



ZONING BOARD OF APPEALS

WEDNESDAY

July 12, 2023, @ 6:30 P.M.

If you need any assistance due to a disability, please contact the Planning Department at least 48 hours in advance of the meeting at planning@ytown.org or 734-544-4000.

1. Call Meeting to Order
2. Roll Call – Determination of a quorum
3. Approval of Agenda
4. Approval of the May 03, 2023, Regular Meeting Minutes
5. Public Hearing

Applicant: Tapan Patel – Wolverine Eagle Hospitality.
Location: 800 S. Hewitt Road, Ypsilanti, MI 48197
Parcel ID: K-11-18-100-022
Request: Article 5 – Sec. 503. Standards: Request for variance to the building height requirements. Article 5 – Sec. 507. Design Standards: Request for variance to building transparency requirements.

Applicant: The Lamkin Group, LLC.
Location: 1155 E. Forest Avenue, Ypsilanti, MI 48198
Parcel ID: K-11-03-400-033
Request: Article 4 – Sec. 407.3 Dimensional Requirements: Request for variance to the building setback requirements.

6. Open discussion for issues not on the agenda
 - a. Planning Department report
 - b. Correspondence received.
 - c. Zoning Board of Appeals members
 - d. Members of the audience and public
7. Any other business that may come before the Zoning Board of Appeals
8. Adjournment

(THERE IS NO WORK SESSION)

**CHARTER TOWNSHIP OF YPSILANTI
ZONING BOARD OF APPEALS
Wednesday, May 3, 2023
6:30 p.m.**

COMMISSIONERS PRESENT

Elizabeth El-Assadi, Vice Chair
David Marshall
Brad Hine
Stan Eldridge
Edward Burnett

COMMISSIONERS ABSENT

Marsha Krachier, Chair

MANAGEMENT PRESENT

Jason Iacoangeli, Planning Director

i. CALL TO ORDER/ESTABLISH QUORUM

MOTION: Ms. El-Assadi called the meeting to order at 6:30 p.m. Ms. El-Assadi completed the roll call and confirmed a quorum was established.

ii. APPROVAL OF AGENDA

Ms. El-Assadi requested a friendly amendment to the dates of the previous approval of minutes.

MOTION: Mr. Eldridge **MOVED** to approve the agenda and change the dates from December 7, 2023, to December 7, 2022. The **MOTION** was **SECONDED** by Mr. Burnett and **PASSED** by unanimous consent.

iii. APPROVAL OF DECEMBER 7, 2022, MEETING MINUTES

MOTION: Mr. Eldridge **MOVED** to approve December 7, 2022; Regular Meeting Minutes as presented. The **MOTION** was **SECONDED** by Mr. Burnett and **PASSED** by unanimous consent.

iv. PUBLIC HEARING

Applicant: Andrew Shaw – ALDI, Inc.

Location: 1420 S. Huron Street, Ypsilanti, MI 49187

Parcel ID: K-11-38-280-014

Request: Article 5 – Sec. 503. Standards: Request for a variance to the build-to-line setbacks. Article 5 – Sec. 507.

Design Standards: Request for variance to the building location requirements.

Mr. Iacoangeli presented the highlights of the staff report. Mr. Iacoangeli stated that the Zoning Board of Appeals must hear this case judiciously and decide whether there is reason to grant variances. The applicant is present to prove the variances they request to seek relief to reasonably enjoy their property and development rights under the zoning ordinance.

The property is a 2.52-acre vacant parcel in the Seaver Farm Development, corner of South Huron Street and Brinker Way. The site is currently zoned Town Center (TC), part of the Township's new form-based zoning district, and the site type is D, and the building form is B. The primary use is for retail, group four of the zoning ordinance, and the applicant proposes constructing a new 20,664-square-foot Aldi store on the property.

The applicant's request is a relief from section 503 (The Build-to-line setbacks). The Town Center Form-Based Code requires a 10-foot build-to-line for new development in the zoning district. The ordinance makes a provision that this setback can be extended to 30 feet if the new development provides a permanent space for outdoor cafes, public spaces, or cross-connection access drive to adjacent property. Aldi has provided two elements in the plan: a public plaza and an area for a public art piece. They would also provide cross-access to the neighboring parcel to the north. This would increase the setback line to 30 feet; Aldi would have to accommodate a new easement for the proposed public water main along South Huron that is 15 feet in width. A structure or building cannot encumber this easement. YCUA is imposing that Aldi would need to provide a 15-foot-wide easement for a water main, adding to the need for additional space to set the building back further from the street. The easement cannot be burdened with a building; Aldi is seeking a variance to place the building at 40 feet from South Huron's right of way or 22 feet from the main water easement.

On the Brinker Way, it is the requirements set by the Town Center Form-Based Code. The form-based zoning requires that the main entrance to a public building be closely related to the street and identifiable to the public. Based on the nature of a grocery store type of retail use, the store requires that the front entrance also has easy access to a parking lot. Putting a grocery store into a foreign form base code where the front door must also be to the public right away doesn't leave much room for the parking to be immediately adjacent to the front door. It is based on the need to push a grocery cart from the store to the vehicle and back to the store, as ALDI does not use cart corrals in the parking lot like other stores. To present the front of the store architecture to South Huron, a parking lot has been located between the ALDI store and Brinker Way.

Mr. Iacoangeli informed the Commission that this was a new development; the Planning Commission at the last meeting stated that the Township has pushed Aldi to make sure that the two street side spaces of the building would have the best elevations that would be presented to the public. One of those elevations would need to be the main entrance, that main entrance then must accommodate parking. The Form-Based Code doesn't contemplate grocery store uses where the front door must be immediately adjacent to the parking lot. To use the best two sides of the building on the public street, the car park would be accommodated immediately adjacent to the front entrance. The other parking area would be behind the store along the new Commercial Drive. The built-to-line is located at 154 feet. The variance request on Brinker Way is 124 feet.

Section 507 Design Standards, the Town Center (TC) District Form-Based Code design standards have created a hardship on Aldi Stores, requiring that the public entrance to the building be on the street and visible to the public. Based on the need for a grocery store to have parking near the front entrance. It was necessary to use the secondary road frontage along Brinker Way for part of the parking lot. Mr. Iacoangeli pointed out that store parking is also proposed behind the building along the new Commercial Drive. The applicant seeks a variance to locate the building outside the corner adjacent to the intersection.

The Analysis was The Zoning Board of Appeals might grant a dimensional or non-use variance only upon a finding that compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would create a practical difficulty and unreasonably present the use of the property. A finding of practical difficulty shall require a demonstration that all the following conditions are met:

- That there are exceptional or extraordinary circumstances or conditions and the need to extend public utilities and provide easements to maintain and repair the easements along with the issues created by the ordinance with regard specifically to grocery stores and the need to have parking immediately adjacent to the public entrance requires a hardship with regarding meeting the ordinance requirements concerning build-to-line and location of the building.
- That variance is necessary to preserve and enjoy substantial property rights. The Town Center (TC) Zoning District allows for the development of retail uses. The ALDI grocery store presents a unique set of challenges related to the building needing to be oriented to the street and still providing the required parking format for a grocery store. Because South Huron is not an urban environment, these variances will allow for the grocery store to be constructed and still meet the spirit and intent of the Zoning Ordinance.

- Authorizing such variance will not be a substantial detriment to adjacent property and will not harm or alter the area's essential character. The granting of the variances requested will not cause detriment to adjacent property owners. Further, it will not be harmful to the character of the South Huron Street Corridor.
- The property and resulting need for the variance have not been self-created by any action of the applicant or the applicant's predecessors. The need for a variance is not a self-created practical difficulty. The need to loop utilities around the site and create an easement for the utilities would be required of any new development locating on this property and is not further unique to the ALDI development. The ordinance standards do not consider the unique access that a grocery store requires near the public entrance to the parking lot. The applicant has made great efforts to reduce and mitigate the need for variances and has tried to comply with the ordinance.
- The proposed variance will be the minimum necessary, and no variance shall be granted where a different solution not requiring a variance would be possible. The variances in question would be the minimum necessary to construct the building close to South Huron Street outside the utility easement and still provide the necessary parking spaces for the grocery store to operate without issues with too few parking spaces.

Ms. El-Assadi inquired about the extension for the utilities; Mr. Iacoangeli stated that the initial requirement was to bring the water main down Huron Street to Joe Hall Drive; it was then determined that the loop didn't really need to go that far but loop the water main around the parcel and still provide water main to the new private driveway. The Engineer stated that the only part missed is the setback line requiring 10 feet. Aldi provided public space and cross-access to get the 30. But then you must add in this 50-foot-wide water meter easement. Twenty-two feet was put away from the water meter easement, which totals 40 feet from the property line.

Chris J (Design Engineer) highlighted some essential items; the view from Huron Street would have access to the sidewalk and the bike path in the front. The extra 10 feet would provide the landscaping required by the ordinance and maintain that easement. No plants/ shrubs in the easement in case of future water main repair. The parking lot is not directly visible; a wall screens it. The building entrance would be visible from Brinker Way and Huron Street to provide an easily identifiable entrance. The main water issue that YCUA and landscaping identified was taken into consideration by the design team. Aldi has met with the Township Staff/Consultants multiple times and continuously modified the proposed site layout to meet the Township vision.

Public Hearing opened at 6:57 PM

Public Hearing closed at 6:57 PM

MOTION: Mr. Eldridge **MOVED** to approve the variance request for ALDI Inc. to be located on a parcel at 1420 S. Huron Street, Ypsilanti, MI, 48197 (K-11-38-280-017). The variances are as follows:

1. Article 5, Section 503, Standards: To allow the front build-to-line for South Huron Street to be set at 40 feet from Huron Street right of way.
2. Article 5, Section 503, Standards: To allow the front build-to-line for Brinker Way to be set at 154 feet from the Brinker Way right of way.
3. Article 5, Section 507, Design Standards: To allow the building to be located outside the corner of the lot adjacent to the intersection.

The **MOTION** was **SECONDED** by Mr. Hine.

Roll Call Vote: Mr. Eldridge (Yes), Mr. Hine (Yes), Mr. Marshall (Yes), Mr. Burnett (Yes), Ms. El-Assadi (Yes). **MOTION PASSED.**

v. **OPEN DISCUSSION FOR ISSUES NOT ON THE AGENDA**

A. **PLANNING DEPARTMENT REPORT** – Mr. Iacoangeli informed the Commission that they were due for the election of officers in January 2023. At the next Zoning Board Meeting, the election of officers will be taking place. Members are interested in running for office/Chair/Vice-Chair/Secretary. There are upcoming developments in the pipeline. Frost Cannabis was the Township's first cannabis store. The Planning Commission approved it for a new development at Watson Street. The Pegasus Concrete Mill has a temporary CFO. They would be starting to distribute concrete in the Ypsilanti area. EMU continues constructing the men's and women's new golf facility at Eagle Crest. RNL Carriers continue with their construction project.

B. **CORRESPONDENCE RECEIVED** – None

C. **ZONING BOARD OF APPEALS MEMBERS** – None

D. **MEMBERS OF THE AUDIENCE AND PUBLIC** – None

vi. **OTHER BUSINESS**

None to Report.

vii. **ADJOURNMENT**

MOTION: Mr. Eldridge **MOVED** to adjourn at 7:02 p.m. The **MOTION** was **SECONDED** by Mr. Burnett and **PASSED** by unanimous consent.

Respectfully submitted by Minutes Services.



Zoning Board of Appeals Staff Report

July 12, 2023

Re: 800 S Hewitt Road - Parcel K-11-18-100-022

Applicant:

Mr. Tapan Patel
Wolverine Eagle Hospitality
3241 Carleton Road
Hillsdale, MI 49242

Variance Request:

Article 5 – Sec. 503 Standards
Article 5 – Sec. 507 Design Standards

Location and Summary of Request:

The subject property is located south of Michigan Avenue but will be accessible from the west of South Hewitt Road. The max building height in that zoned site is 3 stories where Wolverine Eagle Hospitality plans to construct a 78-room, 4-story Comfort Inn & Suites Hotel. The applicant is requesting a building height extension and to lower the transparency requirements on the west facing side of the building.

Currently, the project meets the transparency requirements on the north and south elevations but only is providing the 11% of the required 30% percent per Ordinance. The applicant has stated this is due to that side of the building containing the “back of house” operations including the housekeeping, laundry, and utilities. These areas are not being provided with windows however some areas of the west side will have glass as needed.

Currently the subject property is zoned RC, Regional Corridor, type C which permits the proposed use by way of a special conditional use permit and site plan approval by the Planning Commission. Both the Special Conditional Use Permit and Preliminary Site Plan were approved by the Planning Commission during the public hearing scheduled for June 13, 2023. The approval was contingent on the applicant obtaining the referenced height and transparency variance from the Zoning Board of Appeals.

Cross Reference:

Township Zoning Ordinance – Article 5 Section 503 - Standards
Township Zoning Ordinance – Article 5 Section 50.E - Transparency
Township Zoning Ordinance – Article 17 Zoning Board of Appeals



Aerial Photograph(s)



Analysis:

The Zoning Board of Appeals may grant a dimensional or non-use variance only upon a finding that compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would create a practical difficulty and unreasonably present the use of the property. A finding of practical difficulty shall require demonstration that all the following conditions are met:

- 1. That there are exceptional or extraordinary circumstances or conditions applying to the property in question that do not apply generally to other properties or classes of uses in the same zoning district.**

The current zoning site type classification of RC, site type C only allows up to building styles of 3 stories tall, and the design standards for this form base district require at least a 30% of façade transparency. That parcel of property exhibits exceptional width to depth issues as it is a narrow piece of property. Obtaining the required number of hotel rooms to make the hotel viable would require additional property to be acquired.



However, from a planning perspective the allowance for an additional story provides the number of units needed without the need to encumber additional land for the hotel. This height variance would meet the spirit and intent of the ordinance regarding providing for an allowable use on a lot that is of this size.

2. That a variance is necessary for the preservation and enjoyment of a substantial property right possessed by other properties in the same zoning district and in the vicinity.

The variances being request would permit the use of the property for a hotel which is a Special Conditional Use in the Reginal Corridor Zoning District (RC). For the functionality of a hotel, laundry rooms, utility rooms, and elevator, along with privacy of costumers who stay within a hotel. The current façade transparency requirements of the ordinance do not enhance the standards and functionality of the hotel design. The limitation transparency is based on not providing windows for “back of house” type operations of the hotel including what was mentioned above laundry rooms, storage, housekeeping, and utilities.

3. That the authorizing of such a variance will not be a substantial detriment to adjacent property, will not be harmful to or alter the essential character of the area, and will not materially impair the purposes of this Ordinance or the public interest.

The areas without windows are on the west side of the buildings which faces I-94 and that will not alter the character of the neighborhood. Further, the height variance will not impact adjacent residential areas as there are not any residential uses next to this new development.

The variance to extend the building height would not hinder the current character of the neighborhood as the zoning district expects development that would bring a variety of building designs, even taller designs like building type D that is mainly designated for site type D within the regional corridor, there are a few site type D parcels along this Michigan Avenue corridor where 800 Hewitt sits.

4. The property and resulting need for the variance has not been self-created by any action of the applicant or the applicant’s predecessors.

The applicant did not create the current parcel and the property is smaller than typical parcels zoned Regional Corridor (RC) in the immediate vicinity.

5. The proposed variance will be the minimum necessary and no variance shall be granted where a different solution not requiring a variance would be possible.



The Planning Department feels that the additional height to the structure is reasonable based on the size of the parcel and that other site types within the Regional Corridor (RC) allow for four (4) story development. To gain the requested number of units to make the project viable a height variance would be required based on the size of the property.

Suggested motions: The following suggested motions and conditions are provided to assist the Zoning Board of Appeals in making a complete and appropriate motion for this application. The ZBA may utilize, add, or reject any portion of the suggested motion or any conditions suggested herein, as deemed appropriate.

Building Height Variance:

Table

“I move to table the variance request of Mr. Tapan Patel representing Wolverine Eagle Hospitality, to permit an increase in the overall height of the proposed building located within the RC, Regional Corridor, type C district from 3 stories or 38-feet to 4 stories or 53-feet in order to permit the construction of a 78 room hotel upon the property located at 800 s Hewitt, parcel K-11-18-100-022 in order to consider comments presented during this public hearing.”

Approve

“I move to approve the variance request of Mr. Tapan Patel representing Wolverine Eagle Hospitality, to permit an increase in the overall height of the proposed building located within the RC, Regional Corridor, type C district from 3 stories or 38-feet to 4 stories or 53-feet in order to permit the construction of a 59,009 square-foot, 100 room hotel upon the property located at 800 s Hewitt, parcel K-11-18-100-022 as the following practical difficulties have been noted:

- The authorizing of the requested variance will not be a substantial detriment to adjacent property and will not materially impair the purposes of this ordinance or the public interest, and;
- It has been determined and agreed that the subject parcel has exceptional conditions requiring the additional building height.

This motion is further made with the following conditions:

- The applicant shall obtain Final Site Plan and Detailed Engineering Approval; and shall obtain all outside agency permits for the construction of the hotel.

Denial



“I move to deny the variance request of Mr. Tapan Patel representing Wolverine Eagle Hospitality, to permit an increase in the overall height of the proposed building located within the RC, corridor, type C district from 3 stories or 38-feet to 4 stories or 53-feet in order to permit the construction of a 78-room hotel upon the property located at 800 s Hewitt, parcel K-11-18-100-022, due to the following reason(s):

Transparency Variance:

Table

I move to table the variance request of Mr. Tapan Patel representing Wolverine Eagle Hospitality, to permit the transparency of the western façade to be the 11% of the required 30% percent per Ordinance upon the property located at 800 s Hewitt, parcel K-11-18-100-022 to consider comments presented during this public hearing.”

Approve

I move to approve the variance request of Mr. Tapan Patel representing Wolverine Eagle Hospitality, to permit the transparency of the western façade to be the 11% of the required 30% percent per Ordinance upon the property located at 800 s Hewitt, parcel K-11-18-100-022 in order to consider comments presented during this public hearing.”

- The authorizing of the requested variance will not be a substantial detriment to adjacent property and will not materially impair the purposes of this ordinance or the public interest, and;
- It has been determined and agreed that the subject parcel has exceptional conditions requiring the additional building height.

This motion is further made with the following conditions:

- The applicant shall obtain Final Site Plan and Detailed Engineering Approval; and shall obtain all outside agency permits for the construction of the hotel.

Denial

“I move to deny the variance request of Mr. Tapan Patel representing Wolverine Eagle Hospitality, to permit the transparency of the western façade to be the 11% of the required 30% percent per Ordinance upon the property located at 800 s Hewitt, parcel K-11-18-100-022, due to the following reason(s):

Respectfully Submitted,

Lauren Doppke, Staff Planner

JUN 01 2023

YPSILANTI TOWNSHIP
OCS

ZONING BOARD OF
APPEALS APPLICATION

I. APPLICATION TYPE

- X Variance
Exceptions and Special Approvals (Includes: Temporary Uses and Structures)
Administrative Review Appeal

II. PROJECT LOCATION

Address: 800 S Hewitt Ypsilanti, MI 48197 Parcel ID #: K-11-11-18-100-022 Zoning RC
Lot Number: NA Subdivision: NA

III. APPLICANT INFORMATION

Applicant: Tapan Patel (Wolverine Eagle Hospitality) Phone: 517-610-2417
Address: 3241 Carleton Rd City: Hillsdale State: MI Zip: 49242
Fax: Email: tapan.patel@tapresources.net
Property Owner: Wolverine Eagle Hospitality Phone: 517-610-2417
Address: 3241 Carleton Rd City: Hillsdale State: MI Zip: 49242
Fax: Email: tapan.patel@tapresources.net

IV. COST AND FEES

Total: \$500 Breakdown of fee: Residential: \$ 125.00
Non-residential: \$ 500.00

V. APPLICANT SIGNATURE

The undersigned Tapan Patel (Wolverine Eagle Hospitality) represents Wolverine Eagle Hospitality:
Applicant Property Owner

1. That Wolverine Eagle Hospitality is/are the owner(s) of lot(s) NA located in the NA
Property Owner Lot Subdivision
Subdivision, Ypsilanti Township, Michigan, otherwise known as 800 S Hewitt, Ypsilanti, MI 48197 and the property is
Address

zoned RC
Zoning District
2. That the petitioner hereby request Variance under Section 413 Article 5 of the Ypsilanti Township
Variance/Temporary Use Section Article
/Regular Meeting

3. The petitioner further state that TP have/has read and understands the provisions of said zoning ordinance as it
Applicant Initial
applies to this petition.

4. That the following is submitted in support of the petition (attach all pertinent data to support the request).

[Signature]
Applicant Signature Tapan Patel
Print Name

June 1, 2023
Date

Charter Township of Ypsilanti

Office of Community Standards

7200 S. Huron Drive, Ypsilanti, MI 48197

Phone: (734) 485-3943

Website: <https://ytown.org>

OFFICE USE ONLY

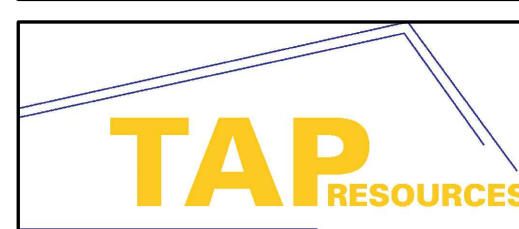
| All Zoning Board of Appeals Applications | |
|-----------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------|
| <input type="checkbox"/> The application is filled out in its entirety. | <input type="checkbox"/> Plot plan or lot survey to scale showing the following: |
| <input type="checkbox"/> If the applicant is not the property owner, written and signed permission from the property owner is required. | <input type="checkbox"/> All property lines and dimensions |
| <input type="checkbox"/> Fees | <input type="checkbox"/> All existing and proposed structures and dimensions |
| <input type="checkbox"/> Letter of interest of the applicant in the property | <input type="checkbox"/> Lot area calculations necessary to show compliance with regulations |
| | <input type="checkbox"/> Easements and dimensions, if applicable |
| | <input type="checkbox"/> Location of drives, sidewalks, and other paved areas on the property and on the adjacent streets. |
| | <input type="checkbox"/> Location and dimensions of the nearest structures on adjacent properties. |

NEW HOTEL FOR: CHOICE HOTELS - COMFORT INN & SUITES - MI502

800 SOUTH HEWITT ROAD
YPSILANTI, MICHIGAN



OWNER



TAP RESOURCES
3241 CARLETON ROAD
HILLSDALE, MICHIGAN 49242
PHONE (517) 610-2417
FAX (517) 439-1286
email: tapan.patel@tapresources.net

ARCHITECTURAL



G.A.V. & ASSOCIATES, Inc.
RESIDENTIAL
DESIGN
COMMERCIAL
INDUSTRIAL
24001 ORCHARD LAKE RD., STE. #180A
FARMINGTON, MICHIGAN 48336
PHONE (248) 985-9101

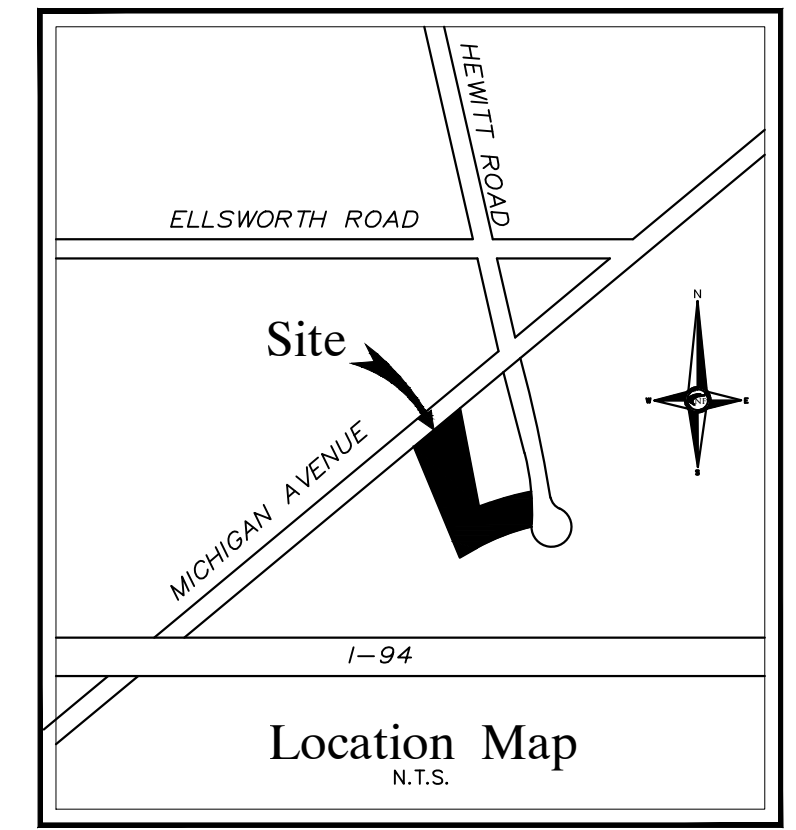
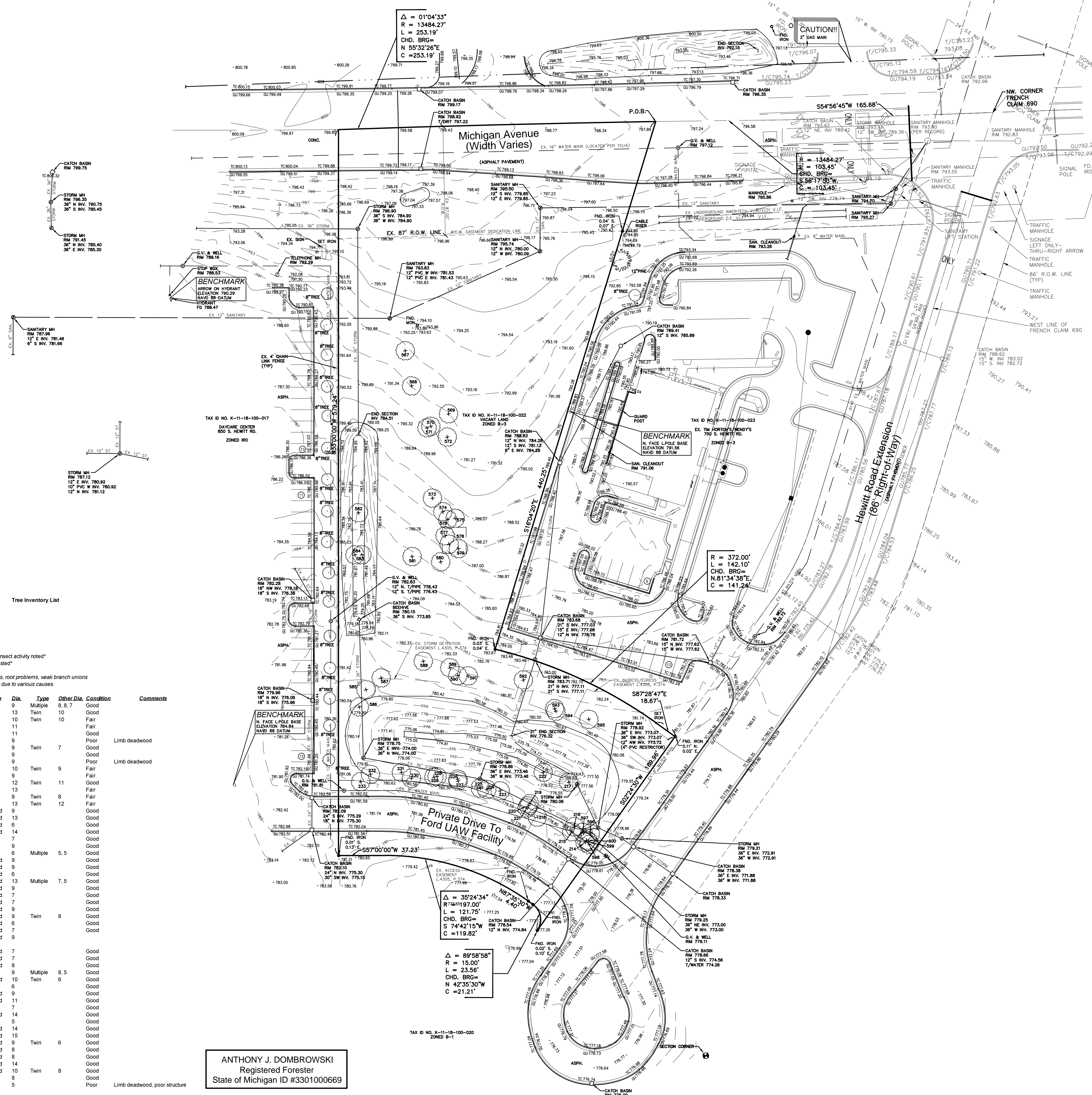
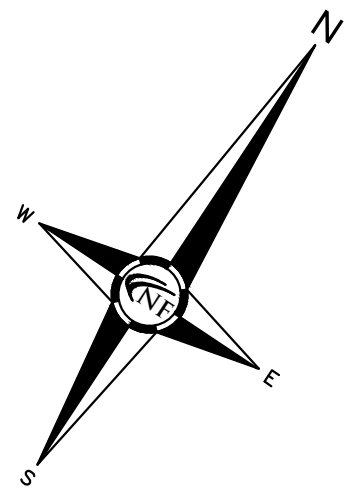
CIVIL



**CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS**

NOWAK & FRAUS ENGINEERS
46777 Woodward Ave.
Pontiac, MI 48342-5032
Tel. (248) 332-7931
Fax. (248) 332-8257

| PROJECT INFORMATION | LOCATION MAP | SHEET INDEX | SHEET INDEX | SHEET INDEX | SHEET INDEX | ISSUED FOR |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>PROJECT NUMBER: 22060 PROJECT LOCATION: 800 SOUTH HEWITT ROAD YPSILANTI, MICHIGAN ARCHITECT: GAV & ASSOCIATES, INC. 24001 ORCHARD LAKE RD. STE. #180A FARMINGTON, MI 48336 PHONE: (248) 985-9101</p> <p>1. THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE: SAMIR M KARIM, MI ARCH LIC.#1301038452</p> <p>2. THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR YPSILANTI TOWNSHIP CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.</p> | | <p>T.001 TITLE SHEET, LOCATION MAP & SHEET INDEX</p> <p>SP-1 BOUNDARY / TOPOGRAPHIC / TREE SURVEY SP-2 DIMENSIONAL SITE PLAN SP-2a FIRE APPARATUS MANEUVERING PLAN SP-3 ENGINEERING SITE P L AN SP-3a SITE NOTES AND DETAILS LI TREE PRESERVATION PLAN L2 LANDSCAPE PLAN L3 LANDSCAPE NOTES AND DETAILS</p> <p>LIGHT SITE PHOTOMETRIC PLAN</p> <p>SP.101 PROPOSED ARCHITECTURAL SITE PLAN SP.102 PROPOSED SITE PLAN DETAILS</p> <p>A.101 PROPOSED FIRST FLOOR PLAN A.102 PROPOSED SECOND FLOOR PLAN A.103 PROPOSED THIRD FLOOR PLAN A.104 PROPOSED FOURTH FLOOR PLAN</p> <p>A.201 PROPOSED SOUTH & EAST ELEVATIONS A.202 PROPOSED NORTH & WEST ELEVATIONS A.203 PROPOSED COLOR EXTERIOR ELEVATIONS</p> <p>A.501 KING GUESTROOM PLANS & ELEVATIONS A.502 DOUBLE QUEEN GUESTROOM PLANS & ELEVATIONS A.503 ACCESSIBLE KING SUITE PLANS & ELEVATIONS A.504 KING SUITE PLANS & ELEVATIONS A.505 ACCESSIBLE WIDE KING SUITE PLANS & ELEVATIONS A.506 ACCESSIBLE DOUBLE QUEEN GUESTROOM PLANS & ELEVATIONS A.507 KING SUITE COMMUNICATING PLANS & ELEVATIONS A.508 DOUBLE QUEEN COMMUNICATING GUESTROOM PLANS & ELEVATIONS A.551 PUBLIC SPACE - ENLARGED FLOOR PLAN A.552 PUBLIC SPACE - ENLARGED REFLECTED CEILING PLAN A.553 PUBLIC SPACE - ENLARGED FF&E PLAN A.554 PUBLIC SPACE - FITNESS ROOM UPPER FLOOR ELEVATOR LOBBY</p> | | <p>CODE NARRATIVE:</p> <ol style="list-style-type: none"> THESE BUILDING PLANS ARE BEING SUBMITTED FOR A PROPOSED CHOICE HOTELS, COMFORT INN & SUITES BRAND FOUR STORY HOTEL. THE BUILDING WILL HAVE A FULL FIRE PROTECTION SYSTEM THROUGHOUT. FIRE PROTECTION SPRINKLER SYSTEM IS NOT SHOWN ON THESE DRAWINGS AND IS BY CONTRACTOR TO SUBMIT TO A.H.J. FOR REVIEW AND APPROVAL. <p>CODES & STANDARDS REFERENCES:</p> <p>GENERAL CONTRACTOR TO COMPLY WITH ALL FEDERAL, STATE, CITY AND LOCAL CODES WHERE APPLICABLE. ALL NEW CONSTRUCTION SHALL COMPLY TO THE FOLLOWING:</p> <ul style="list-style-type: none"> 2015 MICHIGAN BUILDING CODE (MBC). 2015 MICHIGAN MECHANICAL CODE (MMC). 2018 MICHIGAN PLUMBING CODE (MPC). 2017 NATIONAL ELECTRICAL CODE (NEC) PART 8 OF THE STATE CONSTRUCTION CODE 2009 ICC/ANSI A117.1 AND MICHIGAN BARRIER FREE DESIGN LAM P.A. 1 OF 1986 AS AMENDED. 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) WITH 2013 ASHRAE STANDARD 90.1 STANDARD INCLUDING AMENDMENTS. 2015 MICHIGAN UNIFORM ENERGY CODE, PART 10A (MEC) 2010 FIRE SUPPRESSION NFPA 13 2013 FIRE ALARM CODE NFPA 72 2012 INTERNATIONAL FIRE CODE (IFC) 2015 INTERNATIONAL FUEL GAS CODE (IFGC) PROJECT SHALL COMPLY WITH MEG 2015 CHAPTER 35 REFERENCE STANDARDS. YPSILANTI TOWNSHIP ZONING ORDINANCE AND CODES MICHIGAN ELEVATOR CODE | <p style="text-align: center; border: 1px solid black; padding: 5px;">PRELIMINARY NOT FOR CONSTRUCTION</p> | <p>PRE-PLANNING REVIEW 10-11-2022 CHOICE HOTELS REVIEW 11-18-2022 REVIEW 12-19-2022 PLANNING REVIEW 1-18-2023 PLANNING REVIEW 4-27-2023</p> <p style="text-align: center;">SEAL</p> |



NOWAK & FRAUS ENGINEERS
4677 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257

LEGAL DESCRIPTION

A PARCEL OF LAND SITUATED IN TOWN 3 SOUTH, RANGE 7 EAST, YPSILANTI TOWNSHIP, WASHENAW COUNTY, MICHIGAN; MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE NORTHWEST CORNER OF FRENCH CLAIM 690, 135.87', YPSILANTI TOWNSHIP, WASHENAW COUNTY, MICHIGAN 55°56'45" W 165.68' FEET AND 103.45 FEET ALONG A CURVE TO THE LEFT (RADIUS 13484.27 FEET, CHORD 5.5617°33' W, 103.45 FEET) TO THE POINT OF BEGINNING; THENCE S.16°04'20" E, 440.25 FEET; THENCE 142.10 FEET ALONG A CURVE TO THE RIGHT (RADIUS 372.00 FEET, CHORD N.81°34'38" E, 141.24 FEET); THENCE S.87°28'47" E, 18.67 FEET; THENCE S02°24'30" W 189.96 FEET; THENCE 23.56 FEET ALONG A CURVE TO THE LEFT (RADIUS 15.00 FEET, CHORD N42°35'30" W 21.21 FEET); THENCE N87°35'30" W 4.40 FEET; THENCE 121.75 FEET ALONG A CURVE TO THE LEFT (RADIUS 197.00 FEET, CHORD S74°42'15" W 119.82 FEET); THENCE S57°00'00" W 37.23 FEET; THENCE N33°00'00" W 579.24 FEET TO THE CENTERLINE OF MICHIGAN AVENUE; THENCE ALONG SAID CENTERLINE OF MICHIGAN AVENUE 253.19 FEET ALONG A CURVE TO THE RIGHT (RADIUS 13484.27 FEET, CHORD N55°32'26" E 253.19 FEET) TO THE POINT OF BEGINNING.

SUBJECT TO AN ACCESS EASEMENT AGREEMENT AS RECORDED IN LIBER 4016, P. 96, WASHENAW COUNTY RECORDS AND AN EASEMENT DEDICATION FOR RIGHT-OF-WAY FOR MICHIGAN AVENUE AS RECORDED IN LIBER 4184, PAGE 712, WASHENAW COUNTY RECORDS.

CONTAINING 118,512.45 SQUARE FEET OR 2.72 ACRES (GROSS) AND 97,742.91 SQUARE FEET OR 2.24 ACRES (NET)
SIDWELL NO. K-11-18-100-022

MISS DIG / UNDERGROUND ELECTRIC DISCLAIMER NOTE

THE LOCATION OF THE UNDERGROUND ELECTRIC SHOWN ON THE RECORDS PROVIDED BY DTE ENERGY COULD NOT BE ACCURATELY PLOTTED DUE TO A LACK OF DIMENSIONS AND/OR SCALE. CLIENT SHALL CONTACT DTE ENERGY TO DETERMINE THE LOCATION OF THE UNDERGROUND UTILITY.

MISS DIG / UNDERGROUND CABLE DISCLAIMER NOTE

THE LOCATION OF THE UNDERGROUND CABLE SHOWN ON THE RECORDS PROVIDED BY AT&T COULD NOT BE ACCURATELY PLOTTED DUE TO A LACK OF DIMENSIONS AND/OR SCALE. CLIENT SHALL CONTACT AT&T TO DETERMINE THE LOCATION OF THE UNDERGROUND UTILITY.

MISS DIG / UNDERGROUND CABLE DISCLAIMER NOTE

THE LOCATION OF THE UNDERGROUND CABLE SHOWN ON THE RECORDS PROVIDED BY COMCAST COULD NOT BE ACCURATELY PLOTTED DUE TO A LACK OF DIMENSIONS AND/OR SCALE. CLIENT SHALL CONTACT COMCAST TO DETERMINE THE LOCATION OF THE UNDERGROUND UTILITY.

MISS DIG / UTILITY DISCLAIMER NOTE

A MISS DIG TICKET NUMBER A70970528, PURSUANT TO MICHIGAN PUBLIC ACT 174 WAS ENTERED FOR THE SURVEYED PROPERTY, DUE TO THE EXTENDED REPORTING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS, THE SURVEY MAY NOT REFLECT ALL THE UTILITIES AT THE TIME THIS SURVEY WAS ISSUED ON 5-9-2017. THE SURVEY ONLY REFLECTS THOSE UTILITIES WHICH COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR AS DEPICTED BY THE UTILITY COMPANY RECORDS FURNISH PRIOR TO THE DATE THIS SURVEY WAS ISSUED. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE FACILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.

FLOOD HAZARD NOTE

THIS PROPERTY IS NOT LOCATED WITHIN THE FLOOD HAZARD AREA INDICATED BY FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 26181C0407E DATED: APRIL 3, 2012

TOPOGRAPHIC SURVEY NOTES

ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.
UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.
THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

CERTIFICATE OF SURVEY

WE HEREBY CERTIFY THAT WE HAVE SURVEYED THE PROPERTY HEREIN DESCRIBED AND THAT WE HAVE PLACED MARKER IRONS AT THE CORNERS OF THE PARCEL OR AS INDICATED IN THE ABOVE SKETCH:
KEVIN NAVAROLI, PLS DATE: 05-09-17
NO: 53503

LEGEND
MANHOLE, EXISTING SANITARY SEWER, HYDRANT, GATE VALVE, EXISTING SAN. CLEAN OUT, EXISTING WATER MAIN, MANHOLE, CATCH BASIN, EXISTING STORM SEWER, EX. R.Y. CATCH BASIN, EXISTING BURIED CABLES, UTILITY POLE, GUY POLE, OVERHEAD LINES, GUY WIRE, LIGHT POLE, SIGN, EXISTING GAS MAIN

SEAL



PROJECT
Hotel Development
Michigan Avenue at
Hewitt Road Extension

CLIENT
GAV Associates

Contact: David Ganezer
Ph: (248) 985-9101 x1006

PROJECT LOCATION
Part of the N.E. 1/4
of Section 18
T.3S., R.7E.
Ypsilanti Twp.,
Washtenaw County, MI

SHEET
Boundary / Topographic /
Tree Survey



REVISIONS
01-18-2023 Preliminary Review
04-27-2023 Planning Review

DRAWN BY:
C. Ellison
DESIGNED BY:
K. Navaroli
APPROVED BY:
K. Navaroli
DATE:
January 18, 2023
SCALE: 1" = 40'
40 20 0 20 40 60
NFE JOB NO. C447-03 **SHEET NO.** SP-1

Tree Inventory List

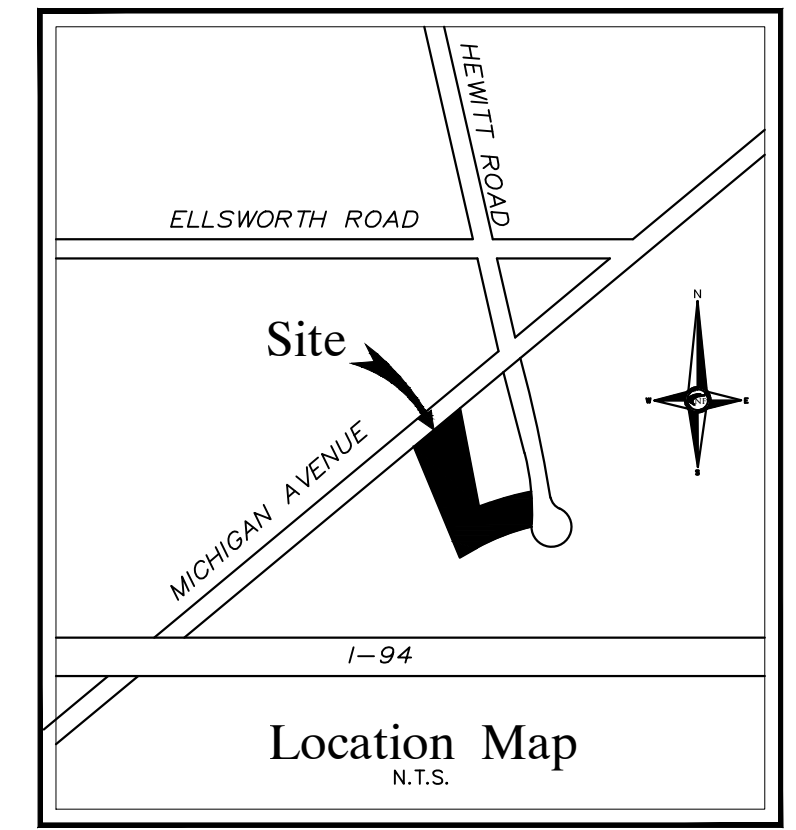
| Tree # | Botanical Name | Common Name | Dia. | Type | Other Dia. | Condition | Comments |
|--------|---------------------|--------------------|------|----------|------------|-----------|-------------------------------|
| 567 | Ulmus pumila | Siberian Elm | 9 | Multiple | 8, 6, 7 | Good | |
| 568 | Ulmus pumila | Siberian Elm | 13 | Twin | 10 | Good | |
| 569 | Ulmus pumila | Siberian Elm | 10 | Twin | 10 | Fair | |
| 570 | Ulmus pumila | Siberian Elm | 11 | | | Fair | |
| 571 | Ulmus pumila | Siberian Elm | 11 | | | Good | |
| 572 | Acer negundo | Boxelder | 9 | | | Poor | Limb deadwood |
| 573 | Ulmus pumila | Siberian Elm | 9 | Twin | 7 | Good | |
| 574 | Ulmus pumila | Siberian Elm | 9 | | | Good | |
| 575 | Ulmus pumila | Siberian Elm | 9 | | | Fair | Limb deadwood |
| 576 | Ulmus pumila | Siberian Elm | 10 | Twin | 9 | Fair | |
| 577 | Ulmus pumila | Siberian Elm | 9 | | | Fair | |
| 578 | Ulmus pumila | Siberian Elm | 12 | Twin | 11 | Good | |
| 579 | Ulmus pumila | Siberian Elm | 13 | | | Good | |
| 580 | Ulmus pumila | Siberian Elm | 9 | Twin | 8 | Fair | |
| 581 | Ulmus pumila | Siberian Elm | 13 | Twin | 12 | Fair | |
| 582 | Populus deltoides | Eastern Cottonwood | 7 | | | Good | |
| 583 | Populus deltoides | Eastern Cottonwood | 13 | | | Good | |
| 584 | Populus deltoides | Eastern Cottonwood | 6 | | | Good | |
| 585 | Populus deltoides | Eastern Cottonwood | 14 | | | Good | |
| 586 | Catalpa speciosa | Catalpa | 7 | | | Good | |
| 587 | Ulmus pumila | Siberian Elm | 9 | | | Good | |
| 588 | Ulmus pumila | Siberian Elm | 6 | Multiple | 5, 5 | Good | |
| 589 | Populus deltoides | Eastern Cottonwood | 9 | | | Good | |
| 590 | Populus deltoides | Eastern Cottonwood | 9 | | | Good | |
| 591 | Populus deltoides | Eastern Cottonwood | 6 | | | Good | |
| 592 | Populus deltoides | Eastern Cottonwood | 13 | Multiple | 7, 5 | Good | |
| 593 | Populus deltoides | Eastern Cottonwood | 9 | | | Good | |
| 594 | Populus deltoides | Eastern Cottonwood | 7 | | | Good | |
| 595 | Populus deltoides | Eastern Cottonwood | 7 | | | Good | |
| 596 | Populus deltoides | Eastern Cottonwood | 9 | | | Good | |
| 597 | Populus deltoides | Eastern Cottonwood | 9 | Twin | 8 | Good | |
| 598 | Populus deltoides | Eastern Cottonwood | 6 | | | Good | |
| 599 | Populus deltoides | Eastern Cottonwood | 7 | | | Good | |
| 600 | Populus deltoides | Eastern Cottonwood | 9 | | | Good | |
| 214 | Populus deltoides | Eastern Cottonwood | 7 | | | Good | |
| 215 | Populus deltoides | Eastern Cottonwood | 7 | | | Good | |
| 216 | Populus deltoides | Eastern Cottonwood | 8 | | | Good | |
| 217 | Ulmus pumila | Siberian Elm | 9 | Multiple | 8, 5 | Good | |
| 218 | Populus deltoides | Eastern Cottonwood | 10 | Twin | 6 | Good | |
| 219 | Populus balsamifera | Balsam Fir | 6 | | | Good | |
| 220 | Populus deltoides | Eastern Cottonwood | 9 | | | Good | |
| 221 | Populus deltoides | Eastern Cottonwood | 11 | | | Good | |
| 222 | Ulmus pumila | Siberian Elm | 7 | | | Good | |
| 223 | Populus deltoides | Eastern Cottonwood | 14 | | | Good | |
| 224 | Pyrus calleryana | Bradford Pear | 5 | | | Good | |
| 225 | Populus deltoides | Eastern Cottonwood | 14 | | | Good | |
| 226 | Populus deltoides | Eastern Cottonwood | 15 | | | Good | |
| 227 | Populus deltoides | Eastern Cottonwood | 6 | Twin | 6 | Good | |
| 228 | Populus deltoides | Eastern Cottonwood | 8 | | | Good | |
| 229 | Populus deltoides | Eastern Cottonwood | 8 | | | Good | |
| 230 | Populus deltoides | Eastern Cottonwood | 14 | | | Good | |
| 231 | Populus deltoides | Eastern Cottonwood | 10 | Twin | 8 | Good | |
| 232 | Picea abies | Norway Spruce | 10 | | | Good | |
| 233 | Populus balsamifera | Balsam Fir | 5 | | | Poor | Limb deadwood, poor structure |

ANTHONY J. DOMBROWSKI
Registered Forester
State of Michigan ID #3301000669

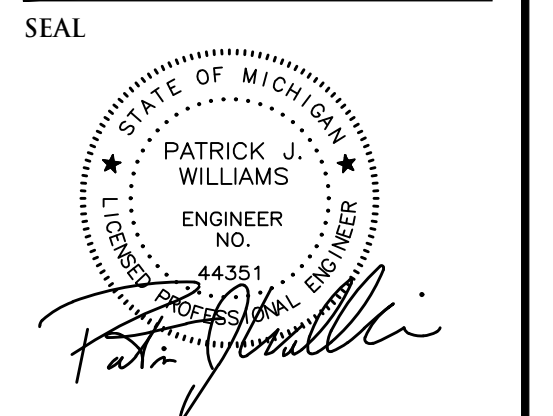
$\Delta = 01^{\circ}04'33''$
 $R = 13484.27'$
 $L = 253.19'$
 $CHD. BRG =$
 $N 55^{\circ}32'26''E$
 $C = 253.19'$

$R = 13484.27'$
 $L = 103.45'$
 $CHD. BRG =$
 $S 56^{\circ}17'53''W$
 $C = 103.45'$

$R = 372.00'$
 $L = 142.10'$
 $CHD. BRG =$
 $N 81^{\circ}34'38''E$
 $C = 141.24'$



NOWAK & FRAUS ENGINEERS
 46777 WOODWARD AVE.
 PONTIAC, MI 48342-5032
 TEL. (248) 332-7931
 FAX. (248) 332-8257



PROJECT
 Hotel Development
 Michigan Avenue at
 Hewitt Road Extension

CLIENT
 GAV Associates

Contact: David Ganezer
 Ph: (248) 985-9101 x1006

PROJECT LOCATION
 Part of the N.E. 1/4
 of Section 18
 T.3S., R.7E.
 Ypsilanti Twp.,
 Washtenaw County, MI

SHEET
 Dimensional Site Plan



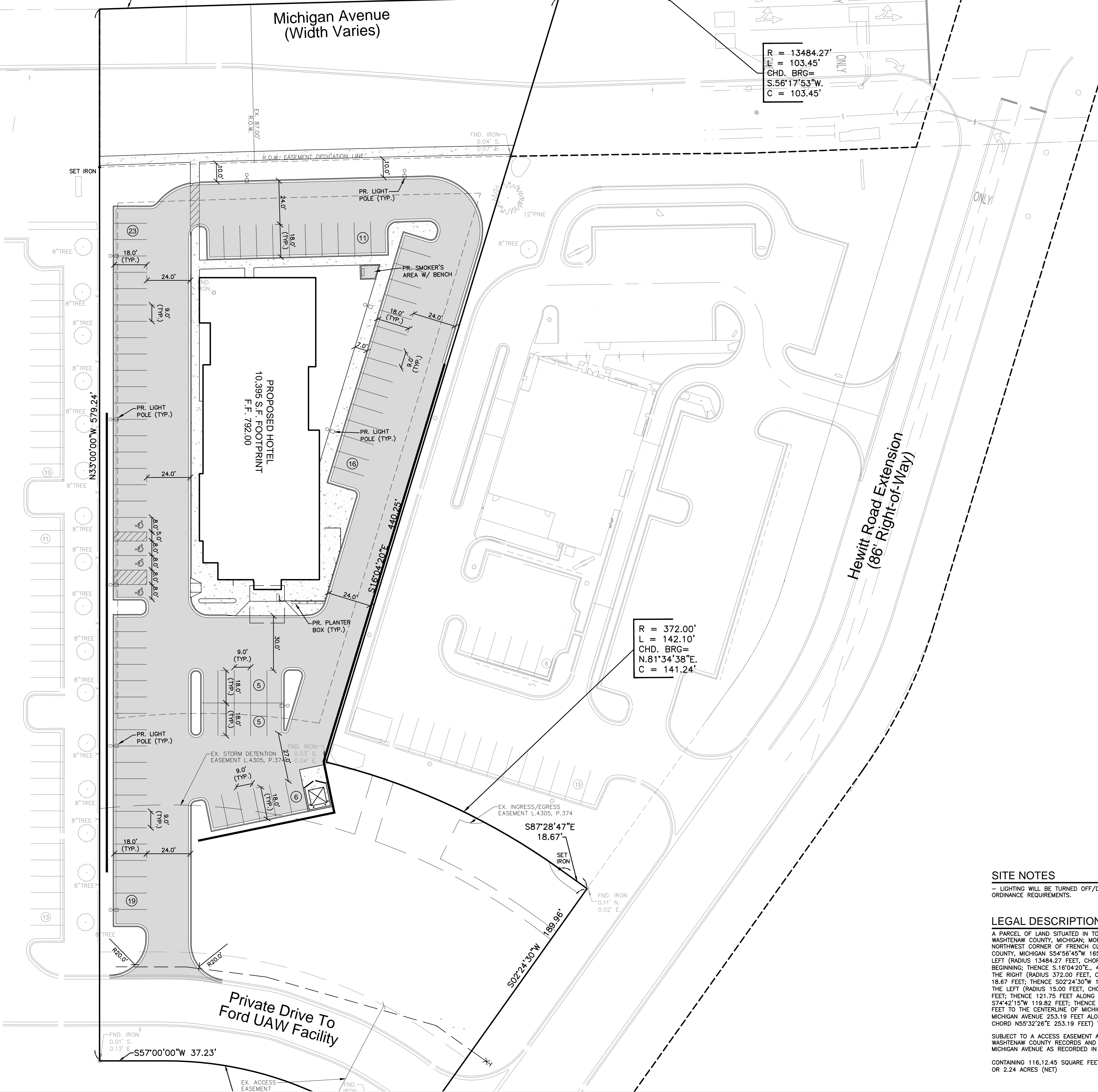
REVISIONS
 01-18-2023 Preliminary Review
 04-27-2023 Planning Review

DRAWN BY:
 A. Eizember
DESIGNED BY:
 A. Eizember
APPROVED BY:
 P. Williams

DATE:
 January 18, 2023

SCALE: 1" = 30'

NFE JOB NO. SHEET NO.
C447-03 SP-2



PAVING LEGEND

| | |
|--|----------------------------|
| | PROPOSED CONCRETE PAVEMENT |
| | PROPOSED ASPHALT PAVEMENT |

LEGEND

| | | | |
|--|---------------------|--|-------------------------------|
| | MANHOLE | | EXISTING SANITARY SEWER |
| | HYDRANT | | SAN. CLEAN OUT |
| | MANHOLE CATCH BASIN | | EXISTING WATERMAIN |
| | UTILITY POLE | | EX. R. Y. CATCH BASIN |
| | GUY WIRE | | EXISTING BURIED CABLES |
| | LIGHT POLE | | OVERHEAD LINES |
| | SIGN | | EXISTING GAS MAIN |
| | C.O. MANHOLE | | PR. SANITARY SEWER |
| | HYDRANT GATE VALVE | | PR. WATER MAIN |
| | INLET C.B. MANHOLE | | PR. STORM SEWER |
| | PROPOSED LIGHT POLE | | PR. R. Y. CATCH BASIN |
| | TC 600.00 | | PROPOSED GUTTER |
| | GU 600.00 | | PR. TOP OF CURB ELEVATION |
| | TW 600.00 | | PR. TOP OF WALK ELEVATION |
| | TP 600.00 | | PR. TOP OF P.V.M.T. ELEVATION |
| | FG 600.00 | | FINISH GRADE ELEVATION |

SITE NOTES
 - LIGHTING WILL BE TURNED OFF/DIMMED BETWEEN 11:00 PM AND SUNRISE, PER ORDINANCE REQUIREMENTS.

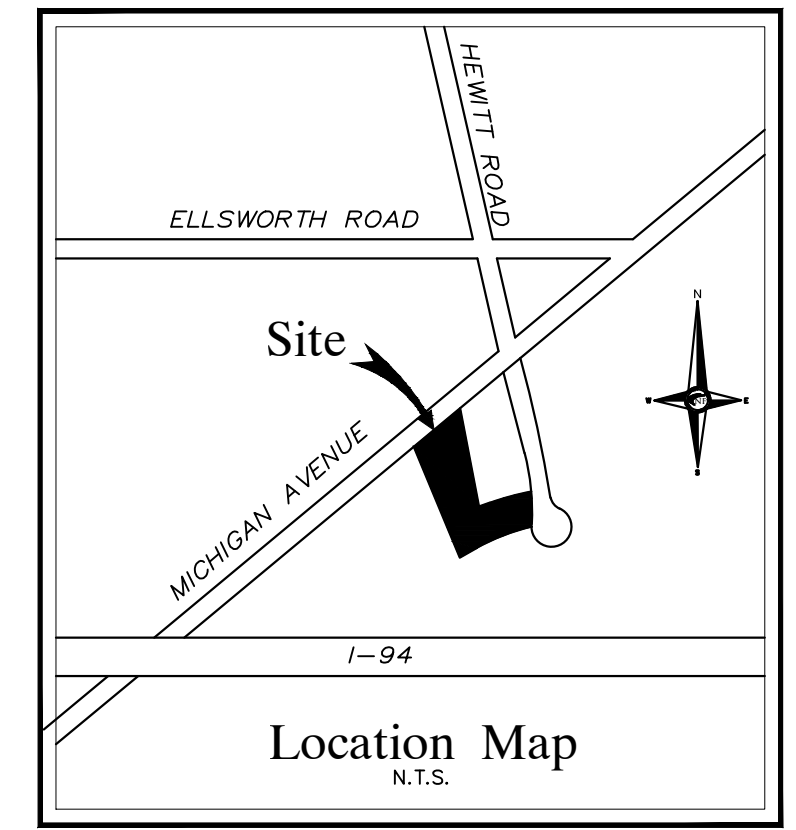
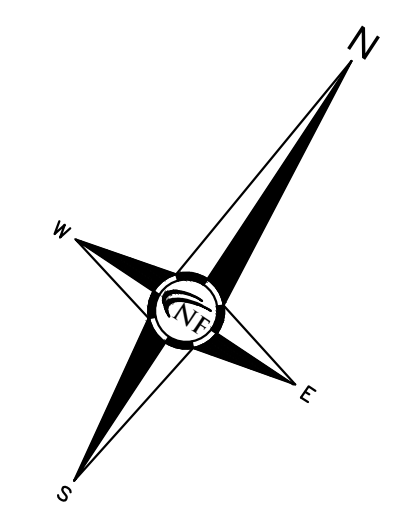
LEGAL DESCRIPTION
 A PARCEL OF LAND SITUATED IN TOWN 3 SOUTH, RANGE 7 EAST, YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN; MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE NORTHWEST CORNER OF FRENCH CLAIM 690, T.3S., R.7E., YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN S54°56'45"W 165.68' FEET AND 103.45' FEET ALONG A CURVE TO THE LEFT (RADIUS 13484.27 FEET, CHORD S.56°17'53"W, 103.45 FEET) TO THE POINT OF BEGINNING; THENCE S.16°04'20"E, 440.25 FEET; THENCE 142.10 FEET ALONG A CURVE TO THE RIGHT (RADIUS 372.00 FEET, CHORD N.81°34'38"E, 141.24 FEET); THENCE S.87°28'47"E, 18.67 FEET; THENCE S02°24'30"W 189.96 FEET; THENCE 23.56 FEET ALONG A CURVE TO THE LEFT (RADIUS 15.00 FEET, CHORD N42°35'30"W 21.21 FEET); THENCE N87°35'30"W 4.40 FEET; THENCE 121.75 FEET ALONG A CURVE TO THE LEFT (RADIUS 197.00 FEET, CHORD S74°42'15"W 119.82 FEET; THENCE S57°00'00"W 37.23 FEET; THENCE N33°00'00"W 579.24 FEET TO THE CENTERLINE OF MICHIGAN AVENUE; THENCE ALONG SAID CENTERLINE OF MICHIGAN AVENUE 253.19 FEET ALONG A CURVE TO THE RIGHT (RADIUS 13484.27 FEET, CHORD N55°32'26"E, 253.19 FEET) TO THE POINT OF BEGINNING.

