)			To Remain
5193	22	23	*Ulmus spp.*	Elm	fair	- Dead branch(es)			To Remain
5194	8	8	*Juglans spp.*	Walnut	fair	- Bent/crooked/bowed leader			To Remain
5195	7	7	*Ulmus spp.*	Elm	fair	- Contorted crown	N (s)		To Remain
5196	10	5	*Prunus serotina*	Black Cherry	poor	- 75% or more dead	N (c)		To Remain
5197	13	14	*Acer platanoides*	Norway Maple	fair	- Leaning			To Remain
5198	23	10	*Acer negundo*	Boxelder	poor	- 75% or more dead	N (c)		To Remain
5199	11	---	—	---	dead		N (c)		To Remain
5200	8	8	*Juglans spp.*	Walnut	fair	- Bent/crooked/bowed leader			To Remain
5201	20	21	*Prunus serotina*	Black Cherry	good				To Remain
5202	20	21	*Prunus serotina*	Black Cherry	good				To Remain
5203	8	8	*Juglans spp.*	Walnut	good				To Remain
5204	20	21	*Prunus serotina*	Black Cherry	fair	- Dead branch(es)			To Remain
5205	11	---	—	---	dead		N (c)		To Remain
5206	14	15	*Prunus serotina*	Black Cherry	fair	- Contorted crown			To Remain
5207	12	13	*Prunus serotina*	Black Cherry	poor	- 50% or more dead	N (c)		To Remain
5208	23	24	*Prunus serotina*	Black Cherry	fair	- Dead branch(es)			To Be Removed
5209	7	7	*Ulmus spp.*	Elm	fair	- Contorted crown	N (s)		To Be Removed
5210	12	13	*Ulmus spp.*	Elm	fair	- Bent/crooked/bowed leader			To Be Removed
5211	12	13	*Ulmus spp.*	Elm	fair	- Bent/crooked/bowed leader			To Remain
5212	10	11	*Ulmus spp.*	Elm	fair	- Bent/crooked/bowed leader			To Remain
5213	25	26	*Quercus spp.*	Oak (red family)	poor	unk compromised from large wo	N (c)		To Remain
5214	13	10	*Prunus serotina*	Black Cherry	fair	- Unusually small crown			To Remain
5215	25	20	*Morus spp.*	Mulberry	poor	- Split(ting)/break(ing) apart	N (c)		To Remain
5216	13	---	—	---	dead		N (c)		To Remain
5217	23	---	*Morus spp.*	Mulberry	poor	Partially uprooted / knocked ove	N (c)		To Remain
5218	12	13	*Prunus serotina*	Black Cherry	fair	- Bent/crooked/bowed leader			To Remain
5219	25	26	*Prunus serotina*	Black Cherry	fair	- Dead branch(es)			To Remain
5220	8	8	*Ulmus spp.*	Elm	fair	- Contorted crown			To Remain
5221	9	5	*Prunus serotina*	Black Cherry	poor	- 50% or more dead	N (c)		To Remain
5222	12	5	*Prunus serotina*	Black Cherry	poor	- 75% or more dead	N (c)		To Remain
5223	9	9	*Ulmus spp.*	Elm	fair	- Contorted crown			To Remain
5224	14	15	*Ulmus spp.*	Elm	fair	- Bent/crooked/bowed leader			To Remain
5225	9	9	*Prunus serotina*	Black Cherry	fair	- Unusually small crown			To Remain
5226	8	8	*Acer platanoides*	Norway Maple	good				To Remain
5227	15	16	*Prunus serotina*	Black Cherry	fair	- Broken branch(es)			To Remain
5228	12	13	*Prunus serotina*	Black Cherry	fair	- Unusually small crown			To Remain
5229	14	---	—	---	dead		N (c)		To Remain
5230	15	16	*Acer negundo*	Boxelder	poor	d branches, leaning, & contorted c	N (c)		To Remain
5231	13	14	*Ulmus spp.*	Elm	fair	- Contorted crown			To Remain
5232	18	19	*Prunus serotina*	Black Cherry	fair	- 1-sided crown			To Remain
5233	9	9	*Ulmus spp.*	Elm	fair	- Contorted crown			To Remain
5234	7	7	*Juglans spp.*	Walnut	fair	- Rot in trunk	N (s)		To Remain
5235	8	8	*Juglans spp.*	Walnut	fair	- Bent/crooked/bowed leader			To Remain
5236	8	8	*Juglans spp.*	Walnut	good				To Remain
5237	8	8	*Ulmus spp.*	Elm	fair	- Bent/crooked/bowed leader			To Remain
5238	10	11	*Juglans spp.*	Walnut	fair	- Broken branch(es)			To Remain
5239	15	16	*Ulmus spp.*	Elm	fair	- Bent/crooked/bowed leader			To Remain
5240	17 / 8	18	*Morus spp.*	Mulberry	fair	- Leaning			To Remain
5241	16	17	*Prunus spp.*	Cherry	poor	ot, dead branches, & significant le	N (c)		To Remain
5242	9	9	*Ulmus spp.*	Elm	good				To Remain
5243	23	24	*Prunus spp.*	Cherry	fair	- Gall(s)/canker(s) on trunk			To Remain
5244	7	7	*Ulmus spp.*	Elm	fair	- Contorted crown	N (s)		To Remain
5245	16	17	*Prunus serotina*	Black Cherry	fair	- 1-sided crown			To Remain
5246	16	17	*Prunus serotina*	Black Cherry	poor	- Extensive rot & dead branches	N (c)		To Remain
5247	11	12	*Prunus serotina*	Black Cherry	fair	- Unusually small crown			To Remain
5248	17	18	*Prunus serotina*	Black Cherry	fair	- Bent/crooked/bowed leader			To Remain
5249	9	9	*Prunus serotina*	Black Cherry	fair	- Bent/crooked/bowed leader			To Remain
5250	11	12	*Acer platanoides*	Norway Maple	fair	- Contorted crown			To Remain
5251	13	14	*Prunus serotina*	Black Cherry	fair	- Dead branch(es)			To Remain
5252	29	30	*Carya spp.*	Hickory	fair	- Gall(s)/canker(s) on trunk			To Remain
5253	10	11	*Ulmus spp.*	Elm	fair	- Bent/crooked/bowed leader			To Remain
5254	12	13	*Juglans spp.*	Walnut	good				To Remain
5255	7	7	*Ulmus spp.*	Elm	good		N (s)		To Remain
5256	21	22	*Morus spp.*	Mulberry	poor	unk compromised from large wo	N (c)		To Remain
5257	11	12	*Morus spp.*	Mulberry	fair	- Contorted crown			To Remain
5258	16	10	*Prunus serotina*	Black Cherry	poor	- 75% or more dead	N (c)		To Remain
5259	10	11	*Prunus serotina*	Black Cherry	fair	- Dead branch(es)			To Remain
5260	9 / 2	9	*Rhamnus cathartica*	Common Buckthorn	poor	nker(s)/gall(s) & rot throughout t	N (c)		To Remain
5261	11 / 8 / 5 /...	12	*Rhamnus cathartica*	Common Buckthorn	poor	nker(s)/gall(s) & rot throughout t	N (c)		To Remain
5262	12	13	*Acer platanoides*	Norway Maple	fair	- Leaning			To Remain
5263	11	12	*Prunus spp.*	Cherry	fair	- Contorted crown			To Remain
5264	25	26	*Quercus spp.*	Oak (red family)	good				To Remain

TREE SURVEY COMPLETED BY KEM-TEC SURVEYING DATED 9/29/2023.

5265	14 / 11	5	*Prunus serotina*	Black Cherry	poor	- 75% or more dead	N (c)		To Remain
5266	8 / 4	5	*Rhamnus cathartica*	Common Buckthorn	poor	- 50% or more dead	N (c)		To Remain
5267	8	5	*Prunus serotina*	Black Cherry	poor	- 50% or more dead	N (c)		To Remain
5268	21	22	*Populus deltoides*	Cottonwood	good				To Remain
5269	17 / 10	18	*Morus spp.*	Mulberry	poor	- Extensive rot/hollow @ crotch	N (c)		To Remain
5270	8 / 3	8	*Salix spp.*	Willow	fair	- Rot in trunk			To Remain
5271	16	17	*Populus deltoides*	Cottonwood	good				To Remain
5272	8 / 3 / 3 /...	8	*Rhamnus cathartica*	Common Buckthorn	poor	- Hollow/extensive rot	N (c)		To Remain
5273	11	12	*Prunus serotina*	Black Cherry	good				To Remain
5274	10	11	*Ulmus spp.*	Elm	fair	- Leaning			To Remain
5275	8	5	*Ulmus spp.*	Elm	poor	- 75% or more dead	N (c)		To Remain
5276	27	20	*Prunus serotina*	Black Cherry	poor	- 75% or more dead	N (c)		To Remain
5277	17	18	*Prunus serotina*	Black Cherry	poor	- Hollow/extensive rot	N (c)		To Remain
5278	12	13	*Ulmus spp.*	Elm	fair	- 1-sided crown			To Remain
5279	10	11	*Ulmus spp.*	Elm	good				To Remain
5280	12 / 4 /...	13	*Rhamnus cathartica*	Common Buckthorn	poor	nker(s)/gall(s) & rot throughout t	N (c)		To Remain
5281	7 / 5 /...	7	*Rhamnus cathartica*	Common Buckthorn	poor	nker(s)/gall(s) & rot throughout t	N (s, c)		To Remain
5282	25	26	*Ulmus spp.*	Elm	good				To Remain
5283	8	8	*Ulmus spp.*	Elm	fair	- Bent/crooked/bowed leader			To Remain
5284	9	9	*Ulmus spp.*	Elm	fair	- Bent/crooked/bowed leader			To Remain
5285	9	9	*Populus deltoides*	Cottonwood	fair	- Rot in trunk			To Remain
5286	11	12	*Ulmus spp.*	Elm	good				To Remain
5287	7	7	*Prunus spp.*	Cherry	fair	- Leaning	N (s)		To Remain
5288	9 /...	9	*Rhamnus cathartica*	Common Buckthorn	poor	- 50% or more dead	N (c)		To Remain
5289	19	20	*Juglans spp.*	Walnut	good				To Remain
5290	12	13	*Morus spp.*	Mulberry	poor	- Split(ting)/break(ing) apart	N (c)		To Remain
5291	14	15	*Juglans spp.*	Walnut	fair	- Bent/crooked/bowed leader			To Remain
5292	15	---	—	---	dead		N (c)		To Remain
5293	13	14	*Juglans spp.*	Walnut	fair	- Vertical crack(s)/scar(s) on trunk			To Remain

TREE SURVEY COMPLETED BY KEM-TEC SURVEYING DATED 9/29/2023.

ISSUE	DATE	BY	DESCRIPTION
3	06/12/2024	KH	REVISED FOR SITE PLAN REVIEW
2	05/09/2024	NB/JD	FOR SITE PLAN REVIEW
1	04/09/2024	NB/JD	FOR SITE PLAN REVIEW

NOT APPROVED FOR CONSTRUCTION

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Phone 248.247.1115

SITE DEVELOPMENT PLAN

SHEETZ

PROPOSED CONVENIENCE STORE AND FUEL STATION

PID: K11-39-350-022, K-11-39-350-023, K-11-18-100-019
2103 WEST MICHIGAN AVENUE
CHARTER TOWNSHIP OF YPSILANTI
WASHTENAW COUNTY, MICHIGAN

STATE OF MICHIGAN · JONATHAN REID COOKSEY ENGINEER No. 6201069428 · LICENSED PROFESSIONAL ENGINEER

STONEFIELD engineering & design

SCALE: 1" = 30' | PROJECT ID: DET-230091.01

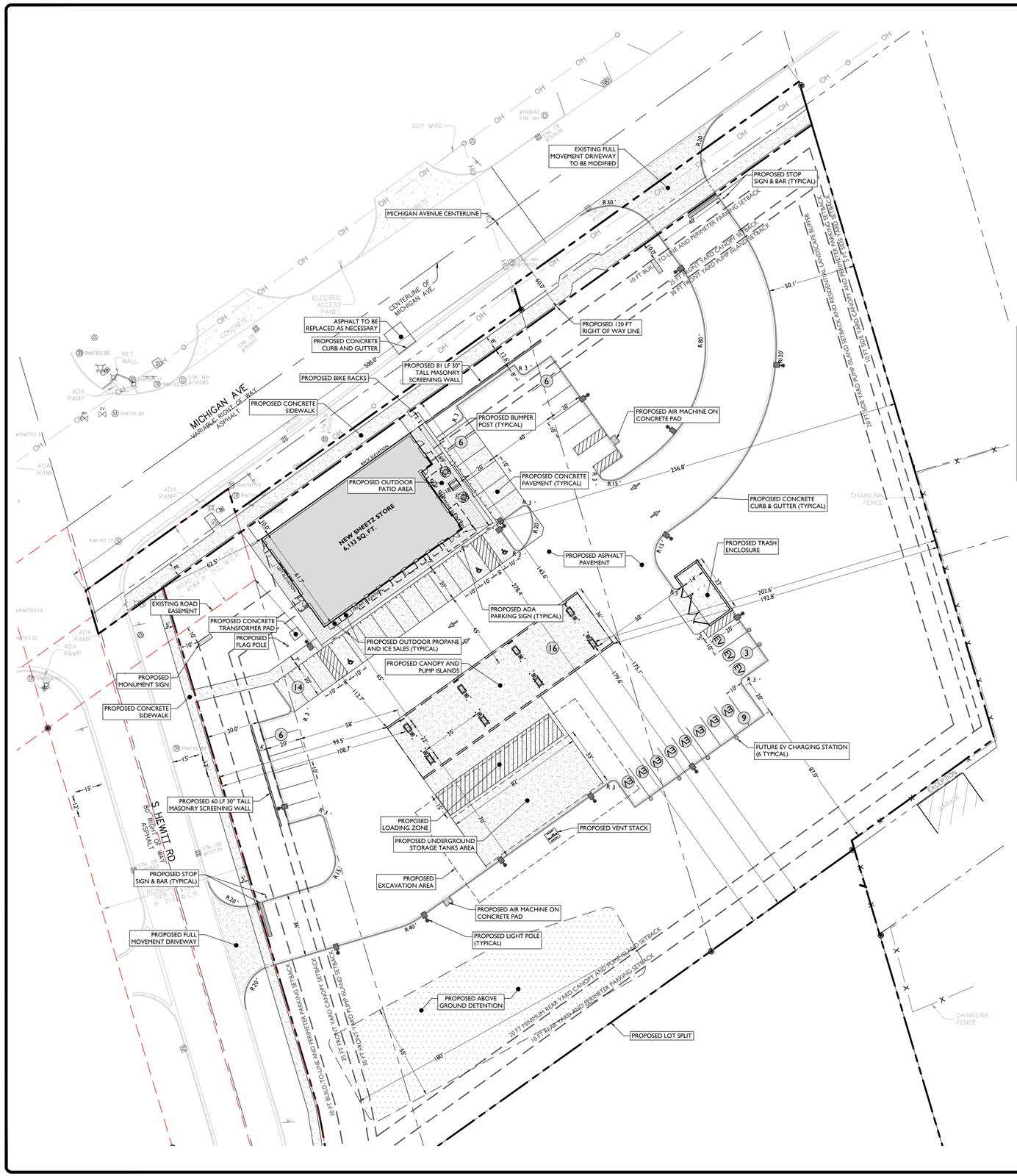
TITLE:

TREE INVENTORY

DRAWING:

C-5

V:\DET\2023\DET-230091.01-SKILKEN GOLD-2103 WEST MICHIGAN AVENUE, YPSILANTI CHARTER TOWNSHIP, MI\CADD\PLOT\SDP-02-03-04-05-DEMO.DWG



LAND USE AND ZONING

PID: K-11-39-350-022, K-11-39-350-023, & K-11-18-100-019

REGIONAL CORRIDOR (RC)

PROPOSED USE		
CONVENIENCE STORE	PERMITTED USE	
VEHICLE FUELING STATION	SPECIAL LAND USE	
ZONING REQUIREMENT	**REQUIRED**	**PROPOSED**
MINIMUM LOT AREA	24,000 SF	159,017 SF (3.65 AC)
MINIMUM LOT WIDTH	150 FT	500.0 FT
MAXIMUM IMPERVIOUS COVERAGE	80%	< 80% PROVIDED
MAXIMUM BUILDING HEIGHT	30 FT	< 30 FT
REQUIRED FRONT YARD BUILD-TO-LINE (MICHIGAN AVENUE)	10 FT	10.0 FT
REQUIRED FRONT YARD BUILD-TO-LINE (HEWITT ROAD)	10 FT	62.5 FT (V)
MINIMUM SIDE YARD SETBACK	5 FT	256.8 FT
MINIMUM REAR YARD SETBACK	10 FT	278.4 FT
MINIMUM FRONT YARD CANOPY SETBACK	25 FT	99.5 FT
MINIMUM SIDE YARD CANOPY SETBACK	10 FT	192.8 FT
MINIMUM REAR YARD CANOPY SETBACK	20 FT	175.1 FT
MINIMUM FRONT YARD PUMP ISLAND SETBACK	30 FT	108.7 FT
MINIMUM SIDE & REAR YARD PUMP ISLAND SETBACK	20 FT	179.6 FT
MINIMUM PERIMETER PARKING SETBACK	10 FT	12.6 FT

(V) VARIANCE

OFF-STREET PARKING REQUIREMENTS

CODE SECTION	REQUIRED	PROPOSED
§ 1205.2.E	GAS STATION W/ CONVENIENCE STORE: 1 SPACE PER 125 SF OF UFA PLUS 2 SPACES PER FUELING STATION (3,264 SF)(1 SPACE / 125 SF) = 26 SPACES (8 FUELING STATIONS)(2 SPACES / STATION) = 16 SPACES RESTAURANT: 2 SPACES PER 5 SEATS (46 SEATS)(2 SPACES / 5 SEATS) = 18 SPACES **TOTAL:** 26 + 16 +18 = **60 SPACES** (1)	**60 SPACES**
§ 1205.6.D	90° PARKING: 9 FT X 18 FT WITH 24 FT AISLE (2)	10 FT X 20 FT W/ 40 FT AISLE
§ 1207.2.A(2)	LOADING: 10 FT X 55 FT	15 FT X 82 FT

(1) THE PLANNING COMMISSION MAY REDUCE THE PARKING REQUIREMENTS BASED UPON A FINDING THAT THERE WILL BE A LOWER DEMAND FOR PARKING. THE APPLICANT SHALL PROVIDE A PARKING STUDY WITH ADEQUATE DETAIL AND INFORMATION TO ASSIST THE PLANNING COMMISSION TO DETERMINE THE APPROPRIATENESS OF THE REQUEST

(2) WHERE A PARKING SPACE ABUTS A 7 FT WIDE SIDEWALK OR A 10 FT WIDE GREENBELT, THE PARKING SPACE MAY BE REDUCED BY 2 FT IN LENGTH

SYMBOL	DESCRIPTION
	PROPERTY LINE
	SETBACK LINE
	PROPOSED CURB
	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED BRICK PAVERS
—X—X—	PROPOSED SCREENING FENCE
	PROPOSED BUILDING DOORS
	PROPOSED ABOVE GROUND DETENTION BASIN

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
3. ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC. AND IT'S SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
4. THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
6. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
7. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTORS EXPENSE.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC. WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
9. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
10. THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
11. THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
12. SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC. BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.

30' 0' 30' 60'

GRAPHIC SCALE IN FEET
1" = 30'

ISSUE	DATE	BY	DESCRIPTION
3	06/12/2024	KH	REVISED FOR SITE PLAN REVIEW
2	05/09/2024	NB/JD	FOR SITE PLAN REVIEW
1	04/09/2024	NB/JD	FOR SITE PLAN REVIEW

NOT APPROVED FOR CONSTRUCTION

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Phone 248.247.1115

SITE DEVELOPMENT PLAN

SHEETZ

PROPOSED CONVENIENCE STORE AND FUEL STATION

PID: K-11-39-350-022, K-11-39-350-023, K-11-18-100-019
2103 WEST MICHIGAN AVENUE
CHARTER TOWNSHIP OF YPSILANTI
WASHTENAW COUNTY, MICHIGAN

STATE OF MICHIGAN · JONATHAN REID COOKSEY · ENGINEER · LICENSE NO. 6201060426 · PROFESSIONAL ENGINEER

STONEFIELD engineering & design

SCALE: 1" = 30' | PROJECT ID: DET-230091.01

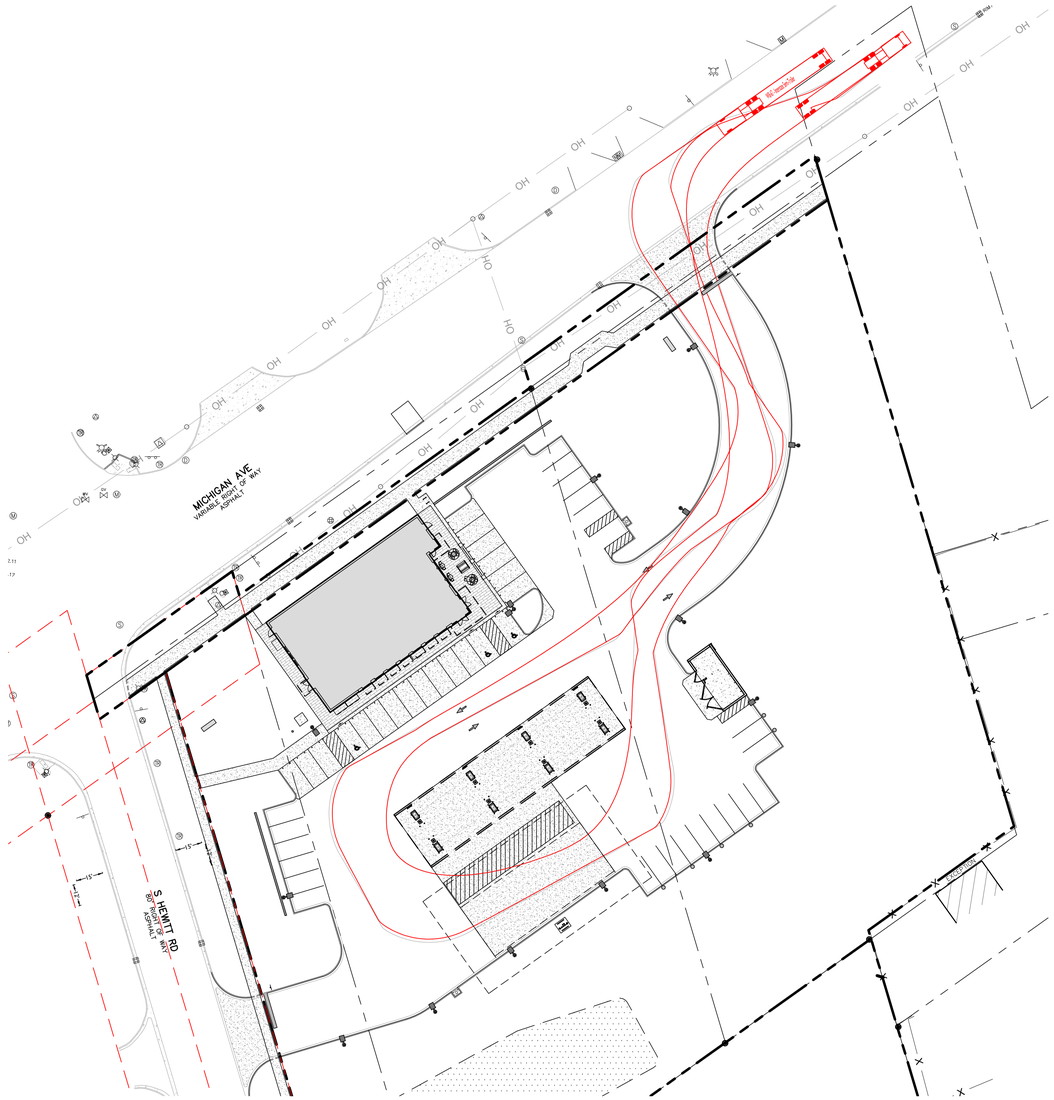
TITLE:

SITE PLAN

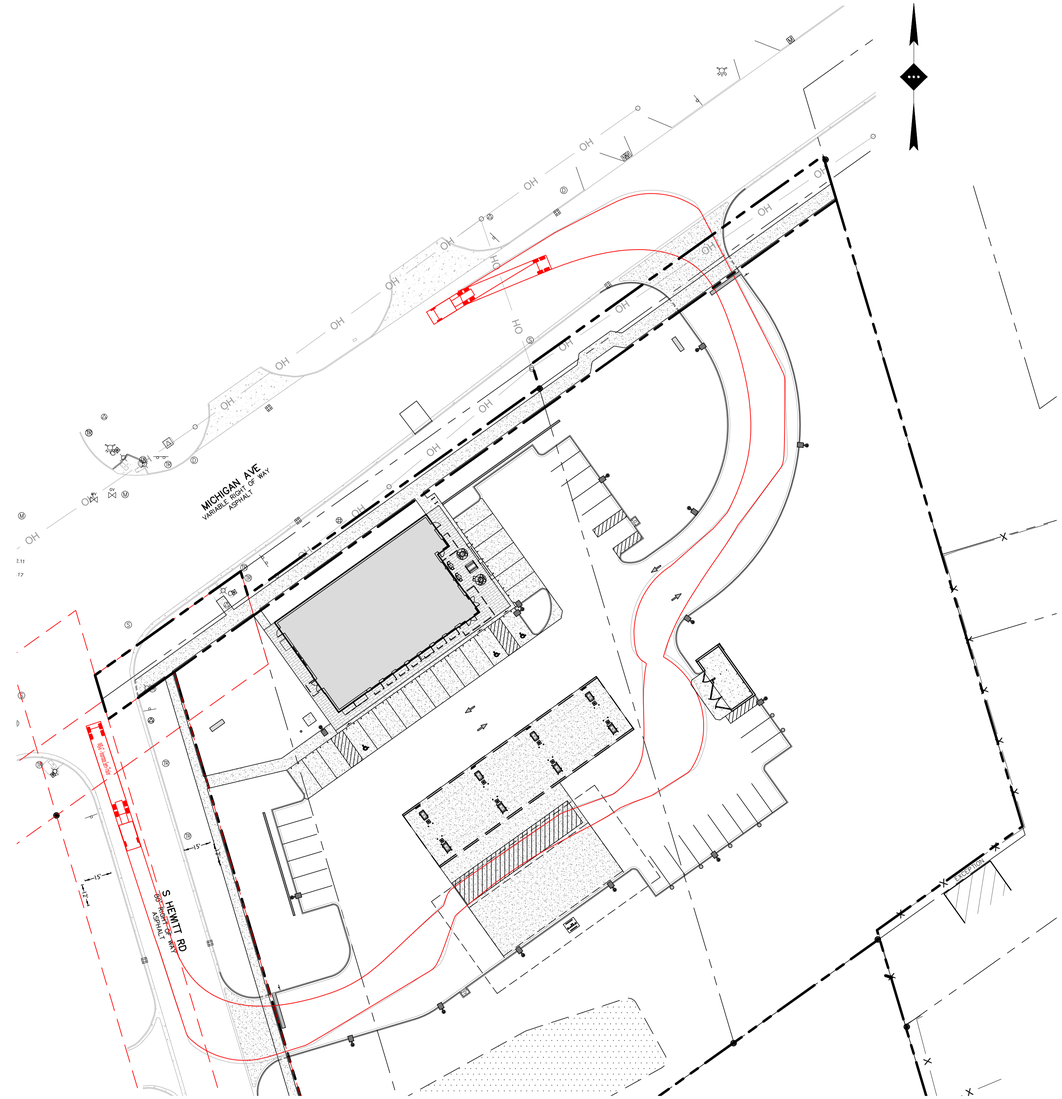
DRAWING:

C-6

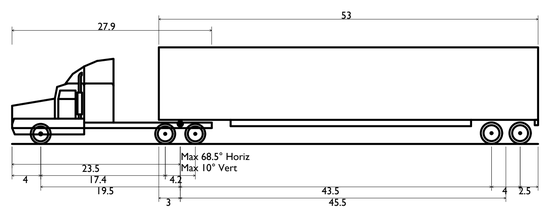
Y:\DET2023\DET-230091-01\DRLDEV\GOLD-100 WEST MICHIGAN AVENUE, YPSILANTI CHARTER TOWNSHIP, MI\CADD\PLOT\SDP-06-08-SITE.DWG



DELIVERY TRUCK CIRCULATION



FUEL TRUCK CIRCULATION



WB-67 - Interstate Semi-Trailer	
Overall Length	73.501ft
Overall Width	8.500ft
Overall Body Height	13.500ft
Min Body Ground Clearance	1.334ft
Max Track Width	8.500ft
Lock-to-lock time	6.00s
Max Steering Angle (Virtual)	28.40°

30' 0' 30' 60'
GRAPHIC SCALE IN FEET
1" = 30'

