



REGULAR MEETING AGENDA

**Tuesday, January 14, 2025
6:30 P.M.**

If you need any assistance due to a disability, please contact the Planning Department at least 48 hours in advance of the meeting at planning@ypsitownship.org or 734-544-4000 ext. 1.

1. CALL TO ORDER
2. ROLL CALL
3. APPROVAL OF THE NOVEMBER 26, 2024, REGULAR MEETING MINUTES
4. APPROVAL OF AGENDA
5. PUBLIC HEARINGS
 - A. **SPECIAL LAND USE – ZAWIYAH FOUNDATION, LLC – 5718 WHITTAKER ROAD – PARCEL K-11-21-300-034** – TO CONSIDER THE SPECIAL CONDITIONAL USE PERMIT APPLICATION OF ZAWIYAH FOUNDATION, LLC TO PERMIT THE ESTABLISHMENT OF A HOUSE OF WORSHIP FOR A 0.71-ACRE SITE ZONED NB, NEIGHBORHOOD BUSINESS.
6. OLD BUSINESS
7. NEW BUSINESS
 - A. **PRELIMINARY SITE PLAN – ZAWIYAH FOUNDATION, LLC – 5718 WHITTAKER ROAD – PARCEL K-11-21-300-034** – TO CONSIDER THE PRELIMINARY SITE PLAN APPLICATION OF ZAWIYAH FOUNDATION, LLC TO PERMIT THE ESTABLISHMENT OF A HOUSE OF WORSHIP FOR A 0.71-ACRE SITE ZONED NB, NEIGHBORHOOD BUSINESS.
 - B. **2024 PLANNING COMMISSION REPORT TO THE BOARD** – TO CONSIDER SUBMITTING TO THE TOWNSHIP BOARD OF TRUSTEES THE PROVIDED 2024 PLANNING COMMISSION REPORT PURSUANT TO SECTION 19(2) OF THE MICHIGAN PLANNING ENABLING ACT, PA 33 OF 2008 AND SECTION 3C OF THE ADOPTED PLANNING COMMISSION BY-LAWS.
8. OPEN DISCUSSION FOR ISSUES NOT ON THE AGENDA
 - A. CORRESPONDENCE RECEIVED
 - B. PLANNING COMMISSION MEMBERS
 - C. MEMBERS OF THE AUDIENCE
9. TOWNSHIP BOARD REPRESENTATIVE REPORT

**CHARTER TOWNSHIP OF YPSILANTI
PLANNING COMMISSION MEETING
Tuesday, November 26, 2024
6:30 pm**

COMMISSIONERS PRESENT

Bill Sinkule, Chair
Elizabeth El-Assadi, Vice Chair
Gloria Peterson
Larry Doe
Darrell T. Kirby

COMMISSIONERS ABSENT

Bianca Tyson

STAFF AND CONSULTANTS

Fletcher Reyher, Planning and Development Coordinator
Sally Elimger, Carlise Wortman Associates
Dennis McLain, Township Attorney

- **CALL TO ORDER/ESTABLISH QUORUM**

MOTION: Mr. Sinkule called the meeting to order at 6:30 pm.

- **ROLL CALL**

The roll call was taken by Mr. Sinkule. All Commissioners, with the exception of Ms. Tyson were present.

- **APPROVAL OF OCTOBER 8, 2024, REGULAR MEETING MINUTES**

MOTION: Ms. El-Assadi **MOVED** to approve the October 8, 2024, regular meeting minutes. The **MOTION** was **SECONDED** by Mr. Doe and **PASSED** by unanimous consent.

- **APPROVAL OF AGENDA**

MOTION: Mr. Doe **MOVED** to approve the agenda. The **MOTION** was **SECONDED** by Ms. El-Assadi and **PASSED** by unanimous consent.

- **PUBLIC HEARINGS**

CLASS A DESIGNATION – LOS AMIGOS PROPERTY, LCC – 2851 EAST MICHIGAN AVENUE– PARCEL K-11-01-310-001 – TO CONSIDER THE CLASS A CONFORMING DESIGNATION APPLICATION OF LOS

AMIGOS PROPERTY, LLC TO PERMIT THE SIGN COPY CHANGE OF THE EXISTING LEGAL NON-CONFORMING POLE/PYLON SIGN.

Mr. Fletcher Reyher, Planning and Development Coordinator, presented to the Commission a Class A conforming designation application. Mr. Reyher presented an aerial image of the property, noting that it was a popular Mexican cuisine establishment. He presented the sign in question, reporting that it was legally established under a previous zoning ordinance, but the current zoning ordinance did not allow a sign to be erected. The sign copy that said "Los Amigos" would be changed. Mr. Reyher presented the new sign copy. The size and height would remain the same, but the logo and advertisement would change. Part of granting a Class A designation was reviewing a set of criteria of Article 16. Seven items needed to be considered before the designation could be granted, which included the structure was non-conforming, such as those lawfully erected prior to the ordinance, that the non-conformity did not significantly suppress the value of nearby properties, that the non-conformity was not contrary to public health, the presence did not obstruct visibility of vehicular traffic, no useful purpose would be served by the strict application of requirements for the non-conformity, the sign served both regional and local traffic, the signage needed to be in compliance with Article 15, a plan for site improvements, and other conditions could be attached to approval to ensure that the structure or use of land was not contrary to the ordinance.

The current requirements required called for a 32 square-foot sign area, and the existing sign was 40 square feet. The maximum height was six feet, and the current sign was 20 feet. The current required setback was two feet from the right-of-way, and the existing was 13 feet from the sidewalk. The current ordinance required one square foot of landscaping per one square foot of sign area. There was landscaping in the area, but the current standards required more. It was believed that the non-conformity of the sign would suppress the value of nearby properties. The continuation of the sign would not affect public health or the public welfare. There were no signs of wear and tear of the sign or any indication that the sign would collapse in a wind event. Enforcement of the strict application of requirements would require the applicants to remove or replace the existing sign despite the sign's historical compliance. The non-conforming sign continued to meet the needs of the business. The sign was legally erected even though it did not meet the height and size requirements, and granting the Class A designation would allow for the owner to not make structural alterations. The applicant should submit any plans for site improvements, including landscaping around the sign, to align with Article 15's standards. Mr. Reyher suggested considering adding language to the motion to require additional landscaping around the sign. The Planning Commission could require additional conditions, such as regular maintenance of the sign or lighting.