SUBJECT TO AN ACCESS EASEMENT AGREEMENT AS RECORDED IN LIBER 4016, P. 96, WASHTENAW COUNTY RECORDS AND AN EASEMENT DEDICATION FOR RIGHT-OF-WAY FOR MICHIGAN AVENUE AS RECORDED IN LIBER 4184, PAGE 712, WASHTENAW COUNTY RECORDS. CONTAINING 116,124.5 SQUARE FEET OR 2.72 ACRES (GROSS) AND 97,742.91 SQUARE FEET OR 2.24 ACRES (NET)

$\Delta = 01^{\circ}04'33''$
 $R = 13484.27'$
 $L = 253.19'$
 $CHD. BRG =$
 $N 55^{\circ}32'26''E$
 $C = 253.19'$

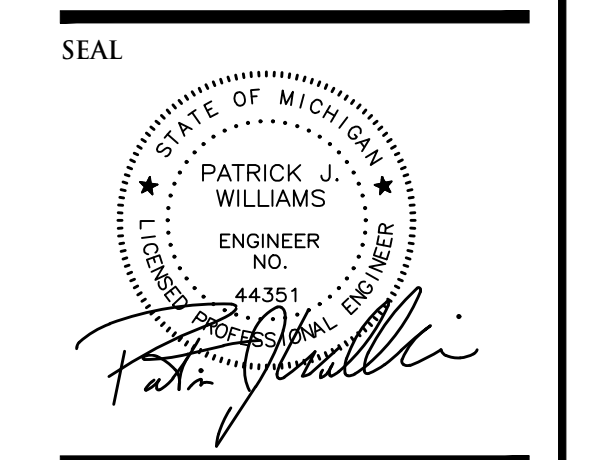
$R = 13484.27'$
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 $S 56^{\circ}17'53''W$
 $C = 103.45'$

$R = 372.00'$
 $L = 142.10'$
 $CHD. BRG =$
 $N 81^{\circ}34'38''E$
 $C = 141.24'$



NF
ENGINEERS
 CIVIL ENGINEERS
 LAND SURVEYORS
 LAND PLANNERS

NOWAK & FRAUS ENGINEERS
 46777 WOODWARD AVE.
 PONTIAC, MI 48342-5032
 TEL. (248) 332-7931
 FAX. (248) 332-8257



PROJECT
 Hotel Development
 Michigan Avenue at
 Hewitt Road Extension

CLIENT
 GAV Associates

Contact: David Ganezer
 Ph: (248) 985-9101 x1006

PROJECT LOCATION
 Part of the N.E. 1/4
 of Section 18
 T.3S., R.7E.
 Ypsilanti Twp.,
 Washtenaw County, MI

SHEET
 Fire Apparatus
 Maneuvering Plan



REVISIONS
 01-18-2023 Preliminary Review
 04-27-2023 Planning Review

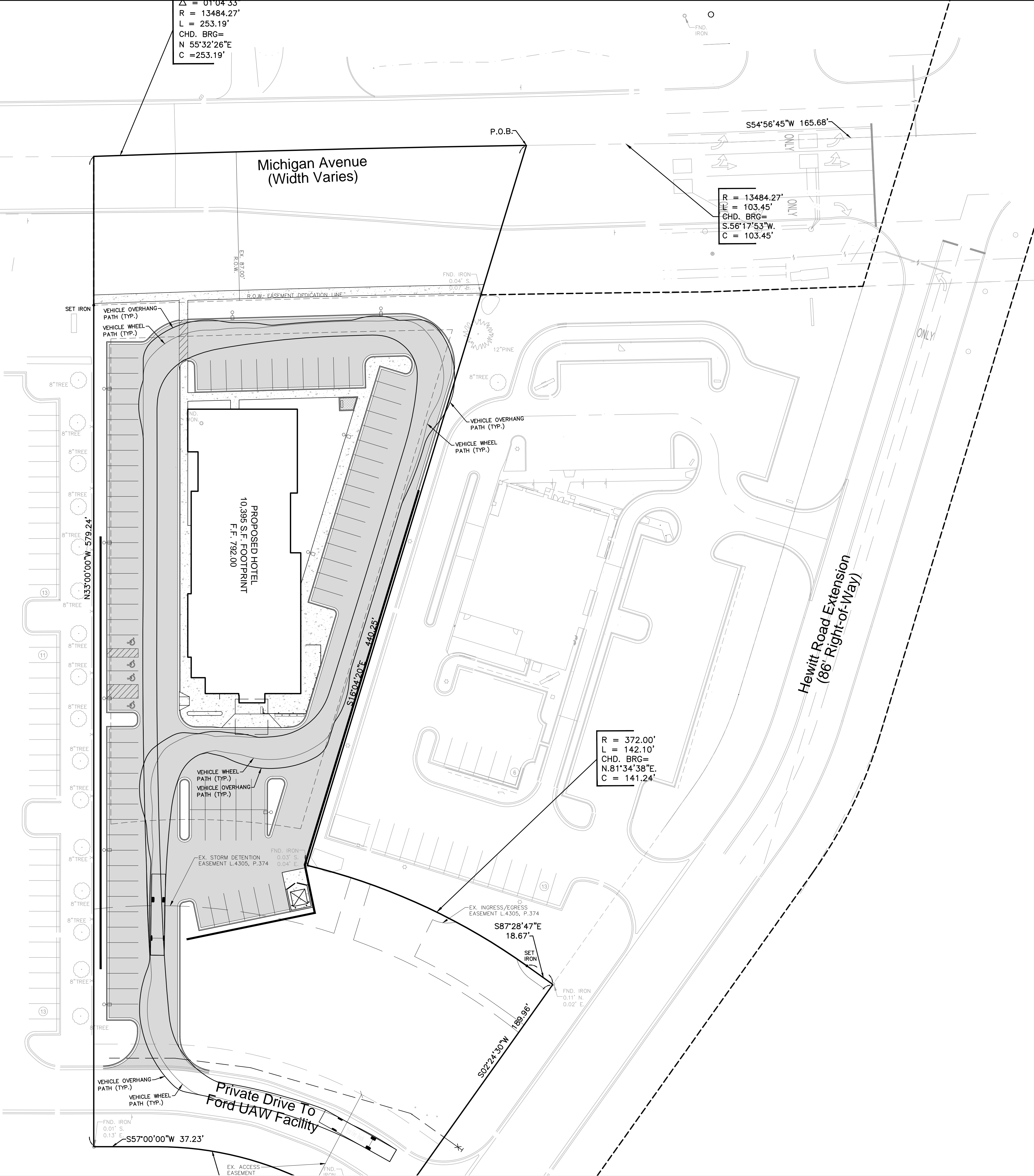
DRAWN BY:
 A. Eizember
DESIGNED BY:
 A. Eizember
APPROVED BY:
 P. Williams
DATE:
 January 18, 2023
SCALE: 1" = 30'
NFE JOB NO. C447-03 **SHEET NO. SP-2a**

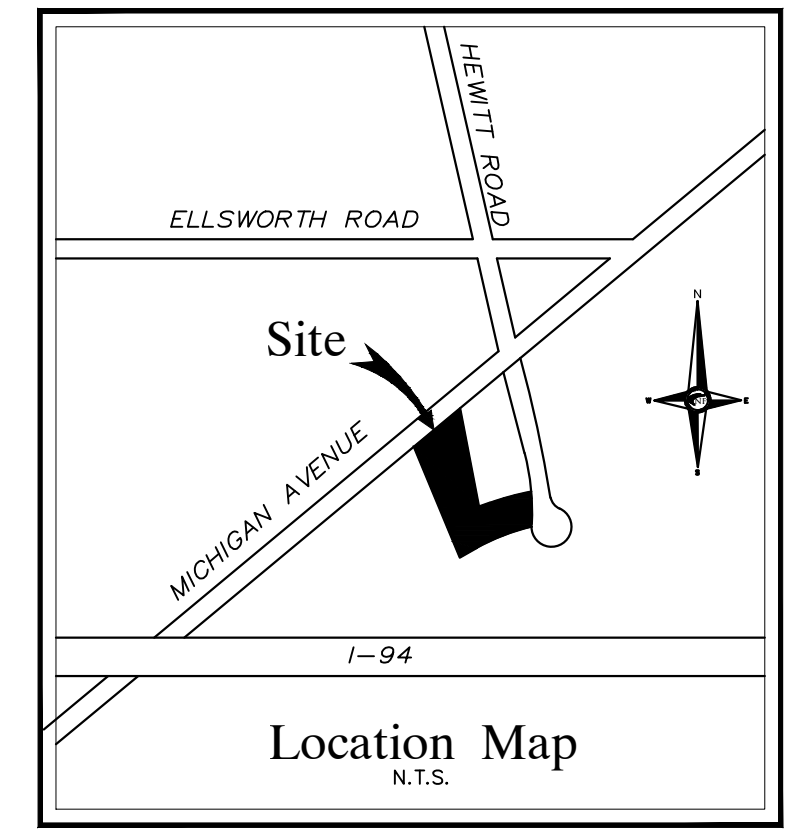
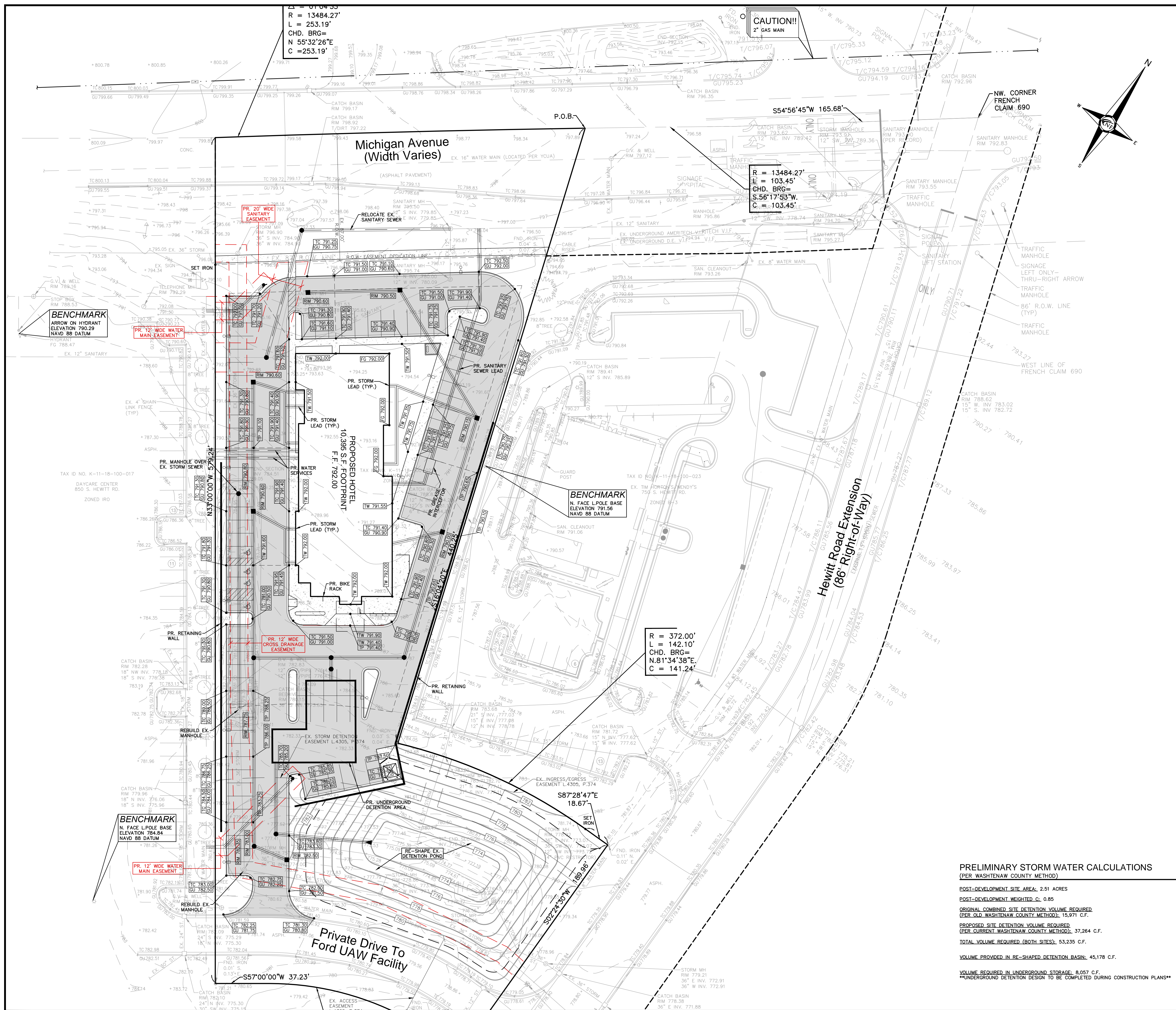
PAVING LEGEND

| | |
|--|----------------------------|
| | PROPOSED CONCRETE PAVEMENT |
| | PROPOSED ASPHALT PAVEMENT |

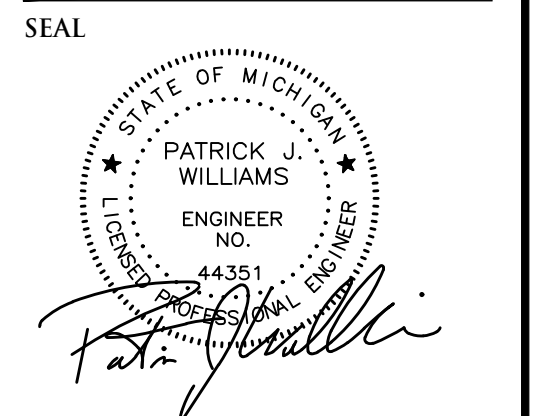
LEGEND

| | | | |
|--|-------------------------------|--|----------------------------|
| | MANHOLE | | EXISTING SANITARY SEWER |
| | HYDRANT | | SAN. CLEAN OUT |
| | MANHOLE CATCH BASIN | | EXISTING WATERMAIN |
| | UTILITY POLE | | EXISTING STORM SEWER |
| | GUY WIRE | | EX. R. Y. CATCH BASIN |
| | LIGHT POLE | | EXISTING BURIED CABLES |
| | SIGN | | OVERHEAD LINES |
| | EXISTING GAS MAIN | | PR. SANITARY SEWER |
| | PR. MANHOLE | | PR. WATER MAIN |
| | PR. HYDRANT | | PR. STORM SEWER |
| | PR. INLET | | PR. R. Y. CATCH BASIN |
| | PROPOSED LIGHT POLE | | PR. TOP OF CURB ELEVATION |
| | PR. GUTTER ELEVATION | | PR. TOP OF WALK ELEVATION |
| | PR. TOP OF P.V.M.T. ELEVATION | | PR. FINISH GRADE ELEVATION |





NOWAK & FRAUS ENGINEERS
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 PONTIAC, MI 48342-5032
 TEL. (248) 332-7931
 FAX. (248) 332-8257



PROJECT
 Hotel Development
 Michigan Avenue at
 Hewitt Road Extension

CLIENT
 GAV Associates

Contact: David Ganezer
 Ph: (248) 985-9101 x1006

PROJECT LOCATION
 Part of the N.E. 1/4
 of Section 18
 T.3S., R.7E.
 Ypsilanti Twp.,
 Washtenaw County, MI

SHEET
 Engineering Site Plan



REVISIONS
 01-18-2023 Preliminary Review
 04-27-2023 Planning Review

DRAWN BY:
 A. Eizember
DESIGNED BY:
 A. Eizember
APPROVED BY:
 P. Williams

DATE:
 January 18, 2023

SCALE: 1" = 30'
 30 15 0 15 30 45

NFE JOB NO. C447-03 **SHEET NO.** SP-3

PRELIMINARY STORM WATER CALCULATIONS
 (PER WASHTENAW COUNTY METHOD)

POST-DEVELOPMENT SITE AREA: 2.51 ACRES
 POST-DEVELOPMENT WEIGHTED C: 0.85

ORIGINAL COMBINED SITE DETENTION VOLUME REQUIRED
 (PER OLD WASHTENAW COUNTY METHOD): 15,971 C.F.

PROPOSED SITE DETENTION VOLUME REQUIRED
 (PER CURRENT WASHTENAW COUNTY METHOD): 37,264 C.F.

TOTAL VOLUME REQUIRED (BOTH SITES): 53,235 C.F.

VOLUME PROVIDED IN RE-SHAPED DETENTION BASIN: 45,178 C.F.

VOLUME REQUIRED IN UNDERGROUND STORAGE: 8,057 C.F.
 UNDERGROUND DETENTION DESIGN TO BE COMPLETED DURING CONSTRUCTION PLANS

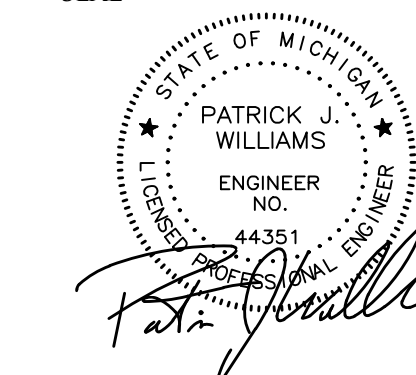
PAVING LEGEND

| | |
|--|----------------------------|
| | PROPOSED CONCRETE PAVEMENT |
| | PROPOSED ASPHALT PAVEMENT |

LEGEND

| | |
|--|-------------------------------|
| | EXISTING SANITARY SEWER |
| | SAN. CLEAN OUT |
| | EXISTING WATERMAIN |
| | EXISTING STORM SEWER |
| | EX. R. Y. CATCH BASIN |
| | EXISTING BURIED CABLES |
| | OVERHEAD LINES |
| | LIGHT POLE |
| | SIGN |
| | EXISTING GAS MAIN |
| | PR. SANITARY SEWER |
| | PR. WATER MAIN |
| | PR. STORM SEWER |
| | PR. R. Y. CATCH BASIN |
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| | PR. TOP OF CURB ELEVATION |
| | PR. GUTTER ELEVATION |
| | PR. TOP OF WALK ELEVATION |
| | PR. TOP OF P.V.M.T. ELEVATION |
| | FINISH GRADE ELEVATION |

SEAL



PROJECT
Hotel Development
Michigan Avenue at
Hewitt Road Extension

CLIENT
GAV Associates

Contact: David Ganezer
Ph: (248) 985-9101 x1006

PROJECT LOCATION
Part of the N.E. 1/4
of Section 18
T.3S., R.7E.
Ypsilanti Twp.,
Washtenaw County, MI

SHEET
Site Notes and Details



Know what's **Below**
Call before you dig.

REVISIONS
01-18-2023 Preliminary Review
04-27-2023 Planning Review

DRAWN BY:
A. Eizember

DESIGNED BY:
A. Eizember

APPROVED BY:
P. Williams

DATE:
January 18, 2023

SCALE: 1" = 30'

30 15 0 15 30 45

NEE JOB NO. SHEET NO.
C447-03 SP-3a

GENERAL PAVING NOTES

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

ASPHALT: BASE COURSE - MDT BITUMINOUS MIXTURE NO. 1100L, 20AA; SURFACE COURSE - MDT BITUMINOUS MIXTURE NO. 1100T, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.

PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.

ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.

ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-5164.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.

ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.

FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION.

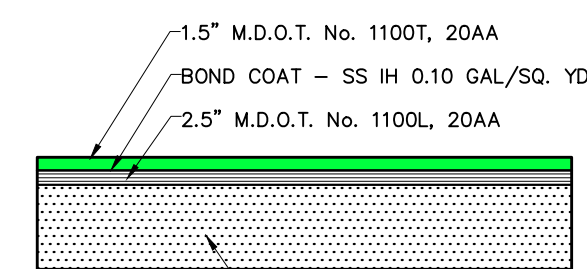
EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.

EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.

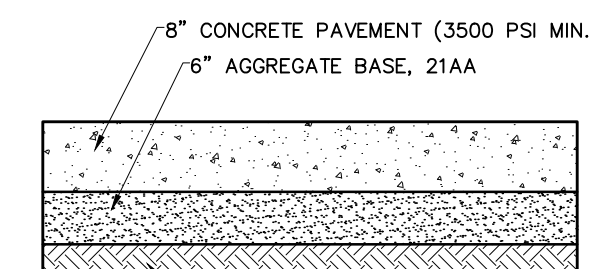
SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.

ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.

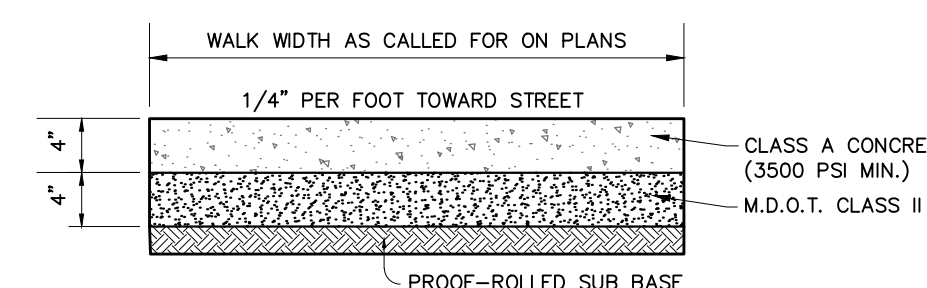
FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.



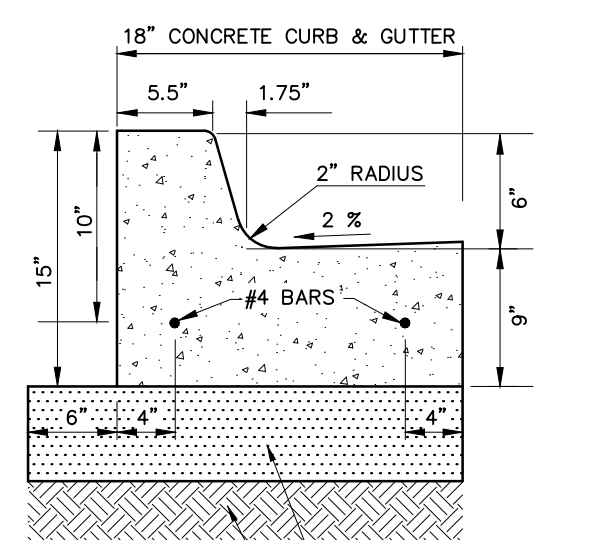
ASPHALT PAVEMENT SECTION
(DRIVE AND PARKING)



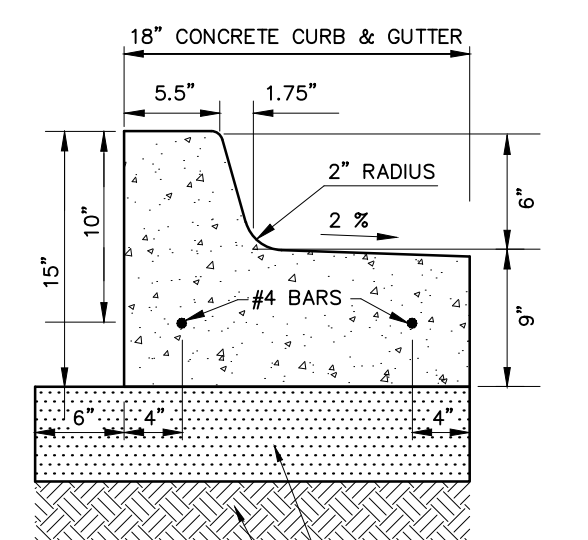
CONCRETE PAVEMENT SECTION
N.T.S.



CONCRETE SIDEWALK SECTION
N.T.S.



CONCRETE CURB DETAIL 'A'
N.T.S.



CONCRETE CURB DETAIL 'B'
N.T.S.

Δ = 01.04.33
 R = 13484.27'
 L = 253.19'
 CHD. BRG =
 N 55°32'26"E
 C = 253.19'

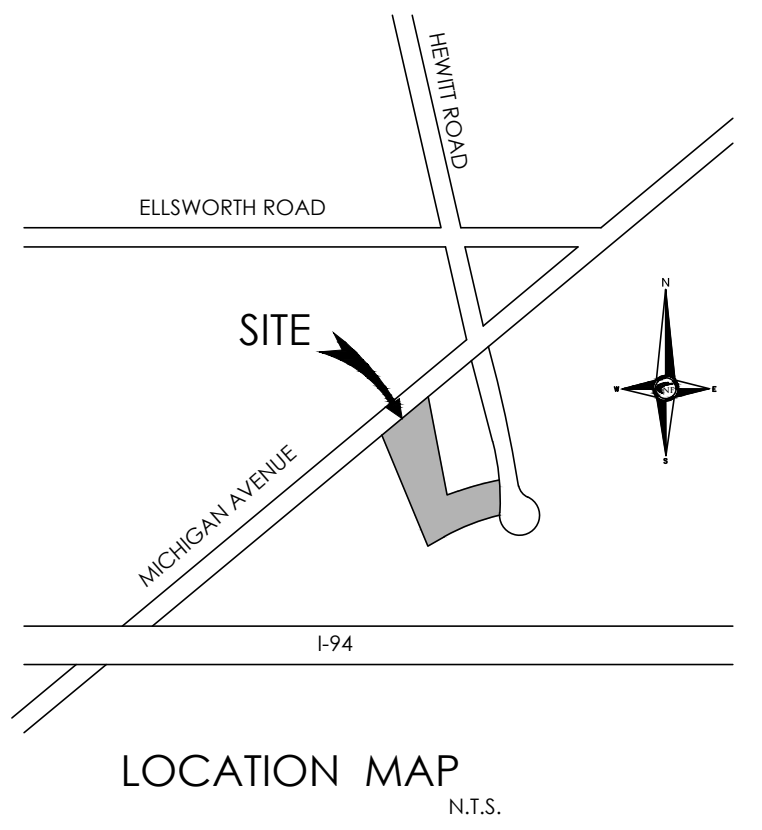
CAUTION!
 2" GAS MAIN

R = 13484.27'
 L = 103.45'
 CHD. BRG =
 S 56°17'53"W
 C = 103.45'

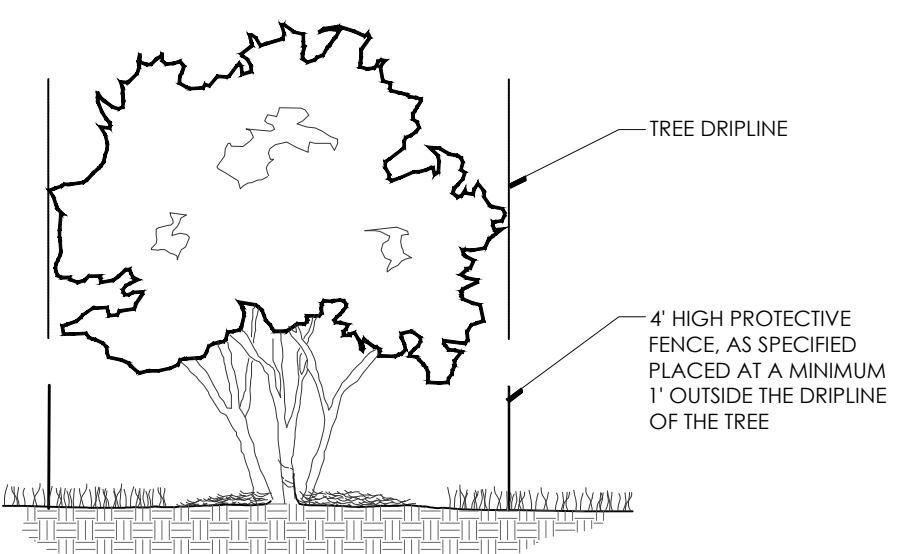
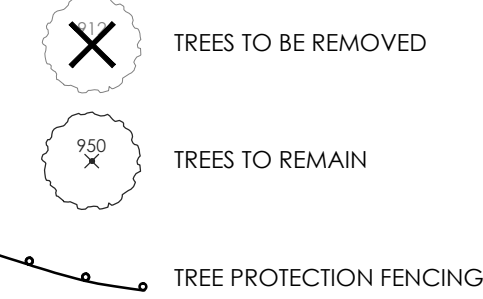
TREE REMOVAL JUSTIFICATION NOTE:

80% OF THE EXISTING TREES ON-SITE ARE COMPRISED OF SPECIES COTTONWOOD (30 TREES) AND SIBERIAN ELM (18 TREES), WHICH ARE CONSIDERED PIONEER SPECIES. THESE OPPORTUNISTIC, SHORT-LIVED, WEAK-WOODDED TREES ARE MOST ASSOCIATED WITH DISTURBED SITES AND ARE PRONE TO DISEASE. THE LOCATION OF THESE TREES PRIMARILY FALL IN THE DETENTION BASIN WHICH NEEDS TO BE RE-GRADED TO ACCOMMODATE THE NEW SITE DEVELOPMENT, AND THE BUILDING FOOTPRINT AND PARKING LOT. THE AVAILABLE SPACE FOR MITIGATION IS LIMITED, HAMPED BY THE ODD PARCEL CONFIGURATION AS WELL AS THE FUTURE RIGHT-OF-WAY AND REQUIRED UTILITY SEPARATION. THE APPLICANT PROPOSES TO PAY INTO THE TOWNSHIP TREE FUND FOR THE 48 TREES WHICH CANNOT BE ACCOMMODATED ON-SITE.

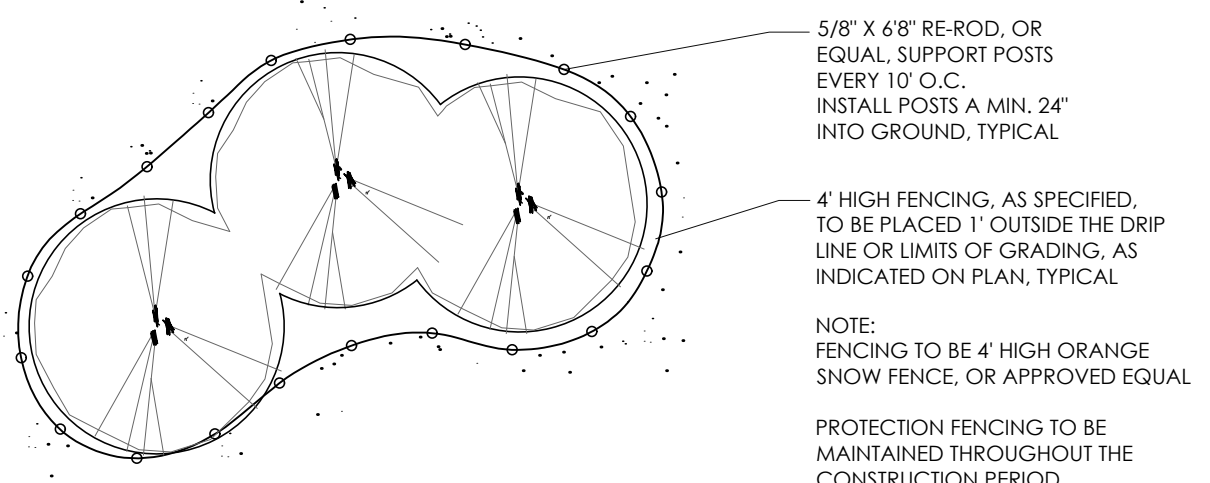
R = 372.00'
 L = 142.10'
 CHD. BRG =
 N 81°34'38"E
 C = 141.24'



LEGEND:



TREE PROTECTION DETAIL-SECTION NTS



TREE PROTECTION DETAIL-PLAN NTS

GENERAL TREE PROTECTION NOTES

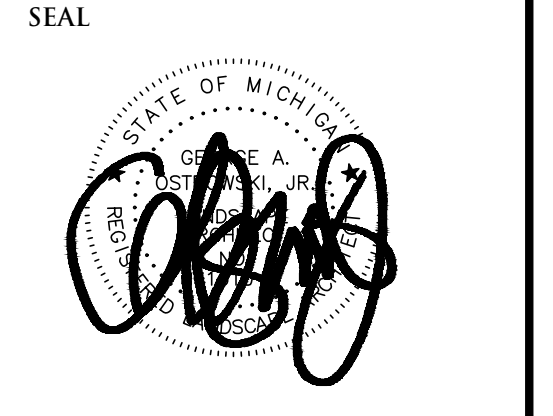
- APPROVED TREE PROTECTION SHALL BE ERECTED PRIOR TO THE START OF CONSTRUCTION ACTIVITIES, AND SHALL REMAIN IN PLACE UNTIL THE IN PLACE UNTIL CONSTRUCTION IS COMPLETE.
- ALL UNDERSTORY VEGETATION WITHIN THE LIMITS OF PROTECTIVE FENCING SHALL BE PRESERVED.
- NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN, INCLUDING BUT NOT LIMITED TO, PLACING SOLVENTS, BUILDING MATERIALS, CONSTRUCTION EQUIPMENT, OR SOIL DEPOSITS WITHIN THE DRIP LINE.
- WHERE CIRCUMFERENCE OF TREES ARE TO REMAIN, TREE FENCING SHALL BE PLACED AT THE LIMITS OF GRADING LINE.
- DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR WIRE TO ANY TREE SCHEDULED TO REMAIN.
- ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING.
- SWALES SHALL BE ROUTED TO AVOID THE AREA WITHIN THE DRIP LINES OF PROTECTED TREES.
- TREES LOCATED ON ADJACENT PROPERTIES THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES MUST BE PROTECTED.
- ROOT ZONES OF PROTECTED TREES SHOULD BE SURROUNDED WITH RIGIDLY STAKED FENCING.
- THE PARKING OF IDE AND RUNNING EQUIPMENT SHALL BE PROHIBITED UNDER THE DRIP LINE OF PROTECTED TREES.
- THE STRIPPING OF TOPSOIL FROM AROUND PROTECTED TREES SHALL BE PROHIBITED.
- ALL TREES TO BE REMOVED SHALL BE CUT AWAY FROM TREES TO REMAIN.
- THE GRUBBING OF UNDERSTORY VEGETATION WITHIN CONSTRUCTION AREAS SHOULD BE CLEARED BY CUTTING VEGETATION AT THE GROUND WITH A CHAIN SAW OR MANUALLY WITH A HYDRO-AXE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REPLACEMENT PER ORDINANCE GUIDELINES, FOR THE DAMAGE OR REMOVAL OF ANY TREE DESIGNATED TO REMAIN.
- TREES TO BE REMOVED SHALL BE FIELD VERIFIED, EVALUATED AND FLAGGED FOR REMOVAL BY THE LANDSCAPE ARCHITECT OR FORESTER, ONLY AS DIRECTED BY THE OWNER OR OWNERS REPRESENTATIVE.

TREE PRESERVATION SUMMARY:

| | |
|--------------------------------------------------------------------------------------------------------------------------------------|----------|
| TOTAL NUMBER OF TREES SURVEYED: | 54 |
| TOTAL NUMBER OF DEAD/POOR TREES: | 3 |
| NET TREES ON-SITE: | 51 |
| TOTAL NUMBER OF TREES TO BE REMOVED: | 51 |
| TOTAL NUMBER OF TREES TO REMAIN: | 0 |
| TOTAL REPLACEMENT TREES REQUIRED: | 51 TREES |
| TOTAL REPLACEMENT TREES PROVIDED: | 3 TREES |
| MONEY FOR 48 TREES WILL BE PAID INTO THE TREE FUND, AS SPACE IS LIMITED DUE TO EXISTING AND PROPOSED UTILITIES AND R.O.W. DEDICATION | |



NOWAK & FRAUS ENGINEERS
 46777 WOODWARD AVE.
 PONTIAC, MI 48342-5032
 TEL. (248) 332-7931
 FAX. (248) 332-8257



PROJECT
 Hotel Development
 Michigan Avenue at
 Hewitt Road Extension

CLIENT
 GAV Associates

Contact: David Ganezer
 Ph: (248) 985-9101 x1006

PROJECT LOCATION
 Part of the N.E. 1/4
 of Section 18
 T.3S., R.7E.
 City of Ypsilanti,
 Wayne County, Michigan

SHEET
 Tree Preservation Plan



REVISIONS

| | |
|----------|-----------------------------|
| 01/18/23 | PRELIMINARY REVIEW |
| 04/27/23 | REVISED PER PLANNING REVIEW |

DRAWN BY:
 G. Ostrowski

DESIGNED BY:
 G. Ostrowski

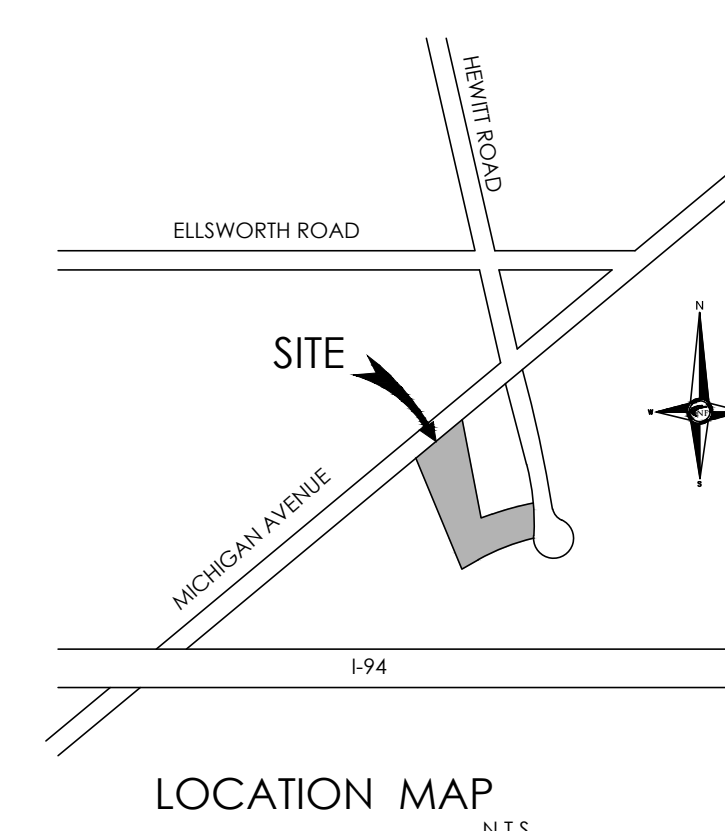
APPROVED BY:
 G. Ostrowski

DATE:
 12-14-2022

SCALE: 1" = 30'

NFE JOB NO. SHEET NO.
C447-03 L1

W:\New\Oak Jobs - The 63600\0300\FLEES\G447-03\0300\Landscaping\G447-03_L1.dwg, 4/25/2023, 12:54 PM



LANDSCAPE REQUIREMENTS

- EXISTING SITE ZONING: RC, REGIONAL CORRIDOR DISTRICT
EXISTING SITE AREA: 118,588.34 S.F. OR 2.72 ACRES
- STREETYARD LANDSCAPE (S)**
1 CANOPY TREE PER 40 L.F. / 1 ORNAMENTAL TREE PER 100 L.F. / 1 SHRUB PER 10 L.F.
REQUIRED: MICHIGAN AVE. 239 L.F. / 40 L.F. = 5.9 OR 6 TREES
239 L.F. / 100 L.F. = 2.39 OR 2 ORNAMENTAL TREES
239 L.F. / 10 = 23.9 OR 24 SHRUBS
PROVIDED: 6 CANOPY TREES, 2 ORNAMENTAL TREES AND 66 SHRUBS
- PARKING LOT LANDSCAPE REQUIREMENTS (LP)**
INTERIOR (I)
1 TREE PER 2,000 S.F. OF PAVED AREA
39,909 / 18 S.F. / 2,000 S.F. = 19.97 OR 20 TREES REQUIRED
PROVIDED: 20 TREES
- PERIMETER (P)**
1 TREE PER 40 L.F.
W. PROPERTY LINE: 375 L.F. / 40 L.F. = 9.38 OR 9 TREES
N. PROPERTY LINE: 172 L.F. / 40 L.F. = 4.3 OR 4 TREES
PROVIDED: 13 TREES TOTAL
- DETENTION BASIN LANDSCAPE (D)**
1 TREE AND 10 SHRUBS PER 50 L.F. OF POND PERIMETER
REQUIRED:
POND: 514.81 L.F. / 50 L.F. = 10.29 OR 10 TREES
514.81 L.F. / 50 L.F. X 10 = 102.96 OR 103 SHRUBS
PROVIDED: 10 TREES AND 103 SHRUBS
- GENERAL LANDSCAPE (G)**
1 TREE PER 1,000 S.F. AND 1 SHRUB PER 500 S.F.
REQUIRED: 2,047.37 S.F.
TREES: 2,047.37 S.F. / 1,000 = 2 TREES
SHRUBS: 2,047.37 S.F. / 500 S.F. = 4 SHRUBS
PROVIDED: 2 TREES AND 41 SHRUBS
- TREE REPLACEMENTS (R)**
51 TREE REPLACEMENTS ARE REQUIRED
3 TREE REPLACEMENTS ARE PROVIDED. MONEY FOR 48 TREES WILL BE PAID INTO THE TREE FUND FOR TREES THAT CANNOT BE PLACED ON-SITE

GENERAL SEED NOTE:

ALL LAWN AREAS DESIGNATED TO BE SEED, SHALL BE HYDRO-SEED WITH SPECIFIED BLENDS, AND STABILIZED WITH WOOD CELLULOSE FIBER MULCH (2,000 LBS PER ACRE). IN AREAS SUBJECT TO EROSION, SEEDED LAWN SHALL BE FURTHER STABILIZED WHERE NECESSARY WITH BIODEGRADABLE EROSION BLANKET AND STAKED UNTIL ESTABLISHED. ALL SEED SHALL BE APPLIED OVER A MINIMUM 3" PREPARED TOPSOIL, AND SHALL BE KEPT MOIST AND WATERED DAILY UNTIL ESTABLISHED.
SEEDING INSTALLATION SHALL OCCUR ONLY:
SPRING: APRIL TO JUNE
FALL: AUGUST 15 TO OCTOBER 15

TYPICAL SEEDED LAWN MIX:

ALL LAWN AREAS DESIGNATED TO BE SEED, SHALL BE HYDROSEED WITH TYPICAL DROUGHT TOLERANT, DURABLE BLENDED SEED MIX AT A RATE OF 220 LBS PER ACRE
MIX IS COMPRISED OF:
30% NITE HAWK PERENNIAL RYE
30% KENTUCKY BLUEGRASS
20% CREEPING RED FESCUE
10% MERIT KENTUCKY BLUEGRASS
10% NEWPORT KENTUCKY BLUEGRASS

SEDGE BANK SEED MIX

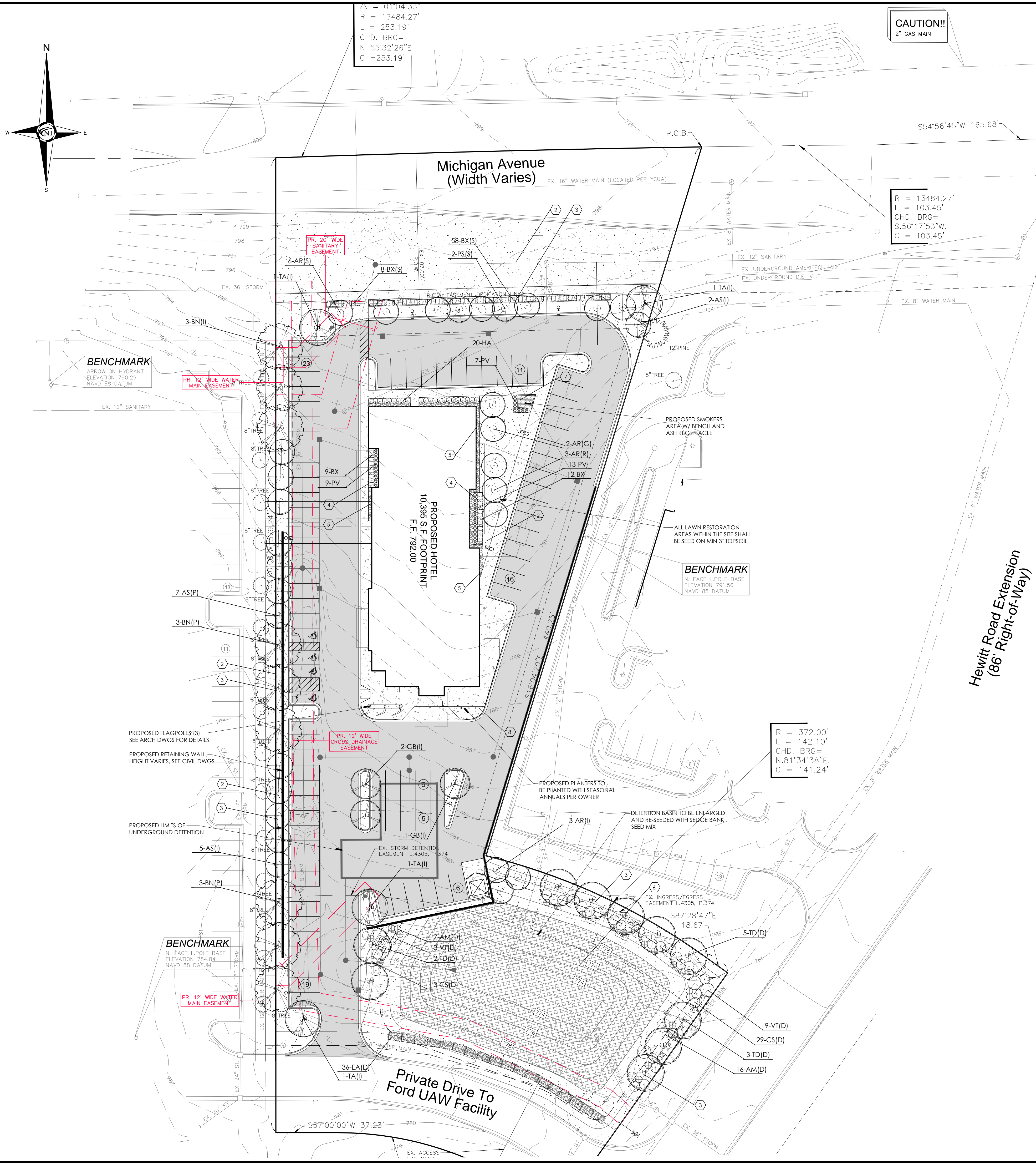
*CONTAINS 10 NATIVE GRASSES AND 2 TEMPORARY GRASSES
30% NATIVE GRASSES 70% TEMPORARY GRASSES
CORNUS SEDGE SEED OATS
FRINGED SEDGE AMERICAN SLOUGH GRASS
LINO SEDGE ANNUAL RYE
POWERS SEDGE ANNUAL RYE
CREEPING SPIKE RUSH
FOWL MANNA GRASS
COMMON RUSH
HARDSTEM BULRUSH
GREEN BULRUSH
WOOD GRASS
SOFT STEM BULRUSH
GIANT BUR REED
RECOMMENDED SEEDING RATE: 40 LBS/ACRE
SEED MIX AVAILABLE:
NATIVESCAPE, LLC
PO BOX 107
MANCHESTER, MI 48158
1.517.456.9996

GROUND COVER KEY

- 1 TYPICAL SOD LAWN AREAS, SOWN ON 3" TOPSOIL
- 2 RESTORE EXISTING LAWN AREAS W/ HYDROSEED AND MULCH
- 3 4" DIA SPADE CUT EDGE W/ 3" SHREDDED BARK MULCH
- 4 3" DEPTH DOUBLE SHREDDED HARDWOOD BARK MULCH
- 5 3/4" - 1 1/2" STONE MULCH, 3-4" DEPTH ON WEED BARRIER
- 6 SEDGE BANK SEED MIX, SOWN AT A RATE OF 40 LBS/AC
- 7 SMOKERS AREA BENCH AND ASH RECEPTACLE
- 8 COMPOSITE PLANTER, 4' LONG X 30" HT X 18" DEPTH, 5 TOTAL

PLANT SCHEDULE

| KEY | QTY | BOTANICAL/Common NAME | SIZE | SPACING | ROOT | COMMENT |
|---------------|-----|---------------------------------------------------------------------|--------|----------|------|----------------------|
| TREES | | | | | | |
| AR | 14 | Acer rubrum 'Armstrong' Armstrong Maple | 3" CAL | SEE PLAN | B&B | FULLY BRANCHED HEADS |
| AS | 14 | Acer saccharum 'Belle Tower' Belle Tower Sugar Maple | 3" CAL | SEE PLAN | B&B | FULLY BRANCHED HEADS |
| BN | 9 | Betula nigra River Birch | 14" HT | SEE PLAN | B&B | CLUMP FORM, 3 CANES |
| GB | 3 | Ginkgo biloba 'Magyar' Maiden Hair Tree | 3" CAL | SEE PLAN | B&B | FULLY BRANCHED HEADS |
| PS | 2 | Prunus sargentii 'Pink Flair' Pink Flair Flowering Cherry | 2" CAL | SEE PLAN | B&B | FULLY BRANCHED HEADS |
| TD | 10 | Taxodium disticum 'Shawnee Brave' Shawnee Brave Bald Cypress | 3" CAL | SEE PLAN | B&B | FULLY BRANCHED HEADS |
| TA | 4 | Tilia americana 'Confidential Appeal' Confidential Appeal Linden | 3" CAL | SEE PLAN | B&B | FULLY BRANCHED HEADS |
| SHRUBS | | | | | | |
| AM | 23 | Aronia melanocarpa Black Chokeberry | 30" HT | 36" OC | B&B | |
| BX | 87 | Buxus x 'Chicagoland Green' Chicagoland Green Boxwood | 30" HT | 30" OC | B&B | |
| CS | 32 | Cornus sericea Bowley Red Twig Dogwood | 36" HT | SEE PLAN | B&B | |
| EA | 36 | Euonymus alatus 'Compacta' Dwarf Winged Euonymous | 30" HT | 30" OC | B&B | |
| HA | 20 | Hydrangea m. 'All Summer Beauty' All Summer Beauty Hydrangea | 30" HT | 36" OC | B&B | |
| VT | 12 | Viburnum trilobum 'Wentworth' Wentworth Cranberry Bush | 48" HT | SEE PLAN | B&B | |
| SHRUBS | | | | | | |
| PV | 29 | Panicum virgatum 'Northwind' Northwind Switch Grass | 3 GAL | 30" OC | CONT | |



CAUTION!!
2" GAS MAIN

R = 13484.27'
L = 103.45'
CHD. BRG=
S.56°17'53"W.
C = 103.45'

R = 372.00'
L = 142.10'
CHD. BRG=
N.81°34'38"E.
C = 141.24'

SEAL



PROJECT
Hotel Development
Michigan Avenue at
Hewitt Road Extension

CLIENT
GAV Associates

Contact: David Ganezer
Ph: (248) 985-9101 x1006

PROJECT LOCATION
Part of the N.E. 1/4
of Section 18
T.3S., R.7E.
City of Ypsilanti,
Wayne County, Michigan

SHEET
Landscape Plan



REVISIONS
01/18/23 PRELIMINARY REVIEW
04/27/23 REVISED PER PLANNING REVIEW

DRAWN BY:
G. Ostrowski
DESIGNED BY:
G. Ostrowski
APPROVED BY:
G. Ostrowski
DATE:
12-14-2022
SCALE: 1" = 30'
NFE JOB NO. SHEET NO.
C447-03 L2

SEAL



PROJECT
Hotel Development
Michigan Avenue at
Hewitt Road Extension

CLIENT
GAV Associates

Contact: David Ganezer
Ph: (248) 985-9101 x1006

PROJECT LOCATION
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of Section 18
T.3S., R.7E.
City of Ypsilanti,
Wayne County, Michigan

SHEET
Landscape Notes
and Details



REVISIONS
01/18/23 PRELIMINARY REVIEW
04/27/23 REVISED PER PLANNING REVIEW

DRAWN BY:
G. Ostrowski
DESIGNED BY:
G. Ostrowski
APPROVED BY:
G. Ostrowski

DATE:
12-14-2022

SCALE: VARIES



NFE JOB NO. SHEET NO.
C447-03 L3

DEMOLITION NOTES:

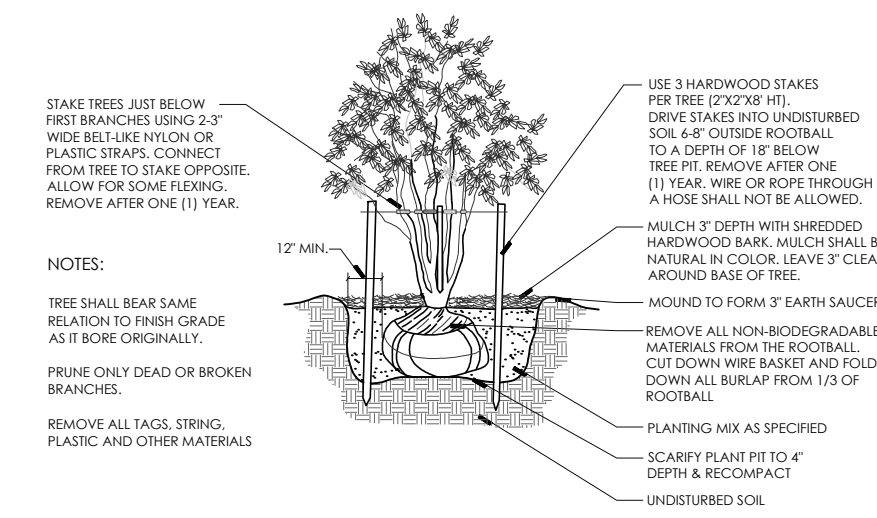
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING SURVEY INFORMATION INCLUDING THE UTILITY SYSTEMS BEFORE ANY DEMOLITION OR CONSTRUCTION WORK OCCURS. ANY DISCREPANCIES WITH THE SURVEY INFORMATION SHALL BE REPORTED TO THE ARCHITECT AND OWNER'S REPRESENTATIVE IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR BEING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR COST INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES.
- ALL EXISTING IMPROVEMENTS, MATERIALS AND PLANT MATERIAL TO REMAIN WITHIN THE NEW CONSTRUCTION AREA SHALL BE PROPERLY AND ADEQUATELY PROTECTED FROM DAMAGE DURING THE DEMOLITION OPERATIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RESTORE TO THE ORIGINAL CONDITION ANY OF THESE EXISTING ITEMS THAT ARE DAMAGED OR DISTURBED IN ANY WAY.
- ALL MATERIALS TO BE REUSED OR SALVAGED SHALL BE STORED IN AN AREA DESIGNATED BY THE CITY ENGINEER FOR THAT PURPOSE. ALL SALVAGED MATERIALS SHALL REMAIN THE PROPERTY OF THE CITY ENGINEER.
- STREETS, SIDEWALKS AND ADJACENT PROPERTIES SHALL BE PROTECTED THROUGHOUT THE WORK AS REQUIRED BY LOCAL CODES AND REGULATIONS AND APPROVED BY THE OWNER.
- ALL MATERIAL SPECIFIED TO BE REMOVED SHALL BE DISPOSED OF OFF-SITE PER LOCAL CODES AND REGULATIONS. CONTRACTOR SHALL COORDINATE METHOD OF DISPOSAL WITH CITY ENGINEER PRIOR TO COMMENCEMENT OF WORK.
- MATERIALS TO BE REUSED OR SALVAGED SHALL BE STORED IN AN AREA DESIGNATED BY THE OWNERS REPRESENTATIVE FOR THAT PURPOSE. ALL SALVAGED MATERIALS SHALL REMAIN THE PROPERTY OF THE OWNER.
- DURING DEMOLITION OPERATIONS EVERY EFFORT SHALL BE MADE TO CONTROL DUST, PER CITY REQUIREMENTS.
- TREES AND SHRUBS TO BE REMOVED WITHIN THE LIMITS OF WORK SHALL BE CLEARLY IDENTIFIED WITH BRIGHTLY COLORED RIBBON.
- GRUBBING SHALL INCLUDE ALL WEEDS, SHRUBS, STUMPS AND ROOT SYSTEMS OF REMOVED PLANT MATERIAL, IRRIGATION PIPING AND ANY OTHER IRRIGATION MATERIALS WITHIN THE LIMITS OF DEMOLITION. GRUBBING SHALL BE TO THE DEPTHS BELOW PROPOSED IMPROVEMENTS INDICATED AS FOLLOWS: CONCRETE PAVING AND WALKWAYS-TOTAL DEPTH OF PAVING AND SUB-BASE; ASPHALT PAVING-TOTAL DEPTH OF PAVING AND SUB-BASE; LAWN AND OTHER PLANTINGS AREAS-REMOVE DEPTH REQUIRED OF STUMPS AND ROOTS OVER TWO (2) INCHES IN DIAMETER AND TURF.
- PROTECT EXISTING TREES TO REMAIN PER TYPICAL TREE PROTECTION DETAIL.
- STOCKPILED TOPSOIL SHALL BE STORED ON SITE AND REMAIN PROTECTED FROM CONTAMINATION PRIOR TO REDISTRIBUTION.
- SAWCUT AND REMOVE EXISTING ASPHALT AS REQUIRED TO INSTALL NEW SITE IMPROVEMENTS AND ADJUST GRADES WITHIN CITY STREETS. ALL WORK WITHIN CITY RIGHT OF WAY SHALL MEET CITY STANDARDS AND SPECIFICATIONS.
- ARRANGE FOR APPLICABLE UTILITY COMPANY TO RELOCATE EXISTING CABLES, WIRES, PHONE LINES, ETC. ALONG WITH EDISON POWER LINES AS REQUIRED.
- CONTRACTOR SHALL SECURE AND PAY FOR ALL APPLICABLE PERMITS AND FEES NECESSARY FOR THE COMPLETE CONSTRUCTION OF THE PROJECT.

PLANTING NOTES:

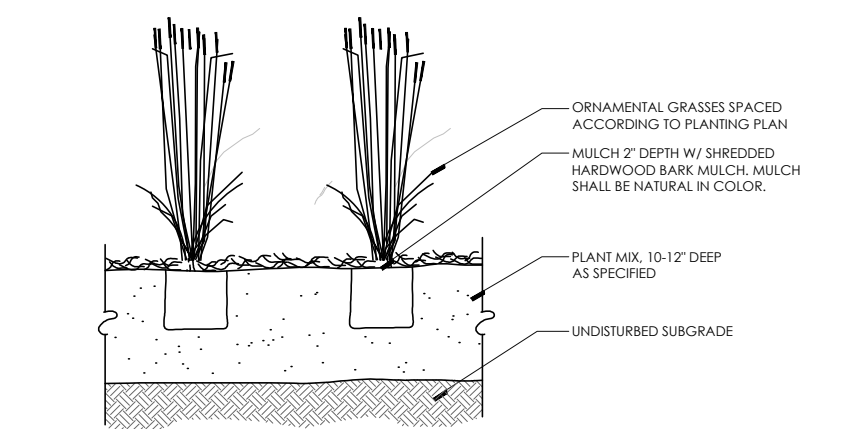
- THE CONTRACTOR SHALL VERIFY ALL RIGHTS OF WAY, EASEMENTS, PROPERTY LINES AND LIMITS OF WORK, ETC. PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL PERTINENT UTILITY COMPANIES 72 HOURS IN ADVANCE OF ANY DIGGING TO MAKE HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES.
- THE CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- ANY DISCREPANCIES BETWEEN DIMENSIONED LAYOUT AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT. FAILURE TO MAKE SUCH DISCREPANCIES KNOWN WILL RESULT IN CONTRACTOR'S RESPONSIBILITY AND LIABILITY FOR ANY CHANGES AND ASSOCIATED COST.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH CONSTRUCTION INSTALLATION OPERATIONS.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN POSITIVE SURFACE DRAINAGE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, AND OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EXISTING MATERIALS THAT ARE DAMAGED DURING CONSTRUCTION.
- SEE SPECIFICATIONS, PLANT LIST AND PLANTING DETAILS FOR PLANTING REQUIREMENTS, MATERIALS AND EXECUTION.
- ALL TREES TO HAVE CLAY LOAM OR CLAY BALLS - TREES WITH SAND BALLS SHALL NOT BE ACCEPTED.
- ALL TREES TO BE APPROVED BY OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO THE SITE. ANY TREES DELIVERED TO THE SITE NOT PREVIOUSLY APPROVED MAY BE REJECTED AND ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR TO VERIFY PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION OF PLANT MATERIAL.
- THE CONTRACTOR SHALL PLACE 3" DEPTH OF SHREDDED BARK MULCH IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED.

GRADING NOTES:

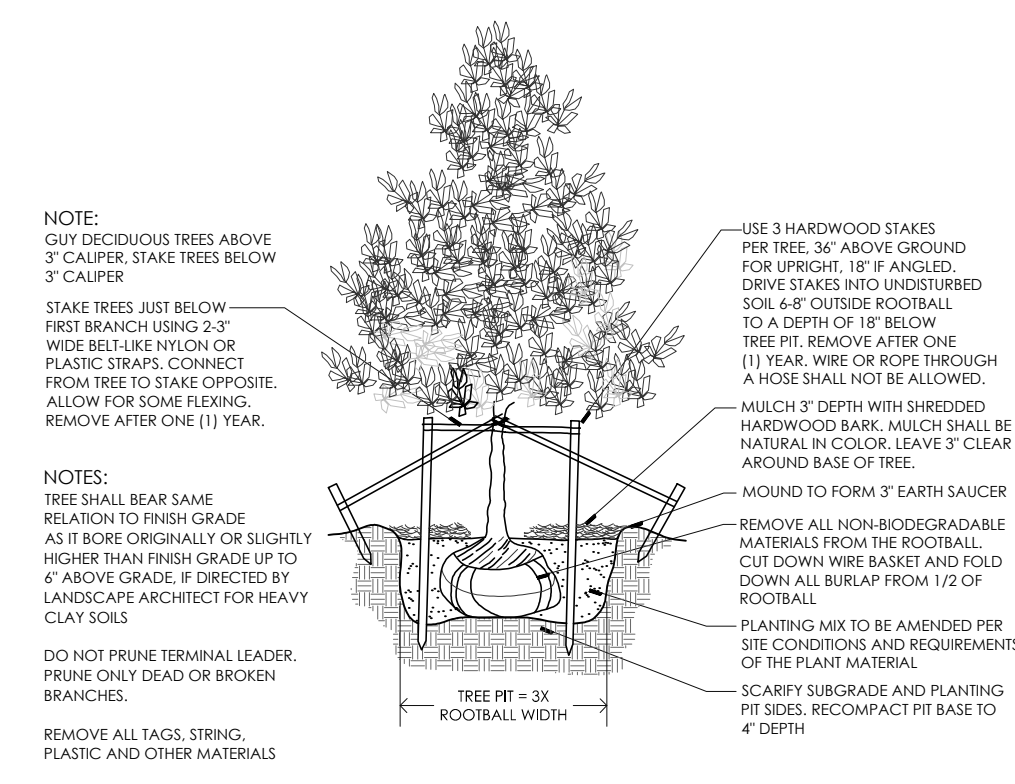
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING SURVEY INFORMATION INCLUDING THE UTILITY SYSTEMS BEFORE ANY DEMOLITION OR CONSTRUCTION WORK OCCURS. ANY DISCREPANCIES WITH THE SURVEY INFORMATION SHALL BE REPORTED TO THE ARCHITECT AND OWNER'S REPRESENTATIVE IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR COST INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES.
- CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND / OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CITY ENGINEER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO LACK OF SUCH NOTIFICATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH OPERATIONS.
- CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY EXISTING MATERIALS THAT ARE DAMAGED DURING CONSTRUCTION.
- NO CHANGE IN CONTRACT PRICE WILL BE ALLOWED FOR ACTUAL OR CLAIMED BETWEEN EXISTING GRADE AND THOSE SHOWN ON PLANS AFTER CONTRACTOR HAS ACCEPTED EXISTING GRADES AND MOVED ON TO THE SITE.
- ALL PROPOSED GRADES ARE TO MEET AND BLEND IN WITH THE EXISTING GRADE AT PROJECT LIMIT. PRECISE ELEVATIONS INDICATED ON THE PLANS TO BE VERIFIED IN FIELD TO AS-BUILT CONDITION.
- ALL GRADING AND PLACEMENT OF DRAINAGE STRUCTURES TO BE SUPERVISED IN THE FIELD BY THE OWNERS REPRESENTATIVE.
- INSTALL 3" DEPTH TOPSOIL OVER ALL DISTURBED LAWN AREAS.
- SEED ALL PROPOSED OR DISTURBED LAWN AREAS.