ISSUE	DATE	BY	DESCRIPTION
3	06/12/2024	KH	REVISED FOR SITE PLAN REVIEW
2	05/09/2024	NB/JD	FOR SITE PLAN REVIEW
1	04/09/2024	NB/JD	FOR SITE PLAN REVIEW

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Phone 248.247.1115

SITE DEVELOPMENT PLAN

SHEETZ

PROPOSED CONVENIENCE STORE AND FUEL STATION

PID: K-11-39-350-023, K-11-18-100-019
2103 WEST MICHIGAN AVENUE
CHARTER TOWNSHIP OF YPSILANTI
WASHTENAW COUNTY, MICHIGAN

STATE OF MICHIGAN
JONATHAN REID GOODSBY
ENGINEER
No. 6201061426
LICENSED PROFESSIONAL ENGINEER

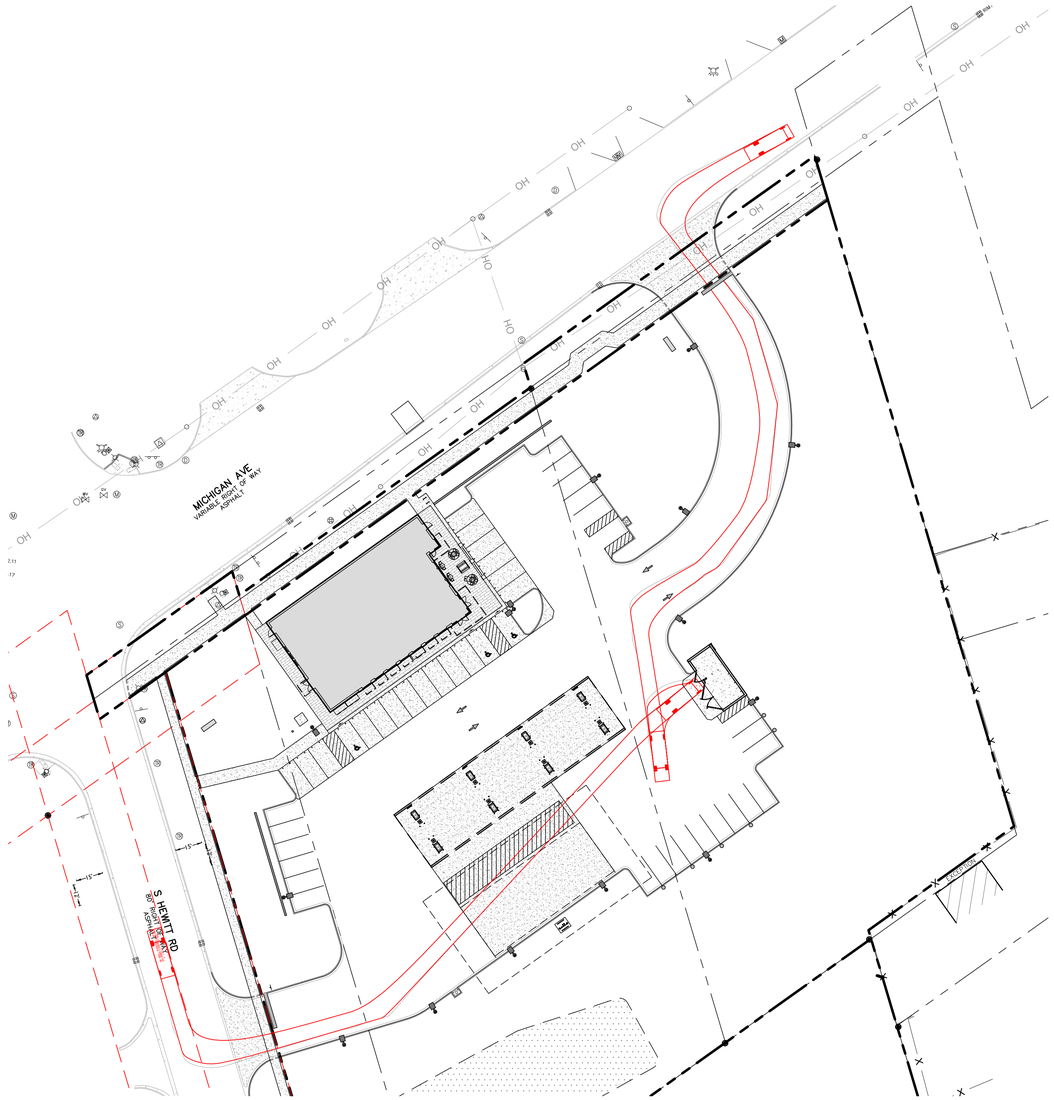
STONEFIELD engineering & design

SCALE: 1" = 30'
PROJECT ID: DET-230091.01

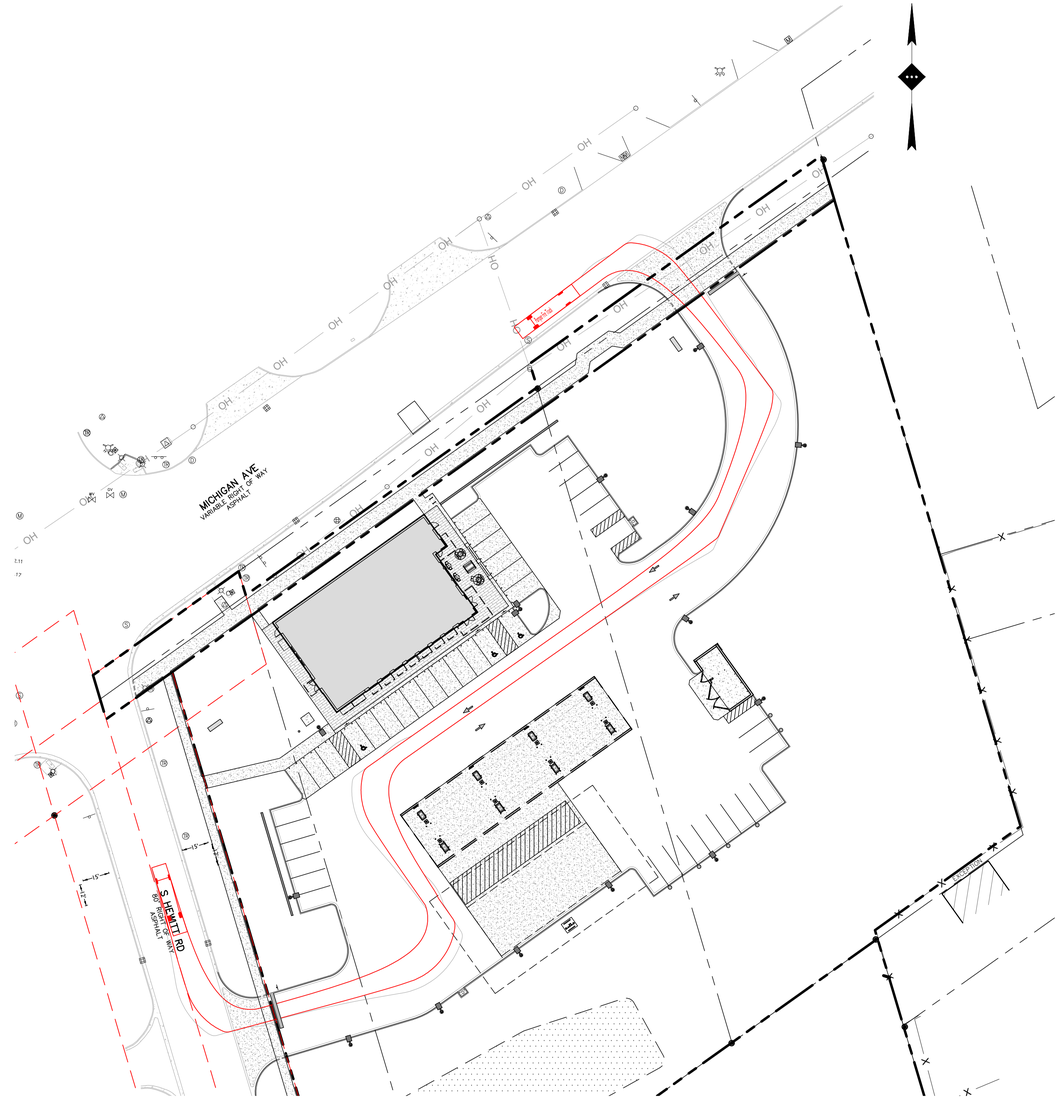
TITLE:
TRUCK CIRCULATION (DELIVERY & FUEL)

DRAWING:
C-7

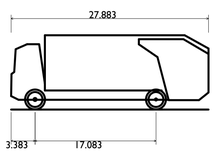
V:\DET\2023\DET-230091.01 SHEETZ\ GOLD-1103 WEST MICHIGAN AVENUE, YPSILANTI CHARTER TOWNSHIP, MI\CADD\PLOTTED\PLAN-07-08-SITE.DWG



TRASH TRUCK CIRCULATION

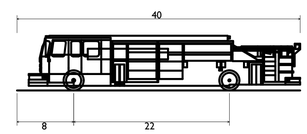


FIRE TRUCK CIRCULATION



Hino 338 M + Wayne Royal GT14 Refuse Truck

Overall Length	27.883ft
Overall Width	8.042ft
Overall Body Height	10.488ft
Min Body Ground Clearance	1.318ft
Track Width	8.042ft
Lock-to-lock time	6.00s
Curb to Curb Turning Radius	27.400ft



Pumper Fire Truck

Overall Length	40.000ft
Overall Width	8.167ft
Overall Body Height	7.745ft
Min Body Ground Clearance	0.656ft
Track Width	8.167ft
Lock-to-lock time	5.00s
Max Wheel Angle	45.00°

30' 0' 30' 60'
GRAPHIC SCALE IN FEET
1" = 30'

ISSUE	DATE	BY	DESCRIPTION
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SITE DEVELOPMENT PLAN

SHEETZ

PROPOSED CONVENIENCE STORE AND FUEL STATION

PID: K-11-39-350-023, K-11-39-350-033, K-11-18-100-019
2103 WEST MICHIGAN AVENUE
CHARTER TOWNSHIP OF YPSILANTI
WASHTENAW COUNTY, MICHIGAN

STATE OF MICHIGAN
JONATHAN REID GOODSBY
ENGINEER
No. 6201064126
LICENSED PROFESSIONAL ENGINEER

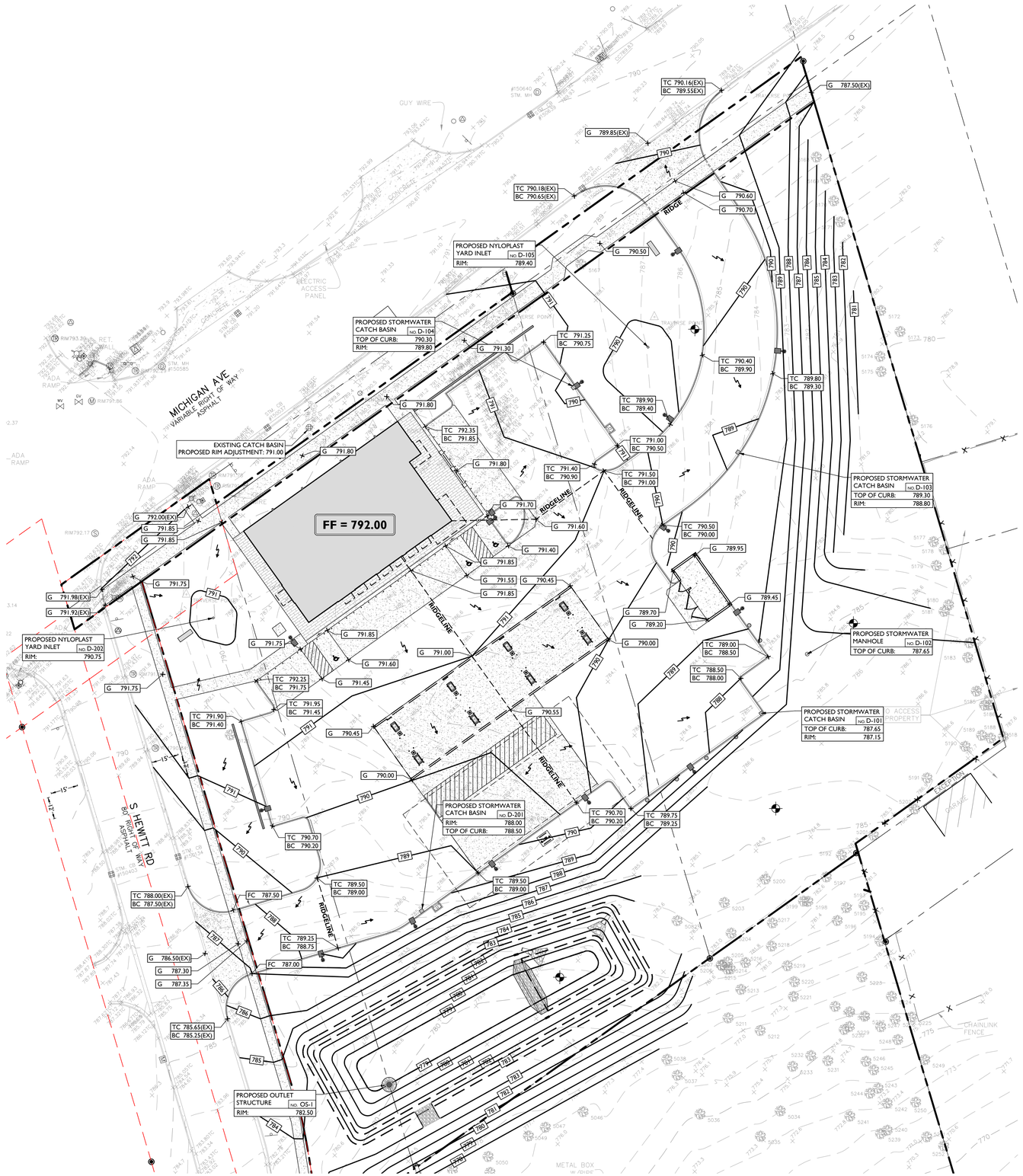
STONEFIELD engineering & design

SCALE: 1" = 30'
PROJECT ID: DET-230091.01

TITLE:
TRUCK CIRCULATION (TRASH & FIRE)

DRAWING:
C-8

V:\DET\2023\DET-230091.01 SHEETZ\CITY GOOD 2-1101 WEST MICHIGAN AVENUE, YPSILANTI CHARTER TOWNSHIP MICHIGAN\DWG\TOTOP\06-07-00 SITE.DWG



BENCHMARK

SITE BENCHMARK #1
CHISLED SQUARE ON SOUTHEAST TOP OF CONC LIGHT POLE BASE 40'± WEST OF HEWITT RD 175'± SOUTH OF MICHIGAN AVE
ELEVATION = 784.79' (NAVD 88)

SITE BENCHMARK #2
CHISLED SQUARE ON SOUTHEAST TOP OF CONC TRAFFIC SIGNAL BASE @ SOUTHEAST QUAD OF MICHIGAN AVE & HEWITT RD
ELEVATION = 791.95' (NAVD 88)

SITE BENCHMARK #3
MAG NAIL IN SOUTHEAST FACE OF UTILITY POLE 125'± EAST OF HEWITT RD 30'± SOUTH OF MICHIGAN AVE
ELEVATION = 791.01' (NAVD 88)

SYMBOL	DESCRIPTION
	PROPERTY LINE
100	PROPOSED GRADING CONTOUR
RIDGELINE	PROPOSED GRADING RIDGELINE
	PROPOSED DIRECTION OF DRAINAGE FLOW
G 100.00	PROPOSED GRADE SPOT SHOT
TC 100.50 BC 100.00	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
FC 100.00	PROPOSED FLUSH CURB SPOT SHOT
WL	LIMIT OF EXISTING WETLANDS

GRADING NOTES

1. ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
2. THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
4. THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
5. MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
   - CURB GUTTER: 0.50%
   - CONCRETE SURFACES: 1.00%
   - ASPHALT SURFACES: 1.00%
6. A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF THIS CONDITION CANNOT BE MET.
7. FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

ADA NOTES

1. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
2. THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
3. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
4. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
6. ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
7. A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
8. THE CONTRACTOR SHALL ENSURE A MAXIMUM OF ¼ INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN ¼ INCHES AND ½ INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP ¼ INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
9. THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN ½ INCH.

30' 0' 30' 60'
GRAPHIC SCALE IN FEET
1" = 30'

ISSUE	DATE	BY	DESCRIPTION
3	06/12/2024	KH	REVISED FOR SITE PLAN REVIEW
2	05/09/2024	NB/JD	FOR SITE PLAN REVIEW
1	04/09/2024	NB/JD	FOR SITE PLAN REVIEW

NOT APPROVED FOR CONSTRUCTION

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Princeton, NJ · Tampa, FL · Detroit, MI
www.stonefieldeng.com
607 Shelby Suite 200, Detroit, MI 48226
Phone 248.247.1115

SITE DEVELOPMENT PLAN

SHEETZ

PROPOSED CONVENIENCE STORE AND FUEL STATION

PID: K-11-20-350-023, K-11-19-350-023, K-11-18-100-019
2101 WEST MICHIGAN AVENUE
CHARTER TOWNSHIP OF YPSILANTI
WASHTENAW COUNTY, MICHIGAN

STATE OF MICHIGAN
JONATHAN REED COOKSEY
ENGINEER
No. 58106024
LICENSED PROFESSIONAL ENGINEER

STONEFIELD engineering & design

SCALE:	1" = 30'	PROJECT ID:DET-230091.01

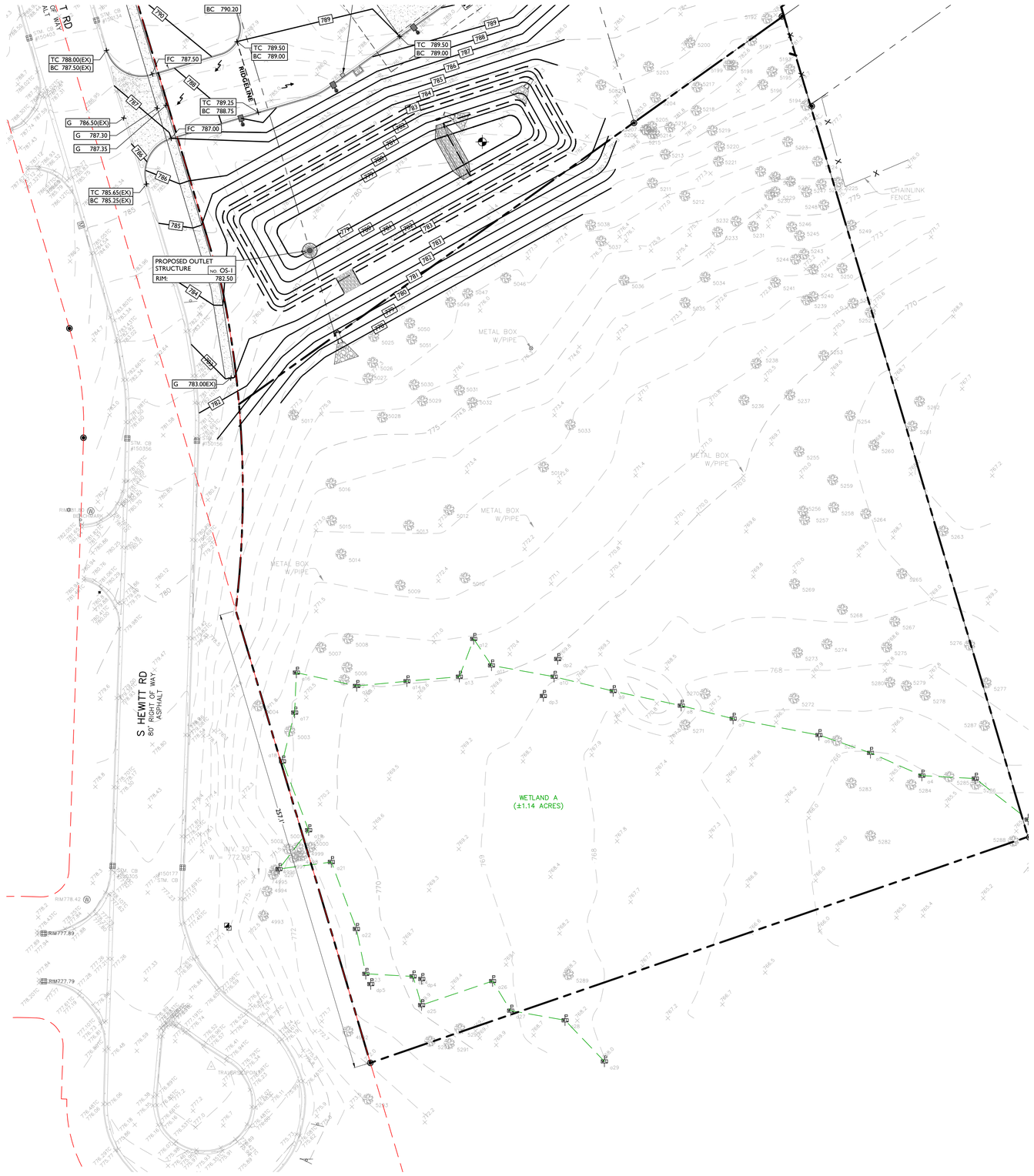
TITLE:

GRADING PLAN (NORTH)

DRAWING:

C-9

V:\DET\2023\DET-230091.01\BALKEN GOLD-2100 WEST MICHIGAN AVENUE, YPSILANTI CHARTER TOWNSHIP, MI\CAD\PLOT\DP-09-10-GRADING



BENCHMARK

SITE BENCHMARK #1
CHISLED SQUARE ON SOUTHEAST TOP OF CONC LIGHT POLE BASE 40'± WEST OF HEWITT RD 175'± SOUTH OF MICHIGAN AVE
ELEVATION = 784.79' (NAVD 88)

SITE BENCHMARK #2
CHISLED SQUARE ON SOUTHEAST TOP OF CONC TRAFFIC SIGNAL BASE @ SOUTHEAST QUAD OF MICHIGAN AVE & HEWITT RD
ELEVATION = 791.95' (NAVD 88)

SITE BENCHMARK #3
MAG NAIL IN SOUTHEAST FACE OF UTILITY POLE 125'± EAST OF HEWITT RD 30'± SOUTH OF MICHIGAN AVE
ELEVATION = 791.01' (NAVD 88)

SYMBOL	DESCRIPTION
	PROPERTY LINE
100	PROPOSED GRADING CONTOUR
RIDGELINE	PROPOSED GRADING RIDGELINE
	PROPOSED DIRECTION OF DRAINAGE FLOW
G 100.00	PROPOSED GRADE SPOT SHOT
TC 100.50 / BC 100.00	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
FC 100.00	PROPOSED FLUSH CURB SPOT SHOT
WL	LIMIT OF EXISTING WETLANDS

GRADING NOTES

1. ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
2. THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
4. THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
5. MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
   - CURB GUTTER: 0.50%
   - CONCRETE SURFACES: 1.00%
   - ASPHALT SURFACES: 1.00%
6. A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF THIS CONDITION CANNOT BE MET.
7. FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

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30' 0' 30' 60'
GRAPHIC SCALE IN FEET
1" = 30'

ISSUE	DATE	BY	DESCRIPTION
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Princeton, NJ · Tampa, FL · Detroit, MI
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Phone 248.247.1115

SITE DEVELOPMENT PLAN

SHEETZ

PROPOSED CONVENIENCE STORE AND FUEL STATION

PID: K-11-39-356-022, K-11-39-350-023, K-11-18-100-019
2103 WEST MICHIGAN AVENUE
CHARTER TOWNSHIP OF YPSILANTI
WASHTENAW COUNTY, MICHIGAN

STATE OF MICHIGAN
JONATHAN REID COOKSEY
ENGINEER
No. 6201060428
PROFESSIONAL ENGINEER

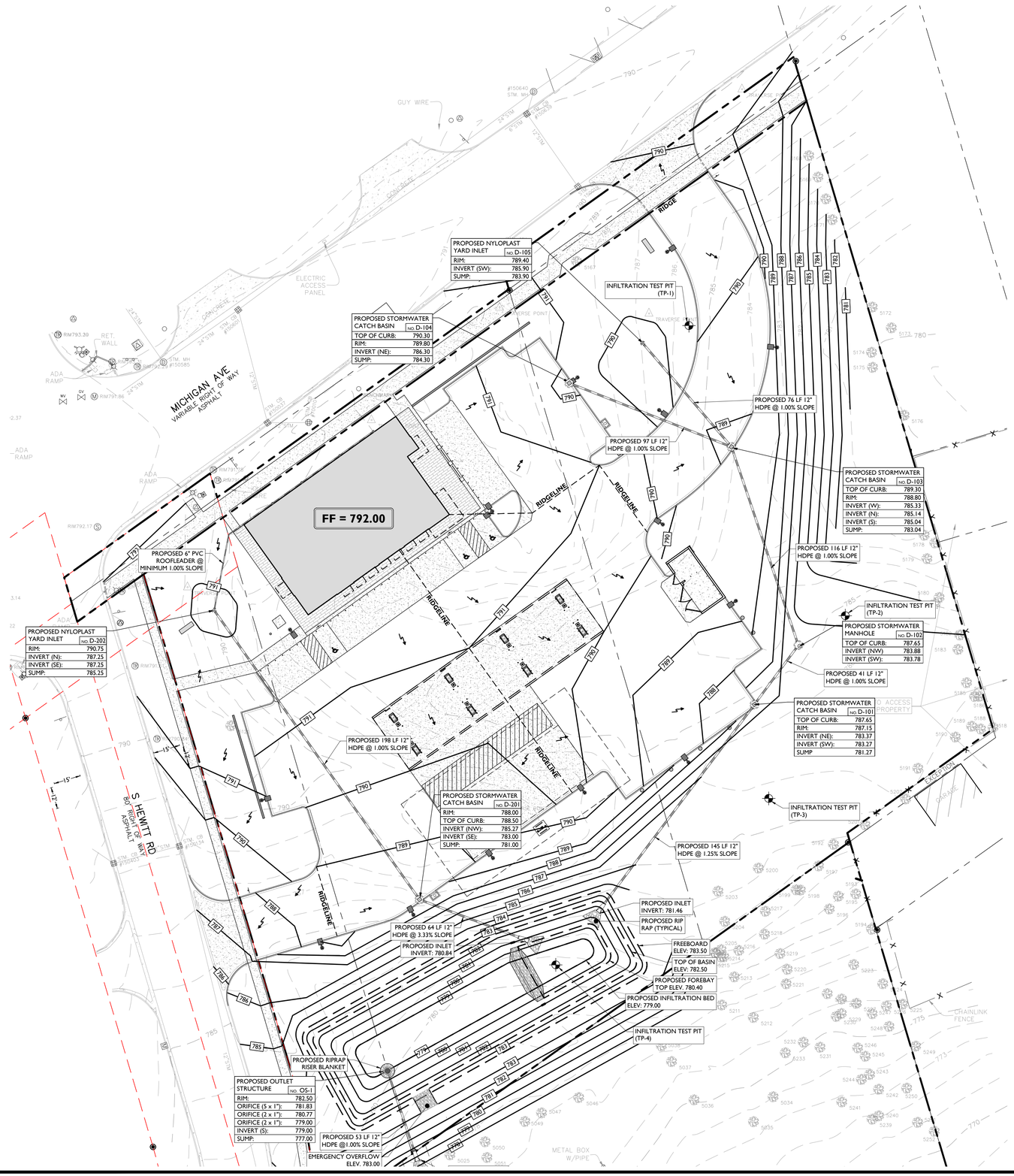
STONEFIELD engineering & design

SCALE: 1" = 30'
PROJECT ID: DET-230091.01

TITLE:
GRADING PLAN (SOUTH)

DRAWING:
C-10

V:\DET\2023\DET-230091.01\DELIVERY\CIVIL\01-SITE\DET-230091.01-GRADING.DWG



BENCHMARK

SITE BENCHMARK #1
CHISLED SQUARE ON SOUTHEAST TOP OF CONC LIGHT POLE BASE 40'± WEST OF HEWITT RD 175'± SOUTH OF MICHIGAN AVE
ELEVATION = 784.79' (NAVD 88)

SITE BENCHMARK #2
CHISLED SQUARE ON SOUTHEAST TOP OF CONC TRAFFIC SIGNAL BASE @ SOUTHEAST QUAD OF MICHIGAN AVE & HEWITT RD
ELEVATION = 791.95' (NAVD 88)

SITE BENCHMARK #3
MAG NAIL IN SOUTHEAST FACE OF UTILITY POLE 125'± EAST OF HEWITT RD 30'± SOUTH OF MICHIGAN AVE
ELEVATION = 791.01' (NAVD 88)

STORMWATER MANAGEMENT NARRATIVE:

THE SUBJECT SITE EXISTS AS A SINGLE FAMILY HOUSE WITH NO STORMWATER MANAGEMENT FACILITIES. THE SITE IS TO BE REDEVELOPED AS A 6,132 SF CONVENIENCE STORE WITH FUEL SALES AND ACCESSORY PARKING. STORMWATER RUNOFF FROM THE AREA OF IMPROVEMENTS SHALL BE COLLECTED BY A SERIES OF INLET STRUCTURES WITHIN THE PROPOSED PARKING AND LANDSCAPED AREAS. ALL BUILDING DRAINAGE WILL BE CAPTURED WITH ROOF SCUPPERS, ROUTED THROUGH A GUTTER SYSTEM AND TIED INTO THE NEAREST AT-GRADE STORMWATER STRUCTURE. STORMWATER IS THEN TO BE CONVEYED THROUGH HDPE PIPES FROM THE INLET STRUCTURES TO AN ABOVEGROUND DETENTION BASIN AND SEDIMENT FOREBAY. THE PROPOSED BASIN THEN DISCHARGES THE TREATED STORMWATER TO THE EXISTING WETLANDS WITHIN THE SOUTHERN PORTION OF THE SITE. THE PROPOSED DETENTION BASIN IS SIZED TO HOLD A 100-YEAR FLOOD VOLUME GREATER THAN 16,604 CF. NO CONTAMINATED SOILS ARE NOTED ON-SITE.

