



SPECIAL MEETING AGENDA

Wednesday, June 17, 2026
6:30 P.M.

If you need any assistance due to a disability, please contact the Planning Department at least 48 hours in advance of the meeting at planning@ypsitownship.org or 734-544-4000 ext. 1.

1. CALL TO ORDER
2. ROLL CALL
3. APPROVAL OF AGENDA
4. APPROVAL OF THE MAY 12TH, 2026 REGULAR PLANNING COMMISSION MEETING MINUTES
5. PUBLIC HEARINGS
 - A. **CLASS A NONCONFORMING DESIGNATION – CAR WASH “GROVE STREET AUTO WASH” – 2171 GROVE ROAD** – TO CONSIDER THE CLASS A NONCONFORMING DESIGNATION APPLICATION TO PERMIT THE RENOVATION OF A VEHICLE WASH OF AN EXISTING LEGAL NONCONFORMING STRUCTURE
 - B. **SPECIAL LAND USE– CAR WASH “GROVE STREET AUTO WASH” – 2171 GROVE ROAD** - TO CONSIDER THE SPECIAL LAND USE APPLICATION TO PERMIT A RENOVATION OF A VEHICLE WASH ON A SITE ZONED GB, GENERAL BUSINESS.
6. OLD BUSINESS
7. NEW BUSINESS
 - A. **PRELIMINARY SITE PLAN – CAR WASH “GROVE STREET AUTO WASH” – 2171 GROVE ROAD-** TO CONSIDER THE PRELIMINARY SITE PLAN APPLICATION TO PERMIT A RENOVATION OF A VEHICLE WASH ON A SITE ZONED GB, GENERAL BUSINESS.
8. OPEN DISCUSSION FOR ISSUES NOT ON THE AGENDA
 - A. CORRESPONDENCE RECEIVED
 - B. PLANNING COMMISSION MEMBERS
 - C. MEMBERS OF THE AUDIENCE
9. TOWNSHIP BOARD REPRESENTATIVE REPORT
10. ZONING BOARD OF APPEALS REPRESENTATIVE REPORT
11. TOWNSHIP ATTORNEY REPORT
12. PLANNING DEPARTMENT REPORT
13. OTHER BUSINESS
14. ADJOURNMENT

**CHARTER TOWNSHIP OF YPSILANTI
PLANNING COMMISSION MEETING**

Tuesday, May 12, 2026

6:30 pm

COMMISSIONERS PRESENT

Elizabeth El-Assadi, Chair

Bill Sinkule, Vice Chair

Darrell Kirby, Secretary

Bianca Tyson

Gloria Peterson

Amy Kehrer

STAFF AND CONSULTANTS

Mark Yandrick, Planning Director

Dennis McLain, Township Attorney

• **CALL TO ORDER/ESTABLISH QUORUM**

MOTION: Ms. El-Assadi called the meeting to order at 6:30 pm.

• **APPROVAL OF AGENDA**

MOTION: Mr. Sinkule **MOVED** to approve the agenda as amended, moving new business item 7A to 5A-1, and new business item 7B to 5B-1. The **MOTION** was **SECONDED** by Ms. Kehrer and **PASSED** by unanimous consent.

• **APPROVAL OF THE MARCH 24, 2026, REGULAR MEETING MINUTES**

MOTION: Mr. Kirby **MOVED** to approve the March 24, 2026, regular meeting minutes. The **MOTION** was **SECONDED** by Mr. Sinkule and **PASSED** by unanimous consent.

• **PUBLIC HEARINGS**

**SPECIAL LAND USE – SPIRIT SANGA (NONPUBLIC) SCHOOL – 5550
MORGAN ROAD – TO CONSIDER THE SPECIAL LAND USE APPLICATION**

TO PERMIT A (NONPUBLIC) AND SECONDARY SCHOOL ON A SITE ZONED R-1, ONE-FAMILY RESIDENTIAL.

Planning Staff informed the Commission on the application for the Special Land Use for Spirit Sanga Nonpublic School. The location was at an existing Baha'i church. Spirit Sanga sought to open a Baha'i-related school, but it was a separate entity from the church. There would be approximately 30 children. The location was over 10 acres. The zoning district was R-1, the least dense zoning district. The location map was presented, and it was noted that the development was only in the northern portion. Under the proposal, the existing building would be retained, and the only construction would be a sidewalk. The proposed site plan was presented.

The Master Plan designated the site as Open Space, Neighborhood Preservation, and Cluster Development on the Future Land Use Map. These areas can accommodate smaller-scale specialized agricultural uses and low-density/cluster single-family residential while preserving open spaces, natural features and existing neighborhoods. Land uses envisioned in this Master Plan future land use category include public and institutional facilities such as schools, places of worship, police stations, and community centers that support the surrounding residential properties. An important design consideration for this category calls for respecting existing open space and natural areas. Planning Staff found that the proposed Nonpublic Primary and Secondary School was consistent with the Master Plan vision because the school could support the surrounding residential uses and help preserve open spaces and natural areas.

The natural features planted by the Bahai's Center on site helped to grow what was already present. The ordinance called for protecting existing trees, and there were no comments regarding the setbacks. With the increase in land use and the introduction of the school, only eight parking spaces were required. In the proposed plan, there were 66 spaces and two barrier-free spaces. The maximum number of teachers at full capacity was eight, and the maximum number of students was 30. The hours of operation did not overlap with the hours of the Bahai's Center, so it was a complementary use. The existing drop-off was presented, which was within the existing church setup and had a good layout.

The applicant agreed to add the following information to the site plan: a tree protection fence symbol, a detail and note prohibiting parking within the fenced-off area, the numbers of students and teachers initially and at full capacity, the hours of operation

of the school, the note that childcare before or after school was not planned to be offered, the table of parking information, the number of existing required parking spaces for the school and the church, the building floor plans and handling of trash, and the location of lighting for the new sidewalk. Planning Staff reported that he provided the Chair with a response memo analysis confirming what the applicant was doing.

Planning Staff reviewed the six Special Land Use criteria and confirmed that the analysis demonstrated that all criteria were met. The sheriff's office and fire department also reviewed the criteria for adequate service for essential public facilities and services.

Mr. Kirby (Commissioner) asked how many staff would be located at the school. Planning Staff clarified that only eight spaces were required, but the lot contained 68 spaces in total.

Ms. Kehrer (Commissioner) noted that the packet made it appear Planning Staff was recommending a postponement and asked whether there was now enough information. Planning Staff confirmed that they had received sufficient information and that their questions had been addressed. The provided information was supplemental and helped confirm that they met the special-use criteria.

Ms. El-Assadi (Commissioner) asked if the enrolment was in addition to the number of children in the center. Planning Staff stated that the maximum capacity was 30, and if they wanted to increase the number, they would have to return to request an increase in capacity.

Eugene Baibourine, a representative for Spirit Sanga, provided additional information on the project. Mr. Baibourine reported that Spirit Sanga was a small, educational, non-profit based in Ypsilanti, with a non-denominational, spiritual focus on educating children. Over the past few years, they have been conducting homeschooling for parents in the Ypsilanti area and engaging parents and community members to share their interests with the homeschool children through various activities. The maximum capacity was 30 children, and it would operate Monday through Thursday, with no school on Fridays. There was a common area with a special entrance. There were eight children in the current program, with the plan to grow. Mr. Baibourine confirmed that the hours of operation would not overlap with the Baha'i Center and that they worked closely with the Baha'i Center to ensure no overlap.

Mr. Sinkule (Commissioner) asked about the curriculum and the type of school. Mr. Baibourine reported that the parents were getting together for enrichment activities. The goal of expanding to a nonpublic school was to have teachers teach students math, language arts, social studies, and science. The parents were currently solely responsible for the children's homeschooling, and the intention was to have teachers offer the standardized curriculum at the school.

Parvin Keller, a member of the Spiritual Assembly of Ypsilanti Township and the Acting Manager of the Baha'i Center, added that she was very involved in scheduling and was happy to have Spirit Sanga at the facility. She noted that the only other activities were meetings, and there was no interference. She assured that she saw no issues with overlapping times.

Ms. Peterson (Commissioner) asked how applications from students were received and whether the program had religious backing. She asked how children qualified. Mr. Baibourine stated that anyone was welcome and there was no religious stipulation. Applications would be opened on the website, and there was no current advertisement. The programming was non-denominational, but spiritual. No specific denomination was promoted. Ms. Keller explained that it was an alternative education program in which spiritual matters, including any demonstrations, could be discussed and respected, but there was no restriction on the type of religion. It was intended to be a space for children to be accepting of other religions. The Baha'is promoted the unity of all religions and that all humanity is one, rather than creating divisions.

Ms. Peterson (Commissioner) asked if there were any specific criteria for the students. Mr. Baibourine stated that there were no criteria, and an established board and a director of education would review the applications. Ms. Peterson (Commissioner) asked about the cost. Mr. Baibourine stated that the proposed cost for a full-time student was \$700 to \$750 per month. Ms. Peterson (Commissioner) asked if the students wore uniforms and if they were provided lunch. Mr. Baibourine stated that there were no uniforms, and children brought their own lunches.

PUBLIC HEARING OPENED AT 6:52 PM

Hearing None.

PUBLIC HEARING ENDED AT 6:53 PM

MOTION: Ms. Kehrer **MOVED** to approve the Special Land Use request submitted by Spirit Sanga to permit a nonpublic school to operate out of the lower level of the spiritual assembly of Baha'is of Ypsilanti Township building on a 10.03-acre site zoned R-1, family residential, located at 5505 Morgan Road, Ypsilanti, Michigan, 48197, Parcel K-11-19-100-020, with the following conditions:

1. The applicant shall revise all plan sheets during the final site plan review process to reflect the decisions and conditions of this special land use.
2. The applicant shall address all outstanding comments from reviewing staff and agencies during the final site plan review process.
3. The applicant shall obtain all applicable internal and outside agency permits prior to construction.

The **MOTION** was **SECONDED** by Mr. Sinkule.

Roll Call Vote: Ms. Tyson (Yes), Ms. Kehrer (Yes), Mr. Sinkule (Yes), Ms. Peterson (Yes), Mr. Kirby (Yes), and Ms. El-Assadi (Yes). **MOTION PASSED.**

SPECIAL LAND USE – PLAYVERSE RENO FAMILY FUN CENTER – 2287 ELLSWORTH ROAD – TO CONSIDER THE SPECIAL LAND USE APPLICATION TO PERMIT AN INDOOR RECREATIONAL FACILITY ON A SITE ZONED GB, GENERAL BUSINESS.

Planning Staff informed the Commission that the proposal was from the business owner, and clarified that Playverse Reno Family Fun Center was the final name, not Game Vault. The location was a former pharmacy, and it was zoned General Business. The applicant proposed using the space for an arcade, pool tables, and video games. The application was received on February 17, and the public hearing notice was sent out on April 26. If approved, it would move to outside permit processes. The location map was presented, and showed that it was at the indentation and in the corner of the shopping center. There were not many other vacant spaces, so it would help to complete the shopping area. There were emergency handicap ADA spaces available.

Planning Staff presented the zoning map for the area. There was a residential area approximately 465 feet away. The applicant provided a floor plan. There was a seating area on the left, an employee stand for vending for tokens and food, an arcade area, pool tables, and private rooms for gaming. The staff report included photos of the private rooms. The private rooms without windows were generally considered offices,

so the staff added safety measures to ensure the spaces remained safe. The site was generally meeting zoning requirements, although a tree in the center of the parking lot in front of the store was requested to be replaced. There were five dumpsters behind the building, and it was requested that the dumpsters be screened with brick or natural materials to prevent off-site dumping and protect them from the elements. The other businesses with dumpsters would be worked with as they came forward.

Planning Staff presented photos of the employee area, the private gaming area, and the overall look. The building was between 7,000 and 8,000 square feet. There were storage rooms in the back, but the majority of the building was available to the public. The indoor recreation facilities met the specific standards. The structures were set back more than 100 feet from nearby residential areas. A parking study was provided to verify that there would be no issues. The applicant will provide documentation demonstrating that the facility's size is adequate. The Planning Commission could restrict operational hours in consideration of adjacent land uses. The building will be open seven days per week from 11:00 a.m. to 11:00 p.m. Monday through Saturday, and 11:00 a.m. to 8:00 p.m. on Sundays. There were six land use criteria related to small safety and aesthetic improvements to the site that would help comply with the code. There were 15 different standards for the site plan, but they were met overall. The only item not in the application that needed to be provided was the number of employees at the largest shift, which was necessary for parking and needed to be stated on the record. If the applicant provides the information that addresses that issue considered adequate, Planning Staff recommends a special land use approval for indoor recreation with the following three conditions:

1. The windows facing the parking lot must be transparent and unobstructed for the activity.
2. The individual rooms for games must have doors removed or have six-square-foot transparent, uncovered windows to maintain safety and prevent any illicit activity.
3. A development agreement must be approved by the Township Board and recorded on the property before the final site plan is approved.

If the special land use was approved, Planning Staff recommended approval of the site plan with two conditions:

1. The applicant must obtain all required permits from the relevant agencies, along with Final Site Plan approval, before submitting any building permit application.
2. Prior to the Final Site Plan approval, the applicant shall provide the following on the Final Site Plan submission:
 - a. Final Landscape Plan, including an understory tree in the parking lot bed.
 - b. Install (4) four parking blocks for the existing ADA spaces in front of this section of the building and locate the ADA signs in a permanent location, not to block the ADA access to the sidewalk.
 - c. Provide a dumpster enclosure consistent with the zoning code requirements.
 - d. Final Lighting Plan, with photometric calculations ensuring compliance with the Zoning Code, with the existing or any needed outdoor lighting.

Majdi Jay Issa, the applicant, provided additional information on the project. Mr. Issa stated that there was no issue with the window being transparent and agreed with removing the doors. He discussed that the goal of the concept was to create an environment in the neighborhood where children had somewhere to go and to draw people to the shopping center. There would be four to six staff, with four in the beginning. He clarified that the only food would be packaged snacks, and there was no need for a kitchen.

Ms. El-Assadi (Commissioner) asked if the individual rooms had rentable gaming systems. Mr. Issa confirmed that this was the case, and the separate rooms offered privacy and a smaller screen to play on.

Mr. Kirby (Commissioner) asked whether there were plans to play any music. Mr. Issa stated that background music would be playing.

Ms. Peterson (Commissioner) asked if there was an age minimum or any stipulations requiring parents. Mr. Issa stated that there were no age stipulations. Ms. Peterson (Commissioner) asked if there were any security plans. Mr. Issa stated that there would be no security personnel other than the staff. Ms. Peterson (Commissioner) asked if the staff would be working the whole shift. Mr. Issa confirmed that staff would be present throughout, with a minimum of four staff members. Ms. Peterson (Commissioner) asked if there would be cameras. Mr. Issa confirmed that there would be cameras in the interior spaces, including in the rooms. Ms. Peterson

(Commissioner) asked about the bar. Mr. Issa stated that there would be a snack bar for concessions, but no alcohol would be served.

Mr. Sinkule (Commissioner) asked how big the screens were in the rooms. Mr. Issa reported that they were 28 to 50 inches.

Mr. Kirby (Commissioner) asked if there was a cost to get in or if it was per game. Mr. Issa stated that there was only an initial cost of \$20 to \$25. The final amount still needed to be determined.

Ms. Peterson (Commissioner) asked if the cost was for all ages, including younger children. Mr. Issa confirmed that it was. Ms. Peterson (Commissioner) asked if the amount covered everything. Mr. Issa stated that the arcade operated on tokens, but everything else was included in the cost. He noted that they had not refined all the cost details. Ms. Peterson (Commissioner) recommended including the arcade games for the children since they would not be playing billiards. Mr. Issa clarified that the gaming rooms were included in the cost and would be used more often. Ms. Peterson (Commissioner) asked what would happen if all the rooms were full and whether there would be a time limit. Applicant Emad Alkhteb added that the average hours spent would be two to three hours. Ms. Peterson (Commissioner) expressed concerns about the amount of time some people would spend in the gaming rooms and the need to ensure it was fair for everyone who paid the entry fee.

Ms. Tyson (Commissioner) asked if anyone under 18 had to be accompanied by a parent. Mr. Issa confirmed that a parent must accompany anyone under 16.

PUBLIC HEARING OPENED AT 7:21 PM

Lia Mills thanked the Commissioners for their questions and discussed concerns about the opening time, ensuring that youth were not skipping school, and the lack of parental accompaniment and oversight. She urged the Commission to slow down the approval process. She asked if anything, such as vapes or alcohol, would be allowed into the area.

PUBLIC HEARING ENDED AT 7:26 PM

Mr. Issa stated that they decided to open at 11:00 a.m. because seniors got out of school between 10:30 a.m. and noon, and anyone under 16 would not be allowed in without a guardian. The private rooms would all have cameras, and two employees

would be dedicated to monitoring the rooms and gaming systems. The gaming systems were dedicated solely to the games downloaded. No smoking, outside food, or outside drinks would be allowed.

Ms. El-Assadi (Commissioner) asked for clarification on whether a transparent window or the removal of the door would be acceptable. The applicants confirmed that they would be removing the doors. Ms. El-Assadi (Commissioner) asked whether posted occupancy would be available for the individual rooms. Mr. Issa confirmed that they could post the room occupancy limits.

Mr. Kirby (Commissioner) asked how they would check whether the youth were bringing in additional items. Mr. Alkhteb reported that they had a cashier at the entrance, and anyone entering would have to see the cashier first. The staff would do their best to prevent any outside items from entering. There would also be a sign on the door indicating that no smoking, no food, and no drinking were allowed.

Ms. Peterson (Commissioner) asked how they would proceed if someone brought in something that they were not supposed to. Mr. Issa stated that they would talk to them; they would not call the police unless it was a very serious issue. Ms. Peterson (Commissioner) raised concerns about people fighting over the rooms. Mr. Issa stated that there were 15 gaming systems and five tables. If the occupancy limit of 45 was reached, no one else would be allowed in. Ms. Peterson (Commissioner) reiterated her desire for the area to be safe.

Mr. Sinkule (Commissioner) recommended reaching out to Ypsilanti Public Schools and potentially Ann Arbor Public Schools to obtain their schedules and be aware of when children should and should not be showing up.

Mr. Kirby (Commissioner) commented that he foresaw fewer issues if the 16-or-older requirement without an adult was enforced.

Planning Staff commented that marijuana consumption and smoking lounges were prohibited in the Township, and if it was found, the business would go through the court system. It was recommended that the motion include some of the items discussed, such as security cameras or simply removing the doors.

Mr. Sinkule (Commissioner) recommended adding conditions.

Ms. Peterson (Commissioner) stated that stronger security should be added as a condition, such as the installation of scanners.

Ms. Kehrer (Commissioner) asked if it would be beneficial to require consultation with the Sheriff's Department. Ms. El-Assadi (Commissioner) agreed with the idea.

Planning Staff noted that it was often required that security cameras retain video for 30 to 45 days and make it available to law enforcement upon request. Ms. Peterson (Commissioner) stated that it would be helpful.

Mr. Sinkule (Commissioner) asked if any other conditions should be added. Ms. El-Assadi (Commissioner) recommended adding posted occupancy and eliminating the "either or" option for the transparent windows versus doors for private rooms. Mr. Sinkule (Commissioner) recommended the transparent window option, as removing the doors could create distractions during gaming.

The Commissioners discussed which option would be best: transparent windows or removing doors from the privacy rooms. It was agreed to request that the doors be removed. Ms. Peterson (Commissioner) asked why there could not be both glass and no doors. It was clarified that there was no existing glass in the room. Mr. Issa stated that they would prefer removing the doors. The Commissioners agreed to move forward with the condition that the doors would be removed.

Mr. Sinkule (Commissioner) asked if the applicant was open to having an exterior camera. Mr. Issa stated that they could have a camera on the front and back doors.

It was asked who would be monitoring the cameras. Mr. Issa stated that the cashier would monitor the cameras. There would also be monitors outside the private rooms for others to watch.

It was asked if some of the games were mature and if they would be monitored. Mr. Issa confirmed that they would be monitoring them.

MOTION: Ms. Sinkule **MOVED** to **APPROVE** the Special Land Use application for an indoor recreation facility called Playverse Reno Family Fun Center at 2287 Ellsworth, submitted by Emad Alkhteb, on a site zoned GB,

General Business, as the proposal meets the criteria in Article 10, Special Land Use, with the following four conditions:

1. The windows facing the parking lot must be transparent and not blocked from the activity.
2. The individual rooms for games must have the doors removed to prohibit any illicit activity.
3. A development agreement must be approved by the Township Board and recorded on the property prior to the final site plan being approved.
4. Indoor and outdoor security camera systems with 45-day loops were provided to the Washington County Sheriff's Department.

The **MOTION** was **SECONDED** by Mr. Kirby.

Roll Call Vote: Ms. Tyson (Yes), Ms. Kehrer (Yes), Mr. Sinkule (Yes), Ms. Peterson (Yes), Mr. Kirby (Yes), and Ms. El-Assadi (Yes). **MOTION PASSED.**

- **OLD BUSINESS**

None to Report.

- **NEW BUSINESS**

- a. **PRELIMINARY SITE PLAN– SPIRIT SANGA NONPUBLIC SCHOOL – 5550 MORGAN ROAD** – TO CONSIDER THE PRELIMINARY SITE PLAN APPLICATION TO PERMIT A (NONPUBLIC) PRIMARY AND SECONDARY SCHOOL ON A SITE ZONED R-1, ONE-FAMILY RESIDENTIAL.

MOTION: Mr. Sinkule **MOVED** to approve the preliminary site plan request submitted by Spirit Sanga nonpublic school, Virtual assembly of Baha'is of Township building on 10.03 acre site zoned R-1, family residential, located at 5550 Morgan Road, Ypsilanti, Michigan, 48197, Parcel K-11-19-100-020, with the following conditions:

1. The applicant shall revise all plan sheets during the final site plan due process to reflect the decisions and conditions approved for the preliminary site plan and special land use.

2. The applicant shall address all outstanding comments from reviewing staff and agencies during the final site plan review process.
3. Applicants shall obtain all applicable internal and outside agency permits prior to construction, for any other conditions based on the planning commission.

The **MOTION** was **SECONDED** by Ms. Tyson.

Roll Call Vote: Ms. Tyson (Yes), Ms. Kehrer (Yes), Mr. Sinkule (Yes), Ms. Peterson (Yes), Mr. Kirby (Yes), and Ms. El-Assadi (Yes). **MOTION PASSED.**

b. PRELIMINARY SITE PLAN– PLAYVERSE RENO FAMILY FUN CENTER – 2287 ELLSWORTH ROAD – TO CONSIDER THE PRELIMINARY SITE PLAN APPLICATION ENTERTAINMENT TO PERMIT AN INDOOR RECREATION FACILITY ON A SITE ZONED GB, GENERAL BUSINESS

MOTION: Ms. Kehrer **MOVED** to **APPROVE** the Preliminary Site Plan application for an indoor recreation facility called Playverse Reno Family Fun Center at 2287 Ellsworth, submitted by Emad Alkhteeb, on a site zoned GB, General Business, as the proposal meets the criteria in Article 10, Special Land Use, with the following two conditions:

1. The applicant must receive all required permits from agencies, along with Final Site Plan approval, before submitting any application for building permits.
2. Prior to the Final Site Plan approval, the applicant shall provide the following on the Final Site Plan submission:
 - a. Final Landscape Plan, including an understory tree in the parking lot bed.
 - b. Install (4) four parking blocks for the existing ADA spaces in front of this section of the building and locate the ADA signs in a permanent location, not to block the ADA access to the sidewalk.
 - c. Provide a dumpster enclosure consistent with the zoning code requirements.
 - d. Final Lighting Plan, with photometric calculations ensuring compliance with the Zoning Code, with the existing or any needed outdoor lighting.

The **MOTION** was **SECONDED** by Mr. Kirby.

Roll Call Vote: Ms. Tyson (Yes), Ms. Kehrer (Yes), Mr. Sinkule (Yes), Ms. Peterson (Yes), Mr. Kirby (Yes), and Ms. El-Assadi (Yes). **MOTION PASSED.**

c. **ELECTION OF OFFICERS FOR THE 2026 PLANNING COMMISSION CALENDAR YEAR**

Planning Staff reported that the intention of the annual election of officers was to elect a Chair, Vice Chair, and Secretary for 2026. A motion was required for each employment, and there would be a vote in any competitive race.

Ms. Kehrer (Commissioner) asked what the role of the Secretary was. Ms. El-Assadi (Commissioner) stated that the Secretary checked the meeting minutes for any errors. Planning Staff added that the Secretary and the Chair signed off on the resolutions. In the future, the Secretary may also sign off on the meeting minutes.

MOTION: Ms. Peterson **MOVED** to **APPROVE** retaining the same officers for the current Planning Commission; Elizabeth El-Assadi would remain Chair, Bill Sinkule would remain Vice Chair, and Darrell Kirby would remain Secretary. The **MOTION** was **SECONDED** by Mr. Sinkule and **PASSED** by unanimous consent.

• **OPEN DISCUSSIONS FOR ISSUES NOT ON AGENDA**

• **2025 Planning Commission Year-End Report**

Planning Staff noted that the year-end report was available in the packet.

• **Correspondence Received**

None to Report.

It was noted that a resignation from Larry Doe was received. There were many applicants for the position.

• **Planning Commission Members**

Mr. Kirby (Commissioner) reported that work was beginning on the dock. He asked when it was anticipated to be completed. Planning Staff stated that they were not sure.

Mr. Sinkule (Commissioner) asked if there was any update on Gault Village. Planning Staff stated that there was no update.

Ms. Peterson (Commissioner) stated that she was displeased that a time extension had been granted and asked how long it could be extended. Planning Staff stated that it was up to the County Treasurer.

- **Members of the Audience**

None to Report.

- **TOWNSHIP BOARD REPRESENTATIVE REPORT**

None to Report

- **ZONING BOARD OF APPEALS REPRESENTATIVE REPORT**

None to Report

- **TOWNSHIP ATTORNEY REPORT**

None to Report

- **PLANNING DEPARTMENT REPORT**

Planning Staff reported that a meeting would be held on Tuesday, May 26, 2026. He noted that one item was for an abandoned car wash and another was for an extension for the Holiday Inn construction. Planning Staff noted that there may be two meetings per month starting in June, but updates will be provided. Creekside North had to return for the final site plan approval, which was hoped to come forward in July. Sheetz was finalizing construction. It would be a few months before Culver's began construction. Tita Tortillas submitted all of their documents and were ready to start work.

It was asked if there was a new hotel. Planning Staff reported that it was a Comfort Inn, and it was being moved to a different location due to challenges complying with the building code.

It was asked if there were any applications for the old Wendy's. Planning Staff confirmed that there were no inquiries.

It was asked if there were any applications for the old Walmart. Planning Staff confirmed that there were no applications.

- **OTHER BUSINESS**

None to Report.

- **ADJOURNMENT**

MOTION: Ms. Peterson **MOVED** to adjourn at 8:12 pm. The **MOTION PASSED** by unanimous consent.

=====
Respectively Submitted by Minutes Services



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: February 27, 2026

Rev.: April 22, 2026

**Preliminary Site Plan, Special Land Use, and
Class A Non-Conforming Designation Review
For
Ypsilanti Township, Michigan**

Applicant:	Blackstar Building Group, Inc.
Project Name:	Grove Rd. Car Wash Renovation
Plan Date:	December 30, 2025
Latest Revision:	March 17, 2026
Location:	2171 Grove Road (south of Lakeview Ave.)
Zoning:	GB, General Business District
Action Requested:	Preliminary Site Plan, Special Land Use, Class A Non-Conforming Designation Approval

PROJECT AND SITE DESCRIPTION

The applicant is proposing to renovate an existing car wash building on the subject site. The renovated building will contain six (6) self-wash bays, and two (2) automatic wash bays. Two (2) of the self-wash bays will have 9.5-foot-tall openings, while the remaining four (4) will have 8-foot-tall openings. The automatic wash bays will have 8-foot-tall openings. The site plan doesn't show any pay stations, but it does show six (6) vacuum stations/parking spaces. The applicant is also proposing to improve vehicular circulation on the site and remove a substantial amount of existing pavement.

Access to the site occurs off Lakeview Ave. Vehicles predominately exit the wash bays onto Grove Rd., but the maneuvering lane would allow a vehicle to exit onto Lakeview Ave.

Benjamin R. Carlisle, *President* John L. Enos, *Vice President*
Paul Montagno, *Principal* Megan Masson-Minock, *Principal* Laura Kreps, *Principal* Brent Strong, *Principal*
David Scurto, *Principal* Sally M. Elmiger, *Principal* Craig Strong, *Principal* Douglas J. Lewan, *Principal*
Richard K. Carlisle, *Past President/Senior Principal* R. Donald Wortman, *Past Principal*

The subject site is zoned GB, General Business District. Vehicle washes are allowed in this district as a Special Land Use. The applicant is renovating an existing building, and some aspects of the current building are non-conforming. Therefore, the applicant is also requesting a Class A Non-Conforming Designation.

An aerial of the proposed site is shown below.

Figure 1: Subject Site



Source: Nearmap (Captured September 27, 2025)

Size of Subject Site:

Net: 1.11 acres (48,351 s.f.)

Current Use of Subject Site:

Car wash

Table 1: Adjacent Zoning and Existing Land Uses

Direction	Zoning	Existing Use
North	Adjacent Parcel: GB, General Business Across Lakeview: R-5, One-Family Residential	Adjacent Parcel: Pizza Parlor Across Lakeview: Park, Single-Family & Vacant
South	Across Grove: RM-HD, Multi-Family (High Density)	Across Grove: Multi-Family Residential
East	RM-LD, Multi-Family (Low Density)	House of Worship & Multi-Family
West	Across Grove: RM-HD, Multi-Family (High Density)	Across Grove: Multi-Family Residential

MASTER PLAN

The site, and all the properties on the north side of Grove Rd., are designated as Neighborhood Preservation. The south side of Grove Rd. (or the area occupied by the high-density multi-family residential developments) is designated as Neighborhood Transition.

Neighborhood Preservation areas are established residential neighborhoods primarily north of Ford Lake and I-94. The intent is to preserve and strengthen the neighborhoods through investment and infill.

The intersection of Grove Rd. and Lakeview Ave. has developed over time as a small commercial node. The Domino’s Pizza building is a going concern. Renovating the existing auto wash will support the pizza business, as well as provide services to the residential neighbors. We would consider renovating this building will help to meet the Master Plan goals of strengthening the neighborhood through investment.

Applicable design concepts included the Master Plan include:

- *Large parking lots shall be screened landscaped and provided with pedestrian connections and other design amenities to break up excessive pavement and reduce visual impact of parking areas.*
- *Architectural design must create an interesting visual experience for both sidewalk users and automobiles.*
- *Ensure appropriate transition to adjacent neighborhoods.*

We would consider the proposal to be consistent with the Master Plan for this site, and the site design and architectural considerations are mostly addressed in the proposal. Please see additional comments throughout this review.

NATURAL FEATURES

Topography:

The site was previously used as a car wash and was fully graded to accommodate this use. The property is generally flat, with a slight slope down to Lakeview Ave.

The proposed grading uses the existing developed portions of the site. Approximately 1,400 s.f. of pavement near Lakeview Ave. is being removed and replaced with turf grass and landscaping.

Woodlands/Trees:

The survey shows a number of existing trees around the boundary of the site. All but one tree will be preserved. The removed tree is dead and located at the southeast corner of the site along Grove Rd. (28" Cedar).

As requested, the following has been added to the Demolition Sheet (C-101) and the Grading Sheet (C-103). Our comments on the most recent set of plans are provided in *italics*:

- Tree Protection Fence detail. *This detail has been added to Sheet C-102, Site Layout Plan.*
- A Tree Protection Fence "symbol" should be shown around trees proposed to remain. Silt fencing is not sufficient. *Both sheets show the Tree Protection symbol around all trees to remain on the subject site, as well as the trees on the neighboring property (to the north/northwest). However, no Tree Protection Fencing is shown adjacent to this neighbor's five trees where the maneuvering lane is very close to the property line. It may be difficult to see, but the Tree Protection Fence symbol should also be shown adjacent to these five trees.*
- The Tree Protection Fence symbol should be added to the legend on each sheet. *Provided.*
- A note that states: "No parking of equipment or vehicles, or storage of materials shall be allowed within the tree protection fencing." *Provided.*

Items to be Addressed: *1) Add Tree Protection Fence detail to Demolition Sheet and Grading Sheet adjacent to five trees located on the neighbor's property to the north/northwest (along maneuvering lane in this vicinity.)*

AREA, WIDTH, HEIGHT, SETBACKS

The table below evaluates the proposal against the bulk requirements for the GB, General Business District in the ordinance.

Table 2. Bulk Requirements

	Required / Allowed	Provided	Complies with Ordinance
Front Setback (Grove Rd.)	20 feet	13.4 feet	See Below
Front Setback (Lakeview Ave.)		Approx. 180 feet	Complies
Side Setback West Property Lines	10 feet, or 50 feet if lot borders a residential street	35.8 feet	Complies
Side Setback East Property Line		62 feet	Complies
Building Height	2 stories / 25 feet	1 story / 16.5 feet	Complies

Front Setback

The location of the building was established in 2001. Therefore, this is an existing non-conforming location. As mentioned above, the applicant is also requesting a Class A Non-Conforming Designation so that they may renovate the building and site for use as a car wash. If the Class A Designation is granted, then this non-conformity does not affect use of the site. Our evaluation of the Class A Designation is provided later in this review.

Table 3. Bulk Requirements for Vehicle Wash Operations

Requirements of 1129.5, Specific Use Provisions for Vehicle Wash Operations			
	Required / Allowed	Provided	Complies with Ordinance
Min. Front Yard	50 feet	Grove Rd.: 13.4 feet Lakeview Ave.: 180 feet	See Above
Wash facilities within completely enclosed building	--	--	Complies
Vacuumping and drying areas may be outside, but out of a front yard and no closer than 25-feet from residential district	Out of front yard, and 25 feet from east property line	In side yard and 25 feet from east property line	Complies
Stacking/Parking complies with Sec. 1205 and 1118	See Parking Section of this review		
Stacking/Parking hard surfaced and dust free	--	Proposing asphalt pavement	Complies
Prevent freezing at exit ramp		The response memo states that concrete stoops will be heated to prevent build-up of snow and ice. However, this information is not shown on the plans and should be.	See Below
Lighting shall be shielded and directed away from adjacent residential districts	See Lighting Section of this review		
Six-foot tall obscuring wall when abutting a residential district. Alternative screening materials may be approved by Planning Commission		Landscape screen	See Below

Preventing Freezing

The ordinance requires that a site plan demonstrate a means at the exit ramp of each wash bay to prevent pooling of water or freezing. The applicant’s response memo states that the concrete stoops will be heated, but this isn’t indicated on the plans. The plans should specify that the concrete stoops at the exit

of each wash bay will be heated to prevent freezing. We defer evaluation to the Township Engineer of the pavement slopes draining each wash bay.

