



REGULAR MEETING AGENDA

**Tuesday, July 22, 2025
6:30 P.M.**

If you need any assistance due to a disability, please contact the Planning Department at least 48 hours in advance of the meeting at planning@ypsitownship.org or 734-544-4000 ext. 1.

1. CALL TO ORDER
2. ROLL CALL
3. APPROVAL OF THE MAY 13, 2025, REGULAR MEETING MINUTES
4. APPROVAL OF AGENDA
5. PUBLIC HEARINGS
 - A. **SPECIAL LAND USE - ZIPPY CAR WASH – 1822 W MICHIGAN – PARCEL K-11-39-252-022**
– TO CONSIDER THE SPECIAL LAND USE APPLICATION OF ZIPPY AUTO WASH/COREY WEAVER TO PERMIT A VEHICLE WASH ON A SITE ZONED REGIONAL CORRIDOR (RC) WITH A SITE TYPE C DESIGNATION.
6. OLD BUSINESS
7. NEW BUSINESS
 - A. **SPECIAL LAND USE - ZIPPY CAR WASH – 1822 W MICHIGAN – PARCEL K-11-39-252-022**
– TO CONSIDER THE SPECIAL LAND USE APPLICATION OF ZIPPY AUTO WASH/COREY WEAVER TO PERMIT A VEHICLE WASH ON A SITE ZONED REGIONAL CORRIDOR (RC) WITH A SITE TYPE C DESIGNATION.
 - B. **PRELIMINARY SITE PLAN - ZIPPY CAR WASH – 1822 W MICHIGAN – PARCEL K-11-39-252-022** – TO CONSIDER THE PRELIMINARY SITE PLAN APPLICATION OF ZIPPY AUTO WASH/COREY WEAVER TO PERMIT A VEHICLE WASH ON A SITE ZONED REGIONAL CORRIDOR (RC) WITH A SITE TYPE C DESIGNATION.
8. OPEN DISCUSSION FOR ISSUES NOT ON THE AGENDA
 - A. CORRESPONDENCE RECEIVED
 - B. PLANNING COMMISSION MEMBERS
 - C. MEMBERS OF THE AUDIENCE
9. TOWNSHIP BOARD REPRESENTATIVE REPORT
10. ZONING BOARD OF APPEALS REPRESENTATIVE REPORT
11. TOWNSHIP ATTORNEY REPORT

Township Supervisor
Brenda L. Stumbo
Township Clerk
Debbie Swanson
Township Treasurer
Stan Eldridge



**YPSILANTI
TOWNSHIP**
— PLANNING & ZONING DEPARTMENT —

Trustees
John Newman II
Gloria Peterson
Karen Lovejoy Roe
LaResha Thornton

12. PLANNING DEPARTMENT REPORT

13. OTHER BUSINESS

14. ADJOURNMENT

CHARTER TOWNSHIP OF YPSILANTI
PLANNING COMMISSION MEETING

Tuesday, May 13, 2025

6:30 P.M.

COMMISSIONERS PRESENT

Bill Sinkule
Gloria Peterson
Larry Doe
Darrell Kirby
Amy Kehrer

STAFF AND CONSULTANTS

Sally Elmiger - Carlisle Wortman
Dennis McLain – Township Attorney

- **CALL TO ORDER/ROLL CALL**

MOTION: Mr. Sinkule called the meeting to order at 6:30 p.m.

- **APPROVAL OF MARCH 25, 2025 AND APRIL 8, 2025, REGULAR MEETING MINUTES**

MOTION: Mr. Kirby **MOVED** to approve the March 25, 2025 and April 8, 2025, regular meeting minutes. The **MOTION** was **SECONDED** by Mr. Doe and **PASSED** by unanimous consent.

- **APPROVAL OF AGENDA**

MOTION: Mr. Doe **MOVED** to approve the agenda as presented. The **MOTION** was **SECONDED** by Ms. Peterson and **PASSED** by unanimous consent.

- **PUBLIC HEARINGS**

- a. **CHILD GROUP DAYCARE – 9674 FALMOUTH DRIVE – PARCEL K-11-35-109-160** – TO CONSIDER THE SPECIAL LAND USE REVIEW APPLICATION OF MELINDA CUTLIFF TO PERMIT A CHILD GROUP DAYCARE HOME, PROVIDING CARE FOR UP TO TWELVE (12) CHILDREN ON A SITE ZONED R-3 ONE-FAMILY RESIDENTIAL.

Sally Elmiger (Planning Consultant- Carlisle Wortman) informed the Commission that the application is for a Special Land Use permit to establish a Child Group Day Care Home, providing care for up to twelve (12) children, for a site zoned R-3 One Family Residential, located at 9674 Falmouth Dr., Ypsilanti, MI 48197, Parcel K-11-35-109-160.

The ordinance requires that the Planning Commission conduct a public hearing to consider the special land use criteria in the ordinance, and the Zoning Enabling Act, or the state law that regulates zoning, requires the Planning Commission to approve a Group Child Care Home proposal if it meets the standards in the Zoning Enabling Act.

The state Zoning Enabling Act states that a Group Child Care Home shall be issued a special use permit, conditional use permit, or another similar permit if the Group Child Care Home meets all standards in the law.

The Zoning Enabling Act (ZEA) has the following standards/ requirements: A Group Child Care Home shall be issued a special use permit, conditional use permit, or other similar permit if the Group Child Care Home meets all the standards.

- a. Is located not closer than 1,500 feet to any of the following;
 - Another licensed group child care home.
 - An adult foster care small group home or large group home licensed under the Adult Foster Care Facility Licensing Act, 1979 PA 218, MCL 400.701 to 400.737.

- A facility offering substance use disorder services to 7 or more people that is licensed under part 62 of the Public Health Code, 1978 PA 368, MCL 333.6230 to 333.6251.
- A community correction center, resident home, halfway house, or other similar facility that houses an inmate population under the jurisdiction of the Department of Corrections.

Ms. Elmiger informed the Planning Commission that they had researched and did a check on the licensing Bureau of the state of Michigan for businesses, and there were no facilities within 1500 ft of the proposed site. The closest licensed group day care home is 9,134.4 ft. away.

- Has appropriate fencing for the safety of the children in the Group Child Care Home as determined by the local unit of government; Ms. Elmiger stated that the applicant had mentioned that the rear yard is fenced in with a 4' tall chain-link fence and a play structure is available for children to use. This was confirmed with a site visit.
- Maintains the property consistent with the visible characteristics of the neighborhood; The applicant has not proposed any changes to the exterior of the home, and it is consistent with the character of the neighborhood.
- Does not exceed 16 hours of operation during a 24-hour period. The local unit of government may limit but not prohibit the operation of a Group Child Care Home between the hours of 10 p.m. and 6 a.m.; The applicant proposes operating five (5) days a week from 7:00 a.m. to 6:00 p.m. (11 hours in a 24-hour period).
- Meets regulations, if any, governing signs used by a Group Child Care Home to identify itself; No signs are proposed, and none would be allowed per Sec. 1509.
- Meets regulations, if any, requiring a Group Child Care Home operator to provide off-street parking accommodation for its employees; The Planning department has considered two parking spaces (owner and caregiver). The Township zoning ordinance requires that two (2) parking spaces be

provided for the dwelling unit. The proposal meets the ordinance requirements.

Ms. Elmiger stated that the proposal does meet the state requirements, and the Planning Commission must approve this. The ordinance also has special land use standards, as stated in the proposal.

The Planning Department did provide several conditions. The Fire Chief and Building Official inspected for compliance with the current codes. The applicant will be providing the township with all licensing.

Also, the applicant should provide the following information:

- 1) Will the applicant's own children attend the Group Day Care? If yes, how many of the applicant's own children will attend?
- 2) The applicant should provide specific times when the outdoor play area will be used, including:
 - Times of day
 - Number of times per day
 - Duration of outdoor playtime
 - Number of children using the outdoor play area at a time
- 3) Is the applicant planning on providing any screening to the neighbors in the rear yard to help mitigate noise/activity during outdoor playtime? Does the Homeowners Association permit privacy fencing (i.e., six-foot-tall, opaque fencing)?
- 4) The applicant should confirm that they will continue to use the building as their residence and as its primary use.

The proposal does meet the state requirements for a Group Child Care Home of up to 12 children. The planning commission will have to consider the conditions as provided by the Planning Department.

PUBLIC HEARING OPENED AT 6:42 P.M.

- Leonard Hunter (9671 Falmouth Drive) stated his objection towards the opening of the day care; according to Article 10, Section 103, it will disturb the harmonious neighborhood because of increased traffic and

the noise from the backyard. Mr. Hunter shared his concern about the overflowing trash from the bins and the issues that can arise from street parking. The state requires all childcare providers to be 18 years or above and have the right qualifications. The neighborhood is in agreement that childcare would disrupt the peace in the area.

- Michael, asking (9635 Landsdowne Lane) shared that the noise from the childcare can disrupt the quietness of the community and the increase in traffic. The applicant's dog barks nonstop and has been a disturbance.
- Jamie Randall (9609 Landsdowne Lane) stated that she objects to the day care due to the noise and traffic that can arise from the day care.
- Corrine Falzon (9621 Landsdowne Lane) shared her concern that she purchased her home for retirement, and the noise/ traffic concern and this would cause a depreciation in the value of her property.
- Dan Beauregard (7158 Willington Lane) stated that having childcare in the neighborhood is not the right location.
- A resident informed the Planning Commission that the Board Packets have other objection letters from the neighbors.
- Sidney Sturgis (9647 Lansdowne Lane) requested more information due to the proposal for the upcoming day care.

PUBLIC HEARING CLOSED AT 6:53 P.M.

Commissioner Kirby informed the public that the Board would take into consideration the concerns shared regarding noise and other hindrances.

- b. **CLASS A DESIGNATION – MNL INVESTMENTS LLC – 10131 TEXTILE ROAD – PARCEL K-11-24-300-006** – TO CONSIDER THE CLASS A NON-CONFORMING DESIGNATION APPLICATION OF MNL INVESTMENTS LLC TO PERMIT THE SIGN COPY CHANGE OF AN EXISTING LEGAL NON-CONFORMING POLE SIGN.

Ms. Elmiger informed the Planning Commission that the fueling station at 10131 Textile Road has an existing pole sign, and they would like to change the copy or the face of the existing pole sign with a new Sunoco sign and fuel prices.

Ms. Elmiger informed the Planning Commission that pole signs are no longer permitted in the zoning ordinance, and this sign is non-compliant due to its height. The Planning Commission may grant a Class A nonconforming sign designation. A determination is made after a public hearing that the continuance of a nonconforming sign meets the criteria.

Ms. Elmiger stated that the Planning Department has reviewed the proposal, and it has met the criteria; the new sign will not increase in height, and there will be no changes to the location. The existing sign is structurally sound and does not obstruct visibility or interfere with pedestrians or traffic, and the Planning Commission can add conditions to any motion if they choose to designate this as a class, a non-conforming sign.

PUBLIC HEARING OPENED AT 7:01 P.M.

(Hearing no comments)

PUBLIC HEARING CLOSED AT 7:01 P.M.

- c. **CLASS A DESIGNATION – YPSI OIL COMPANY INC – 2120 RAWSONVILLE ROAD – PARCEL K-11-24-100-005** – TO CONSIDER THE CLASS A NON-CONFORMING DESIGNATION APPLICATION OF YPSI OIL COMPANY INC. TO PERMIT THE SIGN COPY CHANGE OF AN EXISTING LEGAL NON-CONFORMING POLE SIGN.

Ms. Elmiger informed the Planning Commission that the Office of Community Standards is in receipt of a Class A Non-Conforming Designation Application from Your Signs & Graphics Inc. representing Ypsi Oil Company Inc. requesting a Class A Designation for one, legal non-conforming sign located at 2120 Rawsonville Road, Ypsilanti, MI 48198. Ypsi Oil Company Inc. seeks this approval so it can change the copy of the existing pole sign.

The new sign has 104 square feet of signage, and the old signage has 126 square feet of signage. The existing sign structure does not comply with the current ordinance, as it is taller than permitted (approx. 19 feet vs. 6 feet) and is greater in the sign area than permitted (104.25 sq. ft. vs. 50 sq. ft.). These features make the

existing sign non-conforming. The continuation of this sign as a Class A Non-Conforming Sign is not expected to affect public health, safety, or welfare. Its presence does not obstruct visibility or interfere with pedestrian or vehicular traffic. The sign's height and setback provide adequate distance from the sidewalk, and there are no adverse safety concerns associated with the requested sign face change.

PUBLIC HEARING OPENED AT 7:05 P.M.

(Hearing no comments)

PUBLIC HEARING CLOSED AT 7:05 P.M.

- **OLD BUSINESS**

None to Report.

- **NEW BUSINESS**

- a. **CHILD GROUP DAYCARE – 9674 FALMOUTH DRIVE – PARCEL K-11-35-109-160** – TO CONSIDER THE SPECIAL LAND USE REVIEW APPLICATION OF MELINDA CUTLIFF TO PERMIT A CHILD GROUP DAYCARE HOME, PROVIDING CARE FOR UP TO TWELVE (12) CHILDREN ON A SITE ZONED R-3 ONE-FAMILY RESIDENTIAL.

Commissioner Kehrer stated that the Board thanked the public for sharing their concerns and comments.

Dennis McLain – Township Attorney informed the public that in 2006, the state of Michigan legislature adopted the Michigan Zoning Enabling Act. This Act governs the ability of cities, villages, townships and counties to enact, adopt and enforce their zoning rules at section 125; For a county or Township, a group child day care home shall be issued a special/ conditional use permit, or other similar permit if the group day care home meets all standards. The township or county has no authority to deny the request if the applicant has met all standards.

The applicant Melinda Cutliff shared with the commissioners that the hour of outside play is a maximum of 2 hours (9 a.m. – 11 a.m. or 3 p.m. – 5 p.m.); one hour at a time depending on the weather.

Commissioner Peterson inquired if Ms. Cutliff's children would be onsite at the day care; Ms. Cutliff stated that the older ones would give a helping hand and would not be left alone with the children as per state licensing regulations.

Ms. Cutliff informed the Planning Commission that she is starting the day care with 6 kids, and her 14-year-old daughter would be a helper and not oversee the children. Ms. Cutliff stated that she is hiring an adult to provide the support.

Commissioner Kirby inquired about the type of activities and outdoor playsets; Ms. Cutliff stated that they have no plans for the yard, but a playhouse is available on the patio.

Commissioner Peterson informed Ms. Cutliff to consider the residents in the neighborhood and have the parking/ noise in control, and not to disrupt the peace in the community.

Commissioner Doe requested Ms. Cutliff to consider planting bushes at the back/ side fence that would help cut down the noise; Ms. Cutliff stated that she would consider the options.

MOTION: Ms. Kehrler **MOVED** to approve the Special Land Use permit request of Melinda Cutliff for the purpose of allowing a Group Day Care Home, providing care for up to twelve (12) children, for a site zoned R-3, Residential, located at 9674 Falmouth Drive, Parcel, K-11-35-109-160 with the following conditions:

1. The applicant shall agree to enter into a Special Land Use agreement (Per Sec.1004(4), Conditions of Approval), outlining the following conditions:
 - The applicant shall supply, prior to the operation of a Group Day Care Home, to the Office of Community Standards, a day care application and all documentation as required by the day care application, including but

not limited to, scaled and accurate survey drawing, correlated with a legal description and showing all existing buildings, drives, and other improvements; copy of state license; copy of inspection reports, drawings or pictures of the house layout, showing the rooms that will be utilized for the day care.

- The Group Day Care Home shall register with the Ypsilanti Township Community Development Department and shall continually have on file with the Township documentation of a valid license as required by the state.
 - The Group Day Care Home shall be brought into compliance with all state building and fire codes pursuant to State Licensing Rules R400.1831—R400.1835 before beginning operation. Documentation of such compliance with state requirements shall be provided to the Office of Community Standards.
 - To comply with the Township sign ordinance, no exterior signs advertising the Group Day Care Home are permitted.
 - Due to the site's limited on-street parking, the number of caregivers will be limited to two (2) persons. Required off-street parking shall be provided during hours of operation.
 - The site shall be licensed by the State and meet requirements for indoor and outdoor classrooms, crib and play areas, and an outdoor play area shall be provided pursuant to state licensing rules.
2. For the safety of all occupants and upon sufficient notice, the applicant shall permit, prior to the operation of a Group Day Care Home, the dwelling to be inspected by the Township Building official and/or Fire Marshal to ensure compliance with the adopted property maintenance code.
 3. For the applicant, outdoor play will be limited to a maximum of two hours per day, one hour at a time, between the hours of 9 a.m. to 11 a.m. and 3 p.m. to 5 p.m.

The **MOTION** was **SECONDED** by Mr. Kirby.

Roll Call Vote: Mr. Doe (Yes); Mr. Kirby (Yes); Mr. Sinkule (Yes); Ms. Peterson (Yes); Ms. Kehrner (Yes).

MOTION PASSED.

- b. **CLASS A DESIGNATION – MNL INVESTMENTS LLC – 10131 TEXTILE ROAD – PARCEL K-11-24-300-006** – TO CONSIDER THE CLASS A NON-CONFORMING DESIGNATION APPLICATION OF MNL INVESTMENTS LLC TO PERMIT THE SIGN COPY CHANGE OF AN EXISTING LEGAL NON-CONFORMING POLE SIGN.

MOTION: Mr. Doe **MOVED** to approve the Class A Non-Conforming Designation application submitted by Bazo Construction on behalf of MNL Investment LLC, for one legal non-conforming pole sign at 10131 Textile Road, Ypsilanti, MI 48197, Parcel K-11-24-300-006, with the following conditions:

- The property owner shall comply with all current Township Sign Ordinance standards regarding the maintenance and repair of the sign structure.
- The property owner shall comply with ordinance lighting standards regarding sign lighting.

The **MOTION** was **SECONDED** by Mr. Kirby.

Roll Call Vote: Mr. Doe (Yes); Mr. Kirby (Yes); Mr. Sinkule (Yes); Ms. Peterson (Yes); Ms. Kehrer (Yes).

MOTION PASSED.

- c. **CLASS A DESIGNATION – YPSI OIL COMPANY INC – 2120 RAWSONVILLE ROAD – PARCEL K-11-24-100-005** – TO CONSIDER THE CLASS A NON-CONFORMING DESIGNATION APPLICATION OF YPSI OIL COMPANY INC. TO PERMIT THE SIGN COPY CHANGE OF AN EXISTING LEGAL NON-CONFORMING POLE SIGN.

MOTION: Ms. Kehrer **MOVED** to approve the Class A Non-Conforming Designation application submitted by Your Signs & Graphics Inc. on behalf of Ypsi Oil Company Inc. for one legal non-conforming pole sign at 2120

Rawsonville Road, Ypsilanti, MI 48198, Parcel K-11-24-100-005, with the following conditions.

- The property owner shall comply with all current Township Sign Ordinance standards regarding the maintenance and repair of the sign structure.
- The property owner shall comply with the ordinance lighting standards regarding sign lighting.

The **MOTION** was **SECONDED** by Mr. Doe.

Roll Call Vote: Mr. Doe (Yes); Mr. Kirby (Yes); Mr. Sinkule (Yes); Ms. Peterson (Yes); Ms. Kehrner (Yes).

MOTION PASSED.

- **OPEN DISCUSSIONS FOR ISSUES NOT ON AGENDA**

- **Correspondence Received**

None to Report.

- **Planning Commission Members**

None to Report.

- **Members of the Audience**

Jeremy Haley, 1547, Wismer informed the Commissioners that Norfolk Homes has two sites for 100 homes at the \$200,000 price range. The recommendation is to bring in development builders for a lower price range and not high-priced homes, which would help in building the community.

- **TOWNSHIP BOARD REPRESENTATIVE REPORT**

None to Report.

- **ZONING BOARD OF APPEALS REPRESENTATIVE REPORT**

None to Report.

- **TOWNSHIP ATTORNEY REPORT**

Dennis McLain – Township Attorney shared his concern for the people who voiced their opinion on the day care since the state balanced the needs for child day care versus the rights of people who live in the neighborhoods.

- **PLANNING DEPARTMENT REPORT**

None to Report.

- **OTHER BUSINESS**

None to Report.

- **ADJOURNMENT**

MOTION: Mr. Doe **MOVED** to adjourn at 7:33 p.m. The **MOTION** was **SECONDED** by Ms. Kehrer and **PASSED** by unanimous consent.

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Respectively Submitted by Minutes Services LLC

Planning Department Report

Project Name: Zippy Car Wash

Location: 1822 W. Michigan Ave., Ypsilanti, MI 48197

Date: July 15, 2025

- | | |
|--|---|
| <input checked="" type="checkbox"/> Full Preliminary Site Plan Review # 1
<input type="checkbox"/> Sketch Preliminary Site Plan Review #
<input type="checkbox"/> Administrative Preliminary Site Plan Review #
<input type="checkbox"/> Detailed Engineering/Final Site Plan Review #
<input checked="" type="checkbox"/> Special Use Permit
<input type="checkbox"/> Public Hearing | <input type="checkbox"/> Rezoning
<input type="checkbox"/> Tentative Preliminary Plat
<input type="checkbox"/> Final Preliminary Plat
<input type="checkbox"/> Final Plat Process
<input type="checkbox"/> Planned Development Stage I
<input type="checkbox"/> Planned Development Stage II |
|--|---|

Contact / Reviewer	Consultants, Departments, & Agencies	Approved	Approved with Conditions	Denied	N/A	See email/letter attached or comments below
Planning Department	Township Planning Department	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See comments below
Carlisle/Wortman Associates	Planning Consultant	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 07-02-2025
OHM / Stantec	Engineering Consultant	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 06-27-2025
Steven Wallgren, Fire Marshal	Township Fire Department	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 06-27-2025
Dave Bellers, Building Official	Township Building Department	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Brian McCleery, Deputy Assessor	Township Assessing Department	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Scott Westover, Engineering Manager	Ypsilanti Community Utilities Authority	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 06-27-2025
Gary Streight, Project Manager	Washtenaw County Road Commission	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See email dated 07-07-2025
Theresa Marsik, Stormwater Engineer	Washtenaw County Water Resources Commission	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 06-17-2025
James Drury, Permit Agent	Michigan Department of Transportation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Planning Department Recommended Action:

At this time, the Zippy Auto Wash project is eligible for Preliminary Site Plan and Special Land Use review by the Township Planning Commission and has been scheduled for the Commission's meeting on July 22, 2025. As this project design requires variances, the only decision the Planning Commission can make is to postpone the project to allow the applicant to present their variance requests to the Zoning Board of Appeals. However, the Planning Commission can hold the Public Hearing at the July 22, 2025 meeting to gather comments from the public.

Please contact the Charter Township of Ypsilanti Planning Department if you have any questions or concerns.