SYMBOL	DESCRIPTION
	PROPERTY LINE
100	PROPOSED GRADING CONTOUR
RIDGELINE	PROPOSED GRADING RIDGELINE
	PROPOSED STORMWATER INLET STRUCTURE
	PROPOSED STORMWATER PIPING
W	LIMIT OF EXISTING WETLANDS

DRAINAGE AND UTILITY NOTES

1. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IN WRITING.
2. CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT THE LOWEST INVERT AND WORK UP-GRADIENT.
3. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IMMEDIATELY IN WRITING.
4. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES

1. THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
2. THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL. SHORING DESIGNS SHALL BE SUBMITTED TO STONEFIELD ENGINEERING & DESIGN, LLC. AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
5. THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

REFER TO SHEET C-23 FOR STORMWATER MANAGEMENT CALCULATIONS

30' 0' 30' 60'
GRAPHIC SCALE IN FEET
1" = 30'

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3	06/12/2024	KH	REVISED FOR SITE PLAN REVIEW
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NOT APPROVED FOR CONSTRUCTION

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Princeton, NJ · Tampa, FL · Detroit, MI
www.stonefieldeng.com
607 Shelby Suite 200, Detroit, MI 48226
Phone 248.247.1115

SITE DEVELOPMENT PLAN

SHEETZ

PROPOSED CONVENIENCE STORE AND FUEL STATION

PID: K-11-39-350-023, K-11-39-350-022, K-11-18-100-019
2103 WEST MICHIGAN AVENUE
CHARTER TOWNSHIP OF YPSILANTI
WASHTENAW COUNTY, MICHIGAN

STATE OF MICHIGAN
JONATHAN ED COOKSEY
LICENSED PROFESSIONAL ENGINEER
No. 58140A

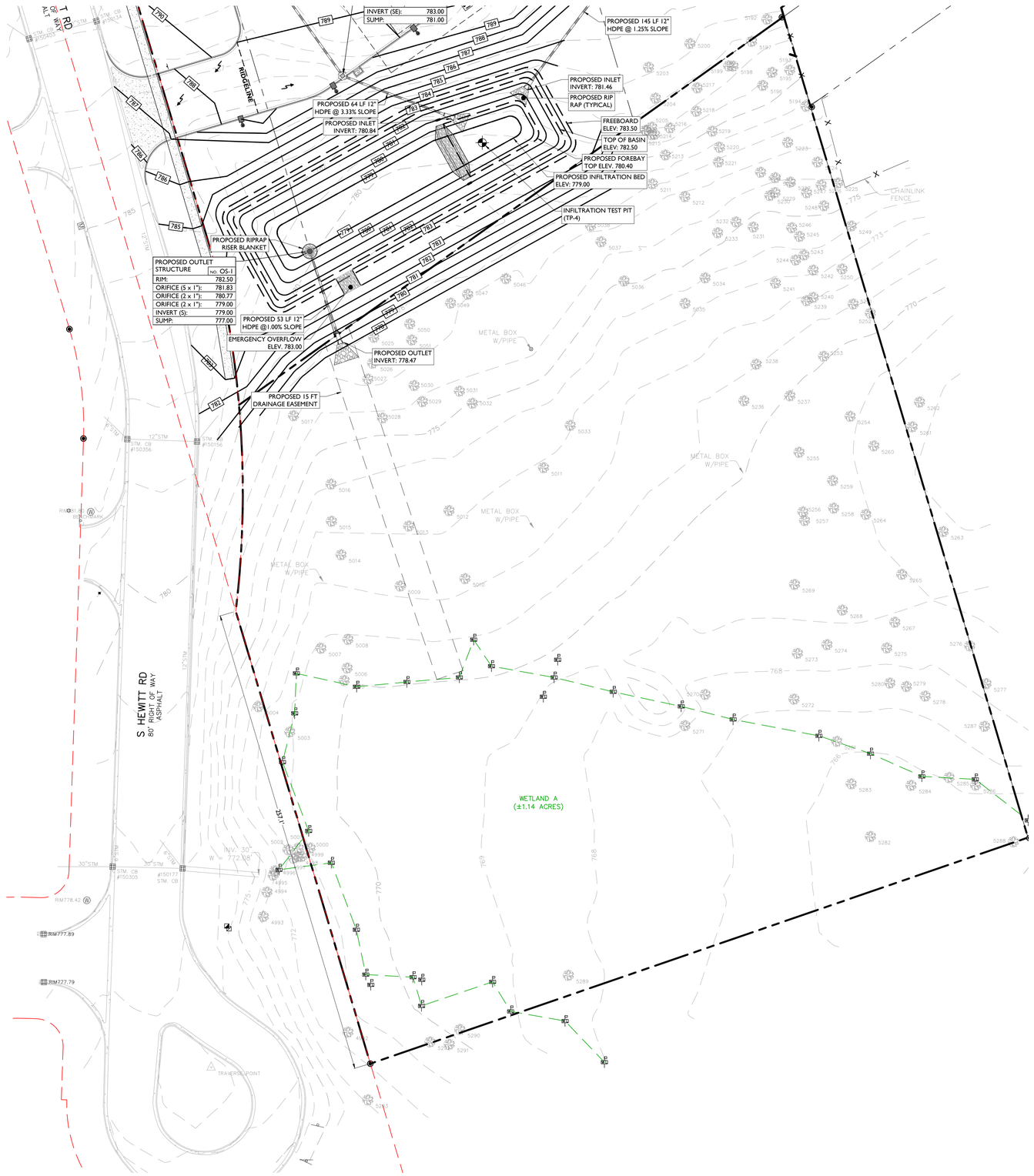
STONEFIELD engineering & design

SCALE: 1" = 30' | PROJECT ID:DET-230091.01

TITLE: **STORMWATER MANAGEMENT PLAN (NORTH)**

DRAWING: **C-11**

V:\DET\2023\DET-230091.01\BLUEN GOLD-2103 WEST MICHIGAN AVENUE, YPSILANTI CHARTER TOWNSHIP, MI\CADD\PLOT\DP-11-12-23TRM.DWG



BENCHMARK

SITE BENCHMARK #1
CHISLED SQUARE ON SOUTHEAST TOP OF CONC LIGHT POLE BASE 40'± WEST OF HEWITT RD 175'± SOUTH OF MICHIGAN AVE
ELEVATION = 784.79' (NAVD 88)

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ELEVATION = 791.01' (NAVD 88)

SYMBOL	DESCRIPTION
	PROPERTY LINE
100	PROPOSED GRADING CONTOUR
RIDGELINE	PROPOSED GRADING RIDGELINE
	PROPOSED STORMWATER INLET STRUCTURE
	PROPOSED STORMWATER PIPING
WL	LIMIT OF EXISTING WETLANDS

DRAINAGE AND UTILITY NOTES

1. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING.
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SITE DEVELOPMENT PLAN

SHEETZ

PROPOSED CONVENIENCE STORE AND FUEL STATION

PID: K-11-39-350-022, K-11-39-350-023, K-11-18-100-019
7110 WEST MICHIGAN AVENUE
CHARTER TOWNSHIP OF YPSILANTI
WASHTENAW COUNTY, MICHIGAN

STATE OF MICHIGAN
JONATHAN REED COOKSEY
ENGINEER
No. 6201065
LICENSED PROFESSIONAL ENGINEER

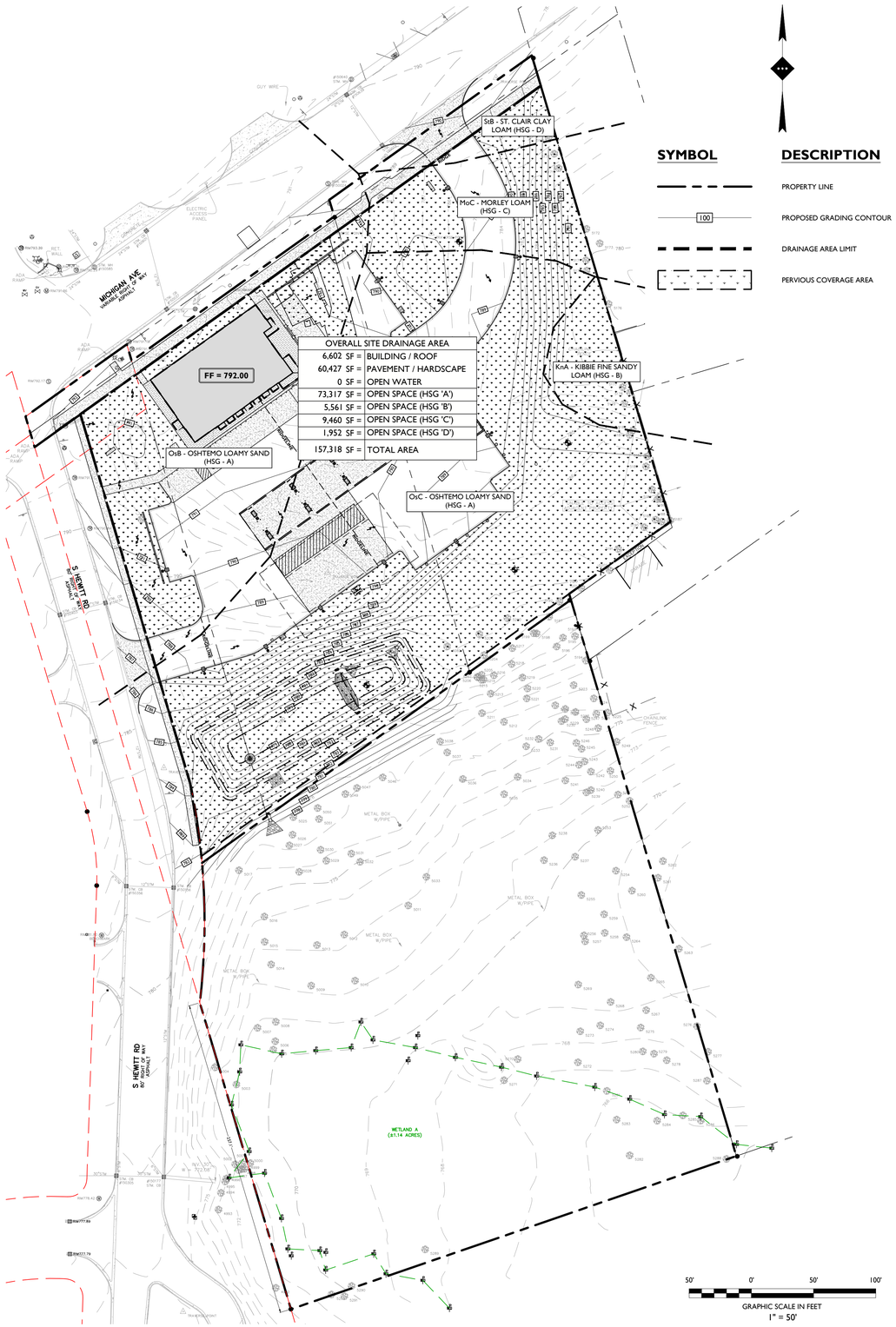
STONEFIELD engineering & design

SCALE: 1" = 30' | PROJECT ID:DET-230091.01

TITLE:
STORMWATER MANAGEMENT PLAN (SOUTH)

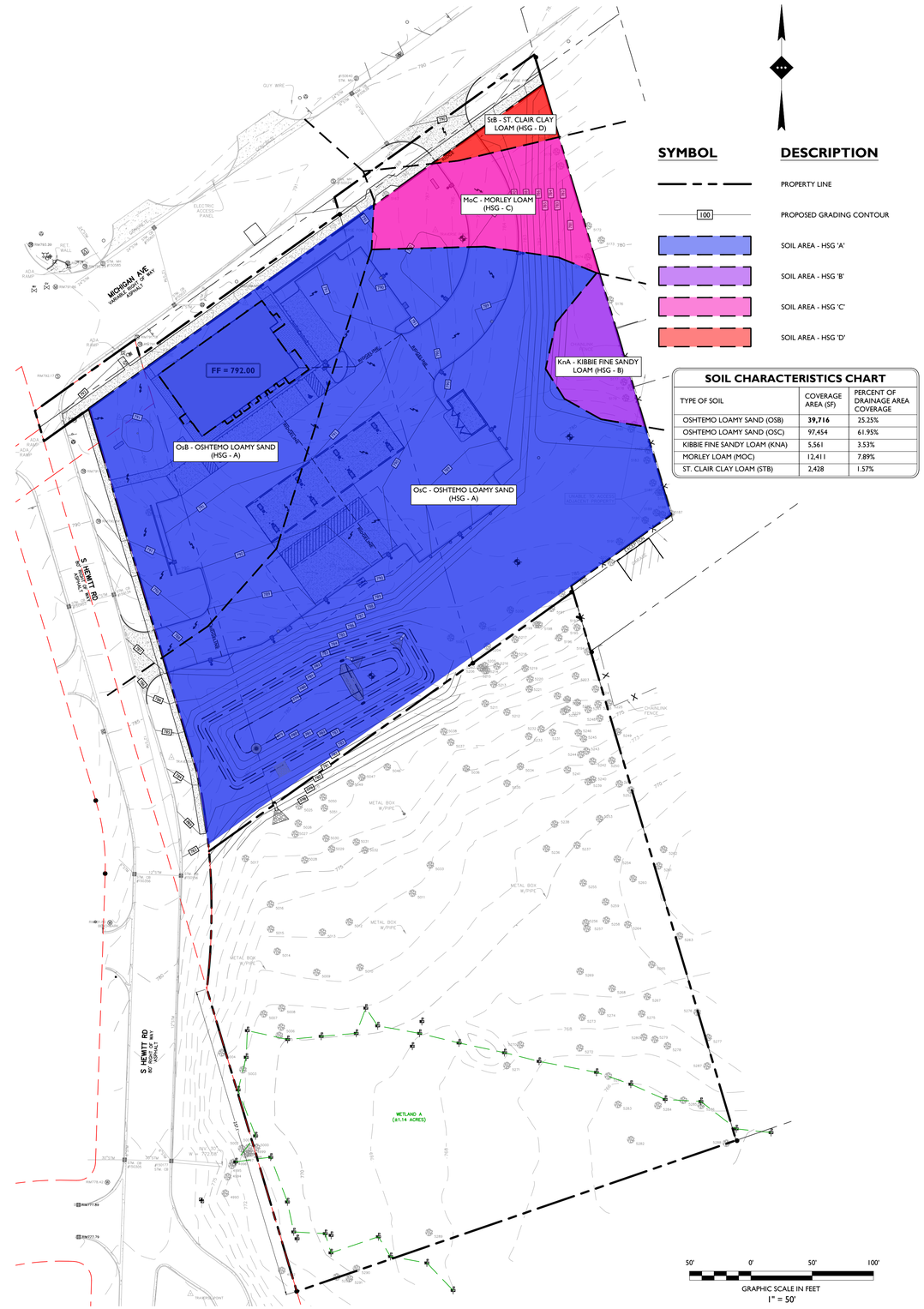
DRAWING:
C-12

V:\DET\2023\DET-230091.01 SHEETZ\CO\CO-103 WEST MICHIGAN AVENUE, YPSILANTI CHARTER TOWNSHIP, MI\CADD\PLOT\SDP-11-12-13-STORM.DWG



OVERALL SITE DRAINAGE AREA		
6,602	SF =	BUILDING / ROOF
60,427	SF =	PAVEMENT / HARDSCAPE
0	SF =	OPEN WATER
73,317	SF =	OPEN SPACE (HSG 'A')
5,561	SF =	OPEN SPACE (HSG 'B')
9,460	SF =	OPEN SPACE (HSG 'C')
1,952	SF =	OPEN SPACE (HSG 'D')
157,318	SF =	TOTAL AREA

SYMBOL	DESCRIPTION
	PROPERTY LINE
100	PROPOSED GRADING CONTOUR
	DRAINAGE AREA LIMIT
	PERVIOUS COVERAGE AREA



SYMBOL	DESCRIPTION
	PROPERTY LINE
100	PROPOSED GRADING CONTOUR
	SOIL AREA - HSG 'A'
	SOIL AREA - HSG 'B'
	SOIL AREA - HSG 'C'
	SOIL AREA - HSG 'D'

SOIL CHARACTERISTICS CHART

TYPE OF SOIL	COVERAGE AREA (SF)	PERCENT OF DRAINAGE AREA COVERAGE
OSHTEMO LOAMY SAND (OSB)	**39,716**	25.25%
OSHTEMO LOAMY SAND (OSC)	97,454	61.95%
KIBBIE FINE SANDY LOAM (KNA)	5,561	3.53%
MORLEY LOAM (MOC)	12,411	7.89%
ST. CLAIR CLAY LOAM (STB)	2,428	1.57%

ISSUE	DATE	BY	DESCRIPTION
3	06/12/2024	KH	REVISED FOR SITE PLAN REVIEW
2	05/09/2024	NB/JD	FOR SITE PLAN REVIEW
1	04/09/2024	NB/JD	FOR SITE PLAN REVIEW

NOT APPROVED FOR CONSTRUCTION

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607 Shelby Suite 200, Detroit, MI 48226
Phone 248.247.1115

SITE DEVELOPMENT PLAN

SHEETZ

PROPOSED CONVENIENCE STORE AND FUEL STATION

PID: K-11-39-350-023, K-11-18-100-019
2103 WEST MICHIGAN AVENUE
CHARTER TOWNSHIP OF YPSILANTI
WASHTENAW COUNTY, MICHIGAN

STATE OF MICHIGAN
JONATHAN FIELD COOKSEY
ENGINEER
No. 6201064270
LICENSED PROFESSIONAL ENGINEER

STONEFIELD engineering & design

SCALE: 1" = 50' | PROJECT ID:DET-230091.01

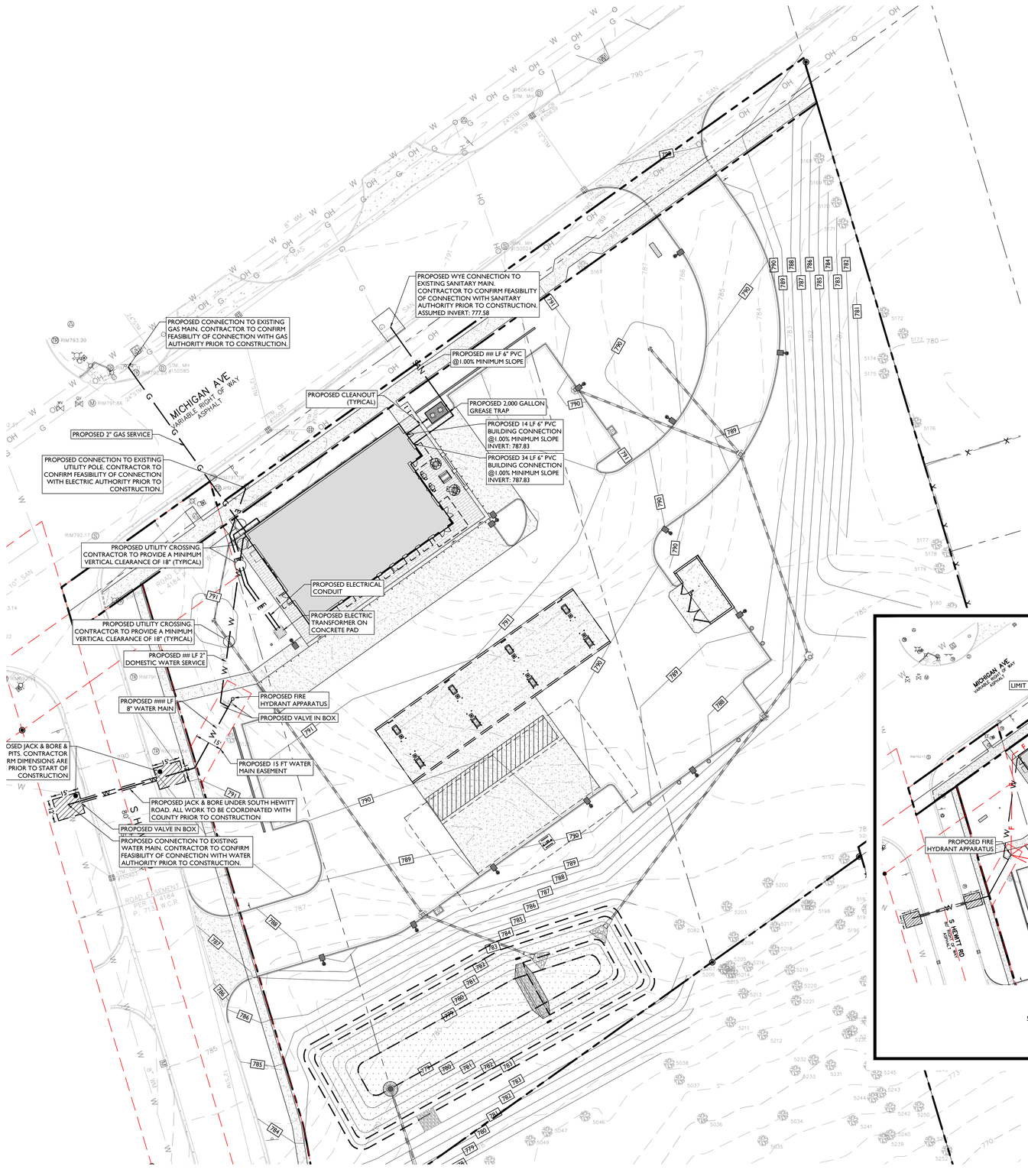
TITLE:

STORMWATER DRAINAGE MAPS

DRAWING:

C-13

V:\DET\2023\DET-230091.01 BRAUN GOLD-2103 WEST MICHIGAN AVENUE, YPSILANTI CHARTER TOWNSHIP, MI\CADD\ACTIVE\DP1 11-21-23 STRM.DWG



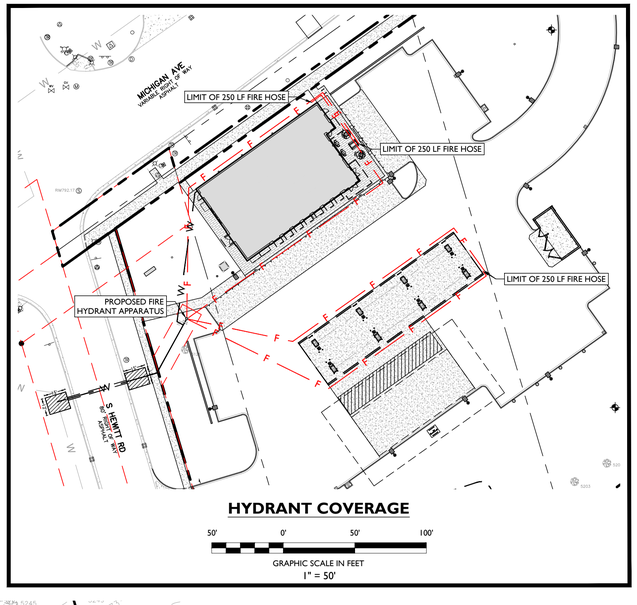
BENCHMARK

SITE BENCHMARK #1
CHISLED SQUARE ON SOUTHEAST TOP OF CONC LIGHT POLE BASE 40'± WEST OF HEWITT RD 175'± SOUTH OF MICHIGAN AVE
ELEVATION = 784.79' (NAVD 88)

SITE BENCHMARK #2
CHISLED SQUARE ON SOUTHEAST TOP OF CONC TRAFFIC SIGNAL BASE @ SOUTHEAST QUAD OF MICHIGAN AVE & HEWITT RD
ELEVATION = 791.95' (NAVD 88)

SITE BENCHMARK #3
MAG NAIL IN SOUTHEAST FACE OF UTILITY POLE 125'± EAST OF HEWITT RD 30'± SOUTH OF MICHIGAN AVE
ELEVATION = 791.01' (NAVD 88)

SYMBOL	DESCRIPTION
	PROPERTY LINE
SAN	PROPOSED SANITARY LATERAL
W	PROPOSED DOMESTIC WATER SERVICE
E	PROPOSED ELECTRIC CONDUITS
G	PROPOSED GAS LINE
F	FIRE HOSE COVERAGE
	PROPOSED VALVE IN BOX
	PROPOSED FIRE HYDRANT
	PROPOSED SANITARY CLEANOUT
	PROPOSED SANITARY GREASE TRAP
T	PROPOSED TRANSFORMER ON CONCRETE PAD WITH BOLLARDS



HYDRANT COVERAGE

50' 0' 50' 100'
GRAPHIC SCALE IN FEET
1" = 50'

DRAINAGE AND UTILITY NOTES

1. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
2. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
4. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
6. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING.
7. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
8. CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADIENT.
9. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
10. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

30' 0' 30' 60'
GRAPHIC SCALE IN FEET
1" = 30'

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SITE DEVELOPMENT PLAN

SHEETZ

PROPOSED CONVENIENCE STORE AND FUEL STATION

PID: K-11-39-350-022, K-11-39-350-023, K-11-18-100-019
2101 WEST MICHIGAN AVENUE
CHARTER TOWNSHIP OF YPSILANTI
WASHTENAW COUNTY, MICHIGAN

STATE OF MICHIGAN
JONATHAN REID GOOKSBY
LICENSED
No. 4301069428
PROFESSIONAL ENGINEER

STONEFIELD engineering & design

SCALE: AS SHOWN | PROJECT ID: DET-230091.01

TITLE: UTILITY PLAN

DRAWING: C-14

V:\DET\2023\DET-230091.01-GOLDEN GOLD\3-100 WEST MICHIGAN AVENUE, YPSILANTI CHARTER TOWNSHIP, MI\CADD\PLOT\DSP-14-UTIL.DWG

STORMWATER DETENTION POND TOPSOIL TO BE AMENDED WITH ORGANIC MATERIAL SOILS AND MUST BE FREE OF CONSTRUCTION DEBRIS AND SUBSOILS. THE SOIL SHALL CONTAIN BETWEEN 20-30 PERCENT COMPOST, AND HAVE A CLAY CONTECT LIMITED TO A MAXIMUM OF 10 PERCENT

FERTILIZATION NOTE:

1. APPLICATIONS OF FERTILIZER BEYOND THE INITIAL TOPSOIL AND SEEDING SHALL BE FERTILIZER WITH NO PHOSPHOROUS.
2. NO CHEMICALS ARE ALLOWED IN STORMWATER FEATURES OR BUFFER ZONES. HOWEVER, INVASIVE SPECIES MAY BE TREATED WITH CHEMICALS BY A VERIFIED APPLICATOR

SOIL COMPACTION NOTE:

1. ONCE FINE GRADING HAS BEEN COMPLETED, HEAVY MACHINERY SHALL NOT BE USED WITHIN PLANTING AREAS TO PREVENT COMPACTION. IN ALL PLANTING AREAS WHERE SOIL COMPACTION HAS OCCURRED DURING CONSTRUCTION, SOIL SHALL BE TILLED TO THE DEPTH OF THE PROPOSED ROOT BALL OF THE PLANTINGS OR 4" DEPTH FOR SEEDED AREAS PRIOR TO THE PLANING.
2. OVER EXCAVATE SIDES OF PLANTING PITS IN COMPACTED SOIL AREAS.