Screen of Residential Properties

This project site abuts a residential district on the east side. While the ordinance requires a screen wall, Sheet L-101, *Landscape Plan*, shows preservation of most of the existing trees along the east side of the site and the addition of evergreen trees along this property line. The Planning Commission may consider the proposed landscape screen sufficient as an alternative to a 6-foot-tall wall. If landscaping isn't sufficient on its own, the Commissioners may also consider additional alternatives (such as a fence in addition to the landscaping) if necessary.

See our comments on proposed evergreen trees under the Landscape section of this review.

Items to be Addressed: 1) *On plans, specify that the concrete stoops at the exit of each wash bay will be heated to prevent freezing; defer evaluation of slopes to Township Engineer.* 2) *Planning Commission to consider landscape screen as alternative to six-foot-tall wall requirement, or additional alternatives if necessary.*

PARKING, LOADING

The ordinance requires a vehicle wash use to meet the minimum parking space requirement in Sec. 1205, *Access, Parking and Loading Requirements*, as well as the drive-through requirements in Sec. 1118, *Drive-In and Drive-Through Facilities*.

Table 4. Parking and Stacking Spaces

	Required	Provided	Complies with Ordinance
Parking Spaces	1 space for each employee or 0 employees = 0 spaces	0 spaces	See Below
Stacking Spaces – Automatic Wash	Entry per lane: 8 spaces Exit per lane: 2 spaces	Entry: 8 spaces Exit: 1 space	See Below
Stacking Spaces – Self-Service	Entry per lane: 2 spaces Exit per lane: 1 space	Entry: 2 spaces Exit: 1 space	Complies
Barrier-Free Spaces	0 space	0 spaces	See Below
Loading spaces	1 space	1 space	See Below

Parking Spaces

The plan doesn't show any parking spaces, other than for use of the vacuums. The plans note that the wash will operate as a self-serve wash, with no employees on site.

We discussed the need for barrier-free vacuum stations with the Township's Building Official. He stated that the vacuum stations would need to meet the requirements of ICC ANSI A.117.1 2017 in the Building Code. These requirements don't include the need to stripe or sign the space, but does require clearances, reaching requirements, etc. that will be reviewed during the Building Permit stage. The Building Official

will require this information to be shown on the plans. We recommend that compliance with this section of the Building Code be a condition of any Planning Commission approval.

Stacking Spaces

The amount of space for stacking into and out of the self-serve wash bays and automatic bays meets ordinance requirements. The stacking lanes should be painted onto the pavement, as shown on the Site Plan, to ensure the waiting vehicles do not block access to the vacuum stations.

Vacuum Space/Lot Design

In our previous review, we asked if vacuums will be available to customers who don't purchase a car wash. A note of Sheet C-102 states that vacuums are a "pay-to-use" amenity, so purchase of a car wash is not necessary.

The proposed vacuum spaces meet the minimum length dimension in the ordinance, and exceed the minimum width by 4-feet, giving users enough space to keep their doors open to vacuum the inside. Maneuvering lanes to access the vacuum stations and drive-through wash bays also meet the minimum ordinance width requirements.

Loading Space

A loading space on the northeast side of the building (facing Lakeview Ave.) is labeled on Sheet C-102. The space is approximately 600 s.f. (24' x 25'). The ordinance requires a loading space to be a minimum of 10-feet wide x 55-feet in length in a commercial district. The Planning Commission may consider these alternative dimensions if the applicant can demonstrate that this space will accommodate the businesses' needs. Notes on Sheet C-102 describes the vehicles maintaining this site as being vans that will deliver soap once a week between 7am-5pm. (Note that the location of this loading space will also require either a wall, fence or planting not less than six-feet high to screen the loading space from the adjacent residentially zoned property to the east.)

Parking Lot Design Criteria

The revised pavement design does not include curbing along a significant portion of the lot's perimeter. This will allow vehicles to drive into greenbelts and landscaping. The Township's Engineering Standards and Design Specifications require concrete curb and gutter for all parking lot construction. We defer this issue to the Township Engineer.

Items to be Addressed: 1) Recommend the Planning Commission condition any approval of this project to meet the accessibility requirements in ICC ANSI A.117.1 2017 in the Building Code, as determined by the Building Official. 2) Add note to plans that stacking lanes are painted onto the pavement, as shown on the Site Plan. 3) Planning Commission to consider alternative dimensions of proposed loading area if applicant demonstrates that loading space will accommodate the businesses' needs. 4) Lack of concrete curb around perimeter of pavement and maneuvering lanes allowing vehicles to encroach on greenbelts/landscaping; defer evaluation of this issue to Township Engineer.

SITE ACCESS, CIRCULATION, TRAFFIC

The site is accessed from both Grove Road and Lakeview Ave. The project is re-using the existing driveways from both roads, except the expansive access from Grove Rd. is being funneled to a 24-foot-

wide reconstructed driveway at the north end of the site. Curbing and a landscaped parkway are being added along the Grove Rd. frontage. This is a positive change.

The circulation pattern appears to be adequate. Note that the maneuvering lane where cars exit the wash bays is partially inside the Grove Rd. right-of-way. We defer evaluation of this condition to the Road Commission, although we were informed that the Road Commission considers this acceptable.

In our previous review, we recommended that signage be placed at each driveway prohibiting cut-through traffic between Grove Rd. and Lakeview Ave. The applicant's response memo states that they don't think people will use the site to cut-through. The Planning Commission may want to discuss this.

Sidewalks

The plans show a five-foot wide sidewalk across a short distance of the Grove Rd. frontage, and then it directs pedestrians into the vehicle pavement at the wash bay exits. We don't consider this design safe, particularly for pedestrians using wheelchairs, and small children. The applicant is asking that this design be approved. However, the ordinance only allows the Planning Commission to vary the width of the safety path (not eliminate the path), or allow the applicant to place funds in escrow for future construction of the pathway.

An 8-foot-wide sidewalk/safety path is required along Grove Rd. However, the area that will contain the safety path is generally about 10-foot wide, except for one spot that is narrowed to about six-foot-wide to accommodate an automatic wash bay. The Planning Commission may vary the width of safety paths in those instances where strict adherence to these provisions cannot be met due to restriction of space. The Planning Commission should discuss the safety path with the applicant. (Note that placing an 8-foot-wide safety path along Grove Rd. will significantly reduce any space for a landscape screen in this same area; however, a narrower sidewalk (i.e., 5-foot-wide) across the entire frontage will improve pedestrian movements along this side of Grove Rd. and leave some room for perennial/shrub plantings.)

The ordinance also allows the Planning Commission to waive construction of the safety path if the applicant places funds in escrow for construction of the pathway at a later date.

Items to be Addressed: 1) Planning Commission to discuss likelihood of cut-through traffic, and consider adding signage at each driveway prohibiting cut-through traffic between Grove Rd. and Lakeview Ave. 2) Planning Commission to discuss safety path width due to site constraints and the option of a narrower (5-foot-wide) sidewalk along the entire Grove Rd. frontage. 3) Planning Commission to discuss waiving construction of the safety path if applicant places funds in escrow for construction of the pathway at a later date.

SCREENING & LANDSCAPING

Table 5. Landscaping

	Required	Provided	Complies with Ordinance
General Landscaping: <ul style="list-style-type: none"> 1 tree per 1,000 s.f. lawn 1 shrub per 500 s.f. lawn 	21,250 s.f. lawn = 21 trees and 43 shrubs	21 trees and 43 shrubs	Complies with trees Complies with shrubs
Street Yard Landscaping: <ul style="list-style-type: none"> 1 large deciduous tree per 40 l.f. of frontage 1 ornamental tree per 100 l.f. of frontage 1 shrub per 10 l.f. of frontage 	<u>Lakeview Ave.:</u> 130 l.f. / 40 = 3 trees 130 l.f. / 100 = 2 ornamental trees 130 l.f. / 10 = 13 shrubs <u>Grove Rd.:</u> 308 l.f. / 40 = 8 trees 308 l.f. / 100 = 3 ornamental trees 308 l.f. / 10 = 31 shrubs	<u>Lakeview Ave.:</u> 3 trees 2 ornamental trees 13 shrubs <u>Grove Rd.:</u> 3 trees 1 ornamental tree 31 shrubs	<u>Lakeview:</u> Complies <u>Grove Rd.:</u> Deficient by 5 trees Deficient by 2 Ornamental Trees Complies with Shrubs
Off Street Parking in Front Yard 3-foot tall berm or hedge row between parking and right-of-way.	<u>Lakeview Ave.</u> Vacuum parking is in front yard and requires a berm or hedge row	7 shrubs	Complies
Parking Lot Landscaping: <ul style="list-style-type: none"> 1 large deciduous tree per 2,000 s.f. of pavement 1 large deciduous tree per 40 l.f. of parking lot perimeter 	22,148 s.f. / 2,000 s.f. = 11 interior trees 80 l.f. / 40 = 2 perimeter trees	11 interior trees and 2 perimeter trees	Complies
Screening Between Land Uses Requires a "Screen 3" type between Automotive and Institutional land uses	1 lg. evergreen tree per 10 l.f. 1 narrow evergreen per 3 l.f. or solid 4-8 ft. tall wall/fence 340 l.f. / 10 = 34 lg. evergreen trees 340 l.f. / 3 = 113 narrow evergreen trees	<u>Large Evergreen:</u> Existing trees: 12 + Proposed trees: 6 <u>Narrow Evergreen:</u> Proposed trees: 30	See Below

The landscape plan has the following deficiencies:

- Grove Rd. Street Yard:** Five (5) large deciduous trees and two (2) ornamental trees.
- Screening Between Land Uses:** Sixteen (16) Large evergreen trees and 83 narrow evergreen trees.

The Planning Commission should discuss the following:

1. Alternative fence or wall to landscape screen along east property line (or “2” above, required screening between land uses).
2. Sec. 1301(M) gives the Planning Commission the ability to waive or modify the landscape standards in the following situations (Note: We only listed the standards relevant to this proposal):
 - a. Where a proposed modification cannot be reasonably accomplished in strict adherence to this section due to existing site or building constraints.
 - b. Where the addition of landscape material would serve no good purpose due to its relation to existing plant material, changes in grade, or other site characteristics.
 - c. Where the intent of this Section can be met through reasonable alternatives.

While the ordinance gives the Planning Commission flexibility in applying the Landscaping requirements, note that the applicant’s request for a Class A Non-Conforming Designation (discussed on Page 14 below) also permits the Planning Commission to require site improvements that are deemed necessary to protect surrounding properties

Plant Material

The proposed sizes of the plant material meet the minimum ordinance requirements. As required, more Vanderwolf Pine trees have been added to create better screening between this use and the next door church.

Trash and Recycling Containers

The dumpster screen detail (shown on Sheet A-205) will be a three-sided, 6-foot-tall split-face CMU screen. The ordinance requires that the screen materials be compatible with the architectural materials on the building. The building façade will have painted brick, and vertical and horizontal metal siding. The Planning Commission should determine if the CMU block is compatible with the materials used on the building facades.

The gate will be made of wood. The ordinance requires a metal or treated aluminum gate; therefore, the plans need to be amended.

Sec. 1302(2)(D) calls for shrubs to screen the enclosure from view of the road. The Landscape Plan has been amended to provide shrubs on the south side of the dumpster enclosure that faces Grove Rd.

Items to be Addressed: 1) Planning Commission to discuss a landscape or fence screen between car wash and church. 2) Planning Commission to consider standards in ordinance to evaluate whether any landscaping requirements meet the standards for waiver/modification. 3) Planning Commission to determine if the CMU block used on the dumpster screen is compatible with the materials used on the building facades. 4) Modify dumpster screen gate to metal or treated aluminum material.

LIGHTING

A Lighting Plan has been provided. Sec. 1303, *Exterior Lighting*, regulates lighting in the Township. The applicant is proposing to install three (3) pole-mounted fixtures in the paved area, and eight (8) building-mounted fixtures.

The table below compares the proposal to ordinance requirements.

Table 6. Lighting

	Required	Proposed
Fixture is downward facing and shielded		See Below
Maximum illumination levels:		
Along residential property lines	0.5 footcandles	0.1 footcandles
Along non-residential property lines	1.0 footcandles	0.3 footcandles
Anywhere on the ground	20 footcandles	5.4 footcandles
Minimum illumination levels of parking lots	0.4 footcandles	Average = 0.9 footcandles
Maximum height of pole-mounted fixtures (including base)	25 feet/ 18 feet adjacent to residential	18.5 feet See Below
Fixture color standard	Maximum 3500k	3000K

Fixture Information

As requested, manufacturer cut sheets have been provided. The pole-mounted fixture is downward facing and can accept a house-side shield accessory if needed. The building-mounted fixture is also downward facing, and the housing of the fixture provides a shield from the light source. The fixtures meet these requirements.

Illumination Levels

The illumination levels at the vacuum stations (pole mounted fixtures) meets the maximum illumination levels allowed along property lines abutting residentially-zoned properties. Do the vacuum arms contain any lighting? If so, this lighting should be included in the illumination level readings, and a manufacturer cut sheet provided.

The illumination levels along the west side of the site (abutting non-residential property) also meet ordinance maximums.

Height of Pole-Mounted Fixtures:

The mounting height of the pole-mounted fixtures is 18.5 feet. These fixtures are slightly taller than allowed on the east side of the site abutting residentially-zoned property, and the height should be adjusted down to 18-feet.

Fixture Color Standard

As requested, the proposed light fixture kelvin (or color) temperature has been lowered and is now below the maximum of 3500k.

Reduction in Nighttime Lighting

The ordinance requires that all outdoor lighting is reduced to at least 50% of the light level at full illumination one (1) hour after closing. Since this business is open 24/7, how the lighting is adjusted in the evening/night hours should be described on the site plan. Sheet E601 provides technical references

to a “SOO Schedule” about dimming, automatic occupancy sensors, daylight responsive controls and automatic clocks. However, what is proposed needs to be clarified for the layperson if the lights will be dimmed, turned off, or adjusted in another way during late evening/night hours. A note describing how the lighting will be adjusted during late evening/night hours should be added to the site plan. If vacuum arms have lighting, how these lights will be adjusted during nighttime hours also needs to be provided.

Items to be Addressed: 1) Will vacuum arms contain a light fixture? If so, the illumination levels of these fixtures should be shown on the illumination plan, and manufacturer cut sheet provided. Also, how the lighting on the arms is reduced/turned- off when not in use or during late night hours needs to be provided. 2) Reduce the mounting height of pole-mounted fixtures adjacent to the east property line to 18-feet. 3) Add note to site plan describing how the lighting will be adjusted during late evening/night hours, including lights on vacuum arms if provided.

ELEVATIONS AND FLOOR PLANS

Floor plans and elevations were provided with the first submission and should be re-submitted to provide a complete package for review by the Planning Commission. Our comments from the first review haven’t changed and are provided below.

Floor Plans

The floor plans show six (6) self-serve car wash bays, and two automated car wash bays. A mechanical room is located in the middle of the building, with an existing restroom in the corner of the large room. No changes to the existing floor plan are proposed.

Elevations

The submission includes elevations and renderings of the building renovations. An image of the existing building is provided on the next page:



Source: Google Maps (Image Capture April 2024)

The main renovations to the exterior of the building include painting the brick, removing the mansard roof and replacing it with vertical and horizontal metal siding.

The automated wash bays will receive new glass overhead doors; however, no overhead doors are proposed for the self-service bays. We understand that when the business closed and the property went up for sale, people used the self-serve wash bays for shelter and unauthorized gatherings. See our comments under the Special Use criteria below.

Items to be Addressed: 1) Provide architectural plans to complete this package for review by the Planning Commission.

SPECIAL USE

The intent of the General Business District is to provide sites for more diversified business types which would often be incompatible with the pedestrian movement in the neighborhood business district or neighborhood or regional corridor districts. In the General Business District, a vehicle wash requires Special Use approval. Standards for Special Use review are set forth in Section 1003. The Planning Commission shall review the particular circumstances and facts of each proposed use in terms of the following standards and required findings, and with respect to any additional standards set forth in this Ordinance. The Planning Commission shall find and report adequate data, information, and evidence showing that the proposed use meets all required standards:

1. Will be harmonious, and in accordance with the objectives, intent, and purpose of this Ordinance.
2. Will be compatible with the natural environment and existing and future land uses in the vicinity.
3. Will be compatible with the Township master plans.

4. Will be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage ways and structures, refuse disposal, or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately for such services
5. Will not be detrimental, hazardous, or disturbing to existing or future neighboring uses, persons, property, or the public welfare.
6. Will not create additional requirements at public costs for public facilities and services that will be detrimental to the economic welfare of the community.

To confirm that the proposal meets the standards that the use is harmonious with the objectives of this ordinance, and will be compatible with existing and future land uses in the vicinity, we asked the applicant to provide the following information, which they have in the resubmittal, and are shown below in italics:

1. Provide hours of operation. *Proposed hours of operation are 24 hours per day, 7 days per week. It is a self-serve facility, with no employees on site.*
2. Will vacuums be available when the car wash bays are closed for the night? *The wash bays and vacuums will be available 24/7.*

Regarding the other criteria, we find that the standards have been met if certain modifications are made. Our comments regarding how this proposal compares to the remaining Special Land Use standards follow:

- The site is currently served by public roadways, water, sewer, Township Fire and County Sherrif's departments. The site proposes a dumpster screen to address refuse disposal.
- The surrounding land uses are neighborhood in scale. This existing building has been vacant for a number of years, attracting unauthorized use and gatherings. Renewal of the building and business will support the remaining portion of this neighborhood commercial corridor if the building can be secured in the late evening and night hours. If it can, we would consider it to not be detrimental to existing neighboring uses and the public welfare. In response, the applicant's narrative states that no doors are proposed on the self-service bays, as door and tracks would conflict with the equipment in the bays.

Cameras will be on-site to monitor the property and allow response to unauthorized use. Sec. 812. – *Security Cameras* requires both security cameras and an alarm system operated and monitored by a recognized security company. This section also includes specifications for the cameras. If this solution is satisfactory to the Planning Commission (vs. in addition to another security measure), we recommend that any approval be conditioned on the Final Site Plan showing the security camera and alarm system information on the plans, as required by Sec. 812.

- While the existing building is closer to Grove Rd. than the current ordinance allows, renovation of the building, pavement configuration, and sidewalks will improve vehicular circulation and safety for pedestrians.
- The renovations proposed for this site will not be detrimental to the future use and development of the corridor.

Items to be Addressed: *1) If security cameras/alarm system is satisfactory to the Planning Commission (vs. in addition to another security measure), we recommend that any approval be conditioned on the Final Site Plan showing the security camera and alarm system information on the plans, as required by Sec. 812.*

CLASS A NON-CONFORMING USE

A non-conforming structure that has been designated as “Class A” is a non-conforming structure, designated by the Planning Commission, to be allowed to be perpetuated and improved in accordance with the provisions of this article and an approved site plan.

Because the proposal is re-using an existing building that does not meet the current ordinance requirements for front setback, the Planning Commission may consider it for a “Class A Non-conforming Designation” so that the building can be renovated in its current location without the need for a variance. In making a decision on this designation, the Planning Commission needs to find that all of the following conditions exist. We have provided comments after each:

- A. **A determination that the structure or use of land is nonconforming as defined in this ordinance.**
CWA Comments: Condition met by the Grove Rd. front setback.
- B. **The nonconformity does not significantly depress the value of nearby properties.**
CWA Comments: In our opinion, renovation of the building and site will benefit the value of nearby properties.
- C. **The nonconformity is not contrary to the public health, safety, and welfare.**
CWA Comments: The proposed improvements to the vehicular circulation on the site, and designated driveway onto Grove Rd. will improve the safety of vehicles and pedestrians traveling along Grove Rd., particularly if some type of pathway/sidewalk is installed along this frontage.
- D. **No useful purpose would be served by the strict application of requirements for such a nonconformity under this ordinance.**
CWA Comments: Granting the Class A designation will allow this building and site to be renovated. It will also allow the property owner to make other improvements to the building in the future. If the designation were not granted, the building would need to be removed and reconstructed in a conforming location.
- E. **Signage: Signage associated with the use shall be in compliance with Article 15.**
CWA Comments: The applicant will be required to apply for a Sign Permit, at which time the proposed signage will be evaluated for conformance with the ordinance.
- F. **Plan for site improvements: A plan for site improvements has been submitted in accordance with the preliminary site plan requirements in Section 910 that is satisfactory to the Planning Commission. The Planning Commission may require improvements to landscaping, site design and layout, pedestrian access, building materials, screening, off-street parking, exterior lighting, or other improvements as deemed necessary to protect surrounding uses.**
CWA Comments: A Preliminary Site Plan has been submitted in conjunction with the Class A Non-Conforming designation request.
- G. **Other conditions may be attached to the approval to assure that the structure or use of land does not become contrary to the public health, safety or welfare, or the spirit and purpose of this ordinance.**
CWA Comments: As mentioned above, the Planning Commission and applicant should discuss how the building will be secured when not in use to discourage unauthorized use.

Items to be Addressed: 1) Planning Commission to consider whether the site/building meets the Class A Non-Conforming Designation criteria.

RECOMMENDATIONS

We recommend scheduling the Public Hearing at the next available Planning Commission meeting to consider the proposal.

A summary of our comments follows. Note that we have organized our comments by first listing Planning Commission considerations and then changes to the site plan the applicant will need to make.

PLANNING COMMISSION CONSIDERATIONS:

- 1) Consider landscape screen as alternative to six-foot-tall wall requirement, or additional alternatives if necessary. (Wall is required for parking lot screen, and loading/unloading area screen.)
- 2) Recommend the Planning Commission condition any approval of this project to meet the accessibility requirements in ICC ANSI A.117.1 2017 in the Building Code, as determined by the Building Official.
- 3) Discuss likelihood of cut-through traffic, and consider adding signage at each driveway prohibiting cut-through traffic between Grove Rd. and Lakeview Ave.
- 4) Discuss safety path width due to site constraints and the option of a narrower (5-foot-wide) sidewalk along the entire Grove Rd. frontage.
- 5) Discuss waiving construction of the safety path if applicant places funds in escrow for constriction of the pathway at a later date.
- 6) Consider standards in ordinance (Pg. 9 of review) to evaluate whether any landscaping requirements meet the standards for waiver/modification.
- 7) Determine if the CMU block used on the dumpster screen is compatible with the materials used on the building facades.
- 8) Consider alternative dimensions of proposed loading area if applicant demonstrates that loading space will accommodate the businesses' needs.
- 9) If security cameras/alarm system is satisfactory to the Planning Commission (vs. in addition to other security measures), we recommend that any approval be conditioned on the Final Site Plan showing the security camera and alarm system information on the plans, as required by Sec. 812.
- 10) Consideration of whether the site/building meets the Class A Non-Conforming Designation criteria.

APPLICANT REVISIONS TO SITE PLAN SUBMISSION: The applicant should revise the submission as follows:

Natural Features

- 1) Add Tree Protection Fence detail to Demolition Sheet and Grading Sheet adjacent to five trees located on the neighbor's property to the north/northwest (along maneuvering lane in this vicinity.)

Area, Width, Height, Setbacks (Bulk Requirements)

- 1) On plans, specify that the concrete stoops at the exit of each wash bay will be heated to prevent freezing; defer evaluation of slopes to Township Engineer.

Parking and Loading

- 1) Add note to plans that stacking lanes are painted onto the pavement, as shown on the Site Plan.
- 2) Lack of concrete curb around perimeter of pavement and maneuvering lanes allowing vehicles to encroach on greenbelts/landscaping; defer evaluation of this issue to Township Engineer.

Screening and Landscaping


- 1) Modify dumpster screen gate to metal or treated aluminum material.

Lighting

- 1) Will vacuum arms contain a light fixture? If so, the illumination levels of these fixtures should be shown on the illumination plan, and manufacturer cut sheet provided.
- 2) Reduce the mounting height of pole-mounted fixtures adjacent to the east property line to 18-feet.
- 3) Add note in layman's terms to site plan describing how the lighting will be adjusted during late evening/night hours, including lights on vacuum arms if provided.

Elevations and Floor Plans

- 1) Provide architectural plans to complete this package for review by the Planning Commission.



CARLISLE/WORTMAN ASSOC., INC.
Sally M. Elmiger, AICP, LEED AP
Principal



DRAFT MOTIONS:

Class A Non-Conforming Designation: 2171 Grove Rd.

Motion to Postpone:

“I move to POSTPONE the Class A Non-Conforming Designation application for the non-conforming front yard of the Grove Road Auto Wash Renovation project at 2171 Grove Rd. – PARCEL K-11-23-105-001 submitted by Blackstar Building Group on a site zoned GB, General Business District to give the applicant time to address the comments made at this evening's meeting and resubmit, and/or provide additional information, as discussed tonight.”

Motion to approve:

“I move to APPROVE the Class A Non-Conforming Designation application for the non-conforming front yard of the Grove Road Auto Wash Renovation project at 2171 Grove Rd. – PARCEL K-11-23-105-001 submitted by Blackstar Building Group on a site zoned GB, General Business District, with the following conditions:

1. The property owner shall comply with all current Township Ordinance standards regarding all other aspects of the site design, as determined by the Planning Commission.
2. (Any other conditions based upon Planning Commission discussion.)

Motion to Deny:

“I move to DENY the Class A Non-Conforming Designation application for the non-conforming front yard of the Grove Road Auto Wash Renovation project at 2171 Grove Rd. – PARCEL K-11-23-105-001 submitted by Blackstar Building Group on a site zoned GB, General Business District, due to the following reasons:”

1. _____
2. _____
3. _____



DRAFT MOTIONS:

Special Land Use: 2171 Grove Rd.

Motion to Postpone:

“I move to POSTPONE the Special Land Use application for Grove Road Auto Wash Renovation project at 2171 Grove Rd. – PARCEL K-11-23-105-001 submitted by Blackstar Building Group on a site zoned GB, General Business District to give the applicant time to address the comments made at this evening’s meeting and resubmit, and/or provide additional information, as discussed tonight.”

Motion to Approve:

“I move to APPROVE the Special Land Use application for Grove Road Auto Wash Renovation project at 2171 Grove Rd. – PARCEL K-11-23-105-001 submitted by Blackstar Building Group on a site zoned GB, General Business District as the proposal meets the criteria in Article 10, Special Land Use with the following conditions:

1. The project receives Preliminary Site Plan approval, and approval of the requested Class A Non-Conforming Designation.
2. Revise plans based on the Planning Commission’s discussion at this evening’s meeting, and review comments made by Planning, Engineering, and outside agencies, for the Final Site Plan.
3. (Any other conditions based upon Planning Commission discussion.)

Motion to Deny:

“I move to DENY the Special Land Use application for Grove Road Auto Wash Renovation project at 2171 Grove Rd. – PARCEL K-11-23-105-001 submitted by Blackstar Building Group on a site zoned GB, General Business District due to the following reasons:”

1. _____
2. _____
3. _____



DRAFT MOTIONS:

Preliminary Site Plan: 2171 Grove Rd.

Motion to Postpone:

“I move to POSTPONE the request for Preliminary Site Plan approval for the Grove Road Auto Wash Renovation at 2171 Grove Rd. – PARCEL K-11-23-105-001 submitted by Blackstar Building Group on a site zoned GB, General Business District, to give the applicant time to address the comments made at this evening’s meeting and resubmit, and/or provide additional information, as discussed tonight.”

Motion to Approve:

“I move to APPROVE the request for Preliminary Site Plan approval for the Grove Road Auto Wash Renovation at 2171 Grove Rd. – PARCEL K-11-23-105-001 submitted by Blackstar Building Group on a site zoned GB, General Business District, with the following conditions:

1. The project shall meet the accessibility requirements in ICC ANSI A.117.1 2017 in the Building Code, as determined by the Building Official.
2. The proposed camera/alarm system **is/is not satisfactory**.
3. The Final Site Plan shall show the security camera and alarm system information on the plans, as required by Sec. 812.
4. The proposed landscape screen along the eastern property line **adequately screens/does not adequately screen** the adjacent property from the proposed car wash use.
5. The proposed Grove Rd. street-yard landscaping **meets/does not meet** the intent of the ordinance.
6. The possibility of cut-through traffic between Grove Rd. and Lakeview Ave. is **likely to be/not likely to be** an issue, and on-site signage prohibiting cut-through traffic **is/is not required**.
7. The safety path along the Grove Rd. frontage shown on the plans **is/is not adequate** as proposed, and a minimum **5/X-foot-wide safety path is/is not required** along this frontage. (ALTERNATIVE: The safety path along the Grove Rd. frontage shall be addressed through funds being placed by the applicant in escrow for construction of the pathway at a later date.)
8. The proposed CMU block used on the dumpster screen **is/is not compatible** with the materials used on the building facades.
9. The proposed dimension of the loading area **will/will not accommodate** the businesses’ needs.
10. The applicant shall revise all plan sheets to reflect the results of this evening’s discussion. The applicant shall address all outstanding comments from reviewing consultants and agencies as part of Final Site Plan Review.

Township Supervisor
Brenda L. Stumbo
Township Clerk
Debbie Swanson
Township Treasurer
Stan Eldridge



**YPSILANTI
TOWNSHIP**
— PLANNING & ZONING DEPARTMENT —

Trustees
John Newman II
Gloria Peterson
Karen Lovejoy Roe
LaResha Thornton

11. The applicant shall obtain all applicable internal and outside agency permits prior to construction.
12. (Any other conditions based upon Planning Commission discussion.)

Motion to Deny:

“I move to DENY the request for Preliminary Site Plan approval for the Grove Road Auto Wash Renovation at 2171 Grove Rd. – PARCEL K-11-23-105-001 submitted by Blackstar Building Group on a site zoned GB, General Business District, due to the following reasons:”

1. _____
2. _____
3. _____

**SPECIAL CONDITIONAL USE/
 USES SUBJECT TO SPECIAL
 CONDITIONS APPLICATION**

I. PROJECT LOCATION

Address: 2171 Grove Road Parcel ID #: K-11-23-105-001 & -002 Zoning GB
 Lot Number: _____ Subdivision: _____
 Describe proposed use: Proposed redevelopment of the existing car wash with appurtenances.

II. APPLICANT/PROPERTY OWNER

Applicant: Blackstar Building Group, Inc Phone: [REDACTED]
 Address: 11255 1st Ave NW, Suite A City: Grand Rapids State: MI Zip: 49534
 Property Owner (if different than applicant): Jeff Hanson Phone: [REDACTED]
 Address: 3631 Bent Trail Drive City: Ann Arbor State: MI Zip: 48108

III. FEES

Total: <u>\$ 2000</u>	Breakdown of fee:	Non-refundable:	\$1,000
		Refundable:	\$1,000

IV. APPLICANT SIGNATURE

The following are attached to this application:

- Name(s) and address(es) of all record owner(s) and proof of ownership.
 If applicant is not the fee-simple owner, the owner's signed authorization for application must be attached to this application.
- Scaled and accurate survey drawing, correlated with a legal description and showing all existing buildings, drives and other improvements.
- Section of Zoning Ordinance involved in this request 2122.(1): Section 420.4 Business Districts Use Table
 [Daycare only]
- Copy of State license.
- Copy of inspection reports.
- Drawing or pictures of the house layout, showing the rooms that you will utilize for the daycare.

Thomas Houseman Thomas Houseman 1.16.26
 Applicant Signature Print Name Date

- Approved
- Denied

 Zoning Administrator Signature Print Name Date

Please note: Application cannot be appealed to the Board of Appeals. If denied by the Planning Commission, re-application can be made to the Planning Commission after 365 days, after the date of this application, except on the grounds of new evidence or proof of changed conditions found by the Planning Commission to be valid.



Charter Township of Ypsilanti

Office of Community Standards

7200 S. Huron Drive, Ypsilanti, MI 48197

Phone: (734) 544-4000 ext. #1

Website: <https://ypsitownship.org>

OFFICE USE ONLY

All special conditional use applications

- | | |
|---|--|
| <ul style="list-style-type: none"><input type="checkbox"/> The application is filled out in its entirety and includes the signature of the applicant and, if different than the applicant, the property owner.<input type="checkbox"/> Name(s) and address(es) of all record owner(s) and proof of ownership. If the applicant is not the property owner, written and signed permission from the property owner is required<input type="checkbox"/> A detailed description of the proposed use.<input type="checkbox"/> A site plan, if requested by the planning commission<input type="checkbox"/> Fees | <ul style="list-style-type: none"><input type="checkbox"/> Scaled and accurate survey drawing, correlated with a legal description and showing:<ul style="list-style-type: none"><input type="checkbox"/> All property lines and dimensions<input type="checkbox"/> All existing and proposed structures and dimensions<input type="checkbox"/> Locations of drives, sidewalks, and other paved areas on the property and on the adjacent streets<input type="checkbox"/> Location and dimensions of the nearest structures on adjacent properties<input type="checkbox"/> Easements and dimensions, if applicable |
|---|--|



SITE PLAN REVIEW APPLICATION

I. APPLICATION/DEVELOPMENT TYPE

Development:

- Subdivision
- Multi-family/Condominium
- Site Condominium
- Planned Development
- Non-residential

Application:

- Administrative Site Plan Review
- Sketch Site Plan Review
- Full Site Plan Review
- Revisions to approved plan
- Tentative Preliminary Plat
- Final Preliminary Plat
- Final Plat Process
- Stage I (for Planned Development)
- Stage II (for Planned Development)

II. PROJECT LOCATION

Address: 2171 Grove Road City: Ypsilanti State: MI Zip: 48198
Parcel ID #: K-11- 23-105-001 & -002 Zoning GB, General Business
Lot Number: _____ Subdivision: _____
Property dimensions: See attached plans Acreage: 1.11
Name of project/Proposed development: Grove Street Auto Wash
Legal description of Property: _____

See attached plans

Describe Proposed Project (including buildings/ structures/ # units):

Proposed redevelopment of the existing car wash with appurtenances.