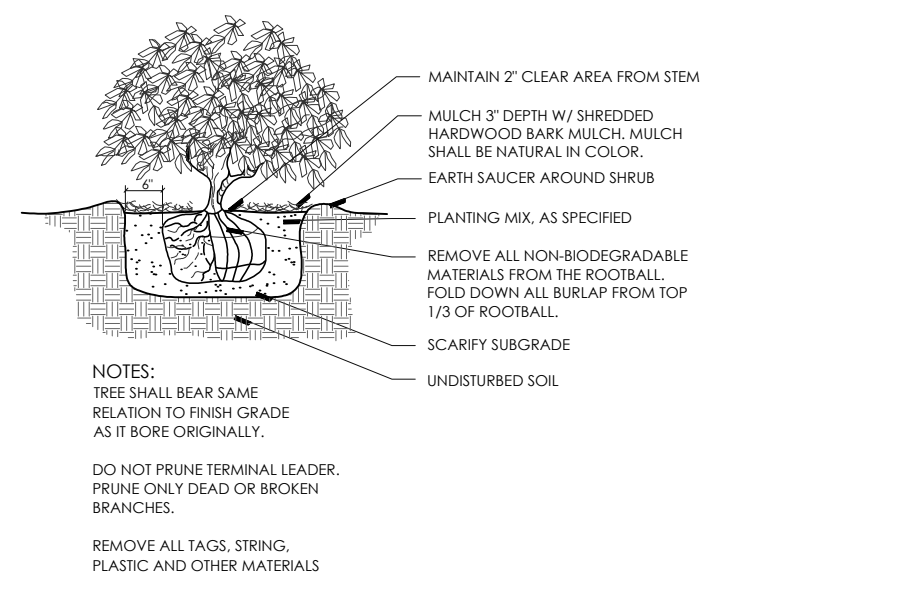
MULTI-STEM TREE PLANTING DETAIL NTS



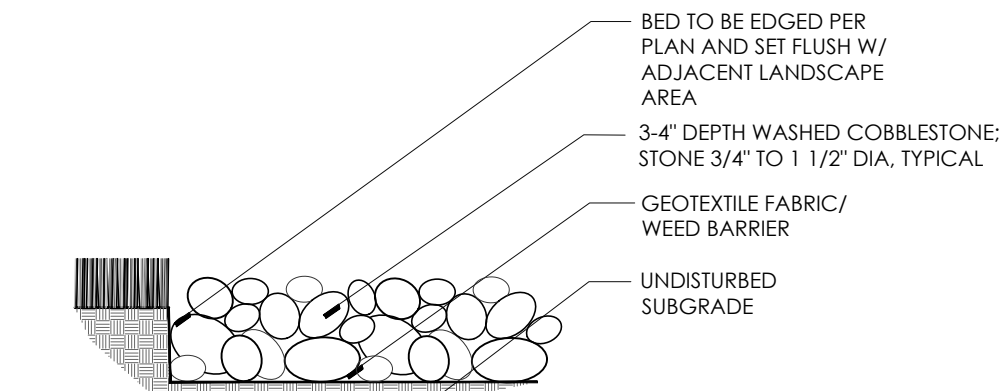
ORNAMENTAL GRASS PLANTING DETAIL NTS



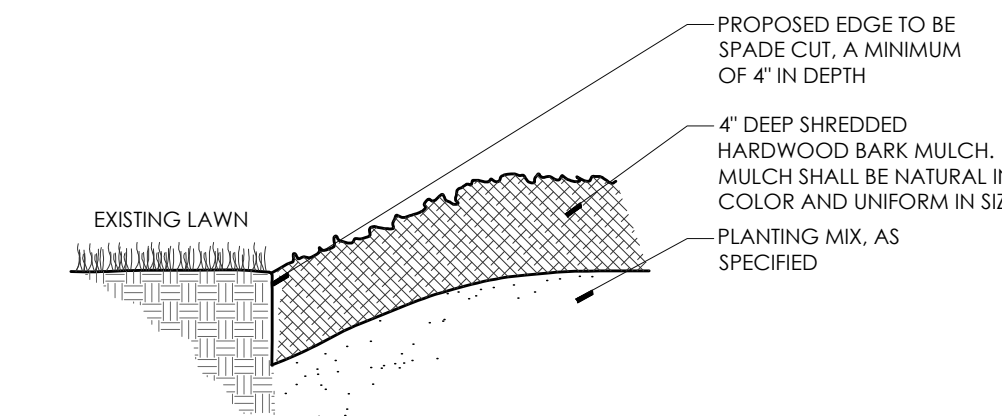
DECIDUOUS TREE PLANTING DETAIL NTS



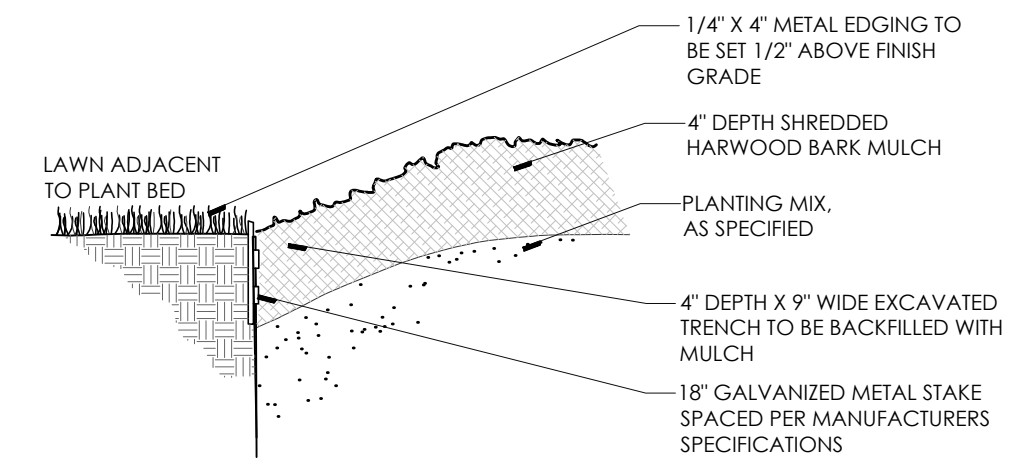
SHRUB PLANTING DETAIL DECIDUOUS SHRUB NTS



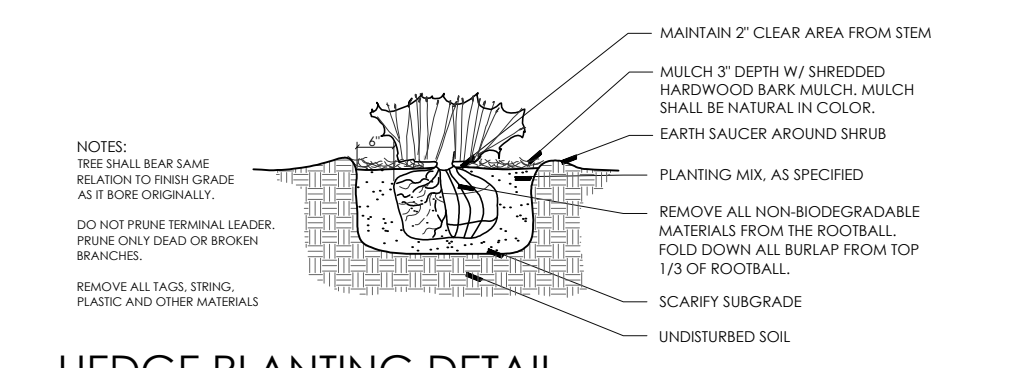
COBBLESTONE MULCH DETAIL NTS



SPADE CUT EDGE DETAIL NTS



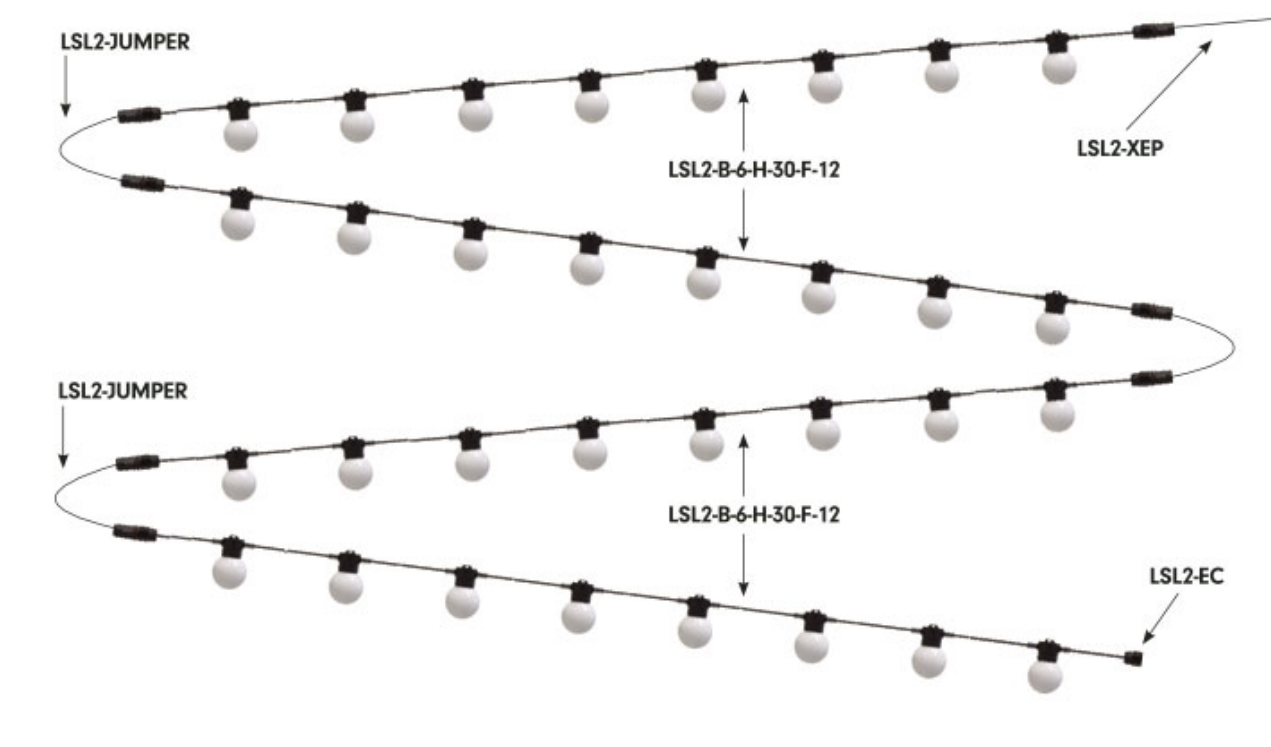
METAL EDGING DETAIL NTS



HEDGE PLANTING DETAIL NTS

12V Litesphere™ 2.0

System Configuration Example



Strand Order Guide

| Product | Wire | Spacing | LED Type | LED Color | Globe | Voltage |
|----------------|--------------------|-------------------------------------------------------------------|----------------------------------------------------------|-----------------------------------------------------------------------|--------------------------------|-----------|
| Litesphere 2.0 | B Black W White | 64' 6" OC 12' 12" OC 18' 18" OC 24' 24" OC 36' 36" OC | V Very High Output H High Output S Standard Output | 19 1900K 27 2700K 30 3000K 35 3500K 40 4000K 50 5000K* | C Clear F Frosted O Opal | 12 12V DC |

Tivoli, LLC reserves the right to modify this specification without prior notice.
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LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

INTENDED USE - Typical applications include centers, tables, conference rooms and private offices.
CONSTRUCTION - Galvanized steel mounting pole base, aluminum steel junction box with bottom-hinged access doors and spring latches. Reflector is retained by tension springs.
VERTICALLY ADJUSTABLE - Mounting brackets with universal ball joints provide 3" total adjustment.
Two configurations: 1) 3" and four 1" brackets for straight-through conduit run. Capacity is 8 ft, No. 12 BNC conductors, standard PVC.
Accommodates 12" x 24" post spacing.
Pole and fixture height range from 21' to 32' (standard). High ambient (HAC) option available. Light engine and drivers are available from above or below ceiling.
Max ceiling thickness 1.5".
OPTICS - LED is mounted in a 3-step SDOCK 80 CRI minimum, 90 CRI optional.
LED light source concealed with diffusing optical lens.
General illumination lighting with 1.5:1 SDOCK and 3.0:1 SDOCK sources and source size.
Self-flanged, anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted finishes.
ELECTRICAL - Multi-wire (120/277, 208/240, 240/208) 0-10V dimming drivers mounted to junction box, 10% of the minimum dimming driver available.
0-10V dimming fixture requires two (2) additional drive voltage wires to be pulled.
70% lumen maintenance at 60,000 hours.
LISTINGS - Certified to UL and Canadian safety standards. Wet location standard (sealed enclosure). IP55 rated, ENERGY STAR certified product.
BUY AMERICAN - Product with the BAA option is assembled in the USA and meets the Buy American government procurement requirements under FAR, DFARS and DFE. Please refer to www.buyusa.gov for additional information.
WARRANTY - 5-year limited warranty. This is the only warranty provided and no other statements in this specification document create any warranty of any kind. All other implied and/or stated warranties are disclaimed. Complete warranty terms located at: www.lithonia.com/customer-service/terms-and-conditions
Note: Actual performance may differ as a result of end-user environmental and application.
All colors are design or typical color, measured under laboratory conditions at 25°C.
Specifications subject to change without notice.



LDN6
6" Open and Wall/Walk LED Non-AC New Construction Downlight



ORDERING INFORMATION: Lead times will vary depending on options selected. Consult with your sales representative. Example: LDNG 35/15 LOGAR LSS MVOLT E210

| Series | Color Temperature | Lumens* | Aperture/Trim Color | Finish | Voltage | | | |
|--------|-------------------|---------|---------------------|----------------|---------------|----------|-------------------|------------------|
| LDN6 | 27° | 2700K | 85 500 lumens | 25 2500 lumens | 106 Downlight | AR Clear | LSD Semi-specular | MVOLT Multi-wire |
| | 30° | 3000K | 67 750 lumens | 30 3000 lumens | 106 Wall/Walk | WR White | LD Matte-diffuse | 120 120V |
| | 35° | 3500K | 78 1000 lumens | 40 4000 lumens | | BR Black | LS Specular | 277 277V |
| | 40° | 4000K | 95 1000 lumens | 50 5000 lumens | | | | 345 345V |
| | 50° | 5000K | 20 2000 lumens | | | | | |

| Driver | Options |
|----------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------|
| D210 0-10V driver dims to 10% | S21 Single face |
| D210 0-10V driver dims to 1% | T8M1 Black painted flange |
| D11 Minimum dimming 10% driver size with 10V | T8M2 Emergency battery pack with integral test switch. 10W Constant Power, Not Certified in CA, TX or MA/DE/DC. |
| D11 Minimum dimming 1% driver size with 10V | E11 Emergency battery pack with remote test switch. 10W Constant Power, Not Certified in CA, TX or MA/DE/DC. |
| E21 0-10V eDim LED driver with smooth and flicker-free dimming performance down to 10% | E12 Emergency battery pack with self-diagnostics, integral test switch. 10W Constant Power, Not Certified in CA, TX or MA/DE/DC. |
| E21 0-10V eDim LED driver with smooth and flicker-free dimming performance down to 1% | E13 Emergency battery pack with self-diagnostics, remote test switch. 10W Constant Power, Not Certified in CA, TX or MA/DE/DC. |
| E246 eDim LED SOLIDDRIVE dim to black | E14 Emergency battery pack with 0-10V dimming for non-eDimLED drivers (IC24, IC21, ER controls feature on emergency circuit. |

Accessories: Order separate catalog number.
P10557 FMC Power Sentry Battery Pack, LED compliant, field installable, 10w constant power
E15550 12V Compact Interoperable Emergency AC power system
E15550 12V Compact Interoperable Emergency AC power system
GRAB 12 Over-sized trim ring with 8" outside diameter
S246 Sloped Ceiling Adaptor. Degree of slope must be specified (10, 150, 200, 225, 300, Etc. See UL 100)

Alternates Note
THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

Ordering Note
FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

Mounting Height Note
MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

Controls Note
LIGHTING WILL BE TURNED OFF/DIMMED BETWEEN 11:00 PM AND SUNRISE, PER ORDINANCE REQUIREMENTS.

Drawing Note
THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

General Note
1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
2. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min | Avg/Max |
|---------------|--------|--------|--------|--------|---------|---------|---------|
| BOUNDARY LINE | + | 0.1 fc | 0.8 fc | 0.0 fc | N/A | N/A | 0.1:1 |
| PARKING LOT | + | 1.2 fc | 2.5 fc | 0.4 fc | 6.3:1 | 3.0:1 | 0.5:1 |

| Symbol | Label | QTY | Manufacturer | Description | Lamp | Mounting Height |
|--------|-------|-----|-------------------|-----------------------------------------------------|------|-----------------|
| A | A | 8 | Lithonia Lighting | D-Series Size 0 Area Luminaire 4000K | LED | 25'-0" |
| B | B | 2 | Lithonia Lighting | D-Series Size 0 Area Luminaire 4000K | LED | 25'-0" |
| C | C | 2 | Lithonia Lighting | 6IN LED DOWNLIGHT, 3000K | LED | 14'-6" |
| D | D | 3 | Lithonia Lighting | WPX1 LED WALLPACK, 4000K | LED | 9'-0" |
| E | E | 1 | Tivoli, LCC | Litesphere 2.0, 24" Spacing, 4000K (75' RUN LENGTH) | LED | 9'-6" |

D-Series Size 0 LED Area Luminaire

Specifications
EPA: 0.95 ft (0.29m)
Length: 26" (0.66m)
Width: 13" (0.33m)
Height: 3" (0.08m)
Height: 7" (0.18m)
Weight: 14 lbs (6.3kg)

Introduction
The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficiency, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX0 LED P6 40K 73M MVOLT SPA NLTAIR2 PIRHN DDBXD

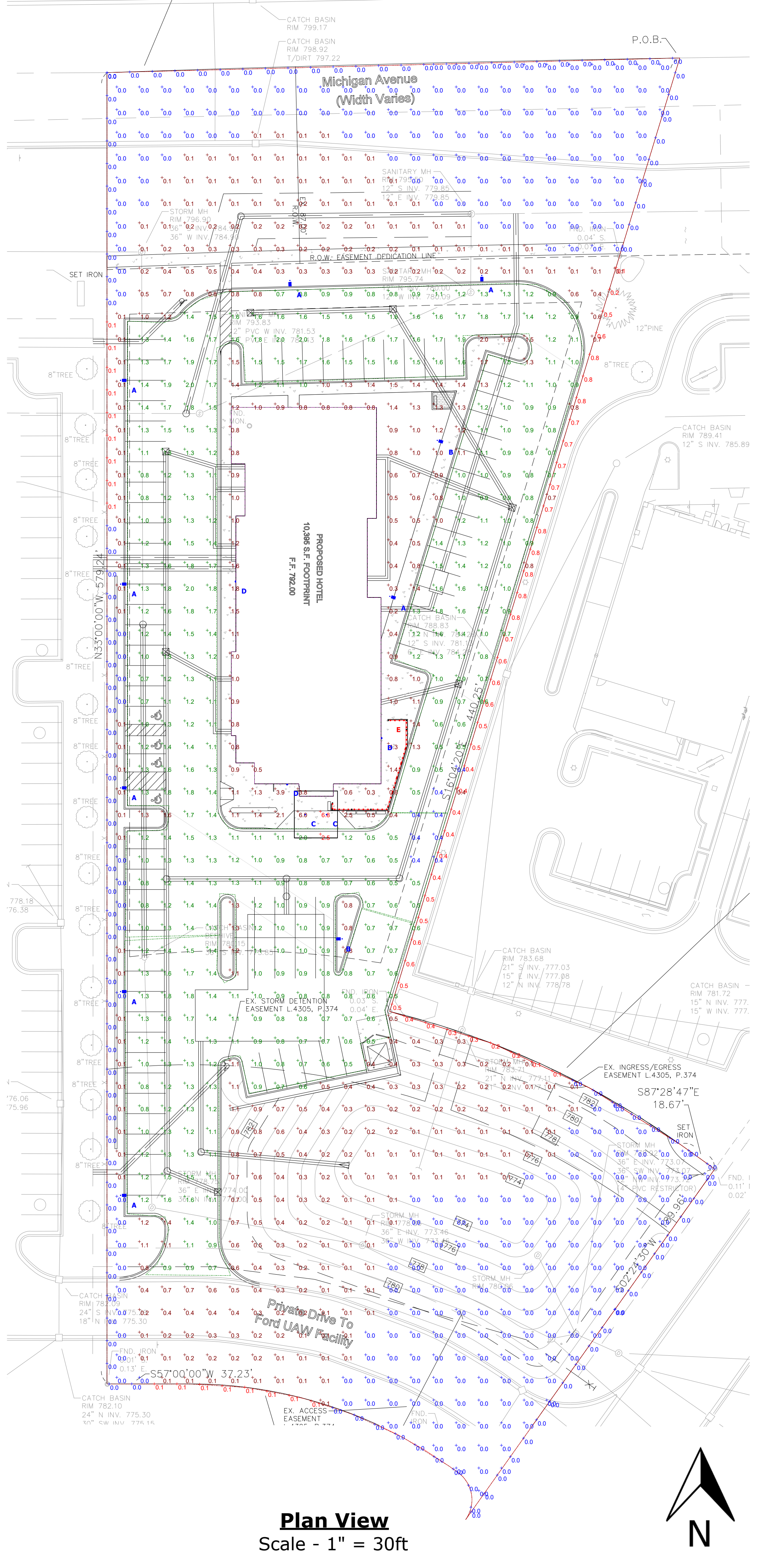
| Series | LEDs | Color Temperature | Distribution | TSS | Type/Short | MVOLT* | Mounting | Shipped included |
|--------------|----------------|-------------------|--------------------|--------------------------|------------|--------|----------|----------------------------------------|
| DSX0 LED | Forward optics | 39K 3000K | T25 Type I (short) | T55 Type I (short) | 10VLT* | | | |
| | P1 P4 PF | 40K 4000K | T25 Type I (short) | T55 Type I (short) | 120* | SFA | SFA | Square pole mounting |
| | P2 P5 | 50K 5000K | T25 Type I (short) | T55 Type I (short) | 208* | RFA | RFA | Round pole mounting |
| | P3 P6 | 50K 5000K | T25 Type I (short) | T55 Type I (short) | 240* | WFA | WFA | Wall mounting |
| RATED OPTICS | Backlit optics | T25 | Type I (medium) | BCD Backlit corner cast* | 227* | SPRIBA | | Square pole universal mounting adapter |
| | P10 P12 | T4M | Type I (medium) | BCD Right corner cast* | 347* | RFUMBA | | Round pole universal mounting adapter |
| | P11 P13 | T5M | Type I (medium) | BCD Right corner cast* | 480* | | | Shipped separately |
| | P11 P13 | T5M | Type I (short) | | | | | RHM DDBXD* |

Control options

| Shipped installed | Other options | Finish |
|------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------|---------------------------|
| NLDA2 Light 68 generation 2 enabled* | FR High flow, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 26" | DDBD Dark bronze |
| FRNK Network, high flow motion/ambient sensor* | FRH High flow, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 26" | DDBD Black |
| FRB NEMA back-lit recessed only (ambient sensor) | FRM Double for (20', 24', 400") | DDBD Natural aluminum |
| FRS Fan-free recessed only (ambient sensor) | LD Left-sided optics | DDBD White |
| FRF Seven recessed only (backlit feature) (ambient sensor) | LR Double for (20', 24', 400") | DDBD Textured dark bronze |
| DMG 0-10V dimming extend out back of housing for external control (ambient sensor) | RR Right-sided optics | DDBD Textured black |
| | RS Offboard only | DDBD Textured aluminum |
| | SHD Left adjustable optic* | DDBD Textured white |
| | BS Red globe* | |
| | ES External globe | |

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Plan View
Scale - 1" = 30ft



COMFORT INN - YPSILANTI, TWP.
PHOTOMETRIC SITE PLAN
PREPARED FOR: Nowak & Fraus Engineers
GASSER BUSH ASSOCIATES
WWW.GASSERBUSH.COM

Designer
DB/KB
Date
12/20/2022
rev. 12/21/2022
rev. 4/27/2023
Scale
Not to Scale
Drawing No.
#22-83782-V3

CODE REVIEW & BLDG ANALYSIS:

THE BUILDING PLANS ARE BEING SUBMITTED FOR A PROPOSED FOUR STORY HOTEL. THE HOTEL WILL HAVE 78 GUEST ROOMS, NO POOL AND A GROUND FLOOR PUBLIC AREA FOR HOTEL GUESTS. PARKING WILL BE 86 SPACES.

- I. GENERAL CONTR. TO COMPLY W/ ALL FEDERAL, STATE, CITY AND LOCAL CODES WHERE APPLICABLE
- MICHIGAN BUILDING CODE 2015
 - ICC/ANSI A117.1 2009 AND MICHIGAN BARRIER FREE DESIGN LAW P.A. 1 OF 1966 AS AMENDED
 - MICHIGAN MECHANICAL CODE 2015 (M.M.C.)
 - MICHIGAN PLUMBING CODE 2018 (M.P.C.)
 - FIRE SUPPRESSION NFPA 13-2013
 - FIRE ALARM NFPA 72-2013
 - INTERNATIONAL FUEL GAS CODE 2015 (I.F.G.C.)
 - MICHIGAN UNIFORM ENERGY CODE, PART 100 (M.E.C.)
 - ANSI/ASHRAE/IESNA STANDARD 90.1 1999 EDITION
 - MICHIGAN ELECTRICAL CODE BASED ON 2017 N.E.C. W/ PART 8 AMENDMENTS
 - INTERNATIONAL FIRE CODE 2012 (I.F.C.)
 - PROJECT SHALL COMPLY W/ MBC 2015 CHP. 35 REFERENCE STANDARDS

PROJECT DATA:

| | |
|-----------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ZONING | RC, REGIONAL CORRIDOR SITE TYPE: 'C' PERMITTED BUILDING FORMS: A2, B, C PERMITTED USES: 2, 3, 4 PERMITTED SPECIAL USES: 5, 6 SPECIAL USE 5 - HOTEL BUILDING FORM 'C' - HOTEL |
| PROJECT USE: | A-2 / B / R-1 S-2 LOW HAZARD VA: SPRINKLERED |
| SITE DATA | AREA |
| TOTAL SITE AREA: | 116,612.45 SF = 2.72 ACRES |
| BUILDING AREA: | 10,280 GROSS S.F. |
| BUILDING COVERAGE PERCENTAGE: | 10,280/116,612.45 = 8.67% |
| BUILDING HEIGHT: | 54'-6" TOP OF TOWER 46'-4" TOP OF 4 STORY PARAPET |
| SITE TYPE: 'C' | |
| BUILDING FORM 'C' - HOTEL | |
| SPECIAL USE 5 - HOTEL | |
| SETBACKS AND BUILDING PLACEMENT | |
| FRONT YARD: | MAXIMUM REQUIRED 60'-0" BUILD-TO LINE |
| SIDE YARD: | NO MINIMUM, IF PROVIDED, 5'-0" MINIMUM |
| REAR YARD: | MINIMUM 30'-0" |
| PARKING SETBACK: | 10'-0" MINIMUM (ALL SIDES) |
| LOT CHARACTERISTICS | |
| IMPERVIOUS SURFACE: | MAXIMUM 80% |
| ACCESS & CIRCULATION: | DRIVEWAY ACCESS FROM ANY SIDE OF LOT PEDESTRIAN ACCESS FROM RIGHT OF WAY |
| PARKING LOCATION: | LOCATED IN ANY YARD |
| TOTAL BUILDINGS GROSS FLOOR AREA: | 40,805 GROSS S.F. |
| FIRST FLOOR: | 10,280 GROSS S.F. |
| SECOND FLOOR: | 10,175 GROSS S.F. |
| THIRD FLOOR: | 10,175 GROSS S.F. |
| FOURTH FLOOR: | 10,175 GROSS S.F. |
| AREA PER KEY: | 523 GROSS S.F. |

| BUILDING PROGRAM | |
|-----------------------------------|------------------|
| BUILDING AREA | QTY/TOTAL NET SF |
| GUESTROOMS | |
| KING | 20 5,140 SF |
| DOUBLE QUEEN | 27 8,154 SF |
| KING SUITE | 24 7,800 SF |
| WIDE KING SUITE 2 | 3 1,716 SF |
| ACC KING SUITE | 1 483 SF |
| ACC DOUBLE QUEEN | 3 1,823 SF |
| SUBTOTAL | 24,616 SF |
| GUESTROOM SUPPORT | |
| GUEST SUPPORT | |
| ELEVATOR | 1 104 SF |
| ELEVATOR LOBBY (UPPER FLOORS) | 3 346 SF |
| ICE / VENDING | 3 246 SF |
| HOUSEKEEPING | 3 552 SF |
| HOUSEKEEPING | 1 12 SF |
| LINEN CHUTE | |
| BUILDING SERVICES | |
| ELECTRICAL ROOM | 3 174 SF |
| MECHANICAL CLOSET | 3 30 SF |
| CIRCULATION SUPPORT | |
| CORRIDOR A & B (UPPER LEVELS) | 3 2,842 SF |
| STAIR 1 | 4 639 SF |
| STAIR 2 | 4 632 SF |
| SUBTOTAL | 5,601 SF |
| PUBLIC SPACE | |
| VESTIBULE | 1 116 SF |
| RECEPTION | 1 105 SF |
| LOBBY / LOUNGE | 1 703 SF |
| BREAKFAST ROOM | 1 544 SF |
| FLEX ROOM | 1 304 SF |
| FLEX ROOM CLOSET | 1 25 SF |
| MARKETPLACE | 1 180 SF |
| FITNESS | 1 576 SF |
| GUEST LAUNDRY | 1 107 SF |
| ELEVATOR LOBBY (FIRST FLOOR) | 1 134 SF |
| SUBTOTAL | 2,799 SF |
| PUBLIC SUPPORT | |
| LOBBY SUPPORT & CIRCULATION | |
| CIRCULATION | 1 596 SF |
| ICE VENDING | 1 24 SF |
| RESTROOM / GUEST LAUNDRY CORRIDOR | 1 78 SF |
| TOILET ROOMS | 2 111 SF |
| ADMINISTRATION | |
| OFFICE 1 | 1 88 SF |
| OFFICE 2 | 1 41 SF |
| WORK ROOM | 1 157 SF |
| PBX | 1 34 SF |
| LAUNDRY | 1 585 SF |
| LINEN STORAGE | 1 43 SF |
| BREAK ROOM | 1 114 SF |
| BREAKFAST SERVING AREA | 1 275 SF |
| FOOD PREP | 1 186 SF |
| BUILDING SERVICES | |
| ELEVATOR EQUIPMENT ROOM / STORAGE | 1 117 SF |
| ELECTRICAL ROOM | 1 120 SF |
| MECHANICAL ROOM | 1 243 SF |
| MECHANICAL CLOSET 172 | 1 28 SF |
| CLOSET 173 | 1 24 SF |
| MECHANICAL CLOSET 174 | 1 17 SF |
| MECHANICAL CLOSET 175 | 1 8 SF |
| MECHANICAL CLOSET 176 | 1 4 SF |
| SUBTOTAL | 2,423 SF |
| TOTAL NET SF | 36,019 SF |

PARKING REQUIREMENTS

- 1 SPACE PER 1 EMPLOYEES = 7 EMPLOYEES
- 1 SPACE PER 1 GUESTROOM = 78 ROOMS
- 78 * 7 = 85 SPACES REQUIRED; 86 SPACES PROVIDED

PROVIDED: 86 TOTAL SPACES PROVIDED
4 BARRIER FREE PARKING SPACES REQUIRED
4 PROVIDED
1 OF 4 VAN ACCESSIBLE

BUILDING DATA:

| GUESTROOM TYPE COUNT & INDEX | | | |
|------------------------------|------------|-------|-----------|
| ROOM TYPE | AREA RANGE | COUNT | MIX RATIO |
| KING | 257 SF | 20 | 26% |
| DOUBLE QUEEN | 302 SF | 27 | 34% |
| KING SUITE | 325 SF | 24 | 31% |
| ACC WIDE KING SUITE 2 | 572 SF | 3 | 4% |
| ACC KING SUITE | 483 SF | 1 | 1% |
| ACC DOUBLE QUEEN | 441 SF | 3 | 4% |

BUILDING DATA:

| GUESTROOM COUNT | |
|------------------------|-----------|
| ROOM TYPE | COUNT |
| 1ST FLOOR | |
| KNIG | 5 |
| DOUBLE QUEEN | 5 |
| KING SUITE | 0 |
| ACC WIDE KING SUITE 2 | 0 |
| ACC KING SUITE | 1 |
| ACC DOUBLE QUEEN | 0 |
| 2ND FLOOR | |
| KNIG | 5 |
| DOUBLE QUEEN | 8 |
| KING SUITE | 8 |
| ACC WIDE KING SUITE 2 | 1 |
| ACC KING SUITE | 0 |
| ACC DOUBLE QUEEN | 1 |
| 3RD FLOOR | |
| KNIG | 5 |
| DOUBLE QUEEN | 8 |
| KING SUITE | 8 |
| ACC WIDE KING SUITE 2 | 1 |
| ACC KING SUITE | 0 |
| ACC DOUBLE QUEEN | 1 |
| 4TH FLOOR | |
| KNIG | 5 |
| DOUBLE QUEEN | 8 |
| KING SUITE | 8 |
| ACC WIDE KING SUITE 2 | 1 |
| ACC KING SUITE | 0 |
| ACC DOUBLE QUEEN | 1 |
| GUESTROOM TOTAL | 78 |

ACCESSIBILITY MATRIX

| REQUIREMENTS | PROVIDED |
|--------------------------------------------------|------------------|
| COMMUNICATION FEATURES | |
| GUESTROOM W/ COMMUNICATION FEATURES | 10 |
| MOBILITY FEATURES | |
| GUESTROOM - TUB | 6 |
| GUESTROOM - ROLL-IN SHOWER | 1 |
| ROOM FEATURES BY ROOM COMMUNICATION ROOMS | |
| FIRST FLOOR | #104 |
| SECOND FLOOR | #205, #208, #219 |
| THIRD FLOOR | #305, #308, #319 |
| FOURTH FLOOR | #405, #408, #419 |
| MOBILITY FEATURES BY ROOM | |
| FIRST FLOOR | |
| TUB | |
| ROLL-IN SHOWER | #104 |
| SECOND FLOOR | |
| TUB | #204, #225 |
| THIRD FLOOR | |
| TUB | #304, #325 |
| FOURTH FLOOR | |
| TUB | #402, #425 |

BUILDING PROGRAM

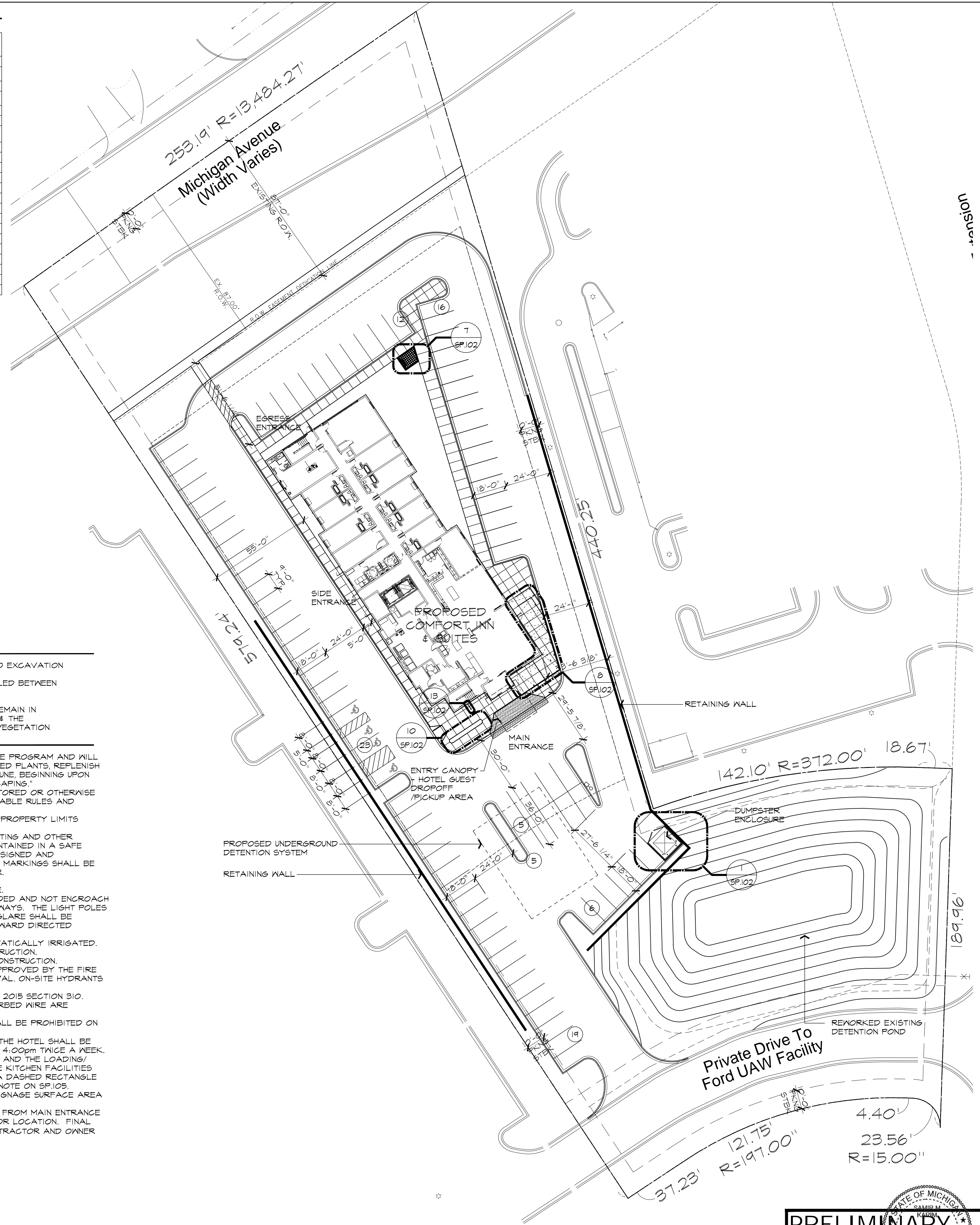
| BUILDING AREA | QTY/TOTAL NET SF |
|-----------------------------------|------------------|
| GUESTROOMS | |
| KING | 20 5,140 SF |
| DOUBLE QUEEN | 27 8,154 SF |
| KING SUITE | 24 7,800 SF |
| WIDE KING SUITE 2 | 3 1,716 SF |
| ACC KING SUITE | 1 483 SF |
| ACC DOUBLE QUEEN | 3 1,823 SF |
| SUBTOTAL | 24,616 SF |
| GUESTROOM SUPPORT | |
| GUEST SUPPORT | |
| ELEVATOR | 1 104 SF |
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| ICE / VENDING | 3 246 SF |
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| BUILDING SERVICES | |
| ELECTRICAL ROOM | 3 174 SF |
| MECHANICAL CLOSET | 3 30 SF |
| CIRCULATION SUPPORT | |
| CORRIDOR A & B (UPPER LEVELS) | 3 2,842 SF |
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| BREAKFAST ROOM | 1 544 SF |
| FLEX ROOM | 1 304 SF |
| FLEX ROOM CLOSET | 1 25 SF |
| MARKETPLACE | 1 180 SF |
| FITNESS | 1 576 SF |
| GUEST LAUNDRY | 1 107 SF |
| ELEVATOR LOBBY (FIRST FLOOR) | 1 134 SF |
| SUBTOTAL | 2,799 SF |
| PUBLIC SUPPORT | |
| LOBBY SUPPORT & CIRCULATION | |
| CIRCULATION | 1 596 SF |
| ICE VENDING | 1 24 SF |
| RESTROOM / GUEST LAUNDRY CORRIDOR | 1 78 SF |
| TOILET ROOMS | 2 111 SF |
| ADMINISTRATION | |
| OFFICE 1 | 1 88 SF |
| OFFICE 2 | 1 41 SF |
| WORK ROOM | 1 157 SF |
| PBX | 1 34 SF |
| LAUNDRY | 1 585 SF |
| LINEN STORAGE | 1 43 SF |
| BREAK ROOM | 1 114 SF |
| BREAKFAST SERVING AREA | 1 275 SF |
| FOOD PREP | 1 186 SF |
| BUILDING SERVICES | |
| ELEVATOR EQUIPMENT ROOM / STORAGE | 1 117 SF |
| ELECTRICAL ROOM | 1 120 SF |
| MECHANICAL ROOM | 1 243 SF |
| MECHANICAL CLOSET 172 | 1 28 SF |
| CLOSET 173 | 1 24 SF |
| MECHANICAL CLOSET 174 | 1 17 SF |
| MECHANICAL CLOSET 175 | 1 8 SF |
| MECHANICAL CLOSET 176 | 1 4 SF |
| SUBTOTAL | 2,423 SF |
| TOTAL NET SF | 36,019 SF |

WORK SEQUENCE

- SILT FENCE SHALL BE INSTALLED PRIOR TO EXCAVATION
- EXCAVATED MATERIALS WILL BE STOCKPILED BETWEEN THE EXCAVATING AND SILT FENCE
- THE SEDIMENT CONTROL MEASURES WILL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE & THE DISTURBED AREAS ARE STABILIZED WITH VEGETATION

GENERAL NOTES

- OWNER AGREES TO SEASONAL MAINTENANCE PROGRAM AND WILL REPLACE ALL DISEASED, DEAD OR DAMAGED PLANTS, REPLENISH MULCH, CONTROL WEEDS, FERTILIZE AND PRUNE, BEGINNING UPON COMPLETION OF CONSTRUCTION OF LANDSCAPING.
- ANY HAZARDOUS MATERIALS PRODUCED, STORED OR OTHERWISE ON PREMISE WILL BE HANDLED PER APPLICABLE RULES AND REGULATIONS.
- OWNER AGREES TO PICK-UP DEBRIS WITHIN PROPERTY LIMITS WEEKLY OR AS NEEDED.
- PAVED SURFACES, WALKWAYS, SIGNS, LIGHTING AND OTHER STRUCTURES AND SURFACES SHALL BE MAINTAINED IN A SAFE ATTRACTIVE CONDITION AS ORIGINALLY DESIGNED AND CONSTRUCTED. PARKING LOT STRIPING AND MARKINGS SHALL BE MAINTAINED IN A CLEARLY VISIBLE MANNER.
- THERE WILL BE NO OUTDOOR STORAGE
- THERE ARE NO EXISTING WETLANDS ON-SITE.
- ALL LIGHTING ON THE SITE SHALL BE SHIELDED AND NOT ENCROUGH UPON ADJUTING PROPERTIES OR RIGHT-OF-WAYS. THE LIGHT POLES SHALL BE NO HIGHER THAT 20 FEET. ALL GLARE SHALL BE ELIMINATED FROM ALL LIGHT FIXTURES. UPWARD DIRECTED LIGHTING SHALL NOT BE PERMITTED.
- ALL LANDSCAPED AREAS SHALL BE AUTOMATICALLY IRRIGATED. DEVELOPMENT TO BE SINGLE PHASE CONSTRUCTION.
- FIRE ACCESS TO BE MAINTAINED DURING CONSTRUCTION
- ON-SITE HYDRANT LOCATIONS SHALL BE APPROVED BY THE FIRE MARSHALL PRIOR TO ENGINEERING APPROVAL. ON-SITE HYDRANTS MAY BE REQUIRED.
- PROPOSED BUILDING TO COMPLY WITH MBC 2015 SECTION 510.
- ALL BARBED WIRE AND SUPPORTS FOR BARBED WIRE ARE PROHIBITED ON THE SITE.
- ALL OUTDOOR RETAIL SALES OF ITEMS SHALL BE PROHIBITED ON THE SITE.
- ALL DELIVERIES (LOADING/UNLOADING) TO THE HOTEL SHALL BE DONE BETWEEN THE HOURS OF 9:00am AND 4:00pm TWICE A WEEK. THE DELIVERY TRUCKS WILL BE 18'-0" LONG AND THE LOADING/ UNLOADING AREA WILL BE LOCATED AT THE KITCHEN FACILITIES AREA AS DEMARCATED ON THE SP101 BY A DASHED RECTANGLE WITH DASHED 'X' AND NOTE. SEE SIGNAGE NOTE ON SP105.
- EXISTING POLE SIGN TO BE RE-SKINNED. SIGNAGE SURFACE AREA NOT TO INCREASE IN SIZE
- BIKE RACK TO BE NOT LESS THAN 50 FEET FROM MAIN ENTRANCE TO HOTEL LOBBY. SEE DETAIL 13/SP102 FOR LOCATION, FINAL LOCATION AND SIZE (MIN. 2 BIKES) BY CONTRACTOR AND OWNER FOR FINAL TOWNSHIP APPROVAL.



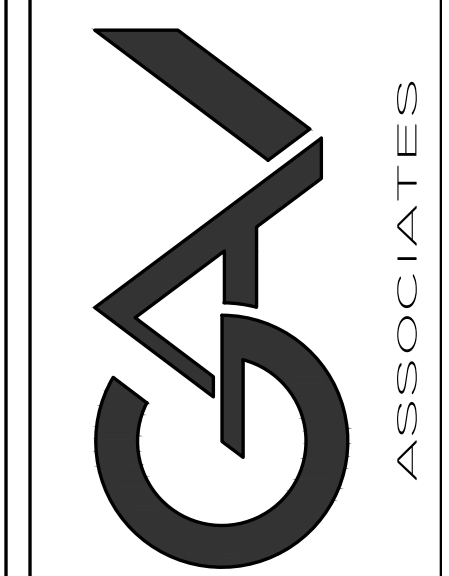
PROPOSED SITE PLAN - 86 ROOM COMFORT INN & SUITES
SCALE: 1" = 30'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

| ISSUED FOR | DATE |
|----------------------------|------------|
| SITE DESIGN - OWNER REVIEW | 8-31-2022 |
| PRE-PLANNING REVIEW | 10-11-2022 |
| POST-PLANNING REVIEW | 11-14-2022 |
| CHOICE HOTELS REVIEW | 11-18-2022 |
| REVIEW | 12-18-2022 |
| PLANNING REVIEW | 1-18-2023 |
| PLANNING REVIEW | 4-21-2023 |

ARCHITECTURAL DESIGN
RESIDENTIAL
COMMERCIAL
INDUSTRIAL

G.A.V. ASSOCIATES, INC.
2401 ORCHARD LANE, SUITE 100A
FARMINGTON, MICHIGAN 48338
PH: (248) 985-9101
WEB: WWW.GAVASSOCIATES.COM



TAP RESOURCES
3241 CARLETON ROAD
HILLSDALE, MICHIGAN 48242
MR. TAPAN PATEL
Phone: 517-610-2417

PROPOSED NEW HOTEL FOR CHOICE HOTELS:
COMFORT INN & SUITES - M1502
800 SOUTH HEWITT ROAD
YPSILANTI TOWNSHIP, MICHIGAN

| | | |
|--------------------------------------|-----------|----------|
| DRAWN: | DESIGNED: | CHECKED: |
| DS | DS | GA |
| SCALE: 1" = 30'-0" | | |
| FILE NAME: 22060_SP101 | | |
| JOB #: 22060 | | |
| SHEET TITLE PROPOSED SITE PLAN | | |
| SHEET # SP.101 | | |

| Level | Occupancy Type | Sq.Ft. | Sq.Ft./Occ. | Occupants | No. of Exits | Reqd. Exit Width, Horiz. Inches. | Provid. Exit Width, Horiz. Inches. | Reqd. Exit Width, Vert. Inches. | Provid. Exit Width, Vert. Inches. | Fixt. Unit rate | Water Closets, Male | Water Closets, Female | Water Closets, Combined | Fixt. Unit rate | Lavatories, Male | Lavatories, Female | Lavatories, Combined | Bathtubs/Showers, per unit | Fixt. Unit rate | Drinking Fountains/Sinks | Service Sinks |
|---------|-----------------------------------|--------|-------------|-----------|--------------|----------------------------------|------------------------------------|---------------------------------|-----------------------------------|-----------------|---------------------|-----------------------|-------------------------|-----------------|------------------|--------------------|----------------------|----------------------------|-----------------|--------------------------|---------------|
| Level 1 | R1 Residential, Hotel - 9 units | 2,494 | 200 | 14.97 | | | | | | NA | 0.56 | 0.56 | 0.22 | 200 | 0.22 | 0.22 | 0.22 | NR | 500 | 0.99 | |
| | A2 Breakfast/Lounge/Serving | 1,247 | 15 | 83.0 | | | | | | 0.09 | 0.09 | 0.09 | 200 | 0.03 | 0.03 | 0.03 | NR | 500 | 0.03 | | |
| | B3 Fitness | 576 | 15 | 11.52 | | | | | | 0.17 | 0.17 | 0.17 | 200 | 0.03 | 0.03 | 0.03 | NR | 500 | 0.03 | | |
| | B Flex | 324 | 15 | 21.93 | | | | | | 0.05 | 0.05 | 0.05 | 200 | 0.03 | 0.03 | 0.03 | NR | 500 | 0.03 | | |
| | B Break Room | 119 | 15 | 7.93 | | | | | | 0.05 | 0.05 | 0.05 | 200 | 0.03 | 0.03 | 0.03 | NR | 500 | 0.03 | | |
| | B Business Office | 400 | 100 | 4.0 | | | | | | 0.05 | 0.05 | 0.05 | 200 | 0.03 | 0.03 | 0.03 | NR | 500 | 0.03 | | |
| | B Business Work Room 12'x15' | 157 | 100 | 1.57 | | | | | | 0.05 | 0.05 | 0.05 | 200 | 0.03 | 0.03 | 0.03 | NR | 500 | 0.03 | | |
| | B1 Laundry/Linen/Guest Laundry | 785 | 300 | 2.6 | | | | | | 0.05 | 0.05 | 0.05 | 200 | 0.03 | 0.03 | 0.03 | NR | 500 | 0.03 | | |
| | B1 Mechanical Room/Close | 302 | 300 | 1.01 | | | | | | 0.05 | 0.05 | 0.05 | 200 | 0.03 | 0.03 | 0.03 | NR | 500 | 0.03 | | |
| | B1 Electrical Room | 120 | 300 | 0.4 | | | | | | 0.05 | 0.05 | 0.05 | 200 | 0.03 | 0.03 | 0.03 | NR | 500 | 0.03 | | |
| | B1 Elevator Electrical Room | 117 | 300 | 0.39 | | | | | | 0.05 | 0.05 | 0.05 | 200 | 0.03 | 0.03 | 0.03 | NR | 500 | 0.03 | | |
| | A2 incidental used total, max 10% | 17 | 47 | | | | | | | 0.05 | 0.05 | 0.05 | 200 | 0.03 | 0.03 | 0.03 | NR | 500 | 0.03 | | |
| | B incidental used total, max 10% | 6,910 | | | | | | | | 0.05 | 0.05 | 0.05 | 200 | 0.03 | 0.03 | 0.03 | NR | 500 | 0.03 | | |
| Level 2 | R1 Residential, Hotel - 23 units | 7,384 | 200 | 36.92 | 2 | 7.38 | 68 | 11.08 | 96 | | per Unit | N/A | per Unit | N/A | per Unit | N/A | per Unit | NR | | | |
| Level 3 | R1 Residential, Hotel - 23 units | 7,384 | 200 | 36.92 | 2 | 7.38 | 68 | 11.08 | 96 | | per Unit | N/A | per Unit | N/A | per Unit | N/A | per Unit | NR | | | |
| Level 4 | R1 Residential, Hotel - 23 units | 7,384 | 200 | 36.92 | 2 | 7.38 | 68 | 11.08 | 96 | | per Unit | N/A | per Unit | N/A | per Unit | N/A | per Unit | NR | | | |

| Level | Qty. | Type |
|-------|------|------------|
| 1 | 6 | King Queen |
| 2 | 14 | King Queen |
| 3 | 14 | King Queen |
| 4 | 14 | King Queen |

| | |
|----|-------------------|
| 48 | TOTAL KING ROOMS |
| 30 | TOTAL QUEEN ROOMS |
| 78 | TOTAL ROOMS |

| Level | Qty. | Type |
|-------|------|---------------------------------------------------|
| 1 | 5 | King Double Queen King Suite |
| 2 | 0 | Wide King Suite 2 ACC King Suite ACC Double Queen |
| 3 | 5 | King Double Queen King Suite |
| 4 | 0 | Wide King Suite 2 ACC King Suite ACC Double Queen |
| 5 | 5 | King Double Queen King Suite |
| 6 | 0 | Wide King Suite 2 ACC King Suite ACC Double Queen |
| 7 | 0 | Wide King Suite 2 ACC King Suite ACC Double Queen |
| 8 | 0 | Wide King Suite 2 ACC King Suite ACC Double Queen |
| 9 | 0 | Wide King Suite 2 ACC King Suite ACC Double Queen |

| Vertical Room Chart | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| x01 | x03 | x05 | x07 | x09 | x11 | x13 | x15 | x17 | x19 | x21 | x23 | x25 | x27 | x29 | x31 | x33 | x35 | x37 | x39 | x41 | x43 | x45 | x47 | x49 | x51 | x53 | x55 | x57 | x59 | x61 | x63 | x65 | x67 | x69 | x71 | x73 | x75 | x77 | x79 | x81 | x83 | x85 | x87 | x89 | x91 | x93 | x95 | x97 | x99 | x101 | x103 | x105 | x107 | x109 | x111 | x113 | x115 | x117 | x119 | x121 | x123 | x125 | x127 | x129 | x131 | x133 | x135 | x137 | x139 | x141 | x143 | x145 | x147 | x149 | x151 | x153 | x155 | x157 | x159 | x161 | x163 | x165 | x167 | x169 | x171 | x173 | x175 | x177 | x179 | x181 | x183 | x185 | x187 | x189 | x191 | x193 | x195 | x197 | x199 | x201 | x203 | x205 | x207 | x209 | x211 | x213 | x215 | x217 | x219 | x221 | x223 | x225 | x227 | x229 | x231 | x233 | x235 | x237 | x239 | x241 | x243 | x245 | x247 | x249 | x251 | x253 | x255 | x257 | x259 | x261 | x263 | x265 | x267 | x269 | x271 | x273 | x275 | x277 | x279 | x281 | x283 | x285 | x287 | x289 | x291 | x293 | x295 | x297 | x299 | x301 | x303 | x305 | x307 | x309 | x311 | x313 | x315 | x317 | x319 | x321 | x323 | x325 | x327 | x329 | x331 | x333 | x335 | x337 | x339 | x341 | x343 | x345 | x347 | x349 | x351 | x353 | x355 | x357 | x359 | x361 | x363 | x365 | x367 | x369 | x371 | x373 | x375 | x377 | x379 | x381 | x383 | x385 | x387 | x389 | x391 | x393 | x395 | x397 | x399 | x401 | x403 | x405 | x407 | x409 | x411 | x413 | x415 | x417 | x419 | x421 | x423 | x425 | x427 | x429 | x431 | x433 | x435 | x437 | x439 | x441 | x443 | x445 | x447 | x449 | x451 | x453 | x455 | x457 | x459 | x461 | x463 | x465 | x467 | x469 | x471 | x473 | x475 | x477 | x479 | x481 | x483 | x485 | x487 | x489 | x491 | x493 | x495 | x497 | x499 | x501 | x503 | x505 | x507 | x509 | x511 | x513 | x515 | x517 | x519 | x521 | x523 | x525 | x527 | x529 | x531 | x533 | x535 | x537 | x539 | x541 | x543 | x545 | x547 | x549 | x551 | x553 | x555 | x557 | x559 | x561 | x563 | x565 | x567 | x569 | x571 | x573 | x575 | x577 | x579 | x581 | x583 | x585 | x587 | x589 | x591 | x593 | x595 | x597 | x599 | x601 | x603 | x605 | x607 | x609 | x611 | x613 | x615 | x617 | x619 | x621 | x623 | x625 | x627 | x629 | x631 | x633 | x635 | x637 | x639 | x641 | x643 | x645 | x647 | x649 | x651 | x653 | x655 | x657 | x659 | x661 | x663 | x665 | x667 | x669 | x671 | x673 | x675 | x677 | x679 | x681 | x683 | x685 | x687 | x689 | x691 | x693 | x695 | x697 | x699 | x701 | x703 | x705 | x707 | x709 | x711 | x713 | x715 | x717 | x719 | x721 | x723 | x725 | x727 | x729 | x731 | x733 | x735 | x737 | x739 | x741 | x743 | x745 | x747 | x749 | x751 | x753 | x755 | x757 | x759 | x761 | x763 | x765 | x767 | x769 | x771 | x773 | x775 | x777 | x779 | x781 | x783 | x785 | x787 | x789 | x791 | x793 | x795 | x797 | x799 | x801 | x803 | x805 | x807 | x809 | x811 | x813 | x815 | x817 | x819 | x821 | x823 | x825 | x827 | x829 | x831 | x833 | x835 | x837 | x839 | x841 | x843 | x845 | x847 | x849 | x851 | x853 | x855 | x857 | x859 | x861 | x863 | x865 | x867 | x869 | x871 | x873 | x875 | x877 | x879 | x881 | x883 | x885 | x887 | x889 | x891 | x893 | x895 | x897 | x899 | x901 | x903 | x905 | x907 | x909 | x911 | x913 | x915 | x917 | x919 | x921 | x923 | x925 | x927 | x929 | x931 | x933 | x935 | x937 | x939 | x941 | x943 | x945 | x947 | x949 | x951 | x953 | x955 | x957 | x959 | x961 | x963 | x965 | x967 | x969 | x971 | x973 | x975 | x977 | x979 | x981 | x983 | x985 | x987 | x989 | x991 | x993 | x995 | x997 | x999 | x1001 | x1003 | x1005 | x1007 | x1009 | x1011 | x1013 | x1015 | x1017 | x1019 | x1021 | x1023 | x1025 | x1027 | x1029 | x1031 | x1033 | x1035 | x1037 | x1039 | x1041 | x1043 | x1045 | x1047 | x1049 | x1051 | x1053 | x1055 | x1057 | x1059 | x1061 | x1063 | x1065 | x1067 | x1069 | x1071 | x1073 | x1075 | x1077 | x1079 | x1081 | x1083 | x1085 | x1087 | x1089 | x1091 | x1093 | x1095 | x1097 | x1099 | x1101 | x1103 | x1105 | x1107 | x1109 | x1111 | x1113 | x1115 | x1117 | x1119 | x1121 | x1123 | x1125 | x1127 | x1129 | x1131 | x1133 | x1135 | x1137 | x1139 | x1141 | x1143 | x1145 | x1147 | x1149 | x1151 | x1153 | x1155 | x1157 | x1159 | x1161 | x1163 | x1165 | x1167 | x1169 | x1171 | x1173 | x1175 | x1177 | x1179 | x1181 | x1183 | x1185 | x1187 | x1189 | x1191 | x1193 | x1195 | x1197 | x1199 | x1201 | x1203 | x1205 | x1207 | x1209 | x1211 | x1213 | x1215 | x1217 | x1219 | x1221 | x1223 | x1225 | x1227 | x1229 | x1231 | x1233 | x1235 | x1237 | x1239 | x1241 | x1243 | x1245 | x1247 | x1249 | x1251 | x1253 | x1255 | x1257 | x1259 | x1261 | x1263 | x1265 | x1267 | x1269 | x1271 | x1273 | x1275 | x1277 | x1279 | x1281 | x1283 | x1285 | x1287 | x1289 | x1291 | x1293 | x1295 | x1297 | x1299 | x1301 | x1303 | x1305 | x1307 | x1309 | x1311 | x1313 | x1315 | x1317 | x1319 | x1321 | x1323 | x1325 | x1327 | x1329 | x1331 | x1333 | x1335 | x1337 | x1339 | x1341 | x1343 | x1345 | x1347 | x1349 | x1351 | x1353 | x1355 | x1357 | x1359 | x1361 | x1363 | x1365 | x1367 | x1369 | x1371 | x1373 | x1375 | x1377 | x1379 | x1381 | x1383 | x1385 | x1387 | x1389 | x1391 | x1393 | x1395 | x1397 | x1399 | x1401 | x1403 | x1405 | x1407 | x1409 | x1411 | x1413 | x1415 | x1417 | x1419 | x1421 | x1423 | x1425 | x1427 | x1429 | x1431 | x1433 | x1435 | x1437 | x1439 | x1441 | x1443 | x1445 | x1447 | x1449 | x1451 | x1453 | x1455 | x1457 | x1459 | x1461 | x1463 | x1465 | x1467 | x1469 | x1471 | x1473 | x1475 | x1477 | x1479 | x1481 | x1483 | x1485 | x1487 | x1489 | x1491 | x1493 | x1495 | x1497 | x1499 | x1501 | x1503 | x1505 | x1507 | x1509 | x1511 | x1513 | x1515 | x1517 | x1519 | x1521 | x1523 | x1525 | x1527 | x1529 | x1531 | x1533 | x1535 | x1537 | x1539 | x1541 | x1543 | x1545 | x1547 | x1549 | x1551 | x1553 | x1555 | x1557 | x1559 | x1561 | x1563 | x1565 | x1567 | x1569 | x1571 | x1573 | x1575 | x1577 | x1579 | x1581 | x1583 | x1585 | x1587 | x1589 | x1591 | x1593 | x1595 | x1597 | x1599 | x1601 | x1603 | x1605 | x1607 | x1609 | x1611 | x1613 | x1615 | x1617 | x1619 | x1621 | x1623 | x1625 | x1627 | x1629 | x1631 | x1633 | x1635 | x1637 | x1639 | x1641 | x1643 | x1645 | x1647 | x1649 | x1651 | x1653 | x1655 | x1657 | x1659 | x1661 | x1663 | x1665 | x1667 | x1669 | x1671 | x1673 | x1675 | x1677 | x1679 | x1681 | x1683 | x1685 | x1687 | x1689 | x1691 | x1693 | x1695 | x1697 | x1699 | x1701 | x1703 | x1705 | x1707 | x1709 | x1711 | x1713 | x1715 | x1717 | x1719 | x1721 | x1723 | x1725 | x1727 | x1729 | x1731 | x1733 | x1735 | x1737 | x1739 | x1741 | x1743 | x1745 | x1747 | x1749 | x1751 | x1753 | x1755 | x1757 | x1759 | x1761 | x1763 | x1765 | x1767 | x1769 | x1771 | x1773 | x1775 | x1777 | x1779 | x1781 | x1783 | x1785 | x1787 | x1789 | x1791 | x1793 | x1795 | x1797</ |

| Level | Occupancy Type | Sq.Ft. | Sq.Ft./Occ. | Occupants | No. of Exits | Reqd. Exit Width, Horiz. Inches. | Provid. Exit Width, Horiz. Inches. | Reqd. Exit Width, Vert. Inches. | Provid. Exit Width, Vert. Inches. | Fixt. Unit rate | Water Closets, Male | Water Closets, Female | Water Closets, Combined | Fixt. Unit rate | Lavatories, Male | Lavatories, Female | Lavatories, Combined | Bathtubs/Showers, NR | Fixt. Unit rate | Drinking Fountains/Sinks |
|---------|-----------------------------------|--------|-------------|-----------|--------------|----------------------------------|------------------------------------|---------------------------------|-----------------------------------|-----------------|---------------------|-----------------------|-------------------------|-----------------|------------------|--------------------|----------------------|----------------------|-----------------|--------------------------|
| Level 1 | R1 Residential, Hotel - 9 units | 2,494 | 200 | 14.97 | | | | | | NA | 0.56 | 0.56 | 0.22 | 0.22 | 0.03 | 0.03 | 0.03 | NR | 500 | 0.99 |
| | A2 Breakfast/Lounge/Serving | 1,247 | 15 | 83.0 | | | | | | 0.09 | 0.09 | 0.09 | 0.09 | 0.03 | 0.03 | 0.03 | NR | 500 | 0.083 | |
| | B3 Fitness | 576 | 15 | 11.52 | | | | | | 0.17 | 0.17 | 0.17 | 0.17 | 0.03 | 0.03 | 0.03 | NR | 500 | 0.048 | |
| | B Flex | 324 | 15 | 21.93 | | | | | | 0.05 | 0.05 | 0.05 | 0.05 | 0.03 | 0.03 | 0.03 | NR | 500 | 0.023 | |
| | B Break Room | 119 | 15 | 7.93 | | | | | | 0.05 | 0.05 | 0.05 | 0.05 | 0.03 | 0.03 | 0.03 | NR | 500 | 0.023 | |
| | B Business Office | 400 | 100 | 4.0 | | | | | | 0.05 | 0.05 | 0.05 | 0.05 | 0.03 | 0.03 | 0.03 | NR | 500 | 0.023 | |
| | B Business Work Room 12'x15' | 157 | 100 | 1.57 | | | | | | 0.05 | 0.05 | 0.05 | 0.05 | 0.03 | 0.03 | 0.03 | NR | 500 | 0.023 | |
| | S1 Laundry/Linen/Guest Laundry | 785 | 300 | 2.6 | | | | | | 0.05 | 0.05 | 0.05 | 0.05 | 0.03 | 0.03 | 0.03 | NR | 500 | 0.023 | |
| | S1 Mechanical Room/Closet | 302 | 300 | 1.01 | | | | | | 0.05 | 0.05 | 0.05 | 0.05 | 0.03 | 0.03 | 0.03 | NR | 500 | 0.023 | |
| | S1 Electrical Room | 120 | 300 | 0.4 | | | | | | 0.05 | 0.05 | 0.05 | 0.05 | 0.03 | 0.03 | 0.03 | NR | 500 | 0.023 | |
| | S1 Elevator Electrical Room | 117 | 300 | 0.39 | | | | | | 0.05 | 0.05 | 0.05 | 0.05 | 0.03 | 0.03 | 0.03 | NR | 500 | 0.023 | |
| | A2 incidental used total, max 10% | 17 | 47 | | | | | | | 0.05 | 0.05 | 0.05 | 0.05 | 0.03 | 0.03 | 0.03 | NR | 500 | 0.023 | |
| | B incidental used total, max 10% | 47 | 6.910 | | | | | | | 0.05 | 0.05 | 0.05 | 0.05 | 0.03 | 0.03 | 0.03 | NR | 500 | 0.023 | |
| | Total Req./Prov. | | | | 149.32 | 5 | 29.86 | 208 | Exit at Grade | Exit at Grade | ADA | ADA | ADA | 0.00 | 0.28 | 0.28 | 0.00 | ADA | ADA | 0.205 |
| Level 2 | R1 Residential, Hotel - 23 units | 7,384 | 200 | 36.92 | 2 | 7.38 | 68 | 11.08 | 96 | | per Unit | N/A | N/A | per Unit | N/A | N/A | N/A | per Unit | NR | |
| Level 3 | R1 Residential, Hotel - 23 units | 7,384 | 200 | 36.92 | 2 | 7.38 | 68 | 11.08 | 96 | | per Unit | N/A | N/A | per Unit | N/A | N/A | N/A | per Unit | NR | |
| Level 4 | R1 Residential, Hotel - 23 units | 7,384 | 200 | 36.92 | 2 | 7.38 | 68 | 11.08 | 96 | | per Unit | N/A | N/A | per Unit | N/A | N/A | N/A | per Unit | NR | |

| Level | Qty. | Type |
|-------|------|-------------------|
| 1 | 6 | King Queen |
| 2 | 14 | King Queen |
| 3 | 14 | King Queen |
| 4 | 14 | King Queen |
| 48 | | TOTAL KING ROOMS |
| 30 | | TOTAL QUEEN ROOMS |
| 78 | | TOTAL ROOMS |

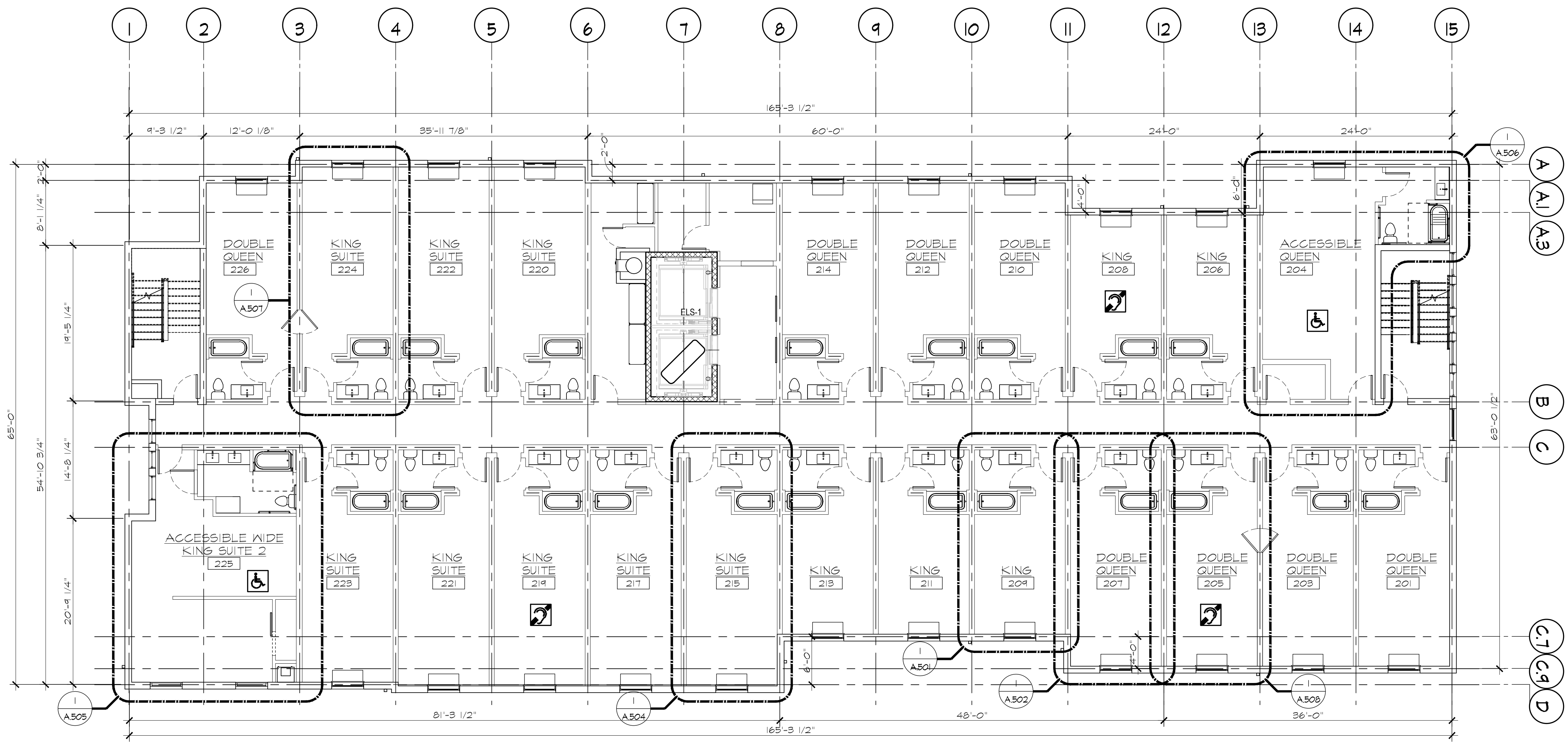
| Level | Qty. | Type |
|-------|------|------------------------------------------------------------------------------------|
| 1 | 5 | King Double Queen King Suite |
| 2 | 0 | Wide King Suite 2 ACC King Suite ACC Double Queen |
| 3 | 5 | King Double Queen King Suite ACC Wide King Suite 2 ACC King Suite ACC Double Queen |
| 4 | 5 | King Double Queen King Suite ACC Wide King Suite 2 ACC King Suite ACC Double Queen |

| Vertical Room Chart | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|---------------------|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|
| x01 | x03 | x05 | x07 | x09 | x11 | x13 | x15 | x17 | x19 | x21 | x23 | x25 | x27 | x29 | x31 | x33 | x35 | x37 | x39 | x41 | x43 | x45 | x47 | x49 | x51 | x53 | x55 | x57 | x59 | x61 | x63 | x65 | x67 | x69 | x71 | x73 | x75 | x77 | x79 | x81 | x83 | x85 | x87 | x89 | x91 | x93 | x95 | x97 | x99 | x101 | x103 | x105 | x107 | x109 | x111 | x113 | x115 | x117 | x119 | x121 | x123 | x125 | x127 | x129 | x131 | x133 | x135 | x137 | x139 | x141 | x143 | x145 | x147 | x149 | x151 | x153 | x155 | x157 | x159 | x161 | x163 | x165 | x167 | x169 | x171 | x173 | x175 | x177 | x179 | x181 | x183 | x185 | x187 | x189 | x191 | x193 | x195 | x197 | x199 | x201 | x203 | x205 | x207 | x209 | x211 | x213 | x215 | x217 | x219 | x221 | x223 | x225 | x227 | x229 | x231 | x233 | x235 | x237 | x239 | x241 | x243 | x245 | x247 | x249 | x251 | x253 | x255 | x257 | x259 | x261 | x263 | x265 | x267 | x269 | x271 | x273 | x275 | x277 | x279 | x281 | x283 | x285 | x287 | x289 | x291 | x293 | x295 | x297 | x299 | x301 | x303 | x305 | x307 | x309 | x311 | x313 | x315 | x317 | x319 | x321 | x323 | x325 | x327 | x329 | x331 | x333 | x335 | x337 | x339 | x341 | x343 | x345 | x347 | x349 | x351 | x353 | x355 | x357 | x359 | x361 | x363 | x365 | x367 | x369 | x371 | x373 | x375 | x377 | x379 | x381 | x383 | x385 | x387 | x389 | x391 | x393 | x395 | x397 | x399 | x401 | x403 | x405 | x407 | x409 | x411 | x413 | x415 | x417 | x419 | x421 | x423 | x425 | x427 | x429 | x431 | x433 | x435 | x437 | x439 | x441 | x443 | x445 | x447 | x449 | x451 | x453 | x455 | x457 | x459 | x461 | x463 | x465 | x467 | x469 | x471 | x473 | x475 | x477 | x479 | x481 | x483 | x485 | x487 | x489 | x491 | x493 | x495 | x497 | x499 | x501 | x503 | x505 | x507 | x509 | x511 | x513 | x515 | x517 | x519 | x521 | x523 | x525 | x527 | x529 | x531 | x533 | x535 | x537 | x539 | x541 | x543 | x545 | x547 | x549 | x551 | x553 | x555 | x557 | x559 | x561 | x563 | x565 | x567 | x569 | x571 | x573 | x575 | x577 | x579 | x581 | x583 | x585 | x587 | x589 | x591 | x593 | x595 | x597 | x599 | x601 | x603 | x605 | x607 | x609 | x611 | x613 | x615 | x617 | x619 | x621 | x623 | x625 | x627 | x629 | x631 | x633 | x635 | x637 | x639 | x641 | x643 | x645 | x647 | x649 | x651 | x653 | x655 | x657 | x659 | x661 | x663 | x665 | x667 | x669 | x671 | x673 | x675 | x677 | x679 | x681 | x683 | x685 | x687 | x689 | x691 | x693 | x695 | x697 | x699 | x701 | x703 | x705 | x707 | x709 | x711 | x713 | x715 | x717 | x719 | x721 | x723 | x725 | x727 | x729 | x731 | x733 | x735 | x737 | x739 | x741 | x743 | x745 | x747 | x749 | x751 | x753 | x755 | x757 | x759 | x761 | x763 | x765 | x767 | x769 | x771 | x773 | x775 | x777 | x779 | x781 | x783 | x785 | x787 | x789 | x791 | x793 | x795 | x797 | x799 | x801 | x803 | x805 | x807 | x809 | x811 | x813 | x815 | x817 | x819 | x821 | x823 | x825 | x827 | x829 | x831 | x833 | x835 | x837 | x839 | x841 | x843 | x845 | x847 | x849 | x851 | x853 | x855 | x857 | x859 | x861 | x863 | x865 | x867 | x869 | x871 | x873 | x875 | x877 | x879 | x881 | x883 | x885 | x887 | x889 | x891 | x893 | x895 | x897 | x899 | x901 | x903 | x905 | x907 | x909 | x911 | x913 | x915 | x917 | x919 | x921 | x923 | x925 | x927 | x929 | x931 | x933 | x935 | x937 | x939 | x941 | x943 | x945 | x947 | x949 | x951 | x953 | x955 | x957 | x959 | x961 | x963 | x965 | x967 | x969 | x971 | x973 | x975 | x977 | x979 | x981 | x983 | x985 | x987 | x989 | x991 | x993 | x995 | x997 | x999 |

| ACCESSIBILITY MATRIX * | |
|-------------------------------------|------------------|
| REQUIREMENTS | PROVIDED |
| COMMUNICATION FEATURES | |
| GUESTROOM W/ COMMUNICATION FEATURES | 10 |
| MOBILITY FEATURES | |
| GUESTROOM - TUB | 6 |
| GUESTROOM - ROLL-IN SHOWER | 1 |
| ROOM FEATURES BY ROOM | |
| COMMUNICATION ROOMS | |
| FIRST FLOOR | #104 |
| SECOND FLOOR | #205, #208, #214 |
| THIRD FLOOR | #305, #308, #314 |
| FOURTH FLOOR | #405, #408, #414 |
| MOBILITY FEATURES BY ROOM | |
| FIRST FLOOR | |
| TUB | |
| ROLL-IN SHOWER | #104 |
| SECOND FLOOR | |
| TUB | #204, #225 |
| THIRD FLOOR | |
| TUB | #304, #325 |
| FOURTH FLOOR | |
| TUB | #404, #425 |

- GENERAL NOTES - FLOOR PLANS:
- WOOD BEARING WALLS ARE ASSUMED TO BE 2X6.
 - DIMENSIONS ARE FROM GRIDLINES AND FROM FACE OF STRUCTURE UNO.
 - DEMISING WALLS AND LOAD BEARING WALLS ARE CENTERED ON GRIDLINES UNLESS OTHERWISE DIMENSIONED.
 - WHEN NOTED WITH "FOF" DIMENSIONS ARE FROM FACE OF FINISH.
 - DOOR AND WINDOW DIMENSIONS WHERE OCCUR ARE FROM FACE OF STUD TO CENTERLINE OF OPENING.
 - FOR FINISH MATERIAL DESIGNATIONS SEE 1/4" ENLARGED FINISH PLANS.
 - HINGES SIDE OF DOOR TO BE LOCATED 4" FROM ADJACENT WALL UNO. SWING DOORS & FRAMES SHALL BE INSTALLED AS SHOWN BELOW UNO.