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
DECIDUOUS TREES						
	ACE	14	ACER RUBRUM	RED MAPLE	2.5" - 3" CAL	B&B
	BET	12	BETULA NIGRA	RIVER BIRCH MULTI-TRUNK	2.5" - 3" CAL	B&B
	GIN	2	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD MAIDENHAIR TREE	2.5" - 3" CAL	B&B
	GLE	8	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'	SKYLINE® HONEY LOCUST	2.5" - 3" CAL	B&B
	LIR	7	LIRIODENDRON TULIPIFERA	TULIP POPLAR	2.5" - 3" CAL	B&B
	NYS	12	NYSSA SYLVATICA	SOUR GUM	2.5" - 3" CAL	B&B
	QUE	12	QUERCUS PHELLOS	WILLOW OAK	2.5" - 3" CAL	B&B
	QWN	4	QUERCUS X WAREI 'NADLER'	KINDRED SPIRIT OAK	2.5" - 3" CAL	B&B
	TIL	11	TILIA CORDATA	LITTLELEAF LINDEN	2.5" - 3" CAL	B&B
EVERGREEN TREES						
	JCP	156	JUNIPERUS CHINENSIS 'PERFECTA'	PERFECTA JUNIPER	5' - 6' HT	B&B
	THU	47	THUJA X 'GREEN GIANT'	GREEN GIANT ARBORVITAE	6' - 7' HT	B&B
ORNAMENTAL TREES						
	COR	3	CORNUS FLORIDA	FLOWERING DOGWOOD	2.5" - 3" CAL	B&B
SHRUBS						
	VRS	18	ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	24" - 30"	POT
	IJD	5	ILEX VERTICILLATA 'JIM DANDY'	JIM DANDY WINTERBERRY	24" - 30"	POT
	VIB	15	VIBURNUM DENTATUM	VIBURNUM	36" - 42"	POT
BASIN SHRUBS						
	CRI	35	CORNUS SERICEA	SWAMP RED TWIG DOGWOOD	36" - 42"	POT
	PON	25	VIBURNUM NUDUM	POSSUMHAW	36" - 42"	POT
	ITE	39	ITEA VIRGINICA 'LITTLE HENRY'	VIRGINIA SWEETSPIRE	36" - 42"	POT
	SAM	31	SAMBUCUS CANADENSIS	AMERICAN ELDERBERRY	36" - 42"	POT
EVERGREEN SHRUBS						
	ICO	34	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	24" - 30"	POT
	TMD	40	TAXUS X MEDIA 'DENSIFORMIS'	DENSE ANGLO-JAPANESE YEW	24" - 30"	POT
GRASSES						
	CAL	28	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	2 GAL.	POT

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

SYMBOL	DESCRIPTION
	PROPOSED PARKING LOT AND PARKING LOT PERIMETER TREES
	PROPOSED MICHIGAN AVENUE STREET TREES
	PROPOSED SOUTH HEWITT STREET TREES
	PROPOSED PERIMETER PARKING LOT TREES
	PROPOSED GENERAL SITE TREES
	STORMWATER BASIN TREES

INFILTRATION BASIN PLANTING

ASTER LAEVIS / SMOOTH ASTER	5,393	FLAT, PLUG	18" oc
ECHINACEA PURPUREA / CONEFLOWER	2,796	FLAT, PLUG	25" oc
LIATRIS SPICATA / BLAZING STAR	3,034	FLAT, PLUG	24" oc
PANICUM VIRGATUM 'CLOUD NINE' / CLOUD NINE SWITCH GRASS	1,348	1 GAL., POT	36" oc
PENSTEMON DIGITALIS / BEARDTONGUE	5,392	FLAT, PLUG	18" oc
SOLIDAGO RIDDELLII / RIDDELL'S GOLDENROD	1,941	1 GAL., POT	30" oc

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

Know what's **below**
Call before you dig.

LANDSCAPING AND BUFFER REQUIREMENTS

CODE SECTION	REQUIRED	PROPOSED
§ 1301.3.B	GENERAL LANDSCAPING:	
	(1) TREE PER 1,000 SF	
	(12,617 SF)/(1 TREE/1,000 SF) = 13 TREES	13 TREES
	(1) SHRUB PER 500 SF	
	(12,617 SF)/(1 SHRUB/500 SF) = 25 SHRUBS	25 SHRUBS
§ 1301.3.C	STREET YARD LANDSCAPING:	
	(1) TREE PER 40 LF, (1) ORNAMENTAL TREE PER 100 LF, & (1) SHRUB PER 10 LF	
	MICHIGAN AVENUE: 400 LF	
	TREE: (400 LF)/(40 LF) = 10 TREES	10 TREES
	ORNAMENTAL TREE: (400 LF)/(100 LF) = 4 TREES	4 TREES
	SHRUB: (400 LF)/(10) = 40 SHRUBS	52 SHRUBS
	SOUTH HEWITT ROAD: 309 LF	
	TREE: (309 LF)/(40 LF) = 8 TREES	8 TREES
	ORNAMENTAL TREE: (309 LF)/(100 LF) = 3 TREES	3 TREES
	SHRUB: (309 LF)/(10) = 31 SHRUBS	31 SHRUBS
§ 1301.3.D(1)	PARKING LOT LANDSCAPING:	
	(1) TREE PER 2,000 SF OF PAVED DRIVEWAY	
	(56,081 SF)/(2,000 SF) = 28 TREES	28 TREES
	NO MORE THAN 12 SPACES IN A ROW	DOES NOT COMPLY (W)
	EACH TREE SHALL CONTAIN 150 SF OF LANDSCAPE AREA	COMPLIES
	ISLANDS SHALL BE NO LESS THAN 5 FT IN ANY DIRECTION	COMPLIES
§ 1301.3.D(2)	(1) TREE PER 40 LF OF PARKING LOT PERIMETER	
	(299 LF)/(40 LF) = 7 TREES	7 TREES
§ 1301.3.G	BASIN POND LANDSCAPING:	
	TOTAL PERIMETER: 649 LF	
	(1) TREE AND (10) SHRUBS PER (50) LF	
	TREE: (649 LF)/(50 LF) = 13 TREES	13 TREES
	SHRUB: (649 LF)/(50 LF) = 13 * (10) = 130 SHRUBS	130 SHRUBS
§ 1301.3.H	SCREENING:	
	AUTOMOTIVE: SCREEN 3	
	SCREEN 3: (1) LARGE EVERGREEN TREE PER 10 LF & (1) NARROW EVERGREEN TREE PER 3 LF	
	EAST PROPERTY LINE: 365 LF	
	LARGE EVERGREEN: (365 LF)/(10 LF) = 37 TREES	37 TREES
	NARROW EVERGREEN: (365 LF)/(3) = 122 TREES	122 TREES
	SOUTH PROPERTY LINE: 100 LF	
	LARGE EVERGREEN: (100 LF)/(10 LF) = 10 TREES	10 TREES
	NARROW EVERGREEN: (100 LF)/(3) = 155 TREES	155 TREES
§ 1126.12	RESIDENTIAL SCREENING:	
	6 FT OBSCURING WALL	NONE (W)

(W) WAIVER

IRRIGATION NOTE:

IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

LANDSCAPING NOTES

1. THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
3. THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH .
4. THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
6. THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.

30' 0' 30' 60'
GRAPHIC SCALE IN FEET
1" = 30'

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SITE DEVELOPMENT PLAN

SHEETZ

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PID: K-11-39-350-023, K-11-39-350-022, K-11-18-100-019
2103 WEST MICHIGAN AVENUE
CHARTER TOWNSHIP OF YPSILANTI
WASHTENAW COUNTY, MICHIGAN

STATE OF MICHIGAN
JONATHAN REED COOKSEY
LICENSED PROFESSIONAL ENGINEER
No. 6201060128

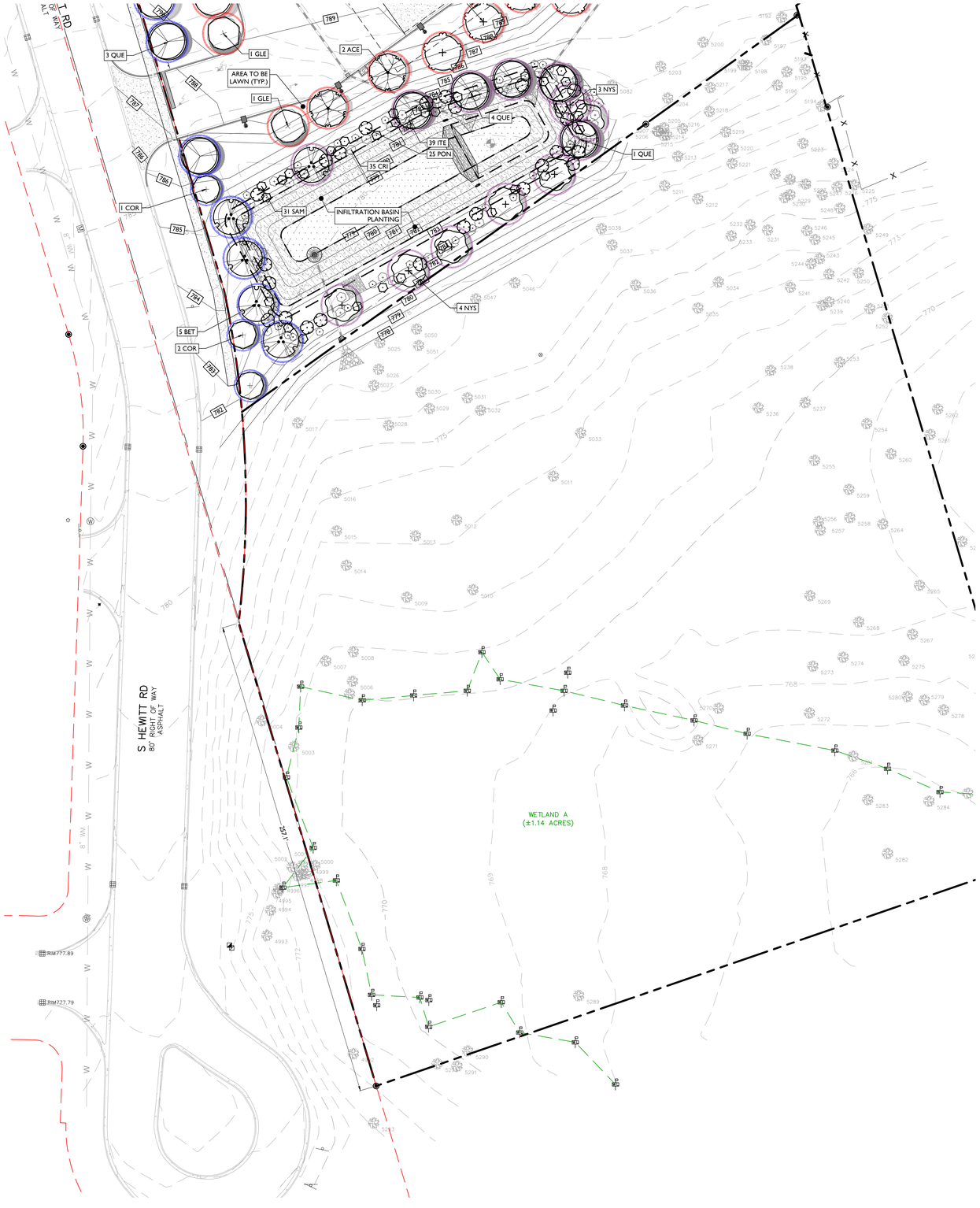
STONEFIELD engineering & design

SCALE: 1" = 30' | PROJECT ID:DET-230091.01

TITLE:
LANDSCAPING PLAN (NORTH)

DRAWING:
C-15

V:\DET\2023\DET-230091.01\SHEETS\C-15 LANDSCAPING PLAN (NORTH).DWG



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2. OVER EXCAVATE SIDES OF PLANTING PITS IN COMPACTED SOIL AREAS.

INFILTRATION BASIN PLANTING

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ECHINACEA PURPUREA / CONEFLOWER	2,796	FLAT, PLUG	25" oc
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NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

SYMBOL / DESCRIPTION

- PROPOSED PARKING LOT AND PARKING LOT PERIMETER TREES
- PROPOSED MICHIGAN AVENUE STREET TREES
- PROPOSED SOUTH HEWITT STREET TREES
- PROPOSED PERIMETER PARKING LOT TREES
- PROPOSED GENERAL SITE TREES
- STORMWATER BASIN TREES

IRRIGATION NOTE:

IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

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SITE DEVELOPMENT PLAN

SHEETZ

PROPOSED CONVENIENCE STORE AND FUEL STATION

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WASHTENAW COUNTY, MICHIGAN

STATE OF MICHIGAN
JONATHAN REID COOKSEY
ENGINEER
No. 6201060426
LICENSED PROFESSIONAL ENGINEER

STONEFIELD engineering & design

SCALE: 1" = 30' | PROJECT ID:DET-230091.01

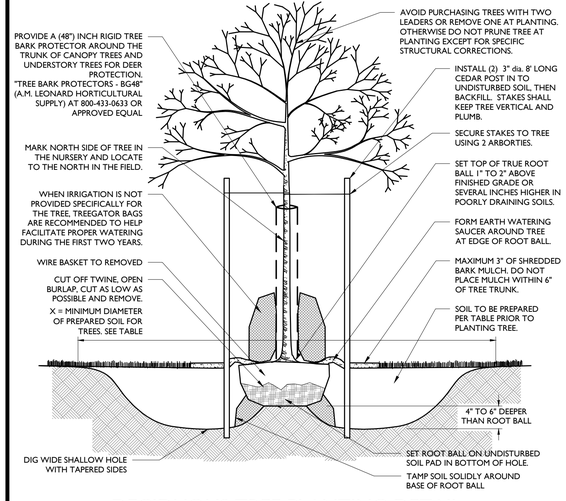
TITLE:
LANDSCAPING PLAN (SOUTH)

DRAWING:
C-16

V:\DET\2023\DET-230091.01-SHEETZ\N-CGLD-2-310 WEST MICHIGAN AVENUE, YPSILANTI CHARTER TOWNSHIP_PROJ\CD\PLOT\DSP-15-16-17-LANDS.DWG

NOTES:

1. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
2. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
3. SOIL AMENDMENTS:
   - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
   - MODIFY EXTREMELY SANDY SOILDS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX



DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE

1

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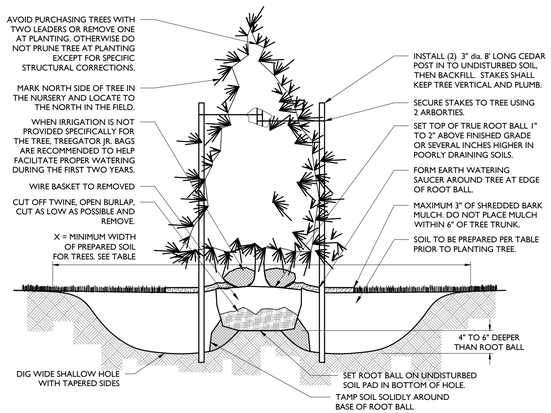


CONIFEROUS TREE PLANTING DETAIL

NOT TO SCALE

2

GENERAL LANDSCAPING NOTES:

1. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIALS, OR OWNER/OWNER'S REPRESENTATIVE. ALL WORK COMPLETED AND MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH THE INTENTION OF THE SPECIFICATIONS, DRAWINGS, AND INSTRUCTIONS AND EXECUTED WITH THE STANDARD LEVEL OF CARE FOR THE LANDSCAPE INDUSTRY.
2. WORK MUST BE CARRIED OUT ONLY DURING WEATHER CONDITIONS FAVORABLE TO LANDSCAPE CONSTRUCTION AND TO THE HEALTH AND WELFARE OF PLANTS. THE SUITABILITY OF SUCH WEATHER CONDITIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL.
3. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS, TO PROVIDE SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL, IF SO REQUESTED.
4. IF SAMPLES ARE REQUESTED, THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND SEED VERIFYING TYPE AND PURITY.
5. UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL, THE LANDSCAPE CONTRACTOR SHALL PROVIDE NOTICE AT LEAST FORTY-EIGHT HOURS (48 HRS.) IN ADVANCE OF THE ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIALS TO THE PROJECT SITE. A LEGIBLE COPY OF THE INVOICE, SHOWING VARIETIES AND SIZES OF MATERIALS INCLUDED FOR EACH SHIPMENT SHALL BE FURNISHED TO THE PROJECT LANDSCAPE DESIGNER, OR GOVERNING MUNICIPAL OFFICIAL.
6. THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL RESERVES THE RIGHT TO INSPECT AND REJECT PLANTS AT ANY TIME AND AT ANY PLACE.

PROTECTION OF EXISTING VEGETATION NOTES:

1. BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. FENCING SHALL BE LOCATED AT THE DRIP-LINE OR LIMIT OF DISTURBANCE AS DEPICTED WITHIN THE APPROVED OR FINAL PLAN SET, ESTABLISHING THE TREE PROTECTION ZONE. FENCE INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE PROTECTION FENCE DETAIL." NO WORK MAY BEGIN UNTIL THIS REQUIREMENT IS FULFILLED. THE FENCING SHALL BE INSPECTED REGULARLY BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.
2. IN ORDER TO AVOID DAMAGE TO ROOTS, BARK OR LOWER BRANCHES, NO VEHICLE, EQUIPMENT, DEBRIS, OR OTHER MATERIALS SHALL BE DRIVEN, PARKED OR PLACED WITHIN THE TREE PROTECTION ZONE. ALL ON-SITE CONTRACTORS SHALL USE ANY AND ALL PRECAUTIONARY MEASURES WHEN PERFORMING WORK AROUND TREES, WALKS, PAVEMENTS, UTILITIES, AND ANY OTHER FEATURES EITHER EXISTING OR PREVIOUSLY INSTALLED UNDER THIS CONTRACT.
3. IN RARE INSTANCES WHERE EXCAVATING, FILL, OR GRADING IS REQUIRED WITHIN THE DRIP-LINE OF TREES TO REMAIN, THE WORK SHALL BE PERFORMED AS FOLLOWS:
   - TRENCHING: WHEN TRENCHING OCCURS AROUND TREES TO REMAIN, THE TREE ROOTS SHALL NOT BE CUT, BUT THE TRENCH SHALL BE TUNNELED UNDER OR AROUND THE ROOTS BY CAREFUL HAND DIGGING AND WITHOUT INJURY TO THE ROOTS. NO ROOTS, LIMBS, OR WOODS ARE TO HAVE ANY PAINT OR MATERIAL APPLIED TO ANY SURFACE.
   - RAISING GRADES: WHEN THE GRADE AT AN EXISTING TREE IS BELOW THE NEW FINISHED GRADE, AND FILL NOT EXCEEDING 6 INCHES (6") IS REQUIRED, CLEAN, WASHED GRAVEL FROM ONE TO TWO INCHES (1" - 2") IN SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK. THE GRAVEL SHALL EXTEND OUT FROM THE TRUNK ON ALL SIDES A MINIMUM OF 18 INCHES (18") AND FINISH APPROXIMATELY TWO INCHES (2") ABOVE THE FINISH GRADE AT TREE. INSTALL GRAVEL BEFORE ANY EARTH FILL IS PLACED. NEW EARTH FILL SHALL NOT BE LEFT IN CONTACT WITH THE TRUNK OF ANY TREE REQUIRING FILL. WHERE FILL EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID TREE WELL SHALL BE CONSTRUCTED. IF APPLICABLE, TREE WELL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE WELL DETAIL."
   - LOWERING GRADES: EXISTING TREES LOCATED IN AREAS WHERE THE NEW FINISHED GRADE IS TO BE LOWERED, SHALL HAVE RE-GRADING WORK DONE BY HAND TO THE INDICATED ELEVATION, NO GREATER THAN SIX INCHES (6"). ROOTS SHALL BE CUT CLEANLY THREE INCHES (3") BELOW FINISHED GRADE UNDER THE DIRECTION OF A LICENSED ARBORIST. WHERE CUT EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID RETAINING WALL SHALL BE CONSTRUCTED. IF APPLICABLE, THE RETAINING WALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE RETAINING WALL DETAIL."

SOIL PREPARATION AND MULCH NOTES:

1. LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ALLOW FOR A TWO WEEK TURNAROUND TIME FROM SUBMITTAL OF SAMPLE TO NOTIFICATION OF RESULTS.
2. BASED ON SOIL TEST RESULTS, ADJUST THE RATES OF LIME AND FERTILIZER THAT SHALL BE MIXED INTO THE TOP SIX INCHES (6") OF TOPSOIL. THE LIME AND FERTILIZER RATES PROVIDED WITHIN THE "SEED SPECIFICATION" OR "SOD SPECIFICATION" IS APPROXIMATE AND FOR BIDDING PURPOSES ONLY. IF ADDITIONAL AMENDMENTS ARE NECESSARY, ADJUST THE TOPSOIL AS FOLLOWS:
   - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
   - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
3. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAMING CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL OBTAINED FROM A WELL-DRAINED ARABLE SITE, FREE FROM ALL CLAY, LUMPS, COARSE SANDS, STONES, PLANTS, ROOTS, STICKS, AND OTHER FOREIGN MATERIAL GREATER THAN ONE INCH (1").
4. TOPSOIL SHALL HAVE A PH RANGE OF 5.0-7.0 AND SHALL NOT CONTAIN LESS THAN 6% ORGANIC MATTER BY WEIGHT.
5. OBTAIN TOPSOIL ONLY FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT THE PROJECT SITE.
6. CONTRACTOR SHALL PROVIDE A SIX INCH (6") DEEP LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHALL BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN SOIL CONDITIONS.
7. UNLESS OTHERWISE NOTED IN THE CONTRACT, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBED AREA OF THE SITE.
8. LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE SUB-GRADE ELEVATION MEETS THE FINISHED GRADE ELEVATION (LESS THE REQUIRED TOPSOIL), IN ACCORDANCE WITH THE APPROVED OR FINAL GRADING PLAN.
9. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THE APPROVED OR FINAL CONSTRUCTION SET UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SURFACE AND SUBSURFACE PLANT BED DRAINAGE PRIOR TO THE INSTALLATION OF PLANTINGS. IF POOR DRAINAGE CONDITIONS EXIST, CORRECTIVE ACTION SHALL BE TAKEN PRIOR TO INSTALLATION. ALL PLANTING AND LAWN AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW A FREE FLOW OF SURFACE WATER.
11. DOUBLE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL SHRUB PLANTING BEDS AND AROUND ALL TREES PLANTED BY LANDSCAPE CONTRACTOR. GROUND COVER, PERENNIAL, AND ANNUAL PLANTING BEDS SHALL BE MULCHED WITH A TWO INCH (2") TOP DRESSING. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO AVOID CONTACT WITH TRUNK OR PLANT STEM. MULCH SHALL BE OF SUFFICIENT CHARACTER AS NOT TO BE EASILY DISPLACED BY WIND OR WATER RUNOFF.
12. WHENEVER POSSIBLE, THE SOIL PREPARATION AREA SHALL BE CONNECTED FROM PLANTING TO PLANTING.
13. SOIL SHALL BE LOOSENED WITH A BACKHOE OR OTHER LARGE COARSE-TILING EQUIPMENT UNLESS THE SOIL IS FROZEN OR EXCESSIVELY WET. TILING THAT PRODUCES LARGE, COARSE CHUNKS OF SOIL IS PREFERABLE TO TILING THAT RESULTS IN FINE GRAINS UNIFORM IN TEXTURE. AFTER THE AREA IS LOOSENED IT SHALL NOT BE DRIVEN OVER BY ANY VEHICLE.
14. APPLY PRE-EMERGENT WEED CONTROL TO ALL PLANT BEDS PRIOR TO MULCHING. ENSURE COMPATIBILITY BETWEEN PRODUCT AND PLANT MATERIAL.
15. ALL PLANTING SOIL SHALL BE AMENDED WITH THE FOLLOWING:

MYCRO® TREE SAVER - A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT THAT IS MIXED IN THE BACKFILL WHEN PLANTING TREES AND SHRUBS. IT CONTAINS SPORES OF BOTH ECTOMYCORRHIZAL AND VA MYCORRHIZAL FUNGI (VAM), BENEFICIAL RHIZOSPHERE BACTERIA, TERRA-SORB SUPERABSORBENT HYDROGEL TO REDUCE WATER LEACHING, AND SELECTED ORGANIC MICROBIAL NUTRIENTS.

- DIRECTIONS FOR USE: USE 3-OZ PER EACH FOOT DIAMETER OF THE ROOT BALL, OR 3-OZ PER INCH CALIPER. MIX INTO THE BACKFILL WHEN TRANSPLANTING TREES AND SHRUBS. MIX PRODUCT IN A RING-SHAPED VOLUME OF SOIL AROUND THE UPPER PORTION OF THE ROOT BALL, EXTENDING FROM THE SOIL SURFACE TO A DEPTH OF ABOUT 8 INCHES, AND EXTENDING OUT FROM THE ROOT BALL ABOUT 8 INCHES INTO THE BACKFILL. APPLY WATER TO SOIL SATURATION.
- MYCOR® TREE SAVER® IS EFFECTIVE FOR ALL TREE AND SHRUB SPECIES EXCEPT RHODODENDRONS, AZALEAS, AND MOUNTAIN LAUREL, WHICH REQUIRE ERICOID MYCORRHIZAE.
- SOIL PH: THE FUNGI IN THIS PRODUCT WERE CHOSEN BASED ON THEIR ABILITY TO SURVIVE AND COLONIZE PLANT ROOTS IN A PH RANGE OF 3 TO 9.
- FUNGICIDES: THE USE OF CERTAIN FUNGICIDES CAN HAVE A DETRIMENTAL EFFECT ON THE INOCULATION PROGRAM. SOIL APPLICATION OF ANY FUNGICIDE IS NOT RECOMMENDED FOR TWO WEEKS AFTER APPLICATION.
- OTHER PESTICIDES: HERBICIDES AND INSECTICIDES DO NOT NORMALLY INTERFERE WITH MYCORRHIZAL FUNGAL DEVELOPMENT, BUT MAY INHIBIT THE GROWTH OF SOME TREE AND SHRUB SPECIES IF NOT USED PROPERLY.

HEALTHY START MACRO TABS 12-8-8

- FERTILIZER TABLETS ARE PLACED IN THE UPPER 4 INCHES OF BACKFILL SOIL WHEN PLANTING TREES AND SHRUBS.
- TABLETS ARE FORMULATED FOR LONG-TERM RELEASE BY SLOW BIODEGRADATION, AND LAST UP TO 2 YEARS AFTER PLANTING. TABLETS CONTAIN 12-8-8 NPK FERTILIZER, AS WELL AS A MINIMUM OF SEVEN PERCENT (7%) HUMIC ACID BY WEIGHT, MICROBIAL NUTRIENTS DERIVED FROM SEA KELP, PROTEIN BYPRODUCTS, AND YUCCA SCHIDIGERA, AND A COMPLEMENT OF BENEFICIAL RHIZOSPHERE BACTERIA. THE STANDARD 21 GRAM TABLET IS SPECIFIED HERE. DIRECTIONS FOR USE: FOR PLANTING BALLED & BURLAPPED (B&B) TREES AND SHRUBS, MEASURE THE THICKNESS OF THE TRUNK, AND USE ABOUT 1 TABLET (21-G) PER HALF-INCH. PLACE THE TABLETS DIRECTLY NEXT TO THE ROOT BALL, EVENLY DISTRIBUTED AROUND ITS PERIMETER, AT A DEPTH OF ABOUT 4 INCHES.