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: July 2, 2025

**Preliminary Site Plan and Special Use Review
For
Ypsilanti Township, Michigan**

Applicant:	Zippy Auto Wash / Corey Weaver
Project Name:	Zippy Car Wash
Plan Date:	June 2, 2025
Location:	1822 W. Michigan Ave. (W. Michigan Ave. and Ellsworth intersection)
Zoning:	RC, Regional Corridor – Form Based District
Action Requested:	Preliminary Site Plan and Special Use Approval

PROJECT AND SITE DESCRIPTION

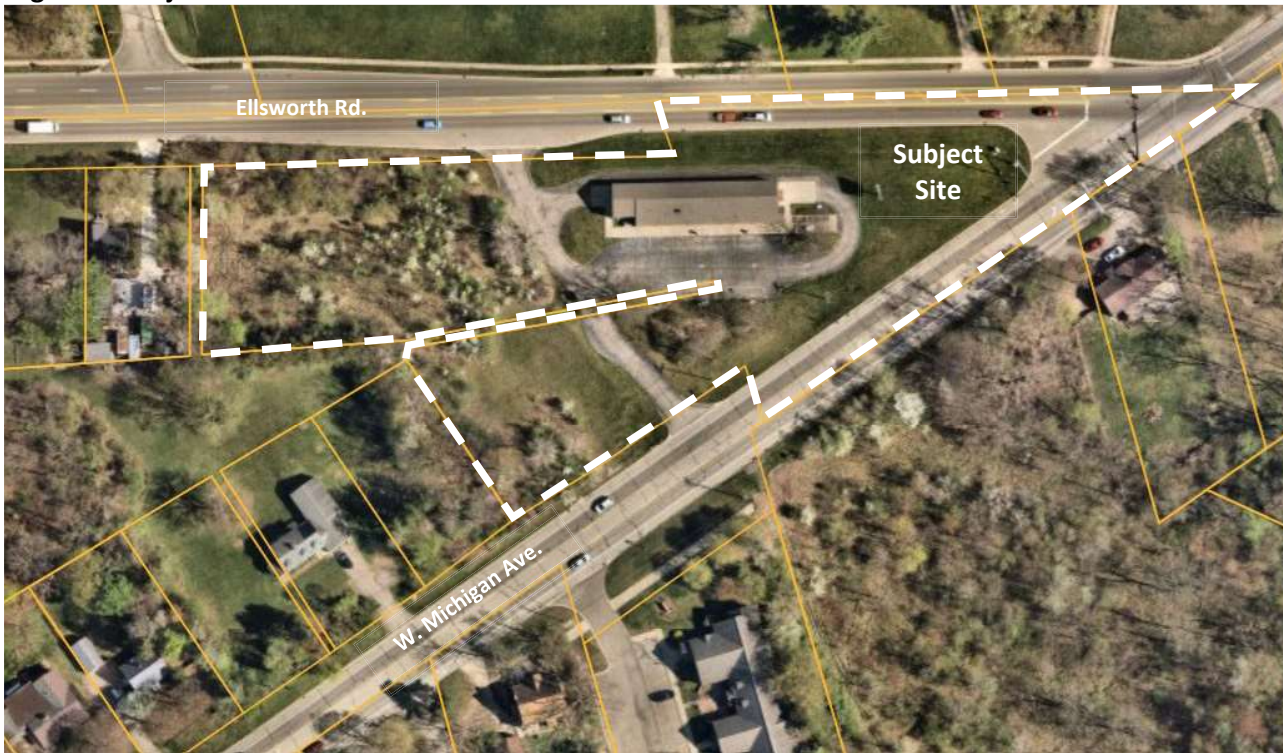
The applicant is proposing to build a 4,900 s.f. automated tunnel car wash with two pay terminals and 12 vacuum stations/parking spaces. The parking lot will also offer five (5) employee parking spaces. This site was previously used as a car wash.

Access to the site occurs off W. Michigan Ave. and Ellsworth.

The subject site is zoned RC, Regional Corridor, which is a Form Based District. The site is categorized as a Site Type C on the Regulating Plan. Site Type C permits vehicle washes as a Special Land Use. The Building Type proposed is A.2.

An aerial of the proposed site is shown on the next page.

Figure 1: Subject Site



Source: Nearmap (Captured April 17, 2025)

Size of Subject Site:

Gross: 3.28 acres (143,072 s.f.); Net: 2.49 acres (108,535 s.f.)

Current Use of Subject Site:

Car wash

Table 1: Adjacent Zoning and Existing Land Uses

Direction	Zoning	Existing Use
North	North Side of Ellsworth Rd.: RC, Regional Corridor (Form Based District) & RM-LD, Multiple Family Low Density	Single- and two-family residential, vacant
South	South Side of W. Michigan Ave.: RC, Regional Corridor (Form Based District)	Residential, vacant & medical office
East	RC, Regional Corridor & RM-LD, Multiple Family (Low Density)	Single-family residential
West	RC, Regional Corridor & GB, General Business	Vacant & Single-family residential

MASTER PLAN

The site is designated as a Regional Mixed-Use Corridor along both road frontages. Regional Mixed-Use Corridors are located along the busiest corridors, which support a high volume of both local and regional traffic. This area may include auto-oriented uses that draw customers both regionally and locally. Compared to the Neighborhood Mixed-Use corridors, this area is intended for higher-intensity and the largest scale of commercial development. While an auto wash is not specifically listed in the Master Plan's Regional Corridor description, it does list auto-oriented commercial facilities. An auto wash could be considered consistent with this description, as it could serve the regional market and local neighborhoods.

Applicable design concepts included the Master Plan include:

- *Large parking lots shall be screened landscaped, and provided with pedestrian connections and other design amenities to break up excessive pavement and reduce visual impact of parking areas.*
- *Architectural design must create an interesting visual experience for both sidewalk users and automobiles.*
- *Ensure appropriate transition to adjacent neighborhoods.*

We would consider the proposal to be consistent with the Master Plan for this site, and the site design and architectural considerations addressed in the proposal. Please see additional comments throughout this review.

NATURAL FEATURES

Topography:

The site was previously used as a car wash, and was almost fully graded to accommodate this use. The property very slightly slopes up from the intersection of W. Michigan Ave. to the west. The property is generally flat.

The proposed grading uses the existing developed portions of the site, and minimally modifies the topography by adding small, 2- to 3-foot-tall berms on the west side of the entry drives, and stormwater management basins across the site.

Woodlands/Trees:

The survey shows 24 existing "protected" trees on the site. The grading and construction activities will remove 12 of these trees; the other 12 trees will remain. Because all of the trees that will be removed are within the limits of construction and grading, replacement trees are not required.

The Landscape Plan has a note regarding the installation of tree protection fencing, as well as a detail specifying how the fencing is to be erected. A tree protection "symbol" should be shown on the site plan around trees proposed to remain, and a note added that states: "No parking of equipment or vehicles, or storage of materials shall be allowed within the tree protection fencing." Both the symbol and note should be added to the Demolition Plan (if any), the Grading Plan, and the Landscape Plan.

Items to be Addressed: 1) Add “symbol” indicating the location of tree protection fencing to the site plan around trees to remain on the Demolition Plan (if any), Grading Plan, and Landscape Plan. 2) Add note stating: “No parking of equipment or vehicles, or storage of materials shall be allowed within the tree protection fencing” to the Demolition Plan (if any), Grading Plan, and Landscape Plan.

AREA, WIDTH, HEIGHT, SETBACKS

The table below evaluates the proposal against the bulk requirements in the ordinance.

Table 2. Bulk Requirements

	Required / Allowed	Provided	Complies with Ordinance
Min. Lot Area	Site Type C: Larger than 1 acre	Net: 2.49 acres (108,535 s.f.)	Complies
Front Build-to-Line (W. Michigan Ave.)	10-foot to 30-foot build-to-line; 75% of the building must meet the required build-to line.	Building located 10 feet from the W. Michigan Ave. ROW.	Complies
Front Build-to-Line (Ellsworth)		Building located 83.5 feet from the Ellsworth ROW	See Below
Side Setback – West Property Line	Building Setback = 1.5 times building height (18 ft. x 1.5 = 27 ft.) 20-foot greenbelt	Building setback: +360 feet Greenbelt: 35 feet	Building Complies Greenbelt Complies
Rear Setback	10 feet 20-foot greenbelt	+10 feet setback 43 feet	Building Complies Greenbelt Complies
Impervious Surface	80% maximum	4.5%	See Below
Building Height	Minimum: 1 story/14 feet Maximum: 3 stories/ 38 feet	1 story Building: 18 feet	Complies
Parking	Located in side or rear yard; if abutting a required “build-to” line, screened with a minimum 30-inch masonry wall on the required build-to line, or within 5 feet of the required building line.	W. Michigan Ave: Parking is located in the rear yard. Ellsworth: Parking is located in the front yard.	See Below

Table 3. Bulk Requirements for Vehicle Wash Operations

Requirements of 1129.5, Specific Use Provisions for Vehicle Wash Operations			
	Required / Allowed	Provided	Complies with Ordinance
Min. Front Yard	50 feet; however, the Form Based Code requirements supersede this requirement	W. Michigan Ave.: 10 feet Ellsworth Rd.: 83.5 feet	See Below
Wash facilities within completely enclosed building	--	--	Complies
Vacuuming and drying areas may be outside, but no closer than 25-feet from residential district	25 feet from west property lines	145 - 310 feet	Complies
Stacking/Parking complies with Sec. 1205 and 1118	See Parking Section of this review		
Stacking/Parking hard-surfaced and dust free	--	Proposing concrete pavement	Complies
Prevent freezing at exit ramp		Project Description (Cover Sheet) states that entrance and exit pavement slabs shall be heated to prevent freezing; areas beyond shall be deiced regularly	Complies
Six-foot tall obscuring wall when abutting a residential district. Alternative screening materials may be approved by Planning Commission		Landscape screen	See Below

Front Build-To Line/Setback

The ordinance requires that at least 75% of the building must meet the front build-to line. Build-to lines are different than a “setback” line, in that the build-to line is the desired location for the front façade of the building. The proposal meets the build-to-line requirement along W. Michigan Ave., but due to the odd shape of the lot, not along Ellsworth. The applicant will need to apply for a variance.

Impervious Surface

The impervious surface figure provided on the plans seems to only include the building. The Zoning Ordinance defines “Impervious Surface Ratio” as follows: *The percentage of lot area covered by all buildings, pavement, driveways, parking lots, and all other structures (area of all structures, pavement, and parking lots divided by the gross lot area).* The impervious surface calculation on the plans needs to be corrected.

Parking Location

The parking is located behind the building (rear yard) from the W. Michigan Ave. frontage. However, due to the unusual shape of the lot, the parking is located in the front yard from the Ellsworth frontage. Therefore, the applicant will need to apply for a variance.

Screen of Residential Properties

Sheet C-6, *Landscape Plan*, shows preservation of a large, vegetated area along Ellsworth Rd. between the car wash and the residence to the west. It also shows a staggered line of 16 Norway Spruce trees along the west property line adjacent to W. Michigan Ave., between the car wash and the vacant residential lot to the west. The Planning Commission may consider the proposed landscape screen sufficient as an alternative to a 6-foot-tall wall. If landscaping isn't sufficient on its own, the Commissioners may also consider additional alternatives (such as a fence in addition to the landscaping) if necessary.

Items to be Addressed: 1) Applicant to seek variance for the proposed building location relative to the Ellsworth Rd. build-to line. 2) Correct impervious surface calculation, per ordinance definition. 3) Applicant to seek variance for parking location in Ellsworth Rd. front yard. 4) Planning Commission to consider landscape screen as alternative to six-foot-tall wall requirement, or additional alternatives if necessary.

PARKING, LOADING

The ordinance requires a vehicle wash use to meet the minimum parking space requirement in Sec. 1205, *Access, Parking and Loading Requirements*, as well as the drive-through requirements in Sec. 1118, *Drive-In and Drive-Through Facilities*.

Table 4. Parking and Stacking Spaces

	Required	Provided	Complies with Ordinance
Parking Spaces	1 space for each employee or 3-5 employees = 5 spaces	5 spaces	Complies See Below
Stacking Spaces	Entry per lane: 8 spaces Exit per lane: 2 spaces	Entry: +12 spaces Exit: +2 spaces	Complies
Barrier-Free Spaces	1 space	0 spaces	See Below
Loading spaces	1 space	0 spaces	See Below
Bicycle parking	2 spaces	4 spaces	Complies

Parking Spaces

Five spaces are shown on the plans. However, one of these spaces must be designed as a barrier-free, "van accessible" space. The location of the spaces is not ideal for barrier-free access, being so far away from the building. However, it may be acceptable if a barrier-free route is established between the parking and the building. This route needs to be illustrated on the plans.

Parking Lot Design

The proposed employee parking spaces meet the dimensional requirements in the ordinance. The proposed vacuum stations exceed the minimum width by 4-feet, giving users enough space to keep their

doors open to vacuum the inside. Maneuvering lanes in the parking/vacuum station area also meet ordinance requirements. The proposed escape lane also meets the minimum width requirement. Will this lane be signed with a “DO NOT ENTER” sign so that people using the vacuums don’t enter the car wash lane?

Loading Space

One 10’ x 25’ loading space needs to be added to or labeled on the plans. The applicant should describe the type and size of delivery truck that will deliver supplies to the site.

Items to be Addressed: 1) Add one (1) barrier-free, van-accessible space to the employee parking area. 2) Show barrier-free route between employee parking area and building on plans. 3) Will a “DO NOT ENTER” sign be installed to keep vacuum users out of the car wash lane? 4) Add one (1) 10’ x 25’ loading space to the plans. 5) Applicant to describe the type and size of delivery truck that will deliver supplies to the site.

SITE ACCESS, CIRCULATION, TRAFFIC

The site is accessed from both W. Michigan Ave. and Ellsworth Rd. The project is re-using the existing driveway from Ellsworth. A new driveway from W. Michigan Ave. is proposed further west than the existing driveway.

Stacking Lanes

Vehicles for this use enter the car wash stacking lanes from both access driveways. Vehicles stack into two pay station lanes.

The location of the stacking lanes will not interfere with traffic on the street. The location of the lanes also does not interfere with vehicular circulation on the rest of the site, or parking maneuvers. There is an “escape” lane just to the east of the stacking lanes that would allow a car to exit the stacking before being washed. We consider this circulation system acceptable.

Sec. 1118 states that multi-lane drive-throughs shall be located in a manner that will be the least visible from a public thoroughfare. Given that this site has two “front” yards, it’s challenging to locate the service components of the project so that they aren’t visible from one of the two streets. The proposal shows three Prairiefire Crabapple trees on the west side of the Ellsworth entry drive, between Ellsworth and the stacking lanes. We consider the landscaping to meet this requirement.

Vacuum Station Access

A separate maneuvering lane allows vehicles into and out of the vacuum stations. It also allows washed vehicles to enter the vacuum stations, and exit the site. We consider the circulation into and out of the vacuum stations acceptable.

Sidewalks

As required, the plans show a new 8-foot-wide sidewalk/safety path along W. Michigan Ave., and Ellsworth Rd.

The Form Based Districts require pedestrian pathways between the site and the road right-of-way. A short 5-foot-wide sidewalk segment should be provided between the safety path along W. Michigan and Ellsworth and the pedestrian access door on the north side of the building.

The plans also show a sidewalk segment that creates a “short-cut” between the pathway along W. Michigan Ave., and the pathway along Ellsworth Rd. We consider this a positive feature of the proposal.

Items to be Addressed: 1) Add sidewalk connection from the safety path along the W. Michigan Ave. and Ellsworth Rd. rights-of-way to the pedestrian door on the north façade of the building.

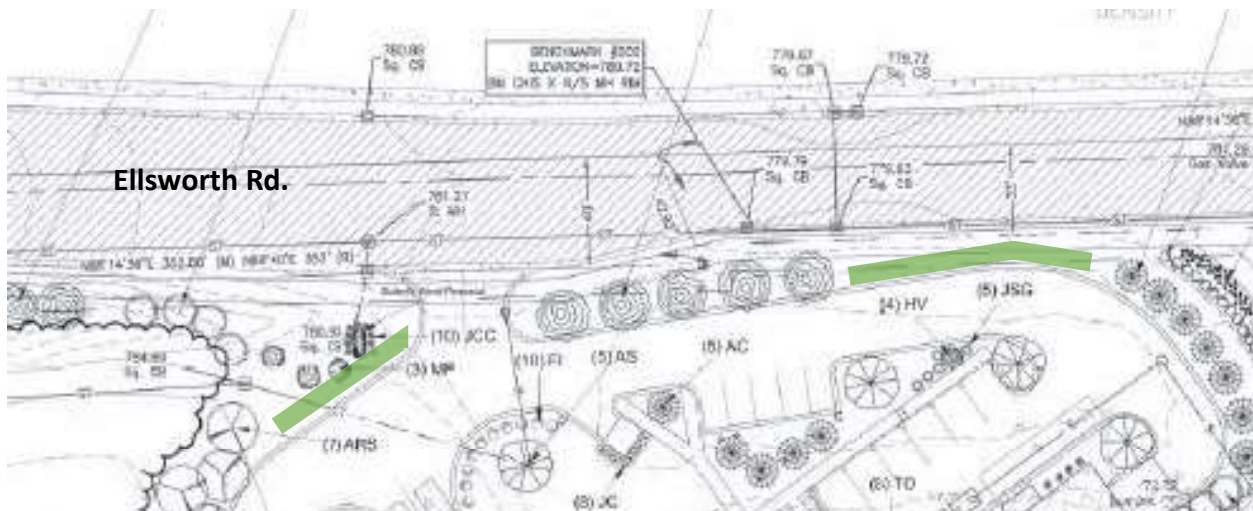
SCREENING & LANDSCAPING

Table 5. Landscaping

	Required	Provided	Complies with Ordinance
General Landscaping: <ul style="list-style-type: none"> 1 tree per 1,000 s.f. lawn 1 shrub per 500 s.f. lawn 	16,781 s.f. lawn = 17 trees and 34 shrubs	17 trees and 34 shrubs	Complies
Street Yard Landscaping: <ul style="list-style-type: none"> 1 large deciduous tree per 40 l.f. of frontage 1 ornamental tree per 100 l.f. of frontage 1 shrub per 10 l.f. of frontage 	<u>W. Michigan Ave.:</u> 511 L.F. / 40 = 13 trees 511 l.f. / 100 = 5 ornamental trees 511 l.f. / 10 = 51 shrubs <u>Ellsworth Rd.:</u> 527 l.f. / 40 = 13 trees 527 l.f. / 100 = 5 ornamental trees 527 l.f. / 10 = 53 shrubs	<u>W. Michigan Ave.:</u> 13 trees 5 ornamental trees 51 shrubs <u>Ellsworth Rd.:</u> 13 trees 6 ornamental trees 53 shrubs	Complies with Trees Complies with Ornamental Trees Complies with Shrubs
Parking Lot Landscaping: <ul style="list-style-type: none"> 1 large deciduous tree per 2,000 s.f. of pavement 1 large deciduous tree per 40 l.f. of parking lot perimeter 	33,378 s.f. / 2,000 s.f. = 17 interior trees 535 l.f. / 40 = 13 perimeter trees	17 interior trees and 0 perimeter trees	Complies with Interior Trees See Below

Perimeter Parking Lot Landscaping

The Landscape Requirements Chart on the Landscape Plan does not indicate that any parking lot perimeter trees have been proposed. We acknowledge that with the other requirements, it may be difficult to locate additional trees on the site. The ordinance gives the Planning Commission the ability to waive or modify the standards of Sec. 1301, *Landscape Requirements*, where the addition of new landscape material would serve no good purpose. While we don’t see space for additional trees, 3-foot-tall shrubs along the maneuvering lane along Ellsworth Rd. could be installed to screen the vehicle lane from view of the road. The Planning Commission should discuss this alternative. The proposed locations (shown in green) are illustrated below:



Parking Lot Islands

Sec. 1301(3)(D) requires the following:

- 1) There shall be no more than twelve (12) parking spaces in a row without a landscape break. The plans comply with this requirement.
- 2) Parking lot end islands shall be a minimum of five (5) feet wide, and provided at the intersection of any parking aisles. The islands are the minimum dimensions, and their location complies with the ordinance.

Plant Material

The proposed sizes of the plant material meet the minimum ordinance requirements, except for the "Show Off" Forsythia. This plant should be at least a 5-gallon container to meet the minimum height requirement at planting.

Trash and Recycling Containers

The dumpster is located in a "front" yard along Ellsworth Rd., and is clearly visible from this street. Sec. 1302, *Trash and Recycling Receptacle*, requires that dumpsters be located in a side or rear yard, and not be adjacent to a public or private street. The proposed location is convenient; however, given the intent of this ordinance, we think a better (and accessible) location would be next to the edge of the westerly preserved woodland area. The Planning Commission should consider this alternative in light of the ordinance requirements. Even if the Planning Commission required the alternative location, a dumpster on this site will require a variance, as the alternative location is still in a "front" yard.

The dumpster screen detail (shown on Sheet C-8) will be a three-sided, 6-foot-tall masonry screen made of 8" masonry to match the building. The gate will be made of wood siding with a steel tube frame. The landscape plan shows that the dumpster screen itself will be shielded from south and west views with landscaping.

Items to be Addressed: 1) Planning Commission to consider requiring shrubs along the northerly maneuvering lane to screen Ellsworth Rd. 2) Increase size of "Show Off" Forsythia to minimum 5-gallon container. 3) Planning Commission to consider alternative dumpster location that is not directly in view of Ellsworth Rd. 4) Applicant to seek variance for locating dumpster screen in a "front" yard.

LIGHTING

A Lighting Plan (Sheet C-7) has been provided. The applicant is proposing to install six (6) single-luminaire pole-mounted fixtures. The building will be illuminated with two types of building-mounted fixtures.

The plans do not show any linear luminaires on the vacuum station arms. If such fixtures are proposed, they need to be shown on the photometric plan, with the associated lighting levels.

Table 6. Lighting

	Required	Proposed
Fixture is downward facing and shielded		Pole mounted: Complies Building mounted: Complies
Maximum illumination levels:		
Along residential property lines	0.5 footcandles	Complies
Along non-residential property lines	1.0 footcandles	N.A.
Anywhere on the ground	20 footcandles	Complies
Minimum illumination levels of parking lots	0.4 footcandles	Average Complies
Maximum height of pole-mounted fixtures (including base)	25 feet/ 18 feet adjacent to residential	See Below
Fixture color standard	Maximum 3500k	Pole mounted: Non-compliant Building mounted: Complies and non-compliant

Pole-Mounted Fixtures:

All of the pole-mounted fixtures are 22 feet tall. We would consider the one pole-mounted fixture at the driveway off W. Michigan Ave. to be adjacent to a residentially-zoned property. Therefore, this pole-mounted fixture should be lowered to 18 feet in height (including the base).

The ordinance calls for lighting to create the minimal interference with residential users. The pole-mounted fixture at the W. Michigan Ave. driveway is located on the east side of the driveway, which will be clearly visible from a future residence to the west. Is it possible to relocate this fixture to the west side of the driveway? This way, the fixture will be directed away from the future residence to the west. The Planning Commission should discuss this option with the applicant.

Fixture Color Standard

The pole-mounted fixture (RSX2 LED, identified as “A” on the plans), and the building-mounted fixture (D-Series Size 1, identified as “B” on the plans) have kelvin (or color) temperatures of 4000k. The ordinance allows up to 3500k in color temperature. The color temperature of these two fixtures needs to be brought down to 3500k.

Reduction in Nighttime Lighting

The ordinance requires that all outdoor lighting is reduced to at least 50% of the light level at full illumination one (1) hour after closing. The Lighting Plan includes a note stating that all outdoor light fixtures shall be turned off or reduced in lighting intensity between 11:00 pm and sunrise. This note should be revised to reflect Ypsilanti Township’s requirement for nighttime lighting reductions.