III. APPLICANT INFORMATION

Applicant: Blackstar Building Group, Inc. Phone: [REDACTED]
Address: 11255 1st Ave NW, Suite A City: Grand Rapids State: MI Zip: 49534
Fax: _____ Email: [REDACTED]
Property owner (if different than applicant): Grove Street Auto Wash, Inc. Phone: _____
Address: 3631 Bent Trail Drive City: Ann Arbor State: MI Zip: 48108
Fax: _____ Email: jeff_hanson30@yahoo.com
Engineer: Matt Cole of Roosien & Associates Phone: [REDACTED]
Address: 5055 Plainfield Ave NE, Suite A City: Grand Rapids State: MI Zip: 49525
Fax: _____ Email: [REDACTED]



**SITE PLAN REVIEW
 APPLICATION**

VI. SCHEDULE OF FEES

Preliminary Site Plan Review		
	Non-refundable fee	Refundable deposit
Full	\$500	Less than one (1) acre: \$2,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres
Sketch	\$500	Less than one (1) acre: \$1,500 One (1) acre to five acres: \$2,000 Over five (5) acres to ten (10) acres: \$2,500 Greater than ten (10) acres: \$2,500 + \$50 per acre over ten (10) acres
Administrative	\$100	Less than one (1) acre: \$1,000 One (1) acre to five acres: \$1,200 Over five (5) acres to ten (10) acres: \$1,500 Greater than ten (10) acres: \$1,500 + \$50 per acre over ten (10) acres
Planned Development Stage I and Rezoning	\$1,500 + \$20 per acre	Less than one (1) acre: \$3,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres
Final Site Plan Review		
	Non-refundable fee	Refundable deposit
Full	\$500	Less than one (1) acre: \$3,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres
Sketch	\$500	Less than one (1) acre: \$1,500 One (1) acre to five acres: \$2,000 Over five (5) acres to ten (10) acres: \$2,500 Greater than ten (10) acres: \$2,500 + \$50 per acre over ten (10) acres
Administrative	\$100	Less than one (1) acre: \$1,000 One (1) acre to five acres: \$1,200 Over five (5) acres to ten (10) acres: \$1,500 Greater than ten (10) acres: \$1,500 + \$50 per acre over ten (10) acres
Planned Development Stage I and Rezoning	\$1,500 + \$20 per acre	Less than one (1) acre: \$3,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres

\$ 4500 FEE TOTAL

V. APPLICANT SIGNATURE

Thomas Houseman
 Applicant Signature

Thomas Houseman
 Print Name

1.16.26
 Date



Charter Township of Ypsilanti

Office of Community Standards

7200 S. Huron Drive, Ypsilanti, MI 48197

Phone: (734) 544-4000 ext. #1

Website: <https://ypsitownship.org>

SITE PLAN REVIEW APPLICATION

Site Plan Review applications	
<input checked="" type="checkbox"/> The application is filled out in its entirety and includes the signature of the applicant and, if different than the applicant, the property owner.	<input checked="" type="checkbox"/> Proposed Plans
<input checked="" type="checkbox"/> Fees	<input checked="" type="checkbox"/> One (1) signed and sealed copies (24"x36") of the proposed plan
<input checked="" type="checkbox"/> Check made out to Ypsilanti Township with appropriate fees. <i>Please note: The same preliminary site plan review fee will be charged for each subsequent submittal</i>	<input checked="" type="checkbox"/> One (1) copy (11"x17") of the proposed plan
<input type="checkbox"/> Fees paid separately to Ypsilanti Community Utilities Authority	<input checked="" type="checkbox"/> One (1) PDF digital copy of the proposed plan
<input checked="" type="checkbox"/> Fees paid separately to Washtenaw County Road Commission and Water Resources Commissioner's Office	<input checked="" type="checkbox"/> All contents detailed on the next pages for administrative, sketch, and full site plans.
<input type="checkbox"/> Additional Documents:	
<input type="checkbox"/> Woodland Protection application or the No Tree Affidavit, if applicable	
<input type="checkbox"/> Traffic Impact Questionnaire	
<input checked="" type="checkbox"/> Appropriate application and plans submitted to the Washtenaw County Road Commission and Water Resources Commissioner's Office	



CLASS A NON-CONFORMING DESIGNATION APPLICATION

I. PROJECT LOCATION

Address: 2171 Grove Road Parcel ID #: K-11-23-105-001 & -002 Zoning GB
Lot Number: _____ Subdivision: _____

II. APPLICANT INFORMATION

Applicant: Blackstar Building Group, Inc. Phone: [REDACTED]
Address: 11255 1st Avenue NW, Suite A City: Grand Rapids State: MI Zip: 49534
Fax: _____ Email: [REDACTED]
Property Owner: Grove Street Auto Wash, Inc. Phone: [REDACTED]
Address: 3631 Bent Trail Drive City: Ann Arbor State: MI Zip: 48108
Fax: _____ Email: [REDACTED]

III. FEES

Total: \$2,000	Breakdown of fee:	Non-refundable:	\$ 1,000
		Refundable:	\$ 1,000

IV. APPLICANT SIGNATURE

The following are attached to this application:

- Name(s) and address(es) of all record owner(s) and proof of ownership.
 If applicant is not the fee-simple owner, the owner's signed authorization for application must be attached to this application.
- Scaled and accurate survey drawing, correlated with a legal description and showing all existing buildings, drives and other improvements.
 A site plan required, if requested by the planning commission, which shall meet all the requirements of Section 910 of the zoning ordinance: Attached Not Applicable
- Section of Zoning Ordinance involved in this request: Sec. 1129.5.1
- Described proposed use:
A car wash is the previous and proposed use of the property. The non-conforming item of the site plan is:
50' front yard building setback not met and a sidewalk cannot be met due to the access aisle in the right-of-way.

Thomas Houseman Thomas Houseman 2.18.26
Applicant Signature Print Name Date
Applicant

Please note: Application cannot be appealed to the Zoning Board of Appeals. If denied by the Planning Commission, re-application can be made to the Planning Commission after 365 days, after the date of this application, except on the grounds of new evidence or proof of changed conditions found by the Planning Commission to be valid.





April 30, 2026

Mr. Mark Yandrick
Township Planning Director
Charter Township of Ypsilanti
7200 S. Huron River Drive
Ypsilanti, MI 48197

RE: Grove Street Auto Wash Inc (2171 Grove Rd)
Preliminary Site Plan Review #2

Dear Mr. Yandrick:

We have completed the second preliminary site plan review of the plans dated October 9, 2025, with a latest revision date of March 17, 2026, and received by OHM Advisors on April 21, 2026.

At this time, the plans are recommended for consideration by the Township Planning Commission, contingent on the following comments being addressed. Preliminary detailed engineering comments have been provided to the applicant as a courtesy and shall be addressed prior to submitting detailed engineering plans for review.

A brief description of the project has been provided below, followed by our comments and a list of anticipated required permits and approvals. Comments in Section C are detailed in nature, do not influence the overall site layout, and can be addressed during the detailed engineering drawing submittal.

A. PROJECT AND SITE DESCRIPTION

The applicant is proposing to rehabilitate an existing, vacant car wash, located at 2171 Grove Rd, into a new car wash. The existing parking lot area will remain, and six (6) vacuum spaces will be added.

The site currently appears to be serviced by connection to the water main and sanitary sewer along Grove Rd. There doesn't appear to be any existing stormwater management. The stormwater runoff appears to sheet flow towards both the Grove Rd and Lakeview Ave ROW.

B. SITE PLAN COMMENTS

Site Layout

1. It is recommended that the applicant continue the proposed sidewalk at the southeast corner of the site along the back of curb up to the third bay from the east then transition to a pedestrian lane within the drive aisle. The applicant shall note that the pedestrian lane shall be striped, a change in material, etc. and a crosswalk pavement marking shall be provided through the entrance driveway from Grove Rd. The applicant shall also consider providing transitional curb where applicable to accommodate the sidewalk.

Stormwater Management

2. The applicant shall provide/label the County Drain (Ypsilanti Township #13 Extension) along both Grove Rd and Lakeview Ave, on all plan sheets for reference. It currently appears only a portion of the County Drain is provided.



3. Although the applicant is reducing the total amount of impervious surface, it is recommended that they consider providing a stormwater quality measure(s) (i.e., rain garden, bioswale, etc.) to accommodate the first flush runoff due to the existing site primarily consisting of impervious surface and there not appearing to be any existing stormwater quality features.

C. PRELIMINARY DETAILED ENGINEERING COMMENTS

The following comments shall be addressed by the applicant during the detailed engineering drawing submittal, and do not affect the recommendation for approval to the Township of Ypsilanti Planning Commission. It should be noted that this is not an all-inclusive list and additional comments may be generated as new information is presented.

1. The applicant shall provide spot elevations at all four corners of all ramps and level landings, as well as at fifty (50) foot intervals along both sides of all proposed sidewalk. The applicant shall note that the cross-slope shall not exceed 2%, per ADA Standards.
2. The applicant shall provide a detailed drainage area map that provides drainage areas corresponding to each catch basin, including their acreages, C-factors, and C-factor calculations.
3. The applicant shall provide a certificate of outlet, signed and sealed by a registered engineer in the State of Michigan, on the plans.
4. The applicant shall provide the location of the existing curb stop and verify its accessibility and functionality.
5. The applicant shall provide the location of the existing sanitary sewer service and cleanouts, if applicable.
6. The applicant shall provide the location of all existing utilities on all plan sheets, including the landscape plan, for reference. The applicant shall note that trees shall not be placed directly above any utilities.
7. It is recommended that the applicant provide a 4-inch HMA cross section for ease of future maintenance.

D. REQUIRED PERMITS & APPROVALS

The following outside agency reviews and permits will be required for the project. Copies of any correspondence between the applicant and the review agencies, as well as the permit or waiver, shall be sent to both the Township and OHM Advisors (email: stacie.monte@ohm-advisors.com).

- ▶ **Ypsilanti Community Utilities Authority (YCUA):** Review and approval will be required for any changes to the water main or sanitary sewer.
- ▶ **Ypsilanti Township Fire Department:** Review and approval of site accessibility and hydrant coverage is required.
- ▶ **Washtenaw County Water Resources Commissioner's Office (WCWRC):** Review, approval, and drain-use permitting is required due to the proposed work within the influence of the County Drain (Ypsilanti Township #13 Extension) along Grove Road.
- ▶ **Washtenaw County Road Commission (WCRC):** Review and approval is required.
- ▶ **Ypsilanti Township Office of Community Standards:** A Soil Erosion and Sedimentation Control permit shall be secured from the Ypsilanti Township Office of Community Standards.

Should you have any questions regarding this matter, please contact this office at (734) 466-4580.



Sincerely,
OHM Advisors

Stacie L Monte

Stacie L. Monte

Matthew D. Parks

Matthew D. Parks, P.E.

SLM/MDP

cc: Lauren Doppke, Township Staff Planner
Doug Winters, Township Attorney
Sally Elmiger, CWA, Township Planning Consultant
Steven Wallgren, Township Fire Marshall
Scott Westover, P.E., YCUA
File

P:\0000_0100\SITE_YpsilantiTwp\2025\0098251190_2171 Grove Rd_Car Wash\MUNI\01_SITE\PSP#2\2171
Grove Rd Carwash_PSP#2_2026-04-30_Revised.docx

RE: 2171 Grove - Preliminary Site Plan Review #2

From Scott Westover <SWestover@ycua.org>

Date Wed 4/22/2026 12:31 PM

To Lauren Doppke <ldoppke@ypsitownship.org>; Mark Yandrick <myandrick@ypsitownship.org>; Sally Elmiger <selmiger@ypsitownship.org>

Although there is now an oil/grease separator proposed for installation on the existing sanitary sewer lateral pipe, this work falls under the jurisdiction of the plumbing code/building department. Consequently, still no comments or concerns from YCUA on this project. Thanks.

From: Lauren Doppke <ldoppke@ypsitownship.org>

Sent: Tuesday, April 21, 2026 11:45 AM

To: Stacie Monte <stacie.monte@ohm-advisors.com>; Matt Parks <matt.parks@ohm-advisors.com>; Gary Streight <streightg@wcroads.org>; Taylor, Elizabeth <taylor@wcroads.org>; Scott Westover <SWestover@ycua.org>; Steven Wallgren <swallgren@ypsitownship.org>; Benjamin Carlisle <bcarlisle@cwaplan.com>; Marsik, Theresa <marsikt@washtenaw.org>

Cc: Mark Yandrick <myandrick@ypsitownship.org>; Sally Elmiger <selmiger@ypsitownship.org>

Subject: 2171 Grove - Preliminary Site Plan Review #2

Hello Everyone,

Please use this email as a formal transmittal for the second review of a **car wash renovation project, located at 2171 Grove Road., Ypsilanti, MI 48198, Parcels K-11-23-105-101 & 102.**

The Planning Department kindly requests that you submit all your review comments back to us by **Tuesday May 12th, 2026.**

Please see the link below to the response letters and revised site plan. Please let me know if you have any questions.

[REDACTED]

Claim ID: [REDACTED]

Claim Passcode [REDACTED]

Thank you,



Lauren Doppke

Staff Planner

734.544.4000 ext. 1

7200 S. Huron River Dr.

ypsitownship.org

Where Your Future Grows

Are you attending the upcoming [Ecorse Rd Redesign](#) Open House on Monday, May 4, 2026?

RE: 2171 Grove - Preliminary Site Plan Review #2

From Theresa M. Marsik <marsikt@washtenaw.org>

Date Wed 4/22/2026 10:45 AM

To Lauren Doppke <ldoppke@ypsitownship.org>; Stacie Monte <stacie.monte@ohm-advisors.com>; Matt Parks <matt.parks@ohm-advisors.com>; streightg <streightg@wcroads.org>; Taylor, Elizabeth <taylore@wcroads.org>; Scott Westover <swestover@ycua.org>; Steven Wallgren <swallgren@ypsitownship.org>; Benjamin Carlisle <bcarlisle@cwaplan.com>

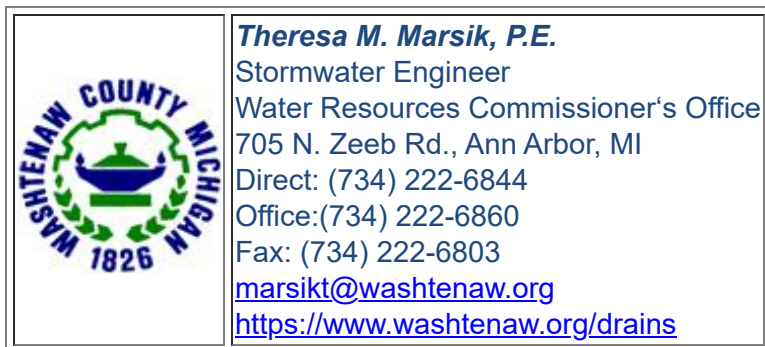
Cc Mark Yandrick <myandrick@ypsitownship.org>; Sally Elmiger <selmiger@ypsitownship.org>

Lauren,

The applicant still has not had a pre-application meeting with our office, as noted as a requirement in my February e-mail to Sally. Given the proximity of the YTD #13 Extension drain, our office has direct jurisdiction and the stormwater management plan must be reviewed and approved by our office prior to construction.

Thanks,

Theresa



How did we do?

Please take a moment to complete an online evaluation

<https://www.surveymonkey.com/r/WCWRCsurvey>

Visit us [online](#) or follow the Water Resources Commissioner's Office on [Facebook](#).

Flooding or drainage concerns? [Report your problem online](#).

From: Lauren Doppke <ldoppke@ypsitownship.org>

Sent: Tuesday, April 21, 2026 11:45 AM

To: Stacie Monte <stacie.monte@ohm-advisors.com>; Matt Parks <matt.parks@ohm-advisors.com>; streightg <streightg@wcroads.org>; Taylor, Elizabeth <taylore@wcroads.org>; Scott Westover <swestover@ycua.org>; Steven Wallgren <swallgren@ypsitownship.org>; Benjamin Carlisle <bcarlisle@cwaplan.com>; Theresa M. Marsik <marsikt@washtenaw.org>

Cc: Mark Yandrick <myandrick@ypsitownship.org>; Sally Elmiger <selmiger@ypsitownship.org>

Subject: 2171 Grove - Preliminary Site Plan Review #2

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Everyone,

Please use this email as a formal transmittal for the second review of a **car wash renovation project, located at 2171 Grove Road., Ypsilanti, MI 48198, Parcels K-11-23-105-101 & 102.**

The Planning Department kindly requests that you submit all your review comments back to us by **Tuesday May 12th, 2026.**

Please see the link below to the response letters and revised site plan. Please let me know if you have any questions.

Claim ID: [REDACTED]

Claim Passcode: [REDACTED]

Thank you,



Lauren Doppke
Staff Planner
734.544.4000 ext. 1
7200 S. Huron River Dr.
ypsitownship.org

Where Your Future Grows

Are you attending the upcoming [Ecorse Rd Redesign](#) Open House on Monday, May 4, 2026?

CHARTER TOWNSHIP OF YPSILANTI FIRE DEPARTMENT

BUREAU OF FIRE PREVENTION

222 South Ford Boulevard, Ypsilanti, MI 48198



March 8, 2026

Mark Yandrick, Planning Director
Charter Township of Ypsilanti
7200 S. Huron River Drive
Ypsilanti, MI 48197

RE: Preliminary (non-residential) Site Plan Review #2

Project Number:	250926
Project Location:	2171 Grove Rd. Ypsilanti, MI 48198
Plan Date:	3/17/2026
Applicable Codes:	IFC 2018
Engineer:	Roosien & Associates
Engineering address:	5055 Plainfield Ave. Grand Rapids, MI 49525

Status of Review

Status of review: Approved as Submitted

All pages were reviewed.

Site Coverage - Access

Comments: Fire department access is adequate.

Site Coverage - Hydrant

Comments: Hydrant location and coverage is adequate.

Best regards,

A handwritten signature in black ink that reads "Steve Wallgren".

Steve Wallgren, Fire Marshal
Charter Township of Ypsilanti Fire Department
CFPS, CFI I

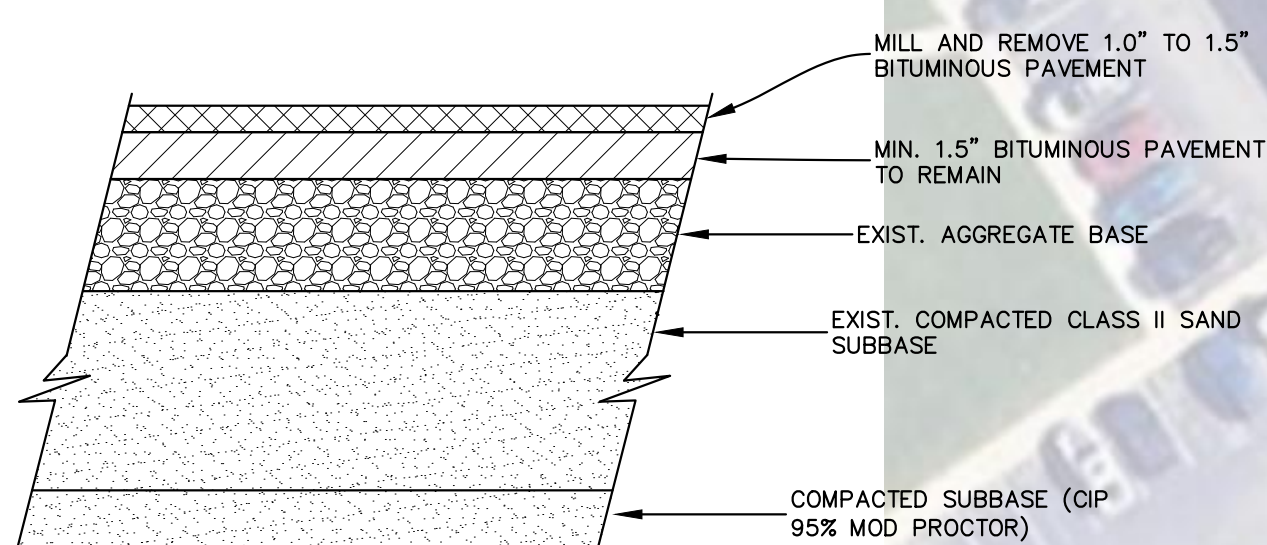
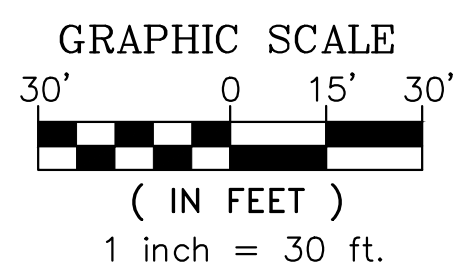


Know what's below.
Call before you dig.

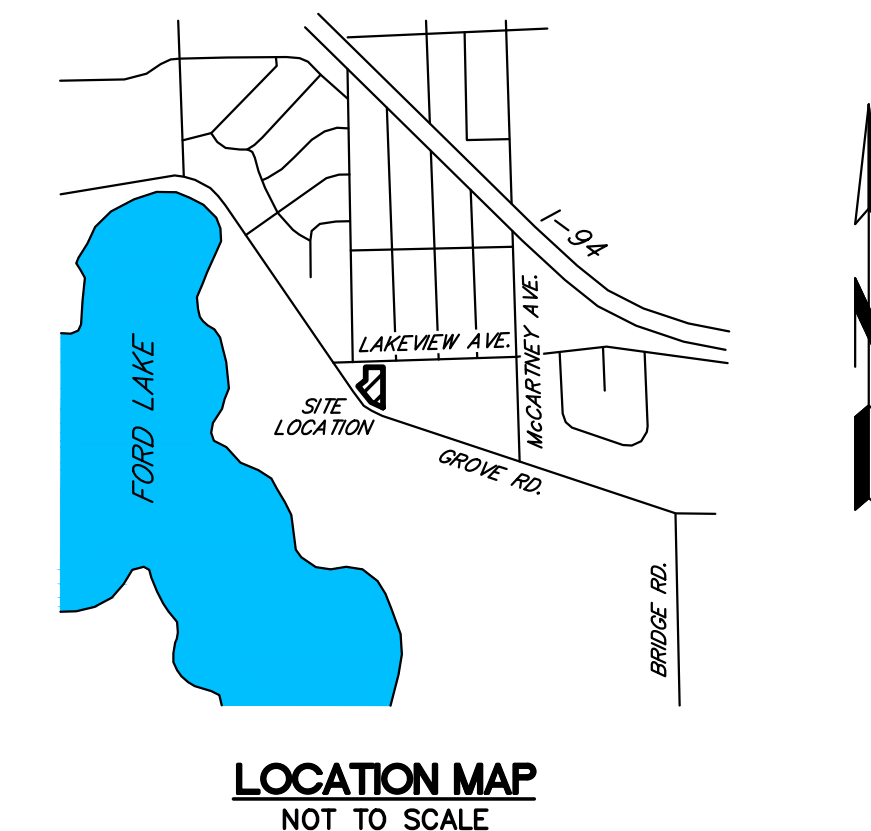
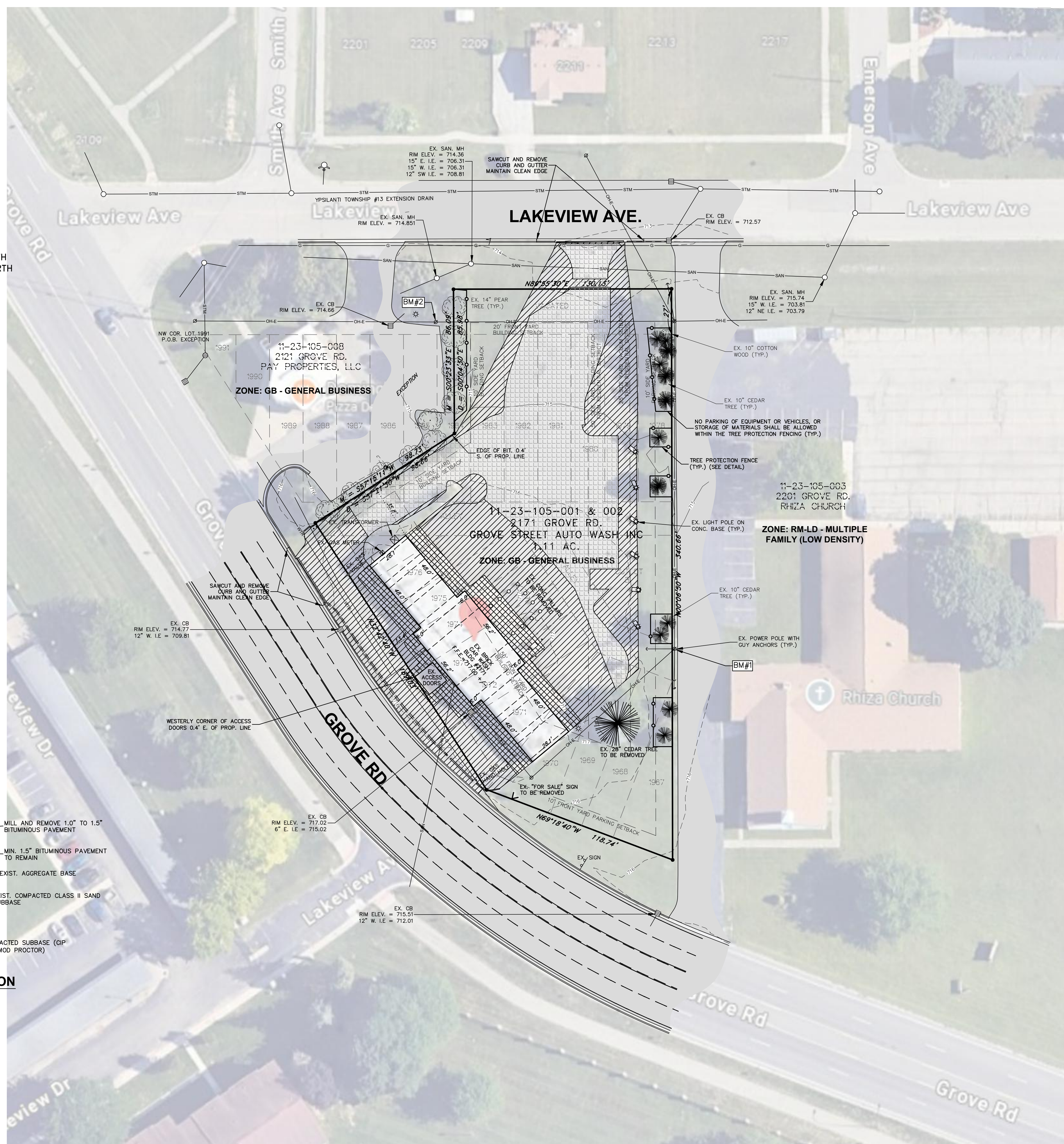
UTILITIES SHOWN ARE FROM FIELD MEASUREMENTS OF VISIBLE EVIDENCE OR AVAILABLE RECORDS. THIS INFORMATION SHOULD NOT BE CONSTRUED TO BE A GUARANTEE OF COMPLETENESS OR ACCURACY. ROOSEN AND ASSOCIATES TAKES NO RESPONSIBILITY FOR INACCURACIES IN UTILITY MARKINGS OR IN THE INTERPRETATION OF PLANS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITY LINES WHERE THE GRADE IS TO BE LOWERED OR THE EXISTING UTILITIES CROSS PROPOSED UTILITY LINES. NOTIFY THE DESIGN PROFESSIONAL OF ANY CONFLICTS PRIOR TO CONSTRUCTION.

BENCHMARK NO. 1 ELEV. = 716.49'
THE TOP OF THE RAILROAD SPIKE IN THE SOUTH SIDE OF THE POWER POLE LOCATED 200'± NORTH OF C/L GROVE RD. AND 60'± EAST OF THE MOST EASTERLY CORNER OF BUILDING #2171 (N.A.V.D. 88)

BENCHMARK NO. 2 ELEV. = 715.26'
THE TOP OF THE RAILROAD SPIKE IN THE NORTHEAST SIDE OF THE POWER POLE LOCATED 65'± SOUTH OF C/L LAKEVIEW AVE. AND 180'± NORTHEAST OF C/L GROVE RD. (N.A.V.D. 88)



MILL BIT SECTION
NOT TO SCALE



OWNER
JEFF HANSON
3631 BENT TRAIL DRIVE
ANN ARBOR, MI 48108

LEGAL DESCRIPTION PER LIBER 5270 PAGE 870 (11-23-105-001):
Lots 1967, 1970 through 1991, Outlot B and two vacated alleys and the South 27 feet of abandoned Lakeview Avenue adjoining said Lots, all in WATSONIA PARK SUBDIVISION NO.1, according to the plat thereof as recorded in Liber 6, page 29, of Plats, EXCEPTING there from the part thereof described as: Beginning at the Northwest corner of said Lot 1991; thence N89°55'30"E 27.74 feet along the Southerly right-of-way line of Lakeview Avenue to the Northeast corner of said Lot 1991; thence N00°04'30"W 27.00 feet; thence N89°55'30"E 130.00 feet; thence S00°04'30"E 85.98 feet; thence S57°21'30"W 98.66 feet; thence N32°38'30"W 133.00 feet along the Northeastly right-of-way line of Grove Road to the point of beginning, said exception portion consisting of part of Lots 1984 through 1987, all of Lots 1988 through 1991, part of a vacated alley and part of abandoned Lakeview Avenue.

LEGAL DESCRIPTION PER LIBER 5282 PAGE 122 (11-23-105-002):
Lots 1968 and 1969, INCL. OF WATSONIA PARK SUBDIVISION NO. 1 according to the plat thereof recorded in Liber 6 of Plats, Page 59 of Washtenaw County Records.

EXISTING LEGEND

SURVEY	TREES
● SECTION CORNER	● CONIFEROUS TREE
○ PROPERTY IRON FOUND	○ DECIDUOUS TREE
□ PROPERTY IRON SET	
□ WOOD STAKE SET	
BENCHMARK	
BM#	
WATER	ELECTRICAL
○ MANHOLE	○ UTILITY POLE
○ VALVE	○ GUY WIRE
○ HYDRANT	○ LIGHT POLE
	○ UTILITY RISER/METER
SANITARY SEWER	STORM SEWER
○ MANHOLE	■ CURB CATCH BASIN
○ CLEANOUT	○ ROUND CATCH BASIN
	○ FLARED END SECTION
	MISC
	○ SIGN
	EXIST. BIT. REMOVAL
	EXIST. CONC. REMOVAL
	EXIST. BIT. MILLING
	CONCRETE
	BITUMINOUS
	CENTER LINE
	PROPERTY LINE
	CONTOUR LINE (MAJOR)
	CONTOUR LINE (MINOR)
	WATER MAIN
	SANITARY SEWER
	STORM SEWER
	NATURAL GAS
	OVERHEAD ELECTRIC
	TREE PROTECTION FENCE

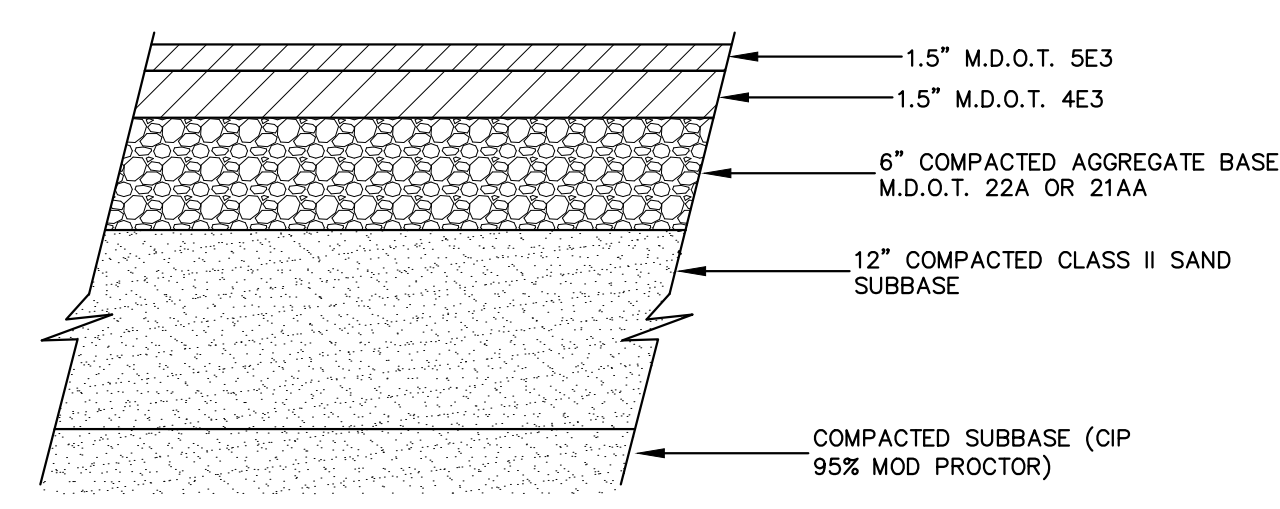
DEMOLITION NOTES:
ALL MATERIAL THAT IS NOT SUITABLE AS BACKFILL AND MATERIALS THAT ARE EXCESS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
ALL AREAS OF UNDERGROUND DEMOLITION; UTILITY LINE REMOVAL; AND UNDERGROUND TREE, STUMP, AND VEGETATION REMOVAL SHALL BE BACKFILLED.
BACKFILLING SHALL PROMPTLY FOLLOW UNDERGROUND DEMOLITION OR REMOVAL WORK AND SHALL CONTINUE AS THE DEMOLITION PROGRESSES.
NOTIFY ARCHITECT/ENGINEER OF ANY OTHER UNDERGROUND MATERIALS OR EQUIPMENT ENCOUNTERED DURING EXCAVATION NOT SPECIFICALLY NOTED ON THE DRAWINGS.
WHERE CURBING OR PAVEMENT IS INDICATED TO BE REMOVED, IT SHALL BE SAWCUT FULL DEPTH, REMOVED TO THE NEAREST JOINT, IF THE JOINT IS WITHIN 3 FEET OF THE REMOVAL LINE. VERIFY REMOVAL LIMITS WITH ENGINEER PRIOR TO BEGINNING WORK.