PLANT QUALITY AND HANDLING NOTES:

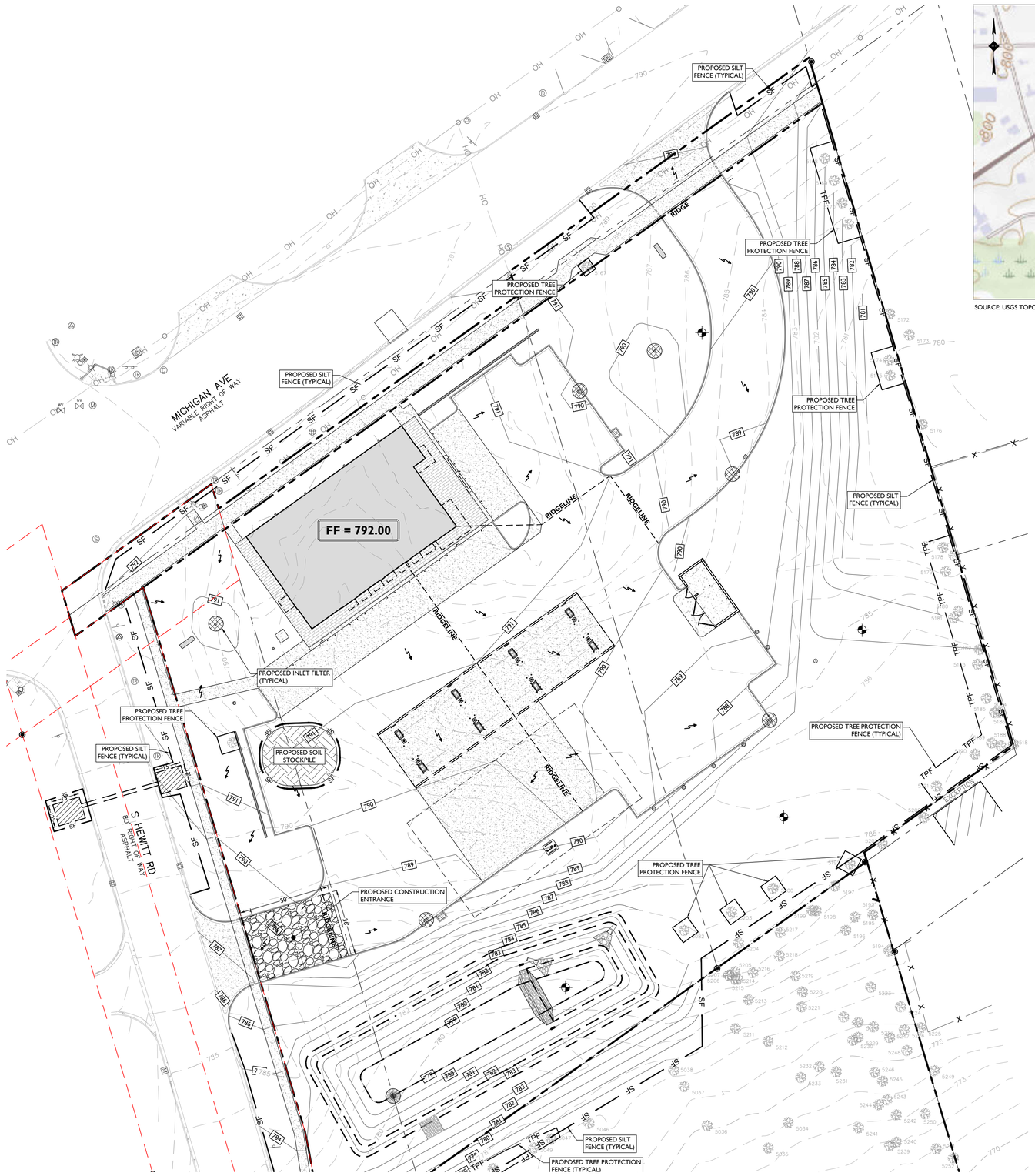
1. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) OR LATEST REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
2. IN ALL CASES, BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER COMMON NAMES.
3. ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL HAVE A NORMAL HABIT OR SOUND, HEALTHY, VIGOROUS PLANTS WITH WELL DEVELOPED ROOT SYSTEM. PLANTS SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE.
4. PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (1-1/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE REJECTED.
5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE.
6. THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.
7. ALL PLANTS DESIGNATED BALL AND BURLAP (B&B) MUST BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. THE DIAMETER AND DEPTH OF THE BALLS OF EARTH MUST BE SUFFICIENT TO ENCOMPASS THE FIBROUS ROOT FEEDING SYSTEMS NECESSARY FOR THE HEALTHY DEVELOPMENT OF THE PLANT. NO PLANT SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN PREPARATORY TO OR DURING THE PROCESS OF PLANTING. THE BALLS SHALL REMAIN INTACT DURING ALL OPERATIONS. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HEELED-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL OR MULCH AND THEN WATERING. HEMP BURLAP AND TWINE IS PREFERABLE TO TREATED. IF TREATED BURLAP IS USED, ALL TWINE IS TO BE CUT FROM AROUND THE TRUNK AND ALL BURLAP IS TO BE REMOVED.
8. PLANTS TRANSPORTED TO THE PROJECT IN OPEN VEHICLES SHALL BE COVERED WITH TARPS OR OTHER SUITABLE COVERS SECURELY FASTENED TO THE BODY OF THE VEHICLE TO PREVENT INJURY TO THE PLANTS. CLOSED VEHICLES SHALL BE ADEQUATELY VENTILATED TO PREVENT OVERHEATING OF THE PLANTS. EVIDENCE OF INADEQUATE PROTECTION FOLLOWING DIGGING, CARELESSNESS WHILE IN TRANSIT, OR IMPROPER HANDLING OR STORAGE SHALL BE CAUSE FOR REJECTION OF PLANT MATERIAL. ALL PLANTS SHALL BE KEPT MOIST, FRESH, AND PROTECTED. SUCH PROTECTION SHALL ENCOMPASS THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE.
9. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING DETAILS.
10. LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT PLANTED IMMEDIATELY ON SITE, PROPER CARE SHALL BE TAKEN TO PLACE THE PLANTINGS IN PARTIAL SHADE WHEN POSSIBLE. THE ROOT BALL SHALL BE KEPT MOIST AT ALL TIMES AND COVERED WITH MOISTENED MULCH OR ALGED WOODCHIPS. PROPER IRRIGATION SHALL BE SUPPLIED SO AS TO NOT ALLOW THE ROOT BALL TO DRY OUT. PLANTINGS SHALL BE UNTIED AND PROPER SPACING SHALL BE ALLOTTED FOR AIR CIRCULATION AND TO PREVENT DISEASE, WILTING, AND LEAF LOSS. PLANTS THAT REMAIN UNPLANTED FOR A PERIOD OF TIME GREATER THAN THREE (3) DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH AND WATERED AS REQUIRED TO PRESERVE ROOT MOISTURE.
11. NO PLANT MATERIAL SHALL BE PLANTED IN MUDDY OR FROZEN SOIL.
12. PLANTS WITH INJURED ROOTS OR BRANCHES SHALL BE PRUNED PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY DISEASED OR INJURED PLANTS SHALL BE REMOVED.
13. IF ROCK OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED, THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO RELOCATE OR ENLARGE PLANTING PITS OR DELETE PLANT MATERIAL FROM THE CONTRACT.
14. IF PLANTS ARE PROPOSED WITHIN SIGHT TRIANGLES, TREES SHALL BE LIMBED AND MAINTAINED TO A HEIGHT OF EIGHT FEET (8') ABOVE GRADE, AND SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2') ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR AGENCY.
15. INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS:
    PLANTS (MARCH 15 - DECEMBER 15)
    LAWNS (MARCH 15 - JUNE 15 OR SEPTEMBER 1 - DECEMBER 1)
16. THE FOLLOWING TREES ARE SUSCEPTIBLE TO TRANSPLANT SHOCK AND SHALL NOT BE PLANTED DURING THE FALL SEASON (STARTING SEPTEMBER 15):

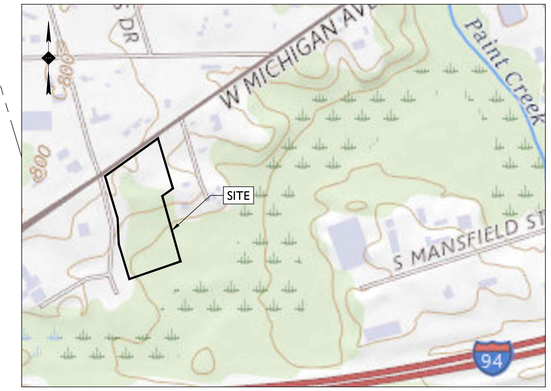
ABIES CONCOLOR	CORNUS VARIETIES	OSTRYA VIRGINIANA
ACER BUERGERIANUM	CRATAEGUS VARIETIES	PINUS NIGRA
ACER FREEMANII	CUPRESSOCYPARIS LEYLANDII	PLATANUS VARIETIES
ACER RUBRUM	FAGUS VARIETIES	POPULUS VARIETIES
ACER SACCHARINUM	HALESIA VARIETIES	PRUNUS VARIETIES
BETULA VARIETIES	ILEX X FOSTERII	PYRUS VARIETIES
CARPINUS VARIETIES	ILEX NELLIE STEVENS	QUERCUS VARIETIES (NOT Q. PALUSTRIS)
CEDRUS DEODARA	ILEX OPACA	SALIX WEEPING VARIETIES
CELTIS VARIETIES	JUNIPERUS VIRGINIANA	SORBUS VARIETIES
CERCIDIPHYLLUM VARIETIES	KOELREUTERIA PANICULATA	TAXODIUM VARIETIES
CERCIS CANADENSIS	LIQUIDAMBAR VARIETIES	TAXUX X REPANDENS
CORNUS VARIETIES	LIRIODENDRON VARIETIES	TILIA TOMENTOSA VARIETIES
CRATAEGUS VARIETIES	MALUS IN LEAF	ULMUS PARVIFOLIA VARIETIES
	NYSSA SYLVATICA	ZELKOVA VARIETIES

17. IF A PROPOSED PLANT IS UNATTAINABLE OR ON THE FALL DIGGING HAZARD LIST, AN EQUIVALENT SPECIES OF THE SAME SIZE MAY BE REQUESTED FOR SUBSTITUTION OF THE ORIGINAL PLANT. ALL SUBSTITUTIONS SHALL BE APPROVED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL PRIOR TO ORDERING OR INSTALLATION.
18. DURING THE COURSE OF CONSTRUCTION/PLANT INSTALLATION, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY AND PROMPTLY REMOVED AT THE END OF EACH WORK DAY. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF AND ALL PAVED AREAS SHALL BE CLEANED.
19. THE LANDSCAPE CONTRACTOR SHALL DISPOSE OF ALL RUBBISH AND EXCESS SOIL AT HIS EXPENSE TO AN OFF-SITE LOCATION AS APPROVED BY THE LOCAL MUNICIPALITY.
20. A 90-DAY MAINTENANCE PERIOD SHALL BEGIN IMMEDIATELY AFTER ALL PLANTS HAVE BEEN SATISFACTORILY INSTALLED.
21. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR OTHER MEANS, REPAIRING AND RESHAPING WATER RINGS OR SAUCERS, MAINTAINING STAKES AND GUYS IF ORIGINALLY REQUIRED, WATERING WHEN NEEDED OR DIRECTED, WEEDING, PRUNING, SPRAYING, FERTILIZING, MOWING THE LAWN, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION.
22. MOW ALL GRASS AREAS AT REGULAR INTERVALS TO KEEP THE GRASS HEIGHT FROM EXCEEDING THREE INCHES (3"). MOWING SHALL BE PERFORMED ONLY WHEN GRASS IS DRY. MOWER BLADE SHALL BE SET TO REMOVE NO MORE THAN ONE THIRD (1/3) OF THE GRASS LENGTH. WHEN THE AMOUNT OF GRASS IS HEAVY, IT SHALL BE REMOVED TO PREVENT DESTRUCTION OF THE UNDERLYING TURF. MOW GRASS AREAS IN SUCH A MANNER AS TO PREVENT CLIPPINGS FROM BLOWING ON PAVED AREAS, AND SIDEWALKS. CLEANUP AFTER MOWING SHALL INCLUDE SWEEPING OR BLOWING OF PAVED AREAS AND SIDEWALKS TO CLEAR THEM FROM MOWING DEBRIS.
23. GRASSED AREAS DAMAGED DURING THE PROCESS OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL RESTORE THE DISTURBED AREAS TO A CONDITION SATISFACTORY TO THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. THIS MAY INCLUDE FILLING TO GRADE, FERTILIZING, SEEDING, AND MULCHING.
24. SHOULD THE OWNER REQUIRE MAINTENANCE BEYOND THE STANDARD 90-DAY MAINTENANCE PERIOD, A SEPARATE CONTRACT SHALL BE ESTABLISHED.
25. LANDSCAPE CONTRACTOR SHALL WATER NEW PLANTINGS FROM TIME OF INSTALL AND THROUGHOUT REQUIRED 90-DAY MAINTENANCE PERIOD UNTIL PLANTS ARE ESTABLISHED. IF ON-SITE WATER IS NOT AVAILABLE AT THE PROJECT LOCATION, THE LANDSCAPE CONTRACTOR SHALL FURNISH IT BY MEANS OR A WATERING TRUCK OR OTHER ACCEPTABLE MANNER.
26. THE QUANTITY OF WATER APPLIED AT ONE TIME SHALL BE SUFFICIENT TO PENETRATE THE SOIL TO A MINIMUM OF EIGHT INCHES (8") IN SHRUB BEDS AND SIX INCHES (6") IN TURF AREAS AT A RATE WHICH WILL PREVENT SATURATION OF THE SOIL.
27. IF AN AUTOMATIC IRRIGATION SYSTEM HAS BEEN INSTALLED, IT CAN BE USED FOR WATERING PLANT MATERIAL. HOWEVER, FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY OF PLANT HEALTH AND ESTABLISHMENT.

PLANT MATERIAL GUARANTEE NOTES:

1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR (1 YR.) FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE.
2. THE LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE DYING, DEAD, OR DEFECTIVE PLANT MATERIAL AT HIS EXPENSE. THE LANDSCAPE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS COMPANY'S OPERATIONS.
3. ALL REPLACEMENT PLANTS SHALL BE OF THE SAME SPECIES AND SIZ





SOURCE: USGS TOPOGRAPHICAL MAPPER, DATE RETRIEVED 12/22/2023

LOCATION MAP

SCALE: 1" = 500'±

SEQUENCE OF CONSTRUCTION

1. INSTALL SILT FENCE AND TREE PROTECTION FENCE (1 DAY)
2. REMOLISH PAVEMENT, SIDEWALK, AND RESIDENCE (10 DAYS)
3. BUILDING CONSTRUCTION AND SITE IMPROVEMENTS (180 DAYS)
4. FINAL STABILIZATION / LANDSCAPING (10 DAYS)
5. REMOVE SOIL EROSION MEASURES (1 DAY)

NOTE: TIME DURATIONS ARE APPROXIMATE AND ARE INTEDED TO ACT AS A GENERAL GUIDE TO THE CONSTRUCTION TIMELINE. ALL DURATIONS ARE SUBJECT TO CHANGE BY CONTRACTOR. CONTRACTOR SHALL SUBMIT CONSTRUCTION SCHEDULE TO TOWNSHIP AND ENGINEER. CONTRACTOR SHALL PHASE CONSTRUCTION ACCORDINGLY.

SYMBOL	DESCRIPTION
	PROPERTY BOUNDARY
	ADJACENT PROPERTY BOUNDARY
LOD	PROPOSED LIMIT OF DISTURBANCE
SF	PROPOSED SILT FENCE
TPF	PROPOSED TREE PROTECTION FENCE
	PROPOSED STOCKPILE & EQUIPMENT STORAGE
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
	PROPOSED INLET PROTECTION FILTER

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
3. THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN 1 INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND DOCUMENT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.
4. ALL DEBRIS WITHIN PROPERTY LIMITS TO BE PICKED UP WEEKLY OR AS NEEDED.

SOIL CHARACTERISTICS CHART

TYPE OF SOIL	OSHTEMO LOAMY SAND (OsC)
PERCENT OF SITE COVERAGE	53.7%
HYDROLOGIC SOIL GROUP	A
DEPTH TO RESTRICTIVE LAYER	> 80 INCHES
SOIL PERMEABILITY	1.98 TO 5.95 IN / HR
DEPTH TO WATER TABLE	> 80 INCHES

SOIL CHARACTERISTICS CHART

TYPE OF SOIL	OSHTEMO LOAMY SAND (OsB)
PERCENT OF SITE COVERAGE	23.8%
HYDROLOGIC SOIL GROUP	A
DEPTH TO RESTRICTIVE LAYER	> 80 INCHES
SOIL PERMEABILITY	1.98 TO 5.95 IN / HR
DEPTH TO WATER TABLE	> 80 INCHES

SOIL CHARACTERISTICS CHART

TYPE OF SOIL	KIBBIE FINE SANDY LOAM (KnA)
PERCENT OF SITE COVERAGE	13.0%
HYDROLOGIC SOIL GROUP	B / D
DEPTH TO RESTRICTIVE LAYER	> 80 INCHES
SOIL PERMEABILITY	0.57 TO 1.98 IN / HR
DEPTH TO WATER TABLE	12 TO 24 INCHES

SOIL CHARACTERISTICS CHART

TYPE OF SOIL	ST. CLAIR CLAY LOAM (StB)
PERCENT OF SITE COVERAGE	4.8%
HYDROLOGIC SOIL GROUP	D
DEPTH TO RESTRICTIVE LAYER	> 80 INCHES
SOIL PERMEABILITY	0.06 TO 0.20 IN / HR
DEPTH TO WATER TABLE	24 TO 36 INCHES

SOIL CHARACTERISTICS CHART

TYPE OF SOIL	MORLEY LOAM (MoC)
PERCENT OF SITE COVERAGE	4.7%
HYDROLOGIC SOIL GROUP	C
DEPTH TO RESTRICTIVE LAYER	26 TO 40 INCHES
SOIL PERMEABILITY	0.01 TO 0.20 IN / HR
DEPTH TO WATER TABLE	> 80 INCHES

ENVIRONMENTAL NOTES:

1. **PAINT CREEK IS LOCATED ± 2,210 FT TO THE EAST OF THE SITE**
2. **THE SOUTHERN PORTION OF PARCEL 2 CONTAINS WETLANDS IDENTIFIED PER ASTI ENVIRONMENTAL WETLAND DELINEATION REPORT**
3. **NO PORTION OF THIS SITE LIES WITHIN A FLOOD HAZARD AREA**
4. **ALL ELEVATIONS SHOWN ARE BASED ON NAVD 1988 DATUM**

30' 0' 30' 60'

GRAPHIC SCALE IN FEET
1" = 30'

ISSUE	DATE	BY	DESCRIPTION
3	06/12/2024	KH	REVISED FOR SITE PLAN REVIEW
2	05/09/2024	NB/JD	FOR SITE PLAN REVIEW
1	04/09/2024	NB/JD	FOR SITE PLAN REVIEW

NOT APPROVED FOR CONSTRUCTION

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607 Shelby Suite 200, Detroit, MI 48226
Phone 248.247.1115

SITE DEVELOPMENT PLAN

SHEETZ

PROPOSED CONVENIENCE STORE AND FUEL STATION

PID: K-11-39-350-023, K-11-18-100-019
2103 WEST MICHIGAN AVENUE
CHARTER TOWNSHIP OF YPSILANTI
WASHTENAW COUNTY, MICHIGAN

STATE OF MICHIGAN
JONATHAN FRED GOODSEY
ENGINEER
No. 6201060426
LICENSED PROFESSIONAL ENGINEER

STONEFIELD engineering & design

SCALE: 1" = 30' | PROJECT ID: DET-230091.01

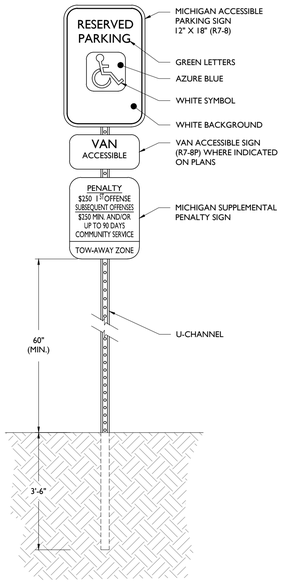
TITLE:

SOIL EROSION & SEDIMENT CONTROL PLAN

DRAWING:

C-18

V:\DET\2023\DET-230091.01 (MILKEN) GOLD-130 WEST MICHIGAN AVENUE, YPSILANTI CHARTER TOWNSHIP, MI\CADD\PLOT\PLAN-18-SESC.DWG

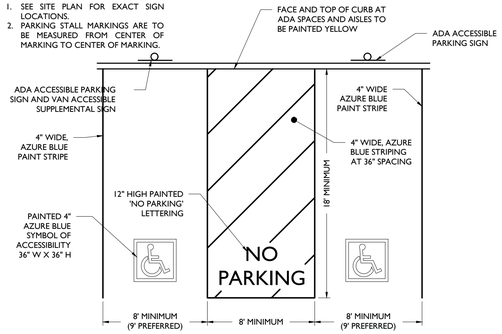


ACCESSIBLE PARKING SIGN DETAIL

NOT TO SCALE

1

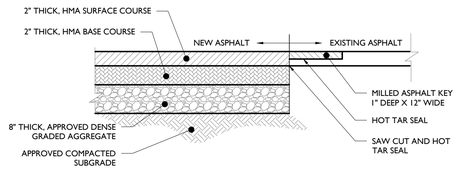
NOTES:
1. SEE SITE PLAN FOR EXACT SIGN LOCATIONS.
2. PARKING STALL MARKINGS ARE TO BE MEASURED FROM CENTER OF MARKING TO CENTER OF MARKING.



ACCESSIBLE PARKING STALL MARKINGS

NOT TO SCALE

2



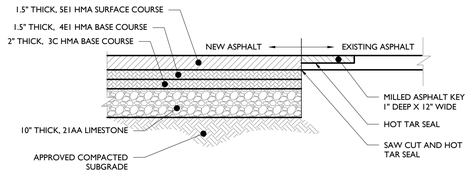
FULL DEPTH ASPHALT PAVEMENT DETAIL

NOT TO SCALE

NOTE:
HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

(FOR USE ON PRIVATE PROPERTY)

3



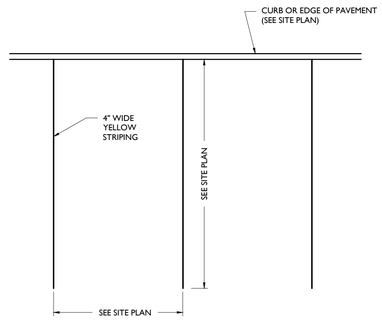
FULL DEPTH ASPHALT PAVEMENT DETAIL

NOT TO SCALE

NOTE:
HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

(FOR USE IN COUNTY RIGHT-OF-WAY)

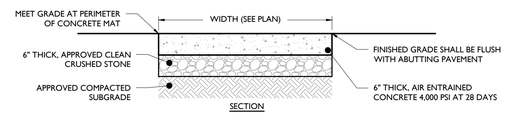
4



PARKING STALL MARKINGS

NOT TO SCALE

5

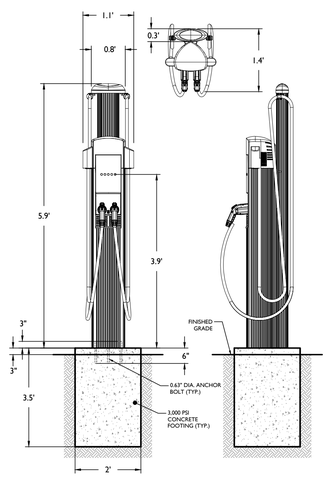


CONCRETE PAVEMENT

NOT TO SCALE

NOTES:
1. ½" EXPANSION JOINTS WITH WATER SEAL SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED ¼" FROM THE SURFACE. LONGITUDINAL REBAR TO BE CUT AT EXPANSION JOINTS.
2. 1" DEEP BY ½" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT MID-POINT BETWEEN EXPANSION JOINTS OR 6' INTERVALS MAX.
3. CONCRETE SHALL RECEIVE BROOM FINISH.
4. ALL EXPOSED CORNERS TO HAVE 12" CHAMFER.

6

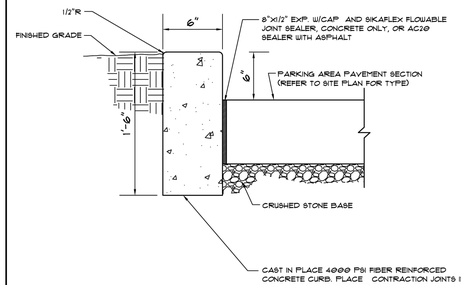


NOTES:
1. EV CHARGING STATION SHALL BE CT4000 AS MANUFACTURED BY CHARGEPOINT, OR APPROVED EQUAL.
2. INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.

EV CHARGING STATION DETAIL

NOT TO SCALE

7



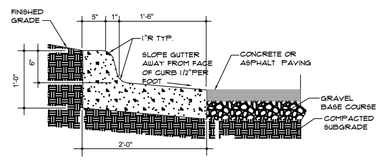
CAST IN PLACE 4000 PSI FIBER REINFORCED CONCRETE CURB. PLACE CONTRACTION JOINTS IN CURBING TO FORM INCREMENTS NOT EXCEEDING 25 LIN. FT. AND EXPANSION JOINTS THROUGH CURBING TO FORM INCREMENTS NOT EXCEEDING 75 LIN. FT.

SITE AND STORE PERIMETER CURBING

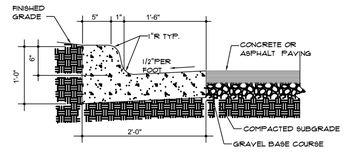
SCALE: NO SCALE

Convenience Architecture and Design P.C. 351 Sheetz Way, Claysburg, PA 16625 (814)239-6013	SITE AND STORE PERIMETER CURBING	SCALE: AS NOTED; DATE: 04/19/2023; DRAWN BY: Elias; CHECKED BY: Jeff; FILENAME: DETAIL-1	03

8



SPILL TYPE



CATCH TYPE

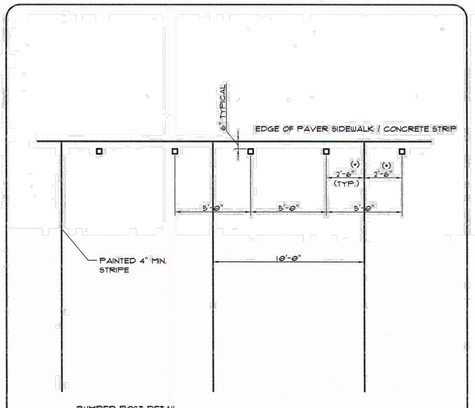
CURB AND GUTTER

SCALE: NO SCALE

NOTE:
- CONTRACTION JOINTS TO BE PLACED 10' O.C.,
- EXPANSION JOINTS TO BE PLACED 75' O.C. TYP.
- 1/4" PRE-MOLDED BITUMINOUS EXPANSION JOINT WHEN ADJACENT TO CONCRETE PAVING
- CONCRETE SHALL BE 4,000 PSI FIBER MESH CONCRETE UNLESS OTHERWISE REQUIRED BY LOCAL JURISDICTION.
- AT CONTRACTOR OPTION, GUTTER THICKNESS MAY BE INCREASED AT END OF GUTTER TO MATCH THICKNESS OF ASPHALT/CONCRETE PAVEMENT SECTION
- GUTTER PAN SLOPE TO BE ADJUSTED WITHIN ACCESSIBLE PARKING SPACES TO MATCH SLOPE BETWEEN SPOT ELEVATIONS

Convenience Architecture and Design P.C. 351 Sheetz Way, Claysburg, PA 16625 (814)239-6013	CURB AND GUTTER	SCALE: AS NOTED; DATE: 04/19/2023; DRAWN BY: Elias; CHECKED BY: Jeff; FILENAME:	15

9



BUMPER POST DETAIL

SCALE: NO SCALE

• 2'-3" FOR 9.5' WIDE PARKING SPACE
2'-0" FOR 9.0' WIDE PARKING SPACE

USE THIS DETAIL IF PAVEMENT IS PAVED UP TO TOP OF SIDEWALK.

Convenience Architecture and Design P.C. 351 Sheetz Way, Claysburg, PA 16625 (814)239-6013	BUMPERPOST LAYOUT DETAIL AT PAVER SIDEWALK	SCALE: AS NOTED; DATE: 04/19/2023; DRAWN BY: Jeff; CHECKED BY: Jeff; FILENAME: DETAIL-4	08

10

ISSUE	DATE	BY	DESCRIPTION
3	06/12/2024	KH	REVISED FOR SITE PLAN REVIEW
2	05/09/2024	NB/JD	FOR SITE PLAN REVIEW
1	04/09/2024	NB/JD	FOR SITE PLAN REVIEW

NOT APPROVED FOR CONSTRUCTION

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www.stonefieldeng.com
607 Shelby Suite 200, Detroit, MI 48226
Phone 248.247.1115

SITE DEVELOPMENT PLAN

SHEETZ

PROPOSED CONVENIENCE STORE AND FUEL STATION

PID: K-11-39-350-022, K-11-39-350-023, K-11-18-100-019
2103 WEST MICHIGAN AVENUE
CHARTER TOWNSHIP OF YPSILANTI
WASHTENAW COUNTY, MICHIGAN

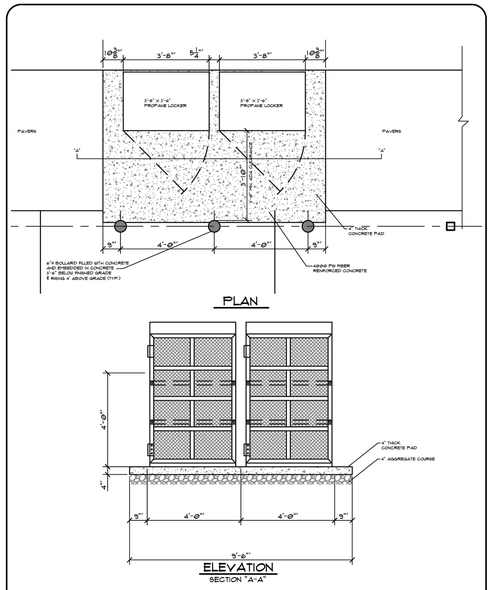
STATE OF MICHIGAN · JONATHAN REID COOKSEY · ENGINEER · No. 6201064128 · PROFESSIONAL ENGINEER

STONEFIELD engineering & design

SCALE: AS SHOWN | PROJECT ID: DET-230091.01

TITLE: CONSTRUCTION DETAILS

DRAWING: C-19



PLAN

ELEVATION
SECTION "A-A"

SHEETZ

PROPANE LOCKER (AT BUILDING) (MICHIGAN ONLY)

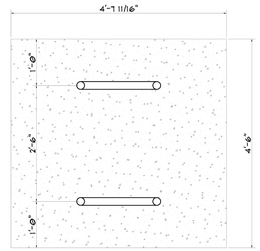
SCALE:
DATE: 2/2/2024
DRAWN BY: DAH

54

DATE	BY	DESCRIPTION

REVISIONS

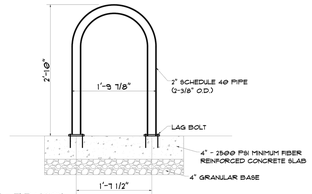
1



REFER TO SITE PLAN FOR ACTUAL LIMITS OF BIKE RACK AND NUMBER OF RACKS

BIKE RACK PLAN VIEW - COLUMBUS APPROVED
SCALE: NO SCALE

INVERTED "U" TYPE BIKE RACK
BELSON OUTDOORS U
MODEL #U338-SF-G



BIKE RACK - ELEVATION
SCALE: NO SCALE

DATE	BY	DESCRIPTION

REVISIONS

Convenience Architecture and Design P.C.
351 Sheetz Way, Claysburg, PA 16625 (814)239-6013

BIKE RACK

SCALE: AS NOTED
DATE: 05/09/2024
DRAWN BY: Eden
FILENAME:

24

2

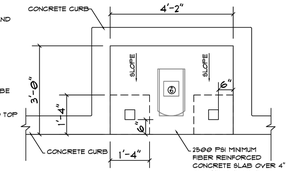
AIR MACHINE PAD NOTES:
ELECTRICAL NEEDS ARE A 120-VAC 30-AMP #10 WIRE CIRCUITS WITH GROUND

POWER CONDUIT FROM BUILDING TO AIR MACHINE IS TO BE RIGID PVC WITH FIRST AND LAST 10' IN RIGID METAL CONDUIT AND BYS FITTINGS AT BOTH ENDS. TERMINATED IN RECESSED 6" PVC SLEEVE UNDER AIR MACHINE.