Commissioner Kirby asked for additional information on the usage. Mr. Reyher stated that since it was not impacting the public, it could be considered okay as it was. The sign did follow the requirements of the zoning ordinance in 2006, and the owner at the time pulled all of the proper permits. Since 2006, the zoning ordinance changed, and the sign would not meet the new standards. Since they wanted to modify the non-conforming sign, they needed approval from the Planning Commission.

Commissioner El-Assadi asked for confirmation that the sign was structurally sound. Mr. Reyher stated that the only way to be certain was to have an engineer perform an analysis, but there were no signs of rust or holes in the poles or any indication that it was not structurally sound.

Will, who was representing the owner and applicant, reported that they performed a technical survey and found that there were no structural issues. The sign was under 20 years old, and it was still in good shape. He reported that the signs should last 30 to 40 years before they showed significant wear and tear. He explained that the face would have a digitally printed vinyl applied to it.

Commissioner Peterson asked if the owner was aware of the conditions that would be followed up on, such as the landscaping and maintenance. She also asked for information on the additional landscaping and what the owners would do. Will stated he was unaware, but he believed maintenance and repair would be expected. Regarding landscaping, he stated he was not sure. Mr. Reyher noted that a significant amount of landscaping was recently added when they updated the parking lot, so there was a lot of landscaping around the building.

It was asked if additional landscaping would still be required. Mr. Reyher pulled up a street view of the current building and landscaping, which was from July 2024. Mr. Reyher stated that additional landscaping to shield the pole could be challenging.

Commissioner Doe asked if the sign was two-faced. It was confirmed that it was.

It was stated that the landscaping likely met the 40 square foot requirement and believed that the trees likely met other requirements and should not be replaced.

Commissioner Peterson asked if there were windows behind the tall trees. It was confirmed that there were not, it was just a brick wall.

Commissioner Doe asked how long ago the parking lot was done. Mr. Reyher reported that it was done four years ago, and the trees were required to be put in.

Commissioner Peterson asked if the name of the business would still be included. Mr. Reyher that the name of the restaurant was being changed to El Trompo.

The public hearing was opened at 6:56 pm.

There were no public comments, and the public hearing was closed at 6:56 pm.

MOTION: Ms. El-Assadi **MOVED** to approve the Class A non-confirming designation design application to permit the sign copy change of the existing legal non-confirming pole/pylon sign for Los Amigos Property, LLC, located at 2851 EAST MICHIGAN AVENUE, Parcel K-11-01-310-001, with the following conditions:

- The property owner shall comply with all current Township ordinance standards regarding the maintenance and repair of the sign structure.
- The property owner shall maintain the current landscaping around the sign base.

The **MOTION** was **SECONDED** by Mr. Doe

Roll Call Vote: Mr. Kirby (Yes); Ms. Peterson (Yes); Ms. El-Assadi (Yes); Mr. Doe (Yes); Mr. Sinkule (Yes).

MOTION PASSED.

- **OLD BUSINESS**

None

- **NEW BUSINESS**

PRELIMINARY SITE PLAN – HOLIDAY INN EXPRESS – 350 & 460 JOE HALL DRIVE – PARCEL K-11-38-363-029 & K-11-38-363-003 – TO CONSIDER THE PRELIMINARY SITE PLAN APPLICATION OF ANDY PATEL TO PERMIT THE CONSTRUCTION OF A 93-ROOM, 4-STORY HOTEL FOR A 4.68-ACRE SITE ZONED I-T, INNOVATION AND TECHNOLOGY.

Mr. Fletcher Reyher, Planning and Development Coordinator, presented to the Commission a Preliminary Site Plan Application from the Holiday Inn Express developer Andy Patel for a proposed 93-room, 4-story hotel at the intersection of 350 and 460 Joe Hall Drive. The site was currently vacant and was made up of two parcels. The two parcels would be combined if approved. The 2040 Master Plan designated the site as the Township core, which was intended to be the central core of the Township and meant to host a mix of uses. There was also a special area of plan that would serve as a gathering plan. The area was centrally located and already well-served with infrastructure and public transportation. The build-out would be market-responsive with a variety of uses, including regional, civic, local, and commercial hotels and restaurants, offices, and multiple-family houses to meet the daily needs of Township residents. Mr. Reyher presented an aerial image and the nearby strip mall that was directly east of the proposed development. The Township and outside agencies reviewed the preliminary site plan. Carlisle Wortman reviewed the preliminary site plan and recommended that the Commission discuss several items. The applicant was seeking a height variance of 14 feet and 8.5 inches. The Planning Commission was present on November 26, 2024, to consider the application but not to make a formal application until the applicant had a chance to seek the variance. The Township Engineer, OHM, recommended approval on November 11, 2024, and provided the applicant and their engineer with preliminary, detailed engineering comments. WCUA recommended conditional approval on June 25, 2024. The Ypsilanti Fire Department recommended conditional approval on June 24, 2024. The Washtenaw County Water Resources Commission offered the applicant four items to address, which would be addressed during the final site plan review. The Washtenaw County Road Commission provided a review letter on November 1, 2024, requiring the installation of a traffic signal based on the traffic impact study provided by the applicant.

Sally Elmiger reported that she had suggested that the motion from the Planning Commission be agreed to. She reported that the Wortman office did a review of the site plan, and the outstanding items included that the building was 14 feet and 8.5 inches too tall, and a variance would be required. She noted that the process included the applicant coming before

the Planning Commission and the ZBA regarding the variance before a formal decision could be made. The other outstanding items included that there was no identified loading zone, which could be waived if the applicant did not require it, calculations regarding the amount of finish materials were needed because no more than 75% of the building could be finished with EIFS, and the elevations provided on color and black and white did not match.

MOTION: Ms. El-Assadi **MOVED** to postpone the request for the Preliminary Site Plan for the construction of a 93-room, four-story hotel located at 350 and 460 Joe Hall Drive, Ypsilanti, Michigan 48192, Parcels K-11-38-363-029 and K-11-38-363-003 to allow the applicant time to obtain the required variance as outlined in the staff report.

The **MOTION** was **SECONDED** by Mr. Kirby.

Roll Call Vote: Mr. Kirby (Yes); Ms. Peterson (Yes); Ms. El-Assadi (Yes); Mr. Doe (Yes); Mr. Sinkule (Yes).

MOTION PASSED.