Items to be Addressed: 1) Applicant to confirm if linear light fixtures will be mounted to the vacuum arms; if so, then linear light fixtures, and their light levels, need to be added to the photometric plan. 2) Lower the height of the pole-mounted fixture at the W. Michigan Ave. driveway to 18 feet (including base). 3) Planning Commission and applicant to discuss the possibility of relocating the pole-mounted fixture at W. Michigan Ave. driveway from the east side of the driveway to the west side of the driveway to direct light away from the adjacent residential lot. 4) Modify fixtures "A" and "B" so color temperature does not exceed 3500k. 5) Revise note on Lighting Plan regarding nighttime lighting reductions to reflect Ypsilanti Township's ordinance requirements.

ELEVATIONS AND FLOOR PLANS

Floor plans and elevations have been provided.

Floor Plans

The floor plans show one (1) car wash tunnel on the south side of the building. The north side of the building is occupied by an equipment room, office, and break room (with a restroom).

Elevations

The Form Based District includes architectural standards to create a character with visual interest, architectural consistency, and high-quality material use. Color renderings of the proposed building are included in the plan set. We have also provided an image from the Zippy Car Wash site on Carpenter Road:



Source: Google images

Elevations are comprised of the following material, and help to provide façade variation as follows:

- The façade materials are eight-inch and twelve-inch, split-face concrete block. Windows are trimmed with 8" single-score block, painted white.
- Gables are faced with "siding." The type of siding (i.e. vinyl siding, fiber cement siding, etc.) should be specified.

- The roof is a metal roof.
- The south façade (facing W. Michigan Ave.) is occupied by eight divided-light windows. The north façade (facing the parking lot and Ellsworth Rd.) is occupied by two entry doors into the “service” side of the building, two divided-light windows, and an enclosed alcove for mat washing.

Transparency

First floors facades facing a right-of-way are required to provide 50% transparency. First floor facades facing a parking area are required to provide 30% transparency. Transparency calculations have not been provided. We have scaled the plans to evaluate how the building design meets these standards. A transparency calculation should be provided for the north and south elevations.

- The façade facing W. Michigan Ave (or “front elevation”) is approximately 150-feet long, and has eight large windows in the first floor (or between 2- and 8-feet above grade). The first-floor elevation is approximately 900 s.f., which would require 450 s.f. (or 50%) of window glazing on this elevation. The proposal shows approximately 480 s.f. of window glazing, meeting this requirement.
- The façade facing the parking lot and Ellsworth is also 150 feet long, and has two windows, and three doors. The first-floor elevation is approximately 900 s.f., which would require 270 s.f. (or 30%) of window and door glazing on this elevation. The proposal shows approximately 184 s.f. of window and door glazing. This is deficient by approximately 32%. The ordinance offers flexibility in this transparency requirement. Up to 50% of the transparency requirement (or in this case 135 s.f. of transparency) could be addressed by providing architectural wall design features, outdoor dining/seating, or permanent, non-commercial art. The plans show a picnic table next to the sidewalk short-cut between safety paths along both road frontages. The Planning Commission could consider this amenity toward the deficient transparency along the parking lot side of the building.
- The plans should specify that the windows are transparent, and not tinted, reflective or opaque glass (which is prohibited).

Items to be Addressed: 1) Plans to specify the type of siding to confirm that high-quality materials are being used. 2) Add transparency calculations for north and south facades to Architectural Plans. 3) Planning Commission to consider counting the picnic table along sidewalk short-cut between the W. Michigan safety path and the Ellsworth Rd. safety path for the deficient transparency on the north side of the building. 4) Specify on Architectural Plans that windows and doors are transparent (and not tinted, reflective or opaque glass).

SPECIAL USE

In the Regional Corridor District, a vehicle wash requires a special use. Standards for Special Use review are set forth in Section 1003. The Planning Commission shall review the particular circumstances and facts of each proposed use in terms of the following standards and required findings, and with respect to any additional standards set forth in this Ordinance. The Planning Commission shall find and report adequate data, information, and evidence showing that the proposed use meets all required standards:

1. Will be harmonious, and in accordance with the objectives, intent, and purpose of this Ordinance.
2. Will be compatible with the natural environment and existing and future land uses in the vicinity.
3. Will be compatible with the Township master plans.
4. Will be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage ways and structures, refuse disposal, or that the persons or

agencies responsible for the establishment of the proposed use shall be able to provide adequately for such services

5. Will not be detrimental, hazardous, or disturbing to existing or future neighboring uses, persons, property, or the public welfare.
6. Will not create additional requirements at public costs for public facilities and services that will be detrimental to the economic welfare of the community.

To confirm that the proposal meets the standard that the use is not disturbing to the existing residential neighbors, we ask the applicant to provide the following information:

1. Proposed hours of operation.
2. Will vacuums be available when the car wash tunnel is closed for the night?

Regarding the other criteria, we find that the standards have been met. Our comments regarding how this proposal compares to the remaining Special Land Use standards follow:

- The intersection of W. Michigan Ave. and Ellsworth are designated as a Regional Corridor, intended to support a high volume of both local and regional traffic. This corridor type accommodates large national chains and auto-oriented uses that draw customers both regionally and locally. The proposed use is consistent with the intent of this district.
- The proposed use of the site as a vehicle wash can serve both the regional market, but also local neighborhoods, making this use consistent with the Master Plan.
- The project will redevelop the site, including sidewalk installation along both road frontages, landscaping, and lighting.
- The site was previously used by a car wash, and can adequately be served with public facilities and services
- The development of this site will not be detrimental to the future use and development of the corridor.

Items to be Addressed: 1) Applicant to provide proposed hours of operation. 2) Applicant to describe if vacuum stations are available when the car wash building is closed for the night.

RECOMMENDATIONS

The proposal will require three variances: building location relative to Ellsworth Rd., parking located in the Ellsworth Rd. front yard, and dumpster screen located in the Ellsworth Rd. front yard. All three variances are due to the unusual shape of the lot, and the fact that the lot has two front yards. Per Article IX, *Site Plan Review*, when variances are needed, the Planning Commission must postpone any decision until the applicant's variance requests have been considered by the Zoning Board of Appeals (ZBA). After the ZBA determinations are made, then the applicant can return to the Planning Commission for a decision on both the Special Land Use and Site Plan.

However, the Planning Commission may conduct the required Public Hearing at the same time as its initial consideration of the Site Plan.

A summary of our comments follows. Note that we have organized our comments by first listing ordinance alternatives the Planning Commission may consider, and then the needed changes to the site plan that the applicant will need to make.

PLANNING COMMISSION: Alternatives for Consideration –

- 1) *Consider proposed landscape screen (next to west property line that abuts W. Michigan Ave.) as an alternative to the six-foot-tall wall requirement, or propose additional screening alternatives.*
- 2) *Consider requiring shrubs along the northerly maneuvering lane to screen Ellsworth Rd. See Pg. 9 for illustration.*
- 3) *Consider alternative dumpster location that is not directly in view of Ellsworth Rd.*
- 4) *Discuss with applicant the possibility of relocating the pole-mounted light fixture at W. Michigan Ave. driveway from the east side of the driveway to the west side of the driveway to direct light away from the adjacent residential lot.*
- 5) *Consider counting the picnic table along the sidewalk shortcut between the W. Michigan Ave. safety path and the Ellsworth Rd. safety path for the deficient transparency on the north side of the building.*

APPLICANT: Revisions to Site Plan Submission/Variations – The applicant should revise the submission as follows:

Special Land Use

- 1) *Provide proposed hours of operation.*
- 2) *Describe if vacuum stations are available when the car wash building is closed for the night.*

Natural Features

- 1) *Add “symbol” indicating the location of tree protection fencing to the site plan around trees to remain on the Demolition Plan (if any), Grading Plan, and Landscape Plan.*
- 2) *Add note stating: “No parking of equipment or vehicles, or storage of materials shall be allowed within the tree protection fencing” to the Demolition Plan (if any), Grading Plan, and Landscape Plan.*

Area, Width, Height, Setbacks (Bulk Requirements)

- 1) *Seek variance for the proposed building location relative to the Ellsworth Rd. build-to line.*
- 2) *Correct impervious surface calculation, per ordinance definition.*
- 3) *Seek a variance for parking location in Ellsworth Rd. front yard.*

Parking and Loading

- 1) *Add one (1) barrier-free, van-accessible space to the employee parking area.*
- 2) *Show barrier-free route between employee parking area and building on plans.*
- 3) *Will a “DO NOT ENTER” sign be installed to keep vacuum users out of the car wash lane?*
- 4) *Add one (1) 10’ x 25’ loading space to the plans.*
- 5) *Describe the type and size of delivery truck that will deliver supplies to the site.*

Site Access, Circulation, Traffic

- 1) *Add sidewalk connections from the safety path along the W. Michigan Ave. and Ellsworth Rd. rights-of-way to the pedestrian door on the north façade of the building.*

Screening and Landscaping

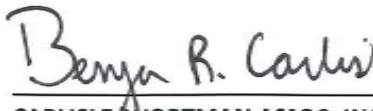
- 1) *Increase size of “Show Off” Forsythia to minimum 5-gallon container.*
- 2) *Seek variance for locating dumpster screen in a “front” yard.*

Lighting

- 1) *Confirm if linear light fixtures will be mounted to the vacuum arms; if so, then linear light fixtures, and their light levels, need to be added to the photometric plan.*
- 2) *Lower the height of the pole-mounted fixture at the W. Michigan Ave. driveway to 18 feet (including base).*
- 3) *Modify fixtures "A" and "B" so color temperature does not exceed 3500k.*
- 4) *Revise note on Lighting Plan regarding nighttime lighting reductions to reflect Ypsilanti Township's ordinance requirements.*

Elevations and Floor Plans

- 1) *Specify the type of siding on Architectural Plans to confirm that high-quality materials are being used.*
- 2) *Add transparency calculations for north and south facades to Architectural Plans.*
- 3) *Specify on Architectural Plans that windows and doors are transparent (and not tinted, reflective or opaque glass).*



CARLISLE/WORTMAN ASSOC., INC
Benjamin R. Carlisle, AICP, LEED AP
President



CARLISLE/WORTMAN ASSOC., INC.
Sally M. Elmiger, AICP, LEED AP
Principal

June 27, 2025

Mr. Mark Yandrick
Township Planning Director
Charter Township of Ypsilanti
7200 S. Huron River Drive
Ypsilanti, MI 48197

RE: Zippy
Preliminary Site Plan Review #1

Dear Ms. Doppke:

We have completed the first preliminary site plan review of the plans dated June 2, 2025 and received by OHM Advisors on June 25, 2025.

At this time, the plans are recommended for consideration by the Township Planning Commission, contingent on the following comments being addressed. Preliminary detailed engineering comments have been provided to the applicant as a courtesy and shall be addressed prior to submitting detailed engineering plans for review.

A brief description of the project has been provided below, followed by our comments and a list of anticipated required permits and approvals. Comments in Section C are detailed in nature, do not influence the overall site layout, and can be addressed during the detailed engineering drawing submittal.

A. PROJECT AND SITE DESCRIPTION

The applicant is proposing a Zippy car wash at 1822 W Michigan Avenue. The existing building will be demolished. Associated site improvements, including parking, landscaping, utilities, and stormwater management, are also being proposed.

The site will be serviced by connection to the existing water main and sanitary sewer along W Michigan Avenue. The stormwater runoff will be managed by an underground detention basin and conveyance system.

B. SITE PLAN COMMENTS

Utilities

1. The applicant shall verify that all utilities shown on the Landscape Plan match the proposed Site Plan as there currently appear to be discrepancies.

Paving and Grading

2. The applicant shall provide truck turning templates (fire truck, garbage truck, etc.) to ensure sufficient space for maneuverability has been provided. The applicant shall also label the proposed loading zone.
3. The applicant shall note that all sidewalk perpendicular to parking spaces shall be seven (7) feet wide.
4. The applicant shall label the proposed barrier-free parking space and access aisle for clarity.



C. PRELIMINARY DETAILED ENGINEERING COMMENTS

The following comments shall be addressed by the applicant during the detailed engineering drawing submittal, and do not affect the recommendation for approval to the Township of Ypsilanti Planning Commission. It should be noted that this is not an all-inclusive list and additional comments may be generated as new information is presented.

1. The applicant shall provide spot elevations at all four (4) corners of all barrier-free parking spaces, access aisles, ramps, and level landings, as well as along both sides of all proposed sidewalk/pathway at 50-foot intervals. The applicant shall note that the cross-slope shall not exceed 2%, per ADA Standards.
2. The applicant shall provide utility pipe profiles, including pipe diameter, material, length, slope, and hydraulic grade line for all proposed storm sewer.
3. The applicant shall provide a detailed drainage area map that provides drainage areas corresponding to each catch basin, including their acreages, C-factors, and C-factor calculations.
4. The applicant shall review and revise the outlet orifice calculations as it currently appears the minimum time of detention for the first flush storm (24 hours) was not met. The applicant shall update all subsequent calculations accordingly.
5. The applicant shall provide conveyance calculations for the proposed stormwater management system on the plans.
6. The applicant shall provide a Certificate of Outlet, signed and sealed by a registered engineer in the State of Michigan, on the plans.
7. The applicant shall clarify if soil borings/test pits were performed. If so, their logs and locations shall be provided on the plans and a copy of the geotechnical report shall be provided to this office.
8. The applicant shall include the heated slab with the trench drain within the maintenance schedule(s). The applicant shall also remove the wetlands and other components from the maintenance schedule(s) that are not present on-site for clarity.
9. The applicant shall note that storm sewer pipe shall be RCP C-76, per Township Standards, or the load carrying design analysis for use of other materials for the proposed depth conditions shall be provided on the plans.
10. The applicant shall provide the proposed size and material of all storm sewer.
11. The applicant shall locate the curb stop box and all sanitary cleanouts outside of pavement areas.
12. The applicant shall provide a detail of the water reclaim/sediment removal system.
13. The applicant shall provide a quantity list for all proposed utilities (water, sanitary, storm) on the Cover Sheet, delineated by existing or proposed road right-of-way or easement, per Township Standards.
14. It is recommended that a different HMA mix design is utilized (i.e. 4E) due to experience with 13A mix designs prematurely failing.
15. The applicant shall provide the Ypsilanti Township Standard Detail Sheets, including the SESC Detail Sheet, within the plan set. These can be obtained by emailing stacie.monte@ohm-advisors.com.



D. REQUIRED PERMITS & APPROVALS

The following outside agency reviews and permits will be required for the project. Copies of any correspondence between the applicant and the review agencies, as well as the permit or waiver, shall be sent to both the Township and OHM Advisors (email: stacie.monte@ohm-advisors.com).

- ▶ **Ypsilanti Community Utilities Authority (YCUA):** Review and approval of all water main and sanitary sewer improvements is required.
- ▶ **Ypsilanti Township Fire Department:** Review and approval is required.
- ▶ **Washtenaw County Water Resources Commissioner's Office (WCWRC):** Review and approval is required.
- ▶ **Washtenaw County Road Commission (WCRC):** Review and approval is required.
- ▶ **Ypsilanti Township Office of Community Standards:** A Soil Erosion and Sedimentation Control permit shall be secured from the Ypsilanti Township Office of Community Standards.

Should you have any questions regarding this matter, please contact this office at (734) 466-4580.

Sincerely,
OHM Advisors

Stacie L. Monte

Matthew D. Parks, P.E.

SLM/MDP

cc: Lauren Doppke, Township Staff Planner
Doug Winters, Township Attorney
Sally Elmiger, CWA, Township Planning Consultant
Steven Wallgren, Township Fire Marshall
Scott Westover, P.E., YCUA
File

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CHARTER TOWNSHIP OF YPSILANTI FIRE DEPARTMENT

BUREAU OF FIRE PREVENTION

222 South Ford Boulevard, Ypsilanti, MI 48198



June 27, 2025

Sally Elmiger, Planning and Development Consultant
Charter Township of Ypsilanti
7200 S. Huron River Drive
Ypsilanti, MI 48197

RE: Preliminary (non-residential) Site Plan Review #1

Project Name:	Zippy Auto Wash
Project Location:	1822 W. Michigan Ypsilanti, MI 48197
Plan Date:	6/2/2025
Applicable Codes:	IFC 2018
Designer:	Vanston/O'Brien, Inc. Builders
Engineering address:	8150 Jackson Road, Suite A, Ann Arbor, MI 48103

Status of Review

Status of review: Approved as Submitted

All pages were reviewed.

Site Coverage - Access

Comments: Fire department access is adequate.

Knox Box:

Comments: Knox box location is accessible.

Hydrant

Comments: Hydrant location is acceptable.

Best regards,

A handwritten signature in black ink, reading "Steve Wallgren".

Steve Wallgren, Fire Marshal
Charter Township of Ypsilanti Fire Department
CFPS, CFI I



Dedicated to Providing Top Quality, Cost Effective, and
Environmentally Safe Water and Wastewater Services to Our Customers

YPSILANTI COMMUNITY UTILITIES AUTHORITY

2777 STATE ROAD
YPSILANTI, MICHIGAN 48198-9112
TELEPHONE: 734-484-4600
WEBSITE: www.ycua.org

June 25, 2025

VIA ELECTRONIC MAIL

Mr. Mark Yandrick, Planning Director
Office of Community Standards
CHARTER TOWNSHIP OF YPSILANTI
7200 S. Huron River Drive
Ypsilanti, MI 48197

Re: Preliminary (non-residential) Site Plan Review #1
Zippy Auto Wash
Charter Township of Ypsilanti (Plan Date: 06-02-2025)

Dear Mr. Yandrick:

In response to the electronic mail message from your office dated June 25, 2025, we have reviewed the referenced plans with regards to water supply and wastewater system design. The plans are acceptable to YCUA for this stage of review. However, the following comment is offered for the Detailed Engineering phase of the project.

1. The existing building has a 4" diameter water service connected to the existing 8" diameter just south of the fire hydrant near the westerly property line. As it appears the existing water service will not be used as part of the proposed redevelopment of the site, the project will be responsible for disconnecting the service from the existing water main.

Connection fees do not apply to the proposed project. However, please note that **the construction phase escrow deposit, YCUA administration fee, and record plan guarantee**, must be paid to YCUA by the Applicant, with a receipt delivered to the Township, before either the building or soil and grading permit is issued. The construction phase escrow deposit and associated fees and deposits and the entity responsible for maintaining those accounts will be determined during the Detailed Engineering phase of the project in conjunction with your office and the Township Engineer. Should there be any questions please contact this office.

Sincerely,



SCOTT D. WESTOVER, P.E., Director of Engineering
Ypsilanti Community Utilities Authority

cc: Mr. Luke Blackburn, Mr. Sean Knapp, File, YCUA
Ms. Sally Elmiger, Ms. Lauren Doppke, Township Planning Department
Mr. Steve Wallgren, Township Fire Department
Mr. Matt Parks, P.E., Ms. Stacie Monte, Township Engineer
Mr. Corey Weaver, Applicant
Mr. Greg Heim, P.E., Applicant's design engineer



WCRC App# 21423 Corey Weaver Ellsworth Rd Ypsilanti Twp - Zippys Car Wash

From Taylor, Elizabeth <taylor@wcroads.org>

Date Mon 7/7/2025 1:35 PM

To mrweaver@comcast.net <mrweaver@comcast.net>

Cc Streight, Gary <streightg@wcroads.org>; Sally Elmiger <selmiger@ypsitownship.org>; Brenda Stumbo <bstumbo@ypsitownship.org>; Debbie Swanson <dswanson@ypsitownship.org>; Matt Parks <matt.parks@ohm-advisors.com>; Permits <permits@wcroads.org>

 2 attachments (14 MB)

App 21423 Plans Rec. 06-04-25.pdf; App 21423 Rec. 06-04-25.pdf;

Some people who received this message don't often get email from taylor@wcroads.org. [Learn why this is important](#)

Dear Applicant:

I have reviewed your plans for the two commercial driveway approaches at 1822 West Michigan Avenue and require the following revisions:

1. Our preliminary field evaluation of the new driveway approach along the south side of the property along Michigan Avenue revealed that the “as-staked” proposed location does not make site distancing requirements as per Section 3.6 of **WCRC’s Procedures & Regulations for Permit Activities** (attached to this email).
2. The existing driveway on the north side of the property also does not meet the WCRC the site distancing requirements, due to vegetation.
3. Both areas will likely require substantial clearing in the right-of-way (ROW) and may even require clearing the ROW of the adjacent property.
4. In accordance with Section 3.6, please revise drawings to include the “site distancing area” on either side of the drive approaches with a notation that these areas must remain free of obstructions that might block a driver’s view.
5. Clearing for site distancing in these areas may impact trees. Any trees with a diameter of 6” or greater that are being removed will have to be specifically indicated in the plan along with the species.
6. WCRC will also require a signed wood disposal agreement from property owners whose trees will be impacted by the project.
7. If clearing and/or grading is required outside of the property boundaries, but still within the ROW, WCRC will require the applicant apply for a separate grading permit.
8. For the existing driveway approach along Ellsworth Road, WCRC requires the following notes be added to the approved permit drawings:
 - a. The Contractor shall rebuild the existing driveway in-kind, meaning without alterations to the driveway elevation, configuration, dimensions, and geometrics to

the greatest extent possible.

9. Drawing C3 shows a “monument sign” along Ellsworth Road, on the west side of the driveway approach, please provide dimension in relation to the ROW and/or curb and gutter for this sign.
10. The WCRC Traffic and Safety Department reviewed the sidewalk layout on the east side of the development with ADA compliance. WCRC is concerned that at the intersection of Ellsworth and Michigan Avenue there is currently not an ADA compliant pedestrian crossing. The proposed sidewalk extending to the easternmost tip of the property at the intersection presents an issue because it appears to “tempt” pedestrians to cross Ellsworth take refuge on the Zippy Car Wash property and then proceed to walk across Michigan Avenue. WCRC proposes ending the sidewalk at the proposed picnic table area and not having it continue to the tip of the easternmost edge of the property. Otherwise, there are significant safety concerns with extending the sidewalk to wrap around the tip of the property and remediating the pedestrian safety issues would substantial alterations to this intersection (including but not limited to ADA compliant pedestrian crossings and signalized intersections).
11. Please provide the following General Notes (C-1) acknowledging the following:
 - a. Note 6 should be revised to include Washtenaw County Road Commission (WCRC)
 - b. Add the following comments:
 - i. Contractor/Permit Holder shall restore disturbed areas within the road right-of-way in accordance with WCRC standards.
 - ii. All material used within the WCRC road right-of-way shall conform with current WCRC and MDOT specifications.
 - iii. The driveway approach shall be constructed so that the existing drainage is not adversely affected.
 - iv. Contractor/Applicant must maintain access to adjacent driveways during construction.
 - v. The two driveway approaches shall be constructed so that the existing roadway drainage is not adversely affected.
 - vi. The two driveway approaches shall match the grade of the existing edge of pavement.
 - vii. The driveway approach shall be constructed of materials that comply with MDOT and WCRC standards.
 - viii. All traffic control devices shall be maintained in accordance with Part 6 of the current MMUTCD and shall be MASH compliant.
12. Final acceptance of work in the right-of-way and subsequent permit closure are subject to WCRC approval.
13. Provide a cost estimate for all work within the ROW.
14. An inspection fee equal to 3% of the approved estimate, \$500 minimum, along with a deposit equal to the full amount of the estimate in the form of a letter of credit or check is required.

We ask that all questions and revised plans be submitted to permits@wcroads.org. No work shall occur until a permit has been issued.