EXISTING CONDITIONS AND REMOVALS PLAN
2171 GROVE RD.
IN PART OF SEC. 14, T3S, R7E
YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

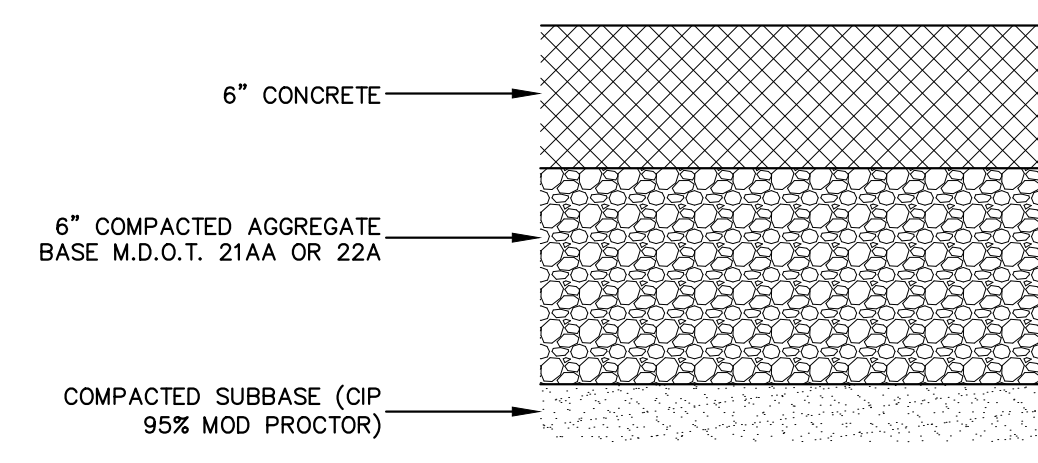
CLIENT:
TOM HOUSEMAN
BLACKSTAR BUILDING GROUP INC.
11255 1ST AVE. NW, SUITE A
GRAND RAPIDS, MI 49534

PROJECT NO.
250926

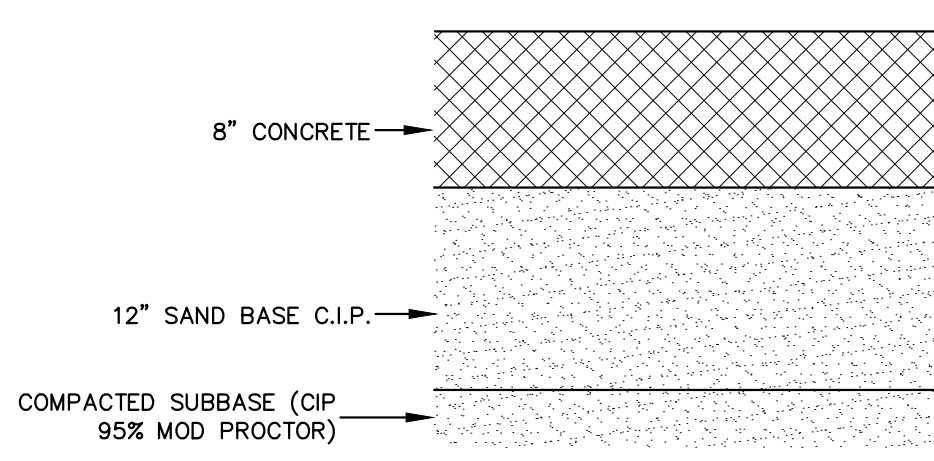
C-101



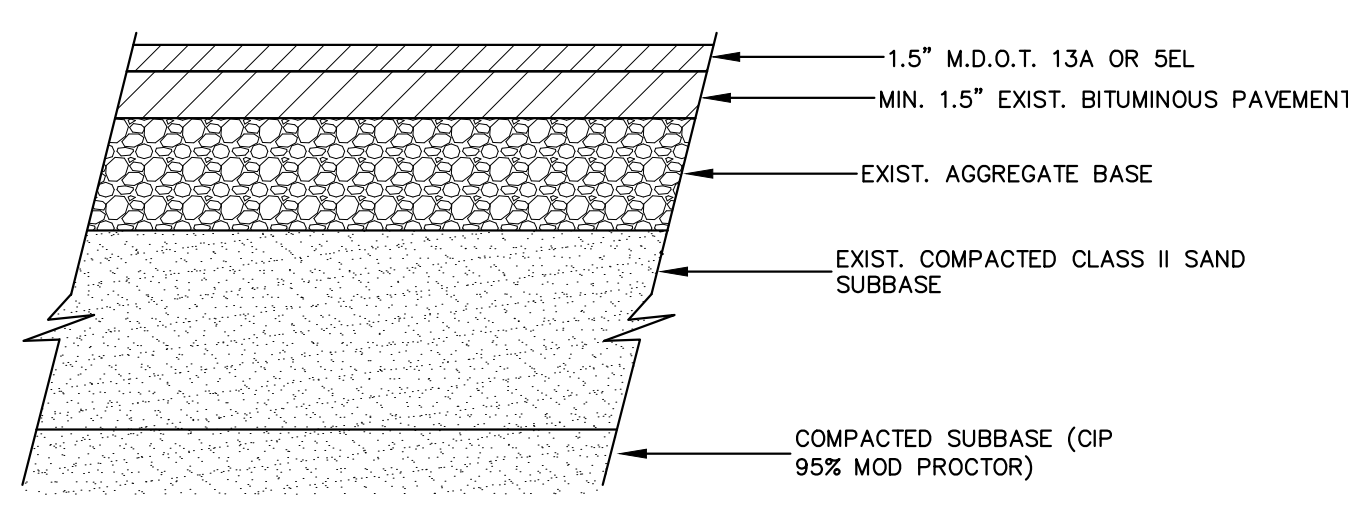
BIT PAVEMENT-SECTION
NOT TO SCALE



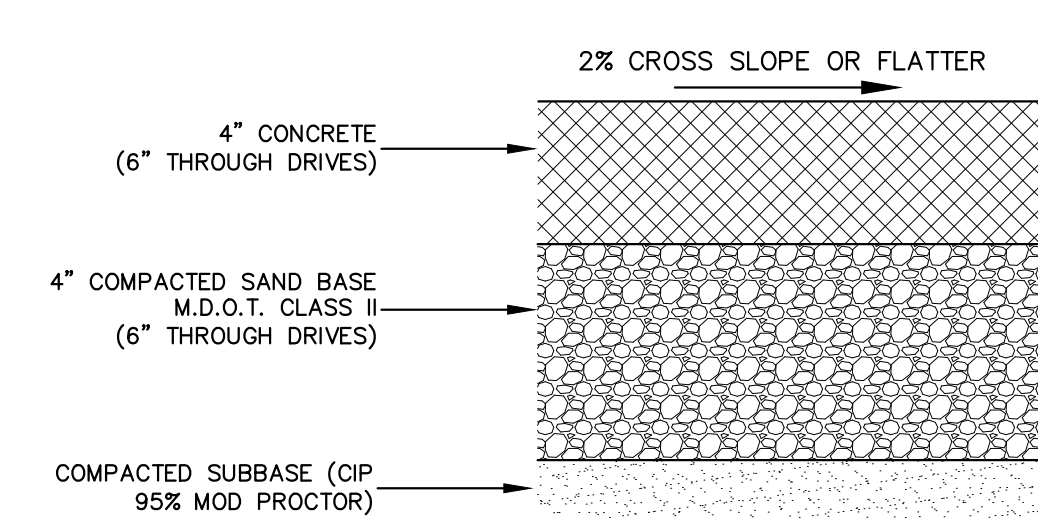
CONCRETE PAVEMENT
NOT TO SCALE



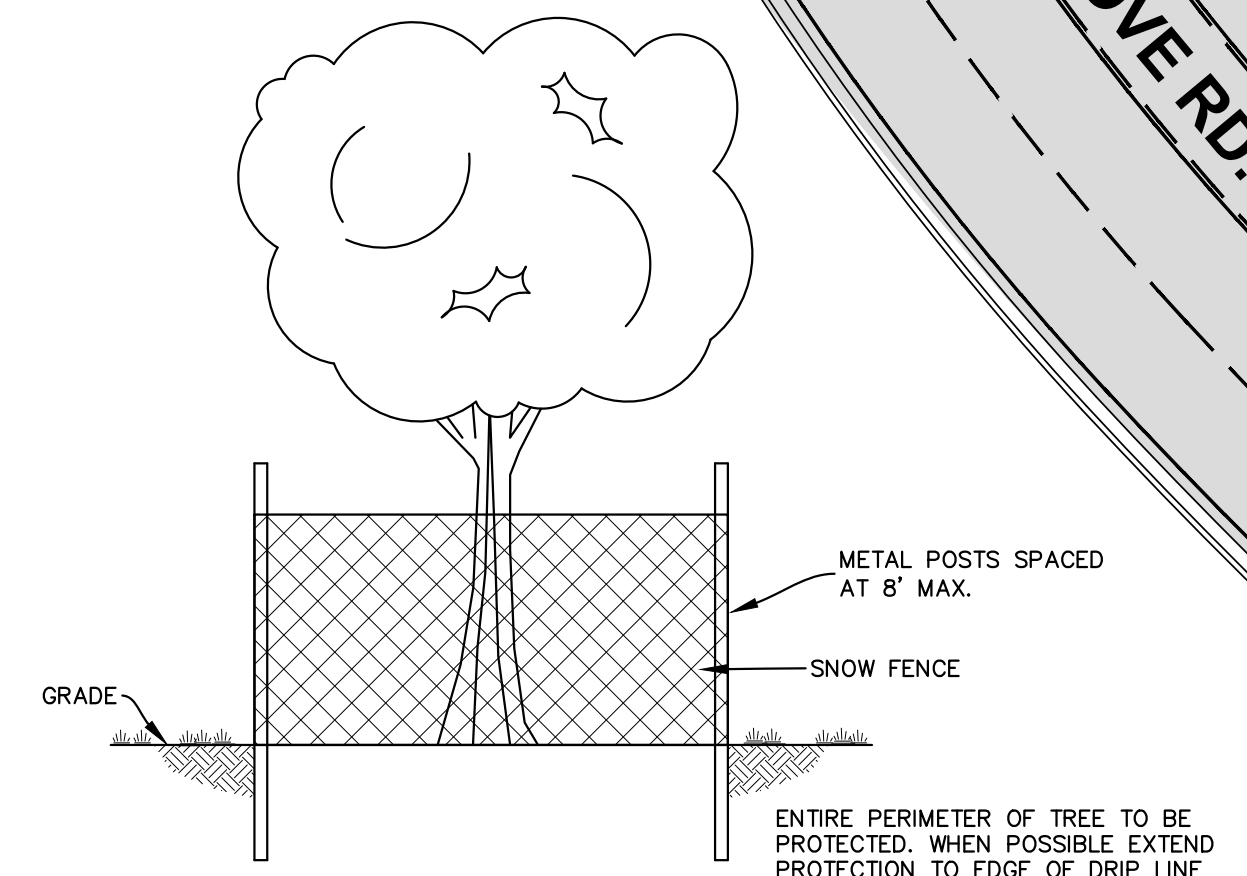
HEAVY-DUTY CONCRETE FOR DUMPSTER ENCLOSURE
NOT TO SCALE



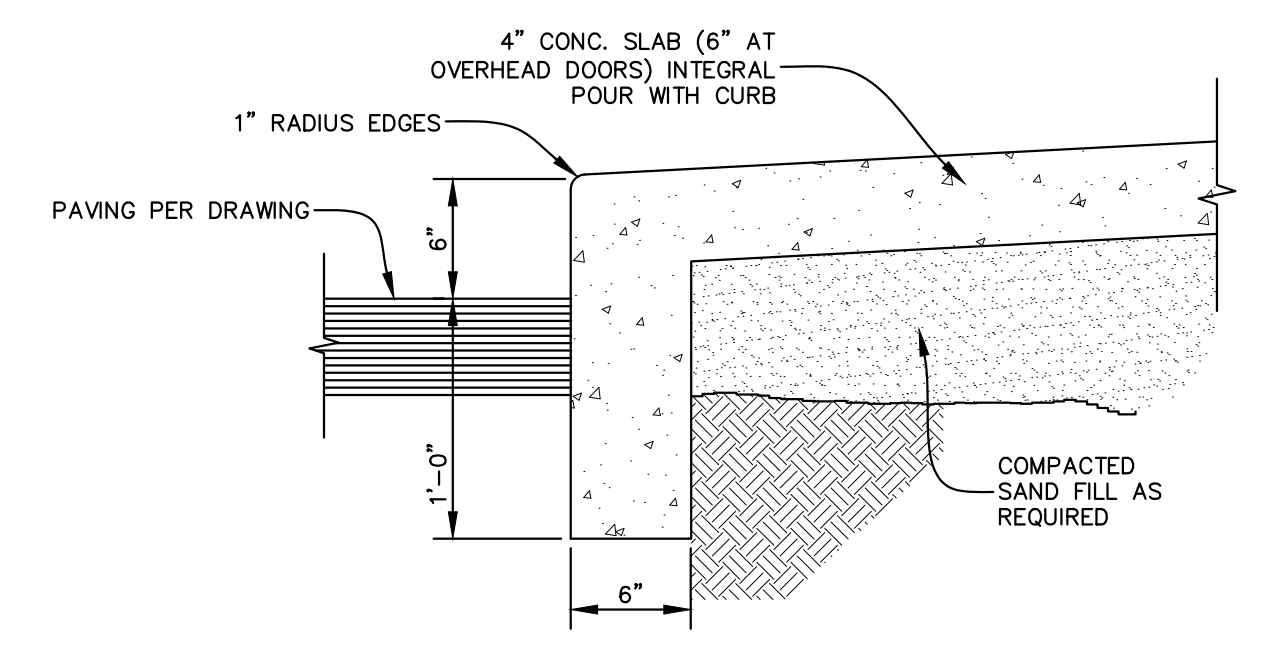
BIT OVERLAY SECTION
NOT TO SCALE



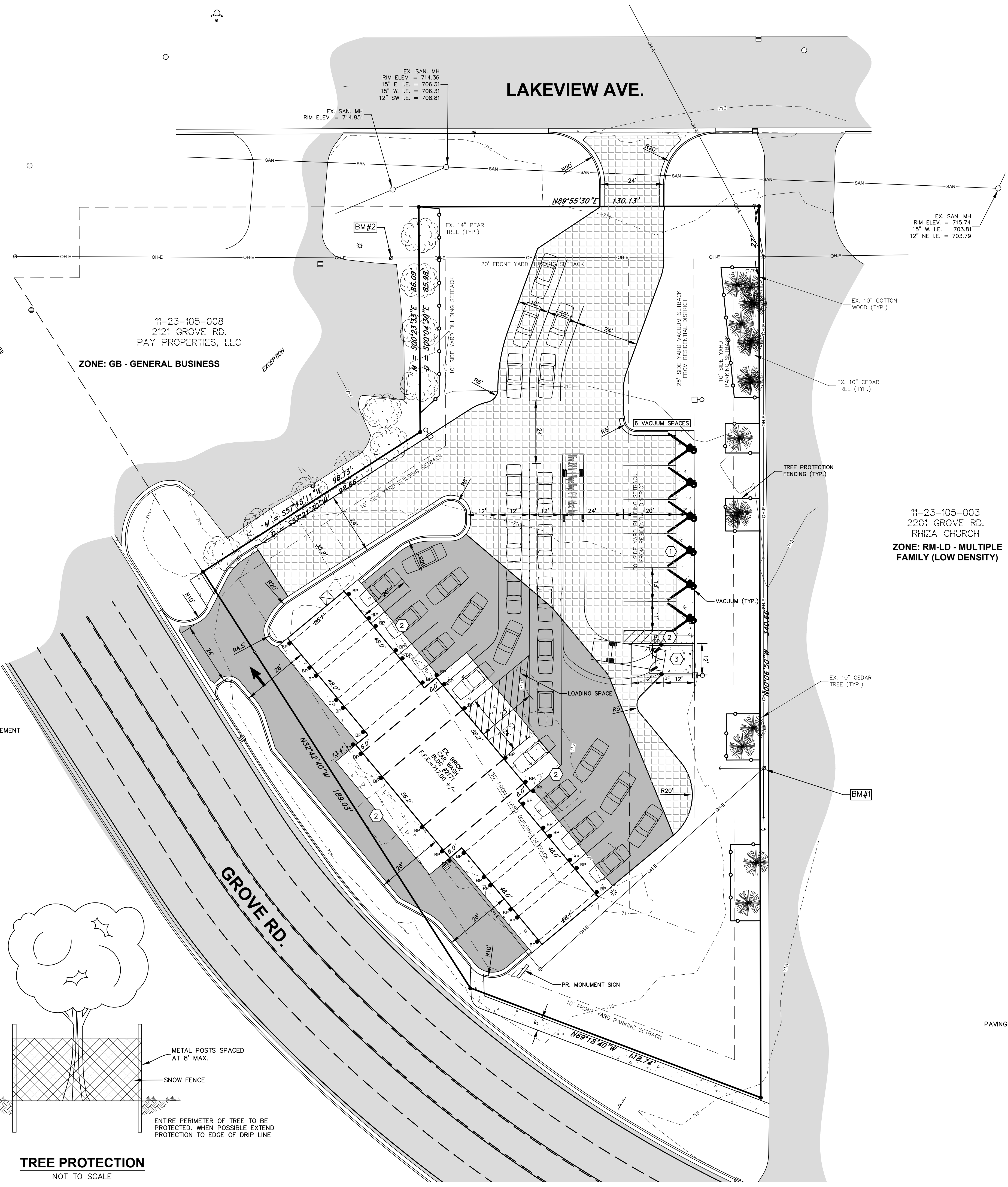
CONCRETE SIDEWALK
NOT TO SCALE



TREE PROTECTION
NOT TO SCALE



RAISED SIDEWALK EDGE
NOT TO SCALE



SITE DATA:
 SITE: 1.11 ACRES EXCLUDING RIGHT-OF-WAY
 ZONED: GB, GENERAL BUSINESS
 USE: CAR WASH WITH VACUUMS; 24 HOUR OPERATION 7 DAYS A WEEK

	REQUIRED	PROVIDED
MAXIMUM BUILDING HEIGHT:	25'	16.5' SEE ARCHITECTURAL PLANS
FRONT BUILDING SETBACK:	50'	13.4' EXISTING
SIDE BUILDING SETBACK:	10' OR 50' TO RES.	35.8' TO NORTH
REAR BUILDING SETBACK:	50'	N/A AS JUST FRONTS AND SIDES
VACUUM SETBACK:	25' FROM RES.	25'

PARKING SETBACK: 10' NO PARKING ALONG GROVE, MORE VEGETATION THAN EXISTING CONDITION

PARKING DATA:
 MIN. REQUIRED PARKING: 0 SPACE
 (OPERATION IS AUTOMATIC AND SELF SERVE WITH NO EMPLOYEES ON-SITE, DELIVERIES OR MAINTENANCE PARKS IN THE LOADING ZONE TO REPAIR EQUIPMENT)
 PROPOSED PARKING: 0 SPACES
 MIN. REQUIRED STACKING: 2 ENTERING AND 1 EXITING PER SELF SERVE BAY
 8 ENTERING AND 2 EXITING PER AUTOMATIC BAY
 PROPOSED STACKING: 3 SPACES PER BAY (INCLUDING THE BAY); DRYING OCCURS EITHER IN THE BAY OR AT THE VACUUMS NOT OUTSIDE THE BAY WHERE THE NEXT USER COULD OVERSPRAY ONTO THE VEHICLE; THE AUTOMATIC WASHES ARE NOT EXPRESS WASHES WITH A CONTINUAL STREAM OF CARS ENTERING ON A CONVEYOR, SO 8 STACKING SPACES ARE NOT REQUIRED FOR OPERATIONS

DRIVE AISLE WIDTH (TWO WAY): 24' MIN 24' MIN.

MIN. REQUIRED LOADING SPACE: 10' X 55' IF REQUIRED, BUT NONE REQUIRED FOR OPERATIONS; HAVE AN 23' X 24' SPACE FOR DELIVERY OR MAINTENANCE VEHICLES, WHICH ARE A VAN; SOAP DELIVERIES OCCUR ONCE A WEEK BETWEEN 7AM AND 5PM

VACUUMS ARE A PAY TO USE AMENITY THAT DO NOT REQUIRE A CAR WASH TO UTILIZE

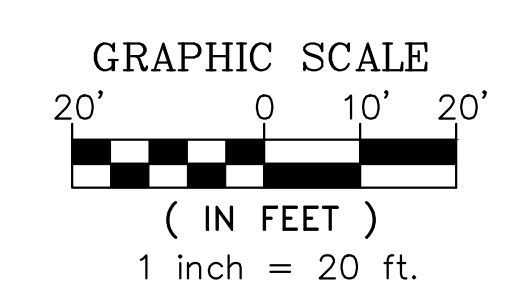
REFUSE WILL BE SCHEDULED TO BE REMOVED ONCE PER WEEK DURING SLOW BUSINESS TIMES TO REDUCE RISK OF CONFLICTS.

- NOTES**
- A) ALL DIMENSIONS SHOWN TO THE CONCRETE CURB AND GUTTER ARE TO THE FACE OF THE CURB UNLESS NOTED OTHERWISE.
 - B) THE CONCRETE GUTTER PAN IS TO TIP IN THE SAME DIRECTION AS THE ADJACENT PAVEMENT, THE GUTTER PAN IN THE BARRIER FREE SPACES SHALL BE PLACED FLAT.
 - C) THE LAST 3 FEET OF ALL OF THE CURB SHALL BE DUBBED DOWN UNLESS NOTED OTHERWISE.
 - D) REFER TO ARCHITECTURAL PLANS FOR DETAILS OF CONCRETE DOOR STOPS, DUMPSTER ENCLOSURE, DETAIL OF BUILDING, EXACT BUILDING DIMENSIONS, AND BUMP POST LOCATIONS.
 - E) ALL BARRIER FREE SPACES AND SIDEWALKS SHALL MEET A.D.A. REQUIREMENTS.

LEGEND

— 715 —	EXISTING MAJOR CONTOUR
— 714 —	EXISTING MINOR CONTOUR
[Pattern]	PROPOSED BIT. PAVEMENT
[Pattern]	PROPOSED CONC.
[Pattern]	PROPOSED BIT. OVERLAY
BP	BUMP POST
○ □	PROPOSED LIGHT POLE
— ○ —	TREE PROTECTION FENCE

- SITE PLAN KEY NOTES**
- 1 RAISED CONCRETE SIDEWALK
 - 2 FLUSH SLAB EDGE AND BARRIER FREE RAMP
 - 3 DUMPSTER ENCLOSURE (SEE ARCH.)



REVISIONS:

DATE: OCTOBER 9, 2025

REVISIONS: DEC. 30, 2025 - PER TOWNSHIP COMMENTS; MARCH 17, 2026 - PER TOWNSHIP COMMENTS

DRAWN BY: VS
 APPROVED BY: MC

Rooston & Associates
 ENGINEERING AND ARCHITECTURE

1005 S. HARVEY AVE. SE
 GRAND RAPIDS, MI 49503
 TEL: (616) 361-2720

SITE LAYOUT PLAN
 2471 GROVE RD.
 IN PART OF SEC. 14, T3S, R7E
 YPSILANTI TOWNSHIP, WASHTEENAW COUNTY, MICHIGAN

CLIENT: **TOM HOUSEMAN**
 BLACKSTAR BUILDING GROUP INC.
 11255 1ST AVE. NW, SUITE A
 GRAND RAPIDS, MI 49534

PROJECT NO. 250926

C-102



Know what's below.
Call before you dig.

UTILITIES SHOWN ARE FROM FIELD MEASUREMENTS OF VISIBLE EVIDENCE OR AVAILABLE RECORDS. THIS INFORMATION SHOULD NOT BE CONSTRUED TO BE A GUARANTEE OF COMPLETENESS OR ACCURACY. ROOSSEN AND ASSOCIATES TAKES NO RESPONSIBILITY FOR INACCURACIES IN UTILITY MARKINGS OR IN THE INTERPRETATION OF PLANS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITY LINES WHERE THE GRADE IS TO BE LOWERED OR THE EXISTING UTILITIES CROSS PROPOSED UTILITY LINES. NOTIFY THE DESIGN PROFESSIONAL OF ANY CONFLICTS PRIOR TO CONSTRUCTION.

BENCHMARK NO. 1 ELEV. = 716.49'
THE TOP OF THE RAILROAD SPIKE IN THE SOUTH SIDE OF THE POWER POLE LOCATED 200'± NORTH OF C/L GROVE RD. AND 60'± EAST OF THE MOST EASTERLY CORNER OF BUILDING #2171 (N.A.V.D. 88)

BENCHMARK NO. 2 ELEV. = 715.26'
THE TOP OF THE RAILROAD SPIKE IN THE NORTHEAST SIDE OF THE POWER POLE LOCATED 65'± SOUTH OF C/L LAKEVIEW AVE. AND 180'± NORTHEAST OF C/L GROVE RD. (N.A.V.D. 88)

Stabilize Soils

BMP Description: Hydro Seeding

Permanent Temporary

Installation Schedule: As soon as fine grading is complete, hydro seeding will be installed in all locations per the attached landscape plan.

Maintenance and Inspection: As necessary to establish a vigorous growth of grass.

Responsible Staff: Contractor

Protect Slopes

BMP Description: Hydro Seeding

Permanent Temporary

Installation Schedule: As soon as fine grading is complete, hydro seeding will be installed on slopes to protect them from erosion per the drawings and specifications.

Maintenance and Inspection: As necessary to establish a vigorous growth of grass.

Responsible Staff: Contractor

Protect Storm Drain Inlets

BMP Description: Geotextile Inlet Filter

Permanent Temporary

Installation Schedule: Prior to site disturbance, Silt Sacks (or equivalent) will be installed to protect the storm sewer system (See Drawings).

Maintenance and Inspection: Weekly or after each rainfall event

Responsible Staff: Contractor to engage certified storm water operator

Establish Perimeter Controls and Sediment Barriers

BMP Description: Silt Fence

Permanent Temporary

Installation Schedule: Silt fence will be installed around all disturbed areas and existing inlets.

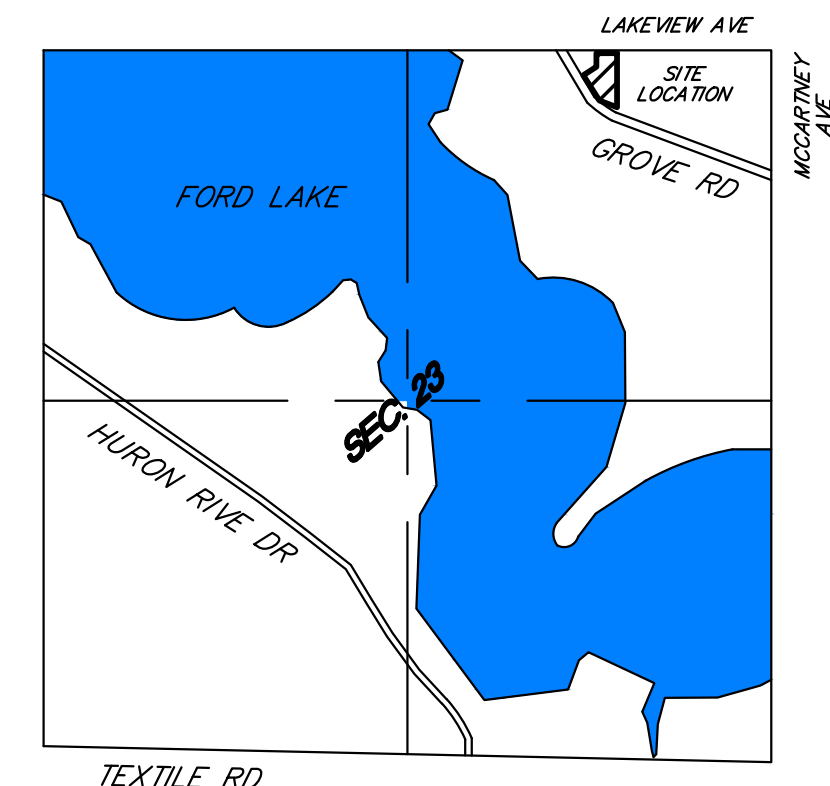
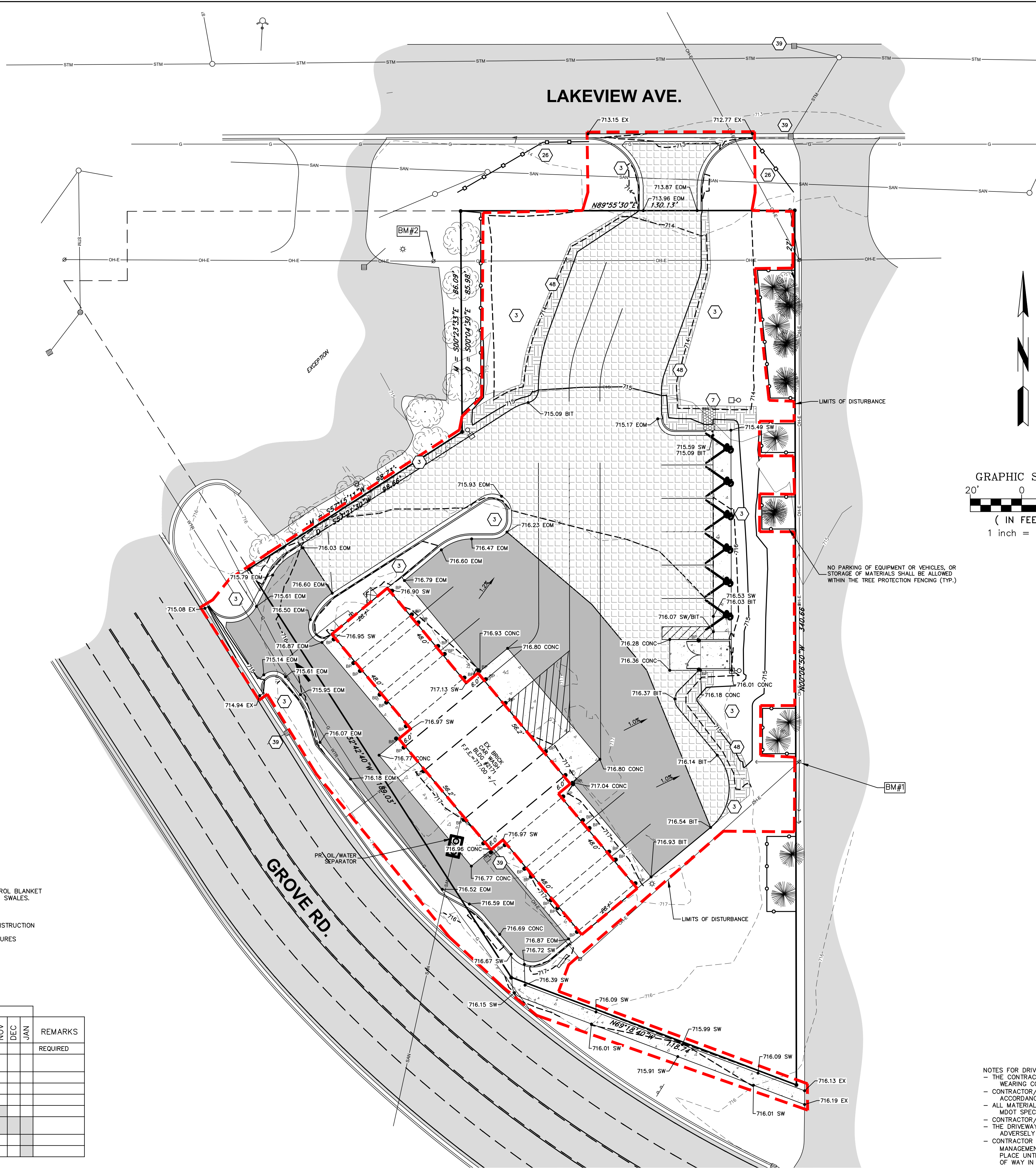
Maintenance and Inspection: Weekly or after each rainfall event

Responsible Staff:

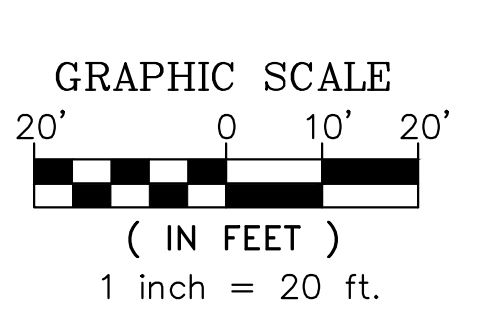
NOTE:
- REFER TO MDOT SOIL EROSION & SEDIMENTATION CONTROL MANUAL.
- CONTRACTOR SHALL PLACE NA-GREEN S-150 (OR APPROVED EQUAL) EROSION CONTROL BLANKET ON ALL SLOPES 1 ON 3 OR STEEPER AND IN THE BOTTOM ONE FOOT OF THE DRAINAGE SWALES.
- SITE SOILS CONSIST OF LOAMY SAND AND GRAVELLY SAND PER USDA NRCS MAPS.
- TOTAL DISTURBED AREA IS 0.97 ACRES.
- FORD LAKE IS LOCATED 1,100 FEET WEST OF THE SITE.
- CONTRACTOR SHALL SWEEP THE STREET OF ANY DIRT TRACKED ONTO IT BY THE CONSTRUCTION OPERATION AS NEEDED AND AS DIRECTED BY COUNTY SECC AGENT.
- THESE MEASURES ARE MINIMUM REQUIRED. CONTRACTOR MAY NEED ADDITIONAL MEASURES DEPENDING ON WEATHER, TIMING, ETC.
- SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2% PER ADA STANDARDS.

CONTRACTOR SHALL INSTALL AND MAINTAIN SOIL EROSION CONTROL MEASURES

CONSTRUCTION SEQUENCE	2026												REMARKS
	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC	JAN	
INSTALL SILT FENCING AND INLET PROTECTION													REQUIRED
CLEAR VEGETATION AND STRIP AND STOCKPILE TOPSOIL													
ROUGH GRADE SITE													
CONSTRUCT BUILDING													
INSTALL UTILITIES													
INSTALL CURBING AND PAVEMENT													
FINISH GRADE, PLACE PLANTINGS, TOPSOIL AND SEED, AND MULCH BLANKETS													
CLEAN PAVEMENTS AND STORM SEWER													
REMOVE TEMPORARY EROSION CONTROL													



ADDRESS: 2171 GROVE ROAD,
YPSILANTI, MI 48198



- SOIL EROSION CONTROL KEY**
- 3 PERMANENT/TEMPORARY SEEDING
 - 7 RIP RAP
 - 26 GEOTEXTILE SILT FENCE
 - 39 INLET PROTECTION WITH GEOTEXTILE AND STONE
 - 48 SOIL EROSION CONTROL BLANKET (N.A.G. S-150 OR GREATER PER DETAIL)

- LEGEND**
- 715 EXISTING MAJOR CONTOUR
 - 714 EXISTING MINOR CONTOUR
 - 715 PROPOSED MAJOR CONTOUR
 - 714 PROPOSED MINOR CONTOUR
 - PROPOSED BIT. PAVEMENT
 - PROPOSED CONC.
 - PROPOSED BIT. OVERLAY
 - BP BUMP POST
 - PROPOSED STORM SEWER
 - DRAINAGE ARROW
 - 715.00 PROPOSED SPOT ELEVATION
 - GRADE BREAK LINE
 - LIMITS OF DISTURBANCE
 - TREE PROTECTION FENCE

- FG FINISHED GROUND
- FL FLOW LINE GRADE
- RIM STRUCTURE RIM ELEVATION
- EX MATCH EXISTING ELEVATION
- EOM EDGE OF METAL GRADE
- SW SIDEWALK GRADE
- CONC CONCRETE GRADE
- BIT BITUMINOUS GRADE

STORM WATER NARRATIVE:
THE LAND WEST OF THE BUILDING FLOWS INTO THE PUBLIC ROAD RIGHT OF WAY IN BOTH THE EXISTING AND PROPOSED SCENARIOS. THE EXISTING AND PROPOSED BUILDING RAINFALL RUNOFF DISCHARGES TO THE REAR OF THE BUILDING AT GRADE VIA DOWNSPOUTS. THE EXISTING LAND EAST AND NORTH OF THE BUILDING AND THE WATER FLOWING TO THOSE AREAS SHEET FLOWS TO LAKEVIEW AVENUE. THE PROPOSED LAND EAST AND NORTH OF THE BUILDING SHEET FLOWS TO THE LANDSCAPED AREAS, WHICH ARE GRADED FLAT TO PROMOTE FILTRATION AND INFILTRATION OF THE RAINFALL RUNOFF. ANY EXCESS RAINFALL RUNOFF WILL SHEET FLOW INTO LAKEVIEW AVENUE. THE REDUCED IMPERVIOUS AREA WILL RESULT IN LESS WATER FLOWING TO THESE LOCATIONS IN THE PROPOSED CONDITION VERSUS THE EXISTING CONDITION.