- **ADOPTION OF REGULAR PLANNING COMMISSION MEETING DATES FOR THE 2025 CALENDAR YEAR**

Mr. Fletcher Reyher, Planning and Development Coordinator, presented to the Commission the proposed calendar for the regular meetings in 2025. He stated that there was one more meeting for 2024, on December 10, 2024. He presented the list of dates, which fell on the second and fourth Tuesdays of each month, ensuring that the dates presented did not conflict with any major holidays.

MOTION: Ms. El-Assadi **MOVED** to adopt the proposed regular meeting schedule for the 2025 calendar year. The **MOTION** was **SECONDED** by Ms. Peterson.

Roll Call Vote: Mr. Kirby (Yes); Ms. Peterson (Yes); Ms. El-Assadi (Yes); Mr. Doe (Yes); Mr. Sinkule (Yes).

MOTION PASSED.

- **OPEN DISCUSSIONS FOR ISSUES NOT ON AGENDA**

- a. **Correspondence received**

Mr. Fletcher Reyher informed the Commission that he sent an email on November 25, 2024, to the Commission regarding the landscaping for the Los Amigos property.

- b. **Planning Commission members**

None to Report.

c. **Members of the audience**

None to Report.

- **TOWNSHIP BOARD REPRESENTATIVE REPORT**

None to Report.

- **ZONING BOARD OF APPEALS REPRESENTATIVE REPORT**

None to Report.

- **PLANNING DEPARTMENT REPORT**

None to Report.

- **OTHER BUSINESS**

There was no further business.

- **ADJOURNMENT**

MOTION: Mr. Kirby **MOVED** to adjourn at 7:11 pm. The **MOTION** was **SECONDED** by Mr. Doe and **PASSED** by unanimous consent.

Respectively Submitted by Minutes Services.

Planning Department Report

Project Name: Zwaiyah Foundation House of Worship

Location: 5718 Whittaker Road, Ypsilanti, MI 48197

Date: December 09, 2024

- | | |
|--|---|
| <input checked="" type="checkbox"/> Full Preliminary Site Plan Review # 2
<input type="checkbox"/> Sketch Preliminary Site Plan Review #
<input type="checkbox"/> Administrative Preliminary Site Plan Review #
<input type="checkbox"/> Detailed Engineering/Final Site Plan Review #
<input checked="" type="checkbox"/> Special Use Permit
<input type="checkbox"/> Public Hearing | <input type="checkbox"/> Rezoning
<input type="checkbox"/> Tentative Preliminary Plat
<input type="checkbox"/> Final Preliminary Plat
<input type="checkbox"/> Final Plat Process
<input type="checkbox"/> Planned Development Stage I
<input type="checkbox"/> Planned Development Stage II |
|--|---|

Contact / Reviewer	Consultants, Departments, & Agencies	Approved	Approved with Conditions	Denied	N/A	See email/letter attached or comments below
Planning Department	Township Planning Department	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See comments below
Carlisle/Wortman Associates	Planning Consultant	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 12-03-2024
OHM / Stantec	Engineering Consultant	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 11-25-2024
Steven Wallgren, Fire Marshal	Township Fire Department	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 11-12-2024
Dave Bellers, Building Official	Township Building Department	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Brian McCleery, Deputy Assessor	Township Assessing Department	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Scott Westover, Engineering Manager	Ypsilanti Community Utilities Authority	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Gary Streight, Project Manager	Washtenaw County Road Commission	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Theresa Marsik, Stormwater Engineer	Washtenaw County Water Resources Commission	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
James Drury, Permit Agent	Michigan Department of Transportation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Planning Department Recommended Action:

The Zawiyah Foundation is eligible for Preliminary Site Plan and Special Land Use consideration by the Planning Commission. This project is scheduled for the Planning Commission Meeting on Tuesday, January 14, 2025, for the required public hearing and Preliminary Site Plan consideration.

The Planning Department recommends that any motion to approve this project include a condition requiring the applicant to resolve all outstanding comments outlined in this report during Final Site Plan and Detailed Engineering Review process, and to secure all necessary internal / external permits.

Township Supervisor
Brenda L. Stumbo
Township Clerk
Debbie Swanson
Township Treasurer
Stan Eldridge



**YPSILANTI
TOWNSHIP**
— PLANNING & ZONING DEPARTMENT —

Trustees
John Newman II
Gloria Peterson
Karen Lovejoy Roe
LaResha Thornton

Staff Report
Zawiyah Foundation – House of Worship
5718 Whittaker Road, Ypsilanti, MI 48197
Preliminary Site and Special Land Use Application

January 14, 2025

Applicant: Zawiyah Foundation, LLC

Project Name: Zawiyah Foundation House of Worship

Plan Date: September 30, 2024

Latest Revision: November 19, 2024

Location: 5718 Whittaker Road, Ypsilanti, MI 48197, Parcel K-11-21-300-034

Zoning: NB, Neighborhood Business

Action Requested: Preliminary Site Plan & Special Land Use Consideration

CASE LOCATION AND SUMMARY

The Office of Community Standards is in receipt of a Preliminary Site Plan and Special Land Use Application from Zawiyah Foundation, LLC to use the existing building located at 5718 Whittaker Road for worship and prayer for the Zawiyah Foundation. The building will contain an open worship space, library, kitchenette, and restrooms. The applicant has indicated that the Zawiyah Foundation is limited to twelve (12) members.

The applicant is not proposing to make any changes to the existing site except for some tree plantings, or to the exterior of the building. Interior renovations are proposed and will require a Building Permit approval from the Charter Township of Ypsilanti if approved by the Planning Commission.

The subject site is zoned NB, Neighborhood Business. Houses of worship are a special land use in this zoning district.

SUBJECT SITE USE, ZONING AND COMPREHENSIVE PLAN

The site is designated as Neighborhood Mixed Use Corridor. Neighborhood Mixed-Use Corridors are located along high traffic areas and intended for local businesses to serve daily needs and services of the adjacent residential areas. This area may include day-to-day neighborhood-scale retail and services, restaurants, professional and medical offices, medium density multiple-family residential uses, and public and institutional

Township Supervisor
Brenda L. Stumbo
Township Clerk
Debbie Swanson
Township Treasurer
Stan Eldridge



**YPSILANTI
TOWNSHIP**
— PLANNING & ZONING DEPARTMENT —

Trustees
John Newman II
Gloria Peterson
Karen Lovejoy Roe
LaResha Thornton

facilities, such as schools, places of worship, police stations and community centers, which support the surrounding residential properties. The Planning Department finds that the proposed use of this site as a house of worship are consistent with the Master Plan.