Respectfully Submitted,
Beth



Elizabeth Taylor, P.E.
Project Manager - Permits

Washtenaw County Road Commission
555 N. Zeeb Road, Ann Arbor, Michigan

Direct: (734) 327-6671 | Main: (734) 761-1500 | Cell: (734) 845-2066
wcroads.org | [Follow us on Facebook](#)



GRETCHEN DRISKELL

Water Resources Commissioner

705 N Zeeb Road
Ann Arbor, MI 48103
734-222-6860

Drains@washtenaw.org

Harry Sheehan
Chief Deputy Water Resources Commissioner

Scott Miller P.E.
Deputy Water Resources Commissioner

Theo Eggermont
Public Works Director

June 16, 2025

Mr. Greg Heim, P.E.
Vanston/O'Brien Inc.
8150 Jackson Road, Suite A
Ann Arbor, Michigan 48103

RE: Zippy Auto Wash
W. Michigan Ave and E. Ellsworth Rd
Ypsilanti Township, Michigan
WCWRC Project No. 12367

Dear Mr. Heim:

This office has reviewed the preliminary site plans for the above-referenced project to be located in Ypsilanti Township. These plans have a date of June 2, 2025 and were received via e-mail on June 2, 2025. As a result of our review, we would like to offer the following comments:

1. The engineer's certificate of outlet, accompanied by corresponding calculations and documentation, should be submitted to our office for review.
 - a. The certificate of outlet is to be provided by the design engineer during the review process to certify that the receiving channel has adequate capacity to receive the detention basin discharge.
2. Since the stormwater management system will be private, any reference to inspection, maintenance, or assessment by the County must be removed from the plan set in general, and specifically from note C of the maintenance tasks shown on plan sheet C-5.
3. The minimum time of detention of 24 hours for the first flush storm was not met with the selected outlet orifice configuration.
4. Please see the attached invoice for the current fees and remit these fees upon receipt. As requested, the invoice is being submitted directly to Zippy Auto Wash.

Mr. Greg Heim, P.E.
Vanston/O'Brien Inc.
Zippy Auto Wash
WCWRC Project No. 12367
Page 2 of 2

At your convenience, please send us a complete set of revised plans and the additional information requested above so that we may continue our review. If you have any questions, please contact our office.

Sincerely,



Theresa M. Marsik, P.E.
Stormwater Engineer
(approval\Zippy Auto Wash W. Michigan Ave and E. Ellsworth rev1)

cc: Corey Weaver, Zippy Auto Wash
Brenda Stumbo, Ypsilanti Township Supervisor
Lauren Doppke, Ypsilanti Township Staff Planner
Sally Elmiger, Ypsilanti Township Planning Department (Carlisle Wortman Associates)
Doug Winters, McLain and Winters
Matt Parks, P.E., Ypsilanti Township Engineer (OHM)
Stacie Monte, Ypsilanti Township Engineer (OHM)



Washtenaw County Water Resources
PO Box 8645
Ann Arbor, MI 48107-8645
drains@washtenaw.org 734-222-6860

General Invoice

Customer Copy

CUSTOMER	INVOICE DATE	INVOICE NUMBER	AMOUNT PAID	DUE DATE	INVOICE TOTAL DUE		
ZIPPY AUTOWASH	06/16/2025	16244	\$0.00	07/16/2025	\$1,181.25		
DESCRIPTION	QUANTITY	PRICE	UOM	ORIGINAL BILL	ADJUSTED	PAID	AMOUNT DUE
Engineering Site Inspection Fees WO 12367 Engineering Site Inspection Fees	2.00	\$135.000000	EACH	\$270.00	\$0.00	\$0.00	\$270.00
Engineering Review Fees WO 12367 Engineering Review Fees	6.75	\$135.000000	EACH	\$911.25	\$0.00	\$0.00	\$911.25
Invoice Total:					\$1,181.25		

WATER RESOURCES
ZIPPY AUTO WASH
WCWRC PROJECT #12367

✂ DETACH AND RETURN THE PORTION BELOW WITH YOUR PAYMENT ✂



Washtenaw County Water Resources
PO Box 8645
Ann Arbor, MI 48107-8645
drains@washtenaw.org 734-222-6860

General Invoice

Remit Portion

Invoice Date	06/16/2025
Invoice Number	16244
Customer Number	10430
Amount Paid	
Due Date	07/16/2025
Invoice Total Due	\$1,181.25

ZIPPY AUTOWASH
WEAVER, COREY
233 W ELLSWORTH
ANN ARBOR, MI 48108

Please note your invoice number on your payment.

Charter Township of Ypsilanti
Office of Community Standards

7200 S. Huron Drive, Ypsilanti, MI 48197

Phone: (734) 544-4000 ext. #1

Website: <https://ypsitownship.org>

RECEIVED

JUN 03 2025

**SPECIAL CONDITIONAL USE/
USES SUBJECT TO SPECIAL
CONDITIONS APPLICATION**

I. PROJECT LOCATION

YPSILANTI TOWNSHIP

Address: 1822 W Michigan Ave Parcel ID #: K-11-39-252-022 Zoning RC

Lot Number: Subdivision:

Describe proposed use: Drive Thru Automatic Vehicle Wash facility with exterior vacuum services

II. APPLICANT/PROPERTY OWNER

Applicant: Zippy Auto Wash Phone: 734-424-0661

Address: P.O. Box 550 City: Saline State: MI Zip: 48176

Property Owner (if different than applicant): Phone:

Address: City: State: Zip:

III. FEES

Total: \$ 1000

Breakdown of fee:

Non-refundable: \$1,000

Refundable: \$1,000

IV. APPLICANT SIGNATURE

The following are attached to this application:

- ☒ Name(s) and address(es) of all record owner(s) and proof of ownership.
☐ If applicant is not the fee-simple owner, the owner's signed authorization for application must be attached to this application.
- ☒ Scaled and accurate survey drawing, correlated with a legal description and showing all existing buildings, drives and other improvements.
- ☒ Section of Zoning Ordinance involved in this request 2122.(1): 1129.5 - Vehicle wash
[Daycare only]
- ☐ Copy of State license.
- ☐ Copy of inspection reports.
- ☐ Drawing or pictures of the house layout, showing the rooms that you will utilize for the daycare.

Corey Weaver Corey Weaver 6/2/25
Applicant Signature Print Name Date

☐ Approved
☐ Denied

Zoning Administrator Signature Print Name Date

Please note: Application cannot be appealed to the Board of Appeals. If denied by the Planning Commission, re-application can be made to the Planning Commission after 365 days, after the date of this application, except on the grounds of new evidence or proof of changed conditions found by the Planning Commission to be valid.



Charter Township of Ypsilanti

Office of Community Standards

7200 S. Huron Drive, Ypsilanti, MI 48197

Phone: (734) 544-4000 ext. #1

Website: <https://ypsitownship.org>

OFFICE USE ONLY

All special conditional use applications

- | | |
|---|--|
| <ul style="list-style-type: none"><input type="checkbox"/> The application is filled out in its entirety and includes the signature of the applicant and, if different than the applicant, the property owner.<input type="checkbox"/> Name(s) and address(es) of all record owner(s) and proof of ownership. If the applicant is not the property owner, written and signed permission from the property owner is required<input type="checkbox"/> A detailed description of the proposed use.<input type="checkbox"/> A site plan, if requested by the planning commission<input type="checkbox"/> Fees | <ul style="list-style-type: none"><input type="checkbox"/> Scaled and accurate survey drawing, correlated with a legal description and showing:<ul style="list-style-type: none"><input type="checkbox"/> All property lines and dimensions<input type="checkbox"/> All existing and proposed structures and dimensions<input type="checkbox"/> Locations of drives, sidewalks, and other paved areas on the property and on the adjacent streets<input type="checkbox"/> Location and dimensions of the nearest structures on adjacent properties<input type="checkbox"/> Easements and dimensions, if applicable |
|---|--|



JUN 03 2025

SITE PLAN REVIEW APPLICATION

YPSILANTI TOWNSHIP
OCS

I. APPLICATION/DEVELOPMENT TYPE

Development:

- ☐ Subdivision
- ☐ Multi-family/Condominium
- ☐ Site Condominium
- ☒ Planned Development
- ☐ Non-residential

Application:

- ☐ Administrative Site Plan Review
- ☐ Sketch Site Plan Review
- ☒ Full Site Plan Review
- ☐ Revisions to approved plan
- ☐ Tentative Preliminary Plat
- ☐ Final Preliminary Plat
- ☐ Final Plat Process
- ☐ Stage I (for Planned Development)
- ☐ Stage II (for Planned Development)

II. PROJECT LOCATION

Address: 1822 W Michigan Ave City: Ypsilanti State: MI Zip: 48197

Parcel ID #: K-11- 39-252-022 Zoning RC

Lot Number: _____ Subdivision: _____

Property dimensions: 300x700 Acreage: 3.28

Name of project/Proposed development: Zippy Auto Wash

Legal description of Property:

Land in the Township of Ypsilanti, County of Washtenaw, Michigan, described as: Lots 19 through 24, inclusive, TRIANGLE PARK SUBDIVISION, a part of French Claim No. 690, Washtenaw County, Michigan, as recorded in Liber 7 of Plats, Page 26, Washtenaw County Records. Also, the vacated walkway between Lots 19, 20, 21 and 22 of said Subdivision. Also, beginning in the centerline of Chicago Road (now Michigan Avenue) at a point which is South 20°06'00" East 51.20 feet from the Southeast corner of Triangle Park Subdivision, as recorded in Liber 7 of Plats, Page 26, Washtenaw County Records; thence North 20°06'00" West 280.87 feet; thence South 88°40'00" East 491.95 feet to the center of Chicago Road (now Michigan Avenue); thence South 57°27'00" West 468.95 feet to the PLACE OF BEGINNING, being part of French Claim No. 690, Town 3 South, Range 7 East, Ypsilanti Township, Washtenaw County, Michigan.

Describe Proposed Project (including buildings/ structures/ # units):

Automatic vehicle wash facility with on site vacuums, employee parking and underground detention.

III. APPLICANT INFORMATION

Applicant: Zippy Auto Wash - Corey Weaver Phone: 734-904-3869

Address: P.O.Box 550 City: Saline State: MI Zip: 48176

Fax: _____ Email: mrweaver@comcast.net

Property owner (if different than applicant): _____ Phone: _____

Address: _____ City: _____ State: _____ Zip: _____

Fax: _____ Email: _____

Engineer: Vanston/O'Brien Inc. - Greg Heim Phone: 734-424-0661

Address: 8150 Jackson Road City: Ann Arbor State: MI Zip: 48103

Fax: _____ Email: greg.heim@vanston.com



SITE PLAN REVIEW APPLICATION

VI. SCHEDULE OF FEES

Preliminary Site Plan Review		
	Non-refundable fee	Refundable deposit
Full	\$500	Less than one (1) acre: \$2,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres
Sketch	\$500	Less than one (1) acre: \$1,500 One (1) acre to five acres: \$2,000 Over five (5) acres to ten (10) acres: \$2,500 Greater than ten (10) acres: \$2,500 + \$50 per acre over ten (10) acres
Administrative	\$100	Less than one (1) acre: \$1,000 One (1) acre to five acres: \$1,200 Over five (5) acres to ten (10) acres: \$1,500 Greater than ten (10) acres: \$1,500 + \$50 per acre over ten (10) acres
Planned Development Stage I and Rezoning	\$1,500 + \$20 per acre	Less than one (1) acre: \$3,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres
Final Site Plan Review		
	Non-refundable fee	Refundable deposit
Full	\$500	Less than one (1) acre: \$3,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres
Sketch	\$500	Less than one (1) acre: \$1,500 One (1) acre to five acres: \$2,000 Over five (5) acres to ten (10) acres: \$2,500 Greater than ten (10) acres: \$2,500 + \$50 per acre over ten (10) acres
Administrative	\$100	Less than one (1) acre: \$1,000 One (1) acre to five acres: \$1,200 Over five (5) acres to ten (10) acres: \$1,500 Greater than ten (10) acres: \$1,500 + \$50 per acre over ten (10) acres
Planned Development Stage I and Rezoning	\$1,500 + \$20 per acre	Less than one (1) acre: \$3,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres

\$ **4500** FEE TOTAL

V. APPLICANT SIGNATURE



Applicant Signature

Corey Weaver

Print Name

6/2/25

Date



Charter Township of Ypsilanti

Office of Community Standards

7200 S. Huron Drive, Ypsilanti, MI 48197

Phone: (734) 544-4000 ext. #1

Website: <https://ypsitownship.org>

SITE PLAN REVIEW APPLICATION

Site Plan Review applications	
<input checked="" type="checkbox"/> The application is filled out in its entirety and includes the signature of the applicant and, if different than the applicant, the property owner.	<input checked="" type="checkbox"/> Proposed Plans
<input checked="" type="checkbox"/> Fees	<input checked="" type="checkbox"/> One (1) signed and sealed copies (24"x36") of the proposed plan
<input checked="" type="checkbox"/> Check made out to Ypsilanti Township with appropriate fees. <i>Please note: The same preliminary site plan review fee will be charged for each subsequent submittal</i>	<input checked="" type="checkbox"/> One (1) copy (11"x17") of the proposed plan
<input checked="" type="checkbox"/> Fees paid separately to Ypsilanti Community Utilities Authority	<input checked="" type="checkbox"/> One (1) PDF digital copy of the proposed plan
<input checked="" type="checkbox"/> Fees paid separately to Washtenaw County Road Commission and Water Resources Commissioner's Office	<input checked="" type="checkbox"/> All contents detailed on the next pages for administrative, sketch, and full site plans.
<input type="checkbox"/> Additional Documents:	
<input type="checkbox"/> Woodland Protection application or the No Tree Affidavit, if applicable	
<input type="checkbox"/> Traffic Impact Questionnaire	
<input type="checkbox"/> Appropriate application and plans submitted to the Washtenaw County Road Commission and Water Resources Commissioner's Office	



SITE PLAN

ZIPPY AUTO WASH

1822 W Michigan Avenue

Ypsilanti Township, Michigan

ABBREVIATIONS

A	A.F.F.	ABOVE FINISH FLOOR
	AC	ACRE
	A/C	AIR CONDITION
	ALUM.	ALUMINUM
	ASPH.	ASPHALT
B	B.F.F.	BELOW FINISH FLOOR
	BIT.	BITUMINOUS
	BLDG.	BUILDING
C	CB	CATCH BASIN
	C.O.	CLEAN OUT
	COMP.	COMPRESSOR
	CONC.	CONCRETE
	CMU	CONCRETE MASONRY UNIT
	C.J.	CONTROL JOINT
D	DIA.	DIAMETER
	DIM.	DIMENSION
	DWG.	DRAWING
	D.I.	DUCTILE IRON
E	EA.	EACH
	ELEC.	ELECTRIC
	EL. / ELEV.	ELEVATION
	EQ.	EQUAL
	EXIST. / EX.	EXISTING
	EXP.	EXPANSION
	E.J.	EXPANSION JOINT
	EXT.	EXTERIOR
F	FT.	FEET
	F.F.	FINISH FLOOR
	F.H.	FIRE HYDRANT
	FIXT.	FIXTURE
	FLR.	FLOOR
	F.A.R.	FLOOR/AREA RATIO
G	GA.	GAUGE
	GALV.	GALVANIZED
	GL.	GLASS
H	HT.	HEIGHT
	H.P.	HIGH POINT
	H.M.	HOLLOW METAL
	HORIZ.	HORIZONTAL
I	I.D.	INSIDE DIAMETER
	INT.	INTERIOR
	INV.	INVERT
J	JT.	JOINT
L	L.L.	LIVE LOAD
	L.L.H.	LONG LEG HORIZONTAL
	L.L.V.	LONG LEG VERTICAL
	L.P.	LOW POINT
M	MFR.	MANUFACTURER
	MH.	MANHOLE
	MAS.	MASONRY
	M.O.	MASONRY OPENING
	MAX.	MAXIMUM
	MIL.	MILLIMETER
	MIN.	MINIMUM
	MTD.	MOUNTED
N	NOM.	NOMINAL
	N.I.C.	NOT IN CONTRACT
	NO.	NUMBER
O	O.C.	ON CENTER
	O.D.	OUTSIDE DIAMETER
	O.H.	OVERHEAD
	OE	OVERHEAD ELECTRIC
	OTE	OVERHEAD TELEPHONE & ELECTRIC
P	PTD.	PAINTED
	PSF	POUNDS PER SQUARE FOOT
	PSI	POUNDS PER SQUARE INCH
	PEMB	PRE-ENGINEERED METAL BUILDING
	PREFAB.	PREFABRICATED
R	RAD.	RADIUS
	REV.	REVISED
	R.O.W.	RIGHT OF WAY
	RTU	ROOF TOP UNIT
	RM.	ROOM
S	SAN.	SANITARY
	SCHED./SCH.	SCHEDULE
	SM.	SIMILAR
	S.P.A.	SITE PLAN APPROVAL
	SQ. FT./ S.F.	SQUARE FEET
	STD.	STANDARD
	ST. MH.	STORM MANHOLE
T	TVAS	TAPPING VALVE & SLEEVE
	T/C	TOP OF CURB
	T/GR	TOP OF GRADE
	T/P	TOP OF PAVEMENT
	T/W	TOP OF WALK
	TBR	TO BE REMOVED
	TYP.	TYPICAL
U	UE	UNDERGROUND ELECTRICAL
	UTE	UNDERGROUND TELEPHONE & ELECTRICAL
	U.N.O.	UNLESS NOTED OTHERWISE
	U.P.	UTILITY POLE
V	VERT.	VERTICAL
W	W/	WITH
	W/O	WITHOUT

LEGAL DESCRIPTION

PROPERTY TAX ID: K-11-39-252-022
PROPERTY DESCRIPTION PER AMERICAN TITLE COMPANY OF WASHTENAW, ISSUED FOR STEWART TITLE GUARANTY COMPANY,
COMMITMENT NO: 116879, WITH AN EFFECTIVE DATE OF APRIL 11, 2025 AT 5:00 P.M.:
Land in the Township of Ypsilanti, County of Washtenaw, Michigan, described as:
Lots 19 through 24, inclusive, TRIANGLE PARK SUBDIVISION, a part of French Claim No. 690, Washtenaw County, Michigan, as recorded in Liber 7 of
Plats, Page 26, Washtenaw County Records.
Also, the vacated walkway between Lots 19, 20, 21 and 22 of said Subdivision.
Also, beginning in the centerline of Chicago Road (now Michigan Avenue) at a point which is South 20°06'00" East 51.20 feet from the Southeast corner of Triangle Park Subdivision, as recorded in Liber 7 of Plats, Page 26, Washtenaw County Records; thence North 20°06'00" West 280.87 feet;
thence South 88°40'00" East 491.95 feet to the center of Chicago Road (now Michigan Avenue); thence South 57°27'00" West 468.95 feet to the PLACE
OF BEGINNING, being part of French Claim No. 690, Town 3 South, Range 7 East, Ypsilanti Township, Washtenaw County, Michigan.

PROJECT DESCRIPTION

The proposed use is a modern express exterior auto wash – defined as a conveyORIZED wash with automated pay terminals, unlimited plans, free vacuums and other complimentary services. The proposed site plan is substantially similar to other operational Zippy Auto Wash sites in the nearby Ann Arbor / Ypsilanti area. The proposed site plan consists of a 4900 square foot building, including a 150 foot automated wash process with high power, heated mechanical drying, 2 automated pay terminals located behind the building, ample stocking spaces located on site, 12 vacuum stations and customer & employee parking, located adjacent to the building. The entrance & exit slabs adjacent to the building shall be heated to prevent freezing; areas beyond the slabs shall be deiced regularly to prevent freezing.

GENERAL NOTES:

- All site work shall meet all applicable codes, laws and regulations including Michigan Barrier-Free Design Requirements and ADA Accessibility Guidelines (ADAAG).
- Verify existing conditions on site. Notify architect/engineer of discrepancies prior to proceeding with construction.
- Provide signs per Michigan Barrier-Free Requirements at handicapped spaces. Van spaces shall have an additional sign, "VAN ACCESSIBLE" per ADAAG requirements.
- All work in R.O.W. shall conform to MDOT and/or County Standards and permitting guidelines.
- All roads leading to the site are designated Class A for all season travel.
- All work done shall be performed in accordance with the Township's current ordinances, standards and regulations.
- Existing utility information and locations are per existing records and may or may not have been field verified.

UTILITY NOTES

The existing utilities shown on the drawings represent the best information available as obtained by field surveys and from existing records. This information does not relieve the contractor of the responsibility to contact Miss Dig or to satisfy himself as to the accuracy of the location shown.

SEWER AND WATER

YCUA
2777 State Road
Ypsilanti, MI 48198
(734)484-4600

ELECTRIC

DTE
8001 Haggerty Road
Belleville, MI 48111
(734) 397-4321

TELEPHONE

AT&T
5500 South Maple Road
Ann Arbor, Michigan 48103
(734) 996-5351

GAS

DTE Gas
17150 Allen Rd.
Melvindale, MI 48122
(800) 338-0178

For protection of underground utilities, the contractor shall notify the Miss Dig Utility Location Service a minimum of 72 hours prior to excavation.

The improvements covered by these plans shall be done in accordance with the City of Saline's standards and supplemental specifications.