4" STD
 - REFERENCE DOOR AND WINDOW MANUFACTURERS' SPECIFICATIONS FOR ACTUAL ROUGH OPENING SIZE. REFER TO THE A600 SERIES SHEETS FOR DOOR AND WINDOW TYPES.
 - FOR SPECIFIC WALL ASSEMBLY INFORMATION, SEE SHEET T004.
 - DOOR IN PATH OF EGRESS SHALL BE EQUIPPED WITH HARDWARE COMPLYING WITH CHAPTER 10 OF THE 2021 INTERNATIONAL BUILDING CODE AND ANY APPLICABLE CODES.
 - DOOR REQUIRED TO BE ACCESSIBLE SHALL BE EQUIPPED WITH HARDWARE COMPLYING WITH ICC/ANSI STANDARD I17.1a AND ANY APPLICABLE CODES.
 - TO THE MAXIMUM EXTENT POSSIBLE, FLOOR CLEAN OUTS ARE TO BE LOCATED IN INCONSPICUOUS PLACES AND NOT IN GUESTROOMS. ALL FLOOR CLEAN OUTS LOCATED IN CARPETED AREAS ARE TO BE FITTED WITH CARPET INSERTS. ALL CLEANOUTS ARE TO BE FLUSH TO FLOOR/WALLS.
 - ALIGN FINISHES WHERE DISSIMILAR WALL TYPES MEET UNO.
 - REFER TO ENLARGED ARCHITECTURAL AND OVERALL ARCHITECTURAL PLANS FOR ELECTRICAL INFORMATION.
 - PROVIDE WALLS WITH AN STC RATING OF 60 MIN AT CONDITIONS WHERE GUESTROOM HEADBOARD WALL ADJOINS WITH PUBLIC SPACE OR WITH ADJACENT GUESTROOMS TV WALL.
 - PROVIDE ELECTRICAL OUTLETS IN UNIT ENTRY CORRIDOR AT 30" - 0" O.C. SWITCHING WALLS AT EVERY OTHER OUTLET.
 - PROVIDE BLOCKING AT HARDWARE ATTACHMENT POINTS FOR ALL SLIDING DOORS.

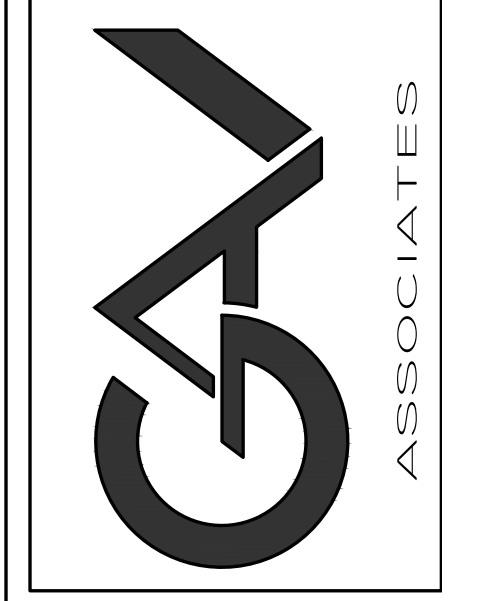


PROPOSED SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

| ISSUED FOR | DATE |
|----------------------|------------|
| PRE-PLANNING REVIEW | 10-11-2022 |
| POST-PLANNING REVIEW | 11-14-2022 |
| CHOICE HOTELS REVIEW | 11-18-2022 |
| REVIEW | 12-19-2022 |
| PLANNING REVIEW | 1-18-2023 |
| PLANNING REVIEW | 4-21-2023 |

ARCHITECTURAL DESIGN
RESIDENTIAL COMMERCIAL INDUSTRIAL
G.A.V. ASSOCIATES, INC.
2401 ORCHARD LAKE RD, STE 100A
FARMINGTON, MICHIGAN 48338
PH: (248) 986-9101
WEB: WWW.GAVASSOCIATES.COM



TAP RESOURCES
3241 CARLETON ROAD
HILLSDALE, MICHIGAN 49242
MR. TAPAN PATEL
phone: 517-610-2417

PROPOSED NEW HOTEL FOR CHOICE HOTELS:
COMFORT INN & SUITES - M1502
800 SOUTH HEWITT ROAD
YPSILANTI TOWNSHIP, MICHIGAN

| | | |
|----------------------------|-----------|----------|
| DRAWN: | DESIGNED: | CHECKED: |
| DS | DS | GA |
| SCALE: 1/8" = 1'-0" | | |
| FILE NAME: 22060_A.102 | | |
| JOB #: 22060 | | |
| SHEET TITLE | | |
| PROPOSED SECOND FLOOR PLAN | | |
| SHEET # | | |
| A.102 | | |

| Level | Occupancy Type | Sq.Ft. | Sq.Ft./Occ. | Occupants | No. of Exits | Reqd. Exit Width, Horiz. Inches. | Provid. Exit Width, Horiz. Inches. | Reqd. Exit Width, Vert. Inches. | Provid. Exit Width, Vert. Inches. | Fixt. Unit rate | Water Closets, Male | Water Closets, Female | Water Closets, Staff | Fixt. Unit rate | Lavatories, Male | Lavatories, Female | Bathtubs/Showers, Unisex | Fixt. Unit rate | Drinking Fountains/Sinks |
|---------|----------------------------------|--------|-------------|-----------|--------------|----------------------------------|------------------------------------|---------------------------------|-----------------------------------|-----------------|---------------------|-----------------------|----------------------|-----------------|------------------|--------------------|--------------------------|-----------------|--------------------------|
| Level 2 | R1 Residential, Hotel - 23 units | 7,384 | 200 | 36.92 | 2 | 7.38 | 68 | 11.08 | 96 | 1 | per Unit | N/A | 1 | per Unit | N/A | 1 | per Unit | NR | 1 |
| Level 3 | R1 Residential, Hotel - 23 units | 7,384 | 200 | 36.92 | 2 | 7.38 | 68 | 11.08 | 96 | 1 | per Unit | N/A | 1 | per Unit | N/A | 1 | per Unit | NR | 1 |
| Level 4 | R1 Residential, Hotel - 23 units | 7,384 | 200 | 36.92 | 2 | 7.38 | 68 | 11.08 | 96 | 1 | per Unit | N/A | 1 | per Unit | N/A | 1 | per Unit | NR | 1 |

| Level | Qty. | Type |
|-------|------|-------------------|
| 1 | 6 | King Queen |
| 2 | 14 | King Queen |
| 3 | 14 | King Queen |
| 4 | 14 | King Queen |
| 48 | | TOTAL KING ROOMS |
| 30 | | TOTAL QUEEN ROOMS |
| 78 | | TOTAL ROOMS |

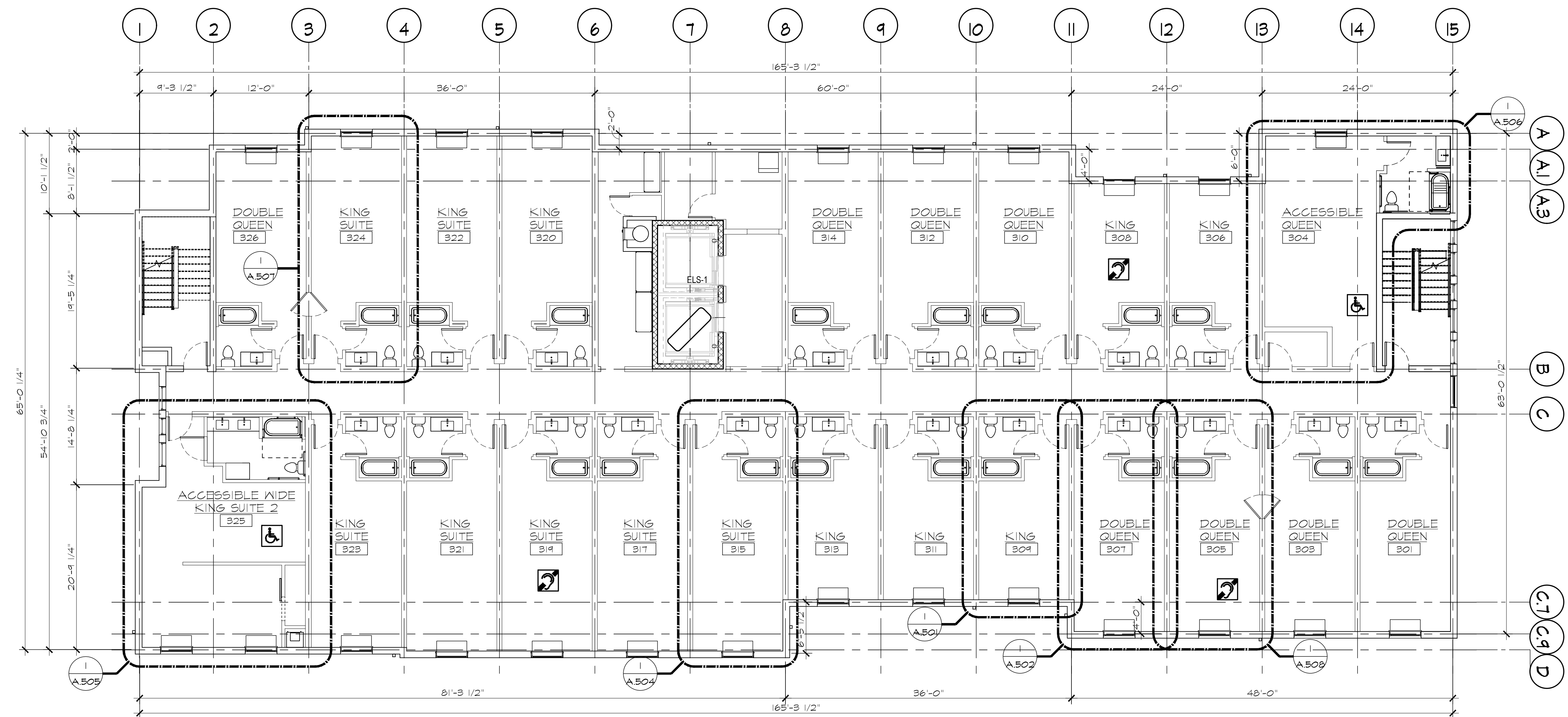
| Level | Qty. | Type |
|-------|------|------------------------------------------------------------------------------------|
| 1 | 5 | King Double Queen King Suite |
| 2 | 0 | Wide King Suite 2 ACC King Suite ACC Double Queen |
| 3 | 5 | King Double Queen King Suite ACC Wide King Suite 2 ACC King Suite ACC Double Queen |
| 4 | 5 | King Double Queen King Suite ACC Wide King Suite 2 ACC King Suite ACC Double Queen |

| Vertical Room Chart | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| x01 | x03 | x05 | x07 | x09 | x11 | x13 | x15 | x17 | x19 | x21 | x23 | x25 | x27 | x29 | x31 | x33 | x35 | x37 | x39 | x41 | x43 | x45 | x47 | x49 | x51 | x53 | x55 | x57 | x59 | x61 | x63 | x65 | x67 | x69 | x71 | x73 | x75 | x77 | x79 | x81 | x83 | x85 | x87 | x89 | x91 | x93 | x95 | x97 | x99 | x101 | x103 | x105 | x107 | x109 | x111 | x113 | x115 | x117 | x119 | x121 | x123 | x125 | x127 | x129 | x131 | x133 | x135 | x137 | x139 | x141 | x143 | x145 | x147 | x149 | x151 | x153 | x155 | x157 | x159 | x161 | x163 | x165 | x167 | x169 | x171 | x173 | x175 | x177 | x179 | x181 | x183 | x185 | x187 | x189 | x191 | x193 | x195 | x197 | x199 | x201 | x203 | x205 | x207 | x209 | x211 | x213 | x215 | x217 | x219 | x221 | x223 | x225 | x227 | x229 | x231 | x233 | x235 | x237 | x239 | x241 | x243 | x245 | x247 | x249 | x251 | x253 | x255 | x257 | x259 | x261 | x263 | x265 | x267 | x269 | x271 | x273 | x275 | x277 | x279 | x281 | x283 | x285 | x287 | x289 | x291 | x293 | x295 | x297 | x299 | x301 | x303 | x305 | x307 | x309 | x311 | x313 | x315 | x317 | x319 | x321 | x323 | x325 | x327 | x329 | x331 | x333 | x335 | x337 | x339 | x341 | x343 | x345 | x347 | x349 | x351 | x353 | x355 | x357 | x359 | x361 | x363 | x365 | x367 | x369 | x371 | x373 | x375 | x377 | x379 | x381 | x383 | x385 | x387 | x389 | x391 | x393 | x395 | x397 | x399 | x401 | x403 | x405 | x407 | x409 | x411 | x413 | x415 | x417 | x419 | x421 | x423 | x425 | x427 | x429 | x431 | x433 | x435 | x437 | x439 | x441 | x443 | x445 | x447 | x449 | x451 | x453 | x455 | x457 | x459 | x461 | x463 | x465 | x467 | x469 | x471 | x473 | x475 | x477 | x479 | x481 | x483 | x485 | x487 | x489 | x491 | x493 | x495 | x497 | x499 | x501 | x503 | x505 | x507 | x509 | x511 | x513 | x515 | x517 | x519 | x521 | x523 | x525 | x527 | x529 | x531 | x533 | x535 | x537 | x539 | x541 | x543 | x545 | x547 | x549 | x551 | x553 | x555 | x557 | x559 | x561 | x563 | x565 | x567 | x569 | x571 | x573 | x575 | x577 | x579 | x581 | x583 | x585 | x587 | x589 | x591 | x593 | x595 | x597 | x599 | x601 | x603 | x605 | x607 | x609 | x611 | x613 | x615 | x617 | x619 | x621 | x623 | x625 | x627 | x629 | x631 | x633 | x635 | x637 | x639 | x641 | x643 | x645 | x647 | x649 | x651 | x653 | x655 | x657 | x659 | x661 | x663 | x665 | x667 | x669 | x671 | x673 | x675 | x677 | x679 | x681 | x683 | x685 | x687 | x689 | x691 | x693 | x695 | x697 | x699 | x701 | x703 | x705 | x707 | x709 | x711 | x713 | x715 | x717 | x719 | x721 | x723 | x725 | x727 | x729 | x731 | x733 | x735 | x737 | x739 | x741 | x743 | x745 | x747 | x749 | x751 | x753 | x755 | x757 | x759 | x761 | x763 | x765 | x767 | x769 | x771 | x773 | x775 | x777 | x779 | x781 | x783 | x785 | x787 | x789 | x791 | x793 | x795 | x797 | x799 | x801 | x803 | x805 | x807 | x809 | x811 | x813 | x815 | x817 | x819 | x821 | x823 | x825 | x827 | x829 | x831 | x833 | x835 | x837 | x839 | x841 | x843 | x845 | x847 | x849 | x851 | x853 | x855 | x857 | x859 | x861 | x863 | x865 | x867 | x869 | x871 | x873 | x875 | x877 | x879 | x881 | x883 | x885 | x887 | x889 | x891 | x893 | x895 | x897 | x899 | x901 | x903 | x905 | x907 | x909 | x911 | x913 | x915 | x917 | x919 | x921 | x923 | x925 | x927 | x929 | x931 | x933 | x935 | x937 | x939 | x941 | x943 | x945 | x947 | x949 | x951 | x953 | x955 | x957 | x959 | x961 | x963 | x965 | x967 | x969 | x971 | x973 | x975 | x977 | x979 | x981 | x983 | x985 | x987 | x989 | x991 | x993 | x995 | x997 | x999 |

| REQUIREMENTS | PROVIDED |
|-------------------------------------|------------------|
| COMMUNICATION FEATURES | |
| GUESTROOM w/ COMMUNICATION FEATURES | 10 |
| MOBILITY FEATURES | |
| GUESTROOM - TUB | 6 |
| GUESTROOM - ROLL-IN SHOWER | 1 |
| ROOM FEATURES BY ROOM | |
| COMMUNICATION ROOMS | |
| FIRST FLOOR | #104 |
| SECOND FLOOR | #205, #208, #214 |
| THIRD FLOOR | #305, #308, #314 |
| FOURTH FLOOR | #405, #408, #414 |
| MOBILITY FEATURES BY ROOM | |
| FIRST FLOOR | |
| TUB | |
| ROLL-IN SHOWER | #104 |
| SECOND FLOOR | |
| TUB | #204, #225 |
| THIRD FLOOR | |
| TUB | #304, #325 |
| FOURTH FLOOR | |
| TUB | #404, #425 |

- GENERAL NOTES - FLOOR PLANS:
- WOOD BEARING WALLS ARE ASSUMED TO BE 2X6.
 - DIMENSIONS ARE FROM GRIDLINES AND FROM FACE OF STRUCTURE UNO.
 - DEMISING WALLS AND LOAD BEARING WALLS ARE CENTERED ON GRIDLINES UNLESS OTHERWISE DIMENSIONED.
 - WHEN NOTED WITH "FOF" DIMENSIONS ARE FROM FACE OF FINISH.
 - DOOR AND WINDOW DIMENSIONS WHERE OCCUR ARE FROM FACE OF STUD TO CENTERLINE OF OPENING.
 - FOR FINISH MATERIAL DESIGNATIONS SEE 1/4" ENLARGED FINISH PLANS.
 - HINGES SIDE OF DOOR TO BE LOCATED 4" FROM ADJACENT WALL UNO. SWING DOORS & FRAMES SHALL BE INSTALLED AS SHOWN BELOW UNO.

4" STD
 - REFERENCE DOOR AND WINDOW MANUFACTURERS' SPECIFICATIONS FOR ACTUAL ROUGH OPENING SIZE. REFER TO THE A600 SERIES SHEETS FOR DOOR AND WINDOW TYPES.
 - FOR SPECIFIC WALL ASSEMBLY INFORMATION, SEE SHEET TOO4.
 - DOOR IN PATH OF EGRESS SHALL BE EQUIPPED WITH HARDWARE COMPLYING WITH CHAPTER 10 OF THE 2021 INTERNATIONAL BUILDING CODE AND ANY APPLICABLE CODES.
 - DOOR REQUIRED TO BE ACCESSIBLE SHALL BE EQUIPPED WITH HARDWARE COMPLYING WITH ICC/ANSI STANDARD I17.1a AND ANY APPLICABLE CODES.
 - TO THE MAXIMUM EXTENT POSSIBLE, FLOOR CLEAN OUTS ARE TO BE LOCATED IN INCONSPICUOUS PLACES AND NOT IN GUESTROOMS. ALL FLOOR CLEAN OUTS LOCATED IN CARPETED AREAS ARE TO BE FITTED WITH CARPET INSERTS. ALL CLEANOUTS ARE TO BE FLUSH TO FLOOR/WALLS.
 - ALIGN FINISHES WHERE DISSIMILAR WALL TYPES MEET UNO.
 - REFER TO ENLARGED ARCHITECTURAL AND OVERALL ARCHITECTURAL PLANS FOR ELECTRICAL INFORMATION.
 - PROVIDE WALLS WITH AN STC RATING OF 60 MIN AT CONDITIONS WHERE GUESTROOM HEADBOARD WALL ADJOINS WITH PUBLIC SPACE OR WITH ADJACENT GUESTROOMS TV WALL.
 - PROVIDE ELECTRICAL OUTLETS IN UNIT ENTRY CORRIDOR AT 30" - 0" O.C. SWITCHING WALLS AT EVERY OTHER OUTLET.
 - PROVIDE BLOCKING AT HARDWARE ATTACHMENT POINTS FOR ALL SLIDING DOORS.

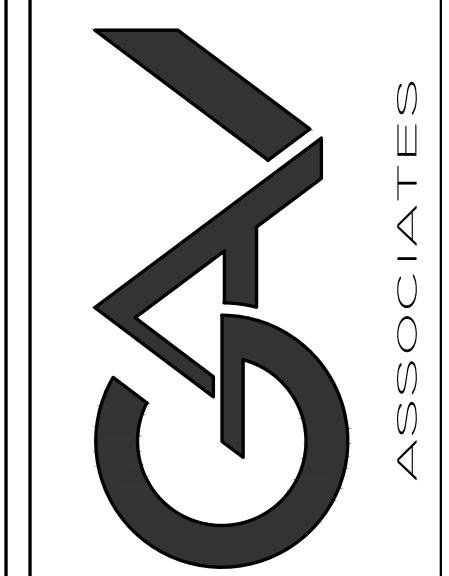


PROPOSED THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

| ISSUED FOR | DATE |
|----------------------|------------|
| PRE-PLANNING REVIEW | 10-11-2022 |
| POST-PLANNING REVIEW | 11-14-2022 |
| CHOICE HOTELS REVIEW | 11-18-2022 |
| REVIEW | 12-19-2022 |
| PLANNING REVIEW | 1-18-2023 |
| PLANNING REVIEW | 4-21-2023 |

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PROPOSED NEW HOTEL FOR CHOICE HOTELS:
COMFORT INN & SUITES - M1502
800 SOUTH HEWITT ROAD
YPSILANTI TOWNSHIP, MICHIGAN

| | | |
|---------------------------|-----------|----------|
| DRAWN: | DESIGNED: | CHECKED: |
| DS | DS | GA |
| SCALE: 1/8" = 1'-0" | | |
| FILE NAME: 22060_A.103 | | |
| JOB #: 22060 | | |
| SHEET TITLE | | |
| PROPOSED THIRD FLOOR PLAN | | |
| SHEET # | | |
| A.103 | | |

| Level | Occupancy Type | Sq.Ft. | Sq.Ft./Occ. | Occupants | No. of Exits | Reqd. Exit Width, Horiz. Inches. | Provid. Exit Width, Horiz. Inches. | Reqd. Exit Width, Vert. Inches. | Provid. Exit Width, Vert. Inches. | Fixt. Unit rate | Water Closets, Male | Water Closets, Female | Water Closets, Staff | Lavatories, Male | Lavatories, Female | Bathtubs/Showers, Unisex | Fixt. Unit rate | Drinking Fountains/Sinks |
|---------|-----------------------------------|--------|-------------|-----------|--------------|----------------------------------|------------------------------------|---------------------------------|-----------------------------------|-----------------|---------------------|-----------------------|----------------------|------------------|--------------------|--------------------------|-----------------|--------------------------|
| Level 1 | R1 Residential, Hotel - 9 units | 2,494 | 200 | 14.97 | | | | | | NA | 0.56 | 0.56 | 0.00 | 0.22 | 0.22 | NR | 500 | 0.99 |
| | A2 Breakfast/Lounge/Serving | 1,247 | 15 | 83.0 | | | | | | 0.09 | 0.09 | 0.00 | 0.03 | 0.03 | NR | 500 | 0.083 | |
| | B3 Fitness | 576 | 15 | 11.52 | | | | | | 0.17 | 0.17 | 0.00 | 0.03 | 0.03 | NR | 500 | 0.048 | |
| | B Flex | 324 | 15 | 21.93 | | | | | | 0.05 | 0.05 | 0.19 | 0.03 | 0.04 | 0.12 | NR | 500 | 0.023 |
| | B Break Room | 400 | 100 | 4.0 | | | | | | 0.05 | 0.05 | 0.00 | 0.03 | 0.03 | NR | 500 | 0.023 | |
| | B Business Office | 157 | 100 | 1.57 | | | | | | 0.05 | 0.05 | 0.00 | 0.03 | 0.03 | NR | 500 | 0.023 | |
| | S1 Laundry/Linen/Guest Laundry | 785 | 300 | 2.6 | | | | | | 0.05 | 0.05 | 0.00 | 0.03 | 0.03 | NR | 500 | 0.023 | |
| | S1 Mechanical Room/Closet | 302 | 300 | 1.01 | | | | | | 0.05 | 0.05 | 0.00 | 0.03 | 0.03 | NR | 500 | 0.023 | |
| | S1 Electrical Room | 120 | 300 | 0.4 | | | | | | 0.05 | 0.05 | 0.00 | 0.03 | 0.03 | NR | 500 | 0.023 | |
| | S1 Elevator Electrical Room | 117 | 300 | 0.39 | | | | | | 0.05 | 0.05 | 0.00 | 0.03 | 0.03 | NR | 500 | 0.023 | |
| | A2 incidental used total, max 10% | 17 | 47 | | | | | | | 0.05 | 0.05 | 0.00 | 0.03 | 0.03 | NR | 500 | 0.023 | |
| | B incidental used total, max 10% | 47 | 6.910 | | | | | | | 0.05 | 0.05 | 0.00 | 0.03 | 0.03 | NR | 500 | 0.023 | |
| | Total Req./Prov. | | | 149.32 | 5 | 29.86 | 208 | Exit at Grade | Exit at Grade | 1 | ADA | ADA | 0.00 | 0.28 | 0.28 | 0.00 | 1 | 0.205 |
| Level 2 | R1 Residential, Hotel - 23 units | 7,384 | 200 | 36.92 | 2 | 7.38 | 68 | 11.08 | 96 | 1 | per Unit | N/A | 1 | per Unit | N/A | 1 | per Unit | NR |
| Level 3 | R1 Residential, Hotel - 23 units | 7,384 | 200 | 36.92 | 2 | 7.38 | 68 | 11.08 | 96 | 1 | per Unit | N/A | 1 | per Unit | N/A | 1 | per Unit | NR |
| Level 4 | R1 Residential, Hotel - 23 units | 7,384 | 200 | 36.92 | 2 | 7.38 | 68 | 11.08 | 96 | 1 | per Unit | N/A | 1 | per Unit | N/A | 1 | per Unit | NR |

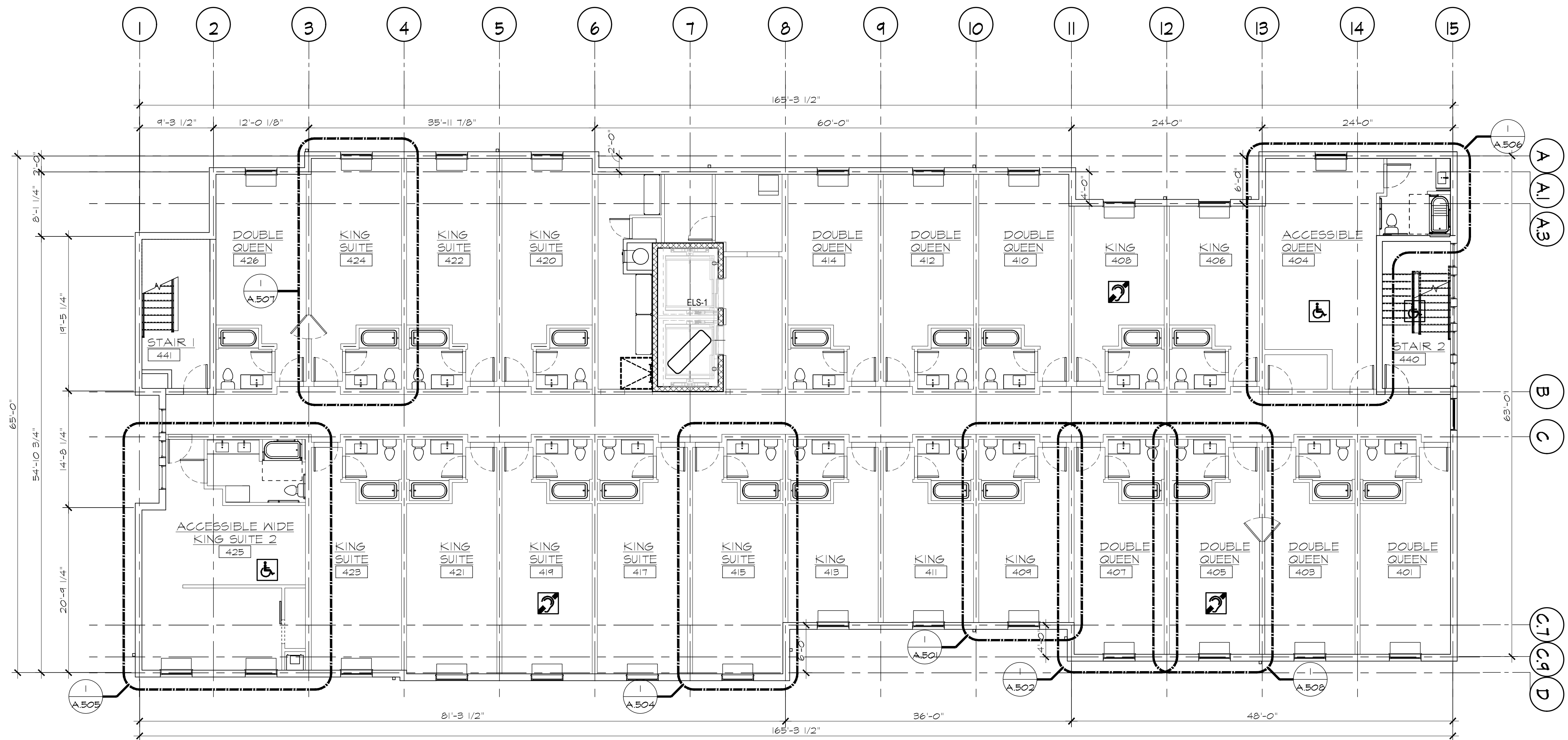
| Level | Qty. | Type |
|-------|------|-------------------|
| 1 | 6 | King Queen |
| 2 | 14 | King Queen |
| 3 | 14 | King Queen |
| 4 | 14 | King Queen |
| 48 | | TOTAL KING ROOMS |
| 30 | | TOTAL QUEEN ROOMS |
| 78 | | TOTAL ROOMS |

| Level | Qty. | Type |
|-------|------|------------------------------------------------------------------------------------|
| 1 | 5 | King Double Queen King Suite |
| 2 | 0 | Wide King Suite 2 ACC King Suite ACC Double Queen |
| 3 | 5 | King Double Queen King Suite ACC Wide King Suite 2 ACC King Suite ACC Double Queen |
| 4 | 5 | King Double Queen King Suite ACC Wide King Suite 2 ACC King Suite ACC Double Queen |

| Vertical Room Chart | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| x01 | x03 | x05 | x07 | x09 | x11 | x13 | x15 | x17 | x19 | x21 | x23 | x25 | x27 | x29 | x31 | x33 | x35 | x37 | x39 | x41 | x43 | x45 | x47 | x49 | x51 | x53 | x55 | x57 | x59 | x61 | x63 | x65 | x67 | x69 | x71 | x73 | x75 | x77 | x79 | x81 | x83 | x85 | x87 | x89 | x91 | x93 | x95 | x97 | x99 | x101 | x103 | x105 | x107 | x109 | x111 | x113 | x115 | x117 | x119 | x121 | x123 | x125 | x127 | x129 | x131 | x133 | x135 | x137 | x139 | x141 | x143 | x145 | x147 | x149 | x151 | x153 | x155 | x157 | x159 | x161 | x163 | x165 | x167 | x169 | x171 | x173 | x175 | x177 | x179 | x181 | x183 | x185 | x187 | x189 | x191 | x193 | x195 | x197 | x199 | x201 | x203 | x205 | x207 | x209 | x211 | x213 | x215 | x217 | x219 | x221 | x223 | x225 | x227 | x229 | x231 | x233 | x235 | x237 | x239 | x241 | x243 | x245 | x247 | x249 | x251 | x253 | x255 | x257 | x259 | x261 | x263 | x265 | x267 | x269 | x271 | x273 | x275 | x277 | x279 | x281 | x283 | x285 | x287 | x289 | x291 | x293 | x295 | x297 | x299 | x301 | x303 | x305 | x307 | x309 | x311 | x313 | x315 | x317 | x319 | x321 | x323 | x325 | x327 | x329 | x331 | x333 | x335 | x337 | x339 | x341 | x343 | x345 | x347 | x349 | x351 | x353 | x355 | x357 | x359 | x361 | x363 | x365 | x367 | x369 | x371 | x373 | x375 | x377 | x379 | x381 | x383 | x385 | x387 | x389 | x391 | x393 | x395 | x397 | x399 | x401 | x403 | x405 | x407 | x409 | x411 | x413 | x415 | x417 | x419 | x421 | x423 | x425 | x427 | x429 | x431 | x433 | x435 | x437 | x439 | x441 | x443 | x445 | x447 | x449 | x451 | x453 | x455 | x457 | x459 | x461 | x463 | x465 | x467 | x469 | x471 | x473 | x475 | x477 | x479 | x481 | x483 | x485 | x487 | x489 | x491 | x493 | x495 | x497 | x499 | x501 | x503 | x505 | x507 | x509 | x511 | x513 | x515 | x517 | x519 | x521 | x523 | x525 | x527 | x529 | x531 | x533 | x535 | x537 | x539 | x541 | x543 | x545 | x547 | x549 | x551 | x553 | x555 | x557 | x559 | x561 | x563 | x565 | x567 | x569 | x571 | x573 | x575 | x577 | x579 | x581 | x583 | x585 | x587 | x589 | x591 | x593 | x595 | x597 | x599 | x601 | x603 | x605 | x607 | x609 | x611 | x613 | x615 | x617 | x619 | x621 | x623 | x625 | x627 | x629 | x631 | x633 | x635 | x637 | x639 | x641 | x643 | x645 | x647 | x649 | x651 | x653 | x655 | x657 | x659 | x661 | x663 | x665 | x667 | x669 | x671 | x673 | x675 | x677 | x679 | x681 | x683 | x685 | x687 | x689 | x691 | x693 | x695 | x697 | x699 | x701 | x703 | x705 | x707 | x709 | x711 | x713 | x715 | x717 | x719 | x721 | x723 | x725 | x727 | x729 | x731 | x733 | x735 | x737 | x739 | x741 | x743 | x745 | x747 | x749 | x751 | x753 | x755 | x757 | x759 | x761 | x763 | x765 | x767 | x769 | x771 | x773 | x775 | x777 | x779 | x781 | x783 | x785 | x787 | x789 | x791 | x793 | x795 | x797 | x799 | x801 | x803 | x805 | x807 | x809 | x811 | x813 | x815 | x817 | x819 | x821 | x823 | x825 | x827 | x829 | x831 | x833 | x835 | x837 | x839 | x841 | x843 | x845 | x847 | x849 | x851 | x853 | x855 | x857 | x859 | x861 | x863 | x865 | x867 | x869 | x871 | x873 | x875 | x877 | x879 | x881 | x883 | x885 | x887 | x889 | x891 | x893 | x895 | x897 | x899 | x901 | x903 | x905 | x907 | x909 | x911 | x913 | x915 | x917 | x919 | x921 | x923 | x925 | x927 | x929 | x931 | x933 | x935 | x937 | x939 | x941 | x943 | x945 | x947 | x949 | x951 | x953 | x955 | x957 | x959 | x961 | x963 | x965 | x967 | x969 | x971 | x973 | x975 | x977 | x979 | x981 | x983 | x985 | x987 | x989 | x991 | x993 | x995 | x997 | x999 |

| ACCESSIBILITY MATRIX * | |
|-------------------------------------|------------------|
| REQUIREMENTS | PROVIDED |
| COMMUNICATION FEATURES | |
| GUESTROOM w/ COMMUNICATION FEATURES | 10 |
| MOBILITY FEATURES | |
| GUESTROOM - TUB | 6 |
| GUESTROOM - ROLL-IN SHOWER | 1 |
| ROOM FEATURES BY ROOM | |
| COMMUNICATION ROOMS | |
| FIRST FLOOR | #104 |
| SECOND FLOOR | #205, #208, #214 |
| THIRD FLOOR | #305, #308, #314 |
| FOURTH FLOOR | #405, #408, #414 |
| MOBILITY FEATURES BY ROOM | |
| FIRST FLOOR | |
| TUB | |
| ROLL-IN SHOWER | #104 |
| SECOND FLOOR | |
| TUB | #204, #225 |
| THIRD FLOOR | |
| TUB | #304, #325 |
| FOURTH FLOOR | |
| TUB | #404, #425 |

- GENERAL NOTES - FLOOR PLANS:
- WOOD BEARING WALLS ARE ASSUMED TO BE 2X6.
 - DIMENSIONS ARE FROM GRIDLINES AND FROM FACE OF STRUCTURE UNO.
 - DEMISING WALLS AND LOAD BEARING WALLS ARE CENTERED ON GRIDLINES UNLESS OTHERWISE DIMENSIONED.
 - WHEN NOTED WITH "FOF" DIMENSIONS ARE FROM FACE OF FINISH.
 - DOOR AND WINDOW DIMENSIONS WHERE OCCUR ARE FROM FACE OF STUD TO CENTERLINE OF OPENING.
 - FOR FINISH MATERIAL DESIGNATIONS SEE 1/4" ENLARGED FINISH PLANS.
 - HINGES SIDE OF DOOR TO BE LOCATED 4" FROM ADJACENT WALL UNO. SWING DOORS & FRAMES SHALL BE INSTALLED AS SHOWN BELOW UNO.
 - REFERENCE DOOR AND WINDOW MANUFACTURERS' SPECIFICATIONS FOR ACTUAL ROUGH OPENING SIZE. REFER TO THE A600 SERIES SHEETS FOR DOOR AND WINDOW TYPES.
 - FOR SPECIFIC WALL ASSEMBLY INFORMATION, SEE SHEET T004.
 - DOOR IN PATH OF EGRESS SHALL BE EQUIPPED WITH HARDWARE COMPLYING WITH CHAPTER 10 OF THE 2021 INTERNATIONAL BUILDING CODE AND ANY APPLICABLE CODES.
 - DOOR REQUIRED TO BE ACCESSIBLE SHALL BE EQUIPPED WITH HARDWARE COMPLYING WITH ICC/ANSI STANDARD I17.1a AND ANY APPLICABLE CODES.
 - TO THE MAXIMUM EXTENT POSSIBLE, FLOOR CLEAN OUTS ARE TO BE LOCATED IN INCONSPICUOUS PLACES AND NOT IN GUESTROOMS. ALL FLOOR CLEAN OUTS LOCATED IN CARPETED AREAS ARE TO BE FITTED WITH CARPET INSERTS. ALL CLEANOUTS ARE TO BE FLUSH TO FLOOR/WALLS.
 - ALIGN FINISHES WHERE DISSIMILAR WALL TYPES MEET UNO.
 - REFER TO ENLARGED ARCHITECTURAL AND OVERALL ARCHITECTURAL PLANS FOR ELECTRICAL INFORMATION.
 - PROVIDE WALLS WITH AN STC RATING OF 60 MIN AT CONDITIONS WHERE GUESTROOM HEADBOARD WALL ADJOINS WITH PUBLIC SPACE OR WITH ADJACENT GUESTROOMS TV WALL.
 - PROVIDE ELECTRICAL OUTLETS IN UNIT ENTRY CORRIDOR AT 30" - 0" O.C. SWITCHING WALLS AT EVERY OTHER OUTLET.
 - PROVIDE BLOCKING AT HARDWARE ATTACHMENT POINTS FOR ALL SLIDING DOORS.

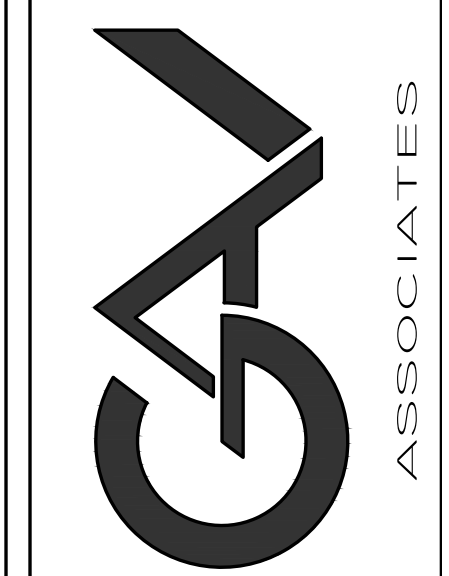


PROPOSED FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"

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| ISSUED FOR | DATE |
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| PRE-PLANNING REVIEW | 10-11-2022 |
| POST-PLANNING REVIEW | 11-14-2022 |
| CHOICE HOTELS REVIEW | 11-18-2022 |
| REVIEW | 12-19-2022 |
| PLANNING REVIEW | 1-18-2023 |
| PLANNING REVIEW | 4-21-2023 |

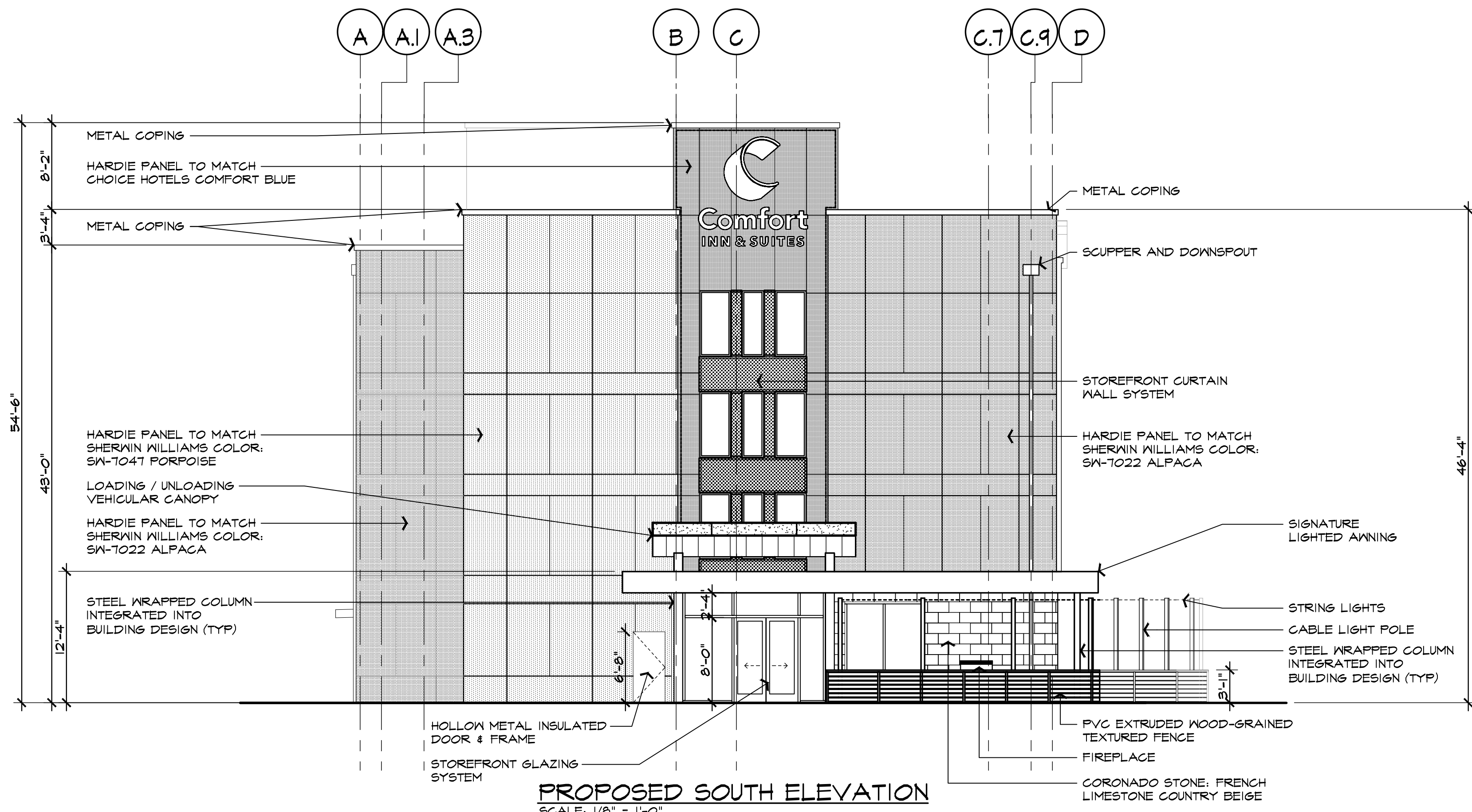
ARCHITECTURAL DESIGN
RESIDENTIAL COMMERCIAL INDUSTRIAL
G.A.V. ASSOCIATES, INC.
2401 ORCHARD LAKE RD., STE. 100A
FARMINGTON, MICHIGAN 48338
PH: (248) 985-9101
WEB: WWW.GAVASSOCIATES.COM



TAP RESOURCES
3241 CARLETON ROAD
HILLSDALE, MICHIGAN 49242
MR. TAPAN PATEL
phone: 517-610-2417

PROPOSED NEW HOTEL FOR CHOICE HOTELS:
COMFORT INN & SUITES - M1502
800 SOUTH HEWITT ROAD
YPSILANTI TOWNSHIP, MICHIGAN

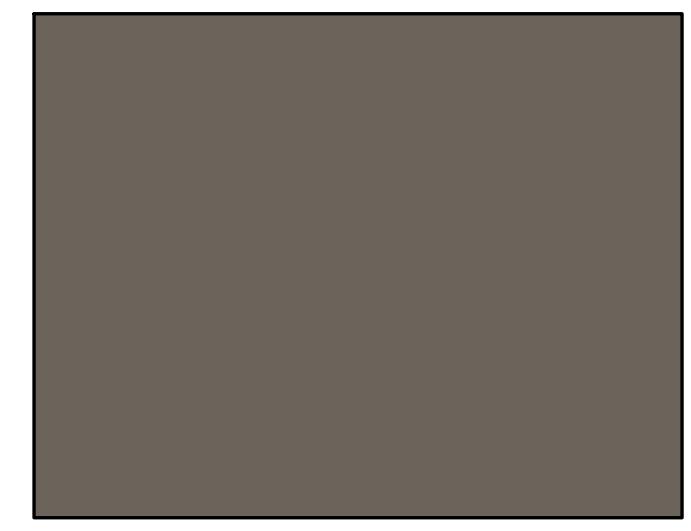
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| DRAWN: | DESIGNED: | CHECKED: |
| DS | DS | GA |
| SCALE: 1/8" = 1'-0" | | |
| FILE NAME: 22060_A.104 | | |
| JOB #: 22060 | | |
| SHEET TITLE | | |
| PROPOSED THIRD FLOOR PLAN | | |
| SHEET # | | |
| A.104 | | |



PROPOSED SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



HARDIE - PANEL COLOR:
SW7022 ALPACA



HARDIE - PANEL COLOR:
SW1047 PORPOISE



HARDIE - PANEL COLOR:
SW1080 QUEST GRAY



CORONADO STONE:
STYLE: FRENCH LIMESTONE
COLOR: COUNTRY BEIGE

| OPTION 2: COMFORT BLUE | | OPTION 1: COMFORT BLUE | |
|-----------------------------------------------------------|--------------|---------------------------------------------------------|--------------|
| Sherwin Williams - Loxon Self Cleaning 1 Finish : Flat | | Sherwin Williams - Loxon XP Exterior 1 Finish : Flat | |
| W1 - White | 02 32 64 128 | W1 - White | 02 32 64 128 |
| L1 - Blue | 63 1 1 | L1 - Blue | 10 1 1 |
| R3 | 4 59 1 1 | R3 | 6 43 1 1 |
| Magenta | 2 | Magenta | 2 |
| One Gallon : LX110054 Ultradeep : 651028926 | | One Gallon : LX110054 Ultradeep : 651028449 | |

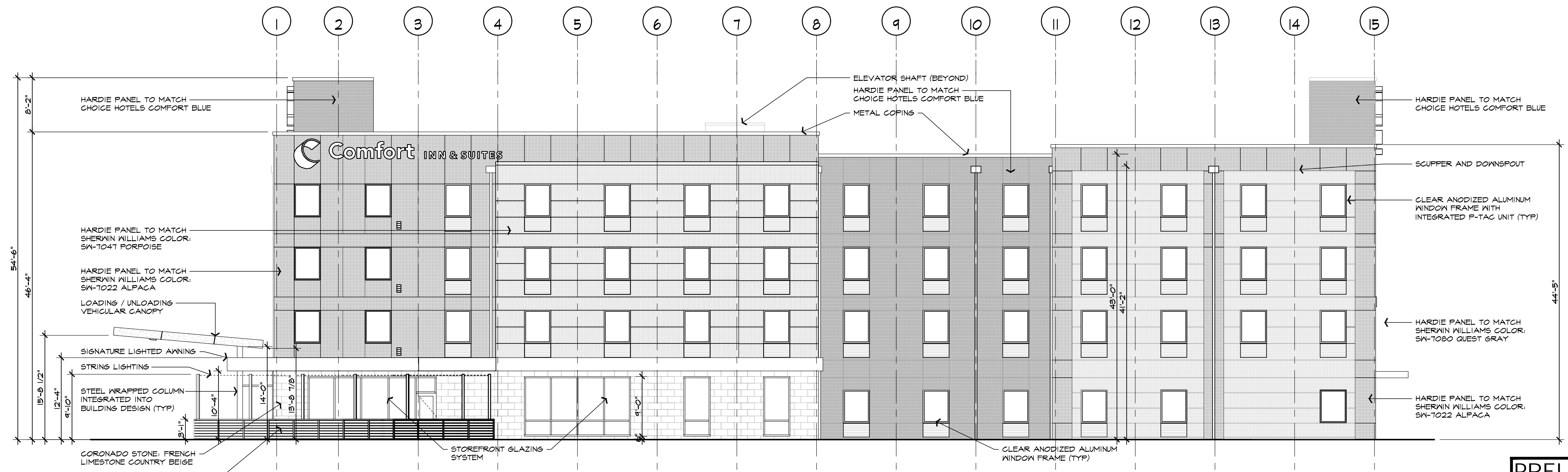
GENERAL NOTES - EXTERIOR ELEVATIONS:

- FOR SPECIFIC WINDOW ELEVATIONS & DETAILS, REFER TO THE A600 SERIES SHEETS.
- WHERE MATERIAL ALTERNATIVES EXIST, USE OF THESE MATERIALS MUST BE CONSISTENT THROUGHOUT THE ENTIRE PROJECT. MIXING AND MATCHING OF MATERIALS AND COLOR SCHEMES ARE PROHIBITED.

TRANSPARENCY PERCENTAGES - EXTERIOR ELEVATIONS:

| | | |
|---------------|------------------------------------------------------|--------------|
| EAST: | WALL MASS BETWEEN 2' - 8' ABOVE FIRST FLOOR: | 1371 SQ.FT. |
| | TRANSPARENT GLASS BETWEEN 2' - 8' ABOVE FIRST FLOOR: | 405 SQ.FT. |
| | TRANSPARENCY PERCENTAGE: | 30% |
| SOUTH: | WALL MASS BETWEEN 2' - 8' ABOVE FIRST FLOOR: | 527 SQ. FT. |
| | TRANSPARENT GLASS BETWEEN 2' - 8' ABOVE FIRST FLOOR: | 125 SQ.FT. |
| | TRANSPARENCY PERCENTAGE: | 24% |
| WEST: | WALL MASS BETWEEN 2' - 8' ABOVE FIRST FLOOR: | 1327 SQ. FT. |
| | TRANSPARENT GLASS BETWEEN 2' - 8' ABOVE FIRST FLOOR: | 146 SQ.FT. |
| | TRANSPARENCY PERCENTAGE: | 11% |
| NORTH: | WALL MASS BETWEEN 2' - 8' ABOVE FIRST FLOOR: | 526 SQ. FT. |
| | TRANSPARENT GLASS BETWEEN 2' - 8' ABOVE FIRST FLOOR: | 264 SQ.FT. |
| | TRANSPARENCY PERCENTAGE: | 50% |

SOUTH AND WEST FIRST FLOOR TRANSPARENCY NOTE:
DUE TO PROTOTYPICAL BRANDING AND INTERIOR USE OF SPACES IT IS NOT POSSIBLE TO MAINTAIN A MINIMUM 30% TRANSPARENCY ALONG THESE ELEVATIONS.
WEST ELEVATION: GLAZING WILL BE NORTH OF THE NEW RETAINING WALL FOR GUESTROOMS.
SOUTH ELEVATION: DUE TO BRANDING AND DESIGN CONSTRAINTS WE HAVE THE MAXIMUM ALLOWABLE GLAZING @ GROUND FLOOR.