5718 Whittaker Road – Aerial Photograph – 2023



Source: MapWashtenaw



ANALYSIS

The plans have been reviewed by Township Staff and Consultants in accordance with our procedures.

Planning Consultants (Carlisle/Wortman Associates):

Carlisle Wortman Associates, Inc. reviewed the Preliminary Site Plan and Special Land Use Application and has recommended multiple items to be discussed with the Planning Commission (Additional information located within Carlisle Wortman Report dated December 03, 2024):

1. Planning Commission to discuss the need for a loading space with the applicant.
2. Applicant to provide evidence of physical impairment that precludes expanding the width of the safety path across this property frontage to meeting condition for varying width. Or Planning Commission may permit funds to be placed in escrow for construction of a widened safety path later.
3. Planning Commission to consider whether to waive/modify landscaping requirements to address deficiencies.

Engineering Consultants (OHM):

The Township Engineer recommended approval in their letter dated November 25, 2024. OHM has provided preliminary detailed engineering comments that will be addressed at the time of Final Site Plan and Detailed Engineering.

Ypsilanti Community Utilities Authority (YCUA):

Review and approval from YCUA is not required.

Ypsilanti Township Fire Department (YTFD):

YTFD Fire Marshall Steve Wallgren has recommended approval in a letter dated November 12, 2024.

Washtenaw County Water Resources Commission (WCWRC):

Review and approval from WCWRC is not required.

Washtenaw County Road Commission (WCRC):

Review and approval from WCRC is not required.



SUGGESTED MOTIONS:

Special Land Use:

Motion to Postpone:

“I move to postpone the Special Land Use Permit submitted by Zawiyah Foundation, LLC to permit establishment of a house of worship, utilizing the existing building on the 0.71-acre site zoned NB, Neighborhood Business, located at 5718 Whittaker Road, Ypsilanti, MI 48197, Parcel K-11-21-300-034 to give the applicant time to address the comments made at this evening's meeting and resubmit, and/or provide additional information, as discussed tonight.”

Motion to Approve:

“I move to approve the Special Land Use Permit submitted by Zawiyah Foundation, LLC to permit establishment of a house of worship, utilizing the existing building on the 0.71-acre site zoned NB, Neighborhood Business, located at 5718 Whittaker Road, Ypsilanti, MI 48197, Parcel K-11-21-300-034, as the proposal meets the criteria in Article 10, Special Land Use with the following conditions:

1. The applicant shall address all outstanding comments from reviewing agencies prior to Final Site Plan Approval. The applicant shall revise all plan sheets to reflect the results of this evening's discussion.
2. The applicant shall obtain all applicable internal and outside agency permits prior to construction.
3. All vehicles must be parked in the designated spaces in the parking lot, as outlined in the plans dated November 19, 2024, and included in tonight's Packet. Parking in undesignated spaces or on unpaved areas outside of the designated spaces is prohibited. The construction of additional parking is prohibited without the required Township review and approval.
4. The building is limited to an occupant load of nineteen (19) people, as shown on the plans in tonight's packet.
5. Any other conditions based upon Planning Commission discussion.

Motion to Deny:

“I move to deny the Special Land Use Permit submitted by Zawiyah Foundation, LLC to permit establishment of a house of worship, utilizing the existing building on the 0.71-acre site zoned NB, Neighborhood Business, located at 5718 Whittaker Road, Ypsilanti, MI 48197, Parcel K-11-21-300-034, due to the following reasons:”

1. _____
2. _____



3. _____

Preliminary Site Plan:

Motion to Postpone:

“I moved to postpone the request for Preliminary Site Plan approval, submitted by Zawiyah Foundation, LLC, to permit establishment of a house of worship, utilizing the existing building on the 0.71-acre site zoned NB, Neighborhood Business, located at 5718 Whittaker Road, Ypsilanti, MI 48197, Parcel K-11-21-300-034, to give the applicant time to address the comments made at this evening’s meeting and resubmit, and/or provide additional information, as discussed tonight.”

Motion to Approve:

I move to approve the Preliminary Site Plan submitted by Zawiyah Foundation, LLC, to permit establishment of a house of worship, utilizing the existing building on the 0.71-acre site zoned NB, Neighborhood Business, located at 5718 Whittaker Road, Ypsilanti, MI 48197, Parcel K-11-21-300-034, with the following conditions:

1. The applicant shall address all outstanding comments from reviewing agencies prior to Final Site Plan Approval. The applicant shall revise all plan sheets to reflect the results of this evening’s discussion.
2. The applicant shall obtain all applicable internal and outside agency permits prior to construction.
3. All vehicles must be parked in the designated spaces in the parking lot, as outlined in the plans dated November 19, 2024, and included in tonight’s Packet. Parking in undesignated spaces or on unpaved areas outside of the designated spaces is prohibited. The construction of additional parking is prohibited without the required Township review and approval.
4. The building is limited to an occupant load of nineteen (19) people, as shown on the plans in tonight’s packet.
5. Any other conditions based upon Planning Commission discussion.

Motion to Deny:

“I move to deny the Preliminary Site submitted by Zawiyah Foundation, LLC, to permit establishment of a house of worship, utilizing the existing building on the 0.71-acre site zoned NB, Neighborhood Business, located at 5718 Whittaker Road, Ypsilanti, MI 48197, Parcel K-11-21-300-034, due to the following reasons:”

1. _____

2. _____



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: November 11, 2024
Rev.: December 3, 2024

**Preliminary Site Plan and Special Use Review
For
Ypsilanti Township, Michigan**

Applicant:	Zawiyah Foundation, LLC
Project Name:	Zawiyah Foundation House of Worship
Plan Date:	September 30, 2024
Latest Revision:	November 19, 2024
Location:	5718 Whittaker Rd. - West side of Whittaker Rd., between Huron St. and Textile Rd.
Zoning:	NB, Neighborhood Business
Action Requested:	Preliminary Site Plan and Special Use Approval

PROJECT AND SITE DESCRIPTION

The applicant is proposing to use the existing building for worship and prayer for the Zawiyah Foundation. The building will contain an open worship space, library, kitchenette and restrooms.

The previous owner used the property for a vet clinic. When Zawiyah Foundation purchased the property, their 2023 Business Registration indicates that they initially used the site for office and meeting room space. Now, the applicant would like to use the site as a house of worship.

The applicant is not proposing to make any changes to the existing site (except tree plantings), or to the exterior of the building. Only interior building changes are proposed.