SITE INFORMATION

CURRENT ZONING: RC – Regional Corridor, SITE TYPE C, BUILDING TYPE A.2
SITE AREA: GROSS/NET = 143,072 SF/108,535 SF NET – 3.28 AC./ 2.49 AC. NET
EXISTING USE: Car Wash
PROPOSED BUILDING USE: Automatic Car Wash
PROPOSED BUILDING AREA: 4,900 SF – 1 Story

	REQUIRED	PROPOSED
MIN. LOT AREA	24,000 SF	Net 108,535 SF/2.49 Acres
MIN. LOT WIDTH	150'	493'
LOT COVERAGE		4.5%
IMP AREA COVERAGE	80%	4.5%
MAX. BUILDING HEIGHT	14' Min., 1 story	18', 1 story
MAX. BUILDING HEIGHT	30' max., 2 stories	18', 1 story
FRONT BUILD TO LINE (MICHIGAN AVE)	10'	10'
FRONT BUILD TO LINE (ELLSWORTH RD)	10'	83.5'
REAR YARD SETBACK	10'	178'
RESIDENTIAL USE SETBACK	27'	178'

PARKING & LOADING:

Parking Spaces Required:

Vehicle Wash: 1 space for each (1) employee.
3-5 employees

Total Required Parking Spaces: 5 spaces

Parking Spaces Provided:

12 vacuum spaces are provided with 5 employee spaces,
Including 1 barrier-free space

Loading Spaces:

1 Loading Spaces Provided.

Stacking Spaces:

Required: Auto Washes: Entry 8 – Exit 2
Provided: 10+ each

SOILS INFORMATION:

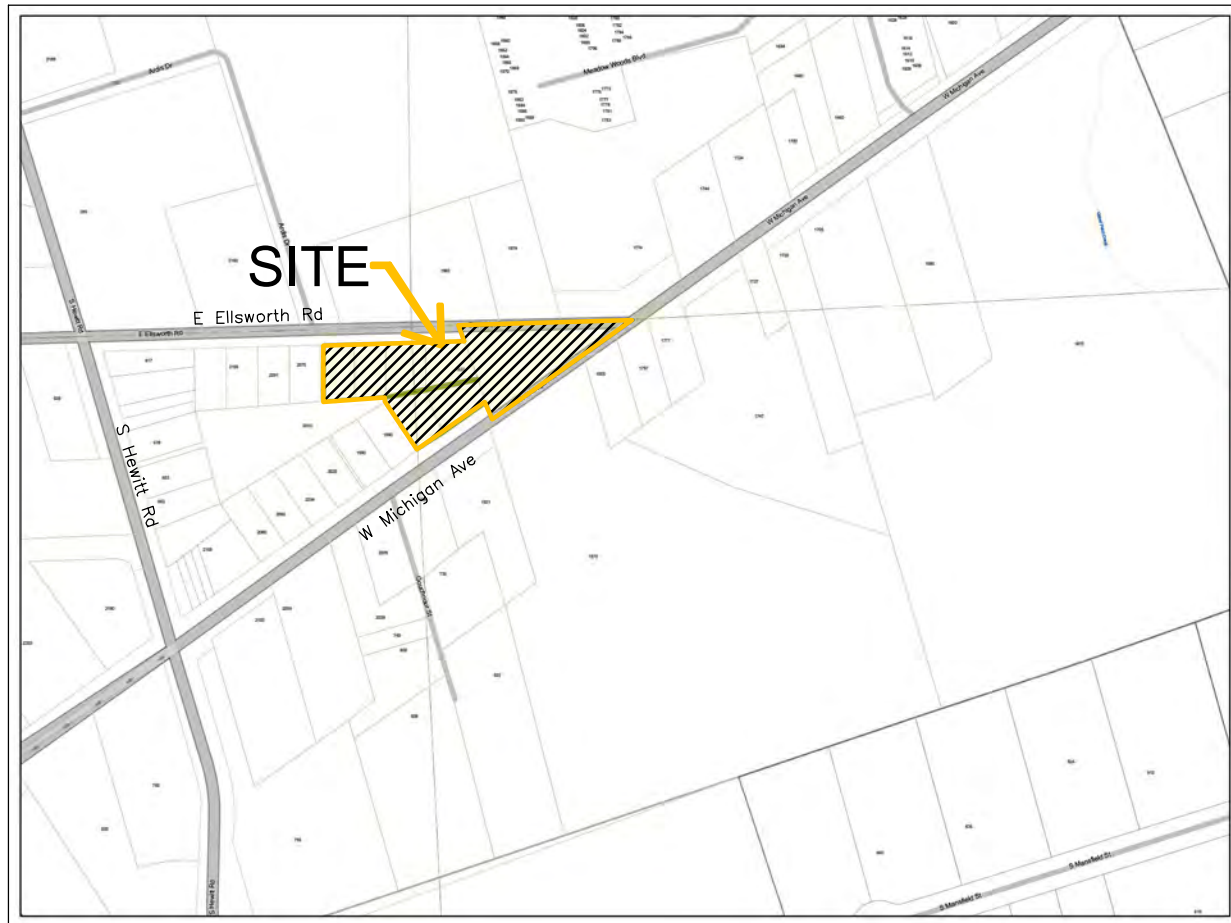
MoC Morley loam, 6 to 12 percent slopes Soil Group C
StB St Clair clay loam, 2 to 6 percent slopes Group D

NATURAL FEATURES:

The site is contains an existing car wash facility with paving utilities landscape and detention which shall be removed for the new development. Trees along western property lines shall be maintained to the extent possible for construction.

SANITARY SEWER BASIS OF DESIGN

THE AVERAGE FLOW RATE DURING HOURS OF OPERATION IS 0.025 CFS WITH A PEAK RATE OF 0.065 CFS. ESTIMATED AT 5000 GPD



LOCATION MAP

SCALE: 1" = 500'-0"

GENERAL INFORMATION

PROPERTY LOCATION:

1822 W Michigan Ave
Ypsilanti, Michigan 48197

DEVELOPER/OWNER:

Zippy Real Estate, LLC
P.O. Box 550
Saline, Michigan 48176
734-904-3869

SITE PLANNER/ENGINEER/CONTRACTOR:

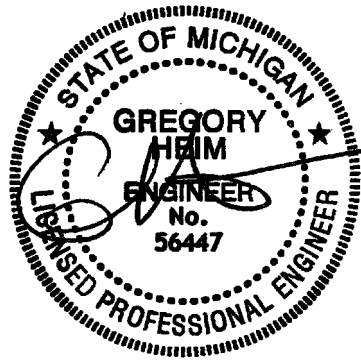
Vanston/O'Brien, Inc.
8150 Jackson Road, Ste. A
Ann Arbor, MI 48103
(734) 424-0661

DRAWING INDEX:

C-1	TITLE SHEET
C-2	EXISTING CONDITIONS PLAN
C-3	SITE PLAN
C-4	GRADING PLAN
C-5	DRAINAGE & SESC PLAN
C-6	LANDSCAPE PLAN
C-7	LIGHTING PLAN
C-8	DETAIL SHEET
C-9	STORM WATER CALCULATIONS
C-10	ADS STORMTECH DETAILS

A-1	FLOOR PLAN & ELEVATIONS
A-2	SITE & BUILDING RENDERING

BOUNDARY & TOPOLOGICAL
SURVEY (by others)



DESIGNERS
Vanston/O'Brien, Inc.
BUILDERS

8150 Jackson Road, Ste. A
Ann Arbor, MI 48103
Tel: (734) 424-0661
Fax: (734) 424-0677
e-mail: dsig@vanston.com • www.vanston.com

Zippy Auto Wash
1822 W Michigan Ave
Ypsilanti Township, Michigan

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ISSUED FOR: DATE:
PRELIMINARY 6-2-25

DRAWN BY: GAH

JOB NO.: ---

TITLE SHEET

SHEET NO.

C-1



Tree #	Botanical Name	Common Name	DBH	Other Dia	Condition	Notes
704	Populus deltoides	Eastern Cottonwood	9	8	Fair	Twin
705	Populus deltoides	Eastern Cottonwood	10	9.5	Fair	Twin
706	Acer platanoides	Norway Maple	8		Good	
707	Ulmus thomasii	Rock Elm	7	4.5	Fair	Twin
708	Ulmus thomasii	Rock Elm	8		Good	
709	Juglans nigra	Black Walnut	18		Good	
710	Rubinia pseudoacacia	Black Locust	8		Fair	
711	Rubinia pseudoacacia	Black Locust	8		Fair	
712	Rubinia pseudoacacia	Black Locust	9		Good	
713	Prunus serotina	Black Cherry	8		Fair	
714	Acer rubrum	Red Maple	8		Good	
715	Populus deltoides	Eastern Cottonwood	13		Good	
716	Rubinia pseudoacacia	Black Locust	8		Fair	
717	Populus deltoides	Eastern Cottonwood	15		Fair	
718	Populus deltoides	Eastern Cottonwood	12		Fair	
719	Populus deltoides	Eastern Cottonwood	10		Fair	
720	Populus deltoides	Eastern Cottonwood	13		Fair	
721	Acer platanoides	Norway Maple	24		Fair	Leaning
722	Populus deltoides	Eastern Cottonwood	10		Fair	
723	Populus deltoides	Eastern Cottonwood	18	17	Fair	13; 14 quad
724	Geditsia triacanthos	Honeylocust	15		Good	
725	Geditsia triacanthos	Honeylocust	17		Good	
726	Geditsia triacanthos	Honeylocust	14	8	Fair	
727	Geditsia triacanthos	Honeylocust	13		Good	



SCALE: 1" = 30'-0"



LEGEND					
	PROPERTY LINE		EXISTING LIGHT FIXTURE		EXISTING BUILDING
	SEIBACK CASEMENT		NEW BUILDING MOUNTED LIGHTING		EXISTING ASPHALT PAVING
	PROPOSED STORM		NEW POLE-MOUNTED LIGHT		EXISTING ASPHALT PAVING TO BE REMOVED
	PROPOSED WATER		EXISTING UTILITY POLE		PROPOSED BUILDING
	PROPOSED ELECTRIC		EXISTING CATCH BASIN/MANHOLE		PROPOSED ASPHALT PAVING
	PROPOSED GAS		EXISTING CLEAN OUT		PROPOSED CONCRETE
	PROPOSED SANITARY		NEW SANITARY MANHOLE		
	EXISTING STORM		NEW CATCH BASIN		
	EXISTING WATER		NEW GATE VALVE		
	EXISTING OVERHEAD		EXISTING FIRE HYDRANT		
	EXISTING ELECTRIC		NEW FIRE HYDRANT		
	EXISTING CABLE		EXISTING ELEVATION		
	EXISTING GAS				
	EXISTING SANITARY				
	EXISTING DITCH				
	PROPOSED CONTOUR		PROPOSED ELEVATION		
	LINE OF SILT FENCE		GRADING BOUNDARY		
	DRAINAGE AREA				

DESIGNERS
Vanston/O'Brien, Inc.
BUILDERS

150 Jackson Road, Ste. A Tel: (734) 424-0661
Ann Arbor, MI 48103 Fax: (734) 424-0677
E-mail: design@vanston.com • www.vanston.com

Zippy Auto Wash
1822 W Michigan Ave
Ypsilanti Township, Michigan

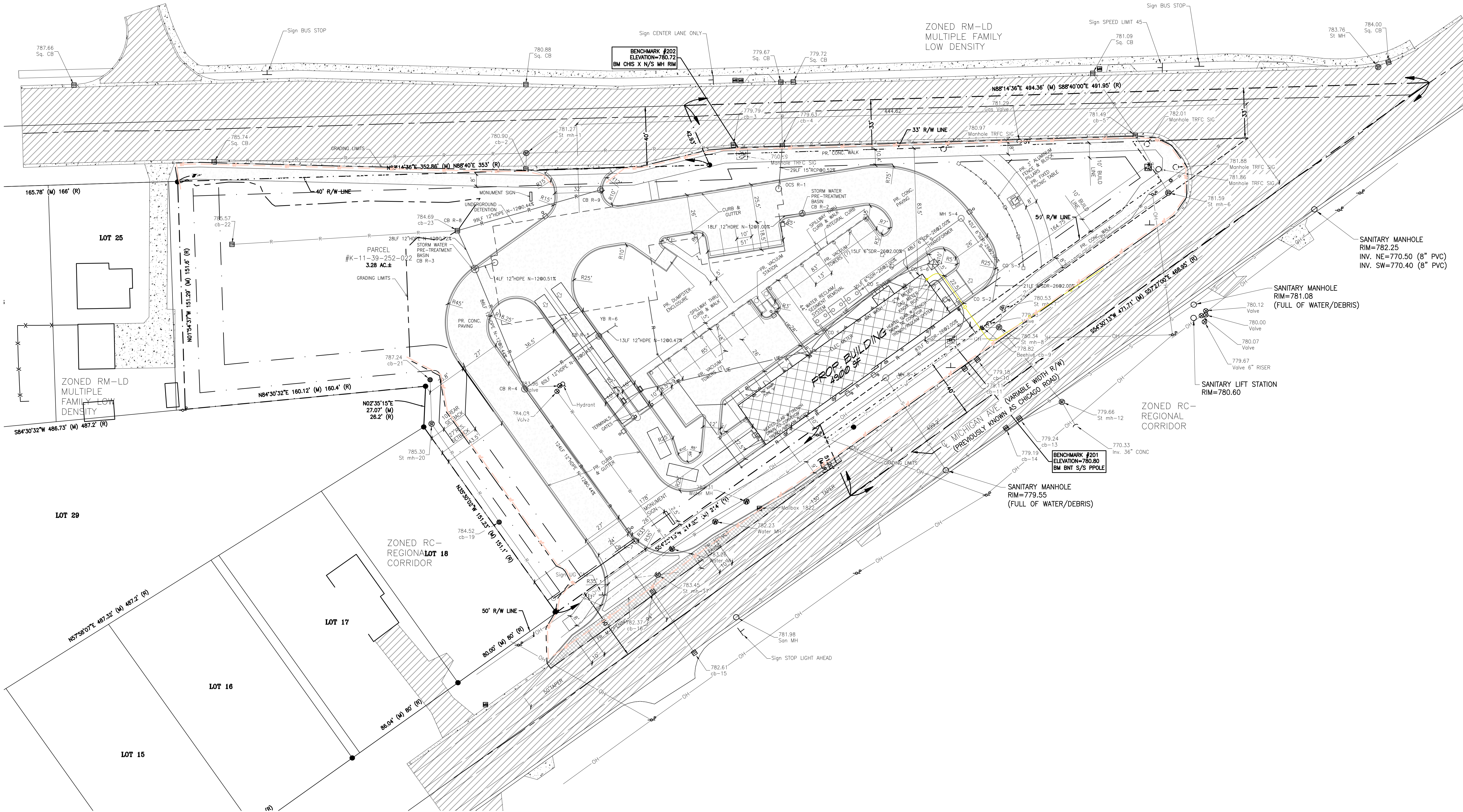
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ISSUED FOR:	DATE:
PRELIMINARY	6-2-2

DRAWN BY: GAH
JOB NO.: ---

EXISTING
CONDITIONS PLAN

SHEET NO.
C-2



SITE PLAN

SCALE: 1" = 30'-0"

LEGEND

	PROPERTY LINE		EXISTING LIGHT FIXTURE		EXISTING BUILDING
	SETBACK		NEW BUILDING MOUNTED LIGHTING		EXISTING ASPHALT PAVING
	EASEMENT		NEW POLE-MOUNTED LIGHT		EXISTING ASPHALT PAVING TO BE REMOVED
	PROPOSED STORM		EXISTING UTILITY POLE		PROPOSED BUILDING
	PROPOSED WATER		EXISTING CATCH BASIN/MANHOLE		PROPOSED ASPHALT PAVING
	PROPOSED ELECTRIC		EXISTING CLEAN OUT		PROPOSED CONCRETE
	PROPOSED GAS		NEW SANITARY MANHOLE		
	PROPOSED SANITARY		NEW CATCH BASIN		
	EXISTING STORM		NEW GATE VALVE		
	EXISTING WATER		EXISTING FIRE HYDRANT		
	EXISTING OVERHEAD		NEW FIRE HYDRANT		
	EXISTING ELECTRIC		EXISTING ELEVATION		
	EXISTING CABLE		PROPOSED ELEVATION		
	EXISTING GAS				
	EXISTING SANITARY				
	EXISTING DITCH				
	EXISTING CONTOUR				
	PROPOSED CONTOUR				
	LINE OF SILT FENCE				
	DRAINAGE AREA				

ZIPPY AUTO WASH

Vanston/O'Brien, Inc.
DESIGNERS
BUILDERS

8150 Jackson Road, Ste. A
Ann Arbor, MI 48103
Tel: (734) 424-0661
Fax: (734) 424-0677
e-mail: dsig@vanston.com • www.vanston.com

Zippy Auto Wash
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Ypsilanti Township, Michigan

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ISSUED FOR: DATE:
PRELIMINARY 6-2-25

DRAWN BY: GAH
JOB NO.: ---

SITE PLAN

SHEET NO.
C-3



SCALE: 1" = 30'-0"

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ISSUED FOR: DATE:
PRELIMINARY 6-2-25

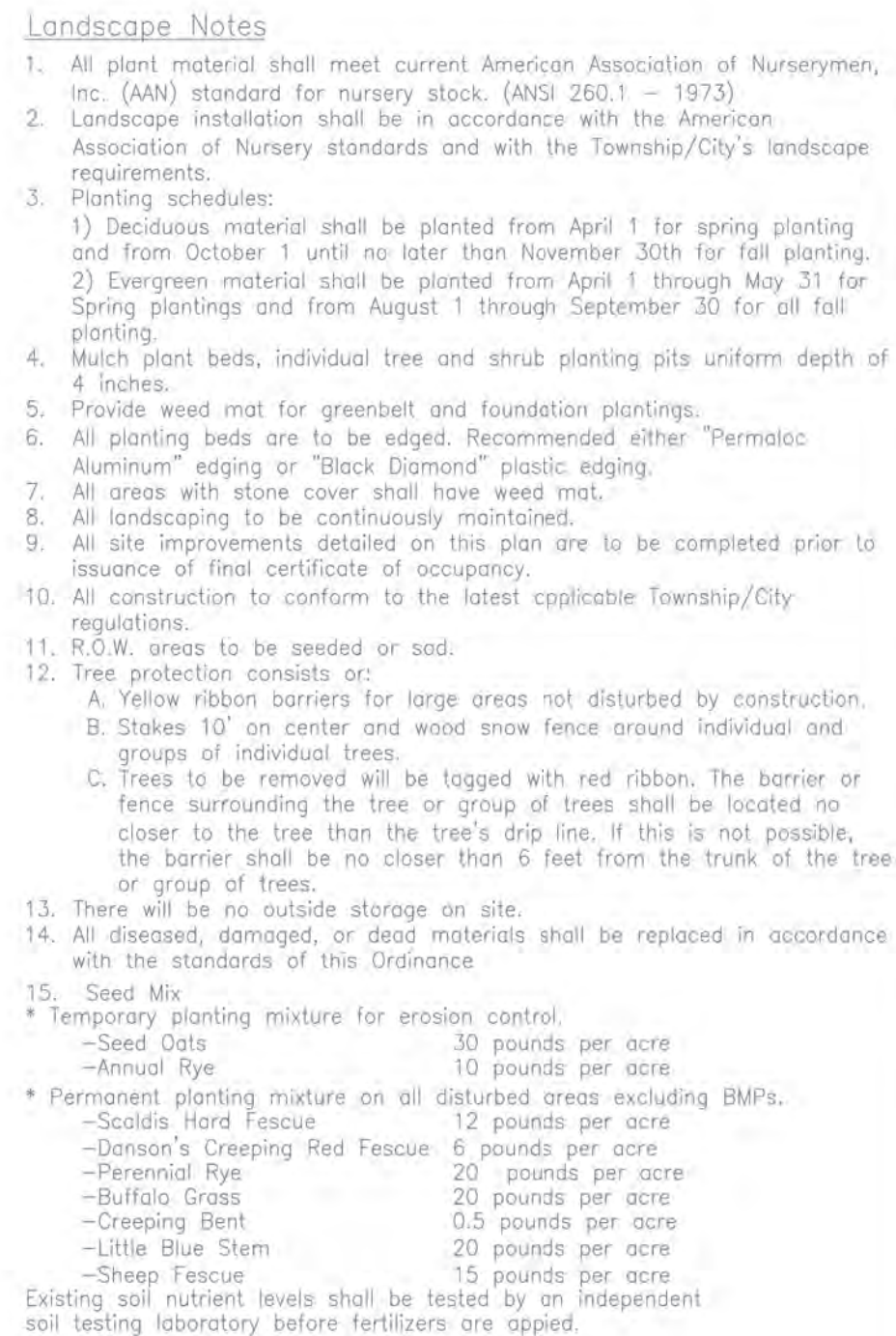
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JOB NO.: ---

GRADING PLAN

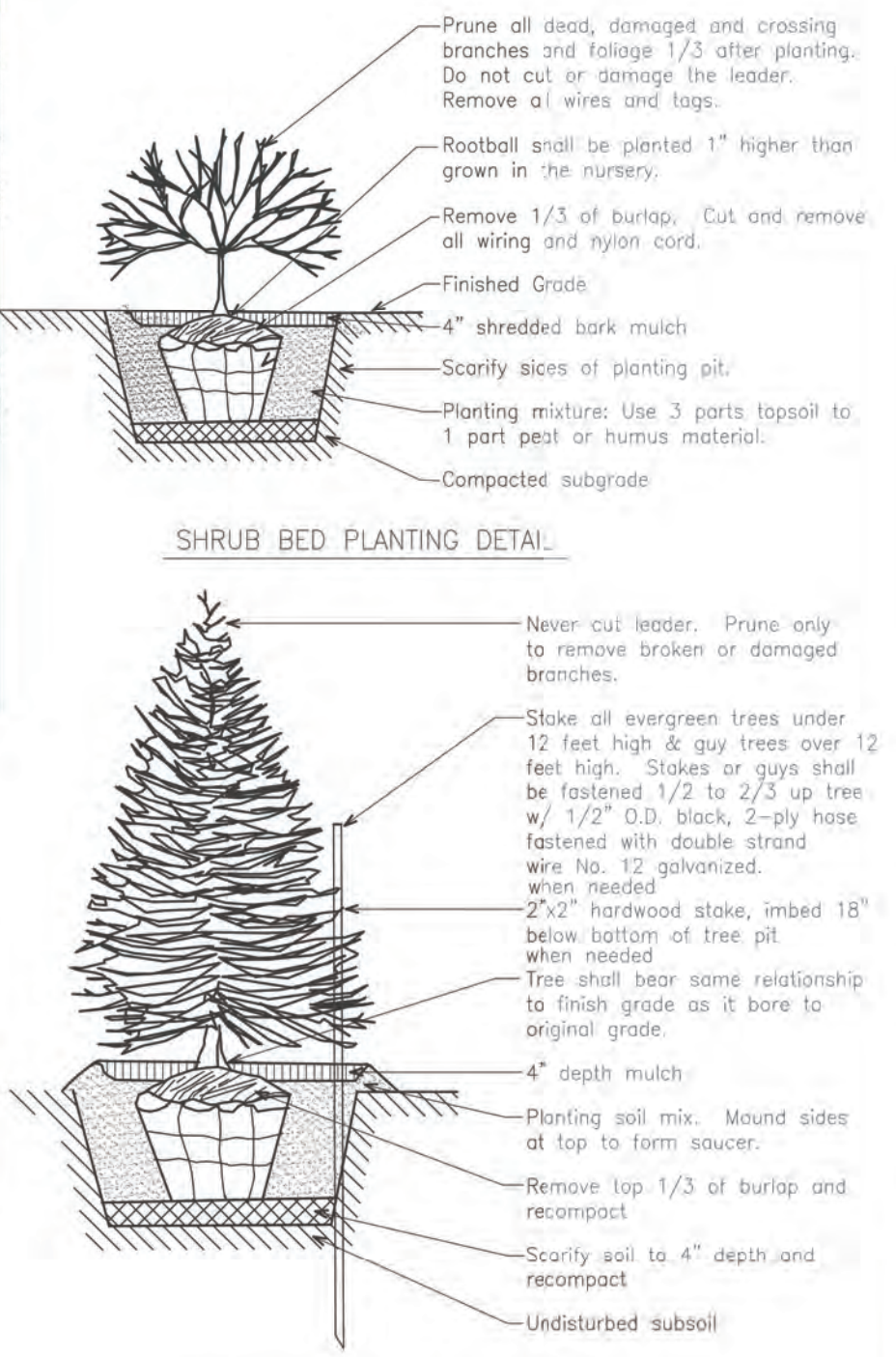
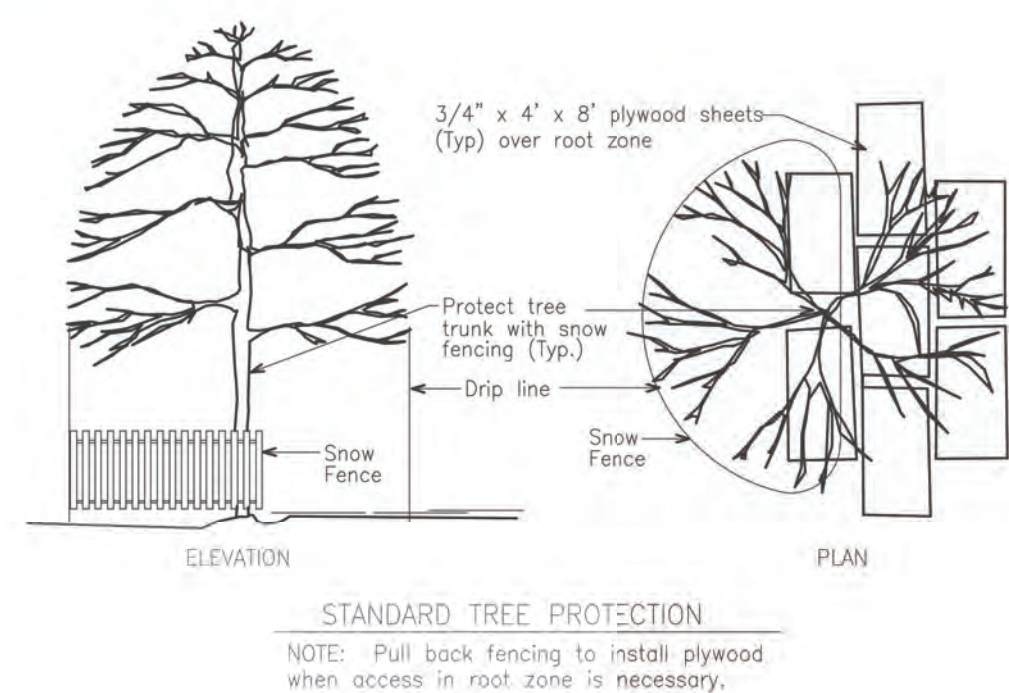
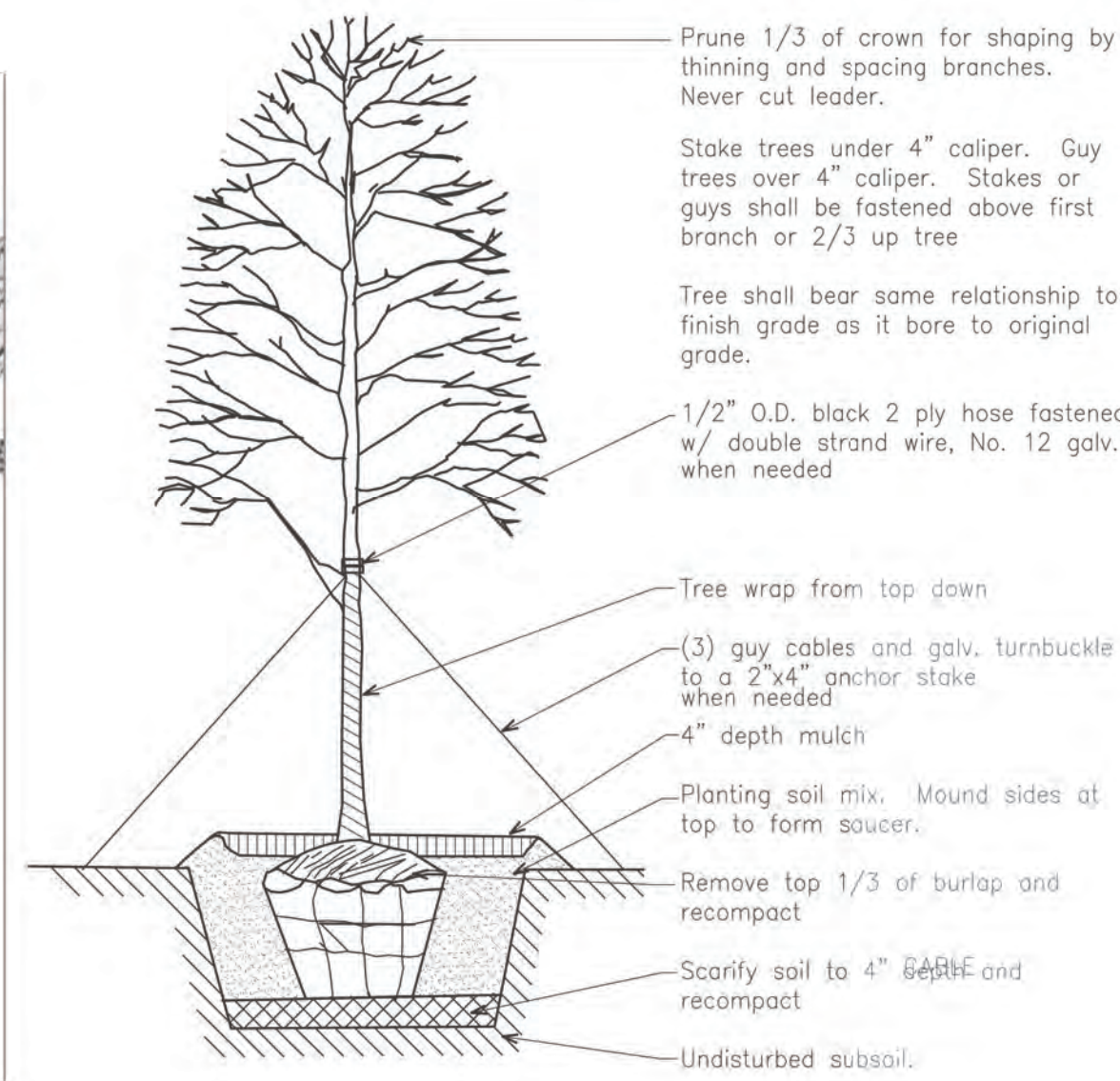
SHEET NO.