EXIST. IMPERVIOUS SURFACE AREA: 34,217 SFT
PROP. IMPERVIOUS SURFACE AREA: 29,553 SFT
EXIST. PEROVIOUS SURFACE AREA: 14,204 SFT
PROP. PEROVIOUS SURFACE AREA: 18,868 SFT

REDEVELOPMENT (EXCLUDING EXISTING BUILDING, MILL AND OVERLAY PAVEMENT, AND EXPANDED LANDSCAPE): 13,065 SFT, 27% OF SITE

NOTES FOR DRIVEWAY APPROACH:
- THE CONTRACTOR SHALL CONSTRUCT THE EXISTING DRIVEWAY APPROACHES SUCH THAT PAVEMENT WEARING COURSE MATCHES THE GRADE OF THE EXISTING WCR ROADWAY.
- CONTRACTOR/PERMIT HOLDER SHALL RESTORE DISTURBED AREAS WITHIN THE ROAD RIGHT-OF-WAY IN ACCORDANCE WITH WCR STANDARDS.
- ALL MATERIAL USED WITHIN THE WCR ROAD RIGHT-OF-WAY SHALL CONFORM WITH CURRENT WCR AND MDOT SPECIFICATIONS.
- CONTRACTOR/APPLICANT MUST MAINTAIN ACCESS TO ADJACENT DRIVEWAYS DURING CONSTRUCTION.
- THE DRIVEWAY APPROACHES SHALL BE CONSTRUCTED SO THAT THE EXISTING DRAINAGE IS NOT ADVERSELY AFFECTED.
- CONTRACTOR SHALL INSTALL PROPER SOIL EROSION AND SEDIMENTATION CONTROL (SECC) BEST MANAGEMENT PRACTICES (BMPs) PRIOR TO COMMENCEMENT OF WORK. SECS BMPs MUST REMAIN IN PLACE UNTIL VEGETATIVE COVER IS REESTABLISHED AND RESTORE DISTURBED AREAS WITHIN THE RIGHT OF WAY IN ACCORDANCE WITH WCR STANDARDS.

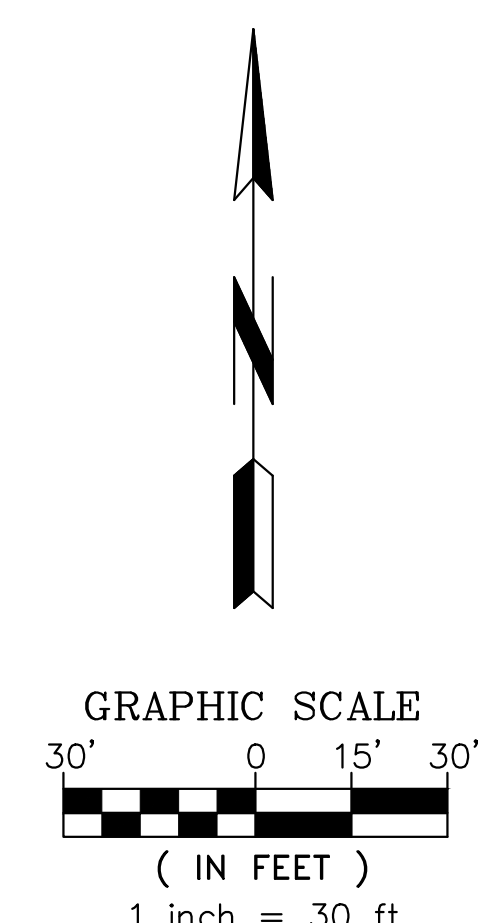
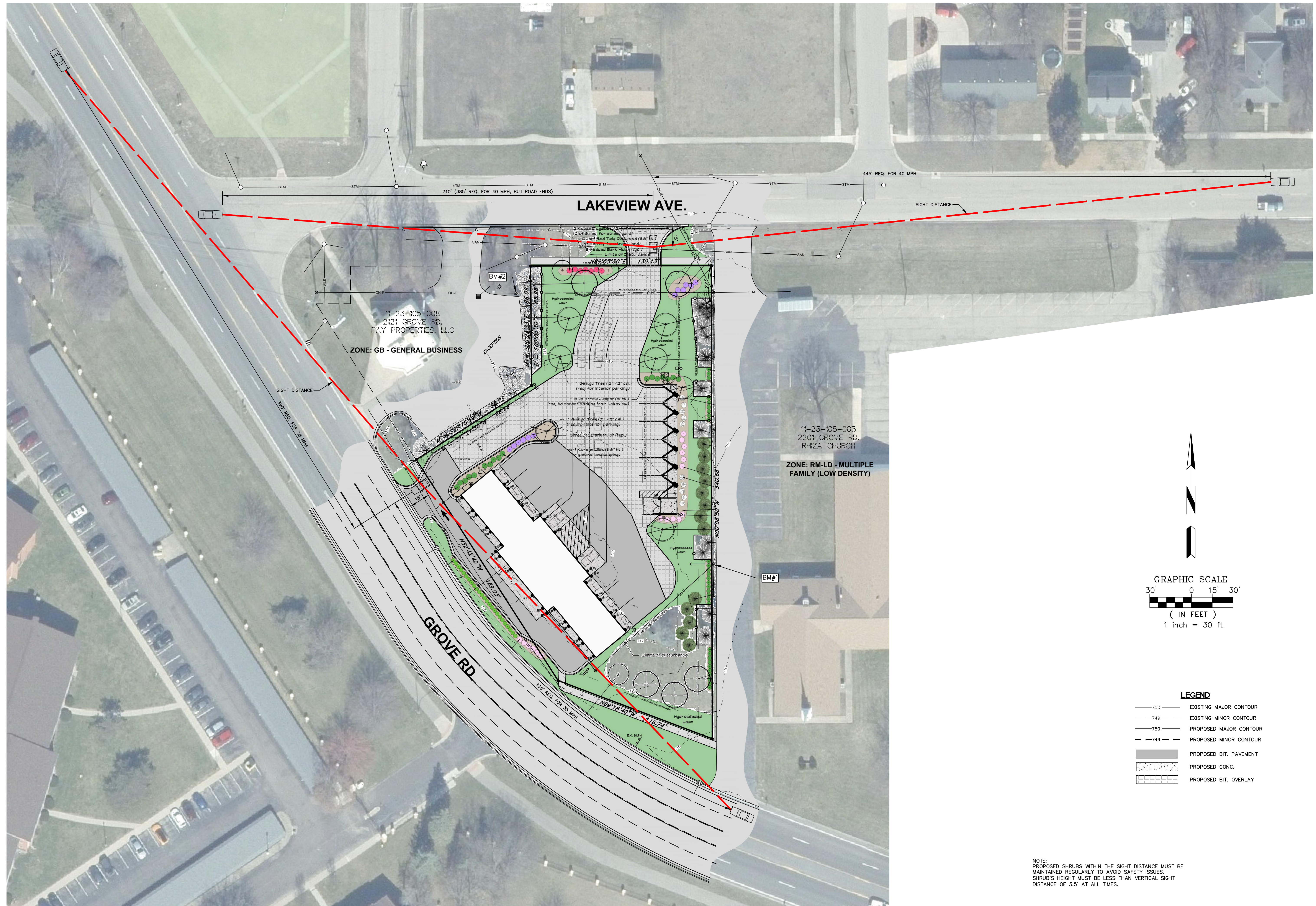
REVISIONS:
DRAWN BY: VS
APPROVED BY: MC
DATE: OCTOBER 9, 2025
REVISIONS:
DEC. 30, 2025 - PER TOWNSHIP COMMENTS
MARCH 17, 2026 - PER TOWNSHIP COMMENTS

Roossein & Associates
ENGINEERING AND ARCHITECTURE
1005 B. HANFIELD AVE. SE
GRAND RAPIDS, MI 49505
TEL: (616) 361-2720

CLIENT:
TOM HOUSEMAN
BLACKSTAR BUILDING GROUP INC.
11255 1ST AVE. NW, SUITE A
GRAND RAPIDS, MI 49534

PROJECT NO.
250926

C-103



LEGEND

	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED BIT. PAVEMENT
	PROPOSED CONC.
	PROPOSED BIT. OVERLAY

NOTE:
 PROPOSED SHRUBS WITHIN THE SIGHT DISTANCE MUST BE MAINTAINED REGULARLY TO AVOID SAFETY ISSUES.
 SHRUB'S HEIGHT MUST BE LESS THAN VERTICAL SIGHT DISTANCE OF 3.5' AT ALL TIMES.

REVISIONS:
 DRAWN BY: VS
 APPROVED BY: MC
 DATE: OCTOBER 9, 2025
 DEC. 30, 2025 - PER TOWNSHIP COMMENTS
 MARCH 17, 2026 - PER TOWNSHIP COMMENTS

Rooston & Associates
 ENGINEERING AND ARCHITECTURE
 1035 BARNFIELD AVE. SE
 GRAND RAPIDS, MI 49505
 TEL: (616) 361-2720

SIGHT DISTANCE PLAN
 2171 GROVE RD.
 IN PART OF SEC. 14, T3S, R7E
 YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

CLIENT:
TOM HOUSEMAN
 BLACKSTAR BUILDING GROUP INC.
 11255 1ST AVE. NW, SUITE A
 GRAND RAPIDS, MI 49534

PROJECT NO.
 250926



Know what's below.
Call before you dig.

UTILITIES SHOWN ARE FROM FIELD MEASUREMENTS OF VISIBLE EVIDENCE OR AVAILABLE RECORDS. THIS INFORMATION SHOULD NOT BE CONSTRUED TO BE A GUARANTEE OF COMPLETENESS OR ACCURACY. ROOSSEN AND ASSOCIATES TAKES NO RESPONSIBILITY FOR INACCURACIES IN UTILITY MARKINGS OR IN THE INTERPRETATION OF PLANS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITY LINES WHERE THE GRADE IS TO BE LOWERED OR THE EXISTING UTILITIES CROSS PROPOSED UTILITY LINES. NOTIFY THE DESIGN PROFESSIONAL OF ANY CONFLICTS PRIOR TO CONSTRUCTION.

BENCHMARK NO. 1 ELEV. = 716.49'
THE TOP OF THE RAILROAD SPIKE IN THE SOUTH SIDE OF THE POWER POLE LOCATED 200'± NORTH OF C/L GROVE RD. AND 60'± EAST OF THE MOST EASTERLY CORNER OF BUILDING #2171 (N.A.V.D. 88)

BENCHMARK NO. 2 ELEV. = 715.26'
THE TOP OF THE RAILROAD SPIKE IN THE NORTHEAST SIDE OF THE POWER POLE LOCATED 65'± SOUTH OF C/L LAKEVIEW AVE. AND 180'± NORTHEAST OF C/L GROVE RD. (N.A.V.D. 88)

Stabilize Soils

BMP Description: Hydro Seeding

Permanent Temporary

Installation Schedule: As soon as fine grading is complete, hydro seeding will be installed in all locations per the attached landscape plan.

Maintenance and Inspection: As necessary to establish a vigorous growth of grass.

Responsible Staff: Contractor

Protect Slopes

BMP Description: Hydro Seeding

Permanent Temporary

Installation Schedule: As soon as fine grading is complete, hydro seeding will be installed on slopes to protect them from erosion per the drawings and specifications.

Maintenance and Inspection: As necessary to establish a vigorous growth of grass.

Responsible Staff: Contractor

Protect Storm Drain Inlets

BMP Description: Geotextile Inlet Filter

Permanent Temporary

Installation Schedule: Prior to site disturbance, Silt Sacks (or equivalent) will be installed to protect the storm sewer system (See Drawings).

Maintenance and Inspection: Weekly or after each rainfall event

Responsible Staff: Contractor to engage certified storm water operator

Establish Perimeter Controls and Sediment Barriers

BMP Description: Silt Fence

Permanent Temporary

Installation Schedule: Silt fence will be installed around all disturbed areas and existing inlets.

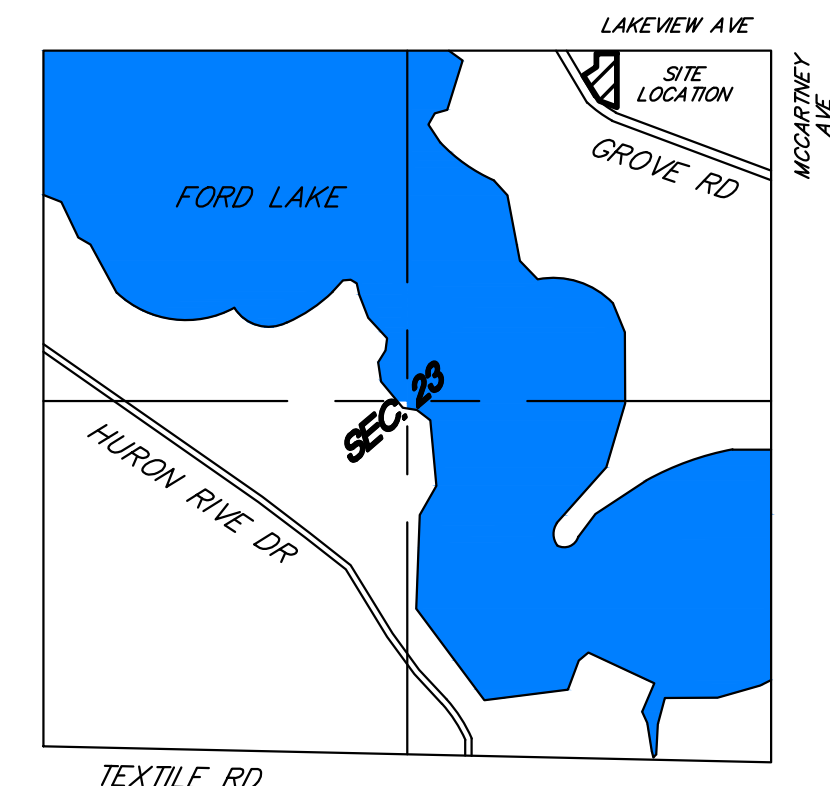
Maintenance and Inspection: Weekly or after each rainfall event

Responsible Staff: Contractor

NOTE:
- REFER TO MDOT SOIL EROSION & SEDIMENTATION CONTROL MANUAL.
- CONTRACTOR SHALL PLACE NA-GREEN S-150 (OR APPROVED EQUAL) EROSION CONTROL BLANKET ON ALL SLOPES 1 ON 3 OR STEEPER AND IN THE BOTTOM ONE FOOT OF THE DRAINAGE SWALES.
- SITE SOILS CONSIST OF LOAMY SAND AND GRAVELLY SAND PER USDA NRCS MAPS.
- TOTAL DISTURBED AREA IS 0.97 ACRES.
- FORD LAKE IS LOCATED 1,100 FEET WEST OF THE SITE.
- CONTRACTOR SHALL SWEEP THE STREET OF ANY DIRT TRACKED ONTO IT BY THE CONSTRUCTION OPERATION AS NEEDED AND AS DIRECTED BY COUNTY SECC AGENT.
- THESE MEASURES ARE MINIMUM REQUIRED. CONTRACTOR MAY NEED ADDITIONAL MEASURES DEPENDING ON WEATHER, TIMING, ETC.
- SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2% PER ADA STANDARDS.

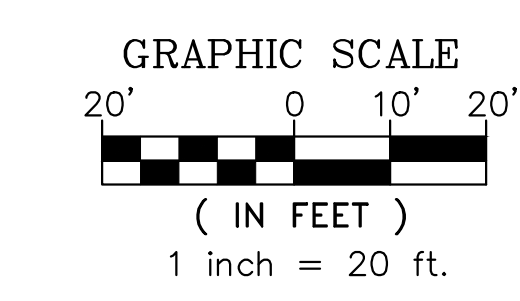
CONTRACTOR SHALL INSTALL AND MAINTAIN SOIL EROSION CONTROL MEASURES

CONSTRUCTION SEQUENCE	2026												REMARKS
	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC	JAN	
INSTALL SILT FENCING AND INLET PROTECTION													REQUIRED
CLEAR VEGETATION AND STRIP AND STOCKPILE TOPSOIL													
ROUGH GRADE SITE													
CONSTRUCT BUILDING													
INSTALL UTILITIES													
INSTALL CURBING AND PAVEMENT													
FINISH GRADE, PLACE PLANTINGS, TOPSOIL AND SEED, AND MULCH BLANKETS													
CLEAN PAVEMENTS AND STORM SEWER													
REMOVE TEMPORARY EROSION CONTROL													



LOCATION MAP NOT TO SCALE

ADDRESS: 2171 GROVE ROAD, YPSILANTI, MI 48198



- SOIL EROSION CONTROL KEY**
- 3 PERMANENT/TEMPORARY SEEDING
 - 7 RIP RAP
 - 26 GEOTEXTILE SILT FENCE
 - 39 INLET PROTECTION WITH GEOTEXTILE AND STONE
 - 48 SOIL EROSION CONTROL BLANKET (N.A.G. S-150 OR GREATER PER DETAIL)

- LEGEND**
- 715 EXISTING MAJOR CONTOUR
 - 714 EXISTING MINOR CONTOUR
 - 715 PROPOSED MAJOR CONTOUR
 - 714 PROPOSED MINOR CONTOUR
 - PROPOSED BIT. PAVEMENT
 - PROPOSED CONC.
 - PROPOSED BIT. OVERLAY
 - BUMP POST
 - PROPOSED STORM SEWER
 - DRAINAGE ARROW
 - 715.00 PROPOSED SPOT ELEVATION
 - GRADE BREAK LINE
 - LIMITS OF DISTURBANCE
 - TREE PROTECTION FENCE

- FG FINISHED GROUND
- FL FLOW LINE GRADE
- RIM STRUCTURE RIM ELEVATION
- EX MATCH EXISTING ELEVATION
- EOM EDGE OF METAL GRADE
- SW SIDEWALK GRADE
- CONC CONCRETE GRADE
- BIT BITUMINOUS GRADE

STORM WATER NARRATIVE:
THE LAND WEST OF THE BUILDING FLOWS INTO THE PUBLIC ROAD RIGHT OF WAY IN BOTH THE EXISTING AND PROPOSED SCENARIOS. THE EXISTING AND PROPOSED BUILDING RAINFALL RUNOFF DISCHARGES TO THE REAR OF THE BUILDING AT GRADE VIA DOWNSPOUTS. THE EXISTING LAND EAST AND NORTH OF THE BUILDING AND THE WATER FLOWING TO THOSE AREAS SHEET FLOWS TO LAKEVIEW AVENUE. THE PROPOSED LAND EAST AND NORTH OF THE BUILDING SHEET FLOWS TO THE LANDSCAPED AREAS, WHICH ARE GRADED FLAT TO PROMOTE FILTRATION AND INFILTRATION OF THE RAINFALL RUNOFF. ANY EXCESS RAINFALL RUNOFF WILL SHEET FLOW INTO LAKEVIEW AVENUE. THE REDUCED IMPERVIOUS AREA WILL RESULT IN LESS WATER FLOWING TO THESE LOCATIONS IN THE PROPOSED CONDITION VERSUS THE EXISTING CONDITION.

EXIST. IMPERVIOUS SURFACE AREA: 34,217 SFT
PROP. IMPERVIOUS SURFACE AREA: 29,553 SFT
EXIST. PERVIOUS SURFACE AREA: 14,204 SFT
PROP. PERVIOUS SURFACE AREA: 18,868 SFT

REDEVELOPMENT (EXCLUDING EXISTING BUILDING, MILL AND OVERLAY PAVEMENT, AND EXPANDED LANDSCAPE): 13,065 SFT, 27% OF SITE

NOTES FOR DRIVEWAY APPROACH:
- THE CONTRACTOR SHALL CONSTRUCT THE EXISTING DRIVEWAY APPROACHES SUCH THAT PAVEMENT WEARING COURSE MATCHES THE GRADE OF THE EXISTING WCR ROADWAY.
- CONTRACTOR/PERMIT HOLDER SHALL RESTORE DISTURBED AREAS WITHIN THE ROAD RIGHT-OF-WAY IN ACCORDANCE WITH WCR STANDARDS.
- ALL MATERIAL USED WITHIN THE WCR ROAD RIGHT-OF-WAY SHALL CONFORM WITH CURRENT WCR AND MDOT SPECIFICATIONS.
- CONTRACTOR/APPLICANT MUST MAINTAIN ACCESS TO ADJACENT DRIVEWAYS DURING CONSTRUCTION.
- THE DRIVEWAY APPROACHES SHALL BE CONSTRUCTED SO THAT THE EXISTING DRAINAGE IS NOT ADVERSELY AFFECTED.
- CONTRACTOR SHALL INSTALL PROPER SOIL EROSION AND SEDIMENTATION CONTROL (SECC) BEST MANAGEMENT PRACTICES (BMPs) PRIOR TO COMMENCEMENT OF WORK. SECCS BMPs MUST REMAIN IN PLACE UNTIL VEGETATIVE COVER IS REESTABLISHED AND RESTORE DISTURBED AREAS WITHIN THE RIGHT OF WAY IN ACCORDANCE WITH WCR STANDARDS.

REVISIONS:

DATE: OCTOBER 9, 2025	APPROVED BY: MC
DATE: DEC. 30, 2025	PER TOWNSHIP COMMENTS
DATE: MARCH 17, 2026	PER TOWNSHIP COMMENTS

DRAWN BY: VS
APPROVED BY: MC
DATE: OCTOBER 9, 2025

ROOSSEN & ASSOCIATES
ENGINEERING AND ARCHITECTURE
10000 W. HURON AVENUE, SUITE 100
GRAND RAPIDS, MI 49508
TEL: (616) 361-2720

SITE GRADING, UTILITY, AND SECC PLAN
2171 GROVE RD.
IN PART OF SEC. 14, T3S, R7E
YPSILANTI TOWNSHIP, WASHTEENAW COUNTY, MICHIGAN

CLIENT: TOM HOUSEMAN
BLACKSTAR BUILDING GROUP INC.
11255 1ST AVE. NW, SUITE A
GRAND RAPIDS, MI 49534

PROJECT NO. 250926

Section 130: Landscape Requirements

B. General landscaping.

(1) A mixture of evergreen and deciduous trees shall be planted at the rate of one (1) tree for each one thousand (1,000) square feet or fraction thereof of lawn area.

(2) One (1) shrub for every five hundred (500) square feet or fraction thereof of lawn area.

Required based on 15,600 sf of lawn area: 15.60 trees and 31.20 shrubs
(Note: 10,000 sf of proposed lawn + 5,600 sf of existing lawn/vegetation)
(Note: Proposed lawn does not include lawn in ROW: 4548 sf)

Provided based on 15,970 sf of lawn area: 12 Existing Cedar Trees, 1 Existing Pear Tree, 1 Existing Cottonwood Tree, 2 Evergreen Trees and 32 shrubs

C. Street yard landscaping.

Whenever, in this ordinance, a landscaped setback is required between a public or private street and a parking or building setback, all such yards shall be landscaped in accordance with the following:

- (1) A minimum of one (1) large deciduous tree shall be planted for each forty (40) lineal feet of frontage, or portion thereof, plus
- (2) A minimum of one (1) ornamental tree shall be planted for each one hundred (100) lineal feet of frontage or portion thereof, plus
- (3) A minimum of one (1) shrub shall be planted for each ten (10) lineal feet of frontage, or portion thereof.
- (4) Creative placement of the trees, such as staggering, clustering, and/or other methods, is encouraged in an effort to eventually achieve a canopy.

Provided based on 130.13 In. ft. of Lakeview Ave. frontage: 1 Existing Pear Tree, 2 Large Deciduous Trees, 2 Ornamental Trees and 19 shrubs.

Provided based on 113.74 In. ft. of Grove Rd. frontage: 3 canopy trees, 1 ornamental tree and 12 shrubs.
Note: shrubs are placed to screen drive to car wash stalls.

Provided based on 139.03 In. ft. of Grove Rd. frontage: 14 shrubs.
Note: Trees are not to be planted in the ROW per the County Road Commission.

D. Parking lot landscaping

(1) Interior requirements:

One (1) large deciduous tree shall be required for each two thousand (2,000) square feet of paved driveway and parking lot surface, provided that no less than two (2) trees are provided.

Required based on 22,143 sf of pavement: 11 Deciduous Trees
Provided based on 22,143 sf of pavement: 6 Deciduous Trees and 5 Evergreen Trees.

(2) Perimeter

Canopy trees shall be provided along the perimeter of a parking lot at a minimum rate of one (1) tree per forty (40) feet of lot perimeter; however, trees need not be planted on forty (40) foot centers.

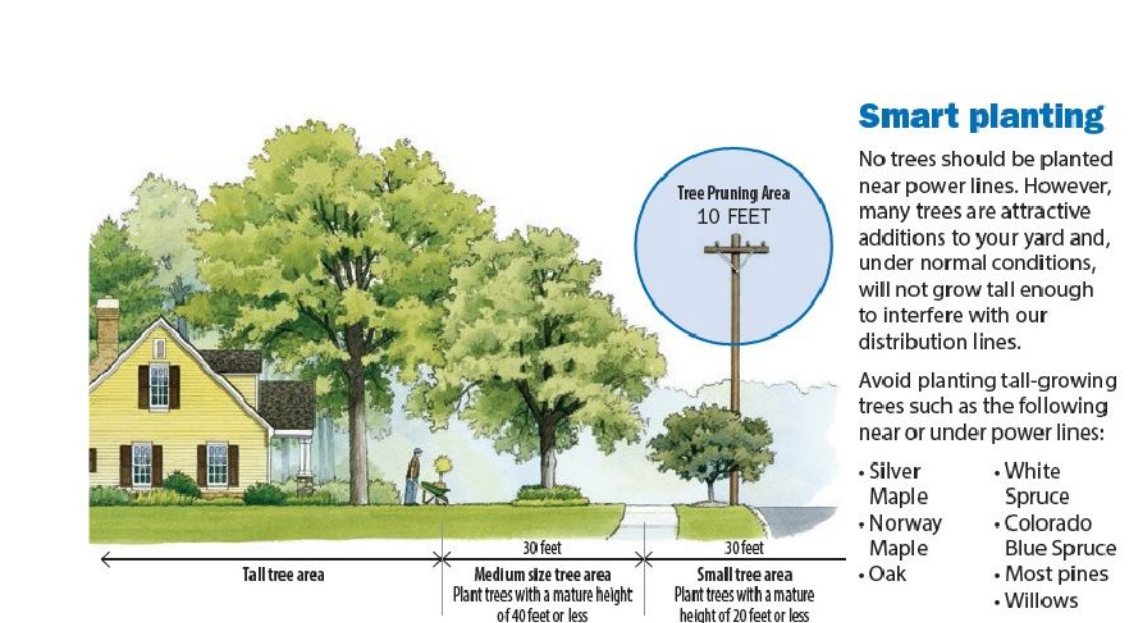
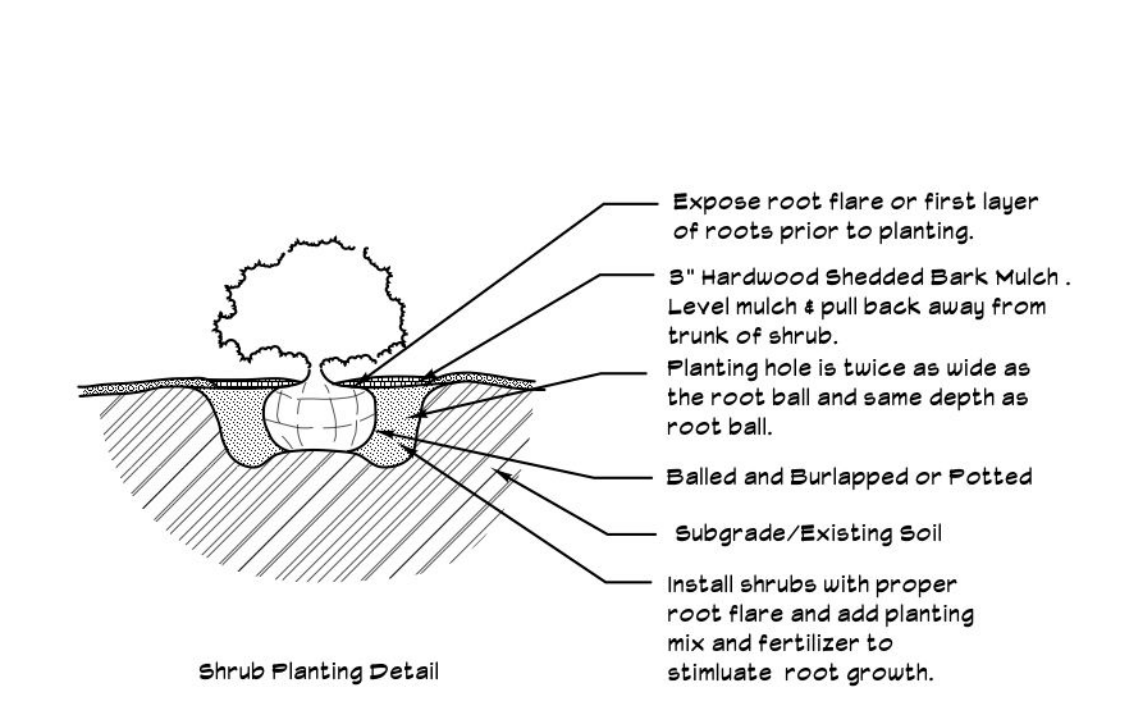
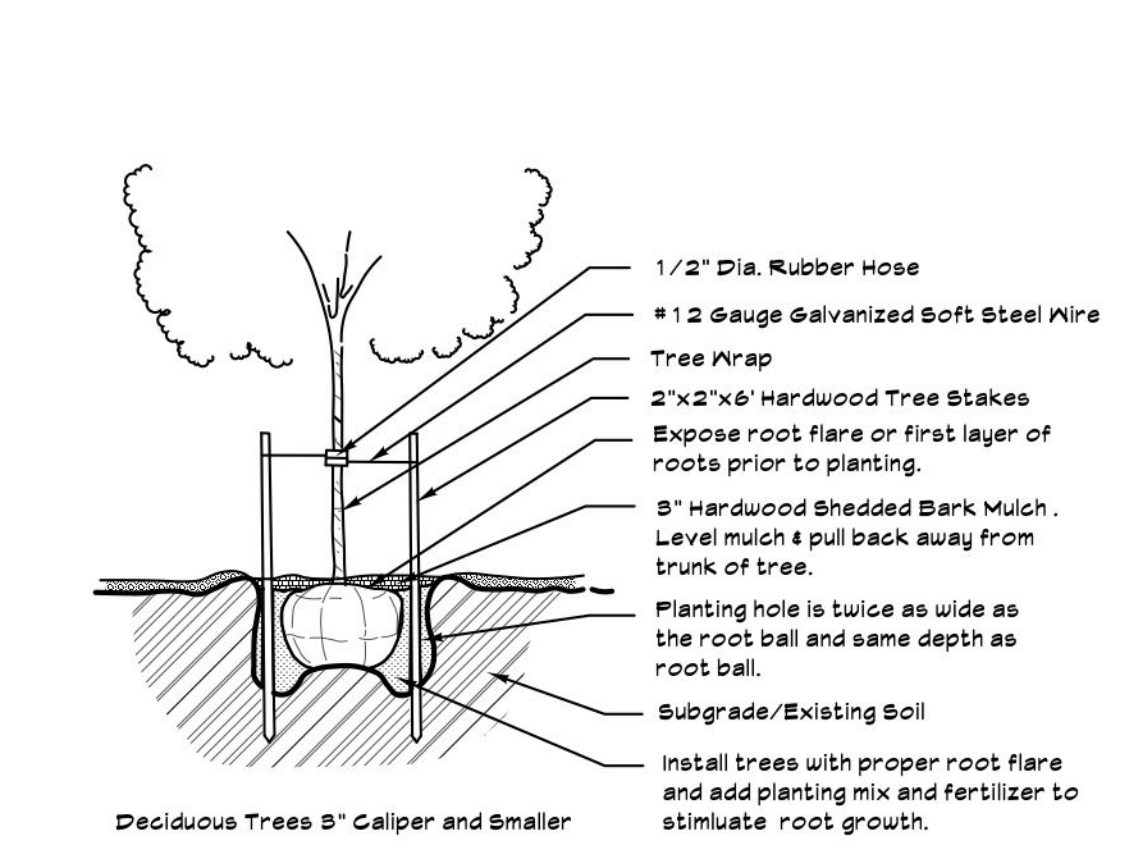
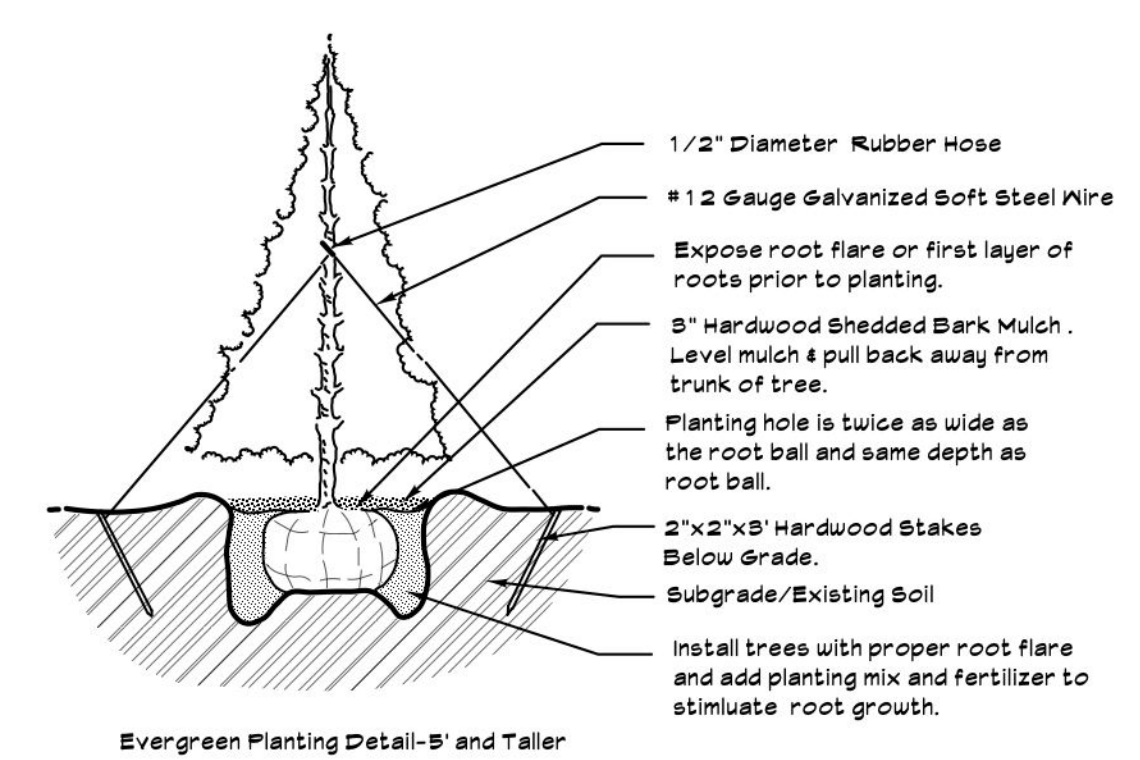
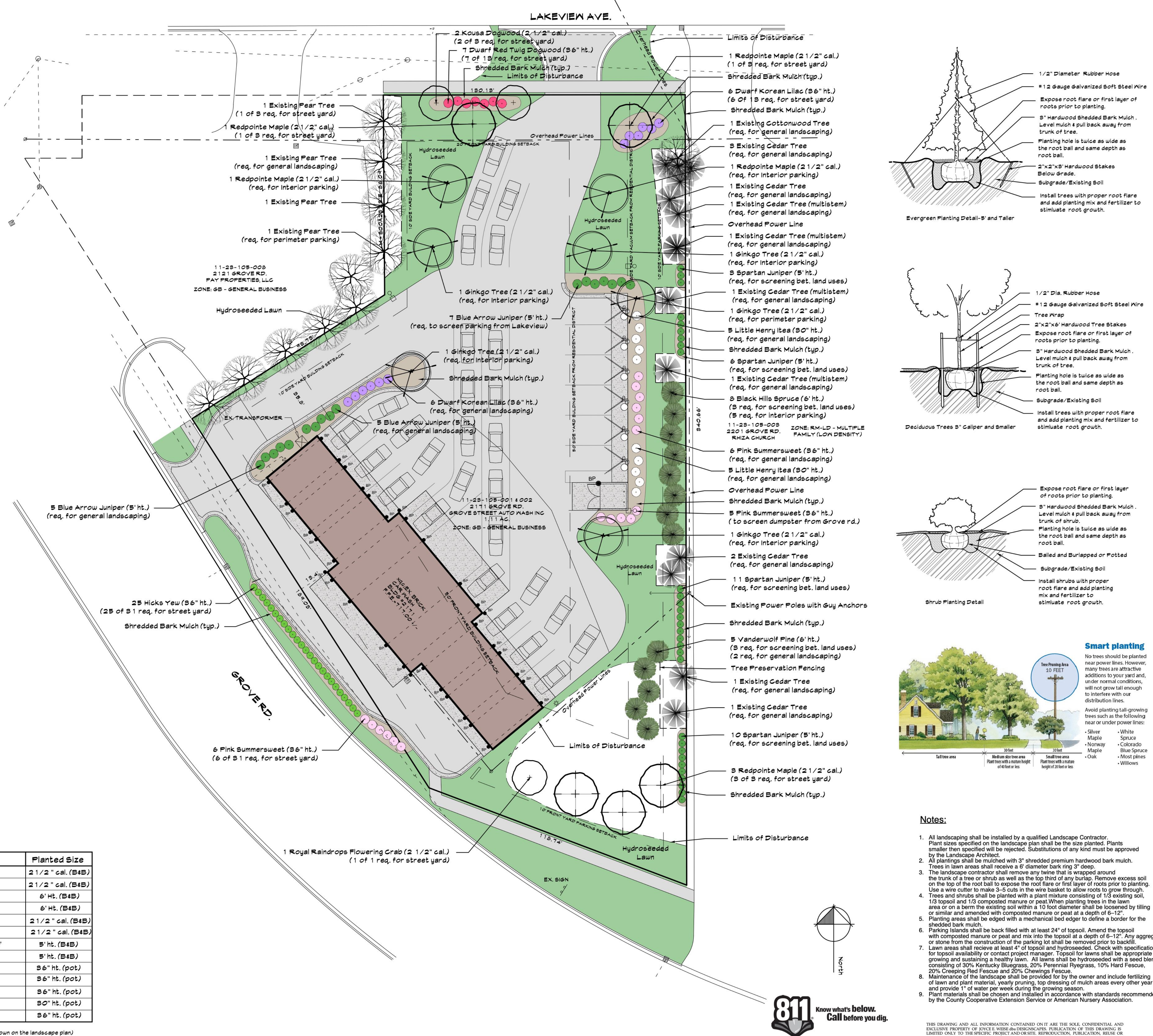
Required based on 30 In. ft.: 2 perimeter trees