The subject site is zoned NB, Neighborhood Business. In this district, a house of worship is a Special Land Use. An aerial of the subject site is shown below.

Benjamin R. Carlisle, President Douglas J. Lewan, Executive Vice President John L. Enos, Vice President
David Scurto, Principal Sally M. Elmiger, Principal R. Donald Wortman, Principal
Paul Montagno, Principal Megan Masson-Minock, Principal Laura Kreps, Senior Associate
Richard K. Carlisle, Past President/Senior Principal

Figure 1: Subject Site



Source: Nearmap (Captured October 5, 2024)

Size of Subject Site:

0.71 acres:

Current Use of Subject Site:

Office

Table 1: Adjacent Zoning and Existing Land Uses

Direction	Zoning	Use
North	NB, Neighborhood Business	Insurance Office in repurposed residential building
South	NB, Neighborhood Business	Service organization lodge
East	TC, Town Center	Vacant
West	R-3, One Family Residential	Single-family residence

MASTER PLAN

The site is designated as Neighborhood Mixed Use Corridor. Neighborhood Mixed-Use Corridors are located along high traffic areas and intended for local businesses to serve daily needs and services of the adjacent residential areas. This area may include day-to-day neighborhood-scale retail and services, restaurants, professional and medical offices, medium density multiple-family residential uses, and public and institutional facilities, such as schools, places of worship, police stations and community centers, which support the surrounding residential properties.

We find that the proposed uses of the site as a house of worship and is consistent with the Master Plan.

NATURAL FEATURES

Topography: The developed portion of the site is relatively flat. The undeveloped portion gently slopes down (to the west) to Paint Creek, which flows through the west end of the property.

As mentioned above, the project is not proposing to make any changes to the site or modify the topography in any way.

Woodlands: The Site Plan shows several trees, and an existing tree line, toward the west side/rear of the property and next to Paint Creek. No trees or vegetation are proposed for removal as part of this project.

Items to be Addressed: None.

AREA, WIDTH, HEIGHT, SETBACKS

The size and location of the existing building appears to meet the NB, Neighborhood Business District requirements, as shown in the table below.

Table 3. Bulk Requirements

	Required / Allowed	Provided	Complies with Ordinance
Min. Front Setback	20 feet	94 feet	Complies. Existing non-conformity
Min. Side Setbacks	10 feet	10.3 feet and 45.6 feet	Complies
Min. Rear Setback	50 feet	50 feet	Complies
Max. Building Height	25 feet / 2 stories	?? feet / 1 story (See Below)	(See Below)

Building Height

The cover sheet states that the building is less than 25 feet tall. Building elevations that indicate the building's height, in feet, have not been provided. However, this is an existing building, and the applicant is not proposing to change the height in any way. If the building were not compliant with the maximum height, it would be considered a legal, non-conforming building, and would be permitted to remain as is.

Items to be Addressed: None.

PARKING, LOADING, SAFETY PATH

This project is proposing a house of worship with an associated library inside the building.

Using the figures on the Site Plan, the table below compares the number of spaces required by the ordinance and the number of spaces provided on the plans.

Table 5. Number of Parking Spaces

Parking Requirements	Number of Spaces Required	Number of Spaces Provided	Complies with Ordinance
Worship/Assembly	1 space for each 3 seats, (12 / 3) = 4 spaces	12 spaces	+6 space Complies
First Floor Library (Office)	1 space per 300 s.f. gross floor area (697 s.f. /300) = 2 spaces		
TOTAL: 6 Spaces			
Barrier-Free Spaces	1 space	1 space	Complies
Loading Space	(See Below)	0 spaces	(See Below)
Bicycle Parking	2 spaces	0 spaces	Complies

Parking Dimensions

The existing parking spaces, maneuvering lanes, and access driveway dimensions meet the minimum dimensions required in the ordinance. The barrier-free space and aisle dimensions have been adjusted to meet the minimum 8-foot wide dimensions.

Loading Space

A loading space is required for every building that customarily receives or distributes materials by vehicle. No loading space is shown on the plans. The Planning Commission may waive the loading space requirement if the applicant is able to demonstrate, and the Planning Commission is able to determine, that such loading space is not required, based on documented evidence, to accommodate the use on a typical day. Note #11 on the Site Plan states that the facility does not expect any large deliveries, and no loading space is proposed. The Planning Commission should discuss this with the applicant.

Bicycle Parking

At minimum, any parking lot with 10 spaces or greater is required to offer a bike rack for at least two (2) bicycles. A bike rack accommodating two bikes is shown on the south side of the building.

Parking Lot Location Along Whittaker Rd.

The existing parking lot is located in a front yard, which is allowed in the NB, Neighborhood Business District. The ordinance also requires a 20-foot-wide greenbelt between the street and parking lot, which this site provides. The lot is also 10-feet away from the side property lines, as required.

Safety Path

The sidewalk abutting Whittaker Rd. is only 5-feet wide. Sec. 1206(3)(C) requires an 8-foot-wide safety path along this roadway. The response memo requests that the Planning Commission waive this requirement. The ordinance gives the Planning Commission the ability to vary the width and location of

safety paths in those instances where strict adherence to these provisions cannot be met due to conditions such as restriction of space, improper soil conditions or other physical impairment to the location and constriction of safety paths. The applicant has not provided evidence of any physical impairment that precludes expanding the width of the safety path across this property frontage. For the Planning Commission to consider a waiver, evidence that a widened safety path is unfeasible needs to be provided. Another alternative is, in lieu of constructing a safety path, the Planning Commission may permit funds to be placed in escrow for construction at a later date.

Items to be Addressed: 1) Planning Commission to discuss need for loading space with applicant. 2) Applicant to provide evidence of physical impairment that precludes expanding the width of the safety path across this property frontage to meet condition for varying width. Or, Planning Commission may permit funds to be placed in escrow for construction of a widened safety path at a later date.

SITE ACCESS, CIRCULATION, TRAFFIC

Site access is provided from one existing driveway off Whittaker Rd. The driveway width and location meet ordinance requirements.

It appears that the parking lot is arranged to allow adequate passenger vehicle circulation. We defer the functionality of this lot to the Township Engineer and Fire Marshal.

Items to be Addressed: 1) Defer circulation of delivery/fire trucks to Township Engineer and Fire Marshal.