C-4

Zippy Auto Wash
1822 W Michigan Ave
Ypsilanti Township, Michigan



LANDSCAPE REQUIREMENT CHART				Total
		Required	Proposed	Provided
STREET YARD LANDSCAPING				
Street frontage	1038			
1 Canopy Tree per 40 lineal feet		26	26	26
1 Ornamental Tree per 100 lineal feet		11	11	11
1 Shrub per 10 lineal feet		104	104	104
PARKING LOT LANDSCAPING				
Paved driveway and parking lot surface	33,378 s.f.			
1 Tree per 2,000 square feet		17	17	17
SITE LANDSCAPING				
1 Tree per 1,000 square feet of lawn area	16,781 s.f.	17	17	17
1 Shrub per 500 square feet of lawn area		34	34	34
SCREENING BETWEEN LAND USES (Screen 2)		152 lf.		
1 Large Evergreen per 10 lineal foot		16	16	16
ENTRANCE SIGN LANDSCAPING	See Plans			
DUMPSTER SCREENING LANDSCAPING	See Plans			



LANDSCAPE PLAN

SCALE: 1" = 30'-0"

SCALE: 1" = 30'-0"



DESIGNERS
Vanston/O'Brien, Inc.
BUILDERS

8150 Jackson Road, Ste. A
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Zippy Auto Wash
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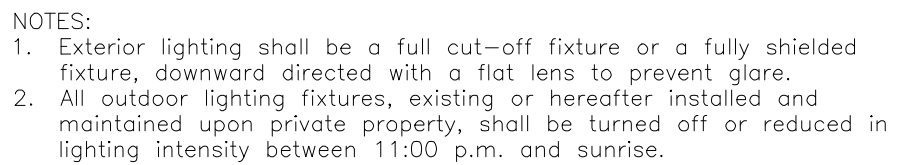
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ISSUED FOR:	DATE:
PRELIMINARY	5-1-25

DRAWN BY: GAH
JOB NO.: ---
~~LANDSCAPE PLAN~~




SHEET NO.

C-6



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
SITE CALCULATIONS	+	0.7 fc	9.3 fc	0.0 fc	N/A	N/A

Luninaire Locations										
Location								Ain		
No.	Label	X	Y	Z	MH	Orientation	Tilt	X	Y	Z
1	A	142.40	199.84	22.00	22.00	145.52	0.00	143.14	198.76	0.00
4	A	42.19	118.44	22.00	22.00	53.23	0.00	43.24	119.23	0.00
5	A	50.33	56.47	22.00	22.00	233.23	0.00	49.28	55.69	0.00
6	A	153.20	258.03	22.00	22.00	262.29	0.00	151.90	257.85	0.00
7	A	273.80	270.54	22.00	22.00	234.17	0.00	272.75	269.78	0.00
8	A	-9.03	265.45	22.00	22.00	143.97	0.00	-8.26	264.40	0.00
1	B	133.68	191.13	14.00	14.00	234.80	0.00	133.58	190.96	0.00
2	B	191.77	147.51	14.00	14.00	144.57	0.00	191.84	147.01	0.00
3	B	205.81	147.51	14.00	14.00	144.57	0.00	205.97	146.99	0.00
4	B	255.81	206.20	14.00	14.00	54.57	0.00	255.91	206.27	0.00
1	C	231.03	217.37	12.00	12.00	0.00	0.00	231.03	217.37	0.00
2	C	246.13	186.46	12.00	12.00	0.00	0.00	246.13	186.46	0.00
3	C	209.52	201.92	12.00	12.00	0.00	0.00	209.52	201.92	0.00
4	C	191.78	189.26	12.00	12.00	0.00	0.00	191.78	189.26	0.00
5	C	169.05	173.00	12.00	12.00	0.00	0.00	169.05	173.00	0.00
6	C	229.32	174.50	12.00	12.00	0.00	0.00	229.32	174.50	0.00
7	C	171.25	172.79	12.00	12.00	0.00	0.00	172.25	133.79	0.00
8	C	155.62	121.78	12.00	12.00	0.00	0.00	155.62	121.78	0.00
9	C	134.78	148.47	12.00	12.00	0.00	0.00	134.78	148.47	0.00
10	C	151.35	160.36	12.00	12.00	0.00	0.00	151.35	160.36	0.00

Schedule									
Symbol	Label	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
	A	6	RSX2 LED P4 40K R3S	RSX Area Luminaire Size 2 P4 Lumens Package 4000K CCT Type R3S Distribution		1	25668	0.82	189,539.2
	B	4	DSXW1 LED 20C 1000 40K T4M MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T4M OPTIC, 4000K, ● 1000mA		1	7420	0.82	73.2
	C	10	6BPMW HL LED	6" 3000K CCT, 950 Lumens 120v Matte White LED Module, 80CRI	3000K LED	1	944	0.82	15.26






LIGHTING PLAN

SCALE: 1" = 30'-0"

LEGEND


	PROPERTY LINE		EXISTING BUILDING
	SETBACK		EXISTING ASPHALT PAVING
	EASEMENT		EXISTING ASPHALT PAVING TO BE REMOVED
	PROPOSED STORM		PROPOSED BUILDING
	PROPOSED WATER		PROPOSED ASPHALT PAVING
	PROPOSED ELECTRIC		PROPOSED CONCRETE
	PROPOSED GAS		
	PROPOSED SANITARY		
	EXISTING STORM		
	EXISTING WATER		
	EXISTING OVERHEAD		
	EXISTING ELECTRIC		
	EXISTING CABLE		
	EXISTING GAS		
	EXISTING SANITARY		
	EXISTING DITCH		
	EXISTING CONTOUR		
	PROPOSED CONTOUR		
	LINE OF SILT FENCE		
	BRIDGE AREA		
	EXISTING LIGHT FIXTURE		
	NEW BUILDING MOUNTED LIGHTING		
	NEW POLE-MOUNTED LIGHT		
	EXISTING UTILITY POLE		
	EXISTING CATCH BASIN/MANHOLE		
	EXISTING CLEAN OUT		
	NEW SANITARY MANHOLE		
	NEW CATCH BASIN		
	NEW GATE VALVE		
	EXISTING FIRE HYDRANT		
	NEW FIRE HYDRANT		
	EXISTING ELEVATION		
	PROPOSED ELEVATION		
	GRADING BOUNDARY		

[illegible]

Schedule			
Symbol	Label	QTY	Catalog Number
	A	6	RSX2 LED P4 P4K R3
B 	B	4	DSXW1 LED 20C 1000 40K T4M MVOLT
	C	10	6BPMW HL LED




















Item	Description	Quantity	Unit	Price	Total
1	C 231.03 217.37 12.00 12.00 0.00 0.00	231.03	217.37	12.00	12.00
2	C 246.13 186.46 12.00 12.00 0.00 0.00	246.13	186.46	12.00	12.00
3	C 209.52 201.92 12.00 12.00 0.00 0.00	209.52	201.92	12.00	12.00
4	C 191.78 189.26 12.00 12.00 0.00 0.00	191.78	189.26	12.00	12.00
5	C 169.05 173.00 12.00 12.00 0.00 0.00	169.05	173.00	12.00	12.00
6	C 229.32 174.50 12.00 12.00 0.00 0.00	229.32	174.50	12.00	12.00
7	C 172.35 133.79 12.00 12.00 0.00 0.00	172.35	133.79	12.00	12.00
8	C 155.62 121.78 12.00 12.00 0.00 0.00	155.62	121.78	12.00	12.00
9	C 134.78 148.47 12.00 12.00 0.00 0.00	134.78	148.47	12.00	12.00
10	C 151.35 160.36 12.00 12.00 0.00 0.00	151.35	160.36	12.00	12.00

Description	Item	Number Lamps	Lumens per Lamp	LLF	Wattage
Area Luminaire Size 2' P4 Lumens Package 4000K CCT Type R35 Distribution		1	25668	0.82	189,539.2
LED WITH (2) 10 LED LIGHT SOURCES TYPE T4M OPTIC, 4000K, 0.00mA		1	7420	0.82	73.2
3000K CCT, 950 Lumens 120v Matte LED Module, 80CRI	3000K LED	1	944	0.82	15.26




LIGHTING PLAN

SCALE: 1" = 30'-0"

            	<div style="margin-bottom: 10px;">EXISTING LIGHT FIXTURE</div> <div style="margin-bottom: 10px;">NEW BUILDING MOUNTED LIGHTING</div> <div style="margin-bottom: 10px;">NEW POLE-MOUNTED LIGHT</div> <div style="margin-bottom: 10px;">EXISTING UTILITY POLE</div> <div style="margin-bottom: 10px;">EXISTING CATCH BASIN/MANHOLE</div> <div style="margin-bottom: 10px;">EXISTING CLEAN OUT</div> <div style="margin-bottom: 10px;">NEW SANITARY MANHOLE</div> <div style="margin-bottom: 10px;">NEW CATCH BASIN</div> <div style="margin-bottom: 10px;">NEW GATE VALVE</div> <div style="margin-bottom: 10px;">EXISTING FIRE HYDRANT</div> <div style="margin-bottom: 10px;">NEW FIRE HYDRANT</div> <div style="margin-bottom: 10px;">EXISTING ELEVATION</div> <div style="margin-bottom: 10px;">PROPOSED ELEVATION</div>	 EXISTING BUILDING  EXISTING ASPHALT PAVING  EXISTING ASPHALT PAVING TO BE REMOVED  PROPOSED BUILDING  PROPOSED ASPHALT PAVING  PROPOSED CONCRETE
---	--	--

+910.71

1/4" = 62.5'



DESIGNERS
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BUILDERS

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Zippy Auto Wash
1822 W Michigan Ave
Ypsilanti Township, Michigan

DRAWN BY: GAH
 JOB NO.: ---
 LIGHTING PLAN
 SHEET NO.
 C-7

SCALE: NONE

NO SCALE

SG4/F: NONE

NO SCALE

NO SCALE

SCALE: NONE

SCALE: NONE

BARRIER-FREE PARKING SIGN

NO SCALE

NO SCALE

SCALE: NONE

NO SCALE

NO SCALE

NO SCALE

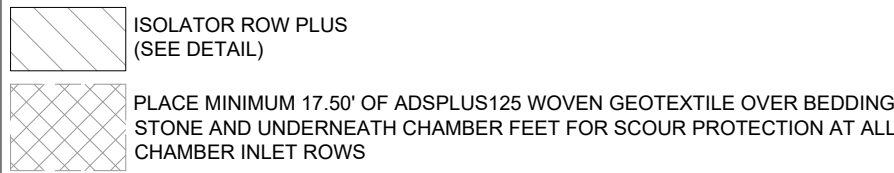
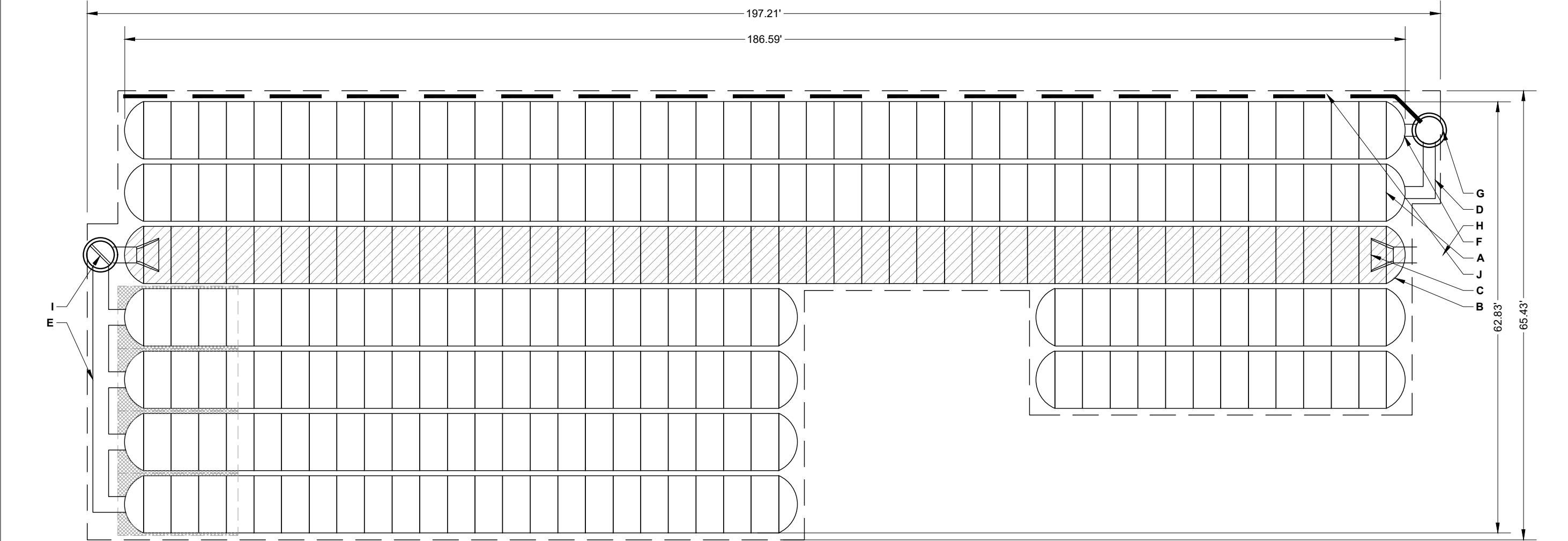
SECTION THROUGH CURB OPENING
(TYPICAL ALL RAMP TYPES)

SIDEWALK RAMP TYPE 1
(PARALLEL RAMP)