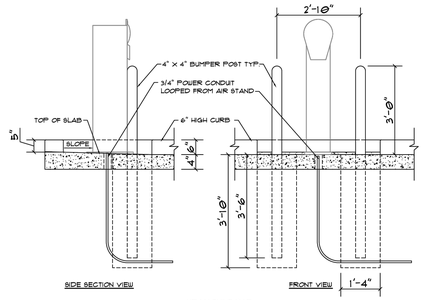
USE WEDGE ANCHOR BOLTS TO MOUNT AIR STAND.

BOLLARDS ARE 4" X 4" BUMPER POST TO BE PAINTED DARK BRONZE.

MAXIMUM DISTANCE FROM FINAL GRADE TO TOP BUTTON ON AIR MACHINE TO BE 48"



PLAN VIEW



SIDE SECTION VIEW

FRONT VIEW

AIR MACHINE PAD
SCALE: NO SCALE

DATE	BY	DESCRIPTION

REVISIONS

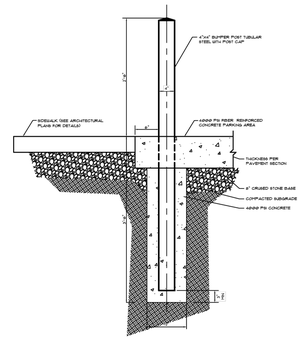
SHEETZ

AIR MACHINE PAD DETAILS (MICHIGAN ONLY)

SCALE:
DATE: 2/2/2024
DRAWN BY: DAH

52

3



STOREFRONT BUMPER POST FLUSH SIDEWALK
SCALE: NO SCALE

DATE	BY	DESCRIPTION

REVISIONS

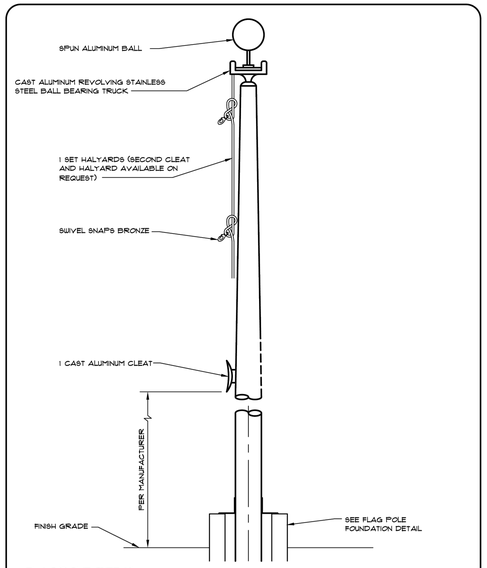
SHEETZ

STOREFRONT BUMPER POST DETAIL (MICHIGAN ONLY)

SCALE:
DATE: 2/2/2024
DRAWN BY: DAH

51

4



FLAGPOLE DETAIL
SCALE: NO SCALE

DATE	BY	DESCRIPTION

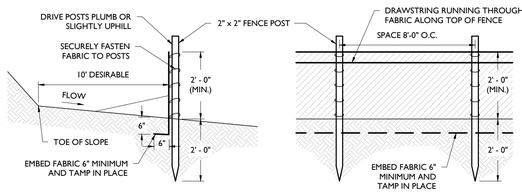
REVISIONS

Convenience Architecture and Design P.C.
351 Sheetz Way, Claysburg, PA 16625 (814)239-6013

FLAGPOLE DETAIL

SCALE: AS NOTED
DATE: 2/2/2024
DRAWN BY: HPF
FILENAME: DETAIL 4
11

5

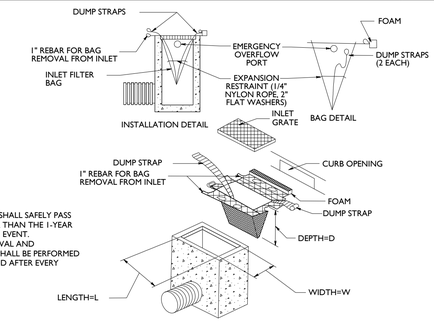


NOTES:
1. SECURELY FASTEN GEOTEXTILE TO FENCE POST BY USE OF WIRE TIES, HOG RINGS, STAPLES OR POCKETS. FOUR TO SIX FASTENERS PER POST.
2. GEOTEXTILE FABRIC TO BE EMBEDDED 6" (MIN.) AND TAMP IN PLACE.
3. SECURELY FASTEN ENDS OF INDIVIDUAL ROLLS OF GEOTEXTILE TO A POST BY WRAPPING EACH END OF THE GEOTEXTILE AROUND THE POST TWICE AND ATTACHING AS SPECIFIED IN NOTE 1 ABOVE. SPLICING OF INDIVIDUAL ROLLS SHALL NOT OCCUR AT LOW POINTS.
4. SET SILT FENCE WITHIN PROJECT LIMITS. 10'-0" IS DESIRABLE.

SILT FENCE DETAIL

NOT TO SCALE

6

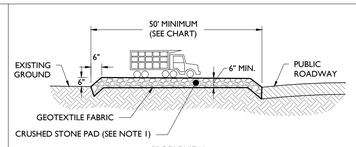


NOTES:
1. THE FILTER BAG SHALL SAFELY PASS FLOWS GREATER THAN THE 1-YEAR 24-HOUR STORM EVENT.
2. SEDIMENT REMOVAL AND MAINTENANCE SHALL BE PERFORMED FREQUENTLY AND AFTER EVERY STORM EVENT.

INLET FILTER BAG DETAIL

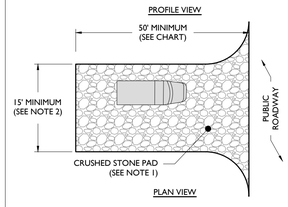
NOT TO SCALE

7



PROFILE VIEW

SLOPE OF PUBLIC ROADWAY	LENGTH OF STONE REQ'D	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0% TO 2%	50 FEET	100 FEET
2% TO 5%	100 FEET	200 FEET
> 5%	SEE NOTE 4	



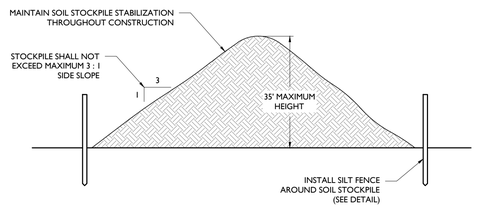
PLAN VIEW

NOTES:
1. STONE SHALL BE ASTM C-33, SIZE No. 2 (2.5" TO 1.5") OR No. 3 (2" TO 1") CLEAN CRUSHED ANGULAR STONE.
2. WIDTH SHALL BE 15' MINIMUM OR THE FULL WIDTH OF THE ACCESS POINT, WHICHEVER IS GREATER.
3. STORMWATER FROM UP-SLOPE AREAS SHALL BE DIVERTED AWAY FROM THE STABILIZED PAD, WHERE POSSIBLE. AT POORLY DRAINED LOCATIONS, SUBSURFACE DRAINAGE GRAVEL FILTER OR GEOTEXTILE SHALL BE INSTALLED BEFORE THE STABILIZED CONSTRUCTION ENTRANCE.
4. WHERE THE SLOPE OF THE ROADWAY EXCEEDS 5%, A STABILIZED BASE OF HOT MIX ASPHALT BASE COURSE SHALL BE INSTALLED. THE TYPE AND THICKNESS OF THE BASE COURSE AND USE OF DENSE GRADED AGGREGATE SUB-BASE SHALL BE AS PRESCRIBED BY LOCAL MUNICIPAL ORDINANCE OR GOVERNING AUTHORITY.
5. CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN THE STABILIZED CONSTRUCTION ACCESS AND THE PUBLIC ROADWAY.

STABILIZED CONSTRUCTION ACCESS DETAIL

NOT TO SCALE

8

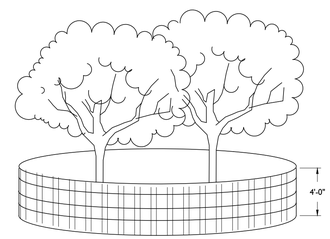


NOTES:
1. STOCKPILES SHALL BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
2. STOCKPILES SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT OR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, AS APPROPRIATE (SEE SOIL EROSION NOTES).

SOIL STOCKPILE DETAIL

NOT TO SCALE

9



NOTES:
1. SNOW FENCING IS TO BE 4'-0" HIGH AND SELF SUPPORTED.
2. DO NOT STOCKPILE MATERIALS OR STORE EQUIPMENT WITHIN THE TREE PROTECTION FENCING.
3. SNOW FENCE TO BE INSTALLED AT DRIP LINE OF EXISTING TREE OR TREE CLUSTER TO BE PROTECTED OR NO CLOSER THAN 6' FROM TREE TRUNK IF NECESSARY.
4. IF THE PROJECT AREA ENCOMPASSES A PORTION OF THE DRIP LINE OF THE TREE, NO MORE THAN ONE THIRD OF THE OF THE TOTAL AREA OF WITHIN THE DRIP LINE SHOULD BE DISTURBED BY CONSTRUCTION OR REGRADING AND A 3" THICK LAYER OF MULCH SHALL BE INSTALLED OVER THE AREA OF THE DRIP LINE WHICH IS NOT PROTECTED BY FENCING TO PROVIDE A CUSHION.

TREE PROTECTION DETAIL

NOT TO SCALE

10

ISSUE	DATE	BY	DESCRIPTION
3	06/12/2024	KH	REVISED FOR SITE PLAN REVIEW
2	05/09/2024	NB/JD	FOR SITE PLAN REVIEW
1	04/09/2024	NB/JD	FOR SITE PLAN REVIEW

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SITE DEVELOPMENT PLAN

SHEETZ

PROPOSED CONVENIENCE STORE AND FUEL STATION

PID: K-11-39-350-022, K-11-39-350-023, K-11-18-100-019
2103 WEST MICHIGAN AVENUE
CHARTER TOWNSHIP OF YPSILANTI
WASHTENAW COUNTY, MICHIGAN

STATE OF MICHIGAN
JONATHAN REID GOODSBY
ENGINEER
No. 6201060428
PROFESSIONAL ENGINEER

STONEFIELD engineering & design

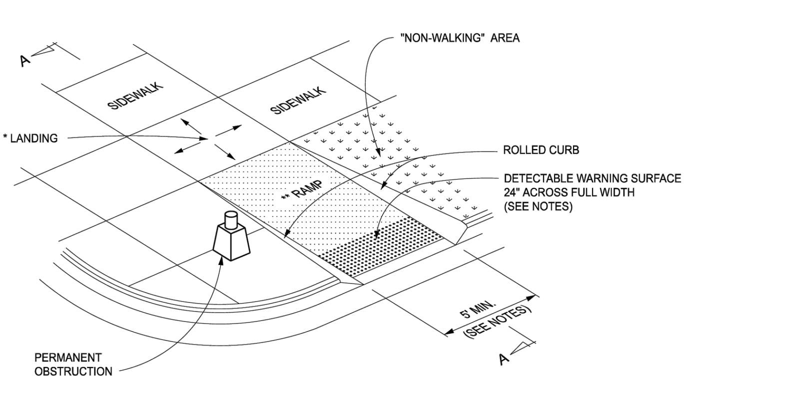
SCALE: AS SHOWN | PROJECT ID: DET-230091.01

TITLE:
CONSTRUCTION DETAILS

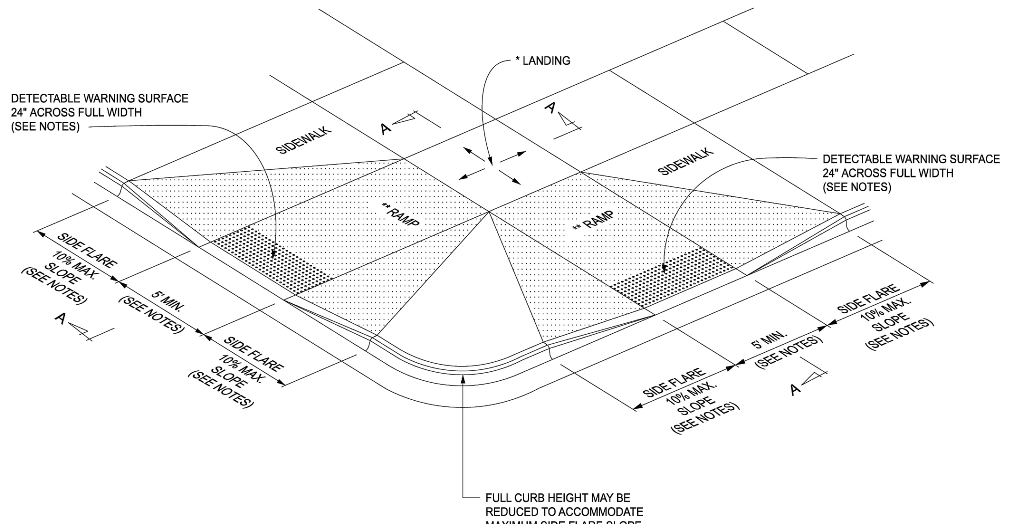
DRAWING:
C-20

* MAXIMUM LANDING SLOPE IS 2.1% IN EACH DIRECTION OF TRAVEL. LANDING MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.

** MAXIMUM RAMP CROSS SLOPE IS 2.1%, RUNNING SLOPE 5% - 7% (8.3% MAXIMUM). SEE NOTES.



CURB RAMP TYPE R
(ROLLED SIDES)

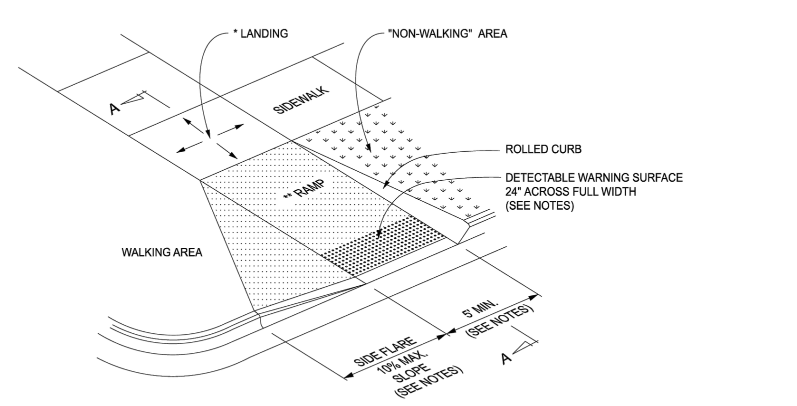


CURB RAMP TYPE F
(FLARED SIDES, TWO RAMPS SHOWN)

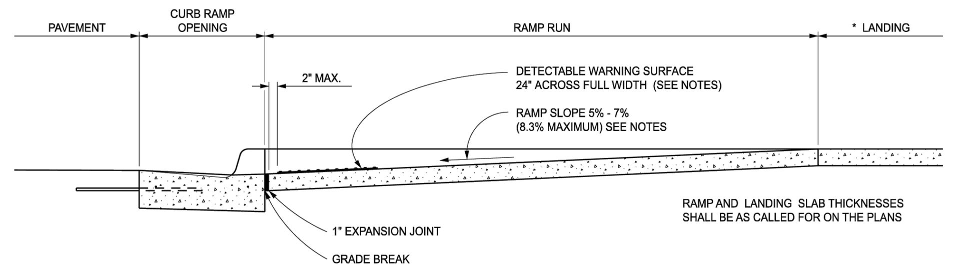
APPROVED BY: DIRECTOR, BUREAU OF FIELD SERVICES	MDOT Michigan Department of Transportation	STANDARD PLAN FOR CURB RAMP AND DETECTABLE WARNING DETAILS
APPROVED BY: DIRECTOR, BUREAU OF DEVELOPMENT	DEPARTMENT DIRECTOR BRADLEY C. WIEFERICH, PE	(SPECIAL DETAIL) FHWA APPROVAL · 11/08/2023 PLAN DATE · R-28-K · SHEET 1 OF 7

* MAXIMUM LANDING SLOPE IS 2.1% IN EACH DIRECTION OF TRAVEL. LANDING MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.

** MAXIMUM RAMP CROSS SLOPE IS 2.1%, RUNNING SLOPE 5% - 7% (8.3% MAXIMUM). SEE NOTES.



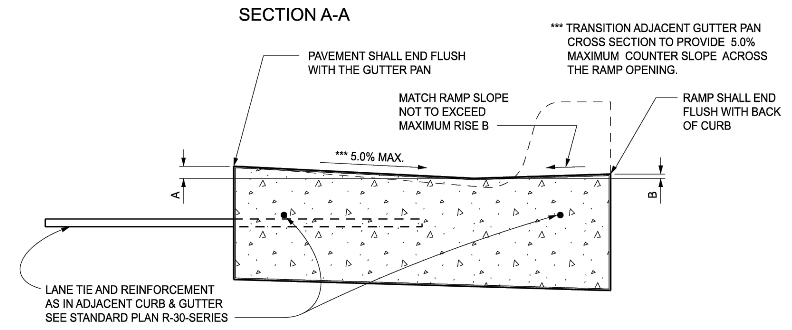
CURB RAMP TYPE RF
(ROLLED / FLARED SIDES)



SECTION A-A

CURB TYPE	MAXIMUM RISE (INCHES) A	B
B1	¾	1
B2	¾	1
B3	¾	1
D1	¾	1
D2	¾	1
D3	¾	1
C1	½	½
C2	½	½
C3	¾	½
C4	¾	½
C5	1	½
C6	1	½
F1	½	½
F2	½	½
F3	¾	½
F4	¾	½
F5	1	½
F6	1	½

FOR CURB TYPES SEE STANDARD PLAN R-30-SERIES

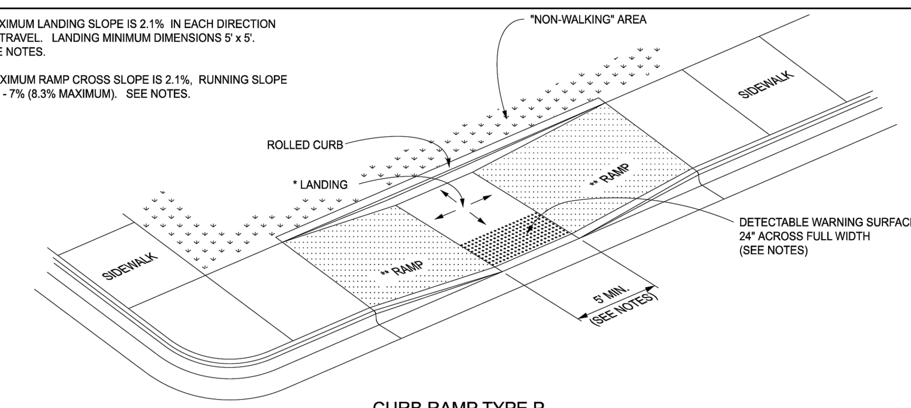


SECTION THROUGH CURB RAMP OPENING
(TYPICAL ALL RAMP TYPES)

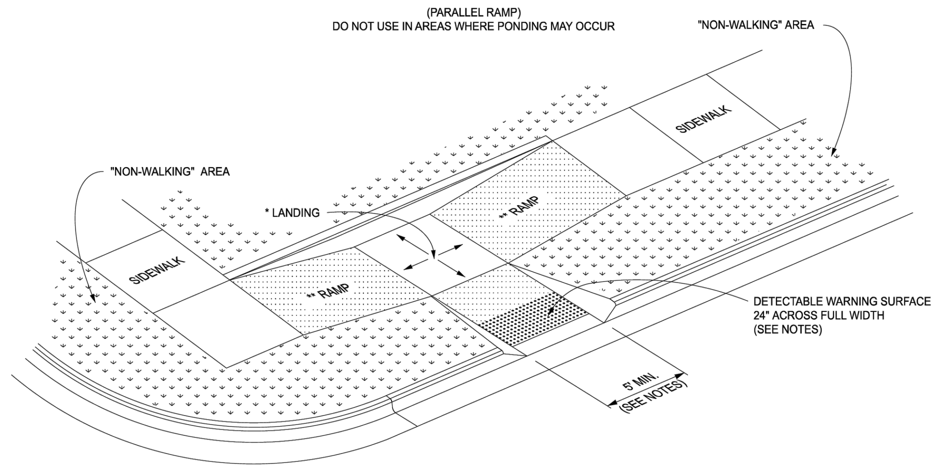
MDOT Michigan Department of Transportation	STANDARD PLAN FOR CURB RAMP AND DETECTABLE WARNING DETAILS
DEPARTMENT DIRECTOR BRADLEY C. WIEFERICH, PE	(SPECIAL DETAIL) FHWA APPROVAL · 11/08/2023 PLAN DATE · R-28-K · SHEET 2 OF 7

* MAXIMUM LANDING SLOPE IS 2.1% IN EACH DIRECTION OF TRAVEL. LANDING MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.

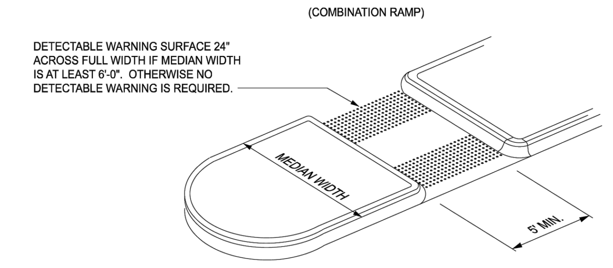
** MAXIMUM RAMP CROSS SLOPE IS 2.1%, RUNNING SLOPE 5% - 7% (8.3% MAXIMUM). SEE NOTES.



CURB RAMP TYPE P
(PARALLEL RAMP)
DO NOT USE IN AREAS WHERE PONDING MAY OCCUR



CURB RAMP TYPE C
(COMBINATION RAMP)

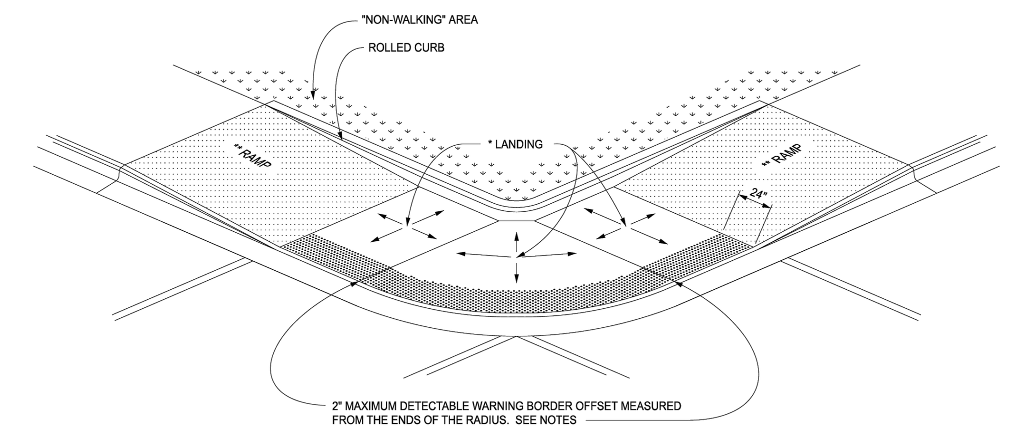


CURB RAMP TYPE M
(MEDIAN ISLAND)

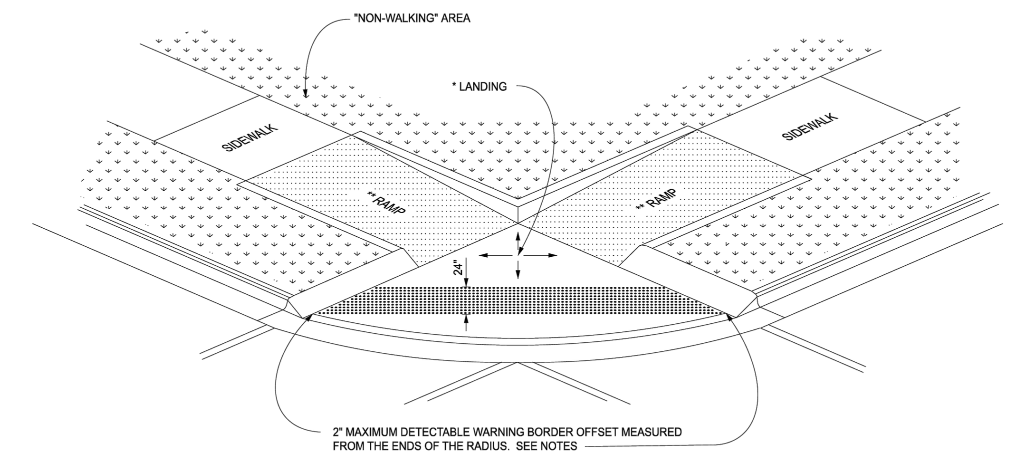
MDOT Michigan Department of Transportation	STANDARD PLAN FOR CURB RAMP AND DETECTABLE WARNING DETAILS
DEPARTMENT DIRECTOR BRADLEY C. WIEFERICH, PE	(SPECIAL DETAIL) FHWA APPROVAL · 11/08/2023 PLAN DATE · R-28-K · SHEET 3 OF 7

* MAXIMUM LANDING SLOPE IS 2.1% IN EACH DIRECTION OF TRAVEL. LANDING MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.

** MAXIMUM RAMP CROSS SLOPE IS 2.1%, RUNNING SLOPE 5% - 7% (8.3% MAXIMUM). SEE NOTES.



(RADIAL DETECTABLE WARNING SHOWN)

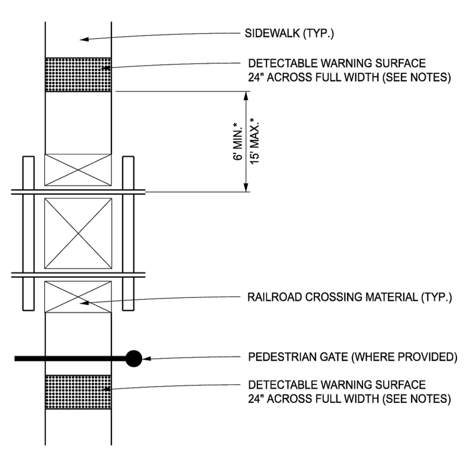


(TANGENT DETECTABLE WARNING SHOWN)

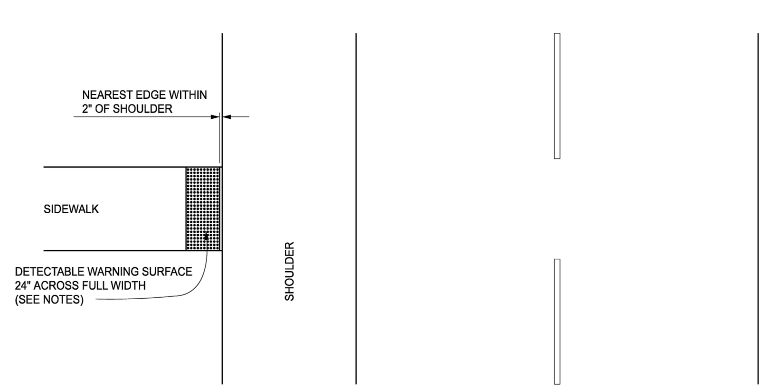
CURB RAMP TYPE D
(DEPRESSED CORNER)
USE ONLY WHEN INDEPENDENT DIRECTIONAL RAMPS CAN NOT BE CONSTRUCTED FOR EACH CROSSING DIRECTION

MDOT Michigan Department of Transportation	STANDARD PLAN FOR CURB RAMP AND DETECTABLE WARNING DETAILS
DEPARTMENT DIRECTOR BRADLEY C. WIEFERICH, PE	(SPECIAL DETAIL) FHWA APPROVAL · 11/08/2023 PLAN DATE · R-28-K · SHEET 4 OF 7

* THE DETECTABLE WARNING SURFACE SHALL BE LOCATED SO THAT THE EDGE NEAREST THE RAIL CROSSING IS 6' MINIMUM AND 15' MAXIMUM FROM THE CENTERLINE OF THE NEAREST RAIL. DO NOT PLACE DETECTABLE WARNING ON RAILROAD CROSSING MATERIAL.