LANDSCAPING & SCREENING

Landscaping information is provided on Sheet C1, *Existing Conditions and Site Plan*. The following table lists the requirements for this site, and how the proposal meets the requirements. Note that the Planning Commission may waive or modify these requirements in the following situations:

- 1) Where a proposed modification cannot be reasonably accomplished in strict adherence to this section due to existing site or building constraints.
- 2) Where the addition of new landscape material would serve no good purpose due to its relation to existing plant material, changes in grade or other site characteristics.

Table 6. Landscaping

	Required	Provided	Complies with Ordinance
General Landscaping: <ul style="list-style-type: none"> • 1 tree per 1,000 s.f. lawn • 1 shrub per 500 s.f. lawn 	9,238 s.f. lawn = 9 trees and 18 shrubs (See Below)	9 trees/2 shrubs	Does Not Comply

	Required	Provided	Complies with Ordinance
Street Yard Landscaping: <ul style="list-style-type: none"> 1 large deciduous tree per 40 l.f. of frontage 1 ornamental tree per 100 l.f. of frontage 1 shrub per 10 l.f. of frontage 	<u>Whittaker Rd.:</u> 100 l.f. / 40 = 2 trees 100 l.f. / 100 = 1 ornamental tree 100 l.f. / 10 = 10 shrubs	0 deciduous trees 1 ornamental trees 10 shrubs	Deficient by 2 Trees Complies with Ornamental Trees & Shrubs (See Below)
Parking Lot Landscaping: <ul style="list-style-type: none"> 1 Large Deciduous Tree per 2,000 s.f. of Pavement 1 Large Deciduous Tree per 40 l.f. of Parking Lot Perimeter (South) 	7,184 s.f. / 2,000 s.f. = 4 interior trees 109 l.f. / 40 = 3 Perimeter Trees on south side	2 Interior Trees and 3 Perimeter Trees on south side	Deficient by 2 Trees (See Below)
Screening Between Land Uses 1 tree per 10 lineal feet where project abuts residential land use	163 l.f. / 100 = 16 Large Evergreen Trees	0 Large Evergreen Trees along north property line	Deficient by 16 large evergreen trees (See Below)

General Landscaping

A calculation of the amount of lawn was not provided. We estimate that lawn occupies approximately 9,238 s.f. of the site, requiring 9 trees and 18 shrubs. We have counted two deciduous trees at the back of the property, and the two arborvitaes along the north side of the property toward this requirement, in addition to five (5) new trees proposed. The plans are deficient by 16 shrubs for the General Landscaping requirement.

Street Yard Landscaping

The proposal is deficient by 2 shade trees along Whittaker Rd.

Parking Lot Landscaping - Interior

The existing parking lot doesn't have any parking lot islands that could accommodate a large shade tree. We've allocated the two proposed Hackberry toward this requirement. The plans are deficient by 2 large shade trees to meet the interior parking lot landscaping requirements.

Screen Between Land Uses

The number of required large evergreen trees is deficient by 16 trees.

Planning Commission Modifications

As mentioned above, the Planning Commission may waive or modify the landscaping standards. The following standards are not met on the Site Plan, and modifications could be considered:

- 1) General landscaping is deficient by 16 shrubs.
- 2) Street yard landscaping is deficient by 2 shade trees along Whittaker Rd.
- 3) Interior parking lot landscaping is deficient by 2 shade trees.
- 4) Screening between land uses is deficient by 16 large evergreen trees.

Trash and Recycling Containers

The Site Plan shows that an existing dumpster is to be removed. The Site Plan indicates that two, 96-gallon wheeled trash cans (one for trash, one for recycling) will be parked behind the building, and picked up weekly by a trash hauler.

Items to be Addressed: 1) General landscaping is deficient by 16 shrubs. 2) Street yard landscaping is deficient by 2 shade trees along Whittaker Rd. 3) Interior parking lot landscaping is deficient by 2 shade trees. 4) Screening between land uses is deficient by 16 large evergreen trees. 5) Planning Commission to consider whether to waive/modify landscaping requirements to address deficiencies.

LIGHTING

No lighting information was provided. As requested, the response memo and note #14 on the Site Plan states that no changes to the existing outdoor lighting are proposed.

Items to be Addressed: None.

FLOOR PLANS & MISCELLANEOUS REQUIREMENTS

Floor Plans have been provided. However, building elevations have not been provided. As requested, the response memo states that no changes to the exterior of the building are proposed.

Floor Plans:

The floor plans indicate that the configuration of the first floor will be modified to establish an open worship space, two restrooms, and a library. Floor plans of the basement indicate no changes are proposed, and this area will be used for storage space and a restroom with a shower. Our previous review stated that the building cannot be used for residential purposes if the house of worship/office uses are approved. The applicant understands this ordinance requirement and has stated such on the Site Plan as note #16.

Security Camera/Alarm System:

The ordinance requires that all non-residential properties be equipped with security cameras, in operation 24 hours per day, 7 days per week, maintained and accessible to law enforcement upon request as required by law. The cameras shall be high definition with a minimum resolution of 1080p and night vision with at least 120 concurrent hours of digitally recorded documentation, covering the entire site. An alarm system, monitored by a recognized security company, is also required. A new security camera is shown at the front door on the floor plans and note #12 on the Site Plan states that the camera system will meet ordinance requirements. The plans don't mention an alarm system. This requirement, as well as adequacy of the proposed security camera, can be confirmed during Final Site Plan review.

Items to be Addressed: 1) Confirm adequacy of security camera and alarm system during Final Site Plan review.

SPECIAL USE

In the Neighborhood Business District, a house of worship requires a special use. Standards for Special Use review are set forth in Section 1003. The Planning Commission, and the Board of Trustees, when required, shall review the particular circumstances and facts of each proposed use in terms of the following standards and required findings, and with respect to any additional standards set forth in this Ordinance. The Planning Commission, either as part of its final decision or in its recommendation, shall find and report adequate data, information, and evidence showing that the proposed use meets all required standards and:

1. Will be harmonious, and in accordance with the objectives, intent, and purpose of this Ordinance.
2. Will be compatible with a natural environment and existing and future land uses in the vicinity.
3. Will be compatible with the Township master plans.
4. Will be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage ways and structures, refuse disposal, or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately for such services.
5. Will not be detrimental, hazardous, or disturbing to existing or future neighboring uses, persons, property, or the public welfare.
6. Will not create additional requirements at public costs for public facilities and services that will be detrimental to the economic welfare of the community.