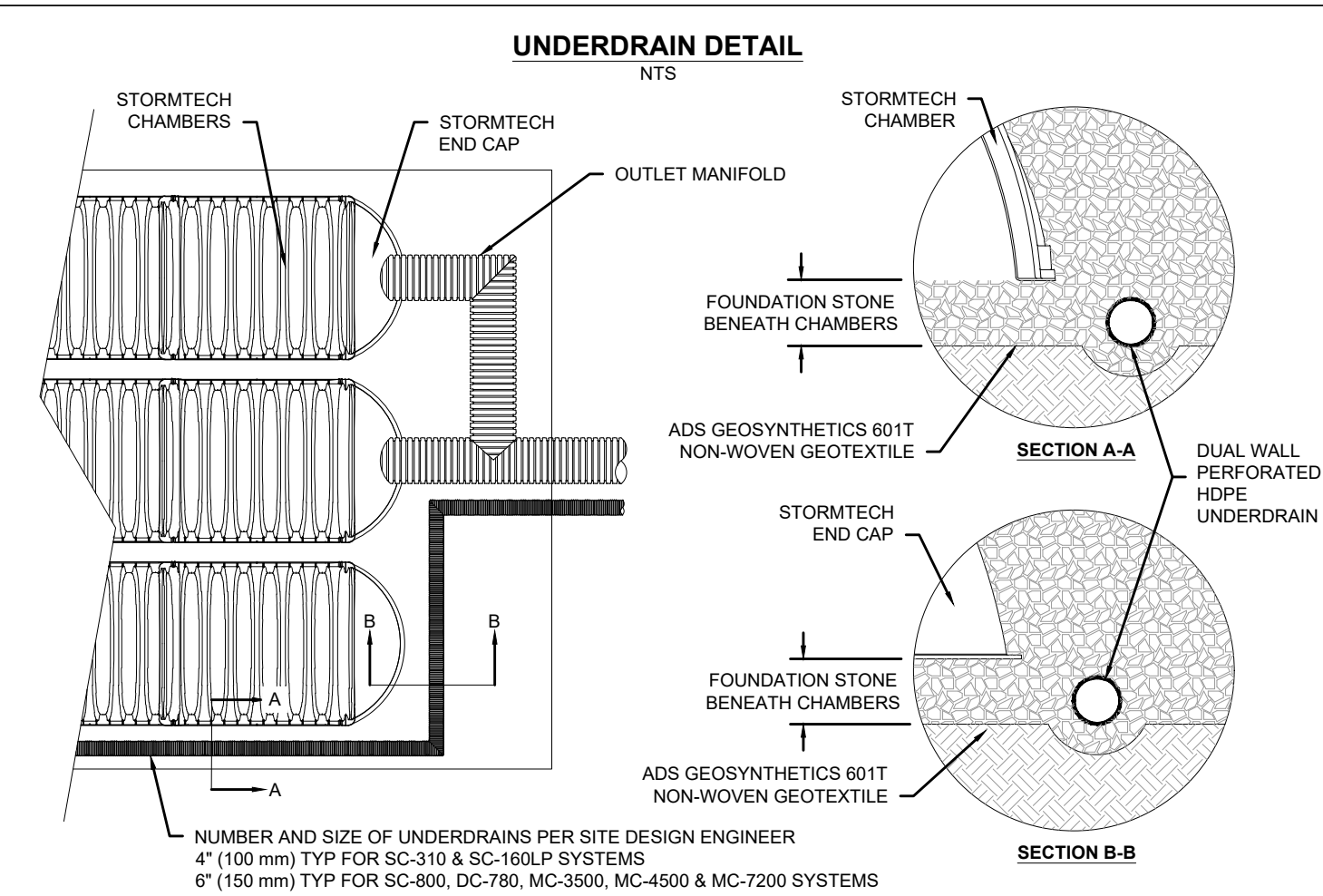
STONE RIP-RAP

NO PARKING - FIRE LANE

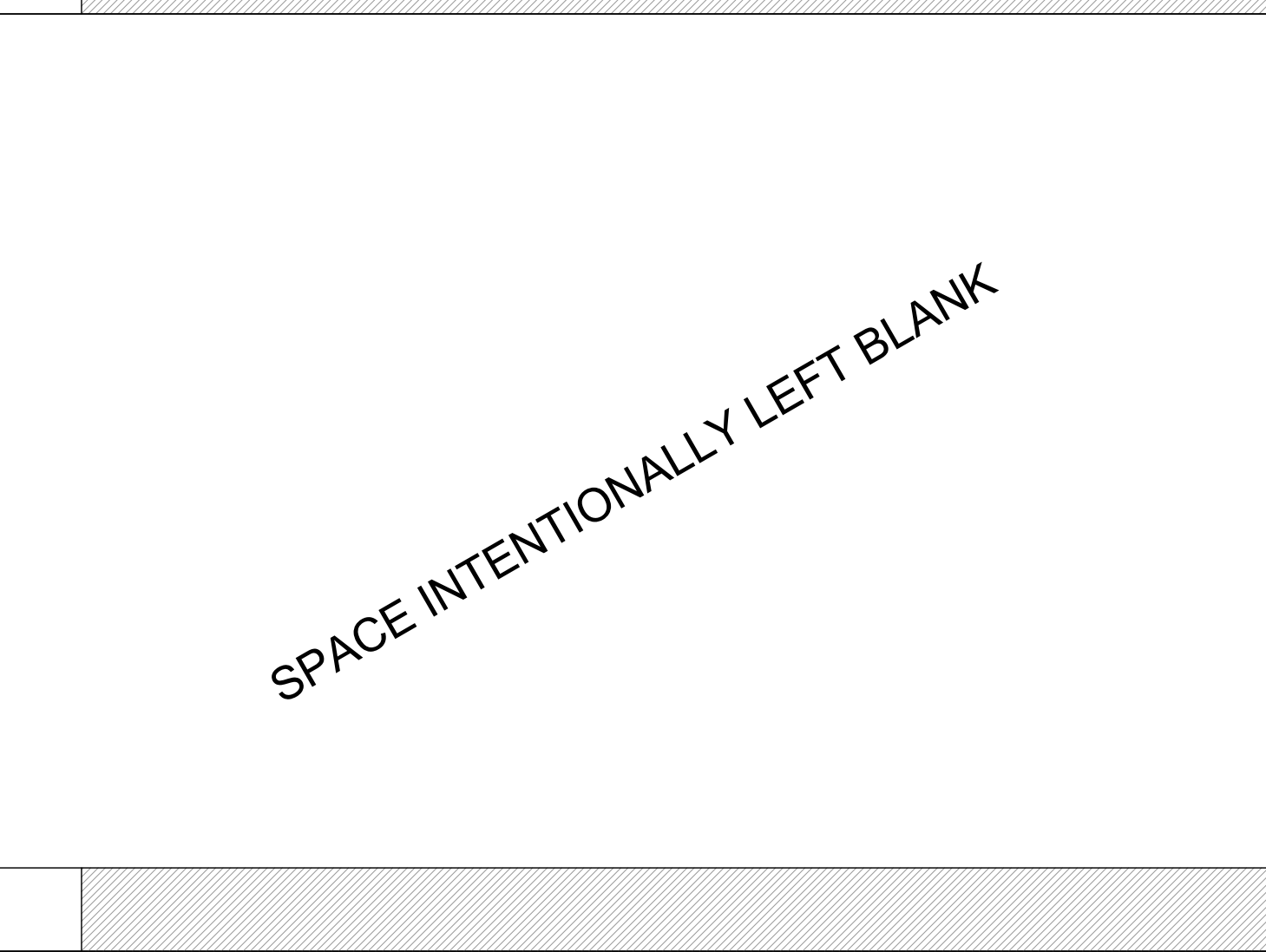
PROPOSED LAYOUT			PROPOSED ELEVATIONS			PART TYPE			ITEM ON LAYOUT			DESCRIPTION			*INVERT ABOVE BASE OF CHAMBER		
251	STORMTECH MC-4500 CHAMBERS	MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT UNPAVED):	786.50	PREFABRICATED END CAP	A	15" TOP PARTIAL CUT END CAP, PART#: MC4500IEPP15T / TYP OF ALL 15" TOP CONNECTIONS	32.72"										
18	STORMTECH MC-4500 END CAPS	MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC):	782.00	PREFABRICATED END CAP	B	24" BOTTOM PARTIAL CUT END CAP, PART#: MC4500IEPP24B / TYP OF ALL 24" BOTTOM CONNECTIONS AND ISOLATOR PLUS ROWS	2.20"										
12	STONE ABOVE (in)	MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC):	781.50	PREFABRICATED END CAP													
9	STONE BELOW (in)	MINIMUM ALLOWABLE GRADE (TOP OF RIGID CONCRETE PAVEMENT):	781.50	PREFABRICATED END CAP													
30	STONE VOID	MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT):	781.50	PREFABRICATED END CAP													
40408	INSTALLED SYSTEM VOLUME (CF) (PERIMETER STONE INCLUDED) (COVER STONE INCLUDED) (BASE STONE INCLUDED)	TOP OF STONE	779.50														
10245	SYSTEM AREA (SF)	TOP OF MC-4500 CHAMBER	777.23	FLAMP	E	15" x 15" TOP MANIFOLD, ADS N-12	32.72"										
423.1	SYSTEM PERIMETER (ft)	15" x 15" BOTTOM MANIFOLD INVERT:	774.64	MANIFOLD	F	15" x 15" BOTTOM MANIFOLD, ADS N-12	1.70"										
		15" BOTTOM CONNECTION INVERT:	774.64	PIPE CONNECTION	G	15" BOTTOM CONNECTION	1.70"										
		BOTTOM OF MC-4500 CHAMBER:	774.50	CONCRETE STRUCTURE	H	(DESIGN BY ENGINEER / PROVIDED BY OTHERS)											
		UNDERDRAIN INVERT:	773.75	CONCRETE STRUCTURE	I	QCS (DESIGN BY ENGINEER / PROVIDED BY OTHERS)											
		BOTTOM OF STONE:	773.75	UNDERDRAIN	J	6" ADS N-12 DUAL WALL PERFORATED HDPE UNDERDRAIN											



- NOTES**
- THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.
 - NOT FOR CONSTRUCTION:** THIS LAYOUT IS FOR DIMENSIONAL PURPOSES ONLY TO PROVE CONCEPT & THE REQUIRED STORAGE VOLUME CAN BE ACHIEVED ON SITE.



4 UNDERDRAIN DETAIL

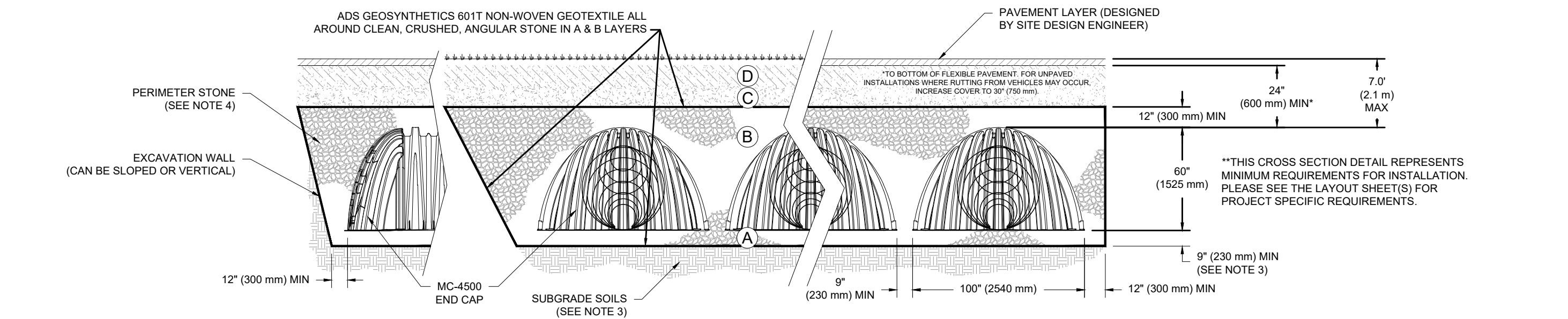


MC-4500 TECHNICAL SPECIFICATION																																																																																			
NTS																																																																																			
NOMINAL CHAMBER SPECIFICATIONS SIZE (W X H X INSTALLED LENGTH) CHAMBER STORAGE MINIMUM INSTALLED STORAGE* WEIGHT (NOMINAL)																																																																																			
100.0" X 60.0" X 48.3" (2540 mm X 1524 mm X 1227 mm) 106.5 CUBIC FEET (3.01 m³) 162.8 CUBIC FEET (4.60 m³) 125.0 lbs (56.7 kg)																																																																																			
NOMINAL END CAP SPECIFICATIONS SIZE (W X H X INSTALLED LENGTH) END CAP STORAGE MINIMUM INSTALLED STORAGE* WEIGHT (NOMINAL)																																																																																			
90.0" X 61.0" X 32.8" (2286 mm X 1549 mm X 833 mm) 39.5 CUBIC FEET (1.12 m³) 115.3 CUBIC FEET (3.26 m³) 60.8 lbs (27.6 kg)																																																																																			
*ASSUMES 12" (305 mm) STONE ABOVE, 9" (229 mm) STONE FOUNDATION AND BETWEEN CHAMBERS, 12" (305 mm) STONE PERIMETER IN FRONT OF END CAPS AND 40% STONE POROSITY.																																																																																			
PARTIAL CUT HOLES AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B" PARTIAL CUT HOLES AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T" END CAPS WITH A PREFABRICATED WELDED STUB END WITH "W"																																																																																			
<table><thead><tr><th>PART #</th><th>STUB</th><th>B</th><th>C</th></tr></thead><tbody><tr><td>MC4500IEPP06T</td><td>6" (150 mm)</td><td>42.54" (1081 mm)</td><td>---</td></tr><tr><td>MC4500IEPP08B</td><td>---</td><td>40.50" (1029 mm)</td><td>0.86" (22 mm)</td></tr><tr><td>MC4500IEPP08T</td><td>8" (200 mm)</td><td>---</td><td>1.01" (26 mm)</td></tr><tr><td>MC4500IEPP08B</td><td>---</td><td>38.37" (975 mm)</td><td>---</td></tr><tr><td>MC4500IEPP10T</td><td>10" (250 mm)</td><td>---</td><td>1.33" (34 mm)</td></tr><tr><td>MC4500IEPP10B</td><td>---</td><td>35.69" (907 mm)</td><td>---</td></tr><tr><td>MC4500IEPP12T</td><td>12" (300 mm)</td><td>---</td><td>1.55" (39 mm)</td></tr><tr><td>MC4500IEPP12B</td><td>---</td><td>32.72" (831 mm)</td><td>---</td></tr><tr><td>MC4500IEPP15T</td><td>15" (375 mm)</td><td>---</td><td>1.70" (43 mm)</td></tr><tr><td>MC4500IEPP15B</td><td>---</td><td>29.36" (746 mm)</td><td>---</td></tr><tr><td>MC4500IEPP18T</td><td>18" (450 mm)</td><td>---</td><td>1.97" (50 mm)</td></tr><tr><td>MC4500IEPP18TW</td><td>---</td><td>23.05" (585 mm)</td><td>---</td></tr><tr><td>MC4500IEPP18B</td><td>---</td><td>---</td><td>2.26" (57 mm)</td></tr><tr><td>MC4500IEPP24T</td><td>24" (600 mm)</td><td>---</td><td>2.95" (75 mm)</td></tr><tr><td>MC4500IEPP24B</td><td>---</td><td>---</td><td>3.25" (83 mm)</td></tr><tr><td>MC4500IEPP24BW</td><td>---</td><td>---</td><td>3.55" (90 mm)</td></tr><tr><td>MC4500IEPP30BW</td><td>---</td><td>---</td><td>---</td></tr><tr><td>MC4500IEPP36BW</td><td>---</td><td>---</td><td>---</td></tr><tr><td>MC4500IEPP42BW</td><td>---</td><td>---</td><td>---</td></tr></tbody></table>				PART #	STUB	B	C	MC4500IEPP06T	6" (150 mm)	42.54" (1081 mm)	---	MC4500IEPP08B	---	40.50" (1029 mm)	0.86" (22 mm)	MC4500IEPP08T	8" (200 mm)	---	1.01" (26 mm)	MC4500IEPP08B	---	38.37" (975 mm)	---	MC4500IEPP10T	10" (250 mm)	---	1.33" (34 mm)	MC4500IEPP10B	---	35.69" (907 mm)	---	MC4500IEPP12T	12" (300 mm)	---	1.55" (39 mm)	MC4500IEPP12B	---	32.72" (831 mm)	---	MC4500IEPP15T	15" (375 mm)	---	1.70" (43 mm)	MC4500IEPP15B	---	29.36" (746 mm)	---	MC4500IEPP18T	18" (450 mm)	---	1.97" (50 mm)	MC4500IEPP18TW	---	23.05" (585 mm)	---	MC4500IEPP18B	---	---	2.26" (57 mm)	MC4500IEPP24T	24" (600 mm)	---	2.95" (75 mm)	MC4500IEPP24B	---	---	3.25" (83 mm)	MC4500IEPP24BW	---	---	3.55" (90 mm)	MC4500IEPP30BW	---	---	---	MC4500IEPP36BW	---	---	---	MC4500IEPP42BW	---	---	---
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NOTE: ALL DIMENSIONS ARE NOMINAL.																																																																																			

ZIPPY YPSI COPY	
YPSILANTI, MI, USA	
DRAWN: GH	DATE: 05/30/2025
CHECKED: N/A	PROJECT #:
REV:	NOT TO SCALE

ACCEPTABLE FILL MATERIALS: STORMTECH MC-4500 CHAMBER SYSTEMS			
MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE ² AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE ² AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE ^{2,3}

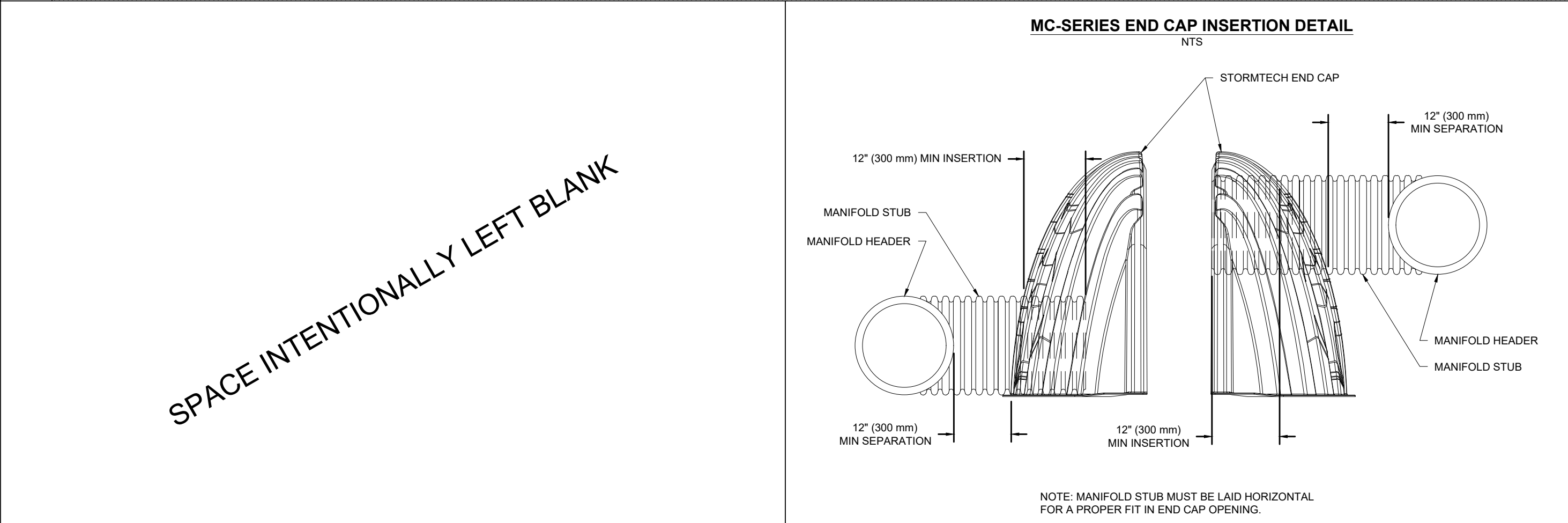
- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERSAGES WITH A VIBRATORY COMPACTOR.
 - WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
 - ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
 - WHERE RECYCLED CONCRETE AGGREGATE IS USED IN LAYERS 'A' OR 'B' THE MATERIAL SHOULD ALSO MEET THE ACCEPTABILITY CRITERIA OUTLINED IN TECHNICAL NOTE 6.20 'RECYCLED CONCRETE STRUCTURAL BACKFILL'.



- NOTES:**
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". CHAMBER CLASSIFICATION 60x101.
 - MC-4500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS. REFERENCE STORMTECH DESIGN MANUAL FOR BEARING CAPACITY GUIDANCE.
 - PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
 - REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 500 LBS/FT², THE ASC IS DEFINED IN SECTION 8.2.8 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

1 MC-4500 CROSS SECTION DETAIL

3 MC-4500 ISOLATOR ROW PLUS DETAIL



5 MC-SERIES END CAP INSERTION DETAIL

1 MC-4500 CROSS SECTION DETAIL

StormTech® Chamber System		4640 TRUEMAN BLVD HILLIARD, OH 43026 1-800-733-7473	
1-800-827-4870 • WWW.STORMTECH.COM		SHEET 1 OF 1	

DESIGNERS

V

anston/O'Brien, Inc.

BUILDERS

8150 Jackson Road, Ste. A

Ann Arbor, MI 48103

e-mail: design@vanston.com • www.vanston.com

Tel: (734) 424-0661

Fax: (734) 424-0677

Zippy Auto Wash

1822 W Michigan Ave

Ypsilanti Township, Michigan

DRAWN BY: GAH

JOB NO.: ---

DETAIL SHEET

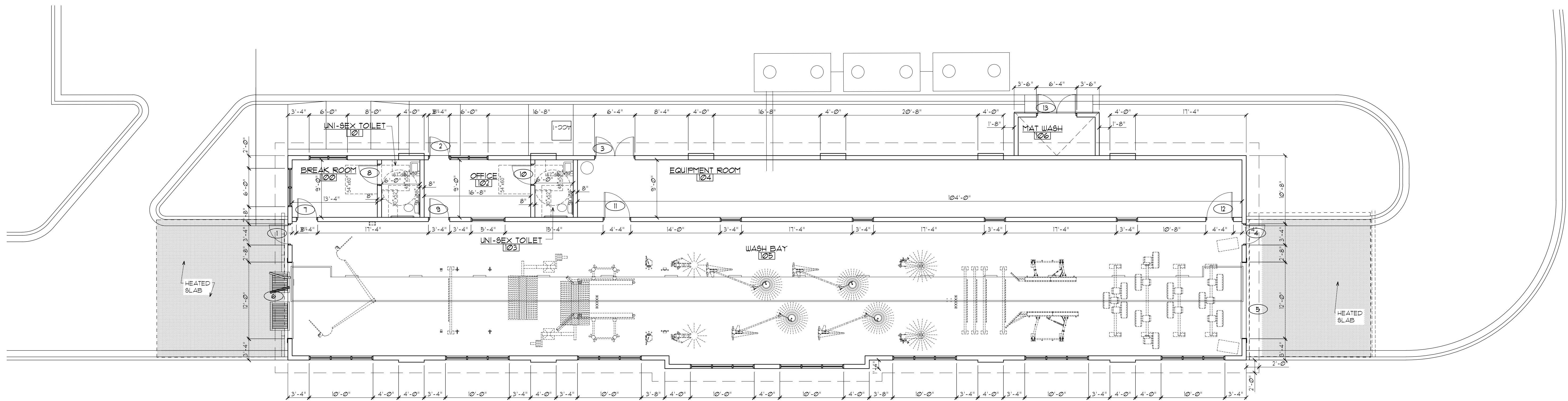
SHEET NO.

C-10

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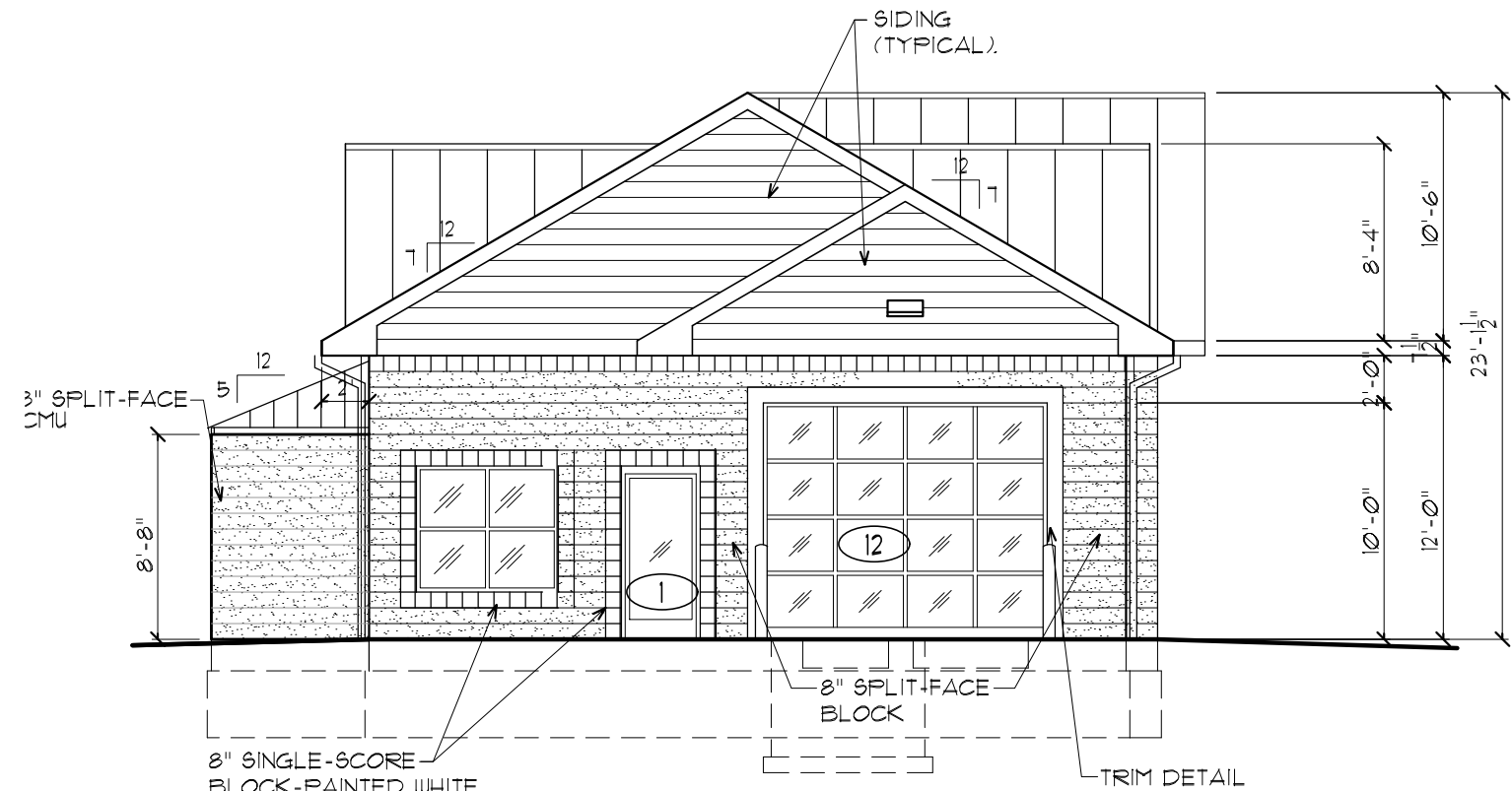
ISSUED FOR: PRELIMINARY

DATE: 6-2-25



FLOOR PLAN

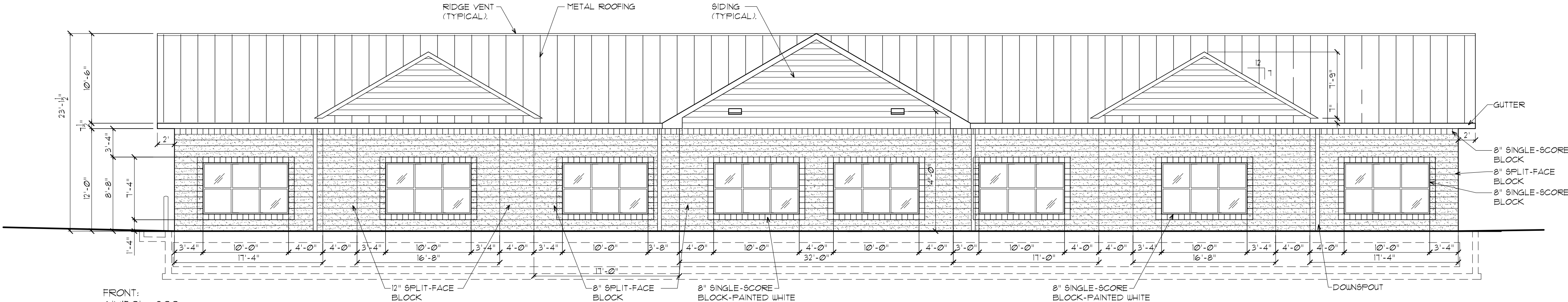
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SIDE: 6'x40' = 240
130% = 12 SQFT
32'x12' +15' = 119 OK