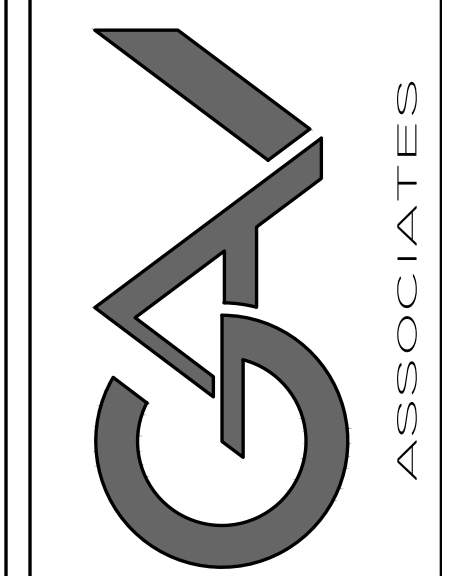
PROPOSED EAST ELEVATION
SCALE: 1/8" = 1'-0"

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2401 ORCHARD LAKE RD, STE 100A
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PH: (248) 985-9101
WEB: WWW.GAVASSOCIATES.COM



TAP RESOURCES
3241 CARLETON ROAD
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phone: 517-610-2417

PROPOSED NEW HOTEL FOR CHOICE HOTELS:
COMFORT INN & SUITES - M1502
800 SOUTH HEWITT ROAD
YPSILANTI TOWNSHIP, MICHIGAN

| DRAWN: | DESIGNED: | CHECKED: |
|--------|-----------|----------|
| DG | DG | GA |

SCALE: 1/8" = 1'-0"

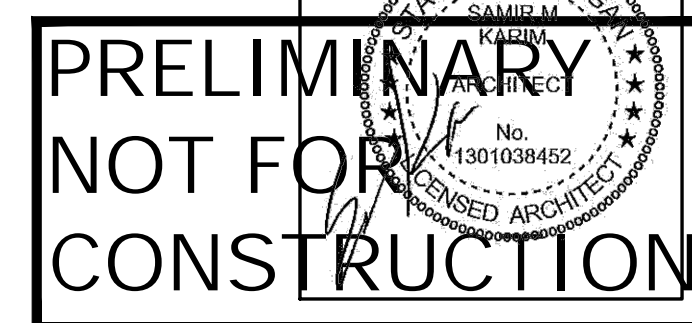
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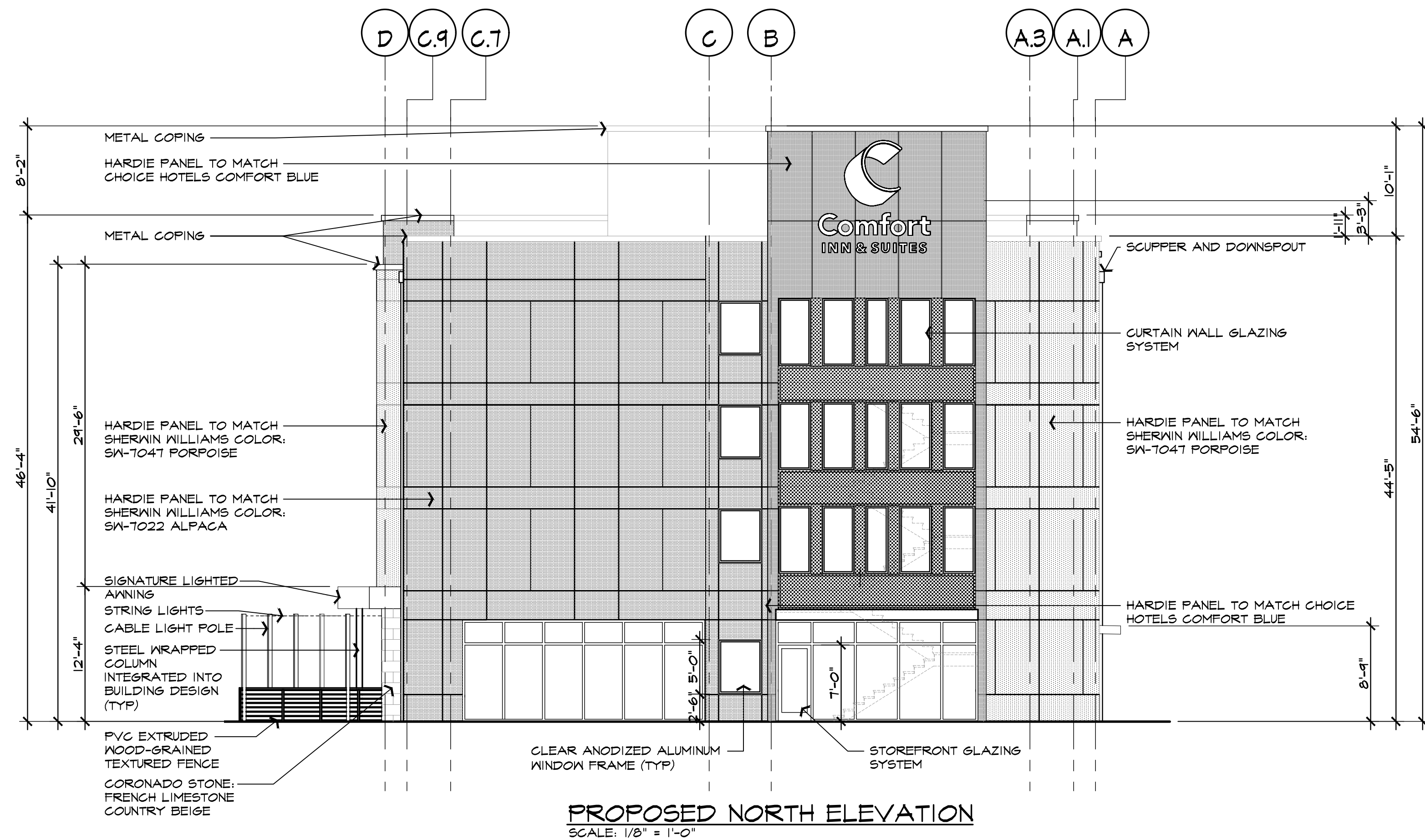
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SHEET TITLE

PROPOSED
SOUTH AND EAST
ELEVATIONS

SHEET #
A.201

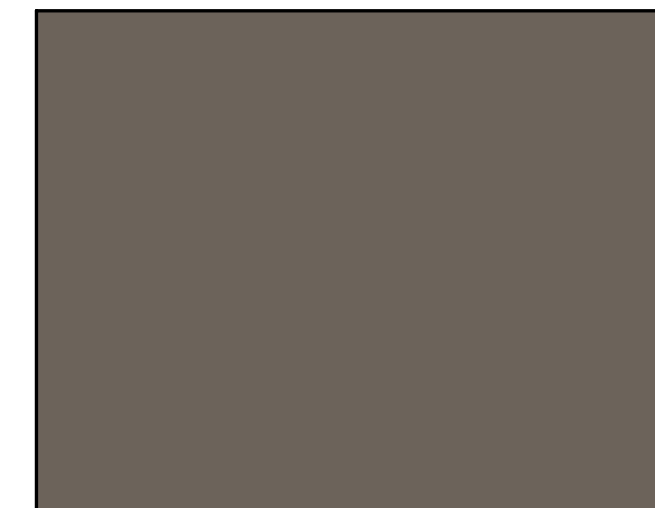




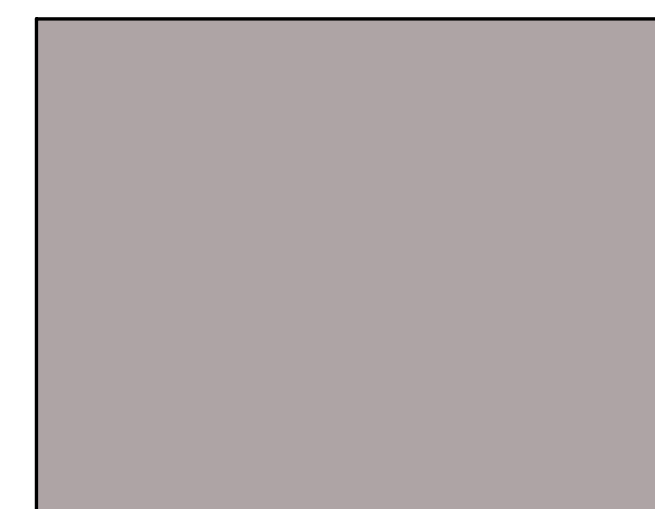
PROPOSED NORTH ELEVATION
SCALE: 1/8" = 1'-0"



HARDIE - PANEL COLOR:
SW1022 ALPACA



HARDIE - PANEL COLOR:
SW1047 PORPOISE



HARDIE - PANEL COLOR:
SW1080 QUEST GRAY



CORONADO STONE:
STYLE: FRENCH LIMESTONE
COLOR: COUNTRY BEIGE

| OPTION 2: COMFORT BLUE | | OPTION 1: COMFORT BLUE | |
|----------------------------------------------------------|--------------|--------------------------------------------------------|--------------|
| Sherwin Williams - Loxon Self Cleaning I Finish: Flat | | Sherwin Williams - Loxon XP Exterior I Finish: Flat | |
| W1 - White | 02 32 64 128 | W1 - White | 02 32 64 128 |
| L1 - Blue | 63 1 1 | L1 - Blue | 10 1 1 |
| R3 - Blue | 4 59 1 | R3 - Blue | 6 43 1 |
| Magenta | 2 | Magenta | 2 |
| One Gallon: LX100054 Ultra-deep: 651028926 | | One Gallon: LX100054 Ultra-deep: 65102849 | |

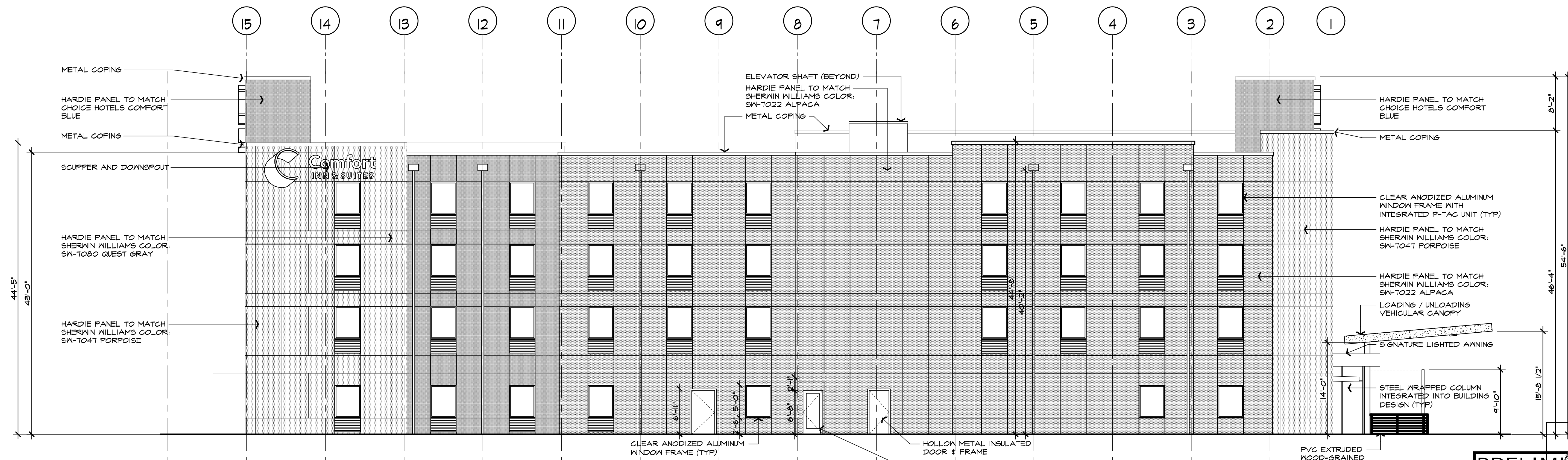
GENERAL NOTES - EXTERIOR ELEVATIONS:

- FOR SPECIFIC WINDOW ELEVATIONS & DETAILS, REFER TO THE A600 SERIES SHEETS.
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TRANSPARENCY PERCENTAGES - EXTERIOR ELEVATIONS:

| DIRECTION | WALL MASS BETWEEN 2' - 8' ABOVE FIRST FLOOR: | TRANSPARENT GLASS BETWEEN 2' - 8' ABOVE FIRST FLOOR: | TRANSPARENCY PERCENTAGE: |
|-----------|----------------------------------------------|------------------------------------------------------|--------------------------|
| EAST: | 1371 SQ.FT. | 405 SQ.FT. | 29% |
| SOUTH: | 521 SQ. FT. | 125 SQ.FT. | 24% |
| WEST: | 1327 SQ. FT. | 146 SQ.FT. | 11% |
| NORTH: | 526 SQ. FT. | 264 SQ.FT. | 50% |

SOUTH AND WEST FIRST FLOOR TRANSPARENCY NOTE:
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WEST ELEVATION: GLAZING WILL BE NORTH OF THE NEW RETAINING WALL FOR GUESTROOMS.
SOUTH ELEVATION: DUE TO BRANDING AND DESIGN CONSTRAINTS WE HAVE THE MAXIMUM ALLOWABLE GLAZING @ GROUND FLOOR.

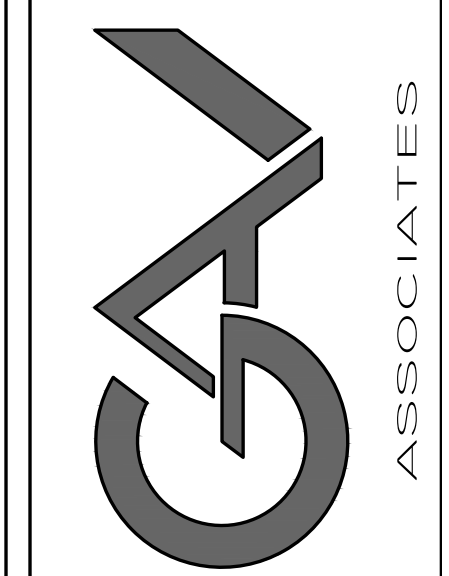


PROPOSED WEST ELEVATION
SCALE: 1/8" = 1'-0"

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YPSILANTI TOWNSHIP, MICHIGAN**

| | | |
|-----------------------------------------------------------------------------|-----------------|----------------|
| DRAWN: DS | DESIGNED: DS | CHECKED: GA |
| SCALE: 1/8" = 1'-0" | | |
| FILE NAME: 22060_A.202 | | |
| JOB #: 22060 | | |
| SHEET TITLE PROPOSED NORTH AND WEST ELEVATIONS SHEET # A.202 | | |

GENERAL NOTES - GUESTROOMS:

- REFER TO 1/8" BUILDING FLOOR PLANS FOR OVERALL GUESTROOM DIMENSIONS, UNO AND WINDOW OPENING LOCATION ON EXTERIOR WALLS.
- DIMENSIONS ARE FROM GRIDLINES AND FROM FACE OF STRUCTURE, UNO.
- DEMISING WALLS AND LOAD BEARING WALLS ARE CENTERED ON GRIDLINES UNLESS OTHERWISE DIMENSIONED.
- WHEN NOTED WITH "FOF" DIMENSIONS ARE FROM FACE OF FINISH.
- DOOR AND WINDOW DIMENSIONS WHERE OCCUR ARE FROM FACE OF STUD TO CENTERLINE OF OPENINGS.
- CENTER SPRINKLER HEADS IN SPACES.
- PROVIDE BLOCKING FOR WALL MOUNTED FIXTURES, ACCESSORIES, EQUIPMENT, AND WINDOW TREATMENTS, INCLUDING BUT NOT LIMITED TO TV, MIRROR, SAFE, & HEADBOARD. MAINTAIN INTEGRITY OF FIRE RATING WHERE ACCESSORIES ARE LOCATED IN RATED WALL.
- FOR TYPICAL MOUNTING HEIGHTS, REFER TO THE T000 AND A100 SERIES SHEETS.
- PLUMBING CHASES SHALL HAVE FIRESTOPS AT EACH FLOOR.
- MAINTAIN, BY CODE, MINIMUM REQUIRED SEPARATION BETWEEN GUESTROOMS AT PLUMBING CHASE WALLS.
- PROVIDE CARPET BASE TOE KICK UNDER PTAC UNITS.
- ALL ACCESSIBLE AND HEARING IMPAIRED UNITS TO HAVE STROBE & SOUND ACTIVATING DOORBELL WITH A 5 SECOND RING. PROVIDE DOORBELL ON/OFF SWITCH WITHIN GUESTROOMS, OR PER APPLICABLE CODE.
- CENTER LIGHT FIXTURES IN CEILING, UNO.
- ACC GUESTROOM ENTRY DOOR CLEARANCE WIDER THAN TYP GUESTROOM. SEE SHEET A601.
- GUESTROOM CEILING HEIGHTS, UNO:

| LEVEL | GUESTROOM | BATHROOM |
|----------|-----------|----------|
| LEVEL 1 | 10' - 0" | 8' - 0" |
| LEVEL 2+ | 8' - 0" | 7' - 6" |
- PROVIDE WALLS WITH AN STC RATINGS OF 60 MIN AT CONDITIONS WHERE GUESTROOM HEADBOARD WALL ADJOINS WITH PUBLIC SPACE OR WITH ADJACENT GUESTROOMS TV WALL.
- REFER TO THE A600 SERIES SHEETS FOR THE FINISH SCHEDULE.
- FOR ALL GUESTROOMS, PROVIDE A MINIMUM OF TWO POWER SOURCE OUTLETS THAT ARE OPEN AND ACCESSIBLE FROM THE BED(S), ADJACENT TO THE BED(S), FREE OF OBSTRUCTION, CLEARLY VISIBLE, AND DEDICATED TO THE GUESTS ON A COMPLIMENTARY BASIS. OUTLETS ALREADY BEING UTILIZED BY THE HOTEL FOR FF&E (LAMPS, RADIOS, ETC.) WHICH ARE NOT AVAILABLE FOR GUESTS USE WILL NOT MEET THIS REQUIREMENT.
- PROVIDE PTAC SLEEVE EXTENDING 16"-18" TO SHIELD DRAPERY FROM BLOWING (TYPICAL).
- SEE ID SPECS FOR BED BASE, FRAME, MATTRESS & BEDDING.

GENERAL NOTES - ELECTRICAL:

- OUTLETS TO BE MOUNTED AT 18" AFF, UNO.
- CENTER VANITY FIXTURES OVER MIRRORS WHERE OCCURS.
- PROVIDE HARD-WIRED CONNECTION FOR TV.
- SPACING OF CORRIDOR LIGHTS SHALL BE BASED ON 20 FOOTCANDLES, MINIMUM, MAINTAINED.
- PROVIDE BATTERY BACKED-UP EXIT LIGHTS.
- CIRCUIT EGRESS AND EXIT LIGHTS INDEPENDENT FROM NON-EMERGENCY LIGHTS FOR REDUNDANCY.
- CONTROL ALL EXTERIOR LIGHTS BY PHOTOCCELL.
- PROVIDE INTERNET ACCESS AS REQUIRED BY CHOICE HOTELS
- IN PUBLIC SPACE PROVIDE PHOTOCELL TO INTERNALLY ILLUMINATED CHANNEL LETTERS AND LOGO PER SIGNAGE MANUFACTURER'S REQUIREMENTS.
- THE FOLLOWING FIXTURES ARE CORDED: DIVIDER SCONE, DIVIDER CABINET, HEADBOARD LIGHT, HEADBOARD SCONES, HEADBOARD POWERPACK, MEDIA PANEL, FLEX STATION, AMENITY TOWER.
- IN PUBLIC SPACE PROVIDE ZONE LIGHTING CONTROLS VIA GREENGATE LITEKEEPER LIGHTING CONTROL RELAY PANEL, LIGHT SWITCH BANK LOCATED IN WORKROOM WITH DIMMABLE FEATURE
- COORDINATE LOBBY ELECTRICAL LAYOUT WITH FF&E FOR PLAN - OPTION C

GENERAL NOTES - FF&E:

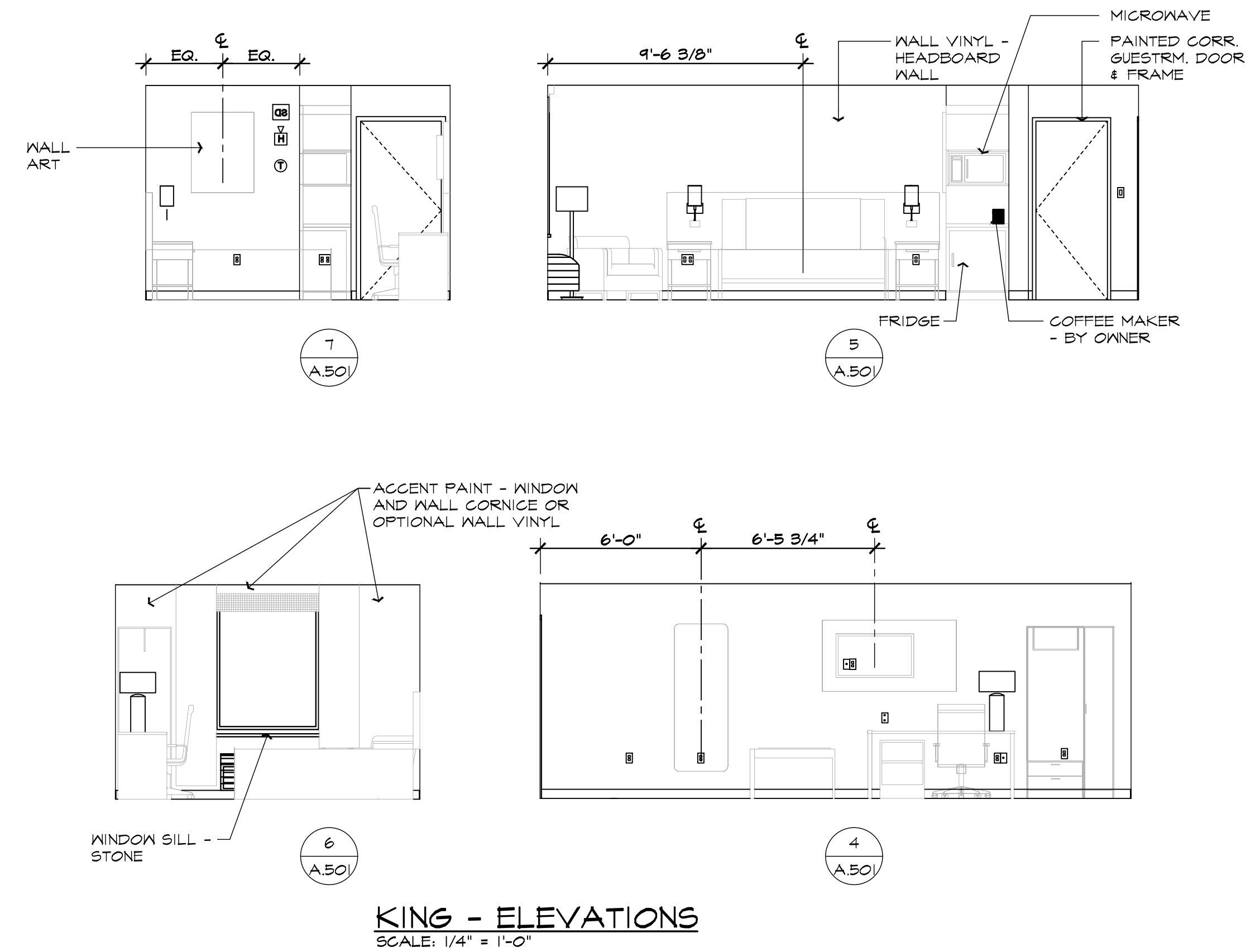
- FOR TYPICAL MOUNTING HEIGHT, REFER TO THE T000 AND A100 SERIES SHEETS.
- PROVIDE BLOCKING FOR WALL MOUNTED FIXTURES, ACCESSORIES & EQUIPMENT.
- REFER TO THE A600 SERIES SHEETS FOR THE FINISH SCHEDULE.
- FOR FINISH PRODUCT DETAILS, REFER TO FF&E SPECIFICATIONS MANUAL.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR OPTIONAL FF&E FURNITURE AND FINISHES.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR RIGHT-HAND AND LEFT-HAND FF&E SPECIFICATIONS.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR LEFT-HAND AND RIGHT-HAND ROOM DEFINITIONS.
- LEFT-HAND ROOMS TYPICALLY RECEIVE LEFT-HAND FF&E ITEMS AND RIGHT-HAND ROOMS TYPICALLY RECEIVE RIGHT-HAND ITEMS, HOWEVER, ANOMOLIES TO THIS ASSUMPTION MAY OCCUR. VERIFY EACH ROOM TYPE FOR ANOMOLIES TO THIS ASSUMPTION.

GENERAL NOTES - FINISHES:

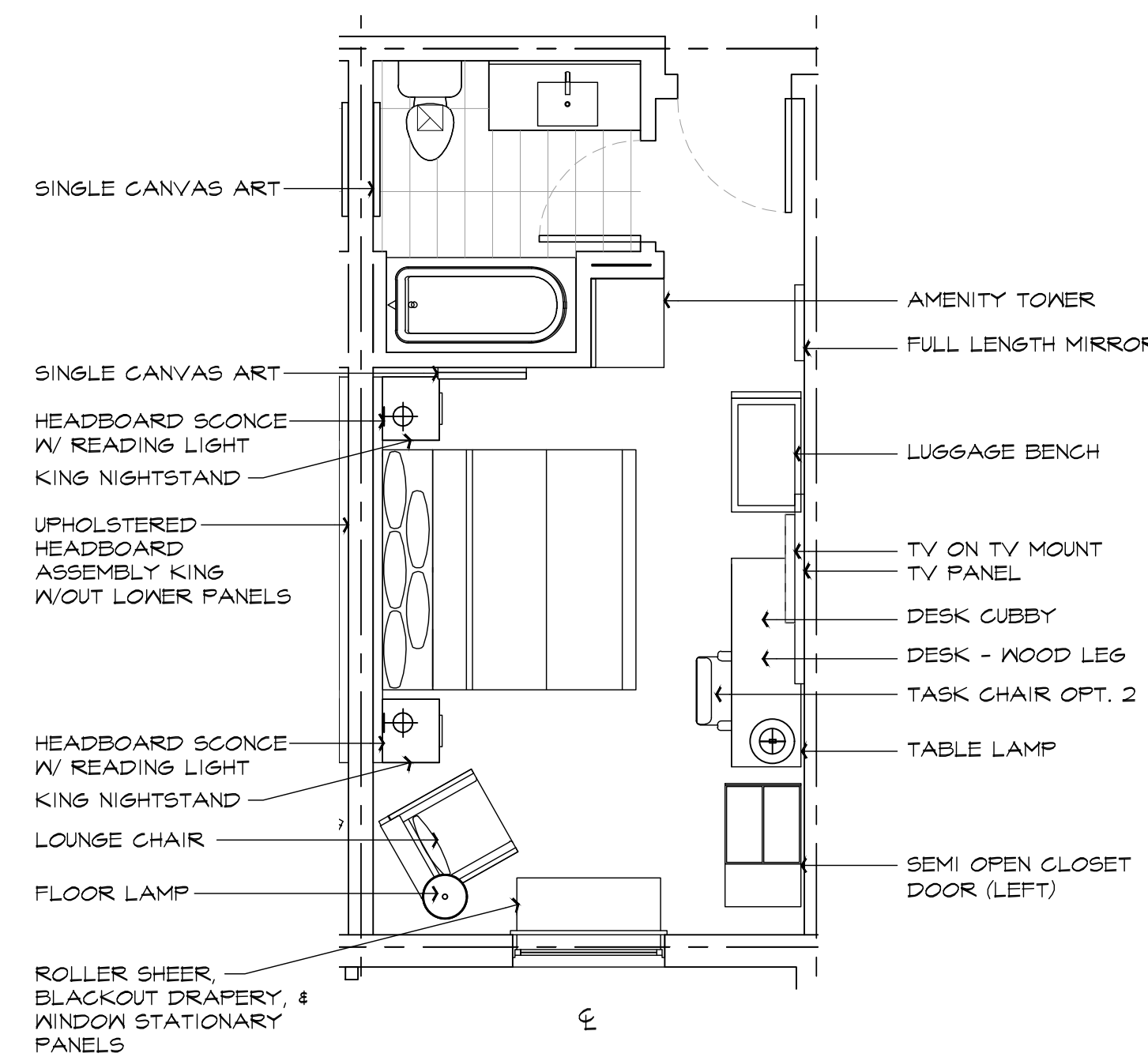
- INSTALL ALL FINISHES PER MANUFACTURERS INSTRUCTIONS.
 - PREPARE ALL FLOOR AND WALL SURFACES FOR NEW FINISHES. PROVIDE FLOOR LEVELING AS REQUIRED TO INSURE PROPER INSTALLATION OF PRODUCT(S).
 - ALL FLOORING MATERIALS TRANSITIONS SHALL OCCUR AT THE CENTERLINE OF DOORS SEPARATING ROOMS, UNO. DOOR THRESHOLD REQUIREMENTS TO BE COORDINATED WITH DOOR HARDWARE SPECIFICATIONS.
 - FINISHES IN ACCESSORY SPACES TO MATCH ADJACENT SPACES, UNO.
- NOTE: ALL GUESTROOM**
- WALL PAINT IS PT-001 OR OPTIONAL VYL-001 UNO ON INTERIOR ELEVATIONS.
 - CEILING PAINT IS PT-003 UNO ON ENLARGED RCP.
 - DOOR TRIM PAINT IS PT-002 UNO ON INTERIOR GUESTROOM DOORS.
 - ENTRY DOOR INSIDE STAINED TO MATCH CASEGOODS ST-003.
 - BATH DOOR AND BATH DOOR TRIM PAINT IS PT-002 UNO ON INTERIOR ELEVATIONS.
 - WALL BASE IS RB-001 UNO ON PLANS OR INTERIOR ELEVATIONS.
 - ALL ACCESSIBLE ROOMS TO PROVIDE REMOTELY SWITCHED MECHANIZED WINDOW TREATMENTS.
 - CARPET PAD CPAD-001 TO BE USED IF CPT-001 IS INSTALLED.
- NOTE: ALL GUESTROOM**
- CEILING PAINT IS PT-003 UNO ON ENLARGED RCP.
 - WHERE ADJACENT CEILINGS ARE AT DIFFERENT HEIGHTS, PAINT THE ADJOINING SOFFIT TO MATCH THE COLOR OF THE LOWER CEILING.
- NOTE: ALL GUESTROOM**
- SEE THE A550 SERIES FOR BATHROOM DIMENSIONS

GUESTROOM FLOORING TRANSITION SCHEDULE:

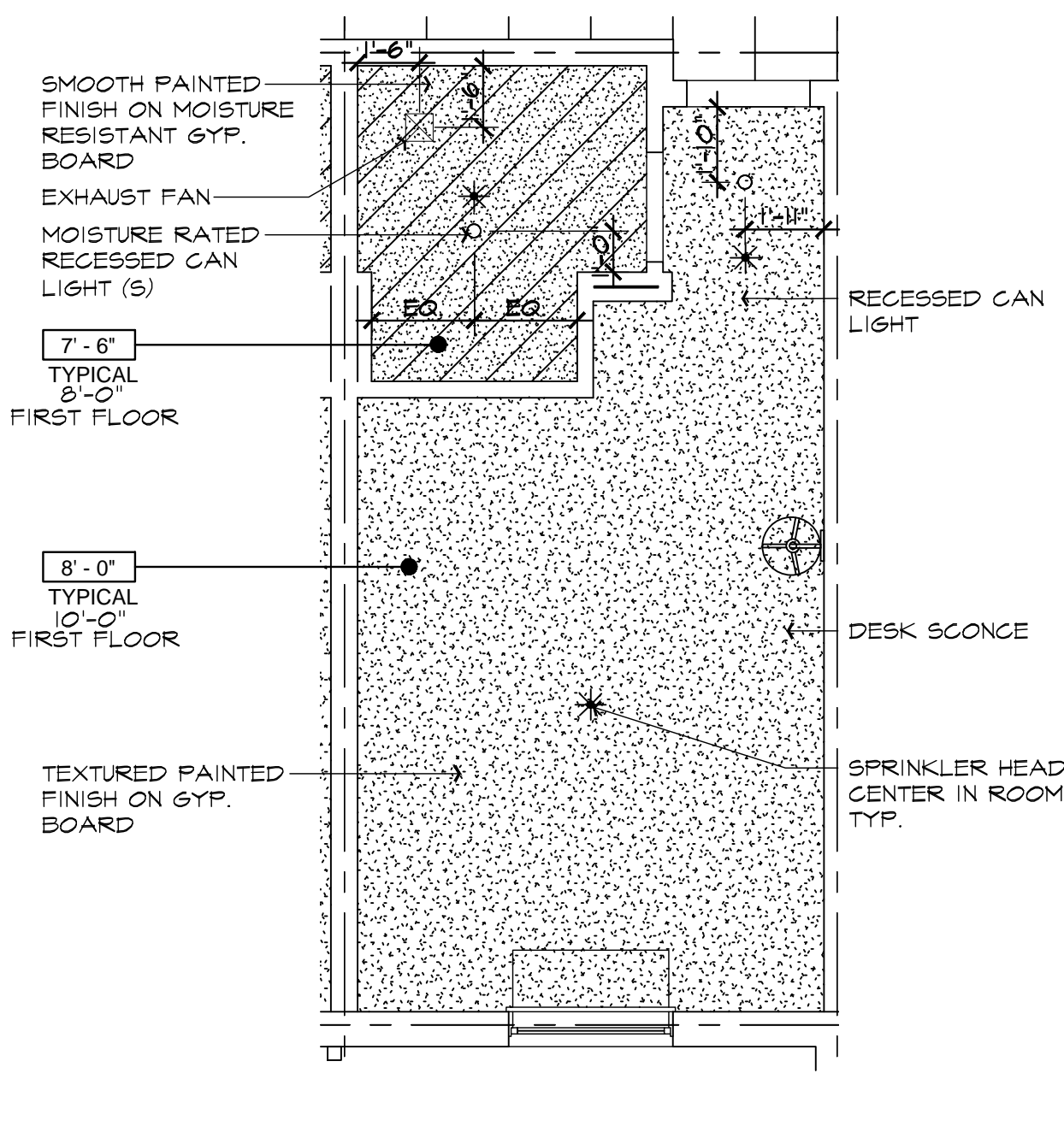
| ITEM # | DESCRIPTION | REMARKS |
|--------|----------------------------------------------|---------|
| TH-001 | LVT TO CARPET (AT ENTRY DOOR TO CORRIDOR) | |
| TH-001 | CARPET TO CARPET (AT ENTRY DOOR TO CORRIDOR) | |
| TH-002 | LVT TO TILE (AT BATHROOM DOOR) | |
| TH-002 | CARPET TO TILE (AT BATHROOM DOOR) | |
| TH-003 | LVT TO CARPET | |



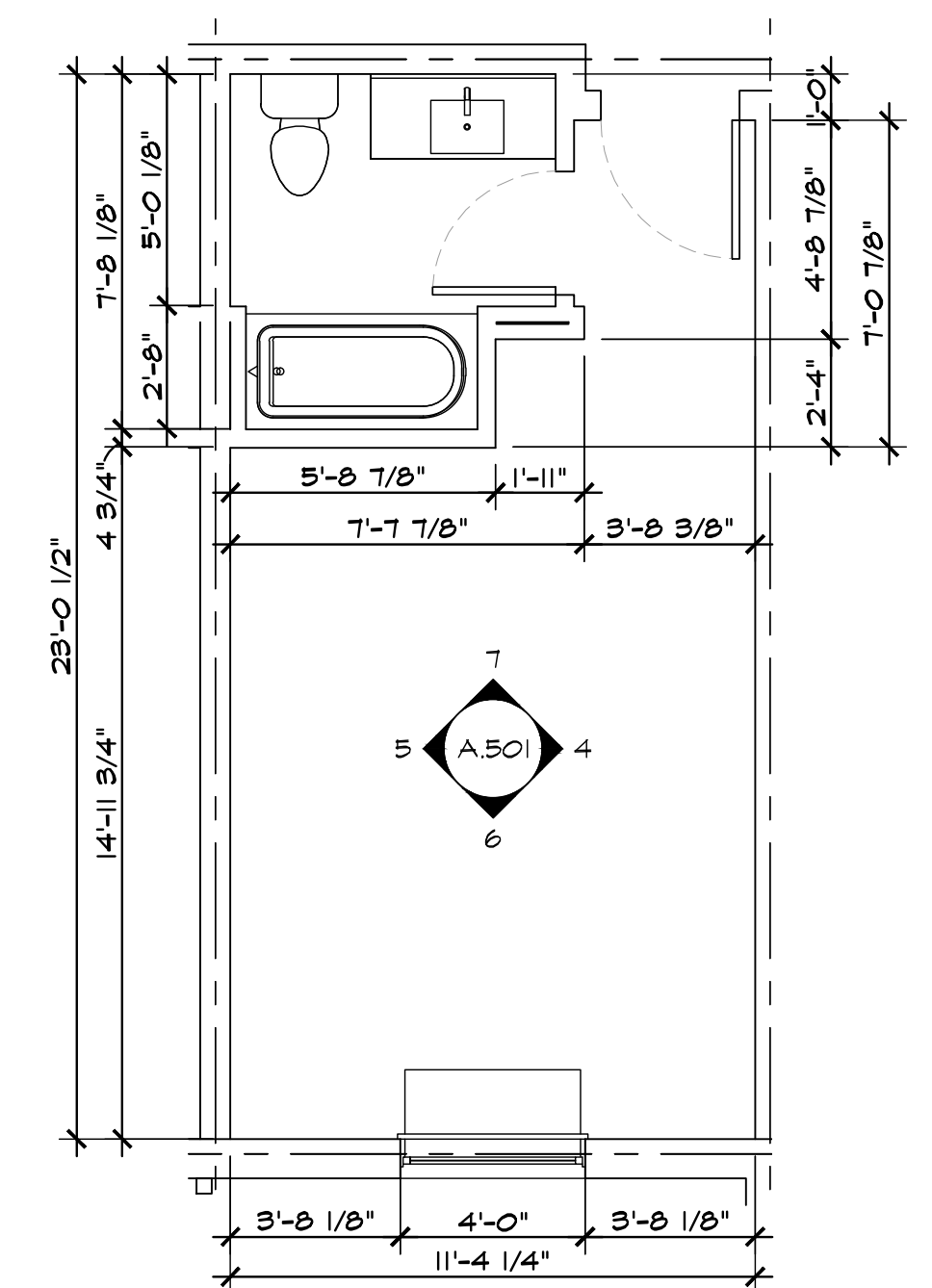
KING - ELEVATIONS
SCALE: 1/4" = 1'-0"



3 KING - FF&E PLAN
SCALE: 1/4" = 1'-0"



2 KING - REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



1 KING - ARCHITECTURAL PLAN
SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

| ISSUED FOR | DATE |
|-----------------|-----------|
| REVIEW | 2-19-2022 |
| PLANNING REVIEW | 1-18-2023 |
| PLANNING REVIEW | 4-21-2023 |
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ARCHITECTURAL DESIGN

RESIDENTIAL
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G.A.V. ASSOCIATES, INC
2401 ORCHARD LANE, STE. 100
FARMINGTON, MICHIGAN 48338
PH: (248) 985-9101
WEB: WWW.GAVASSOCIATES.COM

TAP RESOURCES
3241 CARLETON ROAD
HILLSDALE, MICHIGAN 49242
MR. TAPAN PATEL
phone: 517-610-2417

PROPOSED NEW HOTEL FOR CHOICE HOTELS:
COMFORT INN & SUITES - M1502
800 SOUTH HEWITT ROAD
YPSILANTI TOWNSHIP, MICHIGAN

| DRAWN: | DESIGNED: | CHECKED: |
|-----------------------------------|-----------|----------|
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| SCALE: 1/4" = 1'-0" | | |
| FILE NAME: 22060_A.501 | | |
| JOB #: 22060 | | |
| SHEET TITLE | | |
| KING GUESTROOM PLANS & ELEVATIONS | | |
| SHEET # | | |
| A.501 | | |

GENERAL NOTES - GUESTROOMS:

- REFER TO 1/8" BUILDING FLOOR PLANS FOR OVERALL GUESTROOM DIMENSIONS, UNO AND WINDOW OPENING LOCATION ON EXTERIOR WALLS.
- DIMENSIONS ARE FROM GRIDLINES AND FROM FACE OF STRUCTURE, UNO.
- DEMISING WALLS AND LOAD BEARING WALLS ARE CENTERED ON GRIDLINES UNLESS OTHERWISE DIMENSIONED.
- WHEN NOTED WITH "OF" DIMENSIONS ARE FROM FACE OF FINISH.
- DOOR AND WINDOW DIMENSIONS WHERE OCCUR ARE FROM FACE OF STUD TO CENTERLINE OF OPENINGS.
- CENTER SPRINKLER HEADS IN SPACES.
- PROVIDE BLOCKING FOR WALL MOUNTED FIXTURES, ACCESSORIES, EQUIPMENT, AND WINDOW TREATMENTS, INCLUDING BUT NOT LIMITED TO TV, MIRROR, SAFE, & HEADBOARD. MAINTAIN INTEGRITY OF FIRE RATING WHERE ACCESSORIES ARE LOCATED IN RATED WALL.
- FOR TYPICAL MOUNTING HEIGHTS, REFER TO THE T000 AND A100 SERIES SHEETS.
- PLUMBING CHASES SHALL HAVE FIRESTOPS AT EACH FLOOR.
- MAINTAIN, BY CODE, MINIMUM REQUIRED SEPARATION BETWEEN GUESTROOMS AT PLUMBING CHASE WALLS.
- PROVIDE CARPET BASE TOE KICK UNDER PTAC UNITS.
- ALL ACCESSIBLE AND HEARING IMPAIRED UNITS TO HAVE STROBE & SOUND ACTIVATING DOORBELL WITH A 5 SECOND RING. PROVIDE DOORBELL ON/OFF SWITCH WITHIN GUESTROOMS, OR PER APPLICABLE CODE.
- CENTER LIGHT FIXTURES IN CEILING, UNO.
- ACC GUESTROOM ENTRY DOOR CLEARANCE WIDER THAN TYP GUESTROOM. SEE SHEET A601.
- GUESTROOM CEILING HEIGHTS, UNO:

| LEVEL | GUESTROOM | BATHROOM |
|----------|-----------|----------|
| LEVEL 1 | 10' - 0" | 8' - 0" |
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- PROVIDE WALLS WITH AN STC RATINGS OF 60 MIN AT CONDITIONS WHERE GUESTROOM HEADBOARD WALL ADJOINS WITH PUBLIC SPACE OR WITH ADJACENT GUESTROOMS TV WALL.
- REFER TO THE A600 SERIES SHEETS FOR THE FINISH SCHEDULE.
- FOR ALL GUESTROOMS, PROVIDE A MINIMUM OF TWO POWER SOURCE OUTLETS THAT ARE OPEN AND ACCESSIBLE FROM THE BED(S), ADJACENT TO THE BED(S), FREE OF OBSTRUCTION, CLEARLY VISIBLE, AND DEDICATED TO THE GUESTS ON A COMPLIMENTARY BASIS. OUTLETS ALREADY BEING UTILIZED BY THE HOTEL FOR FF&E (LAMPS, RADIOS, ETC.) WHICH ARE NOT AVAILABLE FOR GUESTS USE WILL NOT MEET THIS REQUIREMENT.
- PROVIDE PTAC SLEEVE EXTENDING 16" x 16" TO SHIELD DRAPERY FROM BILLOWING (TYPICAL).
- SEE ID SPECS FOR BED BASE, FRAME, MATTRESS & BEDDING.

GENERAL NOTES - ELECTRICAL:

- OUTLETS TO BE MOUNTED AT 18" AFF, UNO.
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- SPACING OF CORRIDOR LIGHTS SHALL BE BASED ON 20 FOOTCANDLES, MINIMUM, MAINTAINED.
- PROVIDE BATTERY BACKED-UP EXIT LIGHTS.
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- PROVIDE POWER AND PHOTOCCELL TO INTERNALLY ILLUMINATED CHANNEL LETTERS AND LOGO PER SIGNAGE MANUFACTURER'S REQUIREMENTS.
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- IN PUBLIC SPACE PROVIDE ZONE LIGHTING CONTROLS VIA GREENGATE LITEKEEPER LIGHTING CONTROL RELAY PANEL, LIGHT SWITCH BANK LOCATED IN WORKROOM WITH DIMMABLE FEATURE
- COORDINATE LOBBY ELECTRICAL LAYOUT WITH FF&E FOR PLAN - OPTION C

GENERAL NOTES - FF&E:

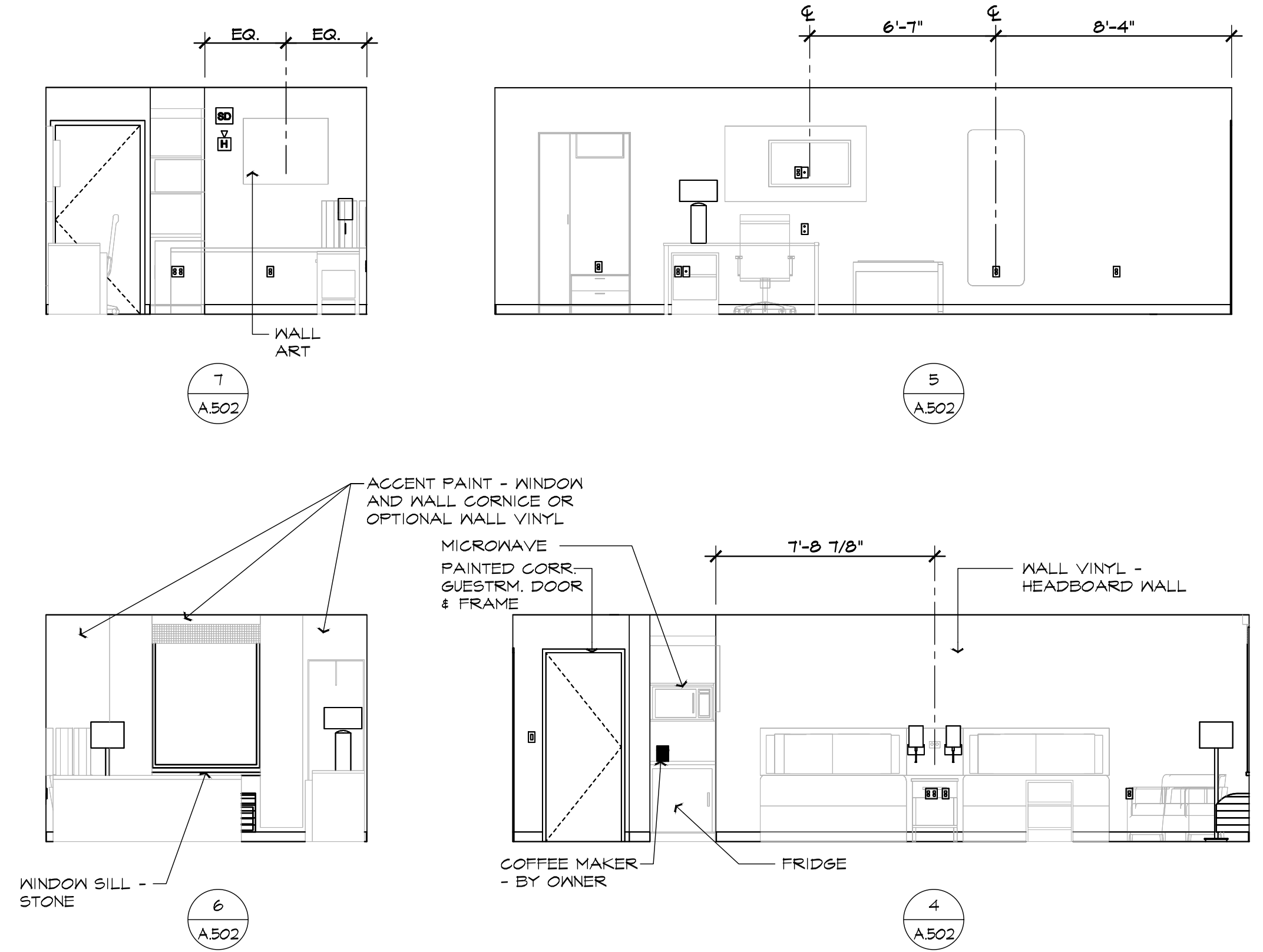
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- FOR FINISH PRODUCT DETAILS, REFER TO FF&E SPECIFICATIONS MANUAL.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR OPTIONAL FF&E FURNITURE AND FINISHES.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR RIGHT-HAND AND LEFT-HAND FF&E SPECIFICATIONS.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR LEFT-HAND AND RIGHT-HAND ROOM DEFINITIONS.
- LEFT-HAND ROOMS TYPICALLY RECEIVE LEFT-HAND FF&E ITEMS AND RIGHT-HAND ROOMS TYPICALLY RECEIVE RIGHT-HAND ITEMS, HOWEVER ANOMOLIES TO THIS ASSUMPTION MAY OCCUR. VERIFY EACH ROOM TYPE FOR ANOMOLIES TO THIS ASSUMPTION.

GENERAL NOTES - FINISHES:

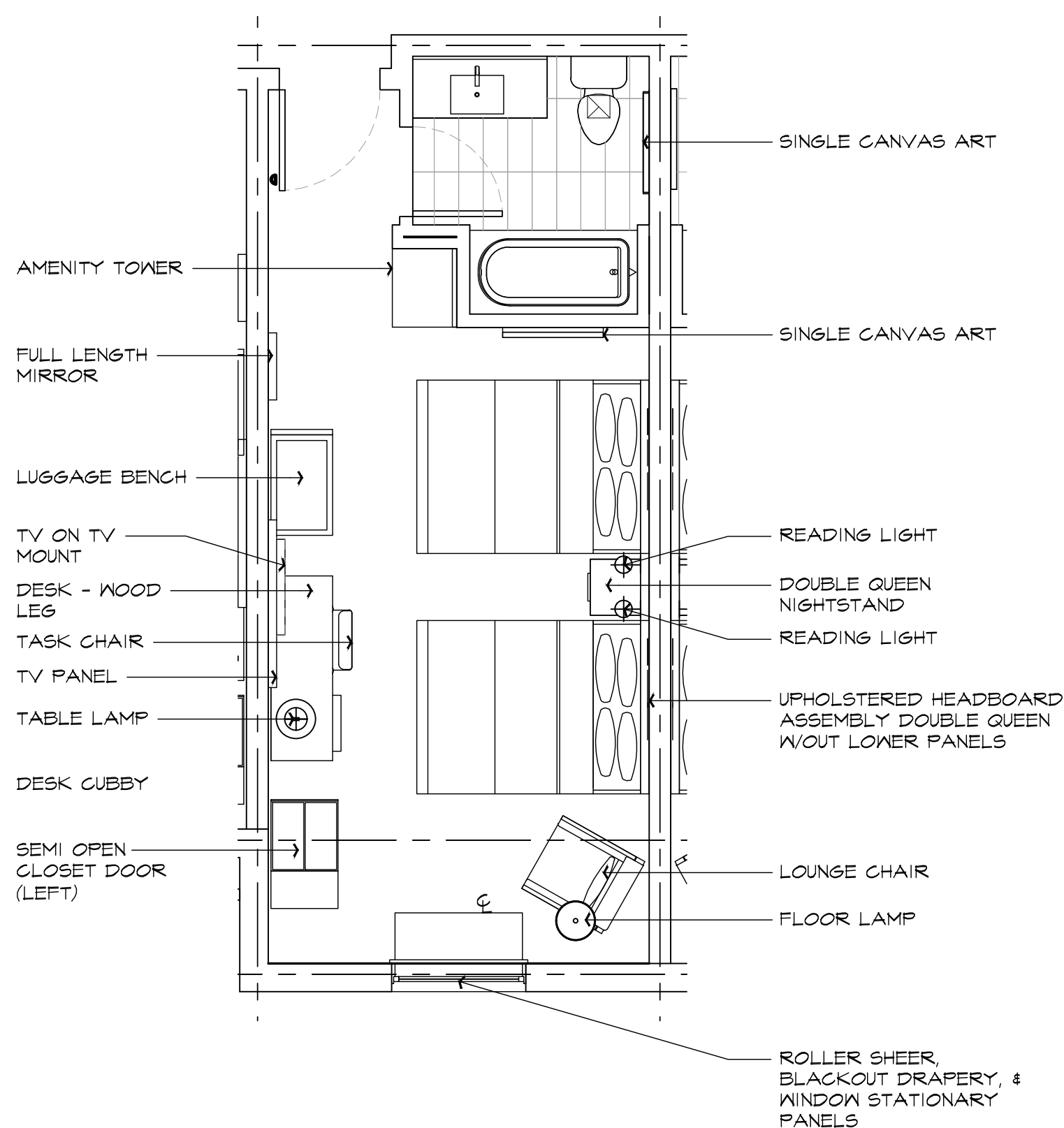
- INSTALL ALL FINISHES PER MANUFACTURERS INSTRUCTIONS.
 - PREPARE ALL FLOOR AND WALL SURFACES FOR NEW FINISHES. PROVIDE FLOOR LEVELING AS REQUIRED TO INSURE PROPER INSTALLATION OF PRODUCTS.
 - ALL FLOORING MATERIALS TRANSITIONS SHALL OCCUR AT THE CENTERLINE OF DOORS SEPARATING ROOMS, UNO. DOOR THRESHOLD REQUIREMENTS TO BE COORDINATED WITH DOOR HARDWARE SPECIFICATIONS.
 - FINISHES IN ACCESSORY SPACES TO MATCH ADJACENT SPACES, UNO.
- NOTE: ALL GUESTROOM**
- WALL PAINT IS PT-001 OR OPTIONAL VYL-001 UNO ON INTERIOR ELEVATIONS.
 - CEILING PAINT IS PT-003 UNO ON ENLARGED RCP.
 - DOOR TRIM PAINT IS PT-002 UNO ON INTERIOR GUESTROOM DOORS.
 - ENTRY DOOR INSIDE STAINED TO MATCH CASEGOODS ST-003.
 - BATH DOOR AND BATH DOOR TRIM PAINT IS PT-002 UNO ON INTERIOR ELEVATIONS.
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 - ALL ACCESSIBLE ROOMS TO PROVIDE REMOTELY SWITCHED MECHANIZED WINDOW TREATMENTS.
 - CARPET PAD CPAD-001 TO BE USED IF CPT-001 IS INSTALLED.
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 - WHERE ADJACENT CEILINGS ARE AT DIFFERENT HEIGHTS, PAINT THE ADJOINING SOFFIT TO MATCH THE COLOR OF THE LOWER CEILING.
- NOTE: ALL GUESTROOM**
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GUESTROOM FLOORING TRANSITION SCHEDULE:

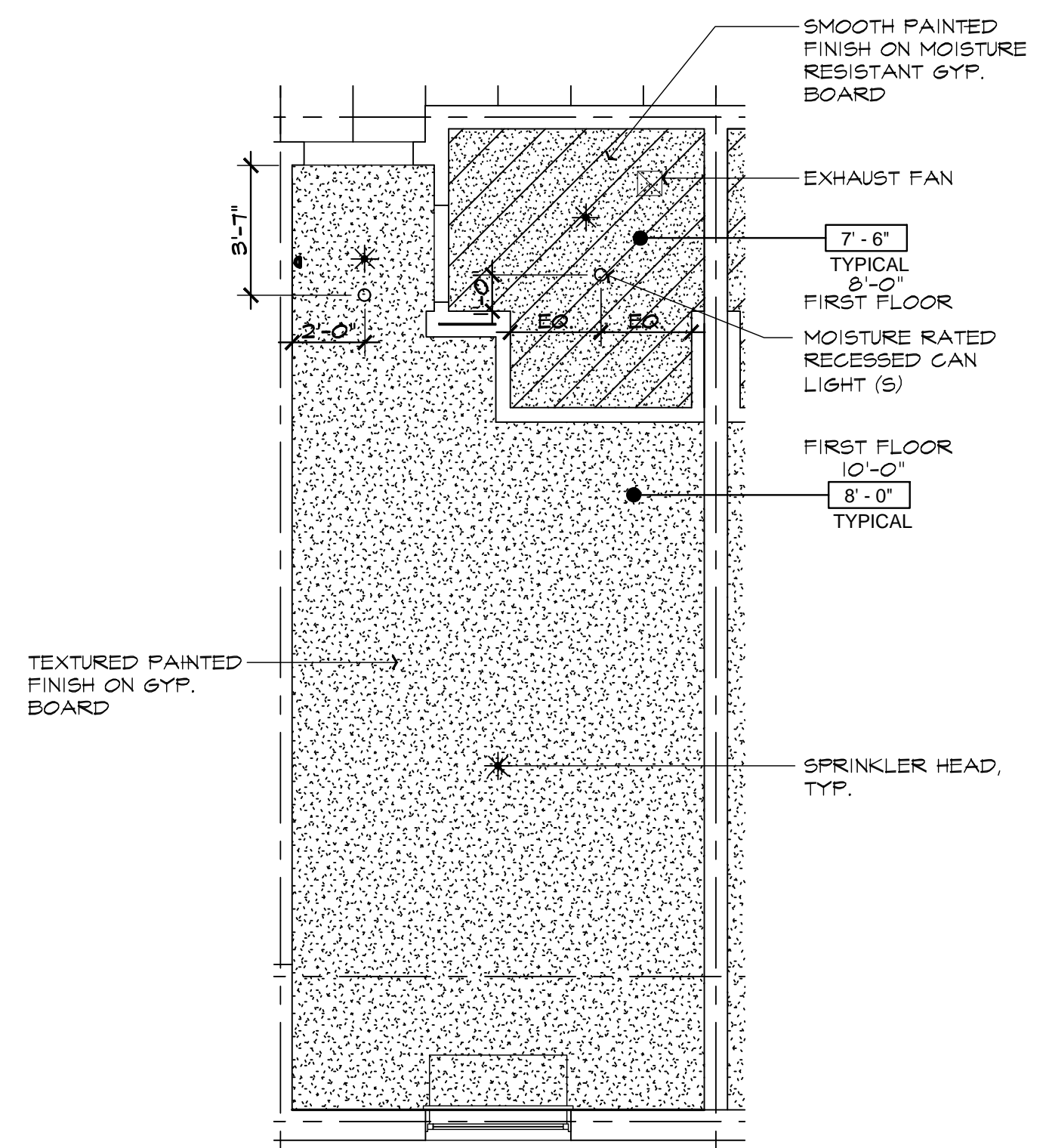
| ITEM # | DESCRIPTION | REMARKS |
|--------|----------------------------------------------|---------|
| TH-001 | LVT TO CARPET (AT ENTRY DOOR TO CORRIDOR) | |
| TH-001 | CARPET TO CARPET (AT ENTRY DOOR TO CORRIDOR) | |
| TH-002 | LVT TO TILE (AT BATHROOM DOOR) | |
| TH-002 | CARPET TO TILE (AT BATHROOM DOOR) | |
| TH-003 | LVT TO CARPET | |



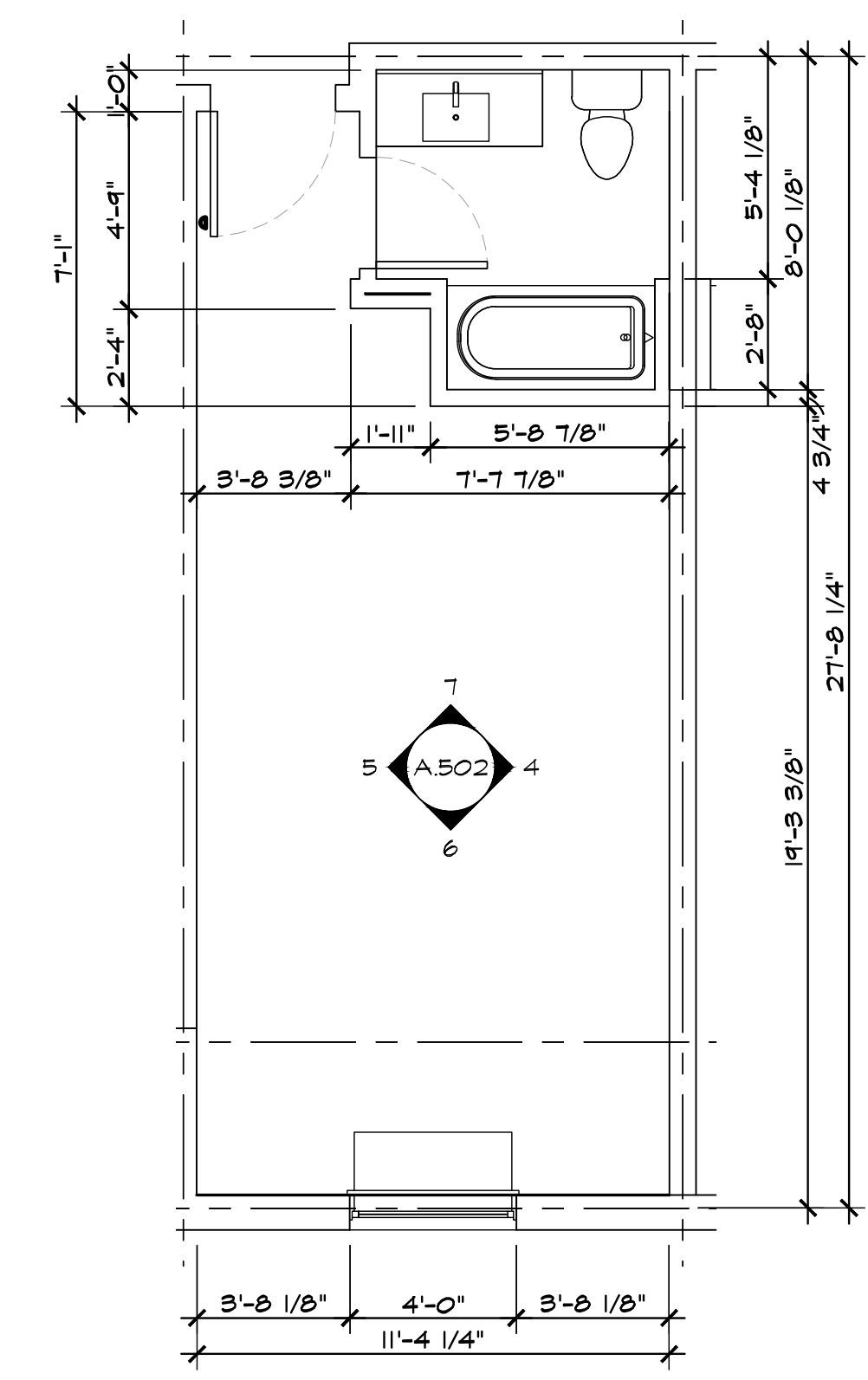
DOUBLE QUEEN - ELEVATIONS
SCALE: 1/4" = 1'-0"



DOUBLE QUEEN - FF&E PLAN
SCALE: 1/4" = 1'-0"



DOUBLE QUEEN - REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



DOUBLE QUEEN - ARCHITECTURAL PLAN
SCALE: 1/4" = 1'-0"

| ISSUED FOR | DATE |
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ARCHITECTURAL DESIGN

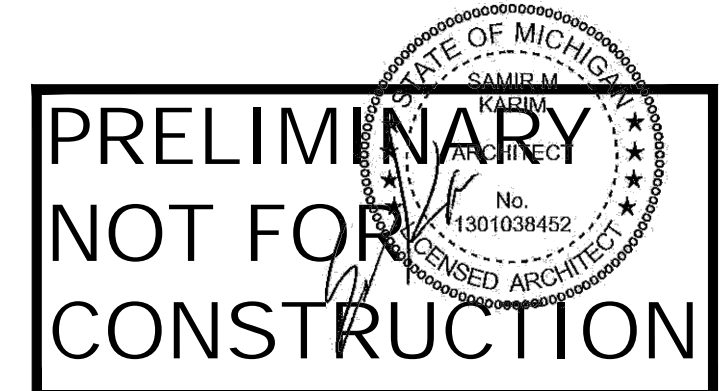
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G.A.V. ASSOCIATES, INC
2401 ORCHARD LANE, STE. 100
FARMINGTON, MICHIGAN 48336
PH: (248) 985-9101
WEB: WWW.GAVASSOCIATES.COM

TAP RESOURCES
3241 CARLETON ROAD
HILLSDALE, MICHIGAN 49242
MR. TAPAN PATEL
phone: 517-610-2417

PROPOSED NEW HOTEL FOR CHOICE HOTELS:
COMFORT INN & SUITES - M1502
800 SOUTH HEWITT ROAD
YPSILANTI TOWNSHIP, MICHIGAN

| DRAWN: | DESIGNED: | CHECKED: |
|-------------------------------------------------------------------------------------------|-----------|----------|
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| SCALE: 1/4" = 1'-0" | | |
| FILE NAME: 22060_A502 | | |
| JOB #: 22060 | | |
| SHEET TITLE DOUBLE QUEEN GUESTROOM PLANS & ELEVATIONS SHEET # A.502 | | |



GENERAL NOTES - GUESTROOMS:

- REFER TO 1/8" BUILDING FLOOR PLANS FOR OVERALL GUESTROOM DIMENSIONS, UNO AND WINDOW OPENING LOCATION ON EXTERIOR WALLS.
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- PLUMBING CHASES SHALL HAVE FIRESTOPS AT EACH FLOOR.
- MAINTAIN, BY CODE, MINIMUM REQUIRED SEPARATION BETWEEN GUESTROOMS AT PLUMBING CHASE WALLS.
- PROVIDE CARPET BASE TOE KICK UNDER PTAC UNITS.
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- ACC GUESTROOM ENTRY DOOR CLEARANCE WIDER THAN TYP GUESTROOM. SEE SHEET A601.
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| LEVEL | GUESTROOM | BATHROOM |
|----------|-----------|----------|
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GENERAL NOTES - FF&E:

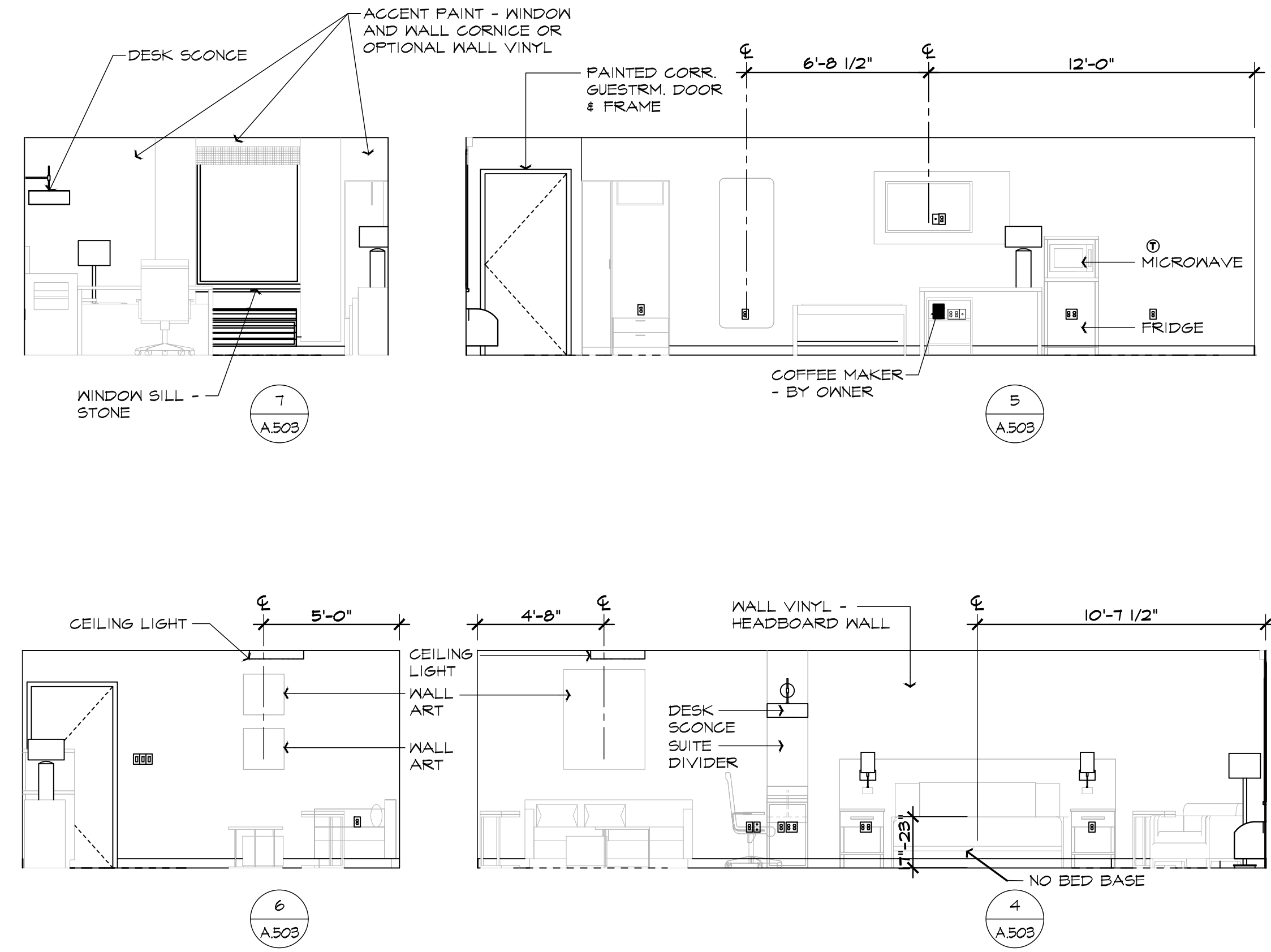
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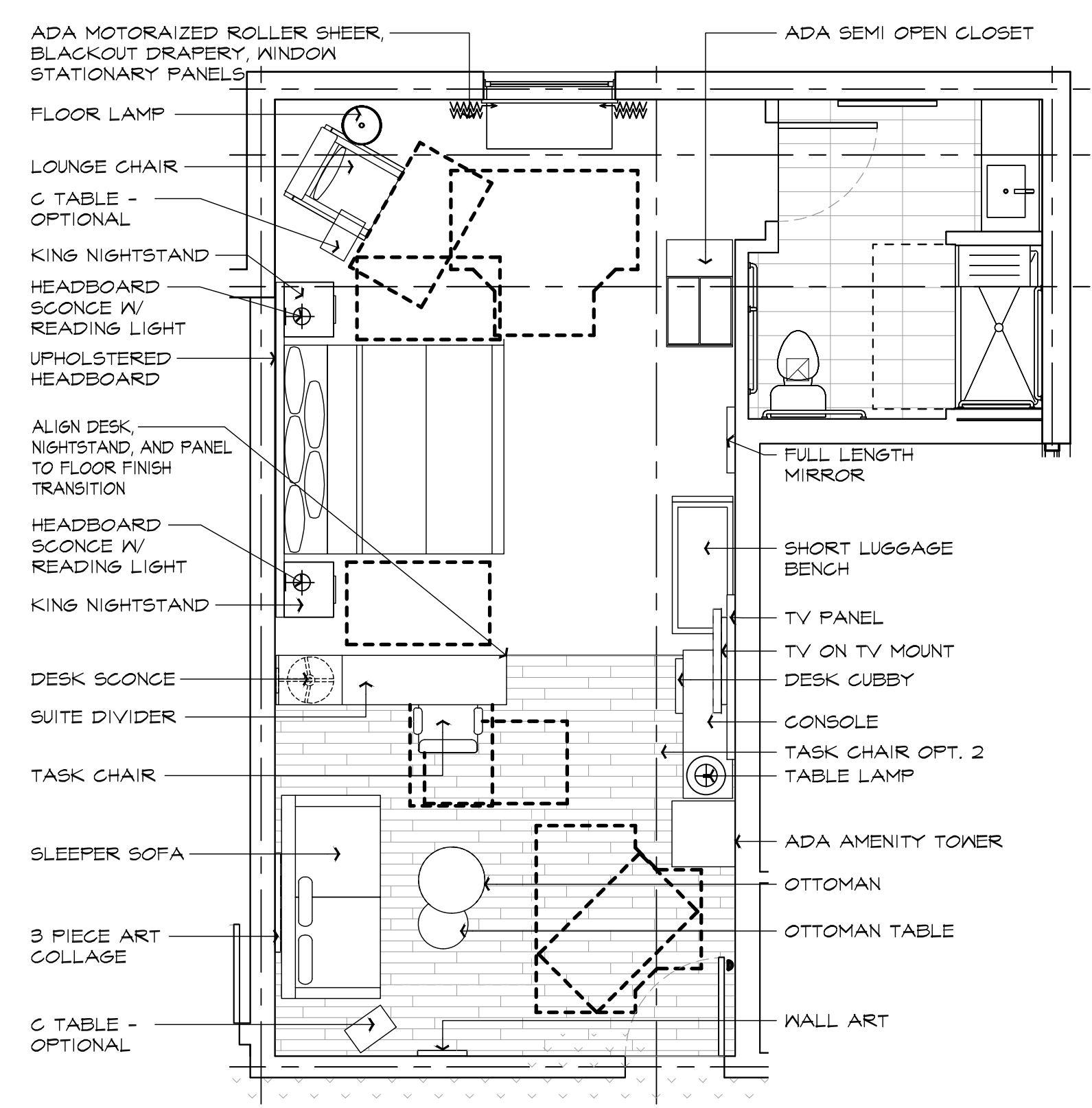
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 - ALL FLOORING MATERIALS TRANSITIONS SHALL OCCUR AT THE CENTERLINE OF DOORS SEPARATING ROOMS, UNO. DOOR THRESHOLD REQUIREMENTS TO BE COORDINATED WITH DOOR HARDWARE SPECIFICATIONS.
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- NOTE: ALL GUESTROOM**
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 - CEILING PAINT IS PT-003 UNO ON ENLARGED RCP.
 - DOOR TRIM PAINT IS PT-002 UNO ON INTERIOR GUESTROOM DOORS.
 - ENTRY DOOR INSIDE STAINED TO MATCH CASEGOODS ST-003.
 - BATH DOOR AND BATH DOOR TRIM PAINT IS PT-002 UNO ON INTERIOR ELEVATIONS.
 - WALL BASE IS RB-001 UNO ON PLANS OR INTERIOR ELEVATIONS.
 - ALL ACCESSIBLE ROOMS TO PROVIDE REMOTELY SWITCHED MECHANIZED WINDOW TREATMENTS
 - CARPET PAD CPAD-001 TO BE USED IF CPT-001 IS INSTALLED.
- NOTE: ALL GUESTROOM**
- CEILING PAINT IS PT-003 UNO ON ENLARGED RCP.
 - WHERE ADJACENT CEILING ARE AT DIFFERENT HEIGHTS, PAINT THE ADJOINING SOFFIT TO MATCH THE COLOR OF THE LOWER CEILING.
- NOTE: ALL GUESTROOM**
- SEE THE A550 SERIES FOR BATHROOM DIMENSIONS

GUESTROOM FLOORING TRANSITION SCHEDULE:

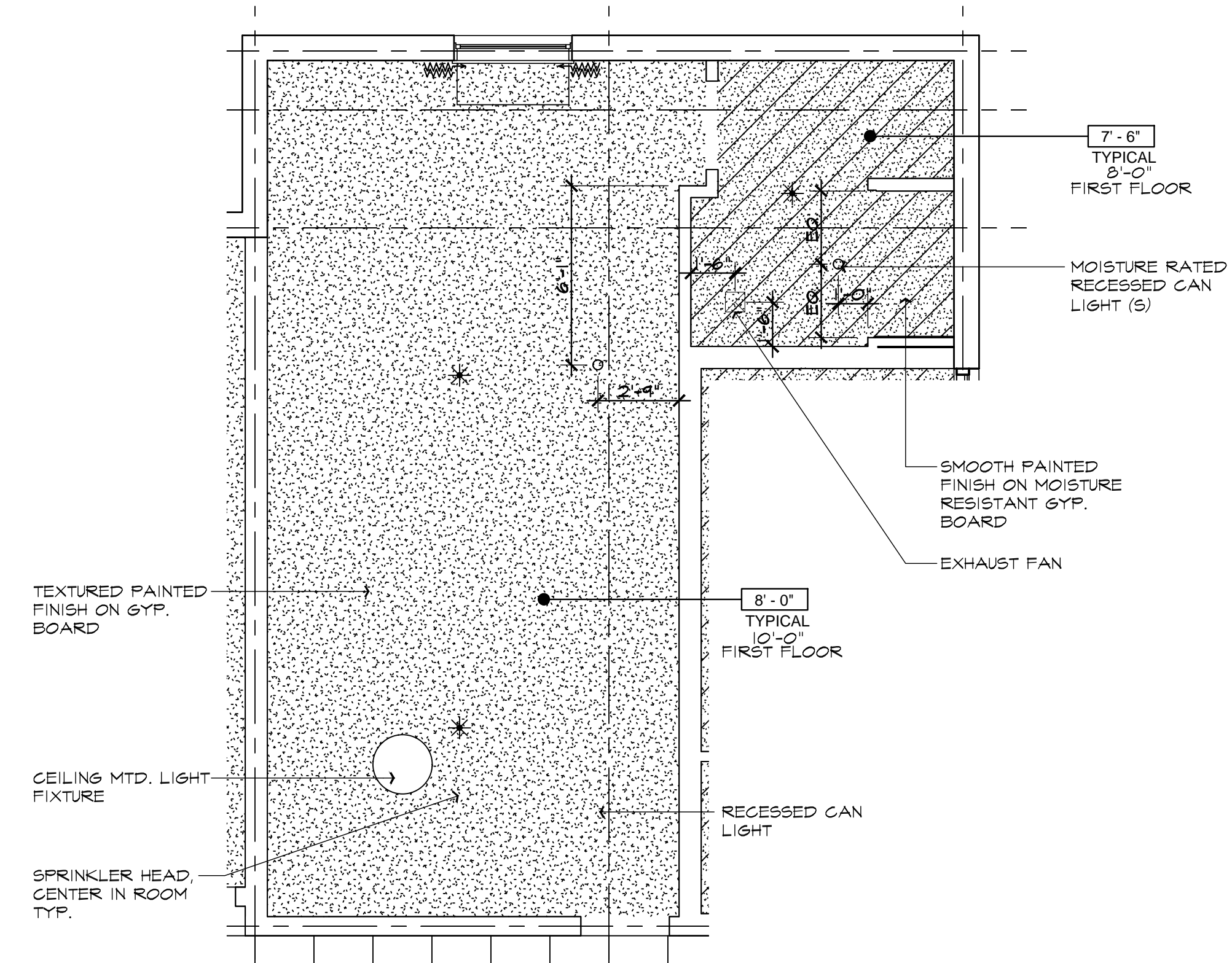
| ITEM # | DESCRIPTION | REMARKS |
|--------|----------------------------------------------|---------|
| TH-001 | LVT TO CARPET (AT ENTRY DOOR TO CORRIDOR) | |
| TH-001 | CARPET TO CARPET (AT ENTRY DOOR TO CORRIDOR) | |
| TH-002 | LVT TO TILE (AT BATHROOM DOOR) | |
| TH-002 | CARPET TO TILE (AT BATHROOM DOOR) | |
| TH-003 | LVT TO CARPET | |



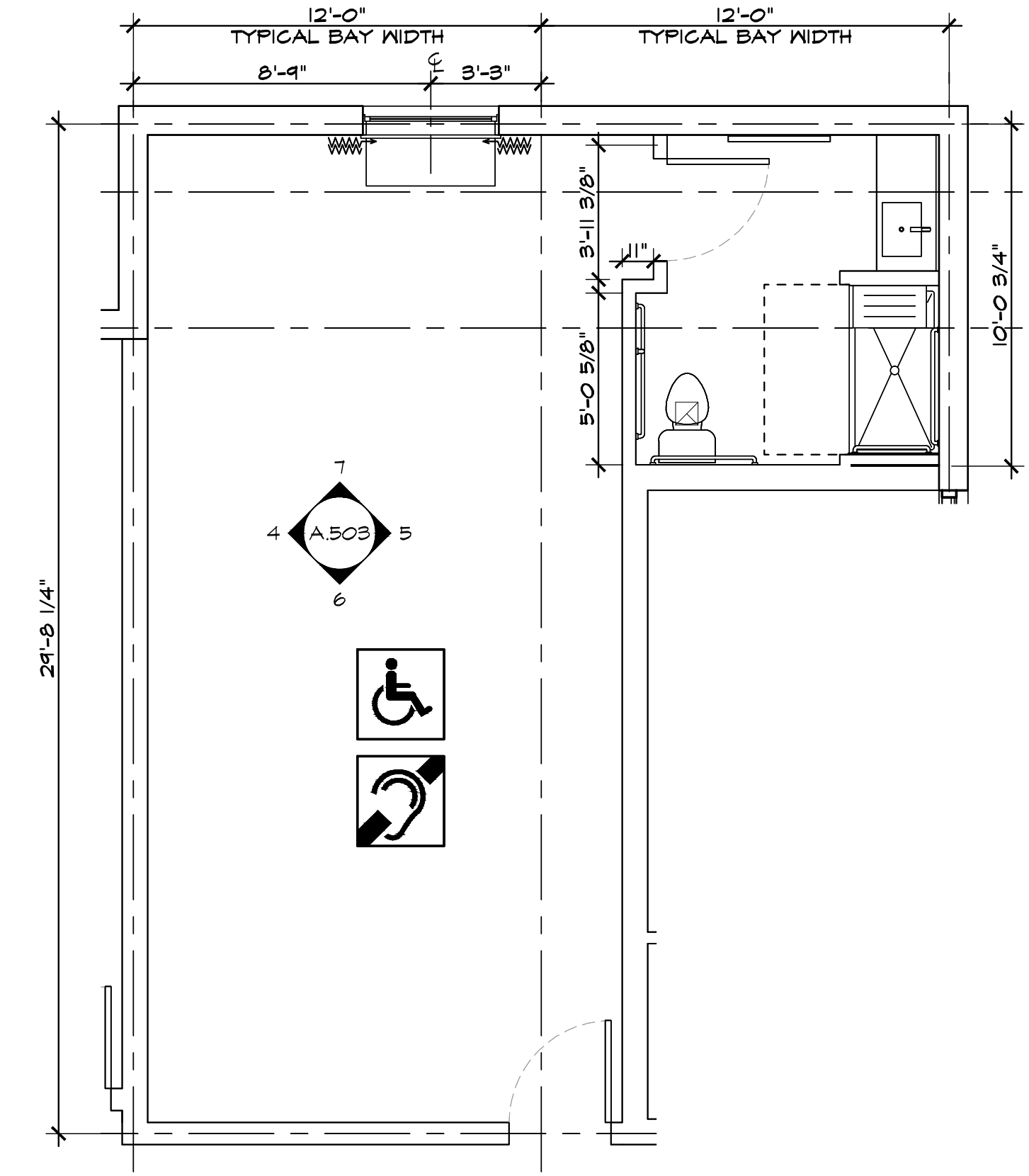
ACCESSIBLE KING SUITE - ELEVATIONS
SCALE: 1/4" = 1'-0"



3 ACCESS. KING SUITE - FF&E PLAN
SCALE: 1/4" = 1'-0"



2 ACCESS KING SUITE- REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



1 ACCESS. KING SUITE - ARCHITECTURAL PLAN
SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

| ISSUED FOR | DATE |
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| REVIEW | 2-19-2022 |
| PLANNING REVIEW | 1-18-2023 |
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ARCHITECTURAL DESIGN

RESIDENTIAL
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2401 ORCHARD LANE, STE. 100
FARMINGTON, MICHIGAN 48338
PH: (248) 985-9101
WEB: WWW.GAVASSOCIATES.COM

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800 SOUTH HEWITT ROAD
YPSILANTI TOWNSHIP, MICHIGAN

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| DRAWN: | DESIGNED: | CHECKED: |
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| FILE NAME: 22060_A.503 | | |
| JOB #: 22060 | | |
| SHEET TITLE | | |
| ACCESSIBLE KING SUITE | | |
| SHEET # | | |
| A.503 | | |

GENERAL NOTES - GUESTROOMS:

- REFER TO 1/8" BUILDING FLOOR PLANS FOR OVERALL GUESTROOM DIMENSIONS, UNO AND WINDOW OPENING LOCATION ON EXTERIOR WALLS.
- DIMENSIONS ARE FROM GRIDLINES AND FROM FACE OF STRUCTURE, UNO.
- DEMISING WALLS AND LOAD BEARING WALLS ARE CENTERED ON GRIDLINES UNLESS OTHERWISE DIMENSIONED.
- WHEN NOTED WITH "FOF" DIMENSIONS ARE FROM FACE OF FINISH.
- DOOR AND WINDOW DIMENSIONS WHERE OCCUR ARE FROM FACE OF STUD TO CENTERLINE OF OPENINGS.
- CENTER SPRINKLER HEADS IN SPACES.
- PROVIDE BLOCKING FOR WALL MOUNTED FIXTURES, ACCESSORIES, EQUIPMENT, AND WINDOW TREATMENTS, INCLUDING BUT NOT LIMITED TO TV, MIRROR, SAFE, & HEADBOARD. MAINTAIN INTEGRITY OF FIRE RATING WHERE ACCESSORIES ARE LOCATED IN RATED WALL.
- FOR TYPICAL MOUNTING HEIGHTS, REFER TO THE 2000 AND A200 SERIES SHEETS.
- PLUMBING CHASES SHALL HAVE FIRESTOPS AT EACH FLOOR.
- MAINTAIN, BY CODE, MINIMUM REQUIRED SEPARATION BETWEEN GUESTROOMS AT PLUMBING CHASE WALLS.
- PROVIDE CARPET BASE TOE KICK UNDER PTAC UNITS.
- ALL ACCESSIBLE AND HEARING IMPAIRED UNITS TO HAVE STROBE & SOUND ACTIVATING DOORBELL WITH A 5 SECOND RING. PROVIDE DOORBELL ON/OFF SWITCH WITHIN GUESTROOMS, OR PER APPLICABLE CODE.
- CENTER LIGHT FIXTURES IN CEILING, UNO.
- ACC GUESTROOM ENTRY DOOR CLEARANCE WIDER THAN TYP GUESTROOM. SEE SHEET A601.
- GUESTROOM CEILING HEIGHTS, UNO.

| LEVEL | GUESTROOM | BATHROOM |
|----------|-----------|----------|
| LEVEL 1 | 10' - 0" | 8' - 0" |
| LEVEL 2+ | 8' - 0" | 7' - 6" |
- PROVIDE WALLS WITH AN STC RATINGS OF 60 MIN AT CONDITIONS WHERE GUESTROOM HEADBOARD WALL ADJOINS WITH PUBLIC SPACE OR WITH ADJACENT GUESTROOMS TV WALL.
- REFER TO THE A600 SERIES SHEETS FOR THE FINISH SCHEDULE.
- FOR ALL GUESTROOMS, PROVIDE A MINIMUM OF TWO POWER SOURCE OUTLETS THAT ARE OPEN AND ACCESSIBLE FROM THE BED(S), ADJACENT TO THE BED(S), FREE OF OBSTRUCTION, CLEARLY VISIBLE, AND DEDICATED TO THE GUESTS ON A COMPLIMENTARY BASIS. OUTLETS ALREADY BEING UTILIZED BY THE HOTEL FOR FF&E (LAMPS, RADIOS, ETC.) WHICH ARE NOT AVAILABLE FOR GUESTS USE WILL NOT MEET THIS REQUIREMENT.
- PROVIDE PTAC SLEEVE EXTENDING 16"-18" TO SHIELD DRAPERY FROM BILLOWING (TYPICAL).
- SEE ID SPECS FOR BED BASE, FRAME, MATTRESS & BEDDING.

GENERAL NOTES - ELECTRICAL:

- OUTLETS TO BE MOUNTED AT 18" AFF, UNO.
- CENTER VANITY FIXTURES OVER MIRRORS WHERE OCCURS.
- PROVIDE HARD-WIRED CONNECTION FOR TV.
- SPACING OF CORRIDOR LIGHTS SHALL BE BASED ON 20 FOOTCANDLES, MINIMUM, MAINTAINED.
- PROVIDE BATTERY BACKED-UP EXIT LIGHTS.
- CIRCUIT EGRESS AND EXIT LIGHTS INDEPENDENT FROM NON-EMERGENCY LIGHTS FOR REDUNDANCY.
- CONTROL ALL EXTERIOR LIGHTS BY PHOTOCCELL.
- PROVIDE INTERNET ACCESS AS REQUIRED BY CHOICE HOTELS
- PROVIDE POWER AND PHOTOCCELL TO INTERNALLY ILLUMINATED CHANNEL LETTERS AND LOGO PER SIGNAGE MANUFACTURER'S REQUIREMENTS.
- THE FOLLOWING FIXTURES ARE CORDED; DIVIDER SCONE, DIVIDER CABINET, HEADBOARD LIGHT, HEADBOARD SCONES, HEADBOARD POWERPACK, MEDIA PANEL, FLEX STATION, AMENITY TOWER.
- IN PUBLIC SPACE PROVIDE ZONE LIGHTING CONTROLS VIA GREENSATE LITEKEEPER LIGHTING CONTROL RELAY PANEL, LIGHT SWITCH BANK LOCATED IN WORKROOM WITH DIMMABLE FEATURE
- COORDINATE LOBBY ELECTRICAL LAYOUT WITH FF&E FOR PLAN - OPTION C

GENERAL NOTES - FF&E:

- FOR TYPICAL MOUNTING HEIGHT, REFER TO THE 2000 AND A200 SERIES SHEETS.
- PROVIDE BLOCKING FOR WALL MOUNTED FIXTURES, ACCESSORIES & EQUIPMENT.
- REFER TO THE A600 SERIES SHEETS FOR THE FINISH SCHEDULE.
- FOR FINISH PRODUCT DETAILS, REFER TO FF&E SPECIFICATIONS MANUAL.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR OPTIONAL FF&E FURNITURE AND FINISHES.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR RIGHT-HAND AND LEFT-HAND FF&E SPECIFICATIONS.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR LEFT-HAND AND RIGHT-HAND ROOM DEFINITIONS.
- LEFT-HAND ROOMS TYPICALLY RECEIVE LEFT-HAND FF&E ITEMS AND RIGHT-HAND ROOMS TYPICALLY RECEIVE RIGHT-HAND ITEMS, HOWEVER ANOMOLIES TO THIS ASSUMPTION MAY OCCUR. VERIFY EACH ROOM TYPE FOR ANOMOLIES TO THIS ASSUMPTION.

GENERAL NOTES - FINISHES:

- INSTALL ALL FINISHES PER MANUFACTURERS INSTRUCTIONS.
- PREPARE ALL FLOOR AND WALL SURFACES FOR NEW FINISHES. PROVIDE FLOOR LEVELING AS REQUIRED TO INSURE PROPER INSTALLATION OF PRODUCTS.
- ALL FLOORING MATERIALS TRANSITIONS SHALL OCCUR AT THE CENTERLINE OF DOORS SEPARATING ROOMS, UNO. DOOR THRESHOLD REQUIREMENTS TO BE COORDINATED WITH DOOR HARDWARE SPECIFICATIONS.
- FINISHES IN ACCESSORY SPACES TO MATCH ADJACENT SPACES, UNO.

NOTE: ALL GUESTROOM

 - WALL PAINT IS PT-001 OR OPTIONAL VYL-001 UNO ON INTERIOR ELEVATIONS.
 - CEILING PAINT IS FT-003 UNO ON ENLARGED RCP.
 - DOOR TRIM PAINT IS FT-002 UNO ON INTERIOR GUESTROOM DOORS.
 - ENTRY DOOR INSIDE STAINED TO MATCH CASEGOODS ST-003.
 - BATH DOOR AND BATH DOOR TRIM PAINT IS FT-002 UNO ON INTERIOR ELEVATIONS.
 - WALL BASE IS RB-001 UNO ON PLANS OR INTERIOR ELEVATIONS.
 - ALL ACCESSIBLE ROOMS TO PROVIDE REMOTELY SWITCHED MECHANIZED WINDOW TREATMENTS
 - CARPET PAD CPAD-001 TO BE USED IF CPT-001 IS INSTALLED.

NOTE: ALL GUESTROOM

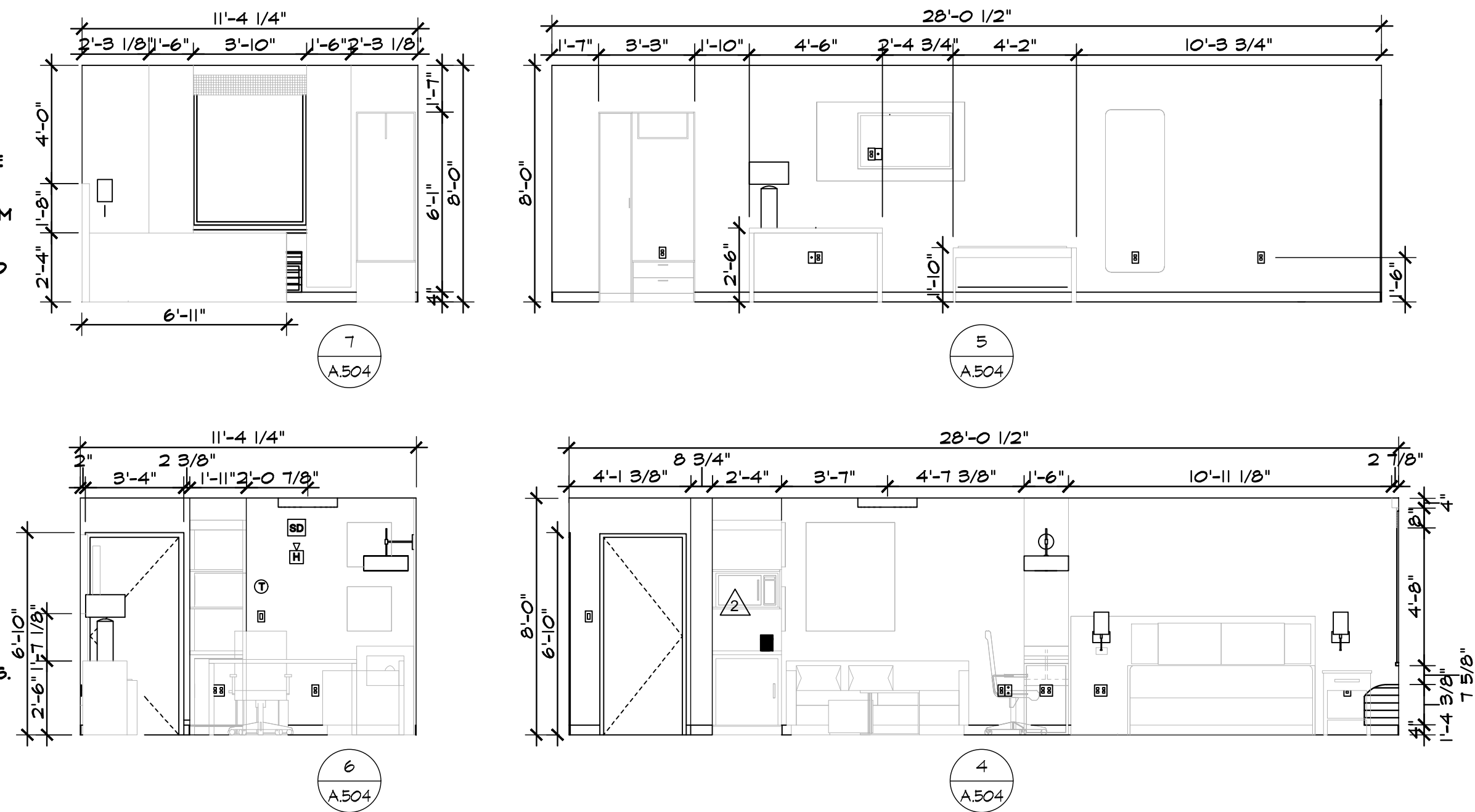
 - CEILING PAINT IS FT-003 UNO ON ENLARGED RCP.
 - WHERE ADJACENT CEILING ARE AT DIFFERENT HEIGHTS, PAINT THE ADJOINING SOFFIT TO MATCH THE COLOR OF THE LOWER CEILING.

NOTE: ALL GUESTROOM

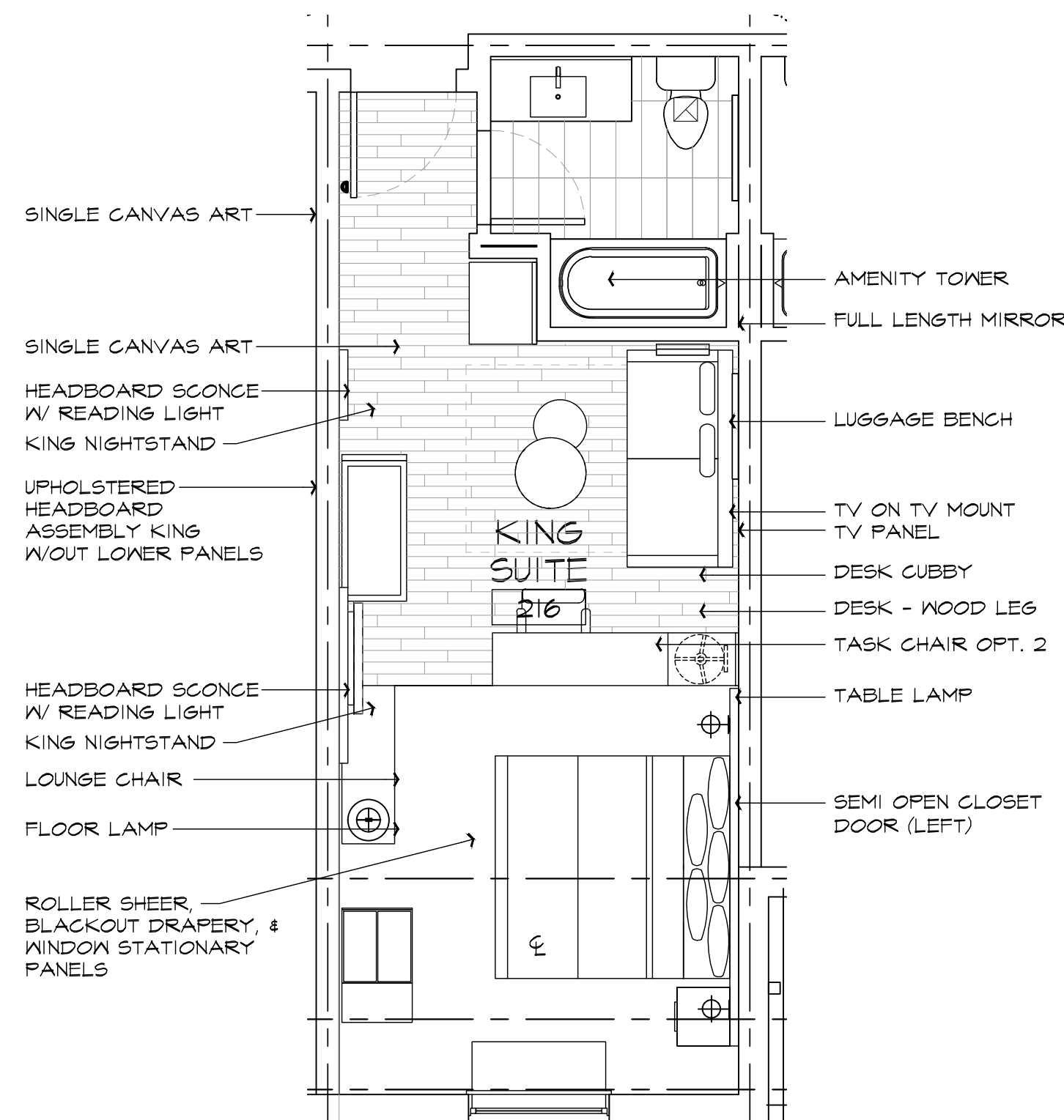
 - SEE THE A550 SERIES FOR BATHROOM DIMENSIONS

GUESTROOM FLOORING TRANSITION SCHEDULE:

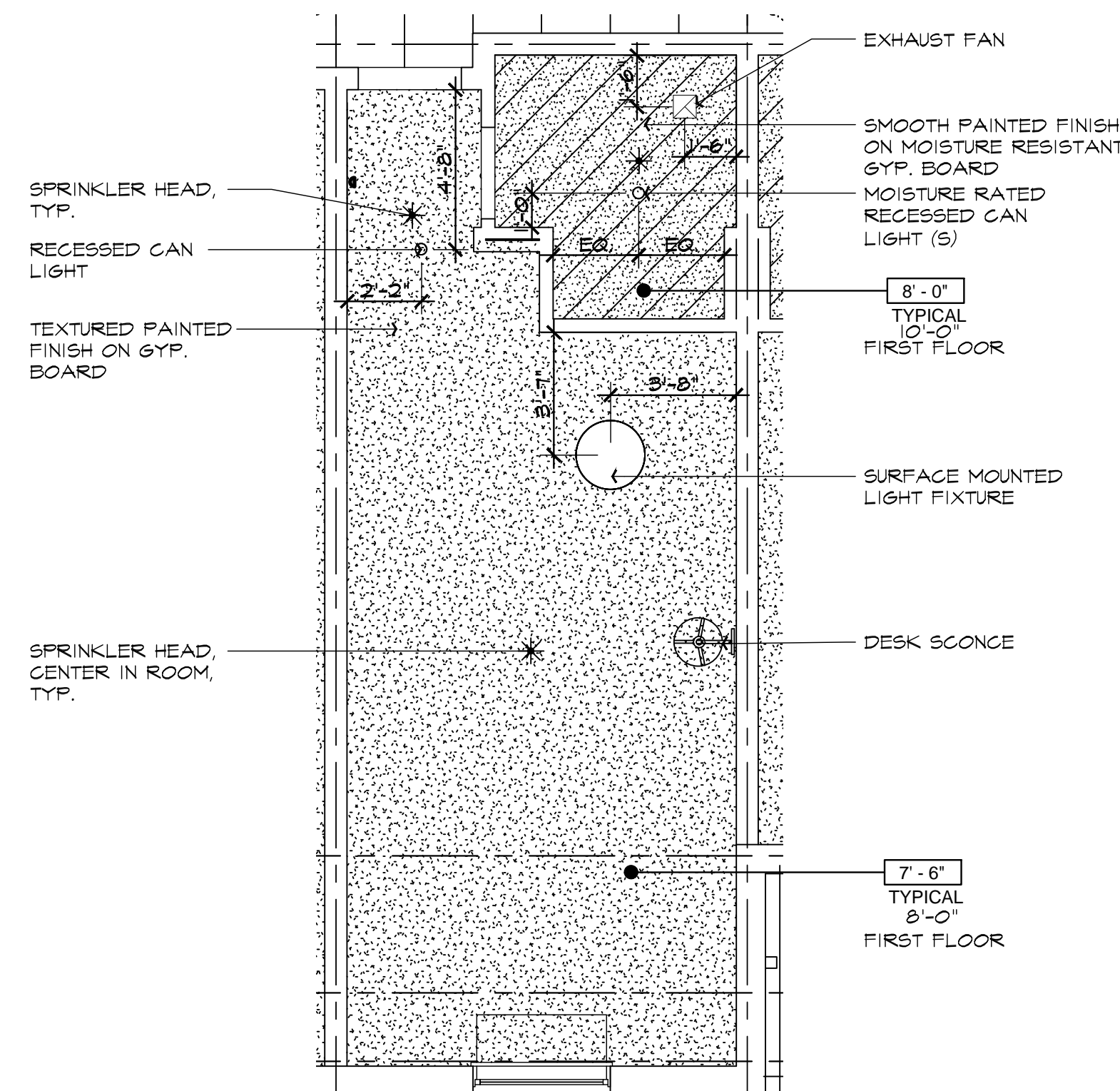
| ITEM # | DESCRIPTION | REMARKS |
|--------|----------------------------------------------|---------|
| TH-001 | LVT TO CARPET (AT ENTRY DOOR TO CORRIDOR) | |
| TH-001 | CARPET TO CARPET (AT ENTRY DOOR TO CORRIDOR) | |
| TH-002 | LVT TO TILE (AT BATHROOM DOOR) | |
| TH-002 | CARPET TO TILE (AT BATHROOM DOOR) | |
| TH-003 | LVT TO CARPET | |



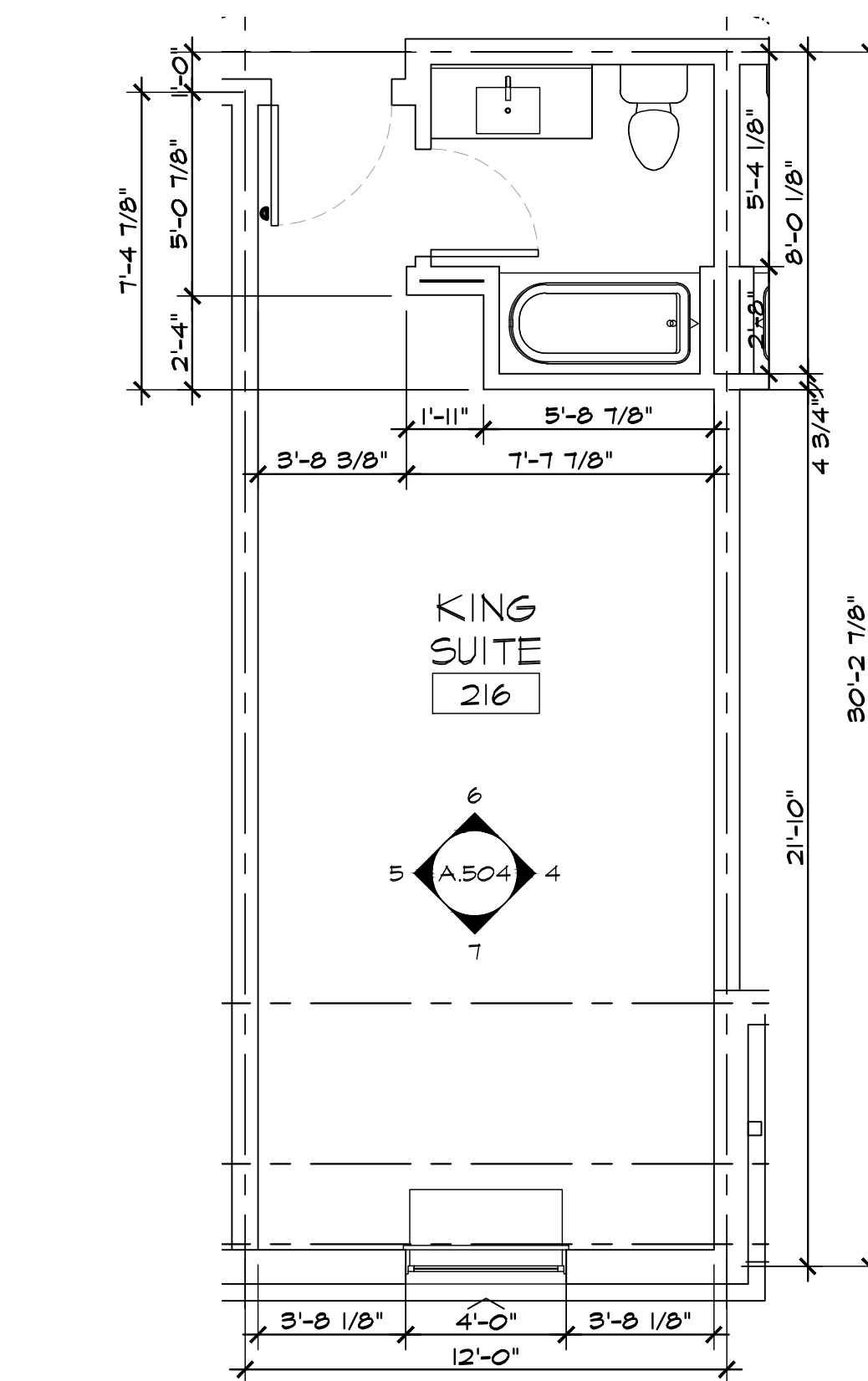
KING SUITE - ELEVATIONS
SCALE: 1/4" = 1'-0"



3 KING SUITE - FF&E PLAN
SCALE: 1/4" = 1'-0"



2 KING SUITE - REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



1 KING SUITE - ARCHITECTURAL PLAN
SCALE: 1/4" = 1'-0"

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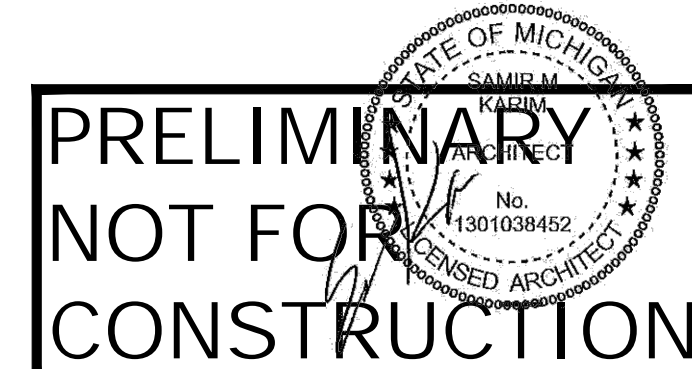
G.A.V. ASSOCIATES, INC.
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800 SOUTH HEWITT ROAD
YPSILANTI TOWNSHIP, MICHIGAN

| DRAWN: | DESIGNED: | CHECKED: |
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SCALE: 1/4" = 1'-0"
FILE NAME: 22060_A504
JOB #: 22060
SHEET TITLE
KING SUITE
PLANS & ELEVATIONS
SHEET #
A.504



PRELIMINARY
NOT FOR CONSTRUCTION

GENERAL NOTES - GUESTROOMS:

- REFER TO 1/8" BUILDING FLOOR PLANS FOR OVERALL GUESTROOM DIMENSIONS, UNO AND WINDOW OPENING LOCATION ON EXTERIOR WALLS.
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- DEMISING WALLS AND LOAD BEARING WALLS ARE CENTERED ON GRIDLINES UNLESS OTHERWISE DIMENSIONED.
- WHEN NOTED WITH "FOF" DIMENSIONS ARE FROM FACE OF FINISH.
- DOOR AND WINDOW DIMENSIONS WHERE OCCUR ARE FROM FACE OF STUD TO CENTERLINE OF OPENINGS.
- CENTER SPRINKLER HEADS IN SPACES.
- PROVIDE BLOCKING FOR WALL MOUNTED FIXTURES, ACCESSORIES, EQUIPMENT, AND WINDOW TREATMENTS, INCLUDING BUT NOT LIMITED TO TV, MIRROR, SAFE, & HEADBOARD. MAINTAIN INTEGRITY OF FIRE RATING WHERE ACCESSORIES ARE LOCATED IN RATED WALL.
- FOR TYPICAL MOUNTING HEIGHTS, REFER TO THE T000 AND A100 SERIES SHEETS.
- PLUMBING CHASES SHALL HAVE FIRESTOPS AT EACH FLOOR.
- MAINTAIN, BY CODE, MINIMUM REQUIRED SEPARATION BETWEEN GUESTROOMS AT PLUMBING CHASE WALLS.
- PROVIDE CARPET BASE TOE KICK UNDER PTAC UNITS.
- ALL ACCESSIBLE AND HEARING IMPAIRED UNITS TO HAVE STROBE & SOUND ACTIVATING DOORBELL WITH A 5 SECOND RING. PROVIDE DOORBELL ON/OFF SWITCH WITHIN GUESTROOMS, OR PER APPLICABLE CODE.
- CENTER LIGHT FIXTURES IN CEILING, UNO.
- ACC GUESTROOM ENTRY DOOR CLEARANCE WIDER THAN TYP GUESTROOM. SEE SHEET A601.
- GUESTROOM CEILING HEIGHTS, UNO.

| LEVEL | GUESTROOM | BATHROOM |
|----------|-----------|----------|
| LEVEL 1 | 10' - 0" | 8' - 0" |
| LEVEL 2+ | 8' - 0" | 7' - 6" |
- PROVIDE WALLS WITH AN STC RATINGS OF 60 MIN AT CONDITIONS WHERE GUESTROOM HEADBOARD WALL ADJOINS WITH PUBLIC SPACE OR WITH ADJACENT GUESTROOMS TV WALL.
- REFER TO THE A600 SERIES SHEETS FOR THE FINISH SCHEDULE.
- FOR ALL GUESTROOMS, PROVIDE A MINIMUM OF TWO POWER SOURCE OUTLETS THAT ARE OPEN AND ACCESSIBLE FROM THE BED(S), ADJACENT TO THE BED(S), FREE OF OBSTRUCTION, CLEARLY VISIBLE, AND DEDICATED TO THE GUESTS ON A COMPLIMENTARY BASIS. OUTLETS ALREADY BEING UTILIZED BY THE HOTEL FOR FF&E (LAMPS, RADIOS, ETC.) WHICH ARE NOT AVAILABLE FOR GUESTS USE WILL NOT MEET THIS REQUIREMENT.
- PROVIDE PTAC SLEEVE EXTENDING 16"-18" TO SHIELD DRAPERY FROM BILLOWING (TYPICAL).
- SEE ID SPECS FOR BED BASE, FRAME, MATTRESS & BEDDING.

GUESTROOM FLOORING TRANSITION SCHEDULE:

| ITEM # | DESCRIPTION | REMARKS |
|--------|----------------------------------------------|---------|
| TH-001 | LVT TO CARPET (AT ENTRY DOOR TO CORRIDOR) | |
| TH-001 | CARPET TO CARPET (AT ENTRY DOOR TO CORRIDOR) | |
| TH-002 | LVT TO TILE (AT BATHROOM DOOR) | |
| TH-002 | CARPET TO TILE (AT BATHROOM DOOR) | |
| TH-003 | LVT TO CARPET | |

GENERAL NOTES - ELECTRICAL:

- OUTLETS TO BE MOUNTED AT 18" AFF, UNO.
- CENTER VANITY FIXTURES OVER MIRRORS WHERE OCCURS.
- PROVIDE HARD-WIRED CONNECTION FOR TV.
- SPACING OF CORRIDOR LIGHTS SHALL BE BASED ON 20 FOOTCANDLES, MINIMUM, MAINTAINED.
- PROVIDE BATTERY BACKED-UP EXIT LIGHTS.
- CIRCUIT EGRESS AND EXIT LIGHTS INDEPENDENT FROM NON-EMERGENCY LIGHTS FOR REDUNDANCY.
- CONTROL ALL EXTERIOR LIGHTS BY PHOTOCELL.
- PROVIDE INTERNET ACCESS AS REQUIRED BY CHOICE HOTELS
- PROVIDE POWER AND PHOTOCELL TO INTERNALLY ILLUMINATED CHANNEL LETTERS AND LOGO PER SIGNAGE MANUFACTURER'S REQUIREMENTS.
- THE FOLLOWING FIXTURES ARE CORDED: DIVIDER SCONE, DIVIDER CABINET, HEADBOARD LIGHT, HEADBOARD SCONGES, HEADBOARD POWERPACK, MEDIA PANEL, FLEX STATION, AMENITY TOWER.
- IN PUBLIC SPACE PROVIDE ZONE LIGHTING CONTROLS VIA GREENSATE LITEKEEPER LIGHTING CONTROL RELAY PANEL, LIGHT SWITCH BANK LOCATED IN WORKROOM WITH DIMMABLE FEATURE
- COORDINATE LOBBY ELECTRICAL LAYOUT WITH FF&E FOR PLAN - OPTION C

GENERAL NOTES - FINISHES:

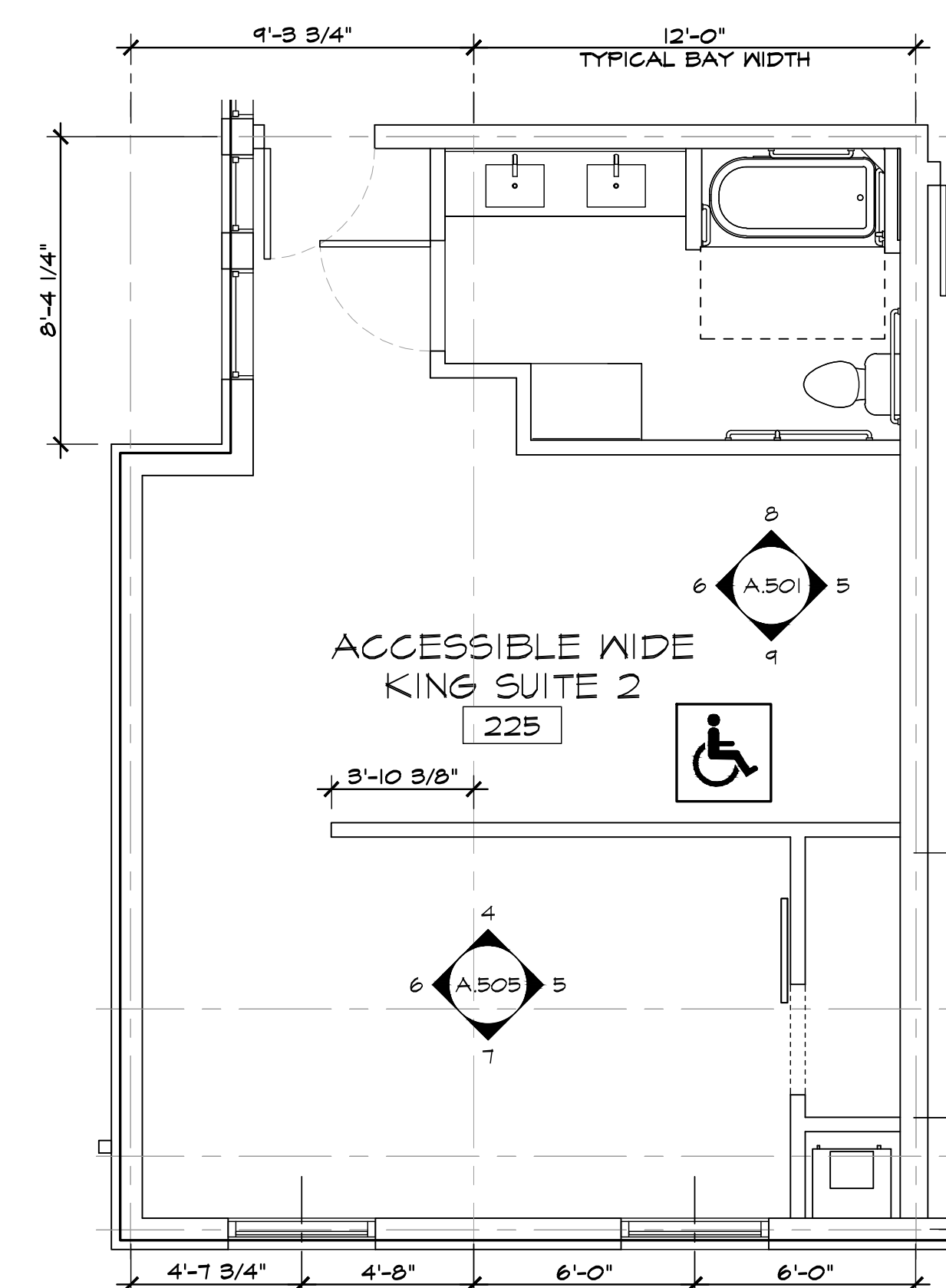
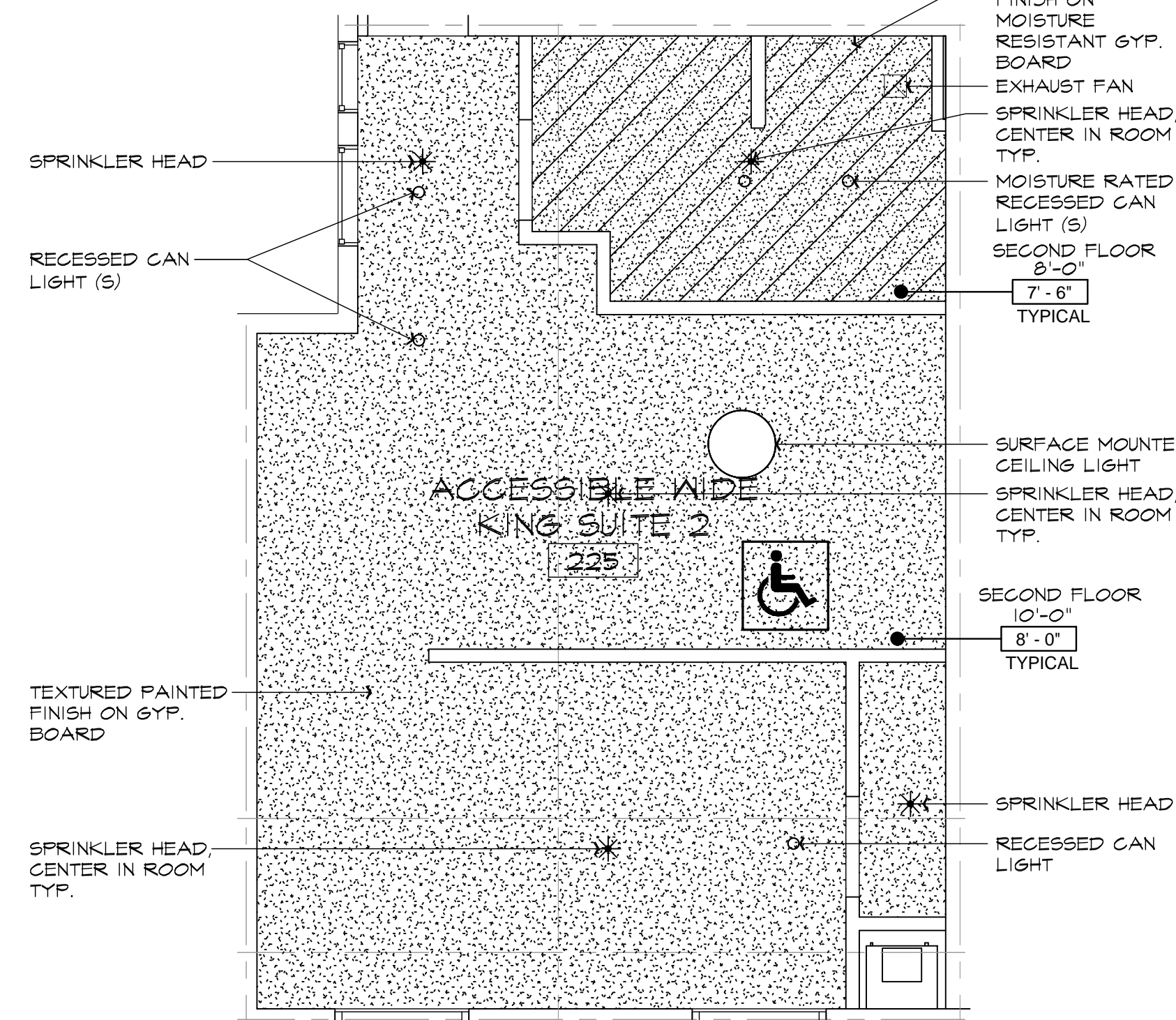
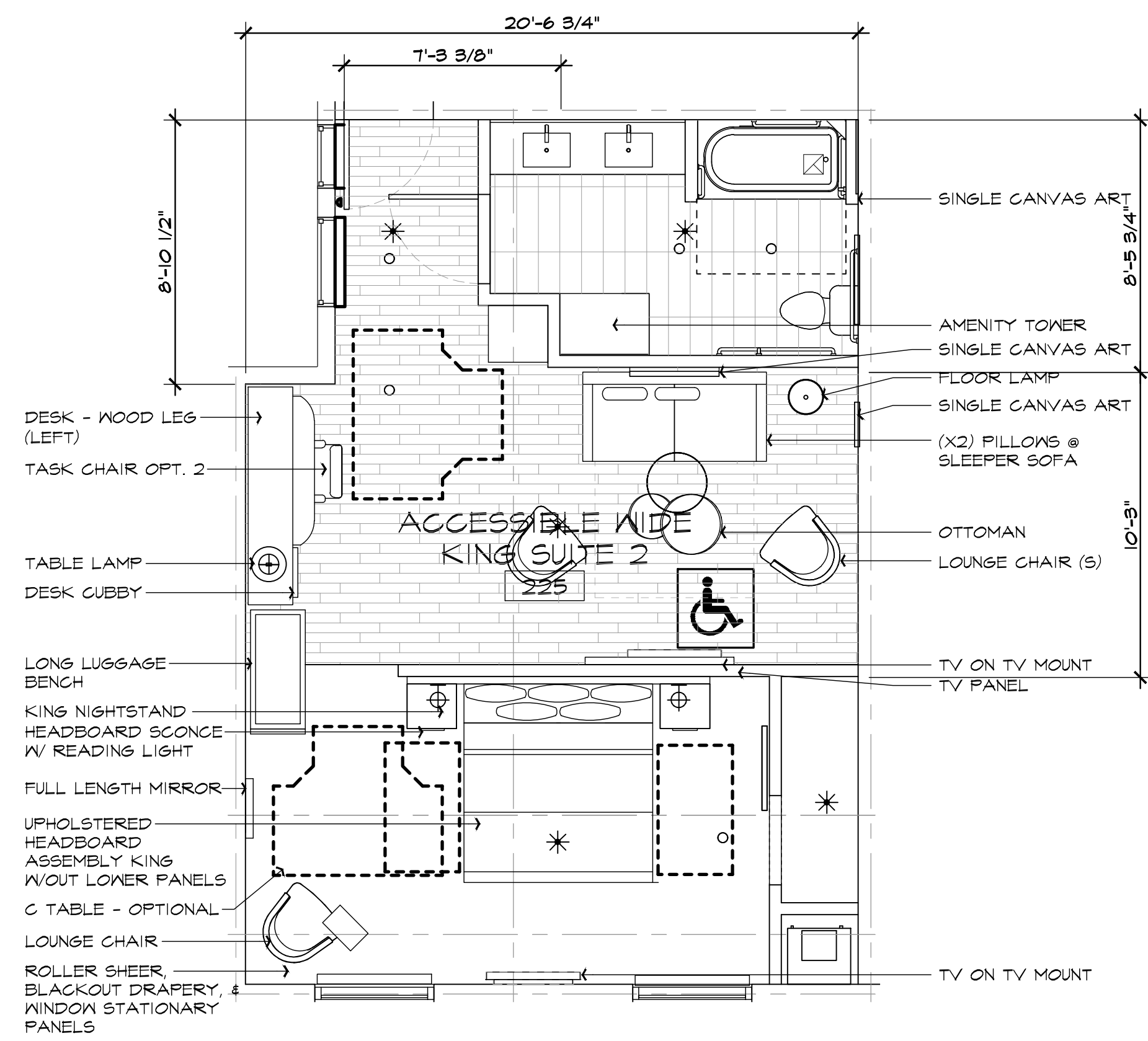
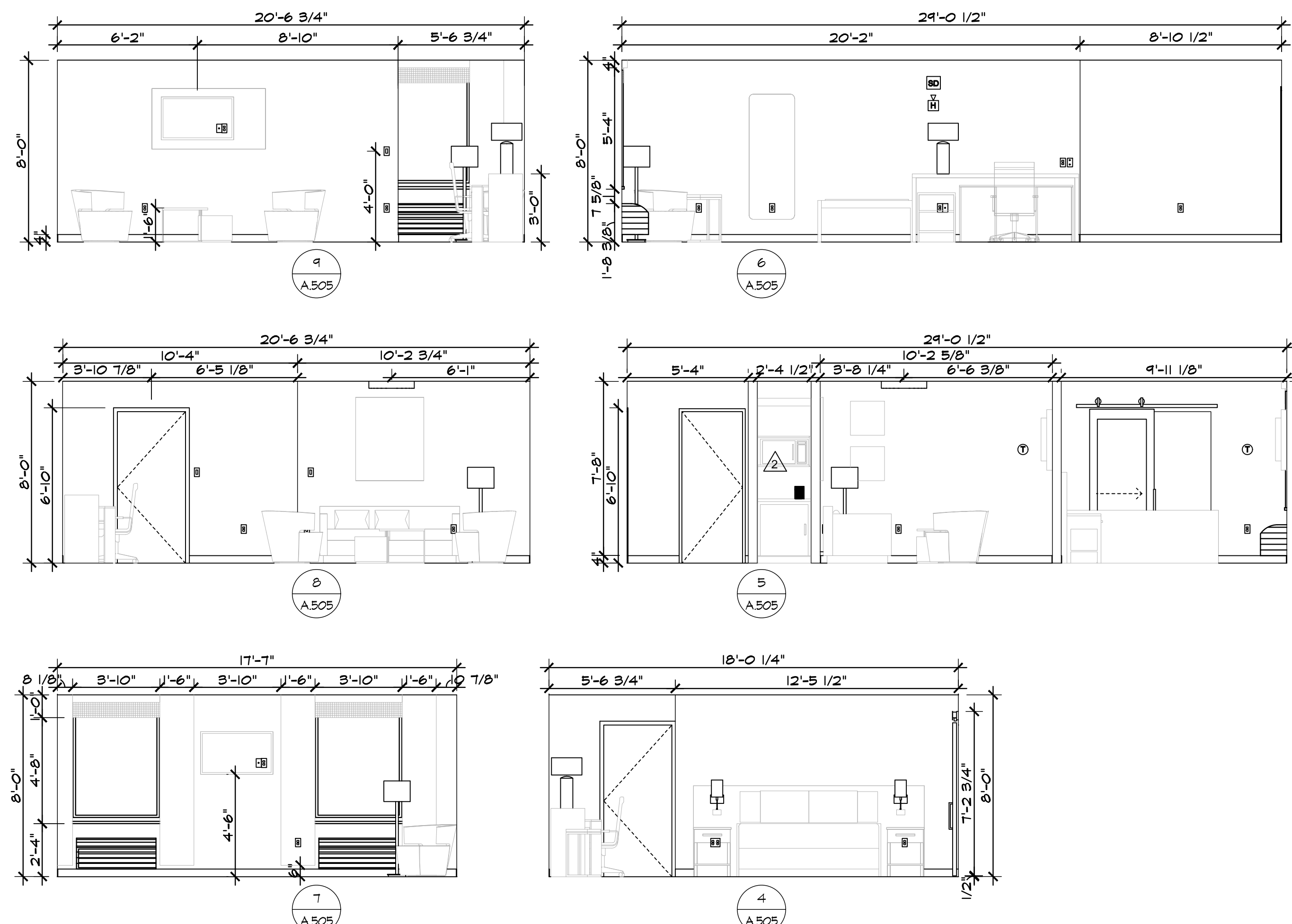
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 - ALL FLOORING MATERIALS TRANSITIONS SHALL OCCUR AT THE CENTERLINE OF DOORS SEPARATING ROOMS, UNO. DOOR THRESHOLD REQUIREMENTS TO BE COORDINATED WITH DOOR HARDWARE SPECIFICATIONS.
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- NOTE: ALL GUESTROOM**
- WALL PAINT IS PT-001 OR OPTIONAL VYL-001 UNO ON INTERIOR ELEVATIONS.
 - CEILING PAINT IS PT-003 UNO ON ENLARGED RCP.
 - DOOR TRIM PAINT IS PT-002 UNO ON INTERIOR GUESTROOM DOORS.
 - ENTRY DOOR INSIDE STAINED TO MATCH CASEGOODS ST-003.
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 - WALL BASE IS RB-001 UNO ON PLANS OR INTERIOR ELEVATIONS.
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- NOTE: ALL GUESTROOM**
- CEILING PAINT IS PT-003 UNO ON ENLARGED RCP.
 - WHERE ADJACENT CEILINGS ARE AT DIFFERENT HEIGHTS, PAINT THE ADJOINING SOFFIT TO MATCH THE COLOR OF THE LOWER CEILING.

- NOTE: ALL GUESTROOM**
- SEE THE A550 SERIES FOR BATHROOM DIMENSIONS

GENERAL NOTES - FF&E:

- FOR TYPICAL MOUNTING HEIGHT, REFER TO THE T000 AND A100 SERIES SHEETS.
- PROVIDE BLOCKING FOR WALL MOUNTED FIXTURES, ACCESSORIES & EQUIPMENT.
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- REFER TO FF&E SPECIFICATIONS MANUAL FOR OPTIONAL FF&E FURNITURE AND FINISHES.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR LEFT-HAND AND RIGHT-HAND ROOM DEFINITIONS.
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G.A.V. ASSOCIATES, INC
2401 ORCHARD LAKE RD, STE 100
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| DRAWN: | DESIGNED: | CHECKED: |
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| SCALE: 1/4" = 1'-0" | | |
| FILE NAME: 22060_A505 | | |
| JOB #: 22060 | | |
| SHEET TITLE | | |
| ACC. WIDE KING SUITE PLANS & ELEVATIONS | | |
| SHEET # | | |
| A.505 | | |

PRELIMINARY
NOT FOR CONSTRUCTION

GENERAL NOTES - GUESTROOMS:

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- CENTER LIGHT FIXTURES IN CEILING, UNO.
- ACC GUESTROOM ENTRY DOOR CLEARANCE WIDER THAN TYP GUESTROOM. SEE SHEET A601.
- GUESTROOM CEILING HEIGHTS, UNO:

| LEVEL | GUESTROOM | BATHROOM |
|----------|-----------|----------|
| LEVEL 1 | 10' - 0" | 8' - 0" |
| LEVEL 2+ | 8' - 0" | 7' - 6" |
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- REFER TO THE A600 SERIES SHEETS FOR THE FINISH SCHEDULE.
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- PROVIDE PTAC SLEEVE EXTENDING 16"-18" TO SHIELD DRAPERY FROM BILLOWING (TYPICAL).
- SEE ID SPECS FOR BED BASE, FRAME, MATTRESS & BEDDING.