We find that the standards have been met, particularly since the assembly use is limited to 12 worshipers, and because the applicant is not proposing to expand the building or the parking lot in any way. Other comments regarding how this proposal compares to the Special Land Use standards follow:

- This site is located within a cluster of smaller business uses. The Neighborhood Business zoning district is intended to meet the day-to-day convenience shopping and service needs of people residing in immediately adjacent residential areas. The proposed use is consistent with the intent of this district.
- The proposal is also compatible with the natural environment, as the existing stream and stream-bank vegetation on the west end of the site will not be impacted by the new use.
- The Master Plan's designation for this site as Neighborhood Mixed-Use Corridors is intended for establishments that serve the daily needs and services of the adjacent residential areas. Places of worship are specifically listed as appropriate along this type of corridor.
- The site is currently adequately served by public facilities and services.
- The low-intensity character of this use lessens the likelihood that it will be detrimental or disturbing to existing neighboring uses.

RECOMMENDATIONS

In our opinion, the use meets the criteria for a Special Land Use at this site. The Site Plan has been amended to meet a number of outstanding issues discussed in our previous review. The Planning Commission has the ability to consider modifying the loading space, safety path, and landscaping standards, as listed below, before making a decision on the Site Plan:

Parking, Loading, Safety Path

- 1) *Planning Commission to discuss need for loading space with applicant.*

- 2) Applicant to provide evidence of physical impairment that precludes expanding the width of the safety path across this property frontage to meet condition for varying width. Or, Planning Commission may permit funds to be placed in escrow for construction of a widened safety path at a later date.

Site Circulation

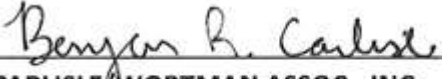
- 1) Defer circulation of delivery/fire trucks to Township Engineer and Fire Marshal.

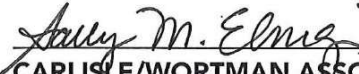
Landscaping & Screening

- 1) General landscaping is deficient by 16 shrubs.
- 2) Street yard landscaping is deficient by 2 shade trees along Whittaker Rd.
- 3) Interior parking lot landscaping is deficient by 2 shade trees.
- 4) Screening between land uses is deficient by 16 large evergreen trees.
- 5) Planning Commission to consider whether to waive/modify landscaping requirements to address deficiencies.

Floor Plans & Miscellaneous Requirements

- 1) Confirm adequacy of security camera and alarm system during Final Site Plan review


CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, AICP, LEED AP
Principal


CARLISLE/WORTMAN ASSOC., INC.
Sally M. Elmiger, AICP, LEED AP
Principal

November 25, 2024

Mr. Fletcher Reyher
Township Planning and Development Coordinator
Charter Township of Ypsilanti
7200 S. Huron River Drive
Ypsilanti, MI 48197

RE: Zawayah Foundation
Preliminary Site Plan Review #2

Dear Mr. Reyher:

We have completed the second preliminary site plan review of the plans dated September 30, 2024, with a latest revision date of November 19, 2024, and stamped received by OHM Advisors on November 22, 2024.

At this time, the plans are recommended for approval for the Planning Commission's consideration. Preliminary detailed engineering comments have been provided to the applicant as a courtesy and shall be addressed prior to submitting detailed engineering plans for review. It shall be noted that any future external changes to the site may require additional site plan review by our office.

A brief description of the project has been provided below, followed by our comments and a list of anticipated required permits and approvals. Comments in Section B are detailed in nature, do not influence the overall site layout, and can be addressed during the detailed engineering drawing submittal.

A. PROJECT AND SITE DESCRIPTION

The applicant is proposing to utilize the existing building located at 5718 Whittaker Road for worship and prayer for the Zawayah Foundation. The Foundation currently has no more than 12 members. The building will contain an open worship space, restrooms, a library, and a small kitchenette. The only exterior improvements are landscaping. No changes to the existing utilities or stormwater management system are proposed.

B. PRELIMINARY DETAILED ENGINEERING COMMENTS

The following comments shall be addressed by the applicant during the detailed engineering drawing submittal, and do not affect the recommendation for approval to the Township of Ypsilanti Planning Commission. It should be noted that this is not an all-inclusive list, and additional comments may be generated as new information is presented.

1. The applicant shall provide spot elevations at all four (4) corners of the barrier-free parking space and access aisle, ramps and landings, and along both sides of all existing sidewalk at 50-foot intervals. The applicant shall note that the cross-slope shall not exceed 2%, per ADA Standards. The applicant shall also note that any existing barrier-free spaces or sidewalk that is out of compliance will need to be removed and replaced.
2. The applicant shall provide a stormwater narrative clarifying how the existing stormwater runoff is maintained, as well as the ultimate outlet.
3. The applicant shall provide the location of the curb stop box on the plans for reference.



C. REQUIRED PERMITS & APPROVALS

The following outside agency reviews and permits will be required for the project. Copies of any correspondence between the applicant and the review agencies, as well as the permit or waiver, shall be sent to both the Township and OHM Advisors (email: stacie.monte@ohm-advisors.com).

- ▼ **Ypsilanti Township Fire Department:** Review and approval of hydrant coverage and site accessibility is required.

Should you have any questions regarding this matter, please contact this office at (734) 466-4580.

Sincerely,
OHM Advisors

Stacie L. Monte

Matthew D. Parks, P.E.

SLM/MDP

cc: Doug Winters, Township Attorney
Steven Wallgren, Township Fire Marshall
File

P:\0000_0100\SITE_YpsilantiTwp\2024\0098241110_5718 Whittaker Rd_Zawiyah
Foundation\MUNI\01_SITE\PSP#2\Zawiyah Foundation_PSP#2_2024-11-25.docx

CHARTER TOWNSHIP OF YPSILANTI FIRE DEPARTMENT

BUREAU OF FIRE PREVENTION

222 South Ford Boulevard, Ypsilanti, MI 48198



November 12, 2024

Fletcher Reyher, Planning and Development Coordinator
Charter Township of Ypsilanti
7200 S. Huron River Drive
Ypsilanti, MI 48197

RE: Preliminary (non-residential) Site Plan Review #1

Project Name:	Zawiyah Foundation Michigan
Project Location:	5718 Whittaker Rd. Ypsilanti, MI 48197
Project Number:	2415
Plan Date:	9/30/2024
Applicable Codes:	IFC 2018
Engineer:	Potter Architectural Services
Engineer Address:	630 Terrace Lane Ypsilanti, MI 48198

Status of Review

Status of review: Approved as Submitted

All pages were reviewed

Comments

The plans state that there is no work to be done in the basement but future office was on the print for rooms 006 and 004. Plans will need to be submitted that address the egress issues if you would like to use that area for more than storage.