WEST ELEVATION

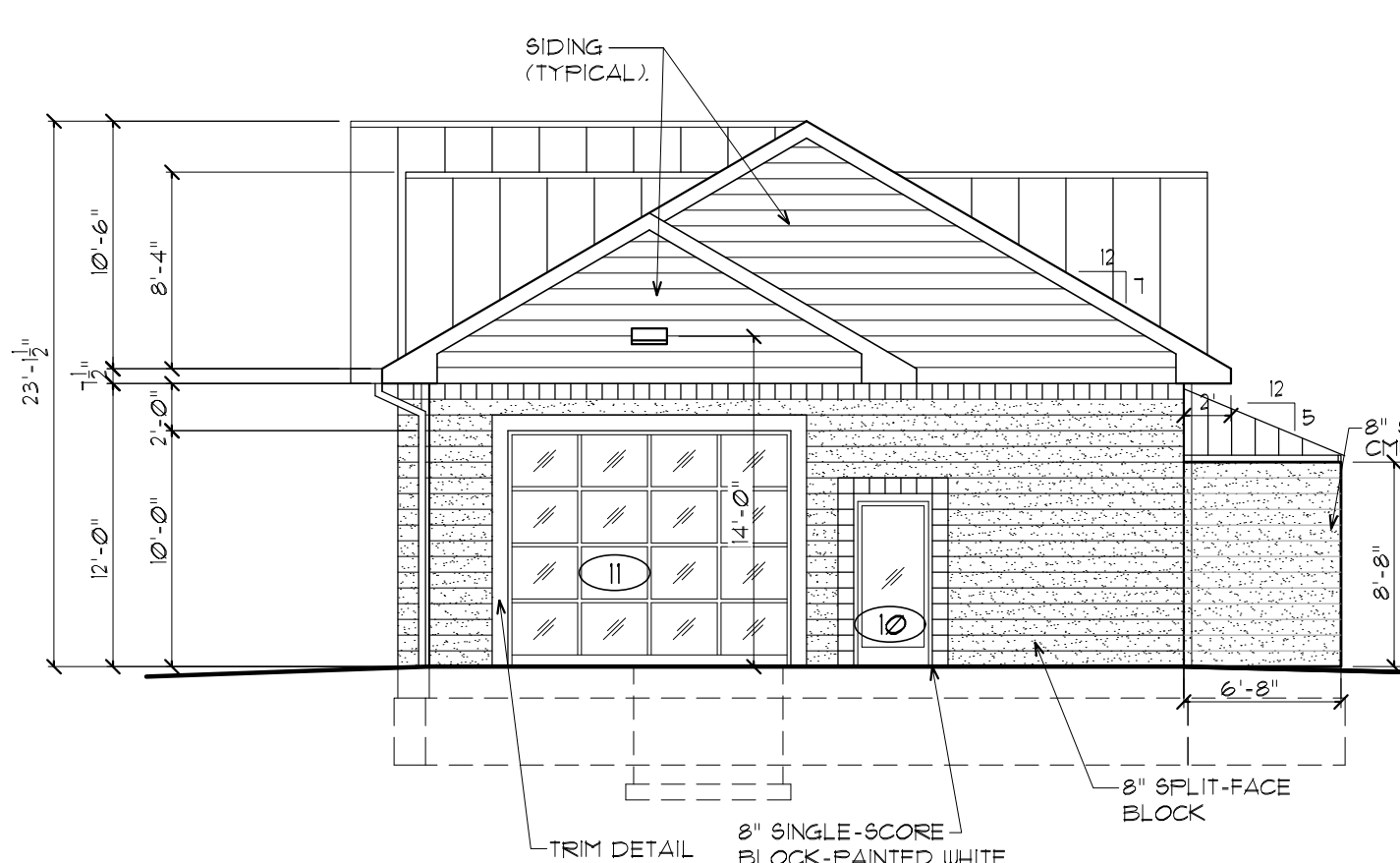
SCALE: 1/8" = 1'-0"



FRONT:
6'x150' = 900
150% = 450 SQFT
60'x8' = 480 OK

SOUTH ELEVATION

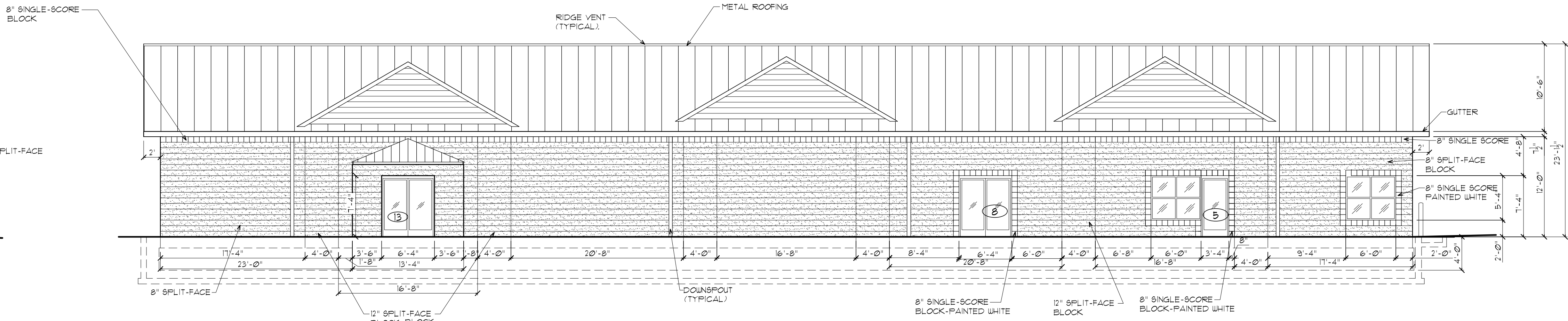
SCALE: 1/8" = 1'-0"



SIDE: 6'x40'150' = 240
130% = 12 SQFT
12' +15' = 81 OK

EAST ELEVATION

SCALE: 1/8" = 1'-0"

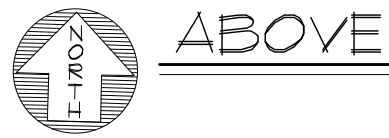


PARKING:
6'x150' = 900
150% = 135 SF
34'x12' + 32'x12' + 15' = 141 OK

NORTH ELEVATION

SCALE: 1/8" = 1'-0"

NOTES: TRIM DETAIL
OVER-HEAD DOORS,
URAP ENTRANCE JAM AND
CASING WITH 1X8 DIMENSIONAL
PLASTIC LUMBER. INSTALL WITH
GRADE 410 STAINLESS STEEL,
COUNTERSUNK HEAD TAPCONS



MICHIGAN AVE NE



MICHIGAN AVE NW



ELLSWORTH AVE SE



ELLSWORTH SW

BOUNDARY & TOPOGRAPHICAL SURVEY

PROPERTY DESCRIPTION PER WASHTENAW COUNTY TAX ROLL:

BEG IN THE CENT LINE OF CHICAGO ROAD AT A POINT WHICH IS S 20-06-00 E 51.20 FT FROM THE SE COR OF TRIANGLE PARK SUBDIVISION, A RECORDED PLAT; TH N 20-06-00 W 280.87 FT; TH S 88-40-00 E 491.95 FT TO THE CENT OF CHICAGO ROAD; TH S 57-27-00 W 468.95 FT TO THE PL OF BEG. ALSO INCLUDING LOTS 19 THROUGH 24 TRIANGLE PARK SUB. BEING A PART OF FRENCH CLAIM 690 CONT. 3.24 +/- AC T3S-R7E, WASHTENAW COUNTY EXCEPT THAT PT TAKEN FOR MICHIGAN AVE WIDENING.

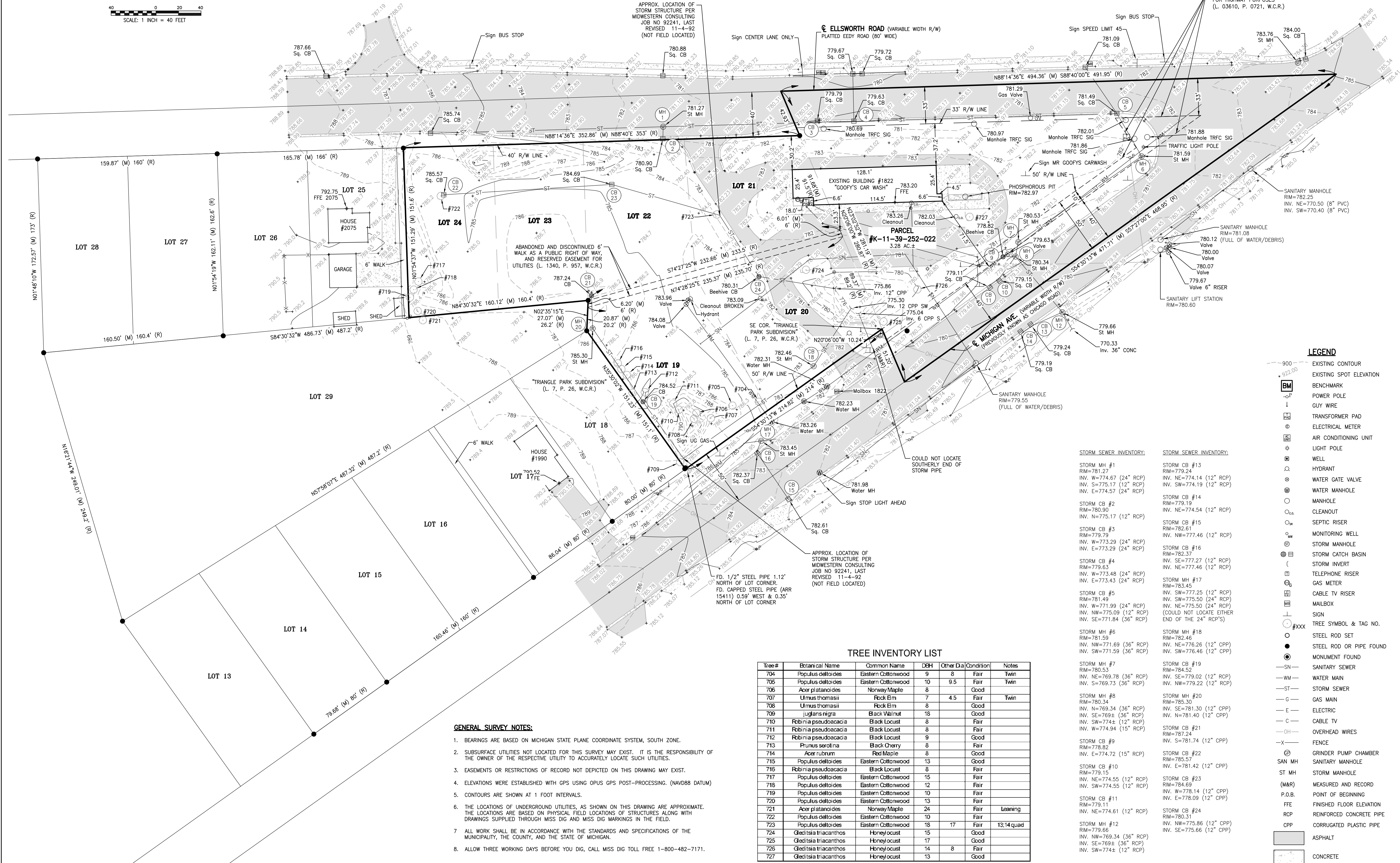
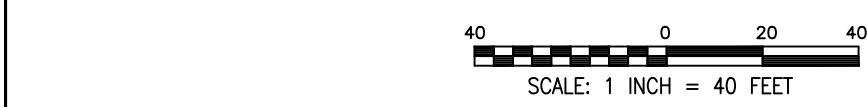
PROPERTY DESCRIPTION PER AMERICAN TITLE COMPANY OF WASHTENAW, ISSUED FOR STEWART TITLE GUARANTY COMPANY, COMMITMENT NO: 116879, WITH AN EFFECTIVE DATE OF APRIL 11, 2025 AT 5:00 P.M.:

Land in the Township of Ypsilanti, County of Washtenaw, Michigan, described as:

Lots 19 through 24, inclusive, TRIANGLE PARK SUBDIVISION, a part of French Claim No. 690, Washtenaw County, Michigan, as recorded in Liber 7 of Plots, Page 26, Washtenaw County Records.

Also, the vacated walkway between Lots 19, 20, 21 and 22 of said Subdivision.

Also, beginning in the centerline of Chicago Road (now Michigan Avenue) at a point which is South 20°06'00" East 51.20 feet from the Southeast corner of Triangle Park Subdivision, as recorded in Liber 7 of Plots, Page 26, Washtenaw County Records; thence North 20°06'00" West 280.87 feet; thence South 88°40'00" East 491.95 feet to the center of Chicago Road (now Michigan Avenue); thence South 57°27'00" West 468.95 feet to the PLACE OF BEGINNING, being part of French Claim No. 690, Town 3 South, Range 7 East, Ypsilanti Township, Washtenaw County, Michigan.



GENERAL SURVEY NOTES:

- BEARINGS ARE BASED ON MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE.
- SUBSURFACE UTILITIES NOT LOCATED FOR THIS SURVEY MAY EXIST. IT IS THE RESPONSIBILITY OF THE OWNER OF THE RESPECTIVE UTILITY TO ACCURATELY LOCATE SUCH UTILITIES.
- EASEMENTS OR RESTRICTIONS OF RECORD NOT DEPICTED ON THIS DRAWING MAY EXIST.
- ELEVATIONS WERE ESTABLISHED WITH GPS USING OPUS GPS POST-PROCESSING. (NAVD83 DATUM)
- CONTOURS ARE SHOWN AT 1 FOOT INTERVALS.
- THE LOCATIONS OF UNDERGROUND UTILITIES, AS SHOWN ON THIS DRAWING ARE APPROXIMATE. THE LOCATIONS ARE BASED ON PHYSICAL FIELD LOCATIONS OF STRUCTURES ALONG WITH DRAWINGS SUPPLIED THROUGH MISS DIG AND MISS DIG MARKINGS IN THE FIELD.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY, THE COUNTY, AND THE STATE OF MICHIGAN.
- ALLOW THREE WORKING DAYS BEFORE YOU DIG, CALL MISS DIG TOLL FREE 1-800-482-7171.

TREE INVENTORY LIST

Tree#	Botanical Name	Common Name	DBH	Other Dia	Condition	Notes
704	Populus deltoides	Eastern Cottonwood	9	8	Fair	Twin
705	Populus deltoides	Eastern Cottonwood	10	9.5	Fair	Twin
706	Acer platanoides	Norway Maple	8		Good	
707	Ulmus thomasii	Rock Elm	7	4.5	Fair	Twin
708	Ulmus thomasii	Rock Elm	8		Good	
709	Juglans nigra	Black Walnut	18		Good	
710	Robinia pseudoacacia	Black Locust	8		Fair	
711	Robinia pseudoacacia	Black Locust	8		Fair	
712	Robinia pseudoacacia	Black Locust	9		Good	
713	Prunus serotina	Black Cherry	8		Fair	
714	Acer rubrum	Red Maple	8		Good	
715	Populus deltoides	Eastern Cottonwood	13		Good	
716	Robinia pseudoacacia	Black Locust	8		Fair	
717	Populus deltoides	Eastern Cottonwood	15		Fair	
718	Populus deltoides	Eastern Cottonwood	12		Fair	
719	Populus deltoides	Eastern Cottonwood	10		Fair	
720	Populus deltoides	Eastern Cottonwood	13		Fair	
721	Acer platanoides	Norway Maple	24		Fair	Leaning
722	Populus deltoides	Eastern Cottonwood	10		Fair	
723	Populus deltoides	Eastern Cottonwood	18	17	Fair	13.14 quad
724	Gleditsia triacanthos	Honeylocust	15		Good	
725	Gleditsia triacanthos	Honeylocust	17		Good	
726	Gleditsia triacanthos	Honeylocust	14	8	Fair	
727	Gleditsia triacanthos	Honeylocust	13		Good	

LEGEND

- 900- EXISTING CONTOUR
- 922.00- EXISTING SPOT ELEVATION
- BM- BENCHMARK
- OP- POWER POLE
- I- GUY WIRE
- TP- TRANSFORMER PAD
- EM- ELECTRICAL METER
- AC- AIR CONDITIONING UNIT
- LP- LIGHT POLE
- W- WELL
- H- HYDRANT
- WGV- WATER GATE VALVE
- WMH- WATER MANHOLE
- MANH- MANHOLE
- CL- CLEANOUT
- SR- SEPTIC RISER
- MW- MONITORING WELL
- SMH- STORM MANHOLE
- SCB- STORM CATCH BASIN
- SI- STORM INVERT
- TR- TELEPHONE RISER
- GM- GAS METER
- CTR- CABLE TV RISER
- MB- MAILBOX
- S- SIGN
- XXX- TREE SYMBOL & TAG NO.
- SRS- STEEL ROD SET
- SRPP- STEEL ROD OR PIPE FOUND
- MF- MONUMENT FOUND
- SN- SANITARY SEWER
- WM- WATER MAIN
- ST- STORM SEWER
- G- GAS MAIN
- E- ELECTRIC
- C- CABLE TV
- OH- OVERHEAD WIRES
- X- FENCE
- GR- GRINDER PUMP CHAMBER
- SMH- SANITARY MANHOLE
- STH- STORM MANHOLE
- M&R- MEASURED AND RECORD
- P.O.B- POINT OF BEGINNING
- FFE- FINISHED FLOOR ELEVATION
- RCP- REINFORCED CONCRETE PIPE
- CPP- CORRUGATED PLASTIC PIPE
- ASPH- ASPHALT
- CON- CONCRETE

STORM SEWER INVENTORY:

STORM MH #1
RIM=781.27
INV. W=774.67 (24" RCP)
INV. S=775.17 (12" RCP)
INV. E=774.57 (24" RCP)

STORM CB #2
RIM=780.90
INV. N=775.17 (12" RCP)

STORM CB #3
RIM=779.79
INV. W=773.29 (24" RCP)
INV. E=773.29 (24" RCP)

STORM CB #4
RIM=778.63
INV. W=773.48 (24" RCP)
INV. NW=775.09 (12" RCP)
INV. SE=771.84 (36" RCP)

STORM MH #5
RIM=781.49
INV. W=771.99 (24" RCP)
INV. NW=775.09 (12" RCP)
INV. SE=771.84 (36" RCP)

STORM MH #6
RIM=781.59
INV. NW=771.69 (36" RCP)
INV. SW=771.59 (36" RCP)

STORM MH #7
RIM=780.53
INV. SE=779.78 (36" RCP)
INV. S=769.73 (36" RCP)

STORM MH #8
RIM=780.34
INV. N=769.34 (36" RCP)
INV. SE=769.34 (36" RCP)
INV. SW=774.12 (12" RCP)
INV. W=774.94 (15" RCP)

STORM CB #9
RIM=778.82
INV. E=774.72 (15" RCP)

STORM CB #10
RIM=779.15
INV. NE=774.55 (12" RCP)
INV. SW=774.55 (12" RCP)

STORM CB #11
RIM=779.11
INV. NE=774.61 (12" RCP)

STORM MH #12
RIM=779.66
INV. NW=769.34 (36" RCP)
INV. SE=769.34 (36" RCP)
INV. SW=774.12 (12" RCP)

STORM SEWER INVENTORY:

STORM CB #13
RIM=779.24
INV. NE=774.14 (12" RCP)
INV. SW=774.19 (12" RCP)

STORM CB #14
RIM=779.19
INV. NE=774.54 (12" RCP)

STORM CB #15
RIM=782.61
INV. NW=777.46 (12" RCP)

STORM CB #16
RIM=782.37
INV. SE=777.27 (12" RCP)
INV. NE=777.46 (12" RCP)

STORM MH #17
RIM=783.45
INV. SW=777.25 (12" RCP)
INV. NW=775.50 (24" RCP)
INV. NE=775.50 (24" RCP)
(COULD NOT LOCATE EITHER END OF THE 24" RCP'S)

STORM MH #18
RIM=782.46
INV. NE=776.26 (12" CPP)
INV. SW=776.46 (12" CPP)

STORM CB #19
RIM=784.52
INV. SE=779.02 (12" RCP)
INV. NW=779.22 (12" RCP)

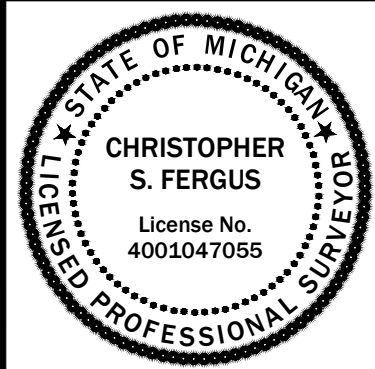
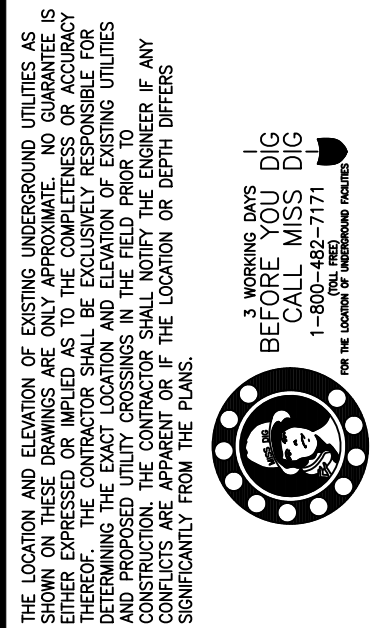
STORM MH #20
RIM=785.30
INV. SE=781.30 (12" CPP)
INV. N=781.40 (12" CPP)

STORM CB #21
RIM=787.24
INV. S=781.74 (12" CPP)

STORM CB #22
RIM=785.57
INV. E=781.42 (12" CPP)

STORM CB #23
RIM=784.69
INV. W=778.14 (12" CPP)
INV. E=778.09 (12" CPP)

STORM CB #24
RIM=780.31
INV. NW=775.86 (12" CPP)
INV. SE=775.66 (12" CPP)



REBOSS Engineering
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3121 E. GRAND RIVER AVE.
HOWELL, MI, 48843
517.546.4836 FAX 517.548.1670

PROJECT: 1822 W. MICHIGAN AVE., YPSILANTI, MI
PREPARED FOR: VANTON/O-BRIEN, INC.
8150 JACKSON ROAD, SUITE A
ANN ARBOR, MI 48103
734-424-0661

TITLE: BOUNDARY & TOPOGRAPHICAL SURVEY	DATE	BY
NEW TITLE COMMITMENT DATED 4-11-25	4-18-25	2 AEB
TITLE COMMITMENT DATED 11-30-23	4-18-25	1 AEB
REVISION PER		NO BY

DRAWN BY: AEB
FIELD CREW: CE/CZ/PB/MB
CHECKED BY:
SCALE 1" = 40'
JOB NO. 25-094
DATE 4-15-25
SHEET NO. 1 OF 1