Provided based on 30 In. ft. of perimeter: 1 Existing Pear Tree and 1 Deciduous Tree

Plant List

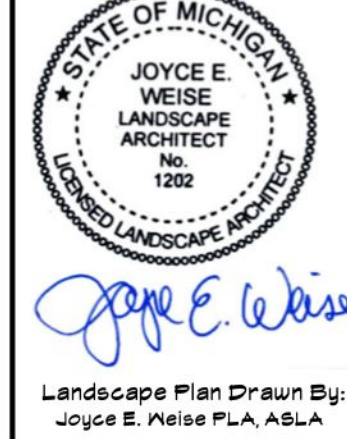
Quantity	Common Name	Latin Name	Planted Size
7	Redpointe Maple	Acer rubrum 'Frank Jr.'	2 1/2" cal. (B4B)
5	Ginkgo Tree	Ginkgo biloba	2 1/2" cal. (B4B)
5	Black Hills Spruce	Picea glauca var. densata	6' Ht. (B4B)
5	Vanderwolf Pine	Pinus flexilis 'Vanderwolf'	6' Ht. (B4B)
2	Kousa Dogwood	Cornus Kousa	2 1/2" cal. (B4B)
1	Royal Raindrops Flowering Crab	Malus 'Royal Raindrops'	2 1/2" cal. (B4B)
17	Blue Arrow Juniper	Juniperus virginiana 'Blue Arrow'	5' Ht. (B4B)
30	Spartan Juniper	Juniperus Chinensis 'Spartan'	5' Ht. (B4B)
7	Dwarf Red Twig Dogwood	Cornus stolonifera 'Arctic Fire'	3 6" Ht. (pot)
12	Dwarf Korean Lilac	Syringa meyeri 'Palibin'	3 6" Ht. (pot)
25	Hicks Yew	Taxus Hicksii	3 6" Ht. (pot)
10	Little Henry Itsea	Itea virginica 'Sprich'	30" Ht. (pot)
17	Pink Summersweet	Clethra alnifolia 'Ruby Spice'	3 6" Ht. (pot)

(Note: Plant list for ordinance purposes only, the landscape contractor is responsible for plant quantities shown on the landscape plan)



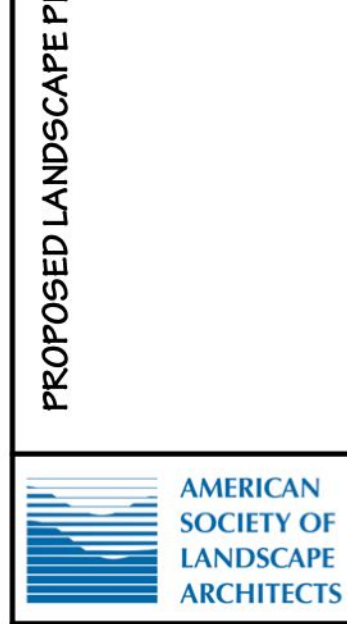
Notes:

- All landscaping shall be installed by a qualified Landscape Contractor. Plant sizes specified on the landscape plan shall be the size planted. Plants smaller than specified will be rejected. Substitutions of any kind must be approved by the Landscape Architect.
- All plantings shall be mulched with 3\"/>



Landscape Plan Drawn By:
Joyce E. Weise P.L.A., A.S.L.A.

Grove Street Car Wash
2171 Grove Rd., Ypsilanti Twp., Michigan



PROPOSED LANDSCAPE PLAN FOR:
PROJECT NUMBER: 250926
DRAWN BY: Joyce E. Weise P.L.A., A.S.L.A.
DRAWING DATE: 011426
ISSUED FOR: 01/18/26 Site Plan Approval
02/18/26 Per Top. Comments
SCALE: 1"=20'
SHEET NUMBER: L-101



THIS DRAWING AND ALL INFORMATION CONTAINED ON IT ARE THE SOLE, CONFIDENTIAL, AND EXCLUSIVE PROPERTY OF JOYCE E. WEISE & DESIGN SCAPES. PUBLICATION OF THIS DRAWING IS LIMITED ONLY TO THE SPECIFIC PROJECT AND/OR SITE. REPRODUCTION, PUBLICATION, REUSE OR MODIFICATION OF THIS DOCUMENT IN WHOLE OR IN PART IS EXPRESSLY PROHIBITED WITHOUT PRIOR WRITTEN CONSENT OF JOYCE E. WEISE & DESIGN SCAPES.



E3M SOLUTIONS

2855 44TH ST SW - SUITE 360
GRANDVILLE, MI 49418
616.365.5680
www.e3msolutions.com

GROVE RD CARWASH REMODEL

2171 GROVE RD, YPSILANTI, MI 48198

ENGINEER SEAL:

NOT FOR CONSTRUCTION

REVISIONS:

03/25/26 SITE PLAN SUBMISSION
NO. DATE DESCRIPTION

DRAWN BY LCT
REVIEWED BY LCT

SHEET TITLE:
ELECTRICAL SITE PLAN

SHEET NUMBER:

ES201

POWER & DATA GENERAL NOTES

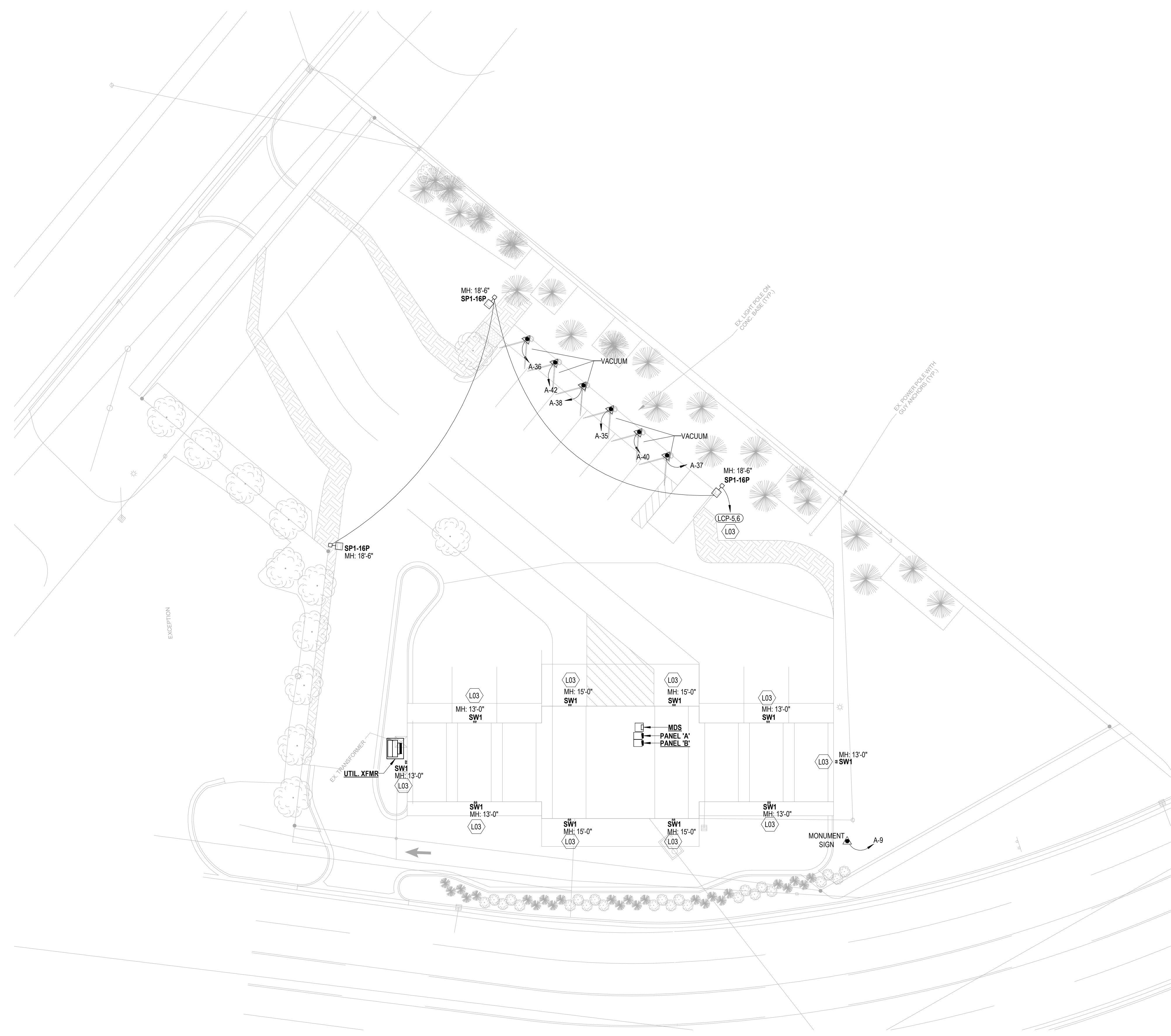
- A. FURNISH AND INSTALL HOUSEKEEPING PADS FOR FLOOR AND GRADE MOUNTED ELECTRICAL EQUIPMENT.
- B. RECEPTACLES:
 - a. SINGLE AND DUPLEX, NON-LOCKING, NEMA 5-20R UNLESS OTHERWISE INDICATED.
 - b. ORIENTATION: GROUNDING PIN ON TOP (VERTICAL) OR ON RIGHT (HORIZONTAL).
 - c. WEATHER RESISTANT: ALL 15A AND 20A, 125V AND 250V NON-LOCKING TYPE INSTALLED OUTDOORS AND IN WET LOCATIONS.
 - d. CONTROLLED: ALL NON-LOCKING TYPE, 125V, 15A AND 20A, USED IN AUTOMATIC RECEPTACLE CONTROLS SHALL BE PERMANENTLY MARKED AS CONTROLLED. LOCATE NON-SPLIT CONTROLLED RECEPTACLES WITHIN 12-INCHES OF EACH NON-CONTROLLED RECEPTACLE.
- C. IDENTIFICATION:
 - a. LABEL POWER DISTRIBUTION EQUIPMENT WITH WHITE ON BLACK LAMINATED PLASTIC LABEL PLATES WITH THE FOLLOWING INFORMATION: EQUIPMENT DESIGNATION, VOLTAGE, PHASE, WIRE, AMPERAGE, FEEDER SIZE (BREAKER AND WIRE), FEEDER LOCATION. FOR SURFACE MOUNTED EQUIPMENT, INSTALL LABEL EQUIPMENT ENCLOSURE EXTERIOR. FOR RECESSED EQUIPMENT, INSTALL LABEL ON INSIDE OF COVER.
 - b. LABEL FEEDERS WITH WHITE ON BLACK LAMINATED PLASTIC LABEL PLATES WITH THE FOLLOWING INFORMATION: FEEDER DESCRIPTION, BREAKER SIZE, TRIP SIZE, WIRE SIZE.
 - c. FURNISH AND INSTALL PRINTED UP-TO-DATE PANEL SCHEDULES.
- D. VERIFICATION AND FUNCTION PERFORMANCE TESTING:
 - a. CODE COMPLIANCE: TEST AND VERIFY RECEPTACLE CONTROLS AND ENERGY MONITORING IN ACCORDANCE WITH ASHRAE 90.1 SECTIONS 4.2.5.1 AND 8.9.1.
 - b. CRITERIA: TEST AND VERIFY THAT CONTROL ELEMENTS ARE CONFIGURED AND OPERATING IN ACCORDANCE WITH ASHRAE 90.1 SECTIONS 8.4.2 AND 8.4.3.
 - c. PROCEDURES: PERFORM TEST AND VERIFICATION PROCEDURES IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING STANDARDS ACCEPTABLE TO THE BUILDING OFFICIAL.
 - d. V&T PROVIDER: REFER TO ARCHITECTURAL CONSTRUCTION DOCUMENTS.
- E. SECURITY AND ACCESS CONTROL DEVICES INDICATED ARE FOR REFERENCE ONLY AND DO NOT REPRESENT COMPREHENSIVE SYSTEMS.

LIGHTING GENERAL NOTES

- A. FURNISH AND INSTALL MINIMUM #18 AWG WIRE (VIOLET & PINK) FOR 0-10V DIMMING LIGHT FIXTURES. DO NOT EXCEED THE SINK CAPACITY OF THE DIMMING CONTROLLER. DO NOT EXCEED 0.3V VOLTAGE DROP, UNLESS OTHERWISE RECOMMENDED BY THE MANUFACTURER.
- B. CIRCUIT BATTERY POWERED EXIT SIGNS TO THE NEAREST NON-SWITCHED NORMAL UTILITY POWER LIGHTING CIRCUIT. CIRCUIT AC-ONLY EXIT SIGNS TO THE NEAREST NON-SWITCHED EMERGENCY POWER LIGHTING CIRCUIT.
- C. CONCEAL LOAD CONTROLLERS AND POWER PACKS ABOVE ACCESSIBLE CEILINGS WHERE POSSIBLE. FURNISH AND INSTALL ACCESS PANELS FOR LOAD CONTROLLERS AND POWER PACKS INSTALLED BEHIND INACCESSIBLE WALLS OR CEILINGS.
- D. FURNISH AND INSTALL LIGHTING CONTROLS IN ACCORDANCE WITH ASHRAE 90.1 AND IECC AS AMENDED AND ADOPTED BY THE AHJ.
- E. REPLACE BURNT OUT LAMPS, DEFECTIVE BALLASTS, AND BROKEN LENSES FOR EXISTING TO REMAIN LIGHT FIXTURES IN PROJECT AREA. FIELD VERIFY CONDITION OF EXISTING LIGHT FIXTURES.
- F. INSTALL NON-CLOSET RATED LUMINAIRES IN CLOTHES CLOSETS WITH MINIMUM 12-INCH CLEARANCE FROM CLOTHES STORAGE SPACE AS DEFINED IN NFPA 70.
- G. FURNISH AND INSTALL REMOTE TEST SWITCHES FOR EMERGENCY LIGHTING INVERTERS, BATTERIES, AND LOAD CONTROL RELAYS INSTALLED IN INACCESSIBLE LOCATIONS.
- H. VERIFICATION AND FUNCTION PERFORMANCE TESTING:
 - a. CODE COMPLIANCE: TEST AND VERIFY LIGHTING CONTROLS IN ACCORDANCE WITH ASHRAE 90.1 SECTIONS 4.2.5.1 AND 9.9.1.
 - b. CRITERIA: TEST AND VERIFY CONTROL HARDWARE AND SOFTWARE ARE CALIBRATED, ADJUSTED, PROGRAMMED, AND IN PROPER WORKING CONDITION IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND MANUFACTURERS' INSTRUCTIONS.
 - c. PROCEDURES: PERFORM MINIMUM TEST AND VERIFICATION PROCEDURES FOR LIGHTING CONTROLS IN ASHRAE 90.1 SECTION 9.9.1.
 - d. V&T PROVIDER: REFER TO ARCHITECTURAL CONSTRUCTION DOCUMENTS.

ELECTRICAL KEYNOTES

- L03 ALL SITE LIGHTING TO BE CONTROLLED BY MOTION SENSING, REDUCING OUTPUT WHEN NO MOTION DETECTED. IN ADDITION, BUILDING MOUNTED LIGHTING TO BE REDUCED 1 HOUR AFTER CLOSING.



1 ELECTRICAL SITE PLAN
ES201 1" = 20'-0"

3/25/2026 5:01:07 PM



E3M SOLUTIONS

2855 44TH ST SW - SUITE 360
GRANDVILLE, MI 49418
616.365.5680
www.e3msolutions.com

GROVE RD CARWASH REMODEL

2171 GROVE RD, YPSILANTI, MI 48198

ENGINEER SEAL:

**NOT FOR
CONSTRUCTION**

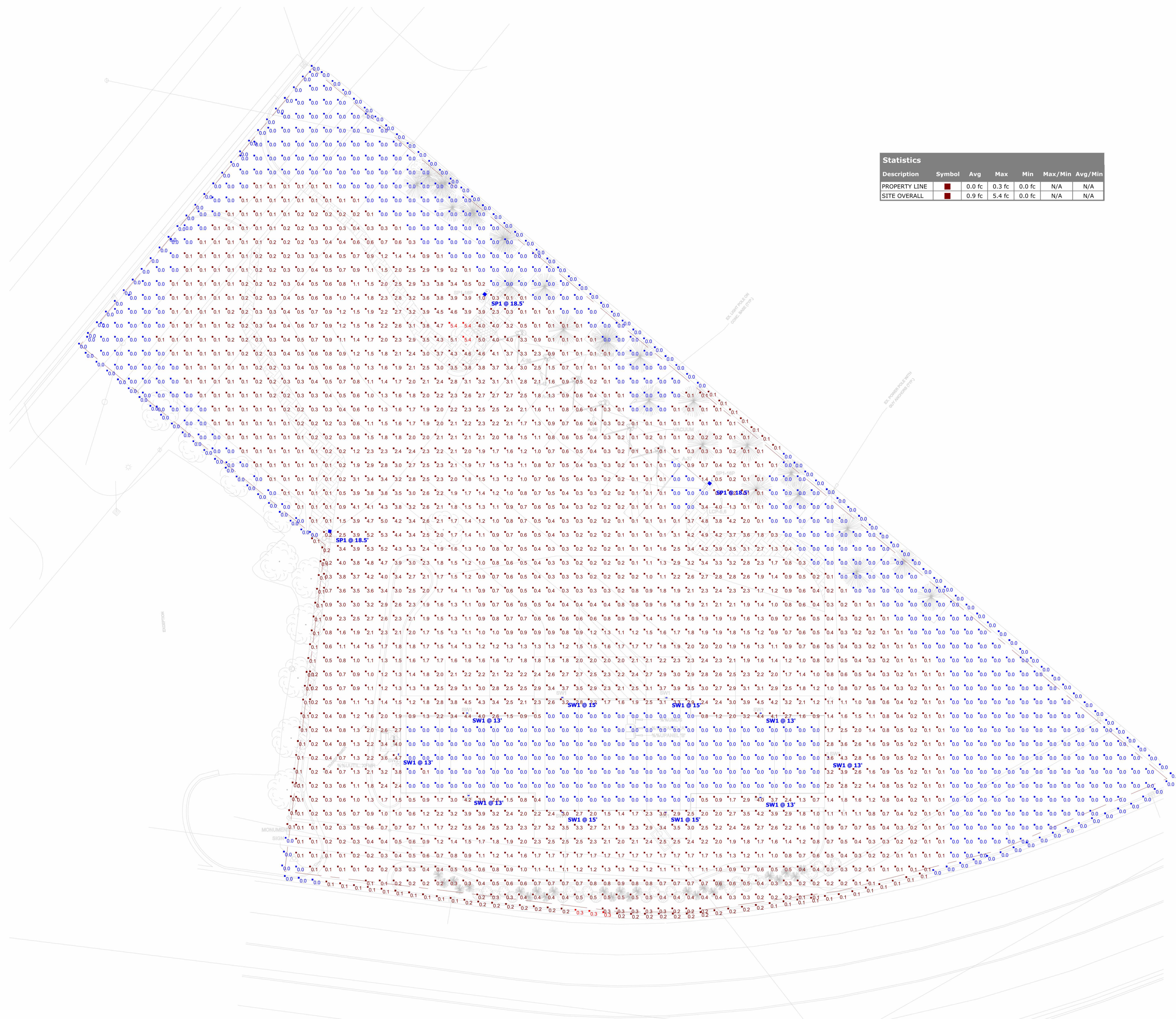
REVISIONS:

03/25/26 SITE PLAN SUBMISSION
NO. DATE DESCRIPTION

DRAWN BY LCT
REVIEWED BY LCT

SHEET TITLE:
ELECTRICAL SITE LIGHTING
PHOTOMETRICS

SHEET NUMBER:
ES301



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PROPERTY LINE	■	0.0 fc	0.3 fc	0.0 fc	N/A	N/A
SITE OVERALL	■	0.9 fc	5.4 fc	0.0 fc	N/A	N/A

LIGHTING CONTROL SEQUENCE OF OPERATION SCHEDULE											
SOO #	ROOM TYPE	ZONE TYPE	MANUAL CONTROLS		AUTOMATIC OCCUPANCY SENSOR CONTROLS				AUTOMATIC DAYLIGHT SENSOR CONTROLS (WHERE INDICATED IN PLANS)	AUTOMATIC TIME CLOCK CONTROLS	NOTES
			SWITCHING (MODE)	DIMMING (MODE)	ON CONTROL		OFF CONTROL				
					MODE	%	MODE	% TIME DELAY			
1	ELECTRICAL, MECHANICAL, ELEVATOR SHAFT	GENERAL	ON/OFF	--	--	--	--	--	CONTINUOUS DIMMING	--	
2	PRIVATE RESTROOM	GENERAL	ON/OFF	--	AUTO ON	100	AUTO OFF	0	5 MIN.	CONTINUOUS DIMMING	7
		TASK	ON/OFF	--	AUTO ON	100	AUTO OFF	0	5 MIN.	--	7
3	GROUP RESTROOM	GENERAL	ON/OFF	--	AUTO ON	100	AUTO OFF	0	15 MIN.	CONTINUOUS DIMMING	7
		TASK	ON/OFF	--	AUTO ON	100	AUTO OFF	0	15 MIN.	--	7
4	CORRIDOR, LOBBY	GENERAL	ON/OFF	--	AUTO ON	100	AUTO OFF	0	15 MIN.	CONTINUOUS DIMMING	--
		ACCENT	ON/OFF	--	AUTO ON	100	AUTO OFF	0	15 MIN.	--	--
5	STAIRWELL	GENERAL	ON/OFF	CONTINUOUS	AUTO ON	100	AUTO PARTIAL OFF	10	15 MIN.	CONTINUOUS DIMMING	13
6	STORAGE (50 SQFT OR LESS)	GENERAL	ON/OFF	--	AUTO ON	100	AUTO OFF	0	5 MIN.	--	--
7	STORAGE (GREATER THAN 50 SQFT)	GENERAL	ON/OFF	--	MANUAL ON	--	AUTO OFF	0	5 MIN.	CONTINUOUS DIMMING	--
8	LOCKER, GYM, FITNESS, AUDITORIUM, DINING, COMPUTER ROOM, LAUNDRY/WASHING, MANUFACTURING AREA	GENERAL	ON/OFF	CONTINUOUS	AUTO PARTIAL ON	50	AUTO OFF	0	15 MIN.	CONTINUOUS DIMMING	--
		ACCENT	ON/OFF	--	MANUAL ON	--	AUTO OFF	0	15 MIN.	--	--
		TASK	ON/OFF	--	MANUAL ON	--	AUTO OFF	0	15 MIN.	--	--
9	PRIVATE OFFICE, OPEN OFFICE (ZONES EXCEEDING 600 SQFT), CONFERENCE, COPY/PRINT, BREAK ROOM, CLASSROOM	GENERAL	ON/OFF	CONTINUOUS	AUTO PARTIAL ON	50	AUTO OFF	0	15 MIN.	CONTINUOUS DIMMING	--
		ACCENT	ON/OFF	--	MANUAL ON	--	AUTO OFF	0	15 MIN.	--	--
		TASK	ON/OFF	--	MANUAL ON	--	AUTO OFF	0	15 MIN.	--	--
		PLUG LOADS	--	--	AUTO ON	100	AUTO OFF	0	20 MIN.	--	--
10	WASHBAYS	TASK	ON/OFF	CONTINUOUS	--	--	--	--	--	BUSINESS HOURS	
11	EXTERIOR PARKING AREA (MOUNTING HEIGHT OF 24 FT OR LESS)	GENERAL	--	--	AUTO ON	100	AUTO PARTIAL OFF	50	15 MIN.	--	ASTRONOMIC
12	EXTERIOR PARKING AREA (MOUNTING HEIGHT GREATER THAN 24 FT)	GENERAL	--	--	--	--	--	--	--	BUSINESS HOURS, ASTRONOMIC	
13	EXTERIOR LANDSCAPE AND FAÇADE	ACCENT	--	--	--	--	--	--	--	BUSINESS HOURS, ASTRONOMIC	
14	EXTERIOR BUILDING MOUNT AND PATHWAY	GENERAL	--	--	--	--	--	--	--	BUSINESS HOURS, ASTRONOMIC	

GENERAL NOTES:

A. REFER TO LIGHTING CONTROLS NARRATIVE FOR GENERAL REQUIREMENTS AND ADDITIONAL DETAILS.

B. "GENERAL" LIGHTING REFERS TO LIGHTING THAT PROVIDES A SUBSTANTIALLY UNIFORM LEVEL OF ILLUMINATION THROUGHOUT AN AREA. GENERAL LIGHTING DOES NOT INCLUDE DECORATIVE OR LIGHTING THAT PROVIDES DISSIMILAR LEVEL OF ILLUMINATION TO SERVE A SPECIALIZED APPLICATION OR FEATURE WITHIN SUCH AREA.

C. "DECORATIVE" LIGHTING REFERS TO LIGHTING THAT IS ORNAMENTAL OR INSTALLED FOR AESTHETIC EFFECT. DECORATIVE LIGHTING DOES NOT INCLUDE GENERAL LIGHTING.

D. "TASK" LIGHTING REFERS TO LIGHTING DIRECTED TO A SPECIFIC SURFACE OR AREA THAT PROVIDES ILLUMINATION FOR VISUAL TASKS.

E. DISPLAY CASE LIGHTING SHALL BE CONTROLLED SEPARATELY FROM THE GENERAL LIGHTING AND USE THE SAME SEQUENCE OF OPERATIONS AS ACCENT LIGHTING.

F. TASK LIGHTING WITH INTEGRAL CONTROL DEVICES SHALL BE PERMITTED ON THE SAME SWITCH LEG AS THE GENERAL LIGHTING UNLESS OTHERWISE INDICATED.

NOTES:

1. PROVIDE MANUAL 2HR SCHEDULED SHUTOFF OVERRIDE CONTROL FOR INTERIOR LIGHTING CONTROLLED AREAS NOT EXCEEDING 5,000 SQFT.

2. ENABLE PASSWORD PROTECTION FOR TOUCH SCREEN CONTROLLER.

3. SIGNAL OCCUPANCY STATUS TO HVAC EQUIPMENT USING AUXILIARY RELAY DEVICES OR OCCUPANCY SENSORS WITH INTEGRAL AUXILIARY RELAYS.

4. SIGNAL OCCUPANCY STATUS TO HVAC EQUIPMENT USING SYSTEM CONTROLLER INTEGRATION WITH BMS VIA BACNET/IP.

5. INTERFACE WITH MOTORIZED SHADE(S) FOR RAISE/LOWER AND OPEN/CLOSE CONTROL OF SHADE(S) BY LIGHTING CONTROLS.

6. INTERFACE WITH AV SYSTEM USING SERIAL INTERFACE DEVICE FOR ON/OFF, DIMMING, AND SCENE CONTROL OF LIGHTING BY AV SYSTEM.

7. ENABLE AUTO ON AFTER MOMENTARY MANUAL OFF AFTER EXPIRATION OF PRESET TIME PERIOD.

8. ENABLE INTERVAL TIMER EXPIRATION BLINK WARNING.

9. DIM PARKING GARAGE TRANSITION LIGHTING TO PARKING GARAGE GENERAL LIGHT LEVEL FROM SUNSET TO SUNRISE.

10. KEY CARD CONTROLS SHALL SHUTOFF GENERAL LIGHTING (EXCLUDED BATHROOMS) AND SWITCHED RECEPTACLES.

11. INCLUDE MANUAL 2HR SCHEDULED OVERRIDE CONTROL VIA PUSHBUTTON INTEGRAL TO RECEPTACLE OR LOCAL CONTROL SWITCH.

12. NETWORK WITH LIGHTING CONTROL SYSTEM CONTROLLER. FURNISH AND INSTALL BACKBONE NETWORK INTERFACE DEVICE AS NECESSARY.

13. PER ICC A117.1, AUTO PARTIAL OFF LIGHT LEVELS SHALL BE NOT LESS THAN 1 FC. SWITCH CONTROLLERS SHALL BE EQUIPPED FOR FAIL-SAFE OPERATION. OCCUPANCY SENSOR COVERAGE SHALL INCLUDE STAIRS AND STAIR LANDINGS. OFF CONTROL TIME DELAY SHALL BE NO LESS THAN 15 MINUTES.

LIGHTING CONTROL PANEL SCHEDULE										
PANEL	RELAY #	CIRCUIT #	SPACE	ZONE #	POWER	DAYLIGHT ZONE	VOLTS	POLES	DIMMING TYPE	DESCRIPTION
LCP	1	A-1	WASHBAY		NORMAL	NONE	120V	1-POLE	0-10V	SELF-SERVICE WASHBAYS
	2	A-2	AUTOMATIC WASHBAY		NORMAL	NONE	120V	1-POLE	0-10V	AUTOMATIC WASHBAYS
	3	A-3	N/A		NORMAL	NONE	120V	1-POLE	0-10V	EXTERIOR WALL MOUNT LIGHTS
	4	A-4	N/A		NORMAL	NONE	120V	1-POLE	0-10V	EXTERIOR BACKLIT SIGNAGE
	5	A-39.41	N/A		NORMAL	NONE	208V	2-POLE	NONE	PARKING LOT POLE LIGHTS
	6									
	7						120V	1-POLE	NONE	SPARE
	8						120V	1-POLE	NONE	SPARE

INTERIOR LIGHTING SCHEDULE											
TYPE	DESCRIPTION	MAKE: MODEL	VOLTAGE	LIGHT SOURCE	DRIVER	LENS	MIN. LUMENS	FINISH	MOUNTING	LOAD (W)	NOTES
J1	4' LENGTH STRIPLIGHT, ACRYLIC LENS	LITHONIA: CSS-148-AL03-MVOLT-SHW3-80CRI METALUX: 4-SN-X51SL-L-UNV-OC23-CD-1 HE WILLIAMS: FS-4-LS-8-CS-DIM-UNV COLUMBIA: MPS-4-40-HL-C-W-ED-U DAYBRITE: FSS-4-5SL-840-UNV-DIM -- OR EQUAL	UNIVERSAL (120-277V)	LED, 4000K CCT MIN. 80 CRI	0-10V (MIN. 10-100%)	DIFFUSE	4,800	WHITE	CHAIN HUNG OR CEILING SURFACE	41	2
J2	FIBERGLASS VAPROTIGHT FIXTURE, IP69K RATED, WET LOCATION RATED, SUITABLE FOR OUTDOOR ENVIRONMENTS, 316 STAINLESS STEEL LATCHES	LITHONIA: FEM-148-3000LM-LPAFL-MD-MVOLT-G210-30K-80CRI-IP69K-STSL -- OR EQUAL	UNIVERSAL (120-277V)	LED, 3000K CCT MIN. 80 CRI	0-10V (MIN. 10-100%)	DIFFUSE	2,900	WHITE	CEILING SURFACE	19	
J3	FIBERGLASS VAPROTIGHT FIXTURE, IP69K RATED, WET LOCATION RATED, SUITABLE FOR OUTDOOR ENVIRONMENTS, 316 STAINLESS STEEL LATCHES	LITHONIA: FEM-148-8000LM-LPAFL-MD-MVOLT-G210-30K-80CRI-IP69K-STSL -- OR EQUAL	UNIVERSAL (120-277V)	LED, 3000K CCT MIN. 80 CRI	0-10V (MIN. 10-100%)	DIFFUSE	7,900	WHITE	CEILING SURFACE	51	

GENERAL NOTES:

A. FIXTURE TAGS WITH "IE" ARE POWERED BY AN EMERGENCY POWER SOURCE AND TYPES WITH "IE" INCLUDE INTERGRAL EMERGENCY BATTERIES.