GENERAL NOTES - ELECTRICAL:

- OUTLETS TO BE MOUNTED AT 18" AFF, UNO.
- CENTER VANITY FIXTURES OVER MIRRORS WHERE OCCURS.
- PROVIDE HARD-WIRED CONNECTION FOR TV.
- SPACING OF CORRIDOR LIGHTS SHALL BE BASED ON 20 FOOTCANDLES, MINIMUM, MAINTAINED.
- PROVIDE BATTERY BACKED-UP EXIT LIGHTS.
- CIRCUIT EGRESS AND EXIT LIGHTS INDEPENDENT FROM NON-EMERGENCY LIGHTS FOR REDUNDANCY.
- CONTROL ALL EXTERIOR LIGHTS BY PHOTOCCELL.
- PROVIDE INTERNET ACCESS AS REQUIRED BY CHOICE HOTELS.
- PROVIDE POWER AND PHOTOCCELL TO INTERNALLY ILLUMINATED CHANNEL LETTERS AND LOGO PER SIGNAGE MANUFACTURER'S REQUIREMENTS.
- THE FOLLOWING FIXTURES ARE CORDED: DIVIDER SCONE, DIVIDER CABINET, HEADBOARD LIGHT, HEADBOARD SCONES, HEADBOARD POWERPACK, MEDIA PANEL, FLEX STATION, AMENITY TOWER.
- IN PUBLIC SPACE PROVIDE ZONE LIGHTING CONTROLS VIA GREENSAFE LITEKEEPER LIGHTING CONTROL RELAY PANEL, LIGHT SWITCH BANK LOCATED IN WORKROOM WITH DIMMABLE FEATURE.
- COORDINATE LOBBY ELECTRICAL LAYOUT WITH FF&E FOR PLAN - OPTION C

GENERAL NOTES - FF&E:

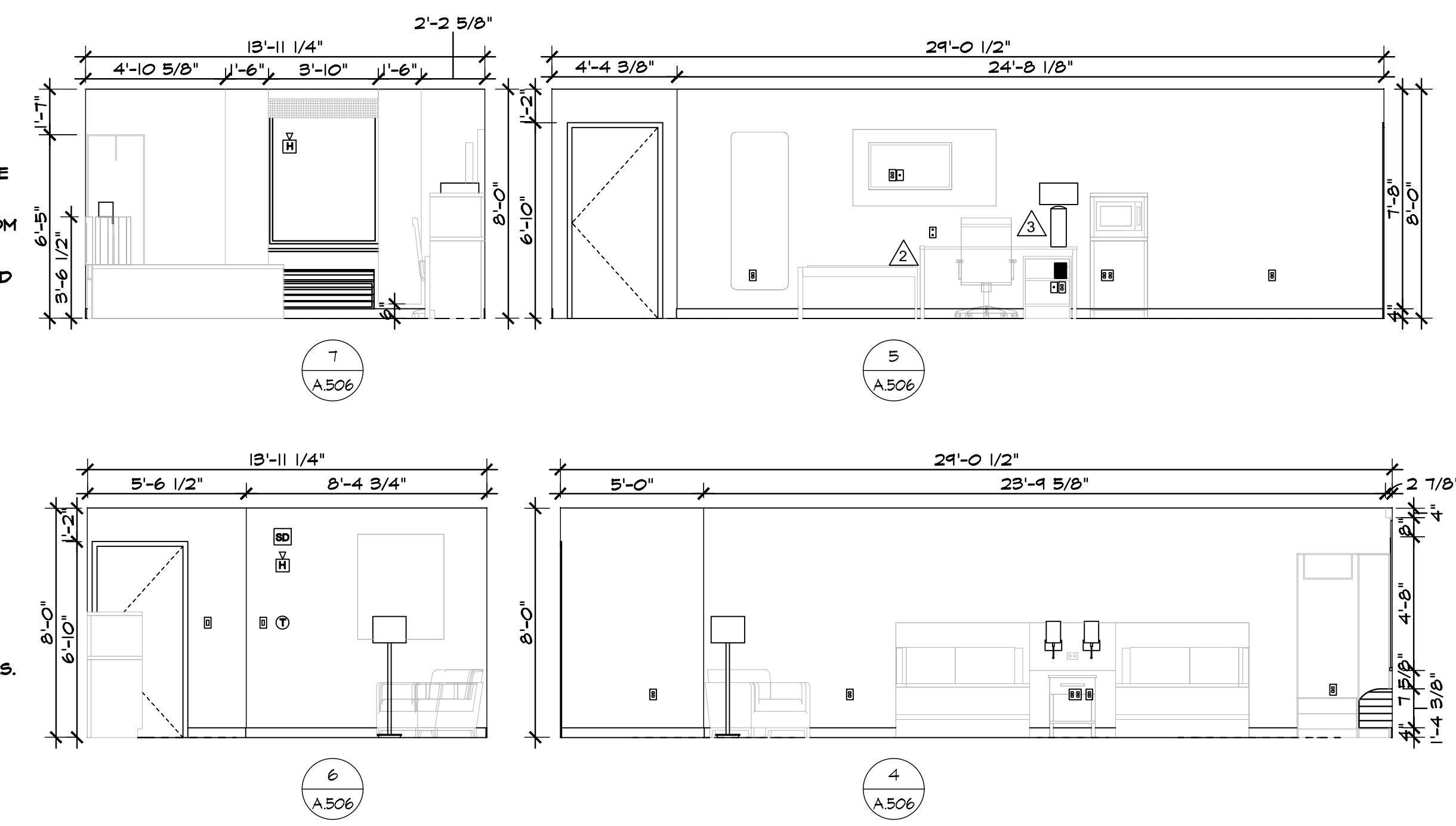
- FOR TYPICAL MOUNTING HEIGHT, REFER TO THE 2000 AND A200 SERIES SHEETS.
- PROVIDE BLOCKING FOR WALL MOUNTED FIXTURES, ACCESSORIES & EQUIPMENT.
- REFER TO THE A600 SERIES SHEETS FOR THE FINISH SCHEDULE.
- FOR FINISH PRODUCT DETAILS, REFER TO FF&E SPECIFICATIONS MANUAL.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR OPTIONAL FF&E FURNITURE AND FINISHES.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR RIGHT-HAND AND LEFT-HAND FF&E SPECIFICATIONS.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR LEFT-HAND AND RIGHT-HAND ROOM DEFINITIONS.
- LEFT-HAND ROOMS TYPICALLY RECEIVE LEFT-HAND FF&E ITEMS AND RIGHT-HAND ROOMS TYPICALLY RECEIVE RIGHT-HAND ITEMS, HOWEVER, ANOMOLIES TO THIS ASSUMPTION MAY OCCUR. VERIFY EACH ROOM TYPE FOR ANOMOLIES TO THIS ASSUMPTION.

GENERAL NOTES - FINISHES:

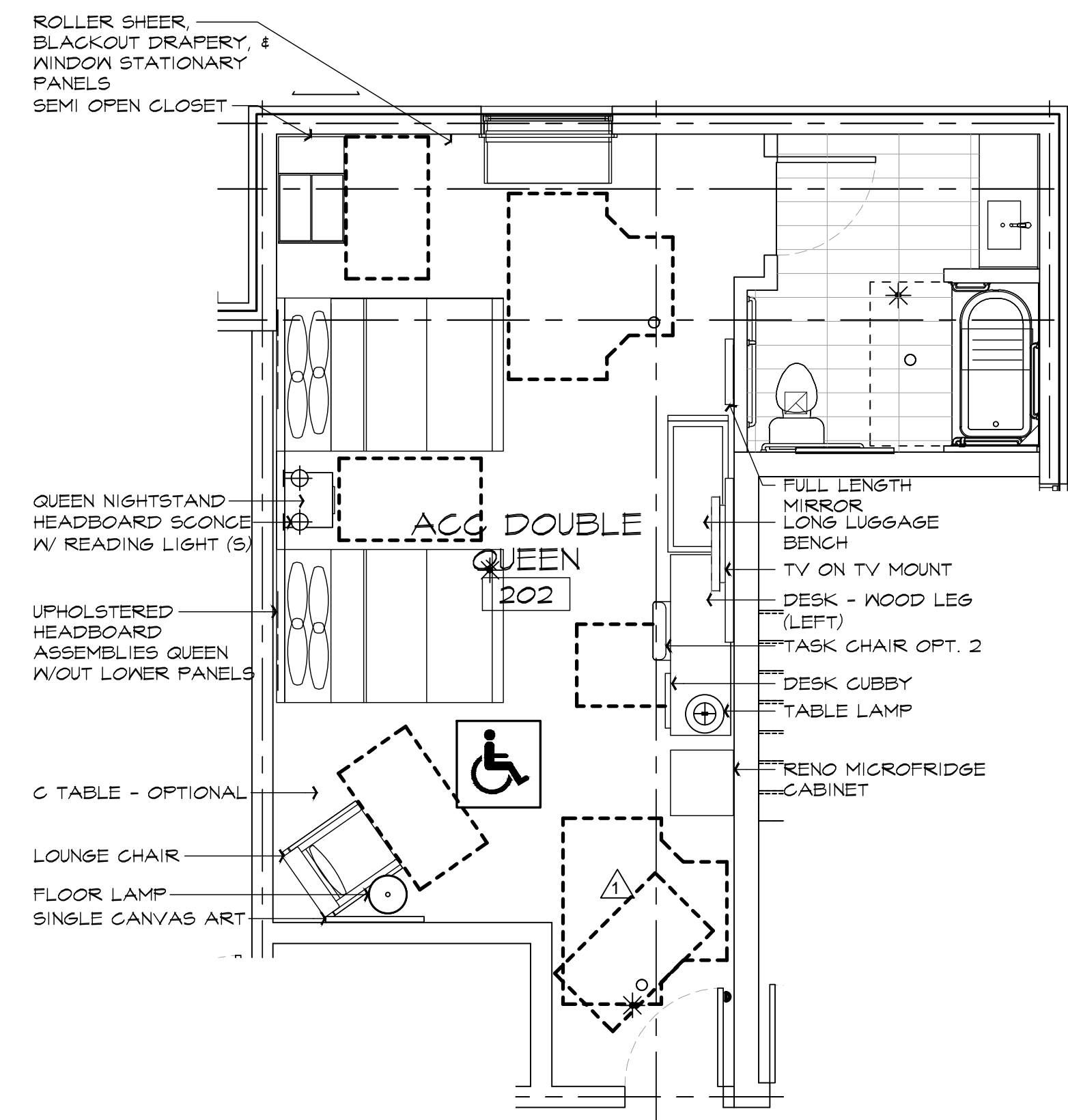
- INSTALL ALL FINISHES PER MANUFACTURERS INSTRUCTIONS.
 - PREPARE ALL FLOOR AND WALL SURFACES FOR NEW FINISHES. PROVIDE FLOOR LEVELING AS REQUIRED TO INSURE PROPER INSTALLATION OF PRODUCT(S).
 - ALL FLOORING MATERIALS TRANSITIONS SHALL OCCUR AT THE CENTERLINE OF DOORS SEPARATING ROOMS, UNO. DOOR THRESHOLD REQUIREMENTS TO BE COORDINATED WITH DOOR HARDWARE SPECIFICATIONS.
 - FINISHES IN ACCESSORY SPACES TO MATCH ADJACENT SPACES, UNO.
- NOTE: ALL GUESTROOM**
- WALL PAINT IS FT-001 OR OPTIONAL VYL-001 UNO ON INTERIOR ELEVATIONS.
 - CEILING PAINT IS FT-003 UNO ON ENLARGED RCP.
 - DOOR TRIM PAINT IS FT-002 UNO ON INTERIOR GUESTROOM DOORS.
 - ENTRY DOOR INSIDE STAINED TO MATCH CASEWORKS ST-003.
 - BATH DOOR AND BATH DOOR TRIM PAINT IS FT-002 UNO ON INTERIOR ELEVATIONS.
 - WALL BASE IS RB-001 UNO ON PLANS OR INTERIOR ELEVATIONS.
 - ALL ACCESSIBLE ROOMS TO PROVIDE REMOTELY SWITCHED MECHANIZED WINDOW TREATMENTS.
 - CARPET PAD CPAD-001 TO BE USED IF CPT-001 IS INSTALLED.
- NOTE: ALL GUESTROOM**
- CEILING PAINT IS FT-003 UNO ON ENLARGED RCP.
 - WHERE ADJACENT CEILINGS ARE AT DIFFERENT HEIGHTS, PAINT THE ADJOINING SOFFIT TO MATCH THE COLOR OF THE LOWER CEILING.
- NOTE: ALL GUESTROOM**
- SEE THE A550 SERIES FOR BATHROOM DIMENSIONS

GUESTROOM FLOORING TRANSITION SCHEDULE:

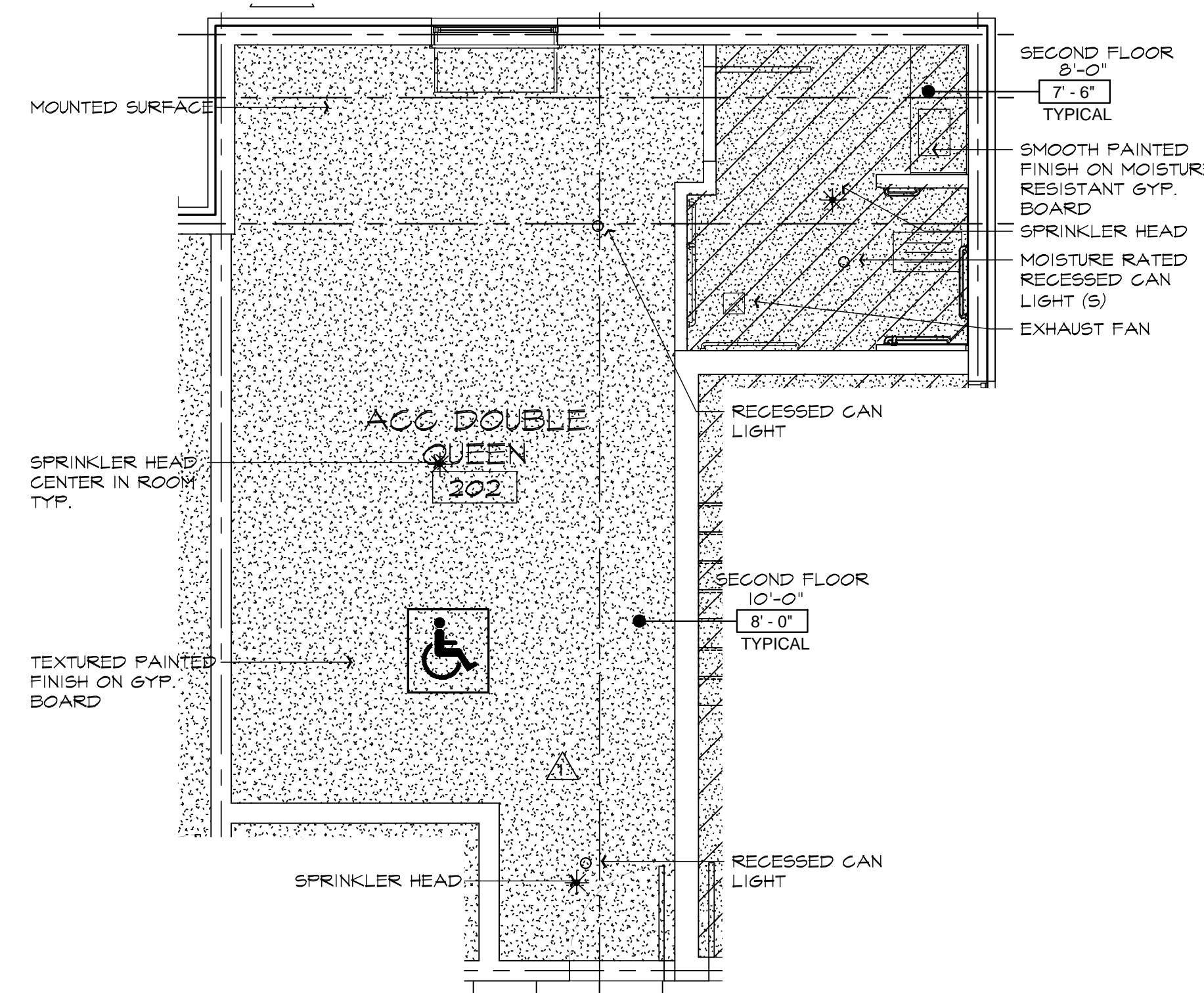
| ITEM # | DESCRIPTION | REMARKS |
|--------|----------------------------------------------|---------|
| TH-001 | LVT TO CARPET (AT ENTRY DOOR TO CORRIDOR) | |
| TH-001 | CARPET TO CARPET (AT ENTRY DOOR TO CORRIDOR) | |
| TH-002 | LVT TO TILE (AT BATHROOM DOOR) | |
| TH-002 | CARPET TO TILE (AT BATHROOM DOOR) | |
| TH-003 | LVT TO CARPET | |



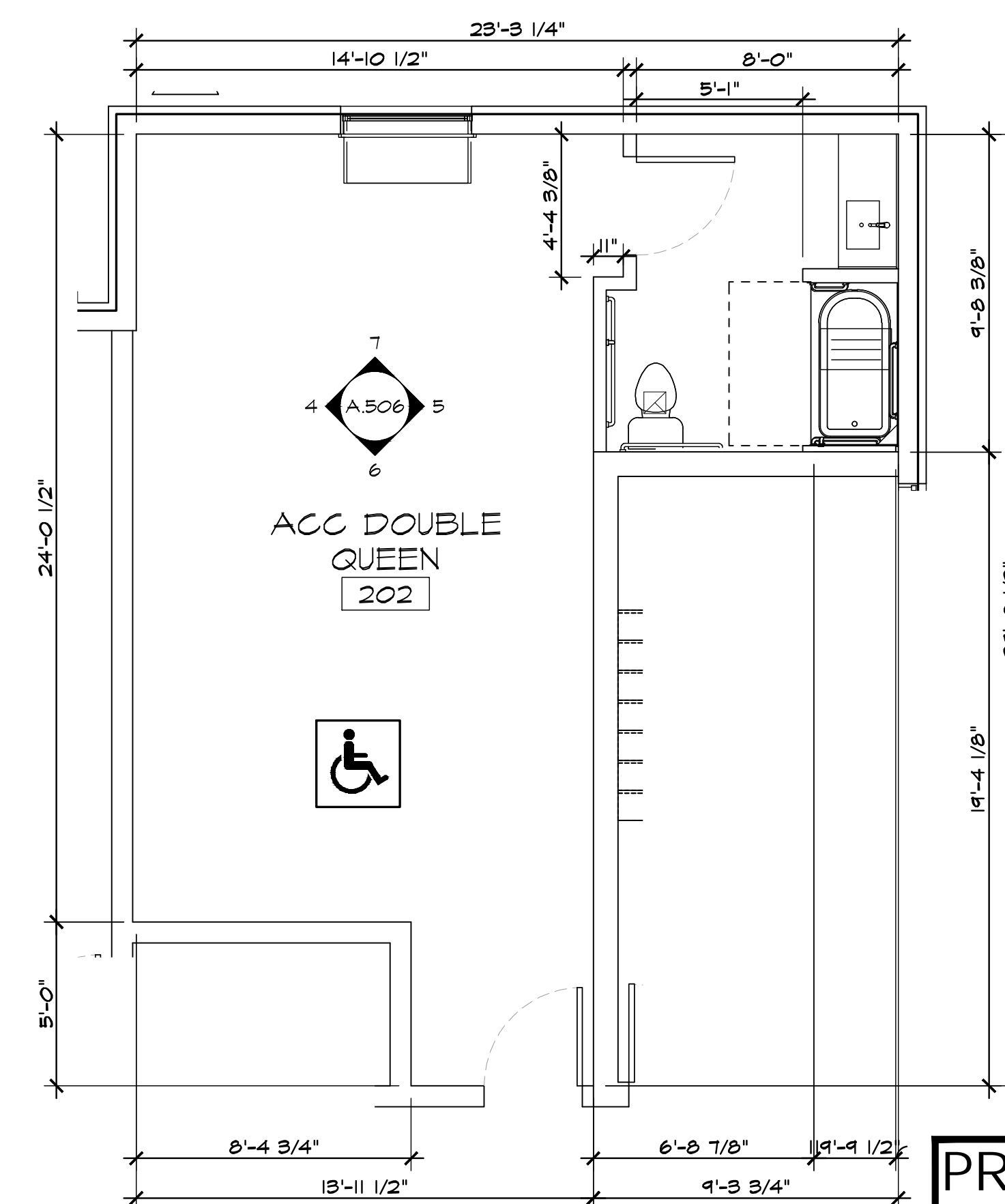
ACCESSIBLE QUEEN DOUBLE - ELEVATIONS
SCALE: 1/4" = 1'-0"



ACCESSIBLE QUEEN DOUBLE - FF&E PLAN
SCALE: 1/4" = 1'-0"



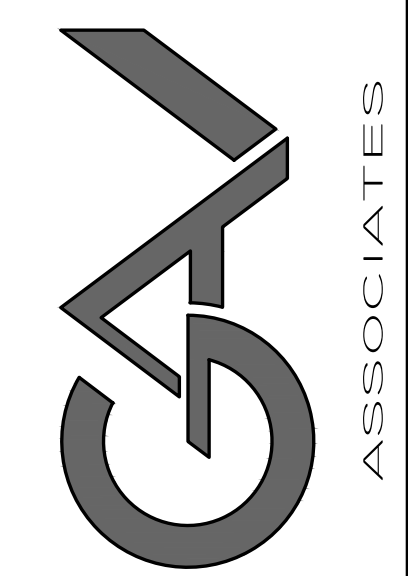
ACCESSIBLE QUEEN DOUBLE - RCP
SCALE: 1/4" = 1'-0"



ACCESSIBLE QUEEN DOUBLE - ARCH. PLAN
SCALE: 1/4" = 1'-0"

| ISSUED FOR | DATE |
|-----------------|-----------|
| REVIEW | 2-19-2022 |
| PLANNING REVIEW | 1-18-2023 |
| PLANNING REVIEW | 4-21-2023 |
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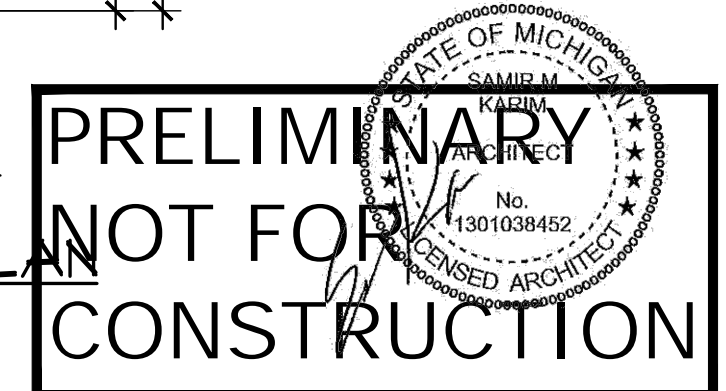
ARCHITECTURAL DESIGN
RESIDENTIAL
COMMERCIAL
INDUSTRIAL
G.A.V. ASSOCIATES, INC
2401 ORCHARD LANE, STE. 100
FARMINGTON, MICHIGAN 48338
PH: (248) 985-9101
WEB: WWW.GAVASSOCIATES.COM



TAP RESOURCES
3241 CARLETON ROAD
HILLSDALE, MICHIGAN 49242
MR. TAPAN PATEL
phone: 517-610-2417

PROPOSED NEW HOTEL FOR CHOICE HOTELS:
COMFORT INN & SUITES - M1502
800 SOUTH HEWITT ROAD
YPSILANTI TOWNSHIP, MICHIGAN

| DRAWN: | DESIGNED: | CHECKED: |
|------------------------------------------------------|-----------|----------|
| | | |
| SCALE: 1/4" = 1'-0" | | |
| FILE NAME: 22060_A506 | | |
| JOB #: 22060 | | |
| SHEET TITLE | | |
| ACCESSIBLE DOUBLE QUEEN GUESTROOM PLANS & ELEVATIONS | | |
| SHEET # | | |
| A.506 | | |



PRELIMINARY NOT FOR CONSTRUCTION

GENERAL NOTES - GUESTROOMS:

- REFER TO 1/8" BUILDING FLOOR PLANS FOR OVERALL GUESTROOM DIMENSIONS, UNO AND WINDOW OPENING LOCATION ON EXTERIOR WALLS.
- DIMENSIONS ARE FROM GRIDLINES AND FROM FACE OF STRUCTURE, UNO.
- DEMISING WALLS AND LOAD BEARING WALLS ARE CENTERED ON GRIDLINES UNLESS OTHERWISE DIMENSIONED.
- WHEN NOTED WITH "FOF" DIMENSIONS ARE FROM FACE OF FINISH.
- DOOR AND WINDOW DIMENSIONS WHERE OCCUR ARE FROM FACE OF STUD TO CENTERLINE OF OPENINGS.
- CENTER SPRINKLER HEADS IN SPACES.
- PROVIDE BLOCKING FOR WALL MOUNTED FIXTURES, ACCESSORIES, EQUIPMENT, AND WINDOW TREATMENTS, INCLUDING BUT NOT LIMITED TO TV, MIRROR, SAFE, & HEADBOARD. MAINTAIN INTEGRITY OF FIRE RATING WHERE ACCESSORIES ARE LOCATED IN RATED WALL.
- FOR TYPICAL MOUNTING HEIGHTS, REFER TO THE 2000 AND A200 SERIES SHEETS.
- PLUMBING CHASES SHALL HAVE FIRESTOPS AT EACH FLOOR.
- MAINTAIN, BY CODE, MINIMUM REQUIRED SEPARATION BETWEEN GUESTROOMS AT PLUMBING CHASE WALLS.
- PROVIDE CARPET BASE TOE KICK UNDER PTAC UNITS.
- ALL ACCESSIBLE AND HEARING IMPAIRED UNITS TO HAVE STROBE & SOUND ACTIVATING DOORBELL WITH A 5 SECOND RING. PROVIDE DOORBELL ON/OFF SWITCH WITHIN GUESTROOMS, OR PER APPLICABLE CODE.
- CENTER LIGHT FIXTURES IN CEILING, UNO.
- ACC GUESTROOM ENTRY DOOR CLEARANCE WIDER THAN TYP GUESTROOM. SEE SHEET A601.
- GUESTROOM CEILING HEIGHTS, UNO:

| LEVEL | GUESTROOM | BATHROOM |
|----------|-----------|----------|
| LEVEL 1 | 10' - 0" | 8' - 0" |
| LEVEL 2+ | 8' - 0" | 7' - 6" |
- PROVIDE WALLS WITH AN STC RATINGS OF 60 MIN AT CONDITIONS WHERE GUESTROOM HEADBOARD WALL ADJOINS WITH PUBLIC SPACE OR WITH ADJACENT GUESTROOMS TV WALL.
- REFER TO THE A600 SERIES SHEETS FOR THE FINISH SCHEDULE.
- FOR ALL GUESTROOMS, PROVIDE A MINIMUM OF TWO POWER SOURCE OUTLETS THAT ARE OPEN AND ACCESSIBLE FROM THE BED(S), ADJACENT TO THE BED(S), FREE OF OBSTRUCTION, CLEARLY VISIBLE, AND DEDICATED TO THE GUESTS ON A COMPLIMENTARY BASIS. OUTLETS ALREADY BEING UTILIZED BY THE HOTEL FOR FF&E (LAMPS, RADIOS, ETC.) WHICH ARE NOT AVAILABLE FOR GUESTS USE WILL NOT MEET THIS REQUIREMENT.
- PROVIDE PTAC SLEEVE EXTENDING 16"-18" TO SHIELD DRAPERY FROM BILLOWING (TYPICAL).
- SEE ID SPECS FOR BED BASE, FRAME, MATTRESS & BEDDING.

GENERAL NOTES - ELECTRICAL:

- OUTLETS TO BE MOUNTED AT 18" AFF, UNO.
- CENTER VANITY FIXTURES OVER MIRRORS WHERE OCCURS.
- PROVIDE HARD-WIRED CONNECTION FOR TV.
- SPACING OF CORRIDOR LIGHTS SHALL BE BASED ON 20 FOOTCANDLES, MINIMUM, MAINTAINED.
- PROVIDE BATTERY BACKED-UP EXIT LIGHTS.
- CIRCUIT EGRESS AND EXIT LIGHTS INDEPENDENT FROM NON-EMERGENCY LIGHTS FOR REDUNDANCY.
- CONTROL ALL EXTERIOR LIGHTS BY PHOTOCCELL.
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- IN PUBLIC SPACE PROVIDE ZONE LIGHTING CONTROLS VIA GREENGATE LITEKEEPER LIGHTING CONTROL RELAY PANEL, LIGHT SWITCH BANK LOCATED IN WORKROOM WITH DIMMABLE FEATURE
- COORDINATE LOBBY ELECTRICAL LAYOUT WITH FF&E FOR PLAN - OPTION C

GENERAL NOTES - FF&E:

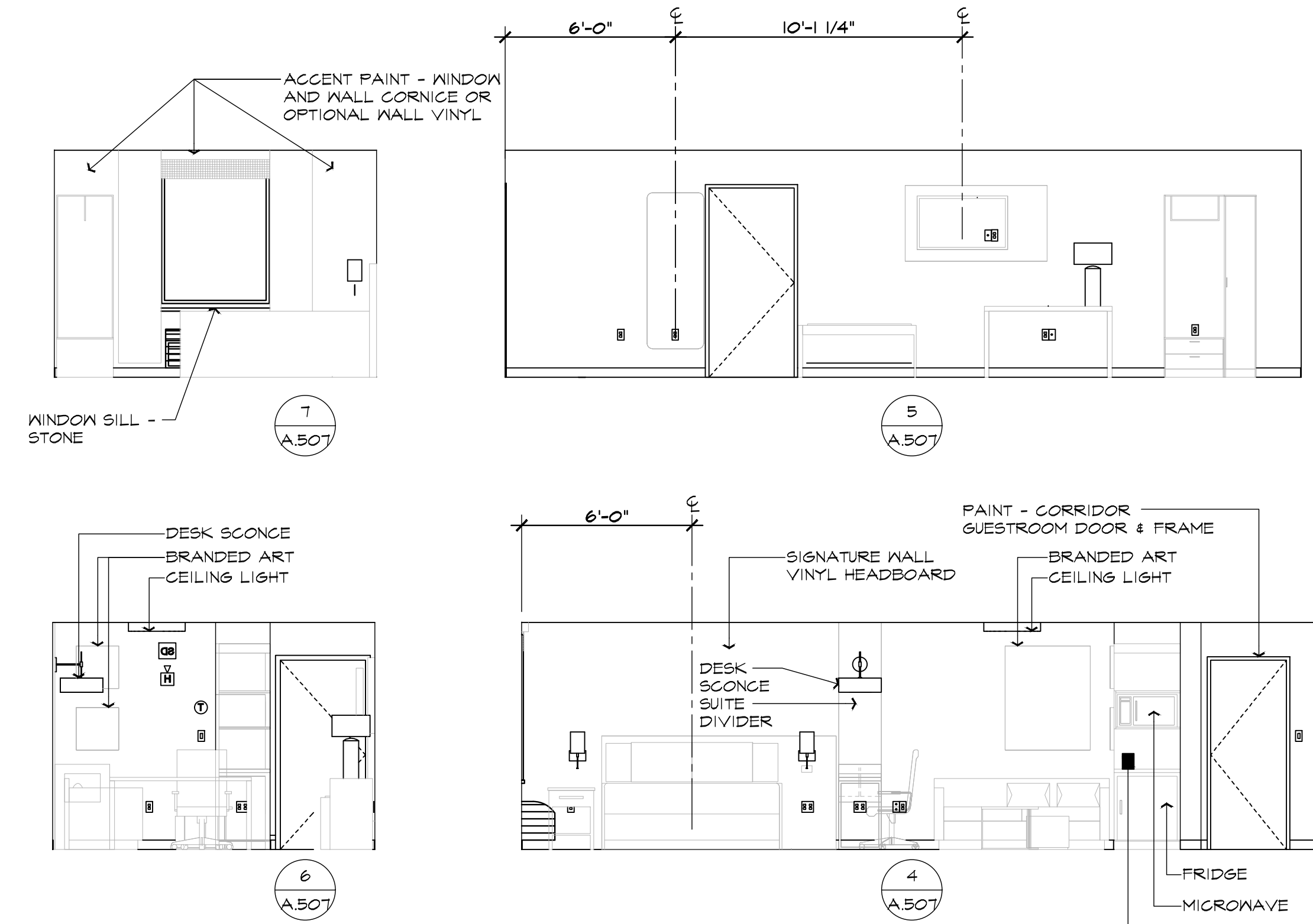
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- REFER TO FF&E SPECIFICATIONS MANUAL FOR OPTIONAL FF&E FURNITURE AND FINISHES.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR RIGHT-HAND AND LEFT-HAND FF&E SPECIFICATIONS.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR LEFT-HAND AND RIGHT-HAND ROOM DEFINITIONS.
- LEFT-HAND ROOMS TYPICALLY RECEIVE LEFT-HAND FF&E ITEMS AND RIGHT-HAND ROOMS TYPICALLY RECEIVE RIGHT-HAND ITEMS, HOWEVER, ANOMOLIES TO THIS ASSUMPTION MAY OCCUR. VERIFY EACH ROOM TYPE FOR ANOMOLIES TO THIS ASSUMPTION.

GENERAL NOTES - FINISHES:

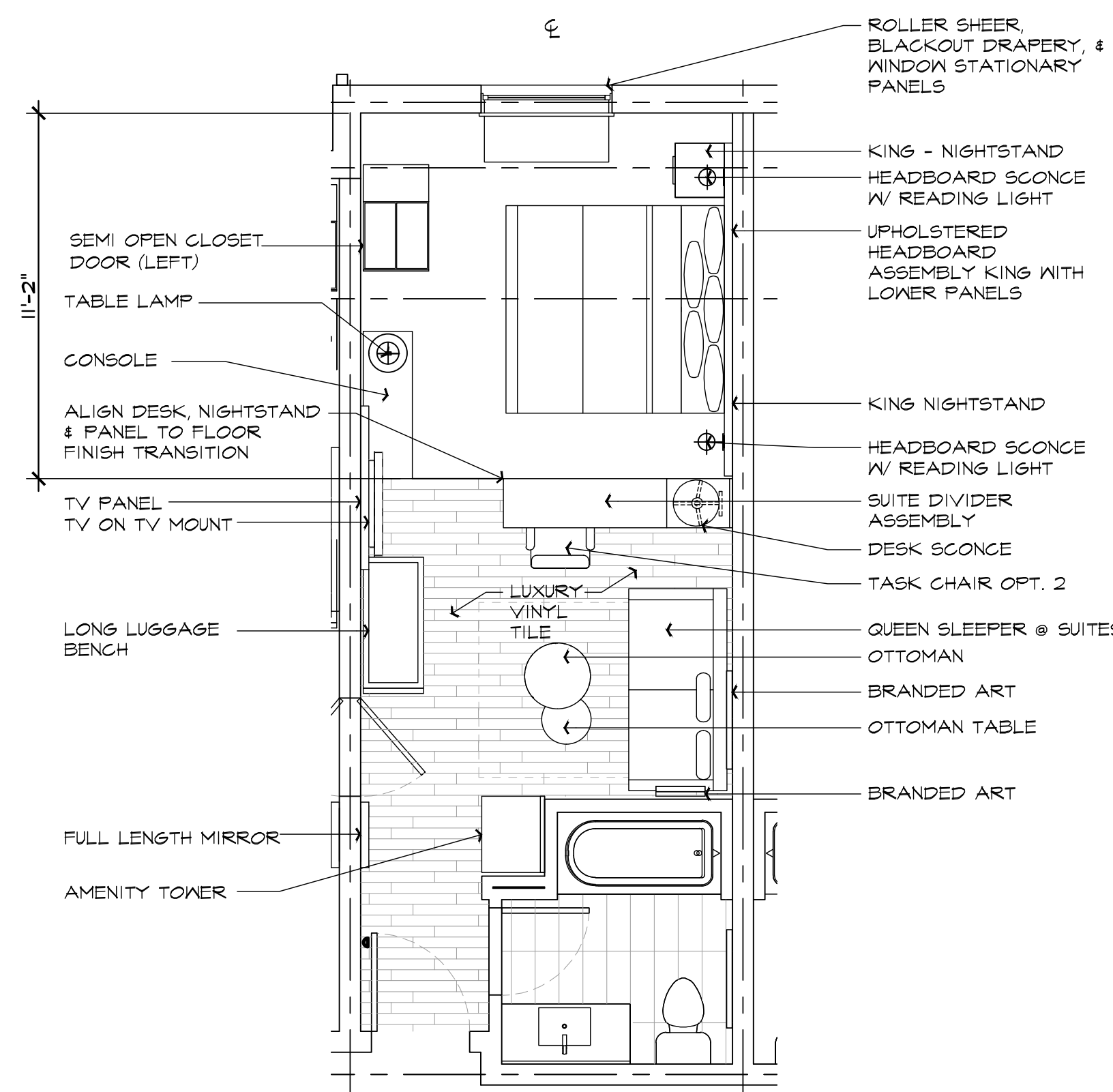
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 - FINISHES IN ACCESSORY SPACES TO MATCH ADJACENT SPACES, UNO.
- NOTE: ALL GUESTROOM**
- WALL PAINT IS PT-001 OR OPTIONAL VYL-001 UNO ON INTERIOR ELEVATIONS.
 - CEILING PAINT IS FT-003 UNO ON ENLARGED RCP.
 - DOOR TRIM PAINT IS FT-002 UNO ON INTERIOR GUESTROOM DOORS.
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 - WALL BASE IS RB-001 UNO ON PLANS OR INTERIOR ELEVATIONS.
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 - CARPET PAD CPAD-001 TO BE USED IF CPT-001 IS INSTALLED.
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- NOTE: ALL GUESTROOM**
- SEE THE A550 SERIES FOR BATHROOM DIMENSIONS

GUESTROOM FLOORING TRANSITION SCHEDULE:

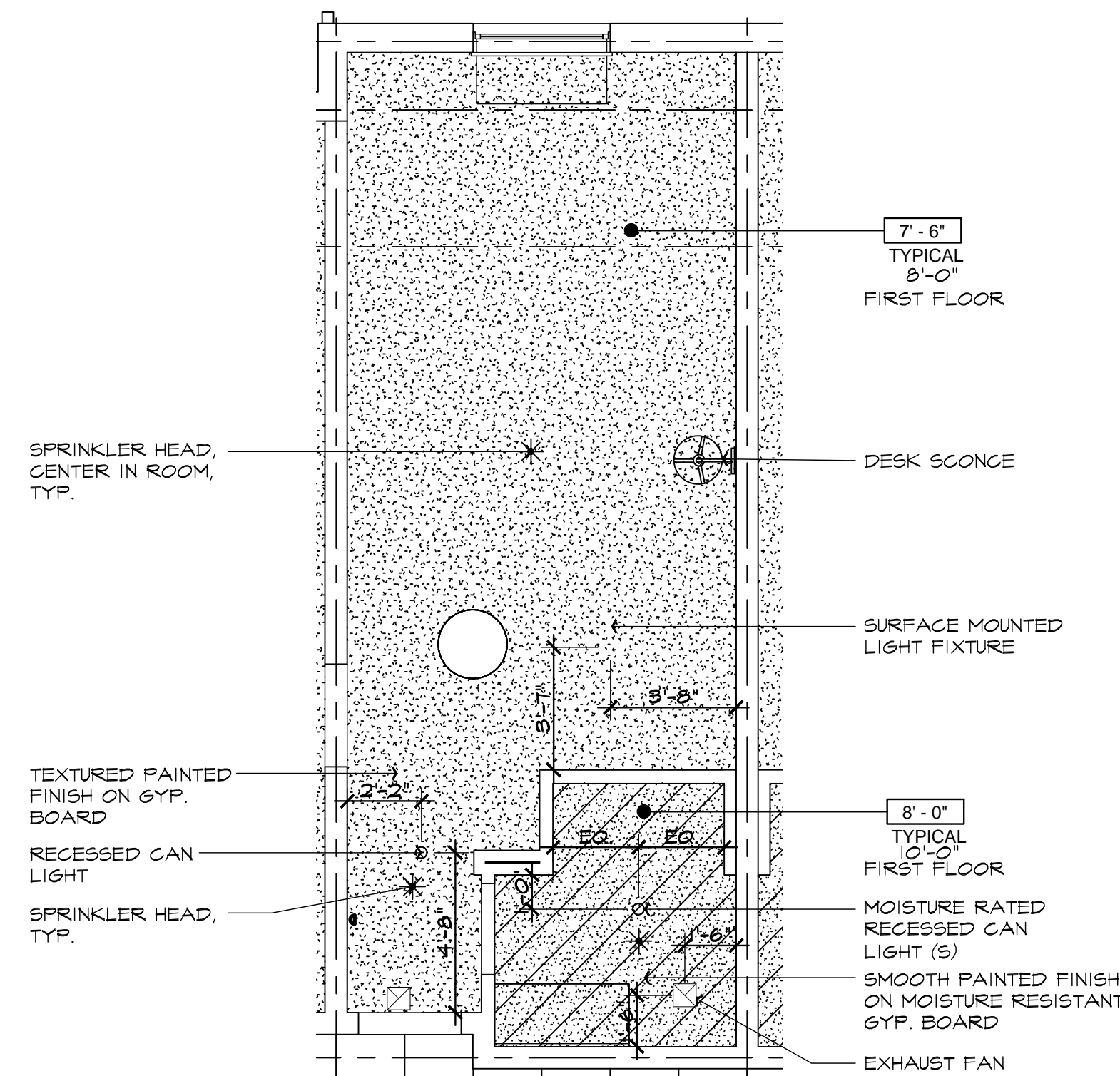
| ITEM # | DESCRIPTION | REMARKS |
|--------|----------------------------------------------|---------|
| TH-001 | LVT TO CARPET (AT ENTRY DOOR TO CORRIDOR) | |
| TH-001 | CARPET TO CARPET (AT ENTRY DOOR TO CORRIDOR) | |
| TH-002 | LVT TO TILE (AT BATHROOM DOOR) | |
| TH-002 | CARPET TO TILE (AT BATHROOM DOOR) | |
| TH-003 | LVT TO CARPET | |



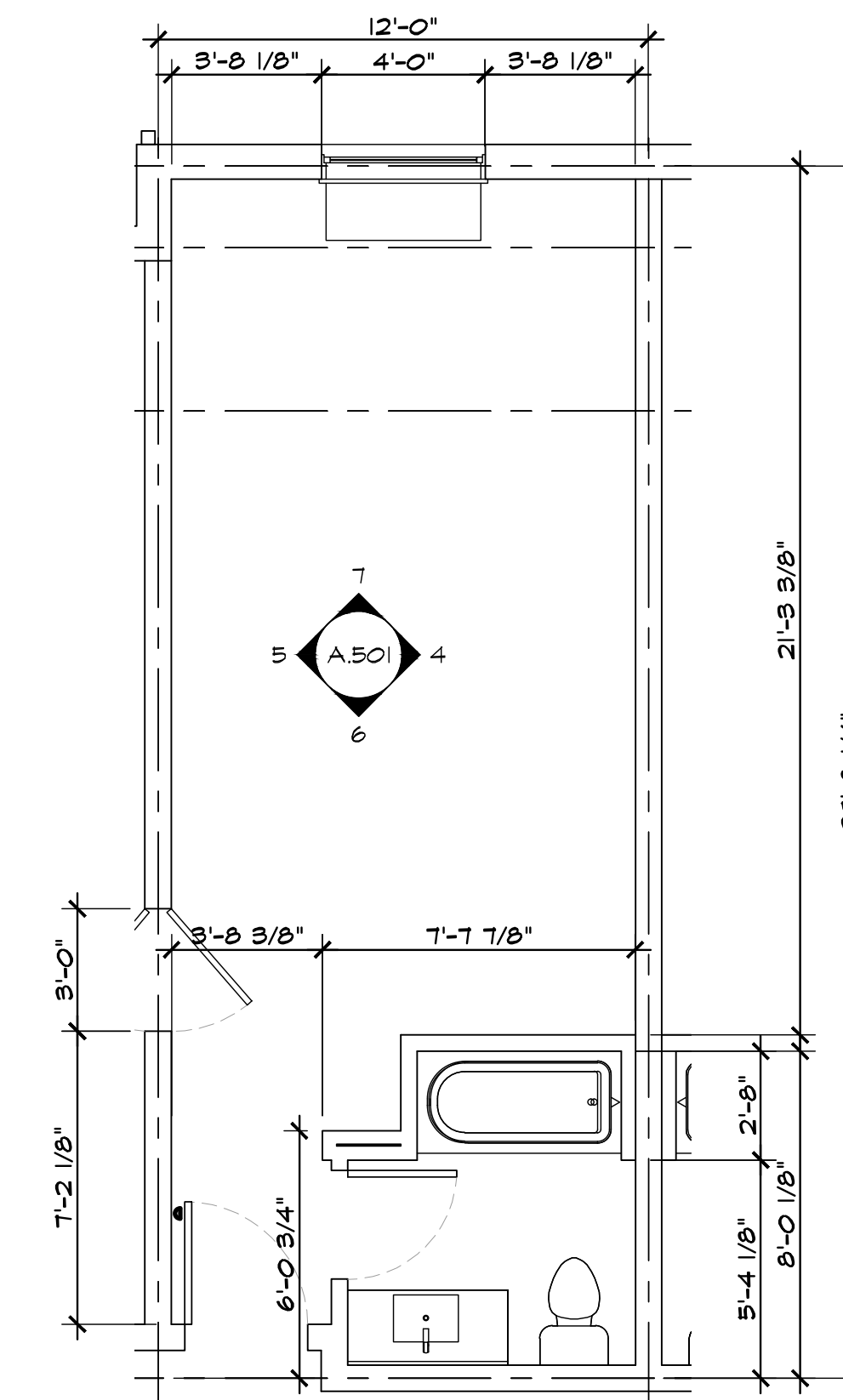
KING SUITE COMM. - ELEVATIONS
SCALE: 1/4" = 1'-0"



3 KING SUITE COMM. - FF&E PLAN
SCALE: 1/4" = 1'-0"



2 KING SUITE COMM. - REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



1 KING SUITE COMM. - ARCHITECTURAL PLAN
SCALE: 1/4" = 1'-0"

| ISSUED FOR | DATE |
|-----------------|-----------|
| REVIEW | 2-19-2022 |
| PLANNING REVIEW | 1-18-2023 |
| PLANNING REVIEW | 4-21-2023 |

ARCHITECTURAL DESIGN

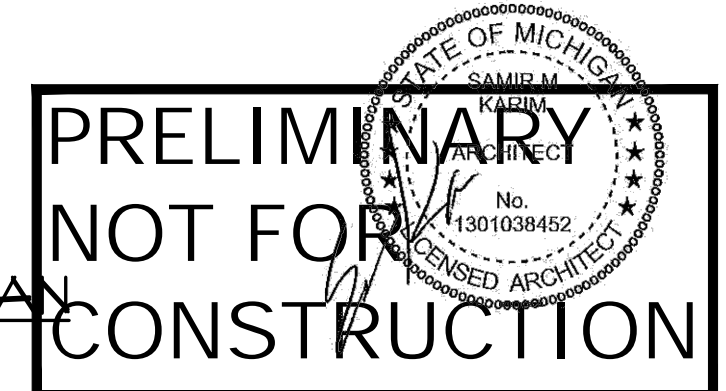
RESIDENTIAL
COMMERCIAL
INDUSTRIAL

G.A.V. ASSOCIATES, INC
2401 ORCHARD LANE, STE. 100A
FARMINGTON, MICHIGAN 48338
PH: (248) 985-9101
WEB: WWW.GAVASSOCIATES.COM

TAP RESOURCES
3241 CARLETON ROAD
HILLSDALE, MICHIGAN 49242
MR. TAPAN PATEL
phone: 517-610-2417

PROPOSED NEW HOTEL FOR CHOICE HOTELS:
COMFORT INN & SUITES - M1502
800 SOUTH HEWITT ROAD
YPSILANTI TOWNSHIP, MICHIGAN

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|--------------------------------------------------|-----------|----------|
| DRAWN: | DESIGNED: | CHECKED: |
| | | |
| SCALE: 1/4" = 1'-0" | | |
| FILE NAME: 22060_A.507 | | |
| JOB #: 22060 | | |
| SHEET TITLE | | |
| KING SUITE COMMUNICATING ROOM PLANS & ELEVATIONS | | |
| SHEET # | | |
| A.507 | | |



GENERAL NOTES - GUESTROOMS:

- REFER TO 1/8" BUILDING FLOOR PLANS FOR OVERALL GUESTROOM DIMENSIONS, UNO AND WINDOW OPENING LOCATION ON EXTERIOR WALLS.
- DIMENSIONS ARE FROM GRIDLINES AND FROM FACE OF STRUCTURE, UNO.
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- DOOR AND WINDOW DIMENSIONS WHERE OCCUR ARE FROM FACE OF STUD TO CENTERLINE OF OPENINGS.
- CENTER SPRINKLER HEADS IN SPACES.
- PROVIDE BLOCKING FOR WALL MOUNTED FIXTURES, ACCESSORIES, EQUIPMENT, AND WINDOW TREATMENTS, INCLUDING BUT NOT LIMITED TO TV, MIRROR, SAFE, & HEADBOARD. MAINTAIN INTEGRITY OF FIRE RATING WHERE ACCESSORIES ARE LOCATED IN RATED WALL.
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- PROVIDE CARPET BASE TOE KICK UNDER PTAC UNITS.
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- CENTER LIGHT FIXTURES IN CEILING, UNO.
- ACC GUESTROOM ENTRY DOOR CLEARANCE WIDER THAN TYP GUESTROOM. SEE SHEET A601.
- GUESTROOM CEILING HEIGHTS, UNO:

| LEVEL | GUESTROOM | BATHROOM |
|----------|-----------|----------|
| LEVEL 1 | 10' - 0" | 8' - 0" |
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- PROVIDE WALLS WITH AN STC RATINGS OF 60 MIN AT CONDITIONS WHERE GUESTROOM HEADBOARD WALL ADJOINS WITH PUBLIC SPACE OR WITH ADJACENT GUESTROOMS TV WALL.
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- COORDINATE LOBBY ELECTRICAL LAYOUT WITH FF&E FOR PLAN - OPTION C

GENERAL NOTES - FF&E:

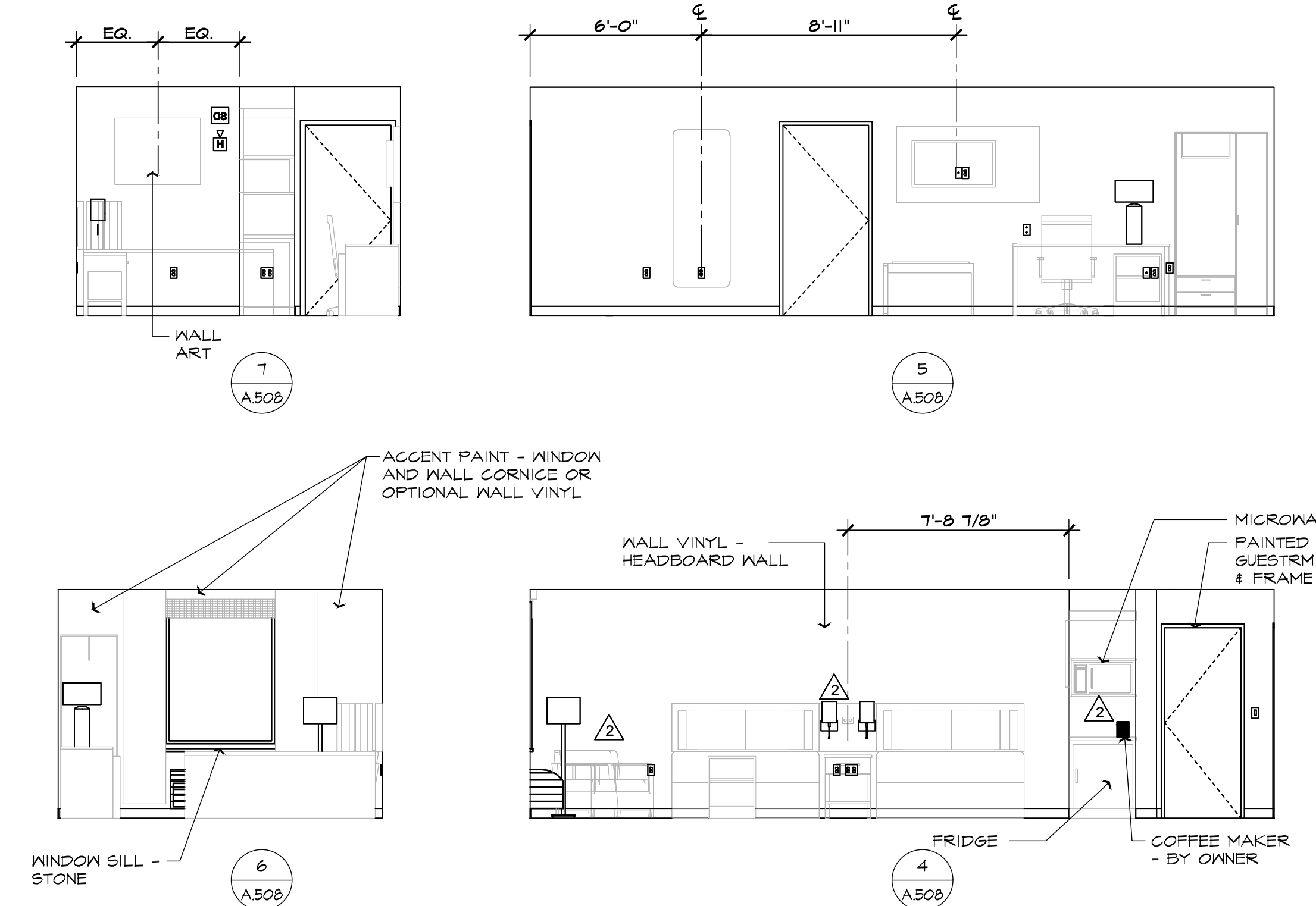
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GENERAL NOTES - FINISHES:

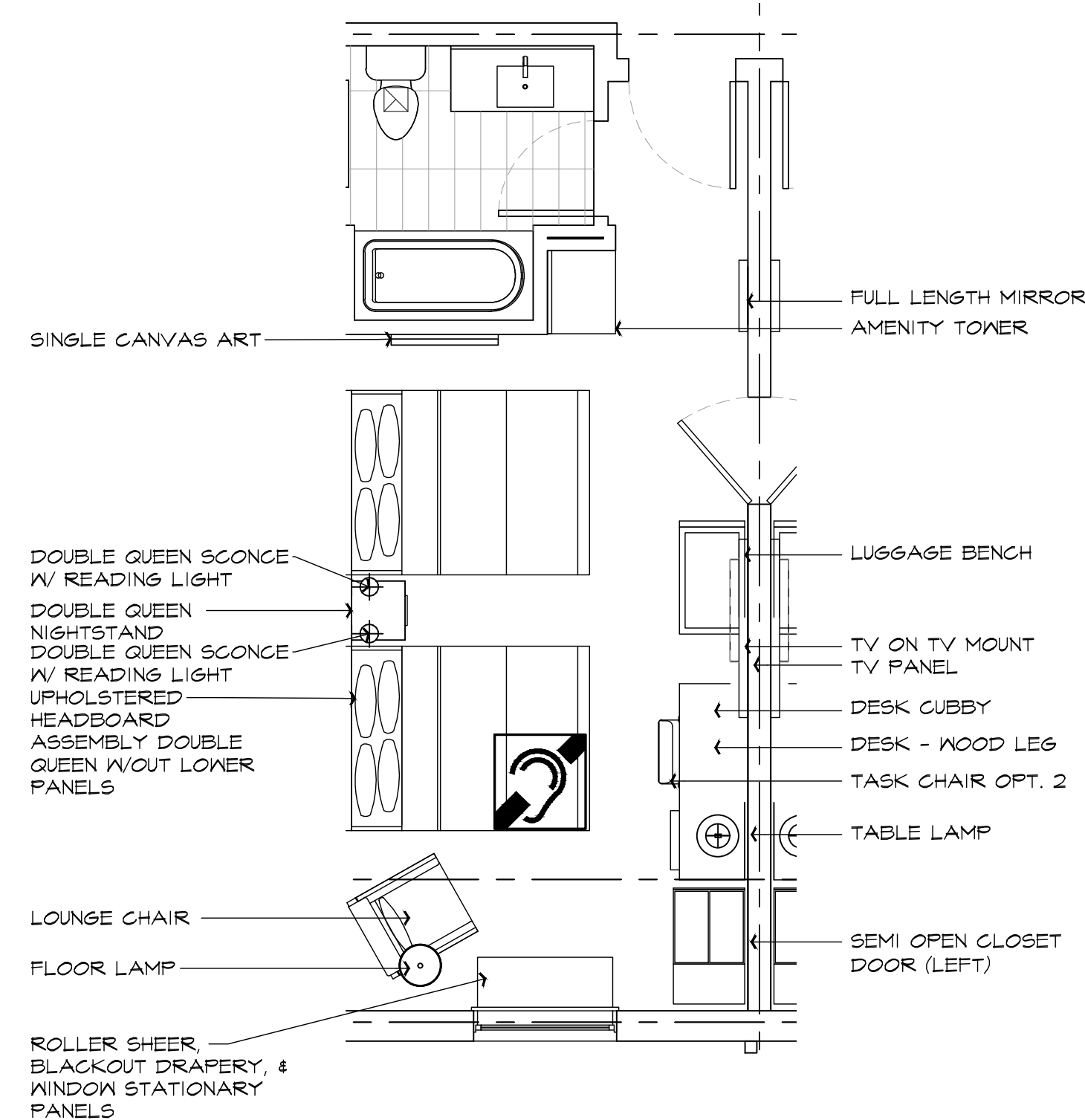
- INSTALL ALL FINISHES PER MANUFACTURERS INSTRUCTIONS.
 - PREPARE ALL FLOOR AND WALL SURFACES FOR NEW FINISHES. PROVIDE FLOOR LEVELING AS REQUIRED TO INSURE PROPER INSTALLATION OF PRODUCT(S).
 - ALL FLOORING MATERIALS TRANSITIONS SHALL OCCUR AT THE CENTERLINE OF DOORS SEPARATING ROOMS, UNO. DOOR THRESHOLD REQUIREMENTS TO BE COORDINATED WITH DOOR HARDWARE SPECIFICATIONS.
 - FINISHES IN ACCESSORY SPACES TO MATCH ADJACENT SPACES, UNO.
- NOTE: ALL GUESTROOM**
- WALL PAINT IS PT-001 OR OPTIONAL VYL-001 UNO ON INTERIOR ELEVATIONS.
 - CEILING PAINT IS PT-003 UNO ON ENLARGED RCP.
 - DOOR TRIM PAINT IS PT-002 UNO ON INTERIOR GUESTROOM DOORS.
 - ENTRY DOOR INSIDE STAINED TO MATCH CASEGOODS ST-003.
 - BATH DOOR AND BATH DOOR TRIM PAINT IS PT-002 UNO ON INTERIOR ELEVATIONS.
 - WALL BASE IS RB-001 UNO ON PLANS OR INTERIOR ELEVATIONS.
 - ALL ACCESSIBLE ROOMS TO PROVIDE REMOTELY SWITCHED MECHANIZED WINDOW TREATMENTS
 - CARPET PAD CPAD-001 TO BE USED IF CPT-001 IS INSTALLED.
- NOTE: ALL GUESTROOM**
- CEILING PAINT IS PT-003 UNO ON ENLARGED RCP.
 - WHERE ADJACENT CEILING ARE AT DIFFERENT HEIGHTS, PAINT THE ADJOINING SOFFIT TO MATCH THE COLOR OF THE LOWER CEILING.
- NOTE: ALL GUESTROOM**
- SEE THE A550 SERIES FOR BATHROOM DIMENSIONS

GUESTROOM FLOORING TRANSITION SCHEDULE:

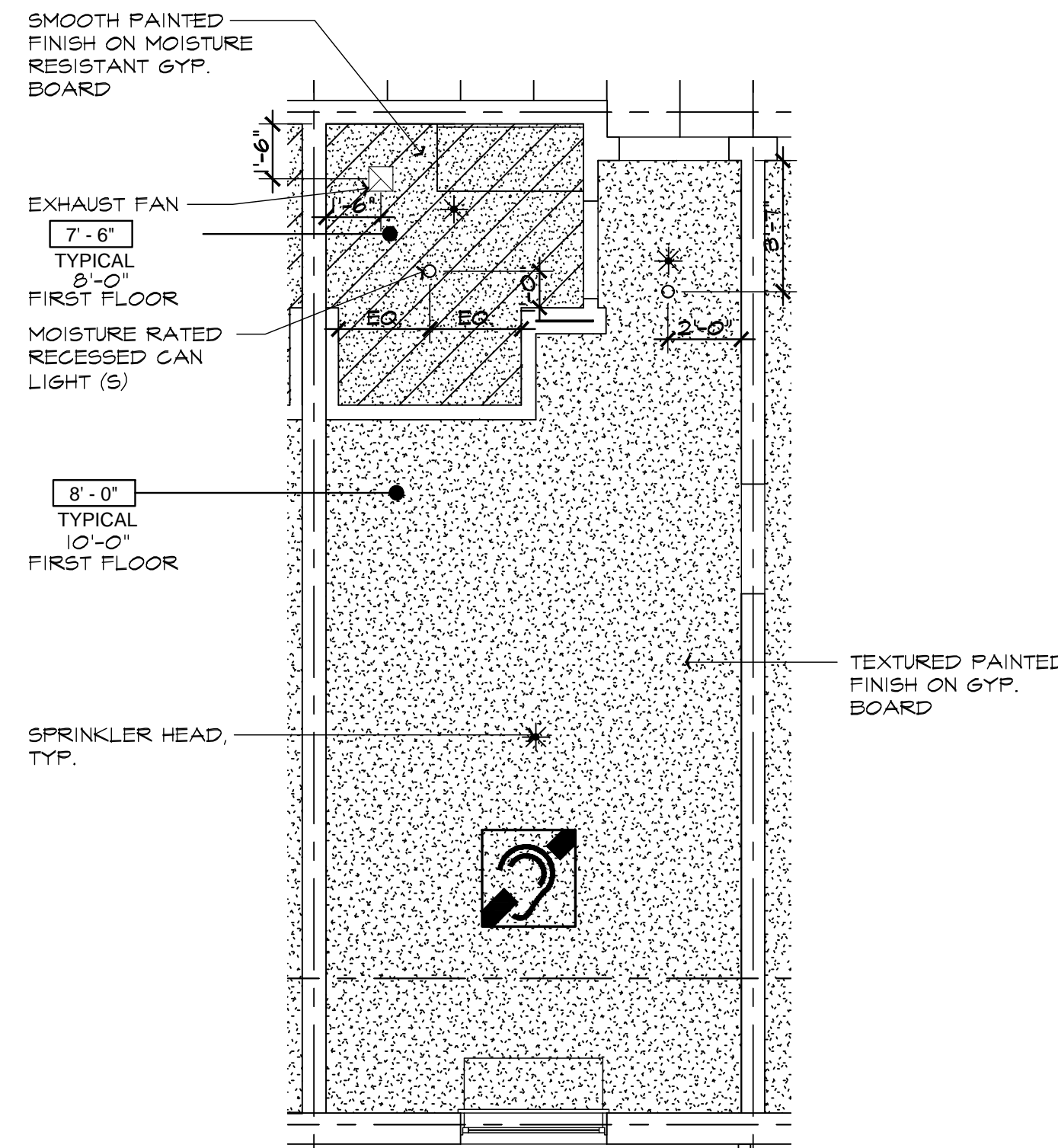
| ITEM # | DESCRIPTION | REMARKS |
|--------|----------------------------------------------|---------|
| TH-001 | LVT TO CARPET (AT ENTRY DOOR TO CORRIDOR) | |
| TH-001 | CARPET TO CARPET (AT ENTRY DOOR TO CORRIDOR) | |
| TH-002 | LVT TO TILE (AT BATHROOM DOOR) | |
| TH-002 | CARPET TO TILE (AT BATHROOM DOOR) | |
| TH-003 | LVT TO CARPET | |