Sincerely,

A handwritten signature in blue ink that reads "Steve Wallgren".

Steve Wallgren, Fire Marshal
Charter Township of Ypsilanti Fire Department
CFPS, CFI I

RECEIVED
BY _____
OCT 24 2024
YPSILANTI TOWNSHIP
OCS

Charter Township of Ypsilanti
Office of Community Standards
7200 S. Huron Drive, Ypsilanti, MI 48197
Phone: (734) 485-3943
Website: <https://ytown.org>

**SITE PLAN REVIEW
APPLICATION**

I. APPLICATION/DEVELOPMENT TYPE

Development:

- Subdivision
- Multi-family/Condominium
- Site Condominium
- Planned Development
- Non-residential

Application:

- Administrative Site Plan Review
- Sketch Site Plan Review
- Full Site Plan Review
- Revisions to approved plan
- Tentative Preliminary Plat
- Final Preliminary Plat
- Final Plat Process
- Stage I (for Planned Development)
- Stage II (for Planned Development)

II. PROJECT LOCATION

Address: 5718 Whittaker Rd. City: Ypsilanti State: MI Zip: 48197
Parcel ID #: K-11- 21-300-034 Zoning NB
Lot Number: _____ Subdivision: _____
Property dimensions: 100' x 325' Acreage: 0.71
Name of project/Proposed development: Zawiyah Foundation

Legal description of Property:

YP#21-10H-1A: COM AT THE S 1/4 CORNER OF SEC 21, TH. N 00-37-27 E 1022.76 ALONG THE N/S 1/4 LINE OF SEC 21 TO THE C/L OF WHITTAKER ROAD; TH N 46-11-00 W. 696.24 FT ALONG C/L OF WHITTAKER ROAD TO THE P.O.B.; TH CONTINUING N 46-11- 00 W 100 FT; TH S 42-52-30 W 250 FT MORE OR LESS TO THE C/L OF PAINT CREEK; TH SOUTHERLY ALONG CENTER OF PAINT CREEK TO A POINT BEING S 42-52-30 W 368 FT MORE OR LESS FROM THE P.O.B. OF SAID DESCRIPTION; TH N 42-52-30 E 368 FT MORE OR LESS TO THE P.O.B.. CONTAINING .71 ACRE +/-, SEC 21, T3S-R72. (PER L-3365 P-156 12/19/1996)

Describe Proposed Project (including buildings/ structures/ # units):

The space will be used for worship and prayer for the Zawiyah Foundation. They currently have no more than 12 members worshipping with them. The building will contain an open worship space, restrooms, library and small kitchenette. This will be an interior renovation of a 1500 square foot building. Exterior improvements will include landscaping to comply with the zoning ordinance.

III. APPLICANT INFORMATION

Applicant: Zawiyah Foundation, LLC Phone: 415-912-8406
Address: 5718 Whittaker Rd. City: Ypsilanti State: MI Zip: 48198
Fax: _____ Email: sebastiansamuelrobins@gmail.com
Property owner (if different than applicant): _____ Phone: _____
Address: _____ City: _____ State: _____ Zip: _____
Fax: _____ Email: _____
Engineer: Washtenaw Engineering Phone: 734-761-8800
Address: 3526 W. Liberty Suite 400 City: Ann Arbor State: MI Zip: 48103
Fax: _____ Email: jkm@wengco.com

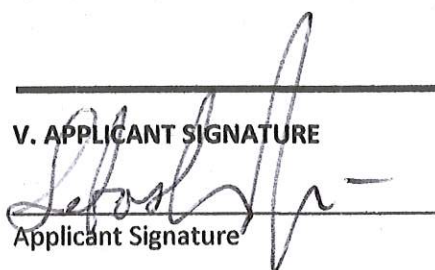
**SITE PLAN REVIEW
 APPLICATION**

VI. SCHEDULE OF FEES

Preliminary Site Plan Review		
	Non-refundable fee	Refundable deposit
Full	\$500	Less than one (1) acre: \$2,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres
Sketch	\$500	Less than one (1) acre: \$1,500 One (1) acre to five acres: \$2,000 Over five (5) acres to ten (10) acres: \$2,500 Greater than ten (10) acres: \$2,500 + \$50 per acre over ten (10) acres
Administrative	\$100	Less than one (1) acre: \$1,000 One (1) acre to five acres: \$1,200 Over five (5) acres to ten (10) acres: \$1,500 Greater than ten (10) acres: \$1,500 + \$50 per acre over ten (10) acres
Planned Development Stage I and Rezoning	\$1,500 + \$20 per acre	Less than one (1) acre: \$3,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres
Final Site Plan Review		
	Non-refundable fee	Refundable deposit
Full	\$500	Less than one (1) acre: \$3,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres
Sketch	\$500	Less than one (1) acre: \$1,500 One (1) acre to five acres: \$2,000 Over five (5) acres to ten (10) acres: \$2,500 Greater than ten (10) acres: \$2,500 + \$50 per acre over ten (10) acres
Administrative	\$100	Less than one (1) acre: \$1,000 One (1) acre to five acres: \$1,200 Over five (5) acres to ten (10) acres: \$1,500 Greater than ten (10) acres: \$1,500 + \$50 per acre over ten (10) acres
Planned Development Stage I and Rezoning	\$1,500 + \$20 per acre	Less than one (1) acre: \$3,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres

\$ 2500 FEE TOTAL

V. APPLICANT SIGNATURE


 Applicant Signature

Sebastian Robins
 Print Name

10/24/2024
 Date
 10/24/2024

SITE PLAN REVIEW APPLICATION

Site Plan Review applications	
<input type="checkbox"/> The application is filled out in its entirety and includes the signature of the applicant and, if different than the applicant, the property owner.	<input type="checkbox"/> Proposed Plans
<input type="checkbox"/> Fees	<input type="checkbox"/> One (1) signed and sealed copies (24"x36") of the proposed plan
<input type="checkbox"/> Check made out to Ypsilanti Township with appropriate fees. <i>Please note: The same preliminary site plan review fee will be charged for each subsequent submittal</i>	<input type="checkbox"/> One (1) copy (11"x17") of the proposed plan
<input type="checkbox"/> Fees paid separately to Ypsilanti Community Utilities Authority	<input type="checkbox"/> One (1) PDF digital copy