B. MINIMUM 5-YEAR STANDARD WARRANTY.

C. MAXIMUM 3-STEP MACADAM ELLIPSE/SDCM.

D. DAMP LOCATION LISTED, UNLESS OTHERWISE INDICATED.

E. MINIMUM LED LUMEN MAINTENANCE OF L70 AT 50,000 HOURS PER IES LM-80 AND IES TM-21.

F. MINIMUM 0.9 POWER FACTOR AT FULL LOAD PER ANSI C82.77 (TITLE 24 JA8, DLC QUALIFIED).

G. MINIMUM COLORING RENDERING R9 OF 0 (TITLE 24 JA8, ENERGY STAR, OR DLC QUALIFIED) OR MINIMUM Rf OF 70 AND R9 OF 89 PER TM-30.

H. VERIFY ALL FINISH AND COLOR TEMPERATURE (CCT) SELECTIONS WITH ARCHITECT/INTERIORS.

NOTES:

1. MINIMUM 90 MINUTE EMERGENCY BATTERY; UL 924 LISTED.

2. ADJUST LOCATIONS OF STRIPLIGHTS IN ELECTRICAL AND/OR MECHANICAL ROOMS AS NECESSARY TO COORDINATE WITH PLUMBING EQUIPMENT, DUCTS, AND PIPING. SURFACE MOUNT FOR CEILING UP TO 10'-0" AFF AND SUSPEND AT 10'-0" AFF FOR CEILING EXCEEDING 10'-0" AFF.

3. INCLUDE ALL NECESSARY HARDWARE AND ACCESSORIES FOR A COMPLETE AND OPERABLE FIXTURE.

4. DESIGN LIGHTS CONSORTIUM (DLC) QUALIFIED AND/OR ENERGY STAR CERTIFIED.

EXTERIOR LIGHTING SCHEDULE											
TYPE	DESCRIPTION	MAKE: MODEL	VOLTAGE	LIGHT SOURCE	DRIVER	LENS	MIN. LUMENS	FINISH	MOUNTING	LOAD (W)	NOTES
SP1-16P	POLE MOUNTED AREA LIGHT, ALUMINUM HOUSING, ALUMINUM POLE, FULL CUTOFF, TYPE IV BACKLIGHT CONTROL DISTRIBUTION, HOUSE SIDE SHIELDS, 10KV SURGE PROTECTION, IP65 RATED	LITHONIA: DSX1-P5-30K-70CRI-BCL4-MVOLT-RPA-HS-___PIR	UNIVERSAL (120-277V)	LED, 3000K CCT MIN. 70 CRI	FIXED	CLEAR	12,000	SELECTED BY ARCHITECT	MOUNTED TO 16 FT STRAIGHT 6" ROUND ALUMINUM POLE	138	1,3,4
SW1	OUTDOOR WALL MOUNT, FULL CUTOFF, ALUMINUM HOUSING	LITHONIA: WPX1-LED-P2-30K/MVOLT-___	UNIVERSAL (120-277V)	LED, 3000K CCT MIN. 70 CRI	FIXED	CLEAR	2,900	SELECTED BY ARCHITECT	WALL SURFACE	24	1

GENERAL NOTES:

A. FIXTURE TAGS WITH "IE" ARE POWERED BY AN EMERGENCY POWER SOURCE AND TYPES WITH "IE" INCLUDE INTERGRAL EMERGENCY BATTERIES.

B. MINIMUM 5-YEAR STANDARD WARRANTY.

C. MAXIMUM 7-STEP MACADAM ELLIPSE/SDCM (DLC PREMIUM OR LUNA QUALIFIED).

D. WET LOCATION LISTED, UNLESS OTHERWISE INDICATED.

E. MINIMUM LED LUMEN MAINTENANCE OF L70 AT 50,000 HOURS PER IES LM-80 AND IES TM-21.

F. MINIMUM 0.9 POWER FACTOR AT FULL LOAD PER ANSI C82.77 (TITLE 24 JA8, DLC QUALIFIED).

G. VERIFY ALL FINISH AND COLOR TEMPERATURE (CCT) SELECTIONS WITH ARCHITECT/INTERIORS.

NOTES:

1. OR EQUAL BY LITHONIA, LUMINIS, BEGA, HYDREL, LUMINIS, KENALL, LUMENPLUS, MCGRAW-EDISON, LUMARK, INVUE, LIGMAN, LSI, HE WILLIAMS, NLS, PERFORMANCE IN LIGHTING, TARGETTI, EXO, BEACON, KIM, GARDCO, STONCO

2. MINIMUM 90 MINUTE EMERGENCY BATTERY; UL 924 LISTED.

3. ZERO UPLIGHT (U0 RATED) PER IESNA TM-15.

4. INTEGRAL MOTION SENSOR WITH SEQUENCE OF OPERATIONS OF AUTO PARTIAL OFF TO MAXIMUM 50% LIGHT LEVEL.

5. INTEGRAL WIRELESS NETWORK MOTION SENSOR / PHOTOSENSOR.

6. INCLUDE ALL NECESSARY HARDWARE AND ACCESSORIES FOR A COMPLETE AND OPERABLE FIXTURE.

7. DESIGN LIGHTS CONSORTIUM (DLC) QUALIFIED AND/OR ENERGY STAR CERTIFIED.

ENERGY CODE COMPLIANCE PATHS:

- A. **ENERGY CODE:**
- a. COMPLY WITH MBC-2021 (IECC-2021 AS AMENDED AND ADOPTED BY THE AHJ).
 - b. **COMMERCIAL PROVISIONS (IECC-2021 C101):** COMMERCIAL BUILDINGS AND COMMERCIAL PORTIONS OF MIXED RESIDENTIAL AND COMMERCIAL BUILDINGS SHALL COMPLY WITH THE APPLICABLE PROVISIONS OF IECC-2021 - COMMERCIAL PROVISIONS [C].
 - c. **RESIDENTIAL PROVISIONS (IECC-2021 R101):** RESIDENTIAL BUILDINGS AND RESIDENTIAL PORTIONS OF MIXED RESIDENTIAL AND COMMERCIAL BUILDINGS SHALL COMPLY WITH THE APPLICABLE PROVISIONS OF IECC-2021 - RESIDENTIAL PROVISIONS [R].
- B. **COMMERCIAL COMPLIANCE PATHS:**
- a. **COMMERCIAL ENERGY CODE SELECTION (IECC-2021 C401.2):**
 - COMMERCIAL BUILDINGS SHALL COMPLY WITH THE REQUIREMENTS OF ASHRAE 90.1-2019.
 - b. **GENERAL COMPLIANCE PATH SELECTION (ASHRAE 90.1-2019 4.2.1):**
 - COMPLY WITH SECTIONS 4.2.2 THROUGH 4.2.5 (COMPLIANCE DOCUMENTATION: LABELING OF MATERIAL AND EQUIPMENT; INSPECTIONS; AND VERIFICATION, TESTING, AND COMMISSIONING), INCLUDING:
 1. **MANUALS (4.2.2.3):** COMPLY WITH 8.7.3.2 AND 9.7.3.2.
 2. **VERIFICATION AND TESTING (4.2.5.1):** COMPLY WITH 8.9.1 AND 9.9.1.
 3. **COMMISSIONING (4.2.5.2):** COMPLY WITH 8.9.2 AND 9.9.2.
 - COMPLY WITH THE PROVISIONS OF SECTION 8 (POWER) AND SECTION 9 (LIGHTING).
 - c. **SECTION 8 "POWER" COMPLIANCE PATH (ASHRAE 90.1-2019 8.2):**
 - POWER DISTRIBUTION SYSTEMS AND EQUIPMENT SHALL COMPLY SECTIONS 8.1 (GENERAL), 8.4 (MANDATORY PROVISIONS), AND 8.7 (SUBMITTALS).
 - d. **SECTION 9 "LIGHTING" COMPLIANCE PATH (ASHRAE 90.1-2019 9.2):**
 - LIGHTING SYSTEMS AND EQUIPMENT SHALL COMPLY WITH SECTIONS 9.1 (GENERAL), 9.4 (MANDATORY PROVISIONS), 9.7 (SUBMITTALS), AND EITHER 9.5 (BUILDING AREA METHOD) OR 9.6 (SPACE-BY-SPACE METHOD).

LIGHTING CONTROLS SEQUENCE OF OPERATIONS:

- A. **GENERAL:**
- a. REFER TO SEQUENCE OF OPERATIONS SCHEDULE FOR SPECIFIC REQUIREMENTS PER ROOM/SPACE.
- B. **MANUAL CONTROLS:**
- a. **SWITCHING:**
 - PROVIDE SWITCHING CONTROLS WHERE INDICATED IN SOO SCHEDULE AND WHERE INDICATED IN LIGHTING PLANS.
 - **MODE:** PER MODE INDICATED IN SOO SCHEDULE, CONTROLS SHALL PERFORM THE FOLLOWING:
 1. **ON/OFF:** SWITCH LIGHTS ON AND OFF IN RESPONSE TO MANUAL INPUT FROM USER.
 2. **BILEVEL:** SWITCH LIGHTS ON, OFF, AND TO 50% LIGHT LEVEL IN RESPONSE TO MANUAL INPUT FROM USER.
 - b. **DIMMING:**
 - PROVIDE DIMMING CONTROLS WHERE INDICATED IN SOO SCHEDULE AND WHERE INDICATED IN SOO SCHEDULE.
 - **MODE:** PER MODE INDICATED IN SOO SCHEDULE, CONTROLS SHALL PERFORM THE FOLLOWING:
 1. **CONTINUOUS DIMMING:** CONTINUOUSLY RAISE AND LOWER LIGHT LEVEL IN RESPONSE TO MANUAL INPUT FROM USER.
 1. **RANGE:** 10% OR DRIVER MINIMUM, WHICHEVER IS LOWER, TO 100% LIGHT LEVEL.
 2. **DIMMING CURVE:** LINEAR.
 3. **DIM-TO-OFF:** DISABLE DIM-TO-OFF SETTINGS. DIMMING CONTROLS SHALL NOT SWITCH OFF LIGHTING AT LOWEST LIGHT LEVEL. ADJUST LOWER TRIM LEVEL SETTINGS AS NECESSARY.
 2. **STEPPE DIMMING:** RAISE AND LOWER LIGHTS TO INDICATED PARTIAL LIGHT LEVEL STEPS IN RESPONSE TO MANUAL INPUT FROM USER.
 - c. **FADE TRANSITIONS:** DISABLE FADE TRANSITIONS.
 - d. **LOW END TRIM:** SET TO MINIMUM DIMMING LIGHT LEVEL OF ASSOCIATED LIGHT FIXTURE DRIVERS.
 - e. **HIGH END TRIM:** SET TO 100% LIGHT LEVEL.
- C. **AUTOMATIC OCCUPANCY SENSOR CONTROLS:**
- a. PROVIDE AUTOMATIC OCCUPANCY CONTROLS WHERE INDICATED IN SOO SCHEDULE AND WHERE INDICATED IN LIGHTING PLANS.
 - b. **ON CONTROL:**
 - **MODE:** PER MODE INDICATED IN SOO SCHEDULE, CONTROLS SHALL PERFORM THE FOLLOWING:
 1. **AUTO ON:** WHEN OCCUPANT ENTERS SPACE, AUTOMATICALLY TURN ON LIGHTS.
 2. **AUTO PARTIAL ON:** WHEN OCCUPANT ENTERS SPACE, TURN ON LIGHTS TO INDICATED OCCUPIED LIGHT LEVEL SETTING.
 3. **MANUAL ON:** WHEN OCCUPANT ENTERS SPACE, HOLD LIGHTS OFF UNTIL MANUALLY TURNED ON VIA MANUAL CONTROL DEVICE.
 - c. **OFF CONTROL:**
 - **MODE:** PER MODE INDICATED IN SOO SCHEDULE, CONTROLS SHALL PERFORM THE FOLLOWING:
 1. **AUTO OFF:** TURN LIGHTS OFF AFTER EXPIRATION OF **TIME DELAY** SINCE LAST DETECTED OCCUPANCY.
 2. **AUTO PARTIAL OFF:** DIM LIGHTS DOWN TO INDICATED UNOCCUPIED LIGHT LEVEL AFTER EXPIRATION OF **TIME DELAY** SINCE LAST DETECTED OCCUPANCY.
 - **GRACE PERIOD:** FOR MANUAL ON MODES, AUTO ON SHALL BE PERMITTED AFTER AUTO OFF DURING GRACE PERIOD. GRACE PERIOD SHALL NOT EXCEED 30 SECONDS. COMBINATION OF TIME DELAY AND GRACE PERIOD SHALL NOT EXCEED 20 MINUTES. FOR SYSTEMS OR DEVICES INCAPABLE OF GRACE PERIODS, ENABLE BLINK OR AUDIBLE WARNING INSTEAD.
 - d. **STATUS LEDS:** OCCUPANCY-STATUS STATUS LEDS SHALL REMAIN ENABLED UNTIL COMMISSIONING HAS BEEN COMPLETED.
- D. **AUTOMATIC DAYLIGHT RESPONSIVE CONTROLS:**
- a. PROVIDE AUTOMATIC DAYLIGHT RESPONSIVE CONTROLS WHERE INDICATED IN LIGHTING PLANS.
 - b. **MODE:** PER MODE INDICATED IN SOO SCHEDULE, CONTROLS SHALL PERFORM THE FOLLOWING:
 - **CONTINUOUS DIMMING:** DIM LIGHTING WITHIN DAYLIGHTING ZONES IN RESPONSE TO AVAILABLE DAYLIGHT FROM FULL OUTPUT TO 10 PERCENT OR LOWER AND AUTOMATICALLY TURN OFF IN RESPONSE TO SUFFICIENT DAYLIGHT.
 - **ON/OFF SWITCHING:** TURN OFF LIGHTING WITHIN DAYLIGHTING ZONES IN RESPONSE TO SUFFICIENT DAYLIGHT.
 - c. **AUTO PARTIAL OFF UNOCCUPIED SET POINT:** WHEN THE LIGHTING POWER HAS BEEN REDUCED BY AUTOMATIC PARTIAL OFF CONTROLS TO THE UNOCCUPIED SETPOINT, AUTOMATIC DAYLIGHTING CONTROLS SHALL NOT INCREASE THE LIGHTING POWER BEYOND THE UNOCCUPIED SETPOINT.
 - d. **REMOTE CALIBRATION:** CALIBRATION ADJUSTMENT CONTROLS SHALL BE READILY ACCESSIBLE, LOCATED NO MORE THAN 1 FT AWAY FROM WITHIN THE SAME SPACE AS THE DAYLIGHT RESPONSIVE CONTROLS, AND NOT REQUIRE THE PHYSICAL PRESENCE OF THE PERSON AT THE SENSOR WHILE IT IS PROCESSING.
- E. **AUTOMATIC TIME CLOCK CONTROLS:**
- a. PROVIDE TIME CLOCK CONTROLS WHERE INDICATED IN SOO SCHEDULE AND WHERE INDICATED IN LIGHTING PLANS.
 - b. **MODE:** PER MODE INDICATED IN SOO SCHEDULE, CONTROLS SHALL PERFORM THE FOLLOWING:
 - **BUSINESS HOURS:**
 1. **FOR INTERIOR LIGHTING:** TURN LIGHTS OFF DURING NON-BUSINESS DAYS AND HOURS.
 2. **FOR EXTERIOR LIGHTING (FAÇADE, LANDSCAPE):** TURN LIGHTS OFF BETWEEN MIDNIGHT OR CLOSING, WHICHEVER IS LATER, AND 6AM OR OPENING, WHICHEVER IS EARLIER.
 3. **FOR EXTERIOR LIGHTING (ALL OTHER):** TURN LIGHTS OFF OR TO INDICATED PARTIAL OFF LIGHT LEVEL BETWEEN MIDNIGHT OR WITHIN ONE HOUR OF CLOSING, WHICHEVER IS LATER, AND 6AM OR OPENING, WHICHEVER IS EARLIER.
 - **BUSINESS DAYS:** TURN LIGHTS OFF DURING PERIODS WHEN SPACE IS SCHEDULED TO BE UNOCCUPIED, INCLUDING HOLIDAYS AND WEEKENDS.
 - **ASTRONOMIC:** TURN LIGHTS OFF FROM SUNSET TO SUNRISE.
 - c. **DAYLIGHT SAVINGS TIME:** AUTOMATICALLY ADJUST SCHEDULES FOR DAYLIGHT SAVINGS TIME.
 - d. **SCHEDULES:**
 - DO NOT EXCEED MORE THAN 25,000 SOFT OF CONTROLLED AREA OR MORE THAN ONE FLOOR FOR INTERIOR LIGHTING CONTROL SCHEDULES.
 - DO NOT EXCEED MORE THAN 5,000 SOFT OF CONTROLLED AREA FOR INTERIOR LIGHTING SCHEDULE OVERRIDE CONTROLS.
 - e. **PROGRAM BACKUP:** TIME CLOCK CONTROLS SHALL BE CAPABLE OF RETAINING PROGRAMMING AND TIME SETTINGS DURING LOSS OF POWER FOR A PERIOD OF AT LEAST 10 HOURS.
- F. **EMERGENCY LIGHTING CONTROLS:**
- a. PROVIDE EMERGENCY LIGHTING CONTROLS WHERE INDICATED IN LIGHTING PLANS.
 - b. UNDER NORMAL POWER CONDITION, EMERGENCY LIGHT FIXTURES SHALL DIM AND TURN ON AND OFF ALONG WITH ASSOCIATED NORMAL POWER LIGHT FIXTURES IN RESPONSE TO AUTOMATIC AND MANUAL CONTROLS.
 - c. UPON LOSS OF NORMAL POWER, EMERGENCY LIGHTS SHALL TURN ON TO EMERGENCY LIGHT LEVEL FOR A MINIMUM OF 90 MINUTES, OR UNTIL NORMAL POWER IS RESTORED.
 - d. **AUTOMATIC LOAD CONTROL RELAYS:**
 - EMERGENCY LIGHT LEVEL: 100%.
 - DISABLE AUTO TEST UPON MANUAL OR AUTO OFF FEATURE OR SET AUTO TEST TO MONTHLY/YEARLY SCHEDULE.
 - e. **ADJUSTABLE OUTPUT EMERGENCY LIGHTING INVERTERS:**
 - 1. EMERGENCY LIGHT LEVEL: 100% FOR FIXED OUTPUT INVERTERS OR AS INDICATED ON LIGHTING PLANS OR SEQUENCE OF OPERATIONS SCHEDULE FOR ADJUSTABLE OUTPUT INVERTERS.



GROVE RD CARWASH REMODEL

2171 GROVE RD, YPSILANTI, MI 48198

ENGINEER SEAL:

NOT FOR CONSTRUCTION

REVISIONS:

NO.	DATE	DESCRIPTION
03/25/26		SITE PLAN SUBMISSION

DRAWN BY

LCT

REVIEWED BY

LCT

SHEET TITLE:
LIGHTING SCHEDULES

SHEET NUMBER:

E601



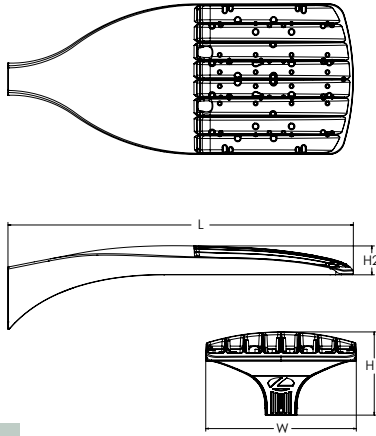
D-Series Size 1 LED Area Luminaire



d#series

Specifications

EPA:	0.69 ft ² (0.06 m ²)
Length:	32.71" (83.1 cm)
Width:	14.26" (36.2 cm)
Height H1:	7.88" (20.0 cm)
Height H2:	2.73" (6.9 cm)
Weight:	34 lbs (15.4 kg)



ds Design Select options indicated by this color background.

Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.



Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect.
*See ordering tree for details

Ordering Information

EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX1 LED	Series	LEDs	Color temperature ²	Color Rendering Index ²	Distribution	Voltage	Mounting
DSX1 LED	Forward optics	(this section 70CRI only)					Shipped included
	P1 P6	30K 3000K	70CRI	AFR Automotive front row	TSM Type V medium	MVOLT (120V-277V) ⁴	SPA Square pole mounting (#8 drilling)
	P2 P7	40K 4000K	70CRI	T1S Type I short	T5LG Type V low glare	HVOLT (347V-480V) ^{5,6}	RPA Round pole mounting (#8 drilling)
	P3 P8	50K 5000K	70CRI	T2M Type II medium	T5W Type V wide	XVOLT (277V - 480V) ^{7,8}	SPA5 Square pole mounting #5 drilling ⁹
	P4 P9			T3M Type III medium	BLC3 Type III backlight control ³	120 ^{16,26}	RPA5 Round pole mounting #5 drilling ⁹
	P5	27K 2700K	80CRI	T3LG Type III low glare ³	BLC4 Type IV backlight control³	208 ^{16,26}	SPA8N Square narrow pole mounting #8 drilling
	Rotated optics	30K 3000K	80CRI	T4M Type IV medium	LCCO Left corner cutoff ³	240 ^{16,26}	WBA Wall bracket ¹⁰
	P10 ¹ P12 ¹	35K 3500K	80CRI	T4LG Type IV low glare ³	RCCO Right corner cutoff ³	277 ^{16,26}	MA Mast arm adapter (mounts on 2 3/8" OD horizontal tenon)
	P11 ¹ P13 ¹	40K 4000K	80CRI	TFTM Forward throw medium		347 ^{16,26}	
		50K 5000K	80CRI			480 ^{16,26}	

Control options	Other options	Finish (required)
Shipped installed	Shipped installed	DDBXD Dark Bronze
NLTAIR2 PIRHN nLight AIR gen 2 enabled with bi-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc. ^{11,12,20,21}	SPD20KV 20KV surge protection	DBLXD Black
PIR High/low, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc. ^{13,20,21}	HS Houseside shield (black finish standard) ²²	DNAXD Natural Aluminum
PER NEMA twist-lock receptacle only (controls ordered separately) ¹⁴	L90 Left rotated optics ¹	DWHXD White
PER5 Five-pin receptacle only (controls ordered separate) ^{14,21}	R90 Right rotated optics ¹	DDBTXD Textured dark bronze
PER7 Seven-pin receptacle only (controls ordered separate) ^{18,21}	CCE Coastal Construction ²³	DBLBXD Textured black
FAO Field adjustable output ^{15,21}	HA 50°C ambient operation ²⁴	DNATXD Textured natural aluminum
BL30 Bi-level switched dimming, 30% ^{16,21}	BAA Buy America(n) Act and/or Build America Buy America Qualified	DWHGXD Textured white
BL50 Bi-level switched dimming, 50% ^{16,21}	SF Single fuse (120, 277, 347V) ²⁵	
DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) ¹⁷	DF Double fuse (208, 240, 480V) ²⁶	
DS Dual switching ^{18,19,21}	Shipped separately	
	EGSR External Glare Shield (reversible, field install required, matches housing finish)	
	BSDB Bird Spikes (field install required)	



Ordering Information

Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ²⁵
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ²⁵
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ²⁵
DSHORT SBK	Shorting cap ²⁵
DSX1HS P#	House-side shield (enter package number 1-13 in place of #)
DSXRPA (FINISH)	Round pole adapter (#8 drilling, specify finish)
DSXSPA5 (FINISH)	Square pole adapter #5 drilling (specify finish)
DSXRPA5 (FINISH)	Round pole adapter #5 drilling (specify finish)
DSX1EGSR (FINISH)	External glare shield (specify finish)
DSX1BSDB (FINISH)	Bird spike deterrent bracket (specify finish)

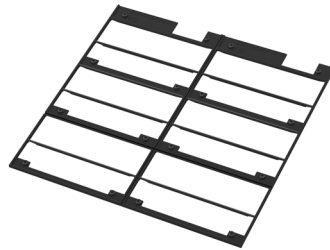
NOTES

- Rotated optics available with packages P10, P11, P12 and P13. Must be combined with option L90 or R90.
- 30K, 40K, and 50K available in 70CRI and 80CRI. 27K and 35K only available with 80CRI. Contact Technical Support for other possible combinations.
- T3LG, T4LG, BLC3, BLC4, LCCO, RCCO not available with option HS.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- HVOLT driver operates on any line voltage from 347-480V (50/60 Hz).
- HVOLT not available with package P1 and P10 when combined with option NLTAIR2 PIRHN or option PIR.
- XVOLT operates with any voltage between 277V and 480V (50/60 Hz).
- XVOLT not available in packages P1 or P10. XVOLT not available with P1, P2, P5, P7, P9, P10, P11 and P13 when combined with option NLTAIR2 PIRHN or PIR. XVOLT not available with fusing (SF or DF).
- SPA5 and RPA5 for use with #5 drilling only (Not for use with #8 drilling).
- WBA cannot be combined with Type 5 distributions plus photocell (PER).
- NLTAIR2 and PIRHN must be ordered together. For more information on nLight AIR2 visit this [link](#)
- NLTAIR2 PIRHN not available with other controls including PIR, PER, PER5, PER7, FAO, BL30, BL50, DMG and DS. NLTAIR2 PIRHN not available with P1 and P10 using HVOLT.
- PIR not available with NLTAIR2 PIRHN, PER, PER5, PER7, FAO BL30, BL50, DMG and DS.
- PER/PER5/PER7 not available with NLTAIR2 PIRHN, PIR, BL30, BL50, FAO, DMG and DS. Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- FAO not available with other dimming control options NLTAIR2 PIRHN, PIR, PER5, PER7, BL30, BL50, DMG and DS.
- BL30 and BL50 are not available with NLTAIR2 PIRHN, PIR, PER, PER5, PER7, FAO, DMG and DS. BL30 or BL50 must specify 120 or 277V.
- DMG not available with NLTAIR2 PIRHN, PIR, PER, PER5, PER7, BL30, BL50, FAO and DS.
- DS not available with NLTAIR2 PIRHN, PIR, PER, PER5, PER7, BL30, BL50, FAO and DMG.
- DS requires (2) separately switched circuits. DS provides 50/50 fixture operation via (2) different sets of leads using (2) drivers. DS only available with packages P8, P9, P10, P11, P12 and P13.
- Reference Motion Sensor Default Settings table on page 4 to see functionality.
- Reference Controls Options table on page 4.
- HS not available with T3LG, T4LG, BLC3, BLC4, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information.
- CCE option not available with option BS and EGSR. Contact Technical Support for availability.
- Option HA not available with performance packages P4, P5, P7, P8, P9 and P13.
- Requires luminaire to be specified with PER, PER5 or PER7 option. See Controls Table on page 4.
- Single fuse (SF) requires 120V, 277V, or 347V. Double fuse (DF) requires 208V, 240V or 480V. XVOLT not available with fusing (SF or DF).

Shield Accessories



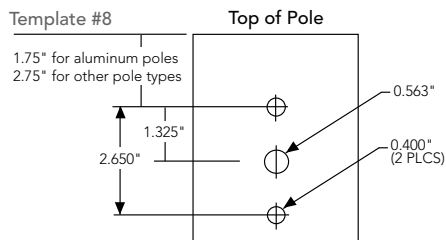
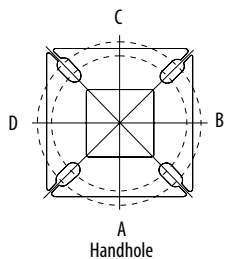
External Glare Shield (EGSR)



House Side Shield (HS)

Drilling

HANDHOLE ORIENTATION



Tenon Mounting Slipfitter

Tenon O.D.	Mounting	Single Unit	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
2-3/8"	RPA	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 390	AS3-5 320	AS3-5 490
2-7/8"	RPA	AST25-190	AST25-280	AST25-290	AST25-390	AST25-320	AST25-490
4"	RPA	AST35-190	AST35-280	AST35-290	AST35-390	AST35-320	AST35-490

Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS
Minimum Acceptable Outside Pole Dimension							
SPA	#8	3.5"	3.5"	3.5"	3.5"		3.5"
RPA	#8	3"	3"	3"	3"	3"	3"
SPA5	#5	3"	3"	3"	3"		3"
RPA5	#5	3"	3"	3"	3"	3"	3"
SPA8N	#8	3"	3"	3"	3"		3"

DSX1 Area Luminaire - EPA

*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration	Single DM19	2 @ 180 DM28	2 @ 90 DM29	3 @ 90 DM39	3 @ 120 DM32	4 @ 90 DM49
Mounting Type						
DSX1 with SPA	0.69	1.38	1.23	1.54	---	1.58
DSX1 with SPA5, SPA8N	0.70	1.40	1.30	1.66	---	1.68
DSX1 with RPA, RPA5	0.70	1.40	1.30	1.66	1.60	1.68
DSX1 with MA	0.83	1.66	1.50	2.09	2.09	2.09

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [homepage](#).

Isofootcandle plots for the DSX1 LED P9 40K 70CRI. Distances are in units of mounting height (25').



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.04
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°C	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	Lumen Maintenance Factor
0	1.00
25,000	0.95
50,000	0.90
100,000	0.81

FAO Dimming Settings

FAO Position	% Wattage	% Lumen Output
8	100%	100%
7	93%	95%
6	80%	85%
5	66%	73%
4	54%	61%
3	41%	49%
2	29%	36%
1	15%	20%

*Note: Calculated values are based on original performance package data. When calculating new values for given FAO position, use maximum published values by package listed on specification sheet (input watts and lumens by optic type).

Motion Sensor Default Settings

Option	Unoccupied Dimmed Level	High Level (when occupied)	Photocell Operation	Dwell Time	Ramp-up Time	Dimming Fade Rate
PIR	30%	100%	Enabled @ 2FC	7.5 min	3 sec	5 min
NLTAIR2 PIRHN	30%	100%	Enabled @ 2FC	7.5 min	3 sec	5 min

Controls Options

Nomenclature	Description	Functionality	Primary control device	Notes
FAO	Field adjustable output device installed inside the luminaire; wired to the driver dimming leads.	Allows the luminaire to be manually dimmed, effectively trimming the light output.	FAO device	Cannot be used with other controls options that need the 0-10V leads
DS (not available on DSX0)	Drivers wired independently for 50/50 luminaire operation	The luminaire is wired to two separate circuits, allowing for 50/50 operation.	Independently wired drivers	Requires two separately switched circuits. Consider nLight AIR as a more cost effective alternative.
PERS or PER7	Twist-lock photocell receptacle	Compatible with standard twist-lock photocells for dusk to dawn operation, or advanced control nodes that provide 0-10V dimming signals.	Twist-lock photocells such as DLL Elite or advanced control nodes such as ROAM.	Pins 4 & 5 to dimming leads on driver, Pins 6 & 7 are capped inside luminaire. Cannot be used with other controls options that need the 0-10V leads.
PIR	Motion sensor with integral photocell. Sensor suitable for 8' to 40' mounting height.	Luminaires dim when no occupancy is detected.	Acuity Controls rSBG	Cannot be used with other controls options that need the 0-10V leads.
NLTAIR2 PIRHN	nLight AIR enabled luminaire for motion sensing, photocell and wireless communication.	Motion and ambient light sensing with group response. Scheduled dimming with motion sensor over-ride when wirelessly connected to the nLight Elypse.	nLight Air rSBG	nLight AIR sensors can be programmed and commissioned from the ground using the CIAIRity Pro app. Cannot be used with other controls options that need the 0-10V leads.
BL30 or BL50	Integrated bi-level device that allows a second control circuit to switch all light engines to either 30% or 50% light output	BLC device provides input to 0-10V dimming leads on all drivers providing either 100% or dimmed (30% or 50%) control by a secondary circuit	BLC UVOLT1	BLC device is powered off the 0-10V dimming leads, thus can be used with any input voltage from 120 to 480V

Electrical Load

	Performance Package	LED Count	Drive Current (mA)	Wattage	Current (A)					
					120V	208V	240V	277V	347V	480V
Forward Optics (Non-Rotated)	P1	30	530	51	0.42	0.24	0.21	0.18	0.15	0.11
	P2	30	700	68	0.56	0.33	0.28	0.24	0.20	0.14
	P3	30	1050	104	0.85	0.49	0.43	0.37	0.29	0.21
	P4	30	1250	125	1.03	0.60	0.52	0.45	0.36	0.26
	P5	30	1400	142	1.15	0.66	0.58	0.50	0.40	0.29
	P6	40	1250	167	1.38	0.79	0.69	0.60	0.48	0.34
	P7	40	1400	188	1.54	0.89	0.77	0.67	0.53	0.38
	P8	60	1100	216	1.80	1.04	0.90	0.78	0.62	0.45
	P9	60	1400	279	2.31	1.33	1.15	1.00	0.80	0.58
Rotated Optics (Requires L90 or R90)	P10	60	530	101	0.84	0.49	0.42	0.37	0.29	0.21
	P11	60	700	135	1.12	0.65	0.56	0.49	0.39	0.28
	P12	60	1050	206	1.72	0.99	0.86	0.74	0.59	0.43
	P13	60	1400	279	2.30	1.33	1.15	1.00	0.79	0.57

LED Color Temperature / Color Rendering Multipliers

	70 CRI		80CRI		90CRI	
	Lumen Multiplier	Availability	Lumen Multiplier	Availability	Lumen Multiplier	Availability
5000K	102%	Standard	92%	Extended lead-time	71%	(see note)
4000K	100%	Standard	92%	Extended lead-time	67%	(see note)
3500K	100%	(see note)	90%	Extended lead-time	63%	(see note)
3000K	96%	Standard	87%	Extended lead-time	61%	(see note)
2700K	94%	(see note)	85%	Extended lead-time	57%	(see note)

Note: Some LED types are available as per special request. Contact Technical Support for more information.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configurations not shown here.