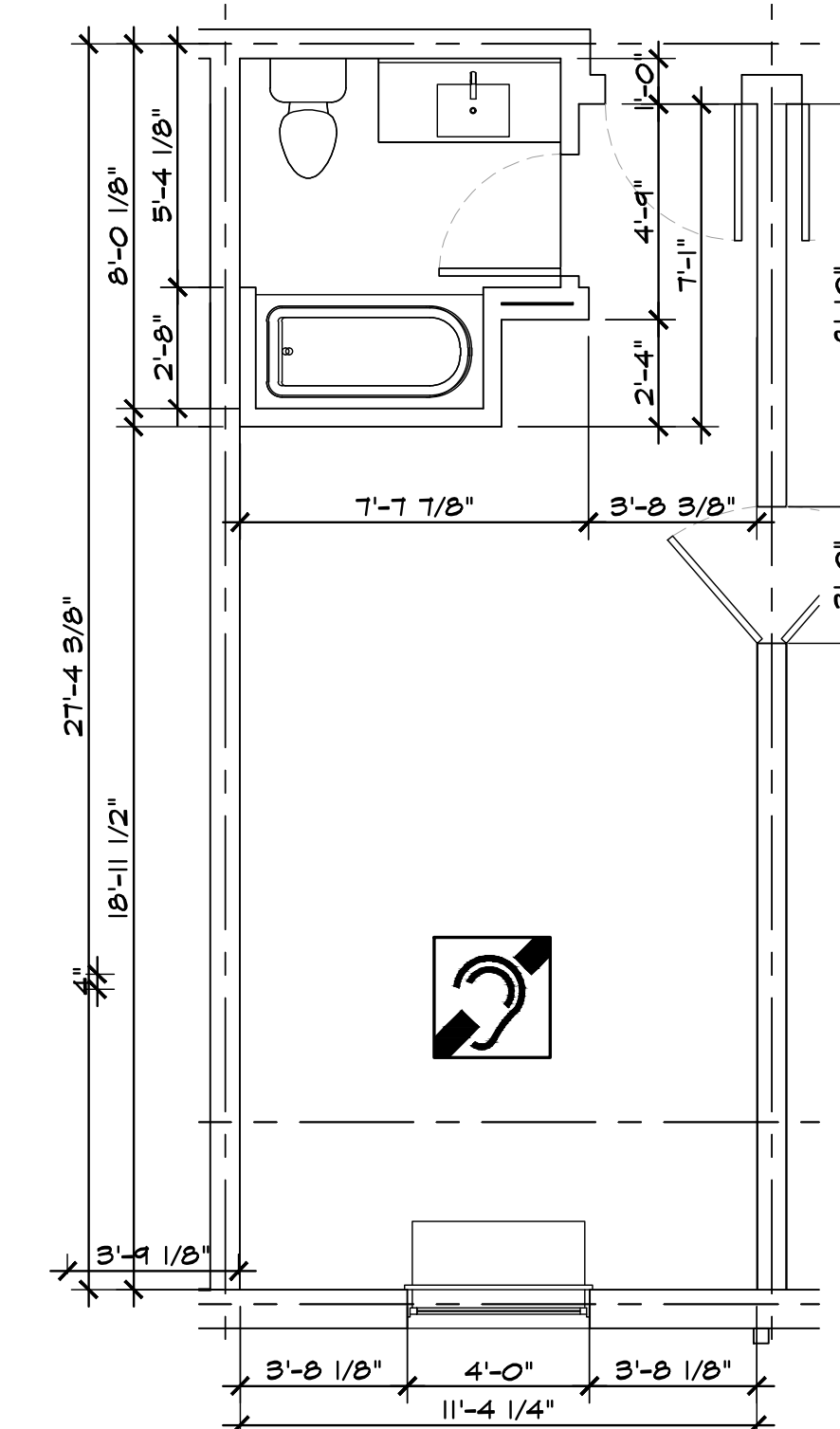
DOUBLE QUEEN COMM. - ELEVATIONS
SCALE: 1/4" = 1'-0"



DOUBLE QUEEN COMM. - FF&E PLAN
SCALE: 1/4" = 1'-0"



DOUBLE QUEEN COMM. - REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



DOUBLE QUEEN COMM. - ARCHITECTURAL PLAN
SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

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|-----------------|-----------|
| REVIEW | 2-19-2022 |
| PLANNING REVIEW | 1-18-2023 |
| PLANNING REVIEW | 4-21-2023 |
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ARCHITECTURAL DESIGN

RESIDENTIAL
COMMERCIAL
INDUSTRIAL

G.A.V. ASSOCIATES, INC
2401 ORCHARD LANE, STE. 100
FARMINGTON, MICHIGAN 48338
PH: (248) 985-9101
WEB: WWW.GAVASSOCIATES.COM

TAP RESOURCES
3241 CARLETON ROAD
HILLSDALE, MICHIGAN 49242
MR. TAPAN PATEL
phone: 517-610-2417

PROPOSED NEW HOTEL FOR CHOICE HOTELS:
COMFORT INN & SUITES - M1502
800 SOUTH HEWITT ROAD
YPSILANTI TOWNSHIP, MICHIGAN

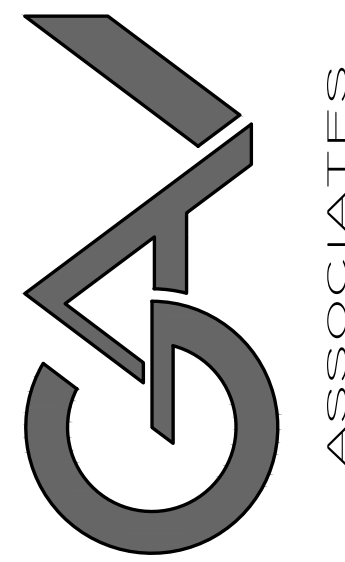
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| FILE NAME: 22060_A.508 | | |
| JOB #: 22060 | | |
| SHEET TITLE | | |
| DOUBLE QUEEN COMMUNICATING GUESTROOM PLANS & ELEVATIONS | | |
| SHEET # | | |
| A.508 | | |

| ISSUED FOR | DATE |
|-----------------|-----------|
| REVIEW | 2-11-2022 |
| PLANNING REVIEW | 1-18-2023 |
| PLANNING REVIEW | 4-21-2023 |
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MR. TAPAN PATEL
phone: 517-610-2417

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COMFORT INN & SUITES - M1502
800 SOUTH HEWITT ROAD
YPSILANTI TOWNSHIP, MICHIGAN

| DRAWN: | DESIGNED: | CHECKED: |
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| DG | DG | DG |

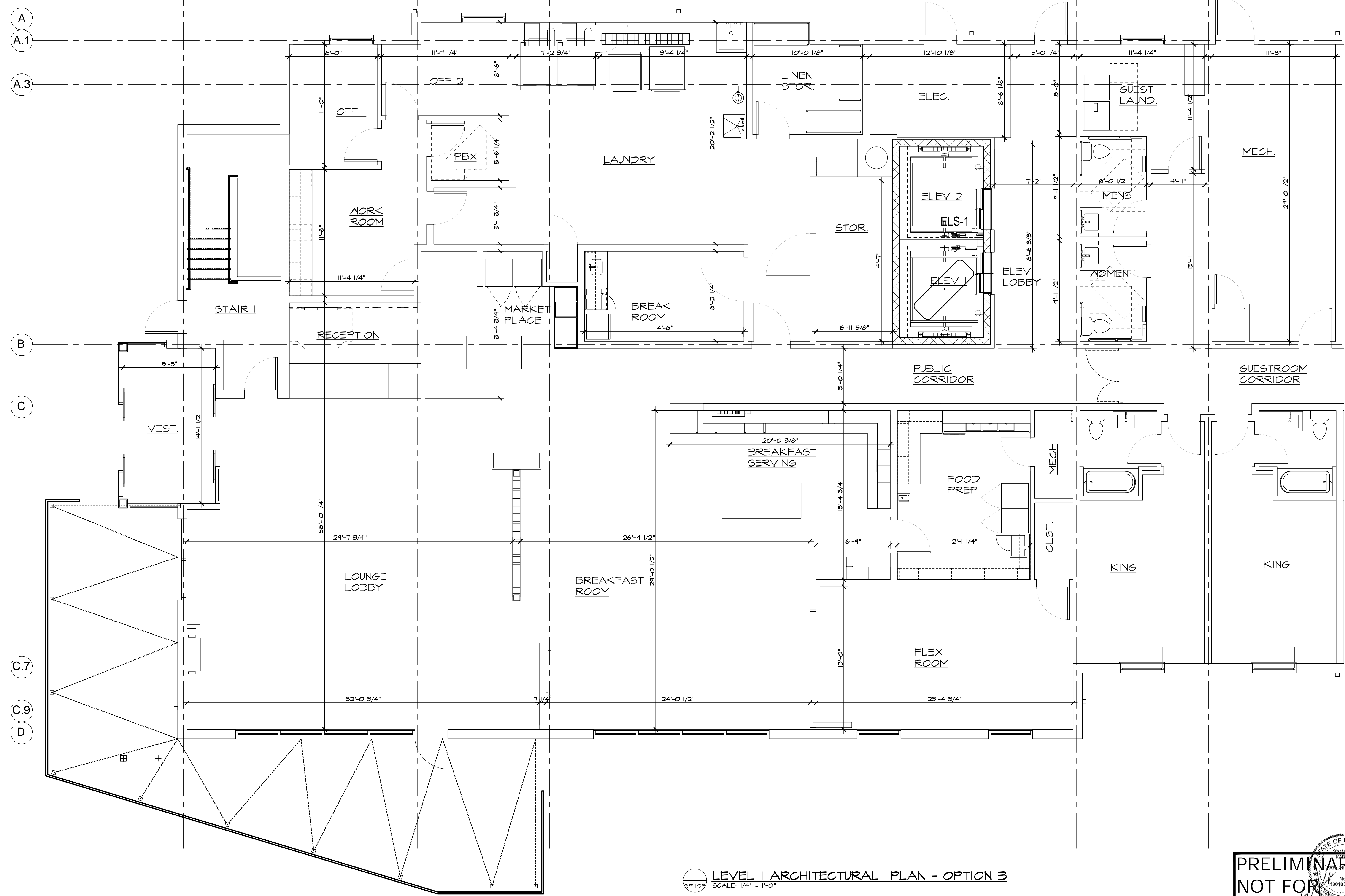
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FILE NAME: 22060_A.551

JOB #: 22060

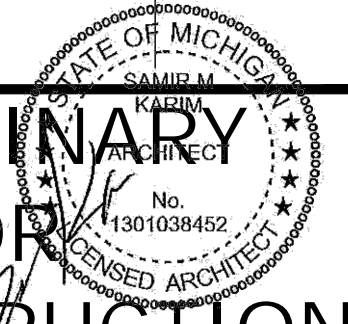
SHEET TITLE
PUBLIC SPACE-
ENLARGED
FLOOR PLAN
SHEET #

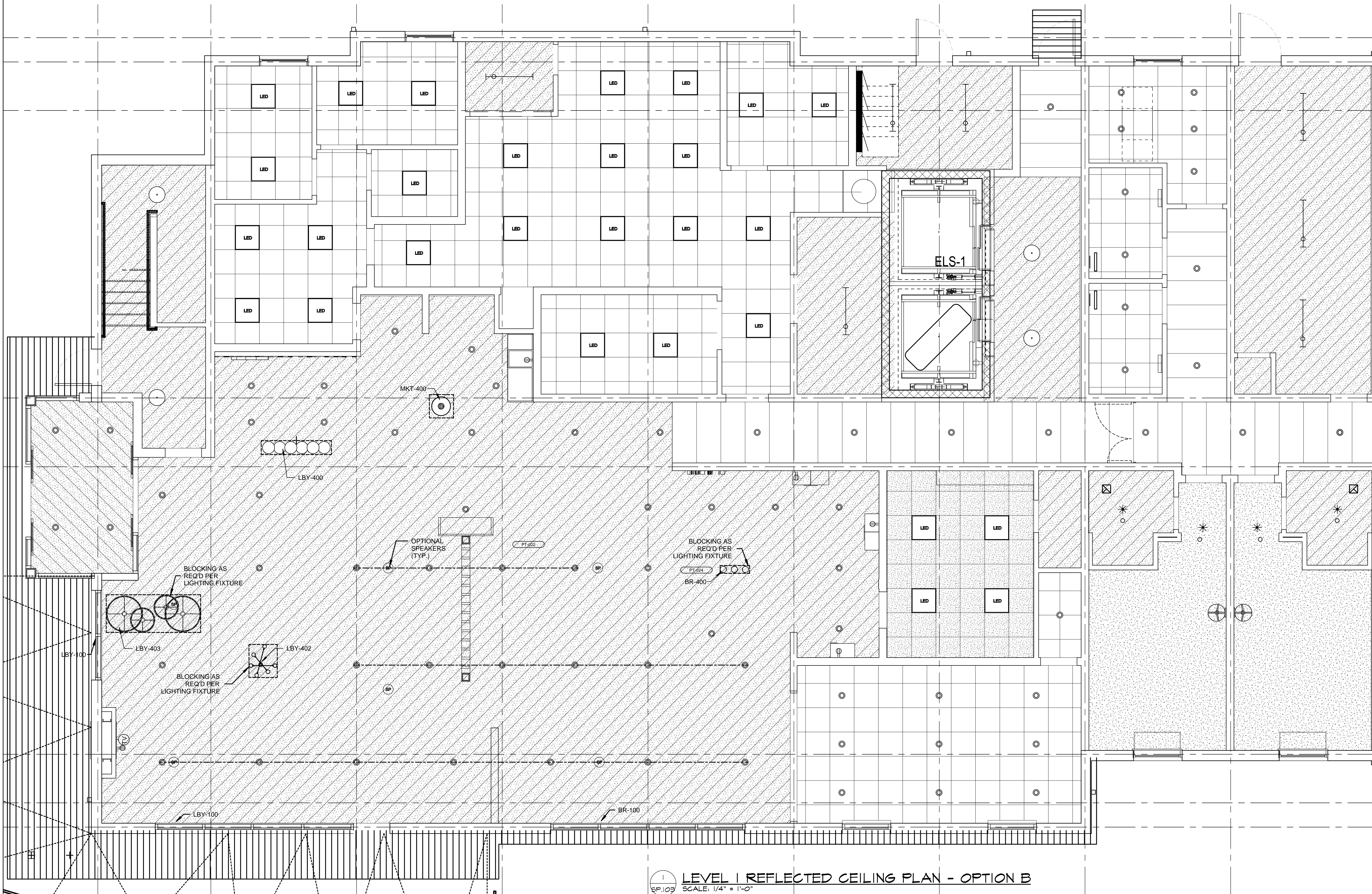
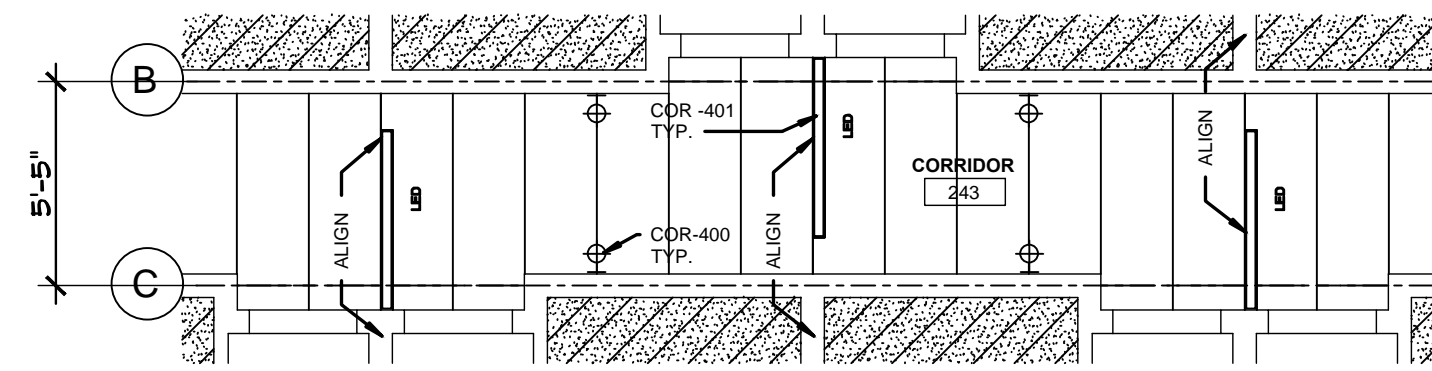
A.551



1 LEVEL I ARCHITECTURAL PLAN - OPTION B
SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR
CONSTRUCTION





1 LEVEL I REFLECTED CEILING PLAN - OPTION B
 SCALE: 1/4" = 1'-0"

RCP LEGEND:

| | | | |
|--|------------------------------------------------------------|--|------------------------------------------------|
| | ACT - 2'-0" x 6'-0" OR 2'-0" x 8'-0" (CORRIDORS - TIBULAR) | | RETURN DIFFUSER |
| | ACT - 2'-0" x 2'-0" (BACK OF HOUSE - SQUARE EDGE) | | SUPPLY |
| | ACT - 2'-0" x 2'-0" (BACK OF HOUSE - SQUARE EDGE) | | EXHAUST FAN |
| | GYPSUM BOARD SMOOTH FINISH | | SPRINKLER HEAD (CENTER IF LOCATED IN ACT TILE) |
| | GYPSUM BOARD TEXTURED FINISH | | SLOT DIFFUSER (S, R INDICATES SUPPLY/RETURN) |
| | LINEAR METAL CEILING WITH SPALATED WOOD FINISH | | |

GENERAL NOTES - ENLARGED RCP:

- CENTER LIGHT FIXTURES IN SPACE THAT ARE NOT DIMENSIONED

NOTE: ALL PUBLIC SPACE AND BACK OF HOUSE

- CEILING PAINT IS PT-021 UNO ON ENLARGED RCP.
- WHERE ADJACENT CEILINGS ARE AT DIFFERENT HEIGHTS, PAINT THE ADJOINING SOFFIT TO MATCH THE COLOR OF THE LOWER CEILING.

| ISSUED FOR | DATE |
|-----------------|-----------|
| PLANNING REVIEW | 4-21-2023 |
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ARCHITECTURAL DESIGN

RESIDENTIAL
COMMERCIAL
INDUSTRIAL

G.A.V. ASSOCIATES, INC
 2401 ORCHARD LAKE RD., STE. 100A
 FARMINGTON, MICHIGAN 48338
 PH: (248) 986-9101
 WEB: WWW.GAVASSOCIATES.COM

TAP RESOURCES

3241 CARLETON ROAD
 HILLSDALE, MICHIGAN 49242
 MR. TAPAN PATEL
 phone: 517-610-2417

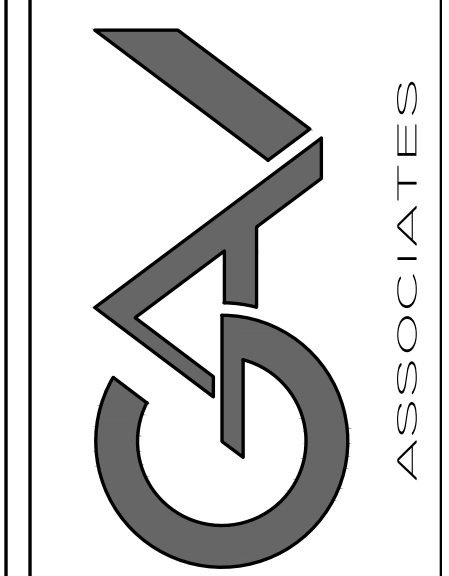
PROPOSED NEW HOTEL FOR CHOICE HOTELS:
 COMFORT INN & SUITES - M1502
 800 SOUTH HEWITT ROAD
 YPSILANTI TOWNSHIP, MICHIGAN

| | | |
|----------------------------------------------|-----------|----------|
| DRAWN: | DESIGNED: | CHECKED: |
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| SCALE : 1/32" = 1'-0" | | |
| FILE NAME : 22060_A.552 | | |
| JOB # : 22060 | | |
| SHEET TITLE PUBLIC SPACE- ENLARGED RCP | | |
| SHEET # A.552 | | |

**PRELIMINARY
NOT FOR
CONSTRUCTION**

| ISSUED FOR | DATE |
|-----------------|-----------|
| REVIEW | 2-11-2022 |
| PLANNING REVIEW | 1-18-2023 |
| PLANNING REVIEW | 4-21-2023 |
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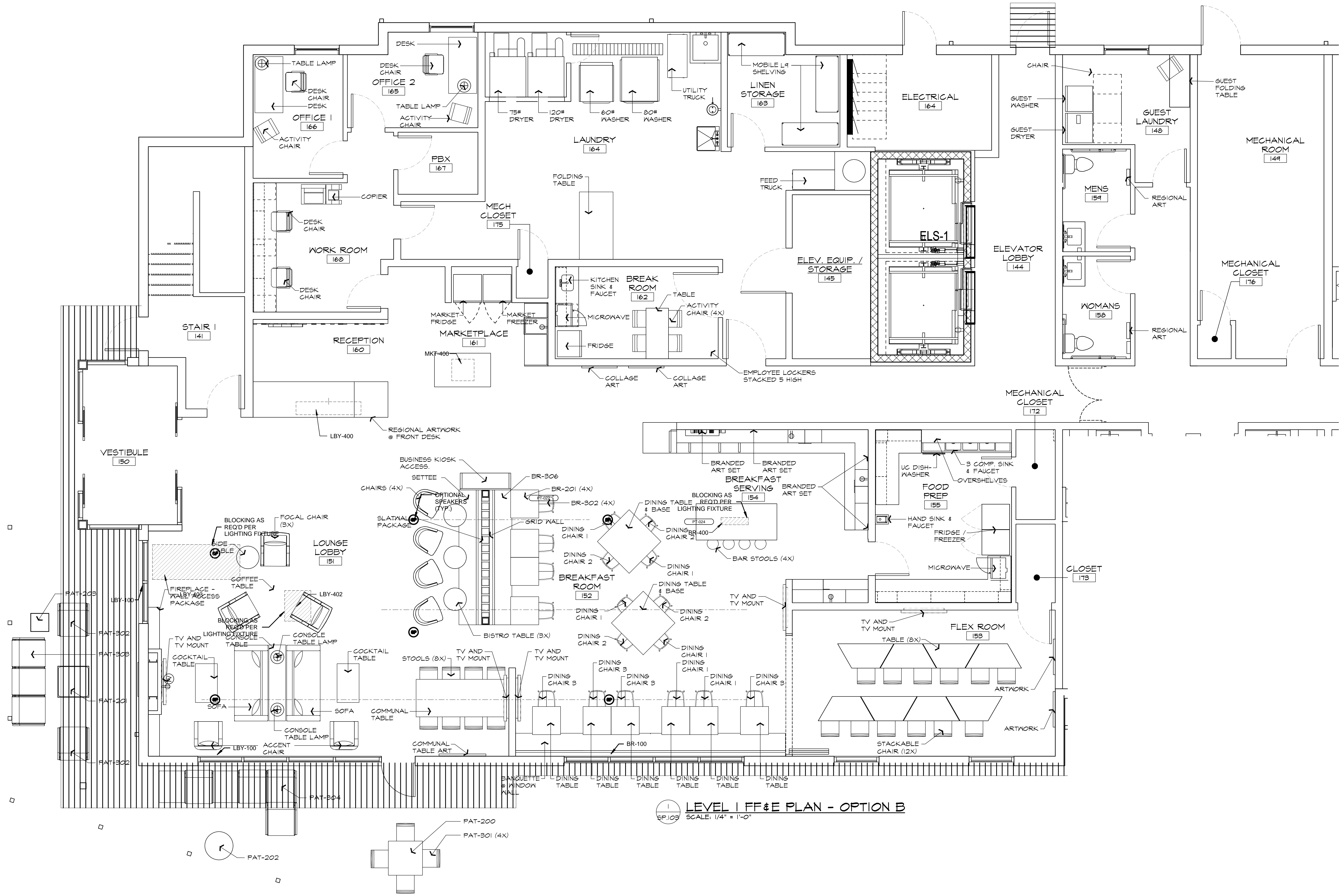
ARCHITECTURAL DESIGN
RESIDENTIAL COMMERCIAL INDUSTRIAL
 G.A.V. ASSOCIATES, INC
 2401 ORCHARD LANE RD. STE. 100A
 FARMINGTON, MICHIGAN 48338
 PH: (248) 985-9101
 WEB: WWW.GAVASSOCIATES.COM



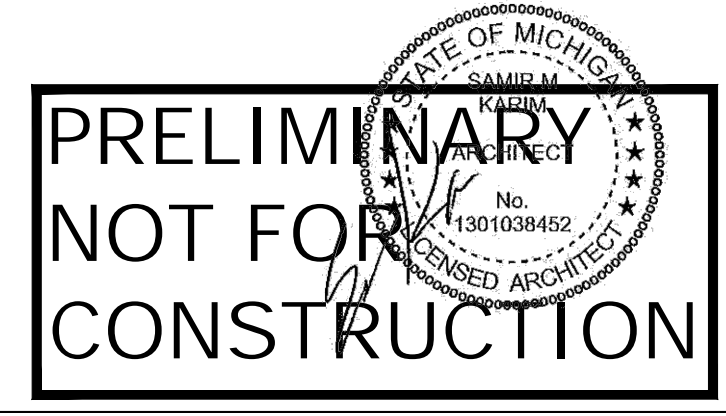
TAP RESOURCES
 9241 CARLETON ROAD
 HILLSDALE, MICHIGAN 49242
 MR. TAPAN PATEL
 phone: 517-610-2417

PROPOSED NEW HOTEL FOR CHOICE HOTELS:
COMFORT INN & SUITES - M1502
800 SOUTH HEWITT ROAD
YPSILANTI TOWNSHIP, MICHIGAN

| | | |
|----------------------------------------|-----------|----------|
| DRAWN: | DESIGNED: | CHECKED: |
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| SCALE: 1/4" = 1'-0" | | |
| FILE NAME: 22060_A.553 | | |
| JOB #: 22060 | | |
| SHEET TITLE | | |
| PUBLIC SPACE- ENLARGED FF&E PLAN | | |
| SHEET # | | |
| A.553 | | |



LEVEL I FF&E PLAN - OPTION B
 EP.103 SCALE: 1/4" = 1'-0"

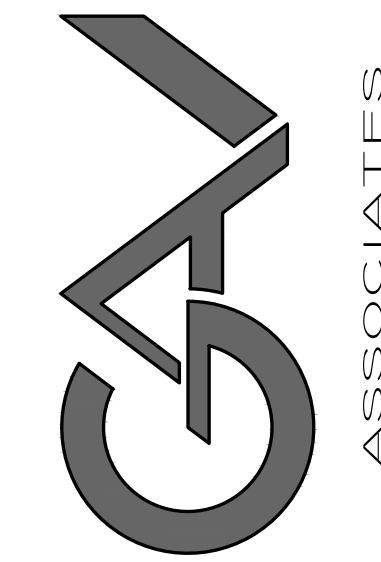


| ISSUED FOR | DATE |
|-----------------|-----------|
| REVIEW | 2-11-2022 |
| PLANNING REVIEW | 1-18-2023 |
| PLANNING REVIEW | 4-21-2023 |
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ARCHITECTURAL DESIGN

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COMMERCIAL
INDUSTRIAL

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FARMINGTON, MICHIGAN 48338
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TAP RESOURCES
3241 CARLETON ROAD
HILLSDALE, MICHIGAN 49242
MR. TAPAN PATEL
phone: 517-610-2417

PROPOSED NEW HOTEL FOR CHOICE HOTELS:
COMFORT INN & SUITES - M1502
800 SOUTH HEWITT ROAD
YPSILANTI TOWNSHIP, MICHIGAN

DRAWN: DESIGNED: CHECKED:

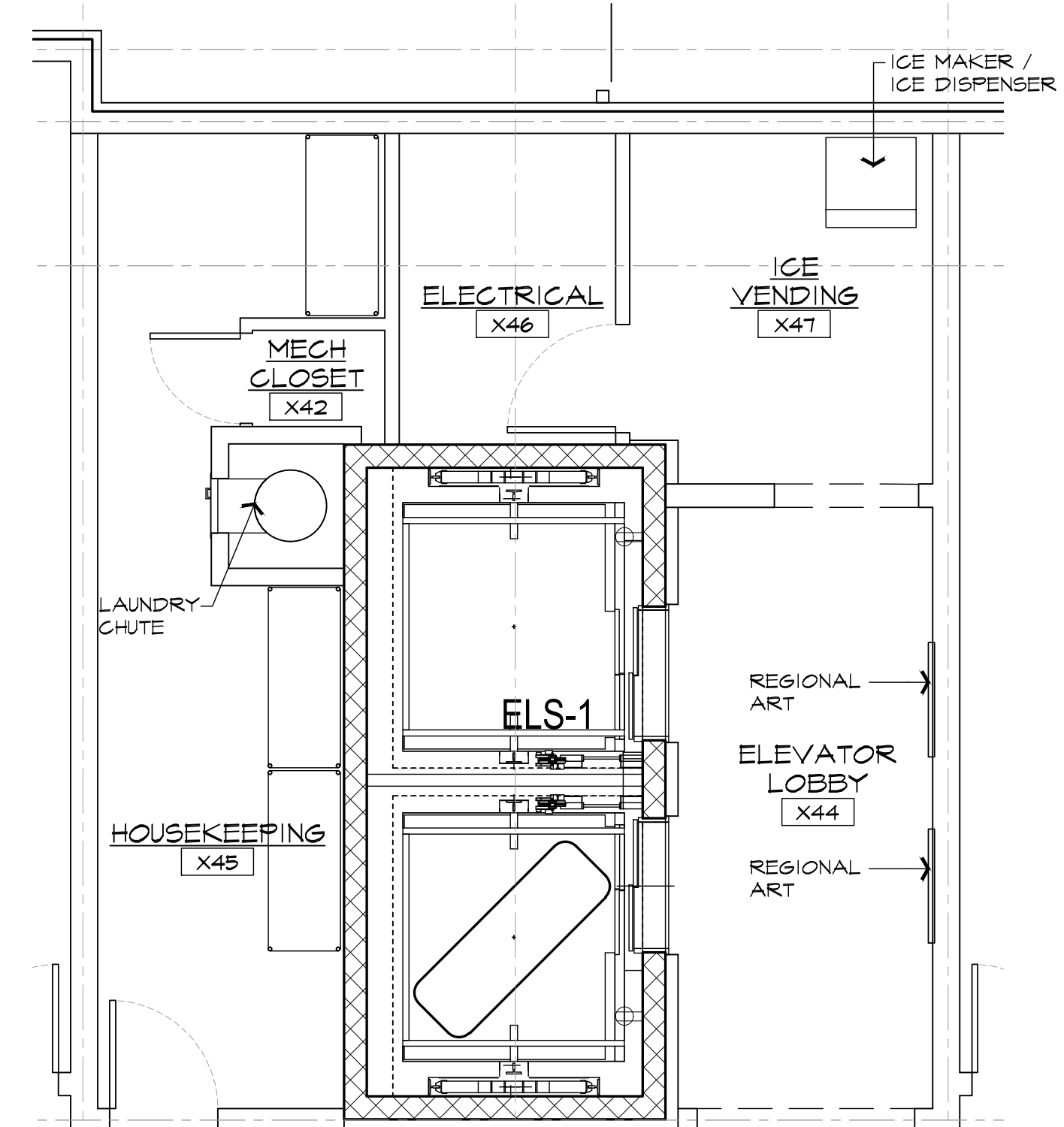
SCALE: 1/4" = 1'-0"

FILE NAME: 22060_A.554

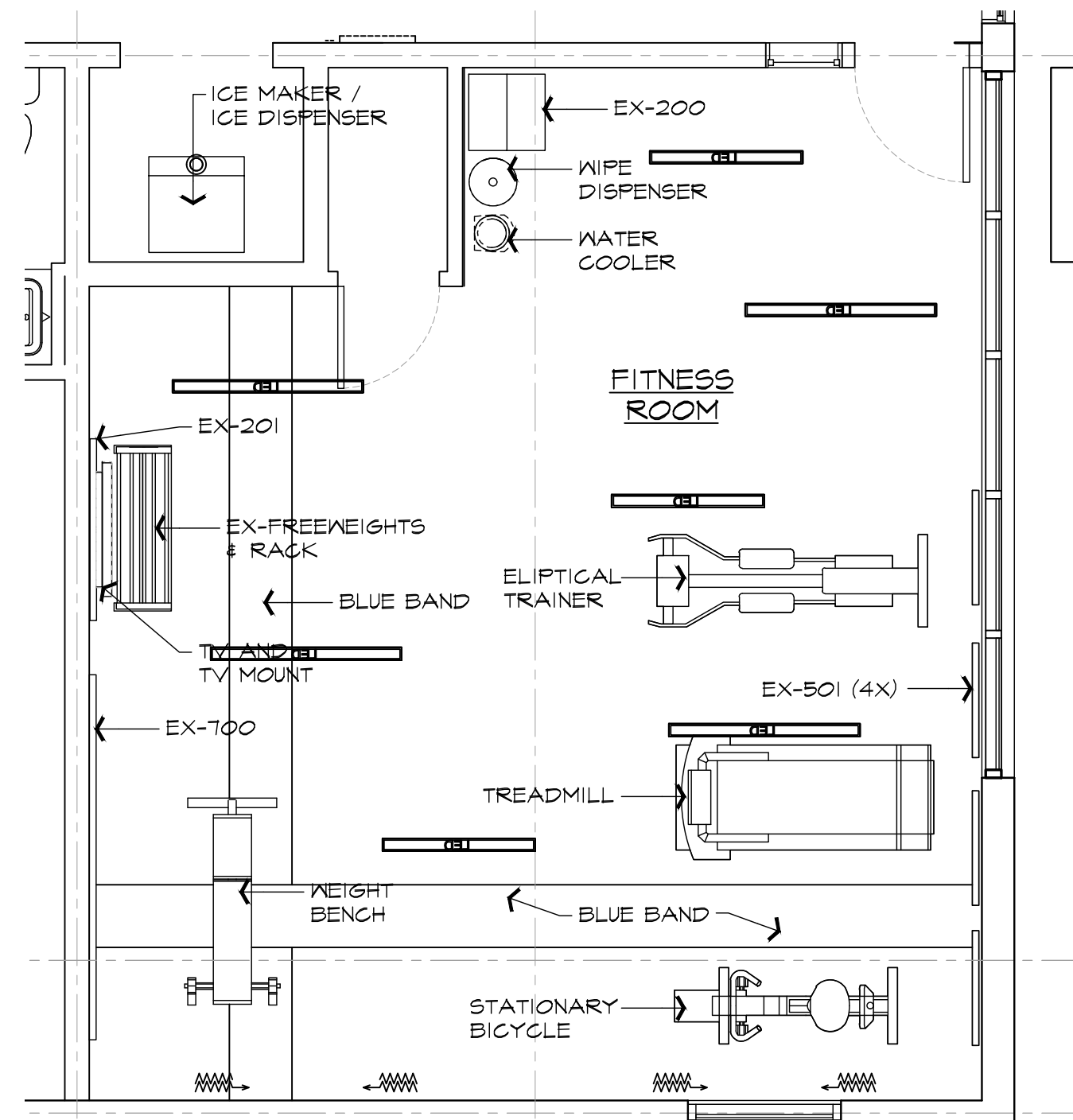
JOB #: 22060

SHEET TITLE
ELEVATOR -
PLANS, SECTIONS,
& DETAILS
SHEET #

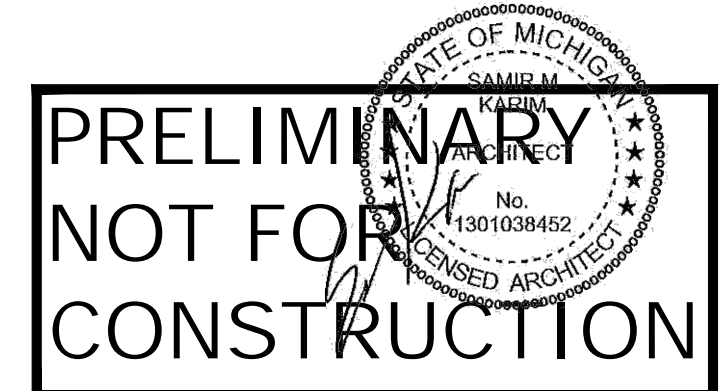
A.554



1 UPPER FLOORS - ELEVATOR LOBBY - FF&E PLAN
A.501 SCALE: 1/4" = 1'-0"



1 FITNESS ROOM FF&E PLAN - OPTION B
EP.109 SCALE: 1/4" = 1'-0"



PRELIMINARY
NOT FOR
CONSTRUCTION



Zoning Board of Appeals Staff Report

July 12, 2023

Re: 1155 E. Forest Ave - Parcel K -11-03-400-033

APPLICANT

Mr. Race Lamkin
The Lamkin Group LLC
7215 McKean Road
Ypsilanti, MI 48197

Variance Request:

Article 4 – Sec. 407.3 Dimensional Requirements: Request for variance to the building setback requirements.

LOCATION AND SUMMARY OF REQUEST

The subject property located is on the north side of east Forest Avenue. The property is zoned as RM-LD (Multiple-family low density residential district). The property currently has an existing single-family home that is proposed to be demolished to become an office building for the apartments located north on Rosewood Street, Paschall East Apartments.

An apartment office building is a permitted use in the RM-LD Zoning District, however, the setback requirements for RM-LD cannot be met. The applicant has submitted plans for an apartment office building construction and the Zoning Ordinance does not allow for reduced setbacks for apartment office building construction without variance approval. The proposed apartment office building meets the front and rear setbacks, but not the side yard setbacks.

The applicant obtained preliminary site plan approval by the Planning Commission on June 27, 2023. This approval was contingent upon the applicant obtaining the required setback variance from the Zoning Board of Appeals.

CROSS REFERENCES

Township Zoning Ordinance – Section 407 (Residential multiple family low density)
Township Zoning Ordinance – Article XVII (Board of Zoning Appeals)

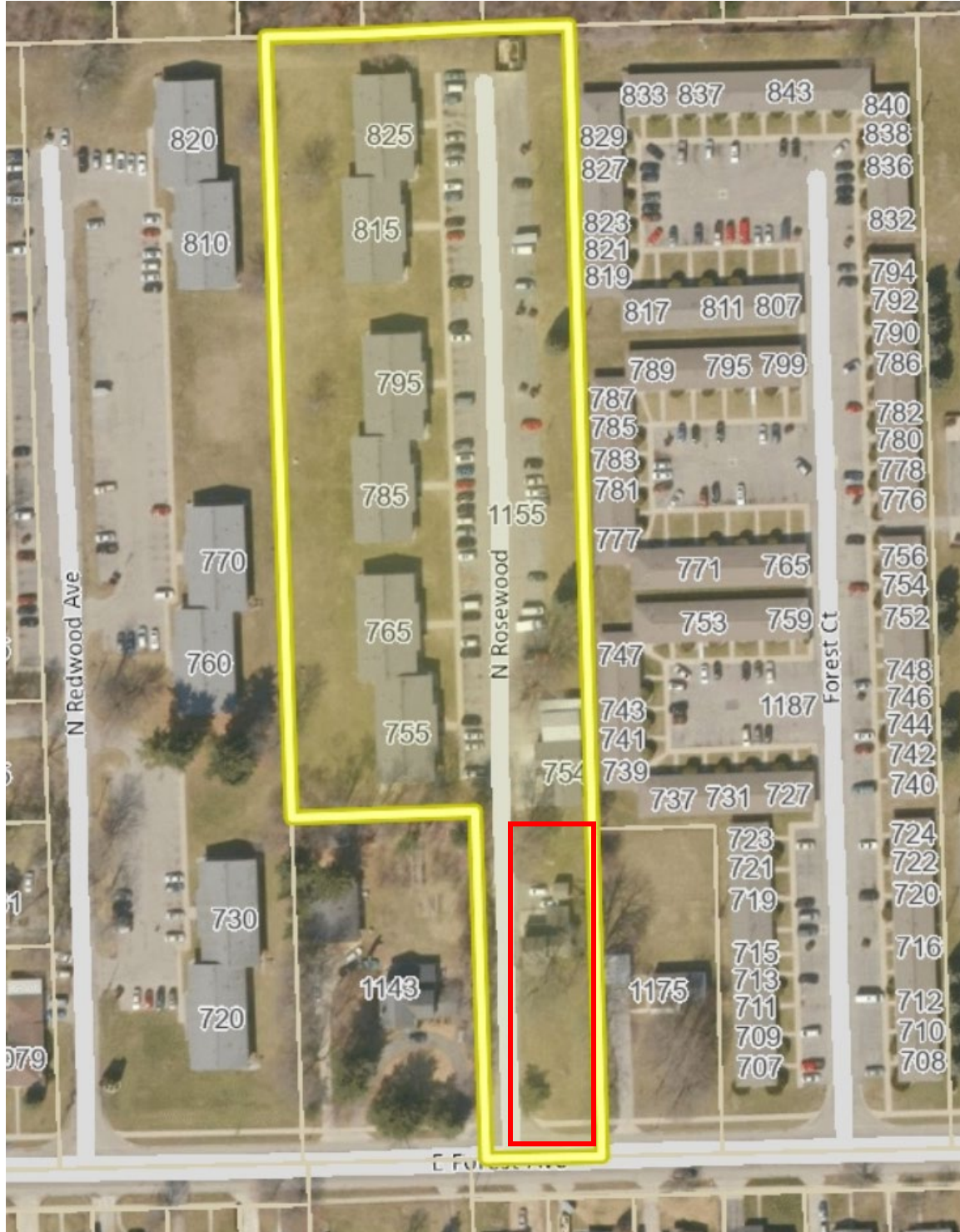
Township Supervisor
Brenda L. Stumbo
Township Clerk
Heather Jarrell Roe
Township Treasurer
Stan Eldridge



**YPSILANTI
TOWNSHIP**
— PLANNING & ZONING DEPARTMENT —

Trustees
John Newman II
Gloria Peterson
Debbie Swanson
Ryan Hunter

Aerial Photograph





ANALYSIS

The Zoning Board of Appeals may grant a dimensional or non-use variance only upon a finding that compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would create a practical difficulty and unreasonably present the use of the property. A finding of practical difficulty shall require demonstration that all the following conditions are met:

1. That there are exceptional or extraordinary circumstances or conditions applying to the property in question that do not apply generally to other properties or classes of uses in the same zoning district.

The site that would be the best for the proposed apartment office building does not meet the required RM-LD side setbacks as the area is narrow.

2. That a variance is necessary for the preservation and enjoyment of a substantial property right possessed by other properties in the same zoning district and in the vicinity.

This variance would help the functionality of the property as it is to be an apartment office for the units on the north side of the property. The current building on the site is no longer useful to the property and being able to improve the building conditions of the site also affect the neighboring properties.

3. That the authorizing of such variance will not be a substantial detriment to adjacent property, will not be harmful to or alter the essential character of the area, and will not materially impair the purposes of this Ordinance or the public interest.

The current building that is located on the site already is less than 30' away from the property to the east of it. This development would also be an improvement of building quality and not be out of character of the neighborhood in design.

4. The property and resulting need for the variance has not been self-created by any action of the applicant or the applicant's predecessors.

The applicant did not create the current parcel and if the project were to be placed anywhere else in the parcel, it would need a variance no matter where it was placed.

5. The proposed variance will be the minimum necessary and no variance shall be granted where a different solution not requiring a variance would be possible.

An apartment office building could be constructed on this lot that complies with the required 30-foot front and rear yard setbacks. However, the lot is only 66 feet wide, and



the RM-LD side yard setback requirement is a total of 60 feet. The site does not have other areas where an apartment office could go without the need for a variance.

Suggested motions: The following suggested motions and conditions are provided to assist the Zoning Board of Appeals in making a complete and appropriate motion for this application. The ZBA may utilize, add, or reject any portion of the suggested motion or any conditions suggested herein, as deemed appropriate.

Table:

I move to table the variance request at 1155 E Forest Ave to the setback requirements of Section 407 of the township zoning ordinance for construction of a new apartment office building to consider comments presented during this public hearing.

Approve:

I move to approve the variance request at 1155 E Forest Ave to the setback requirements of Section 407 of the township zoning ordinance for construction of a new apartment office building within the building envelope as shown on the site plan dated 05-24-2023.

- The authorizing of the requested variance will not be a substantial detriment to adjacent property and will not materially impair the purposes of this ordinance or the public interest, and;
- It has been determined and agreed that the subject parcel has exceptional conditions requiring the setback variance.

This motion is further made with the following conditions:

- The applicant shall obtain Final Site Plan and Detailed Engineering Approval; and shall obtain all outside agency permits for the construction of the apartment office.

Denial:

I move to deny the variance request at 1155 E Forest Ave to the setback requirements of Section 407 of the township zoning ordinance for construction of a new apartment office building within the building envelope as shown on the plot plan dated 05-24-2023.

(ZBA state reasons for denial).

Respectfully Submitted,
Lauren Doppke, Staff Planner

RECEIVED

BY _____

Charter Township of Ypsilanti
Office of Community Standards
7200 S. Huron Drive, Ypsilanti, MI 48197
Phone: (734) 485-3943
Website: <https://ytown.org>

JUN 07 2023

ZONING BOARD OF
APPEALS APPLICATION

YPSILANTI TOWNSHIP
OCS

I. APPLICATION TYPE

- Variance
- Exceptions and Special Approvals (Includes: Temporary Uses and Structures)
- Administrative Review Appeal

II. PROJECT LOCATION

Address: 1155 E Forest Ave Parcel ID #: K-11-03-400-033 Zoning RM-LD
Lot Number: _____ Subdivision: _____

III. APPLICANT INFORMATION

Applicant: The Lamkin Group LLC Phone: (734)-945-3353
 Address: 7215 Mckean Rd City: Ypsilanti State: MI Zip: 48197
 Fax: _____ Email: race@thelamkingroup.com

Property Owner: Jo-Mar Realty Phone: (734)-483-1136
 Address: 813 E Michigan Ave City: Ypsilanti State: MI Zip: 48198
 Fax: _____ Email: paschallbroconstruction@gmail.com

IV. COST AND FEES

| | | | |
|-----------------|-------------------|------------------|-----------|
| Total: \$ _____ | Breakdown of fee: | Residential: | \$ 125.00 |
| | | Non-residential: | \$ 500.00 |

V. APPLICANT SIGNATURE

The undersigned Race Lamkin represents Jo-Mar Realty :

1. That Jo-Mar Realty is/are the owner(s) of lot(s) N/A located in the N/A Subdivision, Ypsilanti Township, Michigan, otherwise known as 1155 E Forest Ave and the property is zoned RM-LD.
2. That the petitioner hereby request variance under Section 4 Article 407.3 of the Ypsilanti Township Zoning Ordinance.
3. The petitioner further state that R.L. have/has read and understands the provisions of said zoning ordinance as it applies to this petition.
4. That the following is submitted in support of the petition (attach all pertinent data to support the request).

[Signature] Race Lamkin 6/7/23
 Applicant Signature Print Name Date



"PASCHALL EAST APARTMENTS"

1155 E. FOREST AVENUE
YPSILANTI, MICHIGAN 48198

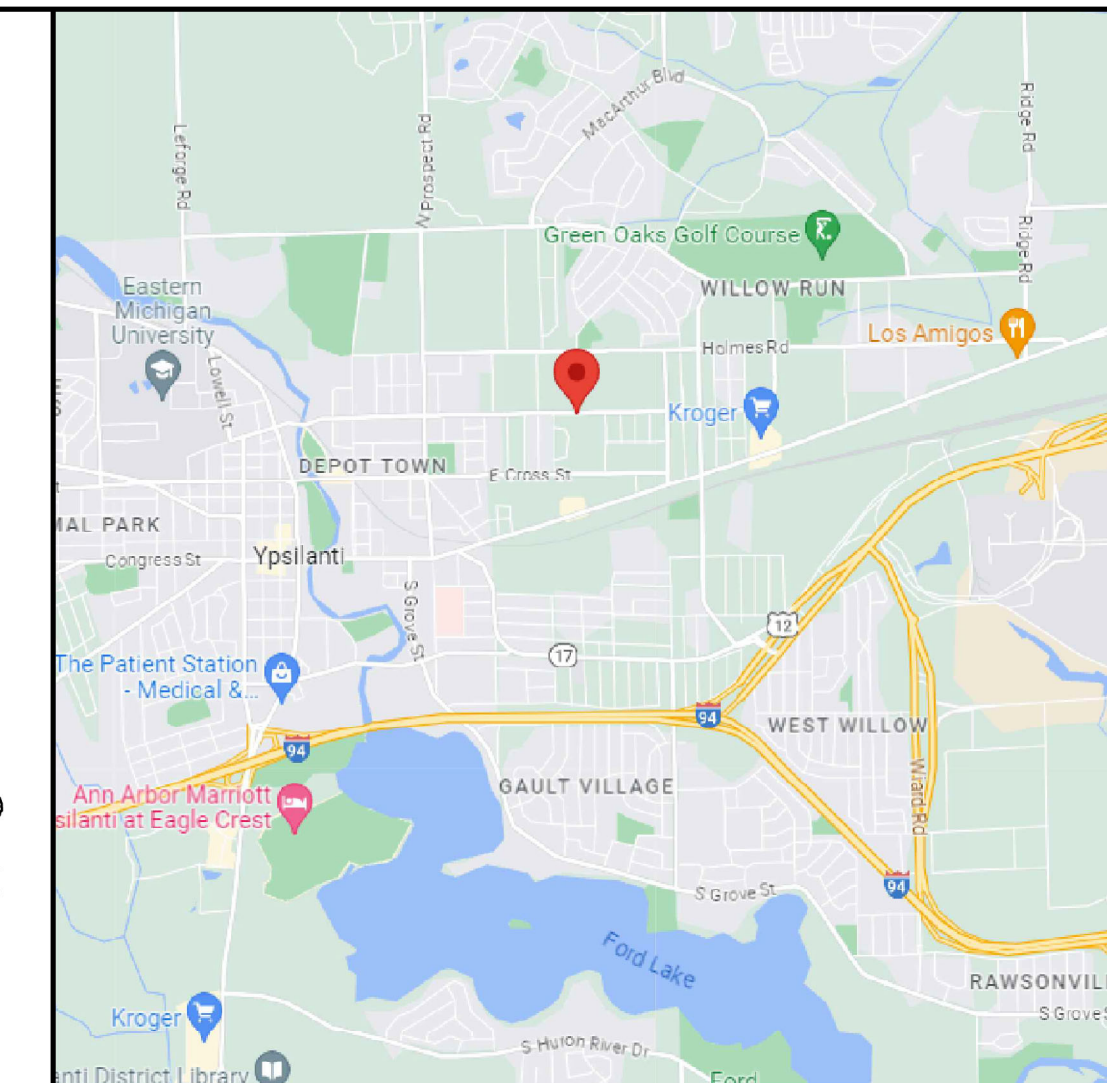


DETAIL SITE PLAN
SCALE: 1" = 20'

NOTE

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AND PROPOSED UTILITY CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARE APPARENT OR IF THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.

NOTE: DO NOT SCALE DRAWING, USE PRINTED DIMENSIONS ONLY. IF DRAWING IS REPRODUCED IN A SIZE OTHER THAN 24" x 36", SCALE MAY DIFFER. THIS DRAWING SHALL NOT BE DUPLICATED, MODIFIED, TRANSFERRED OR ISSUED WITHOUT THE WRITTEN CONSENT OF DAVID ARTHUR CONSULTANTS, INC. - COPYRIGHT 2023.



LOCATION MAP
N.T.S.

LEGAL DESCRIPTION

PARCEL #K-11-03-400-033
YP#3-67C COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4, THENCE SOUTH 89° 58' WEST 428.74' FEET TO THE PLACE OF BEGINNING; THENCE NORTH 0° 23' WEST 914.90 FEET; THENCE NORTH 89°57' WEST 246.36 FEET; THENCE SOUTH 0° 23' EAST 631.90 FEET; THENCE NORTH 89° 58' EAST 150.00 FEET; THENCE SOUTH 0° 23' EAST 283.00 FEET; THENCE NORTH 89° 58' EAST 96.36 FEET TO THE PLACE OF BEGINNING.
BEING PART OF SECTION 3, T3S, R7E, YPSILANTI CHARTER TOWNSHIP, WASHTENAW COUNTY, MICHIGAN.

PARCEL CONTAINS 4.20± ACRES

NARRATIVE

THE PROJECT CONSISTS OF THE REMOVAL OF AN EXISTING TWO STORY HOUSE, GARAGE, DRIVEWAY AND SIDEWALKS AND SHALL BE REPLACED WITH A SINGLE STORY BUILDING TO BE USED TO MANAGE THE EXISTING APARTMENTS ON SITE. THE PROPOSED BUILDING IS AN ACCESSORY USE TO THE EXISTING APARTMENTS ON-SITE.

THE BUILDING WILL INCLUDE OFFICES FOR MANAGEMENT, CONFERENCE ROOM(S) AND ACCESSORY SPACES TO SUPPORT THE TENANTS OF THE EXISTING APARTMENTS COMPLEX. THE IMPROVEMENTS WILL ALSO INCLUDE THE REQUIRED PARKING FOR THE COMPLEX MANAGER ALONG WITH ADA COMPLIANT SPACES AND AN ACCESSIBLE PATH FROM THE PARKING SPACES TO THE NEW BUILDING ENTRANCE.

NO OTHER CHANGES ARE PROPOSED ON SITE.

EXISTING PROPERTY ZONING: RM-LD (RESIDENTIAL MULTIPLE-FAMILY: LOW DENSITY)

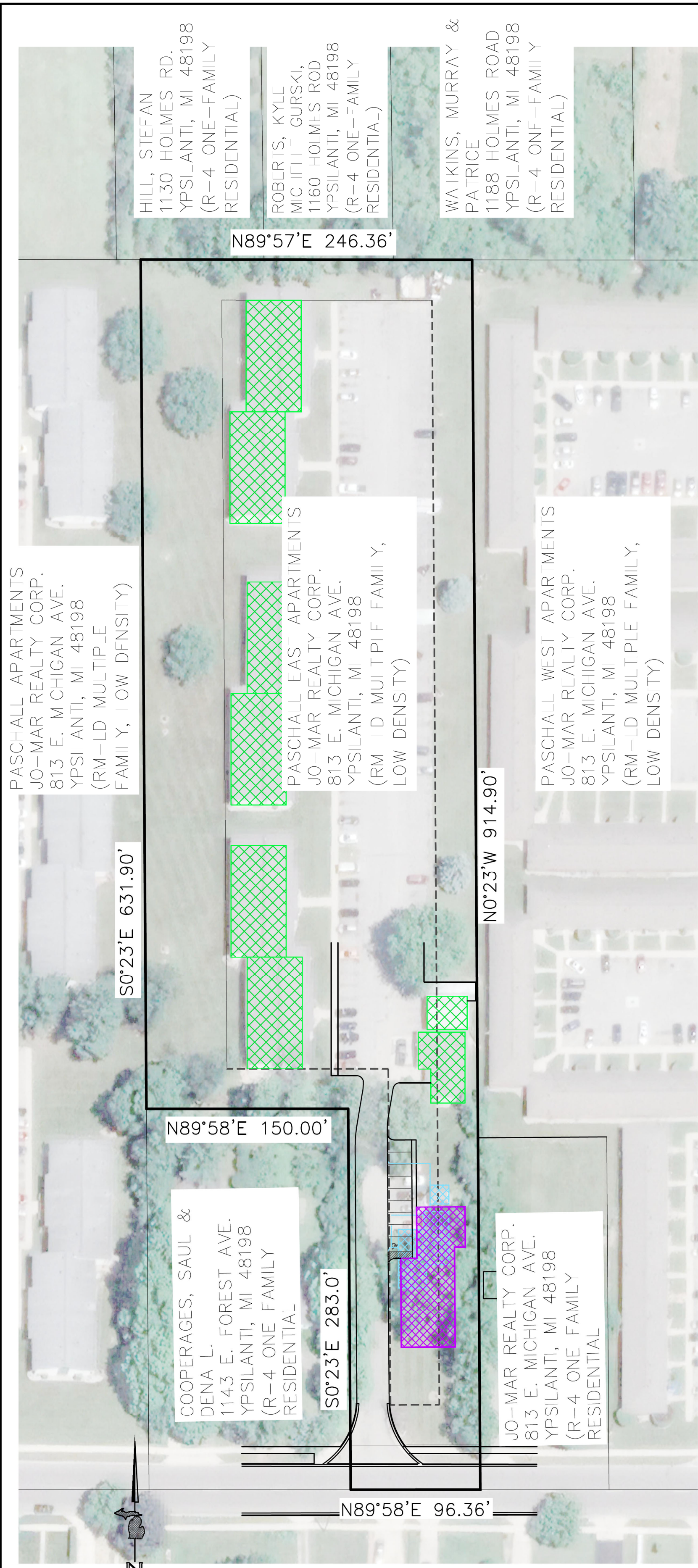
THERE IS NO PROPOSED CHANGE IN USE OF THE SITE

EXISTING MINIMUM REQUIRED SETBACKS:
FRONT - 30'
REAR - 30'
SIDE - 30' LEAST/ 60' TOTAL

PROPOSED BUILDING SETBACK DISTANCES:
FRONT - 50'
REAR - N/A
SIDE - 10' (MIN.)/50' TOTAL

VARIANCE AS REQUESTED:

| | ORDINANCE SECTION | CURRENT ORDINANCE REQUIREMENTS | REQUESTED VARIANCE | COMMENTS |
|---|-------------------|----------------------------------------------------------------|--------------------|---------------------------------------------------------------------------------------------------------------------|
| ① | SIDE YARD SETBACK | ARTICLE IV, SECTION 407 RESIDENTIAL MULTIPLE-FAMILY, SIDE YARD | 30' | IN ACCORDANCE WITH SECTION 802, 7, NO ACCESSORY BUILDING SHALL BE LOCATED CLOSER THAN 5' TO ANY SIDE YARD LOT LINE. |
| | | 60'(BOTH) | 48'(BOTH) | |



OVERALL SITE PLAN
SCALE: 1" = 60'

DAVID ARTHUR CONSULTANTS, INC.
110 MAIN STREET, DUNDEE MI 48131
PHONE: (734) 823-5080

FOR REVIEW

PASCHALL EAST APARTMENTS
1155 E. FOREST AVENUE,
YPSILANTI, MICHIGAN 48198
VARIANCE SITE SKETCH

DEVELOPER/OWNER:
PASCHALL EAST APARTMENTS
DODG PASCHALL
JO-MAR REALTY GROUP
813 E. MICHIGAN AVENUE
YPSILANTI, MICHIGAN 48198
PHONE:
FAX

| REVISIONS | DATE | BY | REVIEWED BY |
|------------|----------|-----|-------------|
| FOR REVIEW | 05/10/23 | JRN | |
| FOR REVIEW | 05/22/23 | JRN | |
| FOR REVIEW | 05/24/23 | JRN | |

SCALE* AS NOTED
PLOT DATE 5/24/23
JOB NO. 23-D-5232
SHEET NO.

C1

FOR REVIEW

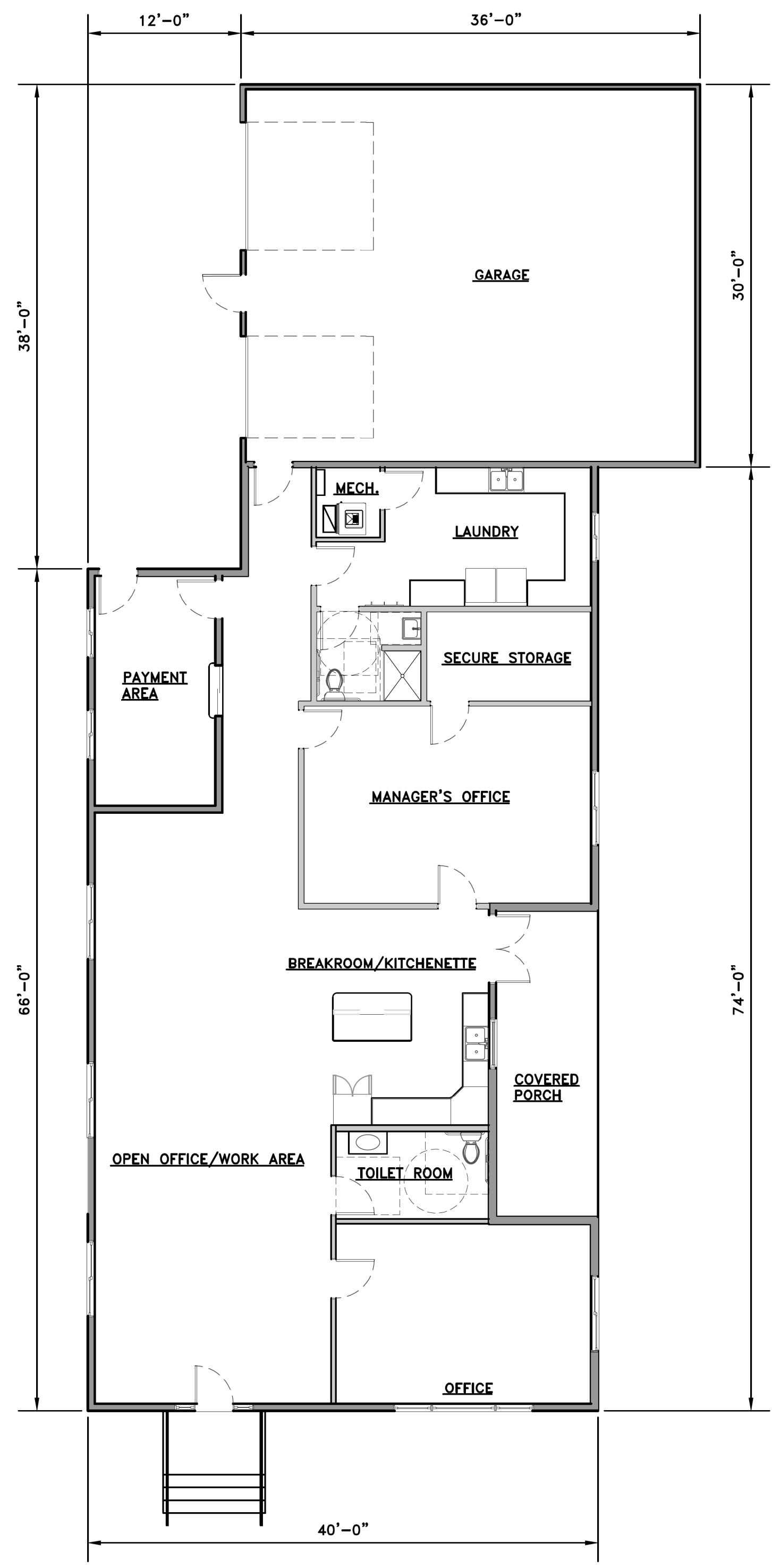
PASCHALL EAST APARTMENTS
1155 E. FOREST AVENUE,
YPSILANTI, MICHIGAN 48198

DEVELOPER/OWNER:
PASCHALL EAST APARTMENTS
DOLG PASCHALL
JO-MAR REALTY GROUP
813 E. MICHIGAN AVENUE
YPSILANTI, MICHIGAN 48198
PHONE:
FAX

| REVISIONS | DATE | BY |
|------------|----------|-----|
| FOR REVIEW | 05/10/23 | JRN |
| FOR REVIEW | 05/22/23 | JRN |
| FOR REVIEW | 05/24/23 | JRN |

SCALE* AS NOTED
PLOT DATE 5/24/23
JOB NO. 23-D-5232

SHEET NO.
A.1



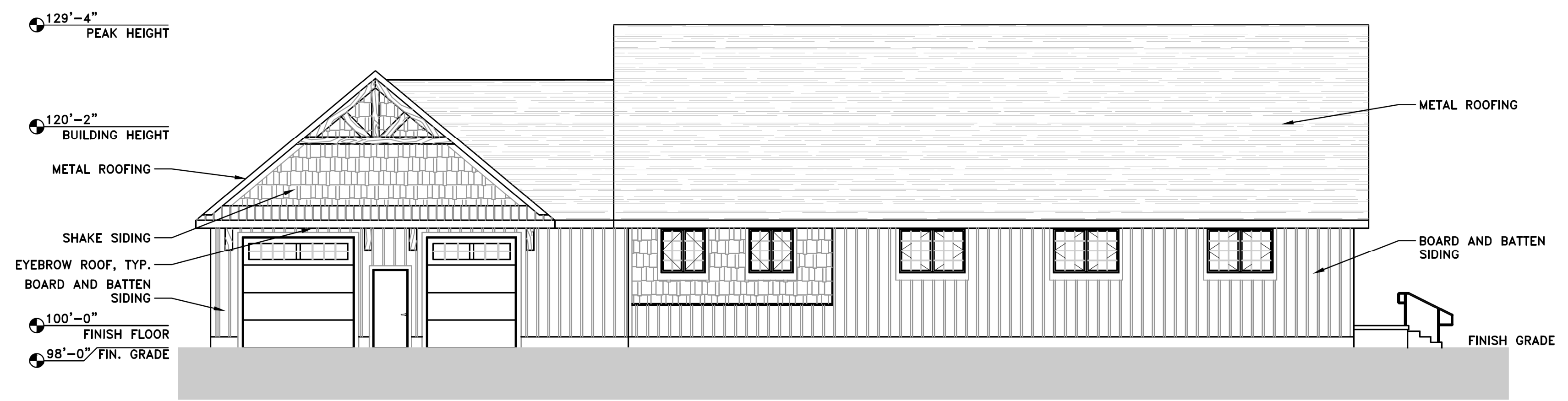
CONCEPTUAL FLOOR PLAN
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"

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