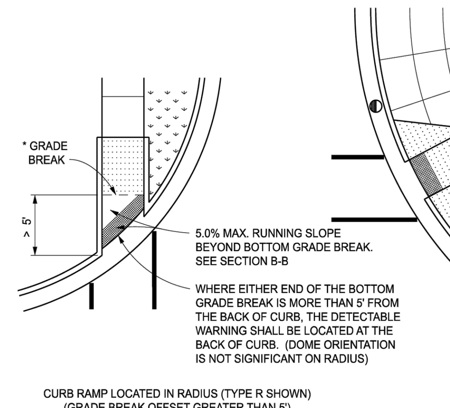


DETECTABLE WARNING AT RAILROAD CROSSING

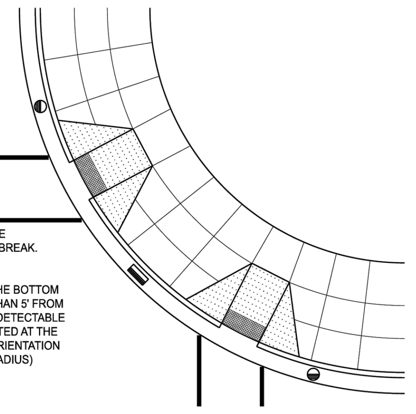


DETECTABLE WARNING AT FLUSH SHOULDER OR ROADWAY

MDOT Michigan Department of Transportation	STANDARD PLAN FOR CURB RAMP AND DETECTABLE WARNING DETAILS
DEPARTMENT DIRECTOR BRADLEY C. WIEFERICH, PE	(SPECIAL DETAIL) FHWA APPROVAL · 11/08/2023 PLAN DATE · R-28-K · SHEET 5 OF 7



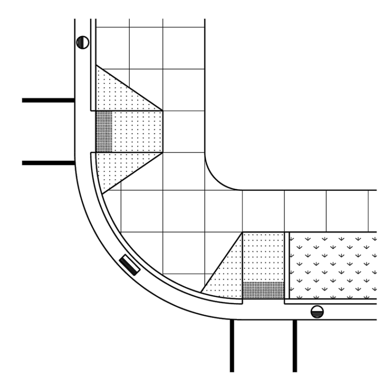
CURB RAMP LOCATED IN RADIUS (TYPE R SHOWN)
(GRADE BREAK OFFSET GREATER THAN 5')



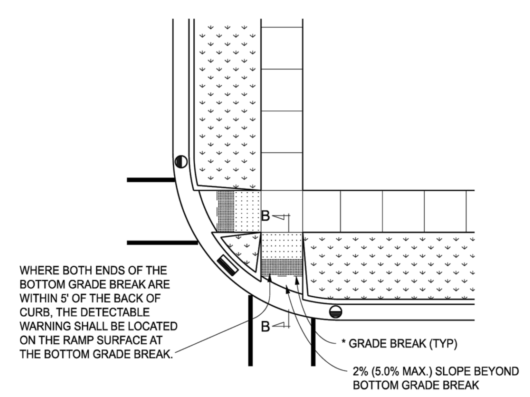
CURB RAMP PERPENDICULAR TO RADIAL CURB (TYPE F SHOWN)
(USE WITH RADIAL CURB WHEN THE CROSSWALK AND CURB RAMP ARE NOT ALIGNED)

LEGEND

- SLOPED SURFACE
- DETECTABLE WARNING
- "NON-WALKING" AREA
- CROSSWALK MARKING
- PREFERRED LOCATION OF DRAINAGE INLET (TYP.)
- ALTERNATE LOCATION OF DRAINAGE INLET (TYP.)



CURB RAMP PERPENDICULAR TO TANGENT CURB
(TYPE F AND TYPE RF SHOWN)

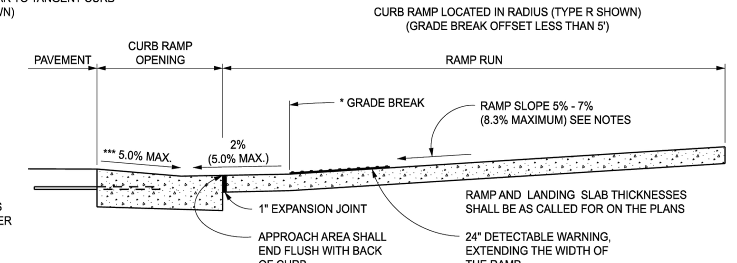


CURB RAMP LOCATED IN RADIUS (TYPE R SHOWN)
(GRADE BREAK OFFSET LESS THAN 5')

* GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMPS SHALL BE PERPENDICULAR TO THE DIRECTION OF TRAVEL.

*** TRANSITION ADJACENT GUTTER PAN CROSS SECTION TO PROVIDE 5.0% MAXIMUM COUNTER SLOPE ACROSS THE RAMP OPENING.

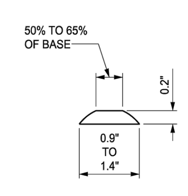
SEE SHEET 2 FOR CURB RAMP OPENING DETAILS.



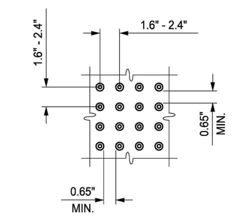
SECTION B-B

CURB RAMP ORIENTATION

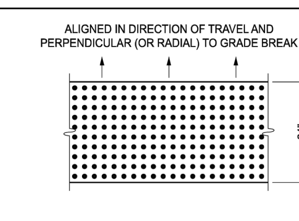
MDOT Michigan Department of Transportation	STANDARD PLAN FOR CURB RAMP AND DETECTABLE WARNING DETAILS
DEPARTMENT DIRECTOR BRADLEY C. WIEFERICH, PE	(SPECIAL DETAIL) FHWA APPROVAL · 11/08/2023 PLAN DATE · R-28-K · SHEET 6 OF 7



DOME SECTION



DOME SPACING



DOME ALIGNMENT

DETECTABLE WARNING DETAILS

NOTES:

DETAILS SPECIFIED ON THIS PLAN APPLY TO ALL CONSTRUCTION, RECONSTRUCTION, OR ALTERATION OF STREETS, CURBS, OR SIDEWALKS IN THE PUBLIC RIGHT OF WAY.

CURB RAMPS ARE TO BE LOCATED AS SPECIFIED ON THE PLANS OR AS DIRECTED BY THE ENGINEER.

RAMPS SHALL BE PROVIDED AT ALL CORNERS OF AN INTERSECTION WHERE THERE IS EXISTING OR PROPOSED SIDEWALK AND CURB. RAMPS SHALL ALSO BE PROVIDED AT MARKED AND/OR SIGNALIZED MID-BLOCK CROSSINGS.

SURFACE TEXTURE OF THE RAMP SHALL BE THAT OBTAINED BY A COARSE BROOMING, TRANSVERSE TO THE RUNNING SLOPE.

SIDEWALK SHALL BE RAMPED WHERE THE DRIVEWAY CURB IS EXTENDED ACROSS THE WALK.

CARE SHALL BE TAKEN TO ASSURE A UNIFORM GRADE ON THE RAMP. WHERE CONDITIONS PERMIT, IT IS DESIRABLE THAT THE SLOPE OF THE RAMP BE IN ONLY ONE DIRECTION, PARALLEL TO THE DIRECTION OF TRAVEL.

RAMP WIDTH SHALL BE INCREASED, IF NECESSARY, TO ACCOMMODATE SIDEWALK SNOW REMOVAL EQUIPMENT NORMALLY USED BY THE MUNICIPALITY.

WHEN 5' MINIMUM WIDTHS ARE NOT FEASIBLE, RAMP WIDTH MAY BE REDUCED TO NOT LESS THAN 4' AND LANDINGS TO NOT LESS THAN 4' x 4'.

CURB RAMPS WITH A RUNNING SLOPE ≤ 5% DO NOT REQUIRE A TOP LANDING. HOWEVER, ANY CONTINUOUS SIDEWALK OR PEDESTRIAN ROUTE CROSSING THROUGH OR INTERSECTING THE CURB RAMP MUST INDEPENDENTLY MAINTAIN A CROSS SLOPE NOT GREATER THAN 2.1% PERPENDICULAR TO ITS OWN DIRECTION(S) OF TRAVEL.

DETECTABLE WARNING SURFACE COVERAGE IS 24" MINIMUM IN THE DIRECTION OF RAMP/PATH TRAVEL AND THE FULL WIDTH OF THE RAMP/PATH OPENING EXCLUDING CURBED OR FLARED CURB TRANSITION AREAS. A BORDER OFFSET NOT GREATER THAN 2" MEASURED ALONG THE EDGES OF THE DETECTABLE WARNING IS ALLOWABLE. FOR RADIAL CURB THE OFFSET IS MEASURED FROM THE ENDS OF THE RADIUS.

FOR NEW ROADWAY CONSTRUCTION, THE RAMP CROSS SLOPE MAY NOT EXCEED 2.1%. FOR ALTERATIONS TO EXISTING ROADWAYS, THE CROSS SLOPE MAY BE TRANSITIONED TO MEET AN EXISTING ROADWAY GRADE. THE CROSS SLOPE TRANSITION SHALL BE APPLIED UNIFORMLY OVER THE FULL LENGTH OF THE RAMP.

THE MAXIMUM RUNNING SLOPE OF 8.3% IS RELATIVE TO A FLAT (0%) REFERENCE. HOWEVER, IT SHALL NOT REQUIRE ANY RAMP OR SERIES OF RAMPS TO EXCEED 15 FEET IN LENGTH NOT INCLUDING LANDINGS OR TRANSITIONS.

DRAINAGE STRUCTURES SHOULD NOT BE PLACED IN LINE WITH RAMPS. THE LOCATION OF THE RAMP SHOULD TAKE PRECEDENCE OVER THE LOCATION OF THE DRAINAGE STRUCTURE. WHERE EXISTING DRAINAGE STRUCTURES ARE LOCATED IN THE RAMP PATH OF TRAVEL, USE A MANUFACTURER'S ADA COMPLIANT GRATE. OPENINGS SHALL NOT BE GREATER THAN ½". ELONGATED OPENINGS SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL.

THE TOP OF THE JOINT FILLER FOR ALL RAMP TYPES SHALL BE FLUSH WITH THE ADJACENT CONCRETE.

CROSSWALK AND STOP LINE MARKINGS, IF USED, SHALL BE SO LOCATED AS TO STOP TRAFFIC SHORT OF RAMP CROSSINGS. SPECIFIC DETAILS FOR MARKING APPLICATIONS ARE GIVEN IN THE "MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".

FLARED SIDES WITH A SLOPE OF 10% MAXIMUM, MEASURED ALONG THE ROADSIDE CURB LINE, SHALL BE PROVIDED WHERE AN UNOBSTRUCTED CIRCULATION PATH LATERALLY CROSSES THE CURB RAMP. FLARED SIDES ARE NOT REQUIRED WHERE THE RAMP IS BORDERED BY LANDSCAPING, UNPAVED SURFACE OR PERMANENT FIXED OBJECTS. WHERE THEY ARE NOT REQUIRED, FLARED SIDES CAN BE CONSIDERED IN ORDER TO AVOID SHARP CURB RETURNS AT RAMP OPENINGS.

DETECTABLE WARNING PLATES MUST BE INSTALLED USING FABRICATED OR FIELD CUT UNITS CAST AND/OR ANCHORED IN THE PAVEMENT TO RESIST SHIFTING OR HEAVING.

MDOT Michigan Department of Transportation	STANDARD PLAN FOR CURB RAMP AND DETECTABLE WARNING DETAILS
DEPARTMENT DIRECTOR BRADLEY C. WIEFERICH, PE	(SPECIAL DETAIL) FHWA APPROVAL · 11/08/2023 PLAN DATE · R-28-K · SHEET 7 OF 7

MDOT CURB RAMP & DETECTABLE WARNING DETAILS

NOT TO SCALE

1

ISSUE	DATE	BY	DESCRIPTION
3	06/12/2024	KH	REVISED FOR SITE PLAN REVIEW
2	05/09/2024	NB/JD	FOR SITE PLAN REVIEW
1	04/09/2024	NB/JD	FOR SITE PLAN REVIEW

NOT APPROVED FOR CONSTRUCTION

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607 Shelby Suite 200, Detroit, MI 48226
Phone 248.247.1115

SITE DEVELOPMENT PLAN

SHEETZ

PROPOSED CONVENIENCE STORE AND FUEL STATION

PID: K11-39-350-022, K-11-39-350-023, K-11-18-100-019
2103 WEST MICHIGAN AVENUE
CHARTER TOWNSHIP OF YPSILANTI
WASHTENAW COUNTY, MICHIGAN

STATE OF MICHIGAN · JONATHAN REID COOKSEY · ENGINEER · No. 6201069428 · LICENSED PROFESSIONAL ENGINEER

STONEFIELD engineering & design

SCALE: AS SHOWN | PROJECT ID: DET-230091.01

TITLE: CONSTRUCTION DETAILS

DRAWING: C-21

V:\DET\2023\DET-230091.01-SKILKEN GOLD-2103 WEST MICHIGAN AVENUE, YPSILANTI CHARTER TOWNSHIP, MI\CADD\PLOT\SDP-19-20-21-22-DETL.DWG

WASHTENAW COUNTY STORMWATER CALCULATIONS

(Based on Washtenaw County Stormwater Managements Regulations)

Project:	Ypsilanti Township - Hewitt	Designer:	KTH	Date:	06/11/24

W1. DETERMINING POST-DEVELOPMENT COVER TYPES, AREAS, CURVE NUMBERS, AND RUNOFF COEFFICIENTS

RATIONAL METHOD VARIABLES *(REQUIRED FOR FIRST FLUSH RUNOFF CALCULATIONS)*

Landcover	Area (SF)		C-Value*		Weighted Value
Building / Roof	6,602	x	0.95	=	6,272
Pavement / Hardscape	60,427	x	0.95	=	57,406
Open Water (Based on Bankfull Storage Elevation)	0	x	1.00	=	0
Open Space (HSG 'A')	73,317	x	0.15	=	10,998
Open Space (HSG 'B')	5,561	x	0.25	=	1,390
Open Space (HSG 'C')	9,460	x	0.30	=	2,838
Open Space (HSG 'D')	1,952	x	0.45	=	878
Subtotals	157,319				79,782

**C-values obtained from Washtenaw County Water Resources Commissioner*

Composite C Value, C: 0.51

Site Area, A: 3.61 AC

NRCS VARIABLES *(REQUIRED FOR BANKFULL & 100-YEAR RUNOFF CALCULATIONS)*

Cover Type (Pre-Development)	Soil Type	Area (SF)		Curve Number (CN)		Weighted Value
Building, Roof	-	1,568	x	98.0	=	153,664
Paved	-	2,531	x	98.0	=	248,038
Open Water	-	0	x	100.0	=	0
Woods (Good)	A	132,819		30.0		3,984,570
Woods (Good)	B	5,561		55.0		305,855
Woods (Good)	C	12,411		70.0		868,770
Woods (Good)	D	2,428	x	77.0	=	186,956
Subtotals		157,319				5,747,853

Composite CN Value, CN: 36.54

Pervious Cover Type (Post-Development)	Soil Type	Area (SF)		Curve Number (CN)		Weighted Value
Fully Developed Open Space (Good Condition)	A	73,317		39.0		2,859,363
Fully Developed Open Space (Good Condition)	B	5,561		61.0		339,221
Fully Developed Open Space (Good Condition)	C	9,460		74.0		700,040
Fully Developed Open Space (Good Condition)	D	1,952	x	80.0	=	156,160
Subtotals		90,290				4,054,784

Composite CN Value, CN: 44.91

Impervious Cover Type (Post-Development)	Soil Type	Area (SF)		Curve Number (CN)		Weighted Value
Paved Parking Lots, Roofs, Driveways	A/B/C/D	67,029	x	98.0	=	6,568,842
Open Water	A/B/C/D	0	x	100.0	=	0
Subtotals		67,029				6,568,842

Composite CN Value, CN: 98.00

W2. FIRST FLUSH RUNOFF CALCULATION (V_{ff})

V_{ff} = (1 IN) * (1 FT / 12 IN) * (43,560 SF) * A * C

Site Area, A: 3.61 AC

First Flush Runoff Volume, V_{ff}: **6,648 CF**

W3. PRE-DEVELOPMENT BANKFULL RUNOFF CALCULATION ($V_{bf\text{-}pre}$)

Rainfall Value (2 Year / 24 Hour Storm Event), P: 2.35 IN

S = (1000 / CN*) - 10 — **Function of Watershed Soil & Conditions, S:** 17.37

CN_{PRE} = 36.54

Q = $(P-0.2*S)^2/(P+0.8*S)$ — **Runoff, Q:** 0.078 IN

Site Area Excluding "Self Crediting" BMPs* — ***Total Site Area: 157,319 SF

$V_{bf\text{-}pre}$ = Q * (1/12) * Area — **Pre-Development Bankfull Volume, $V_{bf\text{-}pre}$:** **1,020 CF**

W4. PERVIOUS COVER POST-DEVELOPMENT BANKFULL RUNOFF CALCULATION ($V_{bf\text{-}per\text{-}post}$)

Rainfall Value (2 Year / 24 Hour Storm Event), P: 2.35 IN

S = (1000 / CN) - 10 — **Function of Watershed Soil & Conditions, S:** 12.27

Q = $(P-0.2*S)^2/(P+0.8*S)$ — **Runoff, Q:** 0.001 IN

Pervious Cover Area: 90,290 SF

$V_{bf\text{-}per\text{-}post}$ = Q * (1/12) * Area — **Pervious Cover Post Development Bankfull Volume, $V_{bf\text{-}per\text{-}post}$:** **7 CF**

W5. IMPERVIOUS COVER POST-DEVELOPMENT BANKFULL RUNOFF CALCULATION ($V_{bf\text{-}imp\text{-}post}$)

Rainfall Value (2 Year / 24 Hour Storm Event), P: 2.35 IN

S = (1000 / CN) - 10 — **Function of Watershed Soil & Conditions, S:** 0.20 IN

Q = $(P-0.2*S)^2/(P+0.8*S)$ — **Runoff, Q:** 2.122 IN

Impervious Cover Area: 67,029 SF

$V_{bf\text{-}imp\text{-}post}$ = Q * (1/12) * Area — **Impervious Cover Post Development Bankfull Volume, $V_{bf\text{-}imp\text{-}post}$:** **11,851 CF**

W6. PERVIOUS COVER POST-DEVELOPMENT 100 YEAR STORM RUNOFF CALCULATION ($V_{100\text{-}per\text{-}post}$)

Rainfall Value (100 Year Storm Event), P: 5.11 IN

S = (1000 / CN) - 10 — **Function of Watershed Soil & Conditions, S:** 12.27 IN

$Q_{100\text{-}per}$ = $(P-0.2*S)^2/(P+0.8*S)$ — **Runoff, $Q_{100\text{-}per}$:** 0.47 IN

Pervious Cover Area: 90,290 SF

$V_{100\text{-}per\text{-}post}$ = Q * (1/12) * Area — **Pervious Cover Post Development 100-Year Volume, $V_{100\text{-}per\text{-}post}$:** **3,558 CF**

W7. IMPERVIOUS COVER POST-DEVELOPMENT 100 YEAR STORM RUNOFF CALCULATION ($V_{100\text{-}imp\text{-}post}$)

Rainfall Value (100 Year Storm Event), P: 5.11 IN

S = (1000 / CN) - 10 — **Function of Watershed Soil & Conditions, S:** 0.20 IN

$Q_{100\text{-}imp}$ = $(P-0.2*S)^2/(P+0.8*S)$ — **Runoff, $Q_{100\text{-}imp}$:** 4.87 IN

Impervious Cover Area: 67,029 SF

$V_{100\text{-}imp\text{-}post}$ = Q * (1/12) * Area — **Impervious Cover Post Development 100-Yr Vol, $V_{100\text{-}imp\text{-}post}$:** **27,219 CF**

W8. TIME OF CONCENTRATION FOR APPLICABLE FLOW TYPES ($T_{c\text{-}hrs}$)

If Tc < 15 minutes use minimum Tc Below

Minimum T_C 0.25 *hrs* = *15 min*

W9. RUNOFF SUMMARY

First Flush Runoff Volume, V_{ff}: 6,648 CF

Pre-Development Bankfull Volume, $V_{bf\text{-}pre}$: **1,020 CF**

Pervious Cover Post Development Bankfull Volume, $V_{bf\text{-}per\text{-}post}$: 7 CF

Impervious Cover Post Development Bankfull Volume, $V_{bf\text{-}imp\text{-}post}$: 11,851 CF

Total Bankfull Volume ($V_{bf\text{-}post}$): **11,858 CF**

Pervious Cover Post Development 100-Year Storm Volume, $V_{100\text{-}per\text{-}post}$: 3,558 CF

Impervious Cover Post Development 100-Year Storm Volume, $V_{100\text{-}imp\text{-}post}$: 27,219 CF

Total 100 Year Volume (V_{100}): **30,777 CF**

ONSITE INFILTRATION REQUIREMENTS

$V_{bf\text{-}diff}$ = $V_{bf\text{-}post}$ - $V_{bf\text{-}pre}$ — **Bankfull Volume Difference, $V_{bf\text{-}diff}$:** 10,838 CF

Onsite Infiltration Requirement:
Use the greater of Bankfull Volume Difference vs. First Flush Volume
**Basin to include additional 20% volume if required infiltration is not provided*

Onsite Infiltration Requirement, V_{inf}: **10,838 CF**
Bankfull Volume Difference

W10. DETENTION REQUIREMENTS

$Q_p = 238.6*T_c^{-0.82}$ — **Peak of the Unit Hydrograph, Q_p:** 744 CFS / IN-MI^2

Site Area Excluding "Self Crediting" BMPs* — ***Total Site Area: 3.61 AC

Q_{100} = $Q_{100\text{-}per}$ + $Q_{100\text{-}imp}$ — **100 Year Storm Runoff, Q_{100}:** 5.35 IN

PF = (Q_p * Q_{100} * Area) / 640 — **Peak Flow, PF:** 22.43 CFS

Δ = PF - (0.15 * Area) — **Δ:** 21.89 CFS

V_{det} = (Δ / PF) * V_{100} — **Required Detention Volume, V_{det}:** 30,034 CF

W11. STANDARD METHOD RUNOFF VOLUME CALCULATIONS

SUBSURFACE STORAGE / INFILTRATION / PERMEABLE PAVEMENT VOLUME

Infiltration Bed Area 2,686 SF

Subsurface Depth, D: 0.00 FT

Void Ratio 30%

Subsurface Storage Volume 0 CF

Flow Type	Area (ft^2)	Storage Volume (ft^3)		Design Infiltration Rate (in / hr)	Infiltration Volume During Storm (ft^3) [1]	Total Volume Reduction (ft^3)
		Surface	Soil			
Infiltration Basin	2,686	0	0	10.00	13,430	13,430

1. Infiltration Rate x 6 hrs x BMP Area x Unit Conversion = Infiltration Volume
2. Infiltration rate deemed negligible based on environmental investigations finding contaminated soils on-site

Total Volume Reduction : 13,430 CF
No Reduction can be Credited Due to Contaminated Soils (No Infiltration Permitted)

Onsite Infiltration Requirement, V_{inf}: 10,838 CF

Runoff Volume Credit 2,592 CF

W13. SUMMARY

A. STORMWATER MANAGEMENT SUMMARY

Minimum Onsite Infiltration Requirement, V_{inf}: 10,838 CF

Provided Infiltration Volume: 13,430 CF

% Minimum Required Infiltration Provided: 124%

Net Required Detention Volume, V_{det}: 16,604 CF
V_{det} - Designed / Provided Infiltration Volume

B. DETENTION VOLUME INCREASE WITHOUT INFILTRATION

% Required Infiltration NOT Provided: 0%

*Net % Penalty (20% * % Required Infiltration NOT Provided):* 0%

Total Required Detention Volume, including penalty: **16,604 CF**
*[(100% + %Net Penalty) * Net Required Detention Volume]*

C. ON-SITE DETENTION VOLUME TO BE PROVIDED

Required Detention Volume: **16,604 CF**

Required Forebay Volume: **830 CF**
**5% of Required Detention Volume*

PROPOSED FOREBAY #1		
ELEVATION	AREA (SF)	VOLUME (CF)
779.00	498	-
780.00	1,007	753
780.40	1,253	1,204

Total Forebay Volume = 1,204 CF > 830 CF

PROPOSED DETENTION BASIN		
ELEVATION	AREA (SF)	VOLUME (CF)
779.00	2,686	-
780.00	4,393	3,540
781.00	4,200	7,836
782.00	6,297	13,085
783.00	8,396	20,431
784.00	10,691	29,975

Basin volume calculated based on a trapezoidal prism

First Flush Elevation =	780.77
Bankfull Elevation =	781.83
100-Year Storm Elevation =	782.48
Design 100-Year Storm Elevation =	782.50
Freeboard Elevation =	783.50
Basin Height =	3.50

Total Basin Volume = 16,758 CF > 16,604 CF

W14. OUTLET DESIGN - 3 STAGE OUTLET

Q_{Allow} = (0.15)(A) — **Allowable Release Rate, QAllow:** 0.5417 CFS

A. FIRST FLUSH DISCHARGE

$Q_{min\text{-}ff}$ = V/T_{24} — **Minimum First Flush Release Rate, $Q_{Min\text{-}ff}$:** 0.0769 CFS

h_{ave} = 2/3 * (X_{ff} - X_{bot}) — **Average Head, h_{ave}:** 1.18 FT

A_{ff} = $Q_{Min\text{-}ff}$ / [0.62 * √(2 * g * h_{ave})] — **Orifice Area, A_{ff}:** 0.0142 SF

Maximum $\#_{Orif}$ = A_{ff} / A_{Orif} — **Proposed # Orifice:** 2.00
** Orifice Size Proposed 1.00 in
The Proposed Orifice is smaller than the Minimum Permitted Diameter (0.75"), but has been approved per WCWRC review dated 04-15-2022

$Q_{Act\text{-}ff}$ = 0.62 * $\#_{Orif}$ * A_{Orif} * √(2 * g * h_{ave}) — **Proposed First Flush Release Rate, $Q_{Act\text{-}ff}$:** 0.0590 CFS

$T_{Act\text{-}ff}$ = V_{ff} / $Q_{Act\text{-}ff}$ — **Release Time, $T_{Act\text{-}ff}$:** 31.3 Hours
T > 24 Hours, Okay

B. BANKFULL DISCHARGE

h_{ave} = 2/3 * (X_{bf} - X_{bot}) — **Average Head, h_{ave}:** 1.89 FT

Q_{bf} = 0.62 * $\#_{Orif}$ * $A_{Act\text{-}Orif}$ * √(2 * g * h_{ave}) — **Bank Full Release Rate, Q_{bf}:** 0.0746 CFS

T_{bf} = V_{bf} / Q_{bf} — **Release Time, T_{bf}:** 44.2 Hours
T > 36 Hours, 3-Stage

Additional Orifice Needed? **Yes**

V_{Rem} = V_{bf} - V_{ff} — **Volume Remaining, V_{Rem}:** 5,209.3 CF

T_{Rem} = T_{Target} - $T_{Act\text{-}ff}$ — **Time Remaining, T_{Rem}:** 10.7 Hours
** Target Time Proposed: 42 Hours

$h_{ff\text{-}ave}$ = 2/3 * (X_{bf} - X_{ff}) + (X_{ff} - X_{bot}) — **Average Head, $h_{ff\text{-}Ave}$:** 2.48 FT

Q_{ff+bf} = 0.62 * $\#_{Orif}$ * A_{Orif} * √(2 * g * $h_{ff\text{-}ave}$) — **Combined Release Rate, Q_{ff+bf}:** 0.0855 CFS

V_{ff+bf} = T_{Rem} * Q_{ff+bf} — **Combined Discharge Volume, V_{ff+bf}:** 3,294.9 CF

V_{bf} = V_{Rem} * V_{ff+bf} — **Bankfull Discharge Volume, V_{bf}:** 1,914.4 CF

Q_{bf} = V_{bf} / T_{Rem} — **Bankfull Release Rate, Q_{bf}:** 0.0497 CFS

$h_{bf\text{-}ave}$ = 2/3 * (x_{bf}-x_{ff}) — **Average Head, $h_{bf\text{-}ave}$:** 0.71 FT