Forward Optics																			
Performance Package	System Watts	LED Count	Drive Current (mA)	Distribution Type	30K					40K					50K				
					(3000K, 70 CRI)					(4000K, 70 CRI)					(5000K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P1	51W	30	530	T1S	7,776	1	0	2	153	8,104	1	0	2	159	8,262	1	0	2	162
				T2M	7,203	1	0	3	142	7,507	2	0	3	147	7,653	2	0	3	150
				T3M	7,287	1	0	3	143	7,594	1	0	3	149	7,742	1	0	3	152
				T3LG	6,509	1	0	1	128	6,783	1	0	1	133	6,916	1	0	1	136
				T4M	7,395	1	0	3	145	7,707	1	0	3	151	7,857	1	0	3	154
				T4LG	6,726	1	0	1	132	7,010	1	0	1	138	7,146	1	0	1	140
				TFTM	7,446	1	0	3	146	7,760	1	0	3	152	7,912	1	0	3	155
				T5M	7,609	3	0	2	149	7,930	3	0	2	156	8,084	3	0	2	159
				T5W	7,732	3	0	2	152	8,058	4	0	2	158	8,215	4	0	2	161
				T5LG	7,631	3	0	1	150	7,953	3	0	1	156	8,108	3	0	1	159
				BLC3	5,300	0	0	2	104	5,524	0	0	2	109	5,631	0	0	2	111
				BLC4	5,474	0	0	3	108	5,705	0	0	3	112	5,816	0	0	3	114
				RCCO	5,348	0	0	2	105	5,573	0	0	2	109	5,682	0	0	2	112
				LCCO	5,348	0	0	2	105	5,573	0	0	2	109	5,682	0	0	2	112
				AFR	7,776	1	0	2	153	8,104	1	0	2	159	8,262	1	0	2	162
				P2	68W	30	700	T1S	9,997	1	0	2	147	10,418	1	0	2	154	10,621
T2M	9,260	2	0					3	137	9,651	2	0	3	142	9,839	2	0	3	145
T3M	9,368	2	0					3	138	9,763	2	0	3	144	9,953	2	0	3	147
T3LG	8,368	1	0					2	123	8,721	1	0	2	129	8,891	1	0	2	131
T4M	9,507	2	0					3	140	9,909	2	0	3	146	10,102	2	0	3	149
T4LG	8,647	1	0					2	128	9,012	1	0	2	133	9,187	1	0	2	136
TFTM	9,573	2	0					3	141	9,977	2	0	3	147	10,172	2	0	3	150
T5M	9,782	4	0					2	144	10,195	4	0	2	150	10,393	4	0	2	153
T5W	9,940	4	0					2	147	10,360	4	0	2	153	10,562	4	0	2	156
T5LG	9,810	3	0					1	145	10,224	3	0	1	151	10,423	3	0	1	154
BLC3	6,814	0	0					2	101	7,101	0	0	2	105	7,240	0	0	2	107
BLC4	7,038	0	0					3	104	7,334	0	0	3	108	7,477	0	0	3	110
RCCO	6,875	1	0					2	101	7,165	1	0	2	106	7,305	1	0	2	108
LCCO	6,875	1	0					2	101	7,165	1	0	2	106	7,305	1	0	2	108
AFR	9,997	1	0					2	147	10,418	1	0	2	154	10,621	1	0	2	157
P3	102W	30	1050					T1S	14,093	2	0	2	138	14,687	2	0	2	144	14,973
				T2M	13,055	2	0	3	128	13,605	2	0	3	133	13,871	2	0	3	136
				T3M	13,206	2	0	4	129	13,763	2	0	4	135	14,031	2	0	4	137
				T3LG	11,797	2	0	2	115	12,294	2	0	2	120	12,534	2	0	2	123
				T4M	13,403	2	0	4	131	13,968	2	0	4	137	14,241	2	0	4	139
				T4LG	12,190	2	0	2	119	12,704	2	0	2	124	12,952	2	0	2	127
				TFTM	13,496	2	0	4	132	14,065	2	0	4	138	14,339	2	0	4	140
				T5M	13,790	4	0	2	135	14,371	4	0	2	141	14,652	4	0	2	143
				T5W	14,013	4	0	3	137	14,605	4	0	3	143	14,889	4	0	3	146
				T5LG	13,830	3	0	2	135	14,413	3	0	2	141	14,694	3	0	2	144
				BLC3	9,606	0	0	2	94	10,011	0	0	2	98	10,206	0	0	2	100
				BLC4	9,921	0	0	3	97	10,340	0	0	3	101	10,541	0	0	3	103
				RCCO	9,692	1	0	2	95	10,101	1	0	2	99	10,298	1	0	2	101
				LCCO	9,692	1	0	2	95	10,101	1	0	2	99	10,298	1	0	2	101
				AFR	14,093	2	0	2	138	14,687	2	0	2	144	14,973	2	0	2	147

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configurations not shown here.

Forward Optics

Performance Package	System Watts	LED Count	Drive Current (mA)	Distribution Type	30K					40K					50K				
					(3000K, 70 CRI)					(4000K, 70 CRI)					(5000K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P4	124W	30	1250	T1S	16,416	2	0	3	132	17,109	2	0	3	138	17,442	2	0	3	141
				T2M	15,207	3	0	4	123	15,849	3	0	4	128	16,158	3	0	4	130
				T3M	15,383	2	0	4	124	16,032	2	0	4	129	16,345	2	0	4	132
				T3LG	13,742	2	0	2	111	14,321	2	0	2	116	14,600	2	0	2	118
				T4M	15,613	2	0	4	126	16,272	2	0	4	131	16,589	2	0	4	134
				T4LG	14,200	2	0	2	115	14,799	2	0	2	119	15,087	2	0	2	122
				TFTM	15,721	2	0	4	127	16,384	2	0	4	132	16,703	2	0	4	135
				T5M	16,063	4	0	2	130	16,741	4	0	2	135	17,067	4	0	2	138
				T5W	16,324	5	0	3	132	17,013	5	0	3	137	17,344	5	0	3	140
				T5LG	16,110	3	0	2	130	16,790	4	0	2	135	17,117	4	0	2	138
				BLC3	11,190	0	0	3	90	11,662	0	0	3	94	11,889	0	0	3	96
				BLC4	11,557	0	0	3	93	12,044	0	0	3	97	12,279	0	0	3	99
				RCCO	11,291	1	0	3	91	11,767	1	0	3	95	11,996	1	0	3	97
				LCCO	11,291	1	0	3	91	11,767	1	0	3	95	11,996	1	0	3	97
				AFR	16,416	2	0	3	132	17,109	2	0	3	138	17,442	2	0	3	141
				P5	138W	30	1400	T1S	18,052	2	0	3	131	18,814	2	0	3	136	19,180
T2M	16,723	3	0					4	121	17,428	3	0	4	126	17,768	3	0	4	129
T3M	16,917	3	0					4	122	17,630	3	0	4	128	17,974	3	0	4	130
T3LG	15,111	2	0					2	109	15,749	2	0	2	114	16,055	2	0	2	116
T4M	17,169	3	0					5	124	17,893	3	0	5	130	18,242	3	0	5	132
T4LG	15,615	2	0					2	113	16,274	2	0	2	118	16,591	2	0	2	120
TFTM	17,288	2	0					4	125	18,017	2	0	5	130	18,368	3	0	5	133
T5M	17,664	5	0					3	128	18,410	5	0	3	133	18,768	5	0	3	136
T5W	17,951	5	0					3	130	18,708	5	0	3	135	19,073	5	0	3	138
T5LG	17,716	4	0					2	128	18,463	4	0	2	134	18,823	4	0	2	136
BLC3	12,305	0	0					3	89	12,824	0	0	3	93	13,074	0	0	3	95
BLC4	12,709	0	0					4	92	13,245	0	0	4	96	13,503	0	0	4	98
RCCO	12,416	1	0					3	90	12,940	1	0	3	94	13,192	1	0	3	95
LCCO	12,416	1	0					3	90	12,940	1	0	3	94	13,192	1	0	3	95
AFR	18,052	2	0					3	131	18,814	2	0	3	136	19,180	2	0	3	139
P6	165W	40	1250					T1S	21,031	2	0	3	127	21,918	2	0	3	133	22,345
				T2M	19,482	3	0	4	118	20,303	3	0	4	123	20,699	3	0	4	125
				T3M	19,708	3	0	5	119	20,539	3	0	5	124	20,939	3	0	5	127
				T3LG	17,604	2	0	2	107	18,347	2	0	2	111	18,704	2	0	2	113
				T4M	20,001	3	0	5	121	20,845	3	0	5	126	21,251	3	0	5	129
				T4LG	18,191	2	0	2	110	18,959	2	0	2	115	19,328	2	0	2	117
				TFTM	20,140	3	0	5	122	20,989	3	0	5	127	21,398	3	0	5	129
				T5M	20,579	5	0	3	125	21,447	5	0	3	130	21,865	5	0	3	132
				T5W	20,912	5	0	3	127	21,795	5	0	3	132	22,219	5	0	3	134
				T5LG	20,638	4	0	2	125	21,509	4	0	2	130	21,928	4	0	2	133
				BLC3	14,335	0	0	3	87	14,940	0	0	3	90	15,231	0	0	3	92
				BLC4	14,805	0	0	4	90	15,430	0	0	4	93	15,731	0	0	4	95
				RCCO	14,464	1	0	3	88	15,074	1	0	3	91	15,368	1	0	3	93
				LCCO	14,464	1	0	3	88	15,074	1	0	3	91	15,368	1	0	3	93
				AFR	21,031	2	0	3	127	21,918	2	0	3	133	22,345	2	0	3	135

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configurations not shown here.

Forward Optics																			
Performance Package	System Watts	LED Count	Drive Current (mA)	Distribution Type	30K					40K					50K				
					(3000K, 70 CRI)					(4000K, 70 CRI)					(5000K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P7	184W	40	1400	T1S	22,741	2	0	3	123	23,700	2	0	3	129	24,162	3	0	3	131
				T2M	21,066	3	0	4	114	21,955	3	0	4	119	22,383	3	0	4	121
				T3M	21,311	3	0	5	116	22,210	3	0	5	120	22,642	3	0	5	123
				T3LG	19,036	2	0	2	103	19,839	2	0	3	108	20,226	2	0	3	110
				T4M	21,628	3	0	5	117	22,541	3	0	5	122	22,980	3	0	5	125
				T4LG	19,671	2	0	2	107	20,501	2	0	3	111	20,900	2	0	3	113
				TFTM	21,778	3	0	5	118	22,697	3	0	5	123	23,139	3	0	5	125
				T5M	22,252	5	0	3	121	23,191	5	0	3	126	23,643	5	0	3	128
				T5W	22,613	5	0	3	123	23,567	5	0	4	128	24,027	5	0	4	130
				T5LG	22,317	4	0	2	121	23,258	4	0	2	126	23,712	4	0	2	129
				BLC3	15,501	0	0	3	84	16,155	0	0	4	88	16,470	0	0	4	89
				BLC4	16,010	0	0	4	87	16,685	0	0	4	90	17,010	0	0	4	92
				RCCO	15,641	1	0	3	85	16,301	1	0	3	89	16,619	1	0	3	90
				LCCO	15,641	1	0	3	85	16,301	1	0	3	89	16,619	1	0	3	90
				AFR	22,741	2	0	3	123	23,700	2	0	3	129	24,162	3	0	3	131
				P8	216W	60	1100	T1S	28,701	3	0	3	133	29,912	3	0	4	139	30,495
T2M	26,587	3	0					5	123	27,709	3	0	5	128	28,249	3	0	5	131
T3M	26,895	3	0					5	125	28,030	3	0	5	130	28,576	3	0	5	132
T3LG	24,025	3	0					3	111	25,038	3	0	3	116	25,526	3	0	3	118
T4M	27,296	3	0					5	127	28,448	3	0	5	132	29,002	3	0	5	134
T4LG	24,826	3	0					3	115	25,873	3	0	3	120	26,378	3	0	3	122
TFTM	27,485	3	0					5	127	28,645	3	0	5	133	29,203	3	0	5	135
T5M	28,084	5	0					4	130	29,269	5	0	4	136	29,839	5	0	4	138
T5W	28,539	5	0					4	132	29,743	5	0	4	138	30,323	5	0	4	141
T5LG	28,165	4	0					2	131	29,354	4	0	2	136	29,926	4	0	2	139
BLC3	19,563	0	0					4	91	20,388	0	0	4	94	20,786	0	0	4	96
BLC4	20,205	0	0					5	94	21,057	0	0	5	98	21,468	0	0	5	99
RCCO	19,740	1	0					4	91	20,572	1	0	4	95	20,973	1	0	4	97
LCCO	19,740	1	0					4	91	20,572	1	0	4	95	20,973	1	0	4	97
AFR	28,701	3	0					3	133	29,912	3	0	4	139	30,495	3	0	4	141
P9	277W	60	1400					T1S	34,819	3	0	4	126	36,288	3	0	4	131	36,996
				T2M	32,255	3	0	5	116	33,616	3	0	5	121	34,271	3	0	5	124
				T3M	32,629	3	0	5	118	34,006	3	0	5	123	34,668	3	0	5	125
				T3LG	29,146	3	0	3	105	30,376	3	0	4	110	30,968	3	0	4	112
				T4M	33,116	3	0	5	120	34,513	3	0	5	125	35,185	3	0	5	127
				T4LG	30,119	3	0	3	109	31,389	3	0	4	113	32,001	3	0	4	116
				TFTM	33,345	3	0	5	120	34,751	3	0	5	125	35,429	3	0	5	128
				T5M	34,071	5	0	4	123	35,509	5	0	4	128	36,201	5	0	4	131
				T5W	34,624	5	0	4	125	36,084	5	0	4	130	36,788	5	0	4	133
				T5LG	34,170	5	0	3	123	35,612	5	0	3	129	36,306	5	0	3	131
				BLC3	23,734	0	0	4	86	24,735	0	0	4	89	25,217	0	0	4	91
				BLC4	24,513	0	0	5	88	25,547	0	0	5	92	26,045	0	0	5	94
				RCCO	23,948	1	0	4	86	24,958	1	0	4	90	25,445	1	0	4	92
				LCCO	23,948	1	0	4	86	24,958	1	0	4	90	25,445	1	0	4	92
				AFR	34,819	3	0	4	126	36,288	3	0	4	131	36,996	3	0	4	134

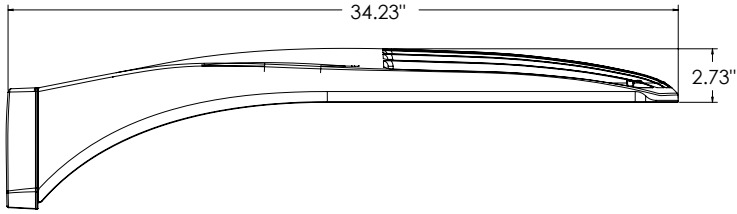
Performance Data

Lumen Output

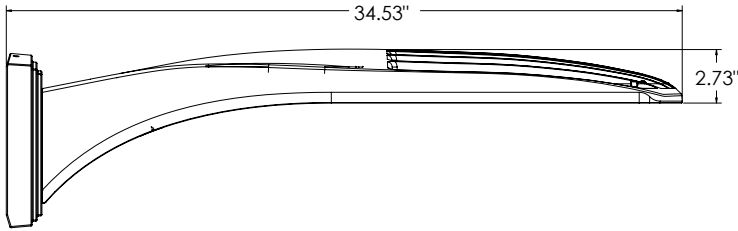
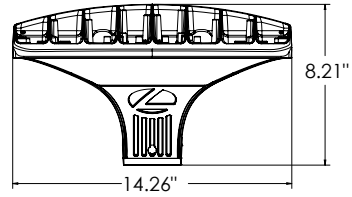
Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configurations not shown here.

Rotated Optics																							
Performance Package	System Watts	LED Count	Drive Current (mA)	Distribution Type	30K					40K					50K								
					(3000K, 70 CRI)					(4000K, 70 CRI)					(5000K, 70 CRI)								
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW				
P10	101W	60	530	T1S	15,164	3	0	3	150	15,803	3	0	3	156	16,112	3	0	3	159				
				T2M	14,047	4	0	4	139	14,640	4	0	4	145	14,925	4	0	4	147				
				T3M	14,208	4	0	4	140	14,807	4	0	4	146	15,096	4	0	4	149				
				T3LG	12,693	3	0	3	125	13,229	3	0	3	131	13,487	3	0	3	133				
				T4M	14,420	4	0	4	142	15,028	4	0	4	148	15,321	4	0	4	151				
				T4LG	13,115	3	0	3	129	13,668	3	0	3	135	13,934	3	0	3	138				
				TFTM	14,522	4	0	4	143	15,134	4	0	4	149	15,429	4	0	4	152				
				T5M	14,836	4	0	2	146	15,462	4	0	2	153	15,763	4	0	2	156				
				T5W	15,076	4	0	3	149	15,712	5	0	3	155	16,019	5	0	3	158				
				T5LG	14,879	3	0	2	147	15,507	3	0	2	153	15,809	3	0	2	156				
				BLC3	10,335	3	0	3	102	10,771	4	0	4	106	10,981	4	0	4	108				
				BLC4	10,674	4	0	4	105	11,124	4	0	4	110	11,341	4	0	4	112				
				RCCO	10,429	1	0	2	103	10,869	1	0	2	107	11,080	1	0	2	109				
				LCCO	10,429	1	0	2	103	10,869	1	0	2	107	11,080	1	0	2	109				
				AFR	15,164	3	0	3	150	15,803	3	0	3	156	16,112	3	0	3	159				
				P11	135W	60	700	T1S	19,437	4	0	4	144	20,257	4	0	4	150	20,651	4	0	4	153
								T2M	18,005	4	0	4	133	18,765	4	0	4	139	19,131	4	0	4	142
T3M	18,211	4	0					4	135	18,980	4	0	4	141	19,350	4	0	4	143				
T3LG	16,270	3	0					3	121	16,957	3	0	3	126	17,287	4	0	4	128				
T4M	18,483	4	0					4	137	19,263	5	0	5	143	19,638	5	0	5	146				
T4LG	16,810	3	0					3	125	17,519	3	0	3	130	17,861	3	0	3	132				
TFTM	18,614	4	0					4	138	19,399	4	0	4	144	19,777	5	0	5	147				
T5M	19,017	5	0					3	141	19,819	5	0	3	147	20,205	5	0	3	150				
T5W	19,325	5	0					3	143	20,140	5	0	3	149	20,533	5	0	3	152				
T5LG	19,072	4	0					2	141	19,876	4	0	2	147	20,264	4	0	2	150				
BLC3	13,247	4	0					4	98	13,806	4	0	4	102	14,075	4	0	4	104				
BLC4	13,682	4	0					4	101	14,259	4	0	4	106	14,537	4	0	4	108				
RCCO	13,367	1	0					3	99	13,931	1	0	3	103	14,203	1	0	3	105				
LCCO	13,367	1	0					3	99	13,931	1	0	3	103	14,203	1	0	3	105				
AFR	19,437	4	0					4	144	20,257	4	0	4	150	20,651	4	0	4	153				
P12	206W	60	1050					T1S	27,457	4	0	4	133	28,616	4	0	4	139	29,174	4	0	4	142
								T2M	25,436	5	0	5	124	26,509	5	0	5	129	27,025	5	0	5	131
				T3M	25,727	5	0	5	125	26,812	5	0	5	130	27,335	5	0	5	133				
				T3LG	22,984	4	0	4	112	23,954	4	0	4	116	24,421	4	0	4	119				
				T4M	26,110	5	0	5	127	27,212	5	0	5	132	27,742	5	0	5	135				
				T4LG	23,747	4	0	4	115	24,749	4	0	4	120	25,231	4	0	4	123				
				TFTM	26,295	5	0	5	128	27,404	5	0	5	133	27,938	5	0	5	136				
				T5M	26,864	5	0	4	130	27,997	5	0	4	136	28,543	5	0	4	139				
				T5W	27,299	5	0	4	133	28,451	5	0	4	138	29,006	5	0	4	141				
				T5LG	26,942	4	0	2	131	28,078	4	0	2	136	28,626	4	0	2	139				
				BLC3	18,714	4	0	4	91	19,504	4	0	4	95	19,884	4	0	4	97				
				BLC4	19,327	5	0	5	94	20,143	5	0	5	98	20,535	5	0	5	100				
				RCCO	18,883	1	0	4	92	19,680	1	0	4	96	20,064	1	0	4	97				
				LCCO	18,883	1	0	4	92	19,680	1	0	4	96	20,064	1	0	4	97				
				AFR	27,457	4	0	4	133	28,616	4	0	4	139	29,174	4	0	4	142				
				P13	276W	60	1400	T1S	34,436	5	0	5	125	35,889	5	0	5	130	36,588	5	0	5	133
								T2M	31,900	5	0	5	116	33,246	5	0	5	121	33,894	5	0	5	123
T3M	32,265	5	0					5	117	33,626	5	0	5	122	34,282	5	0	5	124				
T3LG	28,826	4	0					4	105	30,042	4	0	4	109	30,628	4	0	4	111				
T4M	32,746	5	0					5	119	34,128	5	0	5	124	34,793	5	0	5	126				
T4LG	29,782	4	0					4	108	31,039	4	0	4	113	31,644	5	0	4	115				
TFTM	32,978	5	0					5	120	34,369	5	0	5	125	35,039	5	0	5	127				
T5M	33,692	5	0					4	122	35,113	5	0	4	127	35,797	5	0	4	130				
T5W	34,238	5	0					4	124	35,682	5	0	4	129	36,378	5	0	4	132				
T5LG	33,789	5	0					3	122	35,215	5	0	3	128	35,901	5	0	3	130				
BLC3	23,471	5	0					5	85	24,461	5	0	5	89	24,937	5	0	5	90				
BLC4	24,240	5	0					5	88	25,262	5	0	5	92	25,755	5	0	5	93				
RCCO	23,683	1	0					4	86	24,682	1	0	4	89	25,163	1	0	4	91				
LCCO	23,683	1	0					4	86	24,682	1	0	4	89	25,163	1	0	4	91				
AFR	34,436	5	0					5	125	35,889	5	0	5	130	36,588	5	0	5	133				

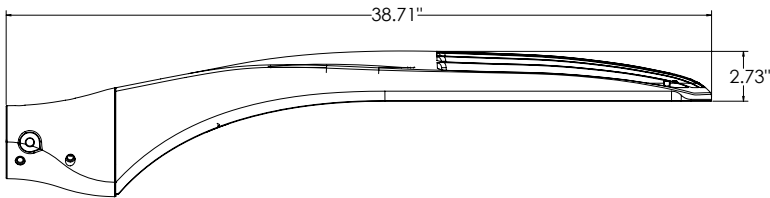
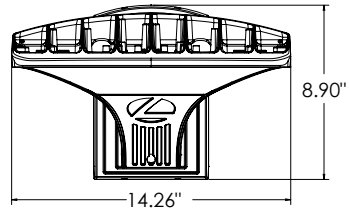
Dimensions



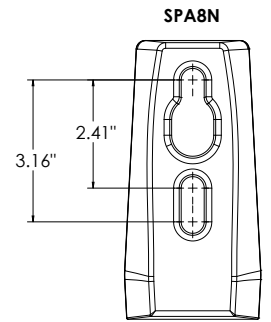
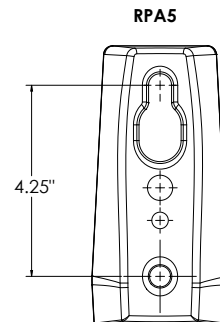
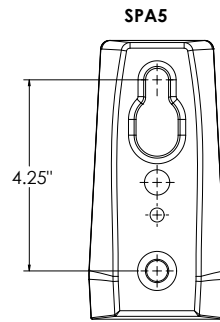
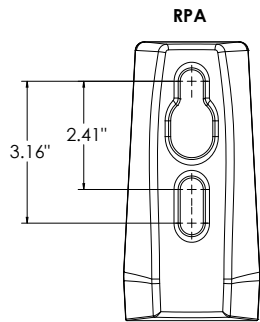
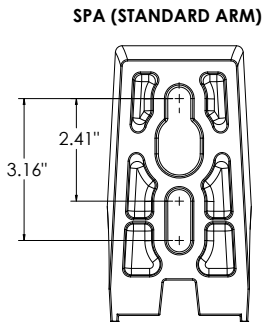
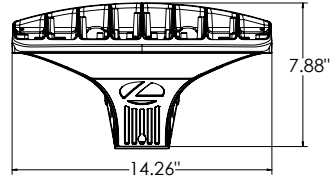
DSX1 with RPA, RPA5, SPA5, SPA8N mount
Weight: 36 lbs



DSX1 with WBA mount
Weight: 38 lbs

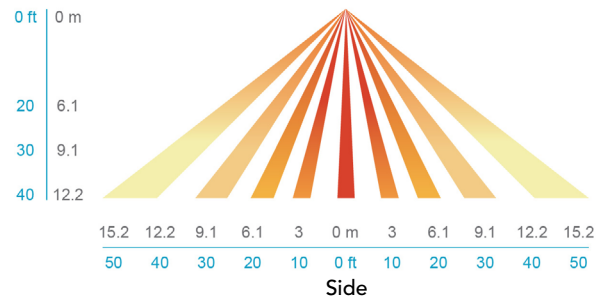
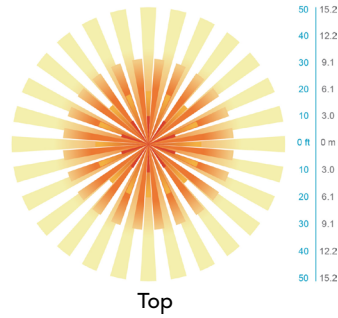


DSX1 with MA mount
Weight: 39 lbs



nLight Sensor Coverage Pattern

NLTAIR2 PIRHN



FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Size 1 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and streetscapes.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. Housing driver compartment is completely sealed against moisture and environmental contaminants (IP66). Vibration rated per ANSI C136.31 for 3G for SPA and MA. 1.5G for mountings RPA, RPA5, SPA5 and SPA8N. Low EPA (0.69 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

Coastal Construction (CCE)

Optional corrosion resistant construction is engineered with added corrosion protection in materials and/or pre-treatment of base material under super durable paint. Provides additional corrosion protection for applications near coastal areas. Finish is salt spray tested to over 5,000 hours per ASTM B117 with scribe rating of 10. Additional lead-times may apply.

OPTICS

Precision-molded proprietary silicone lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in standard 3000 K, 4000 K and 5000 K (70 CRI) configurations. 80CRI configurations are also available. The D-Series Size 1 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L81/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

STANDARD CONTROLS

The DSX1 LED area luminaire has a number of control options. DSX Size 1, comes standard with 0-10V dimming drivers. Dusk to dawn controls can be utilized via optional NEMA twist-lock photocell receptacles. Integrated motion sensor with on-board photocells feature field-adjustable programming and are suitable for mounting heights up to 40 feet. Control option BL features a bi-level device that allows a second control circuit to switch all light engines to either 30% or 50% light output.

nLIGHT AIR CONTROLS

The DSX1 LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing and photocontrol functionality and is suitable for mounting heights up to 40 feet. Once commissioned using a smartphone and the easy-to-use CLAIRITY app, nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found here.

INSTALLATION

Integral mounting arm allows for fast mounting using Lithonia standard #8 drilling and accommodates pole drilling's from 2.41 to 3.12" on center. The standard "SPA" option for square poles and the "RPA" option for round poles use the #8 drilling. For #5 pole drillings, use SPA5 or RPA5. Additional mountings are available including a wall bracket (WBA) and mast arm (MA) option that allows luminaire attachment to a 2 3/8" horizontal mast arm.

LISTINGS

UL listed to meet U.S. and Canadian standards. UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP66 rated. Rated for -40°C minimum ambient.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

GOVERNMENT PROCUREMENT

BAA – Buy America(n) Act: Product with the BAA option qualifies as a domestic end product under the Buy American Act as implemented in the FAR and DFARS. Product with the BAA option also qualifies as manufactured in the United States under DOT Buy America regulations.

BABA – Build America Buy America: Product with the BAA option also qualifies as produced in the United States under the definitions of the Build America, Buy America Act.

Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



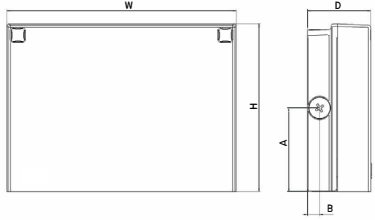
WPX LED Wall Packs



Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications



Front View

Side View

Luminaire	Height (H)	Width (W)	Depth (D)	Side Conduit Location		Weight
				A	B	
WPX1	8.1" (20.6 cm)	11.1" (28.3 cm)	3.2" (8.1 cm)	4.0" (10.3 cm)	0.6" (1.6 cm)	6.1 lbs (2.8kg)
WPX2	9.1" (23.1 cm)	12.3" (31.1 cm)	4.1" (10.5 cm)	4.5" (11.5 cm)	0.7" (1.7 cm)	8.2 lbs (3.7kg)
WPX3	9.5" (24.1 cm)	13.0" (33.0 cm)	5.5" (13.7 cm)	4.7" (12.0 cm)	0.7" (1.7 cm)	11.0 lbs (5.0kg)

Introduction

The WPX LED wall packs are energy-efficient, cost-effective, and aesthetically appealing solutions for both HID wall pack replacement and new construction opportunities. Available in three sizes, the WPX family delivers 1,550 to 9,200 lumens with a wide, uniform distribution.

The WPX full cut-off solutions fully cover the footprint of the HID glass wall packs that they replace, providing a neat installation and an upgraded appearance. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life. Photocell and emergency egress battery options make WPX ideal for every wall mounted lighting application.

Ordering Information

EXAMPLE: WPX2 LED 40K MVOLT DDBXD

Series	Color Temperature	Voltage	Options	Finish
WPX1 LED P1	30K 3000K	MVOLT 120V - 277V	(blank) None	DDBXD Dark bronze
WPX1 LED P2	40K 4000K	347 347V ³	E4WH Emergency battery backup, CEC compliant (4W, 0°C min) ²	DWHXD White
WPX2 LED	50K 5000K		E14WC Emergency battery backup, CEC compliant (14W, -20°C min) ²	DBLXD Black
WPX3 LED			PE Photocell ³	Note : For other options, consult factory.

Note: The lumen output and input power shown in the ordering tree are average representations of all configuration options. Specific values are available on request.

NOTES

- All WPX wall packs come with 6kV surge protection standard, except WPX1 LED P1 package which comes with 2.5kV surge protection standard. Add SPD6KV option to get WPX1 LED P1 with 6kV surge protection. Sample nomenclature: WPX1 LED P1 40K MVOLT SPD6KV DDBXD
- Battery pack options only available on WPX1 and WPX2.
- Battery pack options not available with 347V or PE options.

FEATURES & SPECIFICATIONS

INTENDED USE

The WPX LED wall packs are designed to provide a cost-effective, energy-efficient solution for the one-for-one replacement of existing HID wall packs. The WPX1, WPX2 and WPX3 are ideal for replacing up to 150W, 250W, and 400W HID luminaires respectively. WPX luminaires deliver a uniform, wide distribution. WPX is rated for -40°C to 40°C.

CONSTRUCTION

WPX feature a die-cast aluminum main body with optimal thermal management that both enhances LED efficacy and extends component life. The luminaires are IP66 rated, and sealed against moisture or environmental contaminants.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs and LED lumen maintenance of L90/100,000 hours. Color temperature (CCT) options of 3000K, 4000K and 5000K with minimum CRI of 70. Electronic drivers ensure system power factor >90% and THD <20%. All luminaires have 6kV surge protection (Note: WPX1 LED P1 package comes with a standard surge protection rating of 2.5kV. It can be ordered with an optional 6kV surge protection). All photocell (PE) operate on MVOLT (120V - 277V) input.

Note: The standard WPX LED wall pack luminaires come with field-adjustable drive current feature. This feature allows tuning the output current of the LED drivers to adjust the lumen output (to dim the luminaire).

INSTALLATION

WPX can be mounted directly over a standard electrical junction box. Three 1/2 inch conduit ports on three sides allow for surface conduit wiring. A port on the back surface allows poke-through conduit wiring on surfaces that don't have an electrical junction box. Wiring can be made in the integral wiring compartment in all cases. WPX is only recommended for installations with LEDs facing downwards. The WPX is intended for installation on flat wall surfaces. Other applications may void warranty.

LISTINGS

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. IP66 Rated. DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.



Performance Data

Electrical Load

Luminaire	Input Power (W)	120V	208V	240V	277V	347V
WPX1 LED P1	11W	0.09	0.05	0.05	0.04	0.03
WPX1 LED P2	24W	0.20	0.12	0.10	0.09	0.07
WPX2	47W	0.39	0.23	0.20	0.17	0.14
WPX3	69W	0.58	0.33	0.29	0.25	0.20

Projected LED Lumen Maintenance

Data references the extrapolated performance projections in a 25°C ambient, based on 6,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	50,000	75,000	100,000
Lumen Maintenance Factor	>0.94	>0.92	>0.90

Lumen Output

Luminaire	Color Temperature	Lumen Output
WPX1 LED P1	3000K	1,537
	4000K	1,568
	5000K	1,602
WPX1 LED P2	3000K	2,748
	4000K	2,912
	5000K	2,954
WPX2	3000K	5,719
	4000K	5,896
	5000K	6,201
WPX3	3000K	8,984
	4000K	9,269
	5000K	9,393

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Ambient	Lumen Multiplier
0°C	32°F	1.05
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

HID Replacement Guide

Luminaire	Equivalent HID Lamp	WPX Input Power
WPX1 LED P1	100W	11W
WPX1 LED P2	150W	24W
WPX2	250W	47W
WPX3	400W	69W

Emergency Egress Battery Packs

The emergency battery backup is integral to the luminaire — no external housing or back box is required. The emergency battery will power the luminaire for a minimum duration of 90 minutes and deliver minimum initial output of 550 lumens. Both battery pack options are CEC compliant.

Battery Type	Minimum Temperature Rating	Power (Watts)	Controls Option	Ordering Example
Standard	0°C	4W	E4WH	WPX2 LED 40K MVOLT E4WH DDBXD
Cold Weather	-20°C	14W	E14WC	WPX2 LED 40K MVOLT E14WC DDBXD

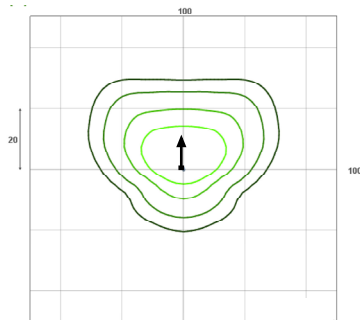
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting [WPX LED](#) homepage. Tested in accordance with IESNA LM-79 and LM-80 standards

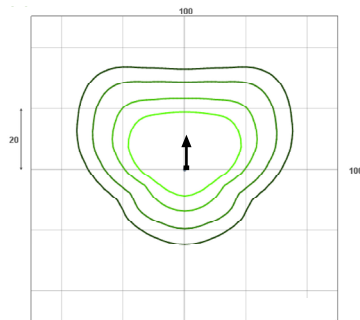
LEGEND

	0.1 fc
	0.2 fc
	0.5 fc
	1.0 fc

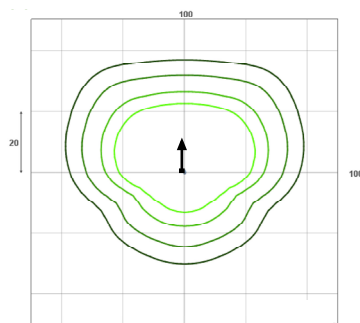
WPX1 LED P1



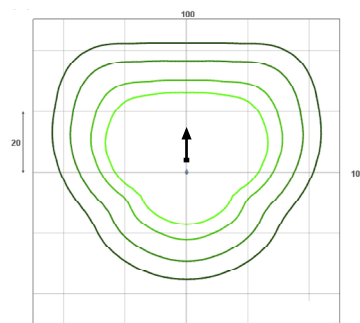
WPX1 LED P2



WPX2 LED



WPX3 LED



Mounting Height = 12 Feet.

Electrical Site Plan