A_{bf} = Q_{bf} / [0.62 * √(2 * g * $h_{bf\text{-}ave}$)] — **Orifice Area, A_{bf}:** 0.0119 SF

Maximum $\#_{Orif}$ = A_{ff} / A_{Orif} — **Maximum # Orifice:** 2.18
** Orifice Size Proposed: 1.00 in *(0.75" Minimum)*

Proposed # Orifice: 2.00

$Q_{Act\text{-}bf}$ = 0.62 * $\#_{Orif}$ * A_{Orif} * √(2 * g * $h_{bf\text{-}ave}$) — **Proposed Bankfull Release Rate, $Q_{Act\text{-}bf}$:** 0.0456 CFS

$T_{Act\text{-}bf}$ = $T_{Act\text{-}ff}$ + V_{Rem} / (Q_{ff+bf} + $Q_{act\text{-}bf}$) — **Release Time, $T_{Act\text{-}ff}$:** 42.3 Hours
36 < T < 48 Hours, Okay

C. 100-YEAR STORM DISCHARGE

Q_{ff+bf} = [0.62 * $\#_{Orif\text{-}ff}$ * $A_{Act\text{-}Orif\text{-}ff}$ * √(2 * g * (x_{100}-x_{bot}))] + [0.62 * $\#_{Orif\text{-}bf}$ * $A_{Act\text{-}Orif\text{-}bf}$ * √(2 * g * (x_{100}- — **Release Rate, Q_{ff+bf}:** 0.1728 CFS

$Q_{max\text{-}100}$ = Q_{Allow} - (Q_{ff+bf}) — **Maximum 100-Year Release Rate, Q_{max}:** 0.3689 CFS

$A_{max\text{-}100}$ = $Q_{max\text{-}100}$ / [0.62 * √((2 * g * (x_{100}-x_{bf}))] — **Orifice Area, $A_{max\text{-}100}$:** 0.0908 SF

Maximum $\#_{Orif}$ = $A_{max\text{-}100}$ / A_{Orif} — **Maximum # Orifice:** 16.64
** Orifice Size Proposed: 1.00 in *(0.75" Minimum)*

Proposed # Orifice: 5.00

$Q_{Act\text{-}100}$ = Q_{ff+bf} + $\#_{Orif}$ * A_{Orif} * √(2 * g * (x_{100}-x_{bf})) — **Proposed 100-Year Release Rate, $Q_{Act\text{-}100}$:** 0.3516 CFS
If < 0.5417 okay

$h_{all\text{-}ave}$ = 2/3 * (x_{100}-x_{bf}) + (x_{bf}-x_{bot}) — **First Flush Orifice Total Head, $h_{all\text{-}ave}$:** 3.28 FT

Q_{All} = 0.62 * $\#_{Orif\text{-}ff}$ * $A_{orif\text{-}ff}$ * √(2 * g * $h_{all\text{-}ave}$) — **Proposed First Flush Orifice Release Rate, Q_{All}:** 0.0983 CFS

$h_{bf\text{-}ave}$ = 2/3 * (x_{100}-x_{bf}) + (x_{bf}-x_{ff}) — **Bankfull Orifice Total Head, $h_{bf\text{-}ave}$:** 1.50 FT

Q_{bf+100} = 0.62 * $\#_{Orif\text{-}bf}$ * $A_{orif\text{-}bf}$ * √(2 * g * $h_{bf\text{-}ave}$) — **Proposed Bankfull Orifice Release Rate, Q_{bf+100}:** 0.07 CFS

$h_{100\text{-}ave}$ = 2/3 * (x_{100}-x_{bf}) — **100-Year Orifice Total Head, $h_{100\text{-}ave}$:** 0.44 FT

$Q_{100\text{-}ave}$ = 0.62 * $\#_{Orif\text{-}bf}$ * $A_{orif\text{-}bf}$ * √(2 * g * $h_{100\text{-}ave}$) — **Proposed 100-Year Orifice Release Rate, $Q_{100\text{-}ave}$:** 0.0905 CFS

V_{Rem} = V_{100} - V_{bf} — **Volume Remaining, V_{Rem}:** 4,343.3 CF

T_{100} = T_{bf} + V_{Rem} / (Q_{all} + Q_{bf+100} + $Q_{100\text{-}ave}$) — **Release Time, $T_{Act\text{-}ff}$:** 48.9 Hours
T < 72 Hours, Okay

STORMWATER MANAGEMENT CALCULATIONS

ISSUE	DATE	BY	DESCRIPTION
3	06/12/2024	KH	REVISED FOR SITE PLAN REVIEW
2	05/09/2024	NB/JD	FOR SITE PLAN REVIEW
1	04/09/2024	NB/JD	FOR SITE PLAN REVIEW

NOT APPROVED FOR CONSTRUCTION

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SITE DEVELOPMENT PLAN

SHEETZ

PROPOSED CONVENIENCE STORE AND FUEL STATION

PID: K11-39-350-022, K-11-39-350-023, K-11-18-100-019
2103 WEST MICHIGAN AVENUE
CHARTER TOWNSHIP OF YPSILANTI
WASHTENAW COUNTY, MICHIGAN

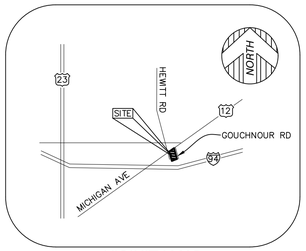
STONEFIELD engineering & design

SCALE: AS SHOWN	PROJECT ID: DET-230091.01

TITLE: STORMWATER MANAGEMENT CALCULATIONS

DRAWING: C-22

V:\DET\2023\DET-230091.01-SKILKEN GOLD-2103 WEST MICHIGAN AVENUE, YPSILANTI CHARTER TOWNSHIP, MI\CADD\PLOTS\SDP-19-20-21-22-DETL.DWG



VICINITY MAP

(NOT TO SCALE)

PARKING

NO MARKED PARKING ON SITE.

PARCEL AREA

PARCEL 1:
74,455± SQUARE FEET = 1.70± ACRES
PARCEL 2:
174,964± SQUARE FEET = 4.01± ACRES
PARCEL 3:
72,289± SQUARE FEET = 1.65± ACRES

BASIS OF BEARING

NORTH 16°04'20" WEST, BEING THE WEST LINE OF FRENCH CLAIM 690, AS DESCRIBED.

BENCHMARK

SITE BENCHMARK #1
CHISLED SQUARE ON SOUTHEAST TOP OF CONC LIGHT POLE BASE 40'± WEST OF HEWITT RD 175'± SOUTH OF MICHIGAN AVE
ELEVATION = 784.79' (NAVD 88)

SITE BENCHMARK #2
CHISLED SQUARE ON SOUTHEAST TOP OF CONC TRAFFIC SIGNAL BASE ⊕ SOUTHEAST QUAD OF MICHIGAN AVE & HEWITT RD
ELEVATION = 791.95' (NAVD 88)

SITE BENCHMARK #3
MAG NAIL IN SOUTHEAST FACE OF UTILITY POLE 125'± EAST OF HEWITT RD 30'± SOUTH OF MICHIGAN AVE
ELEVATION = 791.01' (NAVD 88)

LEGEND

◉	FOUND MONUMENT (AS NOTED)
(R&M)	RECORD AND MEASURED DIMENSION
(R)	RECORD DIMENSION
(M)	MEASURED DIMENSION
+0.00	GROUND ELEVATION
	TRANSFORMER
	UTILITY POLE
	GAS METER
	GAS VALVE
	CABLE TV BOX
	CABLE TV RISER
	TRAFFIC SIGNAL
	TRAFFIC SIGNAL MANHOLE
	TRAFFIC SIGNAL CONTROL BOX
	SANITARY MANHOLE
	ROUND CATCH BASIN
	SQUARE CATCH BASIN
	STORM DRAIN MANHOLE
	FIRE HYDRANT
	WATER GATE MANHOLE
	WATER VALVE
	WELL
	WETLAND FLAG
	MONITOR WELL
	UNKNOWN MANHOLE
	AIR CONDITIONING UNIT
	FENCE POST
	LIGHTPOST/LAMP POST
	MAIL BOX
	SINGLE POST SIGN
	DECIDUOUS TREE (AS NOTED)
	PARCEL BOUNDARY LINE
	ADJOINER PARCEL LINE
	EASEMENT (AS NOTED)
	RIGHT-OF-WAY
	BUILDING
	CONCRETE CURB
	RAISED CONCRETE
	EDGE OF CONCRETE (CONC.)
	EDGE OF ASPHALT (ASPH.)
	EDGE OF GRAVEL
	FENCE (AS NOTED)
	WALL (AS NOTED)
	TREE / BRUSH LINE (AS NOTED)
	OVERHEAD UTILITY LINE
G	GAS LINE
S	SANITARY LINE
D	STORM LINE
W	WATER LINE
	WETLAND LIMITS
	UNDERGROUND PIPE (AS NOTED)
	MINOR CONTOUR LINE
	MAJOR CONTOUR LINE
	BUILDING AREA
	ASPHALT
	CONCRETE

SURVEYOR'S NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

NORTH

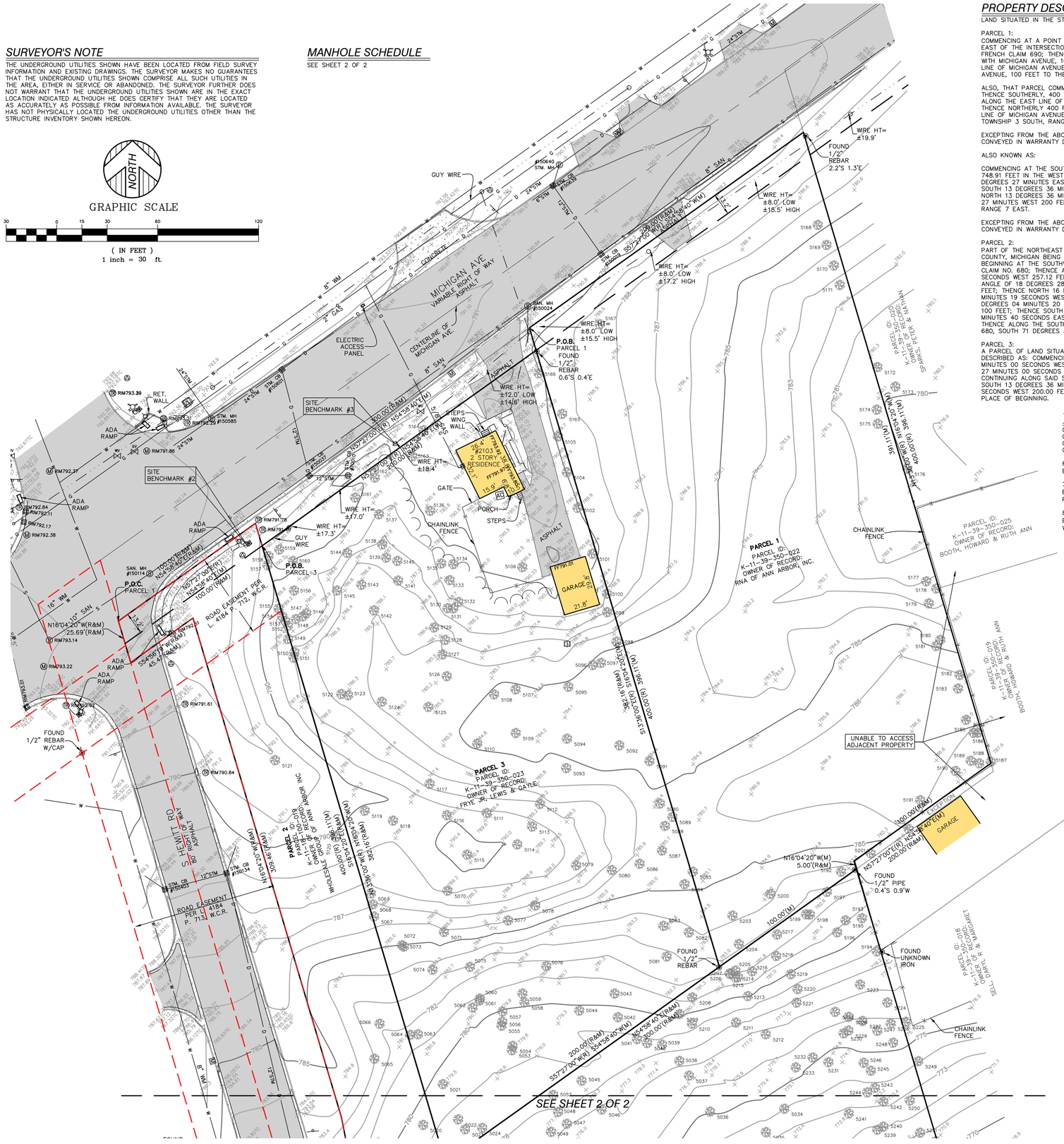
GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)
1 inch = 30 ft.

MANHOLE SCHEDULE

SEE SHEET 2 OF 2



PROPERTY DESCRIPTION

LAND SITUATED IN THE STATE OF MICHIGAN, COUNTY OF WASHTENAW, TOWNSHIP OF YPSILANTI.

PARCEL 1:
COMMENCING AT A POINT ON THE SOUTH ROAD LINE OF THE CHICAGO ROAD (NOW MICHIGAN AVENUE), 300 FEET EAST OF THE INTERSECTION OF SAID SOUTH LINE OF SAID ROAD WITH THE WEST LINE OF THE WEST 120 ACRES OF FRENCH CLAIM 690; THENCE SOUTHERLY PARALLEL WITH SAID WEST LINE, 400 FEET; THENCE EASTERLY PARALLEL WITH MICHIGAN AVENUE, 100 FEET; THENCE NORTHERLY PARALLEL WITH SAID FIRST LINE, 400 FEET TO THE SOUTH LINE OF MICHIGAN AVENUE; THENCE WESTERLY ALONG THE SOUTH LINE OF MICHIGAN
AVENUE, 100 FEET TO THE PLACE OF BEGINNING.

ALSO, THAT PARCEL COMMENCING AT THE NORTHEAST CORNER OF THE ABOVE-DESCRIBED LAND AND RUNNING THENCE SOUTHERLY, 400 FEET
ALONG THE EAST LINE OF SAID LAND; THENCE EASTERLY, 100 FEET ON A LINE PARALLEL WITH MICHIGAN AVENUE; THENCE NORTHERLY 400 FEET ON A LINE PARALLEL WITH SAID EAST LINE; THENCE WESTERLY ALONG THE SOUTH LINE OF MICHIGAN AVENUE, 100 FEET TO THE PLACE OF BEGINNING, BEING A PART OF FRENCH CLAIM 690 IN TOWNSHIP 3 SOUTH, RANGE 7 EAST, TOWNSHIP OF YPSILANTI, WASHTENAW COUNTY, MICHIGAN.

EXCEPTING FROM THE ABOVE LEGAL DESCRIPTION THE SOUTHERLY 5 FEET OF THE EASTERLY 100 FEET AS CONVEYED IN WARRANTY DEED RECORDED IN LIBER 2057, PAGE 355, WASHTENAW COUNTY RECORDS.

ALSO KNOWN AS:

COMMENCING AT THE SOUTHWEST CORNER OF FRENCH CLAIM 690; THENCE NORTH 13 DEGREES 35 MINUTES WEST 748.91 FEET IN THE WEST LINE OF FRENCH CLAIM 690 TO THE SOUTH LINE OF CHICAGO ROAD; THENCE NORTH 57 DEGREES 27 MINUTES EAST 300 FEET IN THE SOUTH LINE OF SAID ROAD FOR A PLACE OF BEGINNING; THENCE SOUTH 13 DEGREES 36 MINUTES EAST 400 FEET; THENCE NORTH 57 DEGREES 27 MINUTES EAST 200 FEET; THENCE NORTH 13 DEGREES 36 MINUTES WEST 400 FEET; THENCE SOUTH 57 DEGREES
27 MINUTES WEST 200 FEET TO THE PLACE OF BEGINNING, BEING A PART OF FRENCH CLAIM 690, TOWN 3 SOUTH, RANGE 7 EAST.

EXCEPTING FROM THE ABOVE LEGAL DESCRIPTION THE SOUTHERLY 5 FEET OF THE EASTERLY 100 FEET AS CONVEYED IN WARRANTY DEED RECORDED IN LIBER 2057, PAGE 355, WASHTENAW COUNTY RECORDS.

PARCEL 2:
PART OF THE NORTHEAST 1/4 OF SECTION 18, TOWN 3 SOUTH, RANGE 7 EAST, YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN BEING DESCRIBED AS FOLLOWS:
BEGINNING AT TT THE SOUTHWEST CORNER OF FRENCH CLAIM NO. 690, BEING THE NORTHWEST CORNER OF FRENCH CLAIM NO. 680; THENCE ALONG THE WEST LINE OF FRENCH CLAIM NO. 690, NORTH 16 DEGREES 04 MINUTES 20 SECONDS WEST 257.12 FEET; THENCE 177.52 FEET ALONG A CURVE TO THE LEFT, RADIUS 550.38 FEET, CENTRAL ANGLE OF 18 DEGREES 28 MINUTES 50 SECONDS, CHORD NORTH 01 DEGREE 59 MINUTES 32 SECONDS WEST 176.76 FEET; THENCE NORTH 16 DEGREES 04 MINUTES 20 SECONDS WEST 309.46 FEET; THENCE SOUTH 54 DEGREES 56 MINUTES 19 SECONDS WEST 45.47 FEET; THENCE ALONG THE WEST LINE OF FRENCH CLAIM NO. 690, NORTH 16 DEGREES 04 MINUTES 20 SECONDS WEST 25.69 FEET; THENCE NORTH 54 DEGREES 58 MINUTES 40 SECONDS EAST 100 FEET; THENCE SOUTH 16 DEGREES 04 MINUTES 20 SECONDS EAST 400 FEET; THENCE NORTH 54 DEGREES 58 MINUTES 40 SECONDS EAST 300 FEET; THENCE SOUTH 16 DEGREES 04 MINUTES 20 SECONDS EAST 462.79 FEET; THENCE ALONG THE SOUTH LINE OF FRENCH CLAIM NO. 690, ALSO BEING THE NORTH LINE OF FRENCH CLAIM NO. 680, SOUTH 71 DEGREES 30 MINUTES 10 SECONDS WEST 378.66 FEET TO THE POINT OF BEGINNING.

PARCEL 3:
A PARCEL OF LAND SITUATED IN FRENCH CLAIM 690, TOWN 3 SOUTH, RANGE 7 EAST, MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE SOUTHWEST CORNER OF FRENCH CLAIM 690; THENCE NORTH 13 DEGREES 36 MINUTES 00 SECONDS WEST 731 .07 FEET, TO THE SOUTH LINE OF MICHIGAN AVENUE; THENCE NORTH 57 DEGREES 27 MINUTES 00 SECONDS EAST, ALONG SAID SOUTH LINE; 100.00 FEET, TO THE PLACE OF BEGINNING; THENCE CONTINUING ALONG SAID SOUTH LINE, NORTH 57 DEGREES 27 MINUTES 00 SECONDS EAST 200.00 FEET; THENCE SOUTH 13 DEGREES 36 MINUTES 00 SECONDS EAST 382.16 FEET; THENCE SOUTH 57 DEGREES 27 MINUTES 00 SECONDS WEST 200.00 FEET; THENCE NORTH 13 DEGREES 36 MINUTES 00 SECONDS WEST 382.16 FEET TO THE PLACE OF BEGINNING.

TITLE REPORT NOTE

ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE CHICAGO TITLE OF MICHIGAN, INC. TITLE COMMITMENT NO. 811214652NTS, DATED SEPTEMBER 13, 2023, AND RELISTED BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.

6. TERMS, COVENANTS, AND CONDITIONS OF ACCESS EASEMENT AGREEMENT AS SET FORTH BELOW: RECORDING NO: LIBER 4016, PAGE 96. (AS TO PARCEL 2) (AS SHOWN)

7. TERMS, COVENANTS, AND CONDITIONS OF PUBLIC ROAD EASEMENT AS SET FORTH BELOW: RECORDING NO: LIBER 4184, PAGE 712 AND LIBER 4184, PAGE 713. (AS TO PARCEL 2) (AS SHOWN)

8. TERMS, COVENANTS, AND CONDITIONS OF DECLARATION OF TAKING AS SET FORTH BELOW: RECORDING NO: LIBER 1477, PAGE 782. (AS TO PARCEL 3) (LIES WITHIN RIGHT OF WAY, SEE DOCUMENT FOR TERMS AND CONDITIONS)

SURVEYOR'S CERTIFICATION

TO LEWIS FRYE JR, AND GAYLE M FRYE, HUSBAND AND WIFE, R.N.A.OF ANN ARBOR, INCORPORATED, A MICHIGAN CORPORATION, WHOLESALE GROUP OF ANN ARBOR, INC., A DISSOLVED MICHIGAN CORPORATION, CHICAGO TITLE OF MICHIGAN, INC.; AND CHICAGO TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 4, 5, 7A, 8, 9, 11A, AND 11B OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON 04/26/23.

DATE OF PLAT OR MAP: 04/28/23

ANTHONY T. SYCKO, JR., P.S.
PROFESSIONAL SURVEYOR
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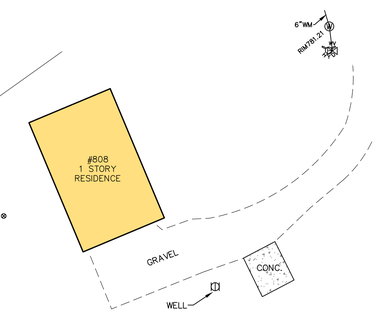
TSycko@kemtec-survey.com

STATE OF MICHIGAN
ANTHONY T. SYCKO, JR
PROFESSIONAL SURVEYOR
No. 4001047976
LICENSED PROFESSIONAL SURVEYOR



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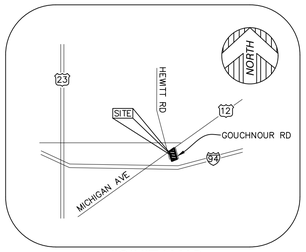
ALTA / NSPS LAND TITLE SURVEY

PREPARED FOR: STONEFIELD ENGINEERING AND DESIGN
2509 & 2103 MICHIGAN: 755 HEWITT
YPSILANTI , MICHIGAN,
PART OF SECTION 17 & 18,
TOWN 3 SOUTH, RANGE 7 EAST

REVISION	DATE	BY	DESCRIPTION
3	03/28/24	MRJ	PER REVIEW COMMENTS
2	12/08/23	ATS	ADD ROAD CENETRLINE
1	9/29/23	JDM	PER REVISED TITLE WORK

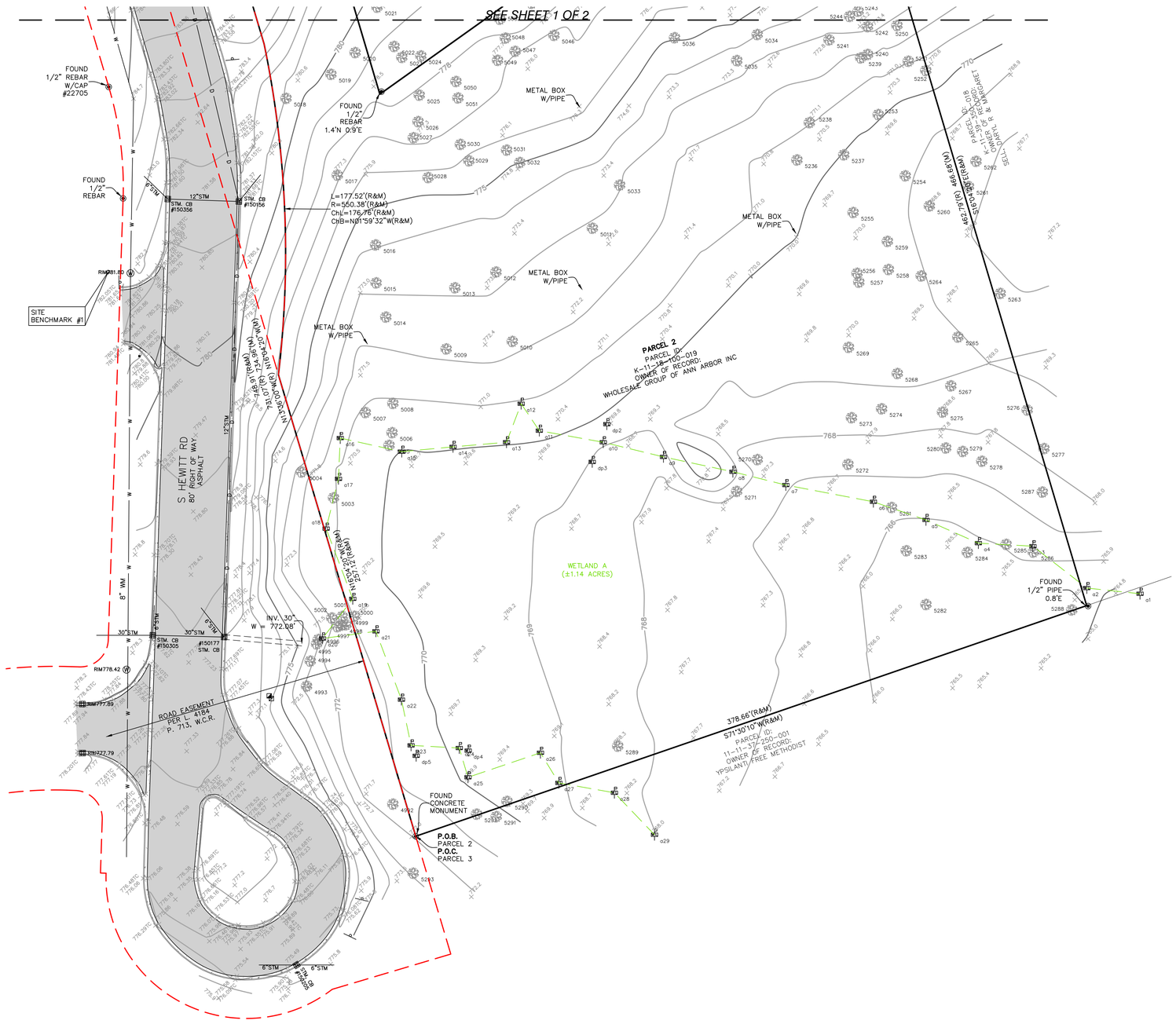
DRAWN BY: JO/MRJ 04/28/23
CHECKED BY: ATS 04/28/23
DATE: APRIL 28, 2023
PROJECT NO: 23-00730
SCALE: 1" = 30'

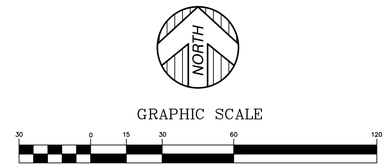


VICINITY MAP
(NOT TO SCALE)

MANHOLE SCHEDULE

NUM	TYPE	RIM (FT)	SIZE (IN)	DIR	INV ELEV (FT)
70010	BEEHIVE CATCH BASIN	789.12	12	W	787.99
			FULL OF DEBRIS		
150019	CATCH BASIN	790.06	12	NW	784.63
			FULL OF DIRT		
150024	SANITARY MANHOLE	790.50	8	SW	778.32
			8	NE	778.38
			6	S	781.85
150037	CATCH BASIN	791.11	12	N	787.67
			12	E	787.81
			B/STRUCTURE		787.51
150114	SANITARY MANHOLE	792.17	10	SW	780.99
			8	NE	780.29
150134	CATCH BASIN	788.06	12	W	782.43
			12	S	782.24
			6	NE	784.22
			B/STRUCTURE		779.81
150156	CATCH BASIN	781.26	12	W	774.63
			12	N	775.52
			12	S	773.64
			6	NE	777.12
			B/STRUCTURE		771.68
150177	CATCH BASIN	777.42	12	N	773.00
			30	W	771.69
			6	NW	771.92
			30	E	OFFSET
			B/STRUCTURE		769.64
150205	CATCH BASIN	775.35	6	W	772.46
			6	E	772.47
			B/STRUCTURE		771.25
150304	CATCH BASIN	777.55	30	W	772.30
			30	E	771.90
			6	N	773.79
			B/STRUCTURE		771.46
150356	CATCH BASIN	781.28	12	E	774.76
			6	NW	777.57
			B/STRUCTURE		774.28
150403	CATCH BASIN	788.10	12	E	782.61
			6	NW	784.20
			B/STRUCTURE		780.55
150585	STORM MANHOLE	791.40	24	NE	787.22
			24	SW	787.47
			24	NW	787.96
150600	CATCH BASIN	791.13	24	SW	787.13
			12	SE	786.93
			24	NE	787.12
150639	CATCH BASIN	789.98	12	SE	785.35
			12	NE	784.58
			6	SW	785.95
			B/STRUCTURE		783.00
150640	CATCH BASIN	790.70	12	SW	785.92
			24	SW	783.85
			24	NE	783.44
			B/STRUCTURE		783.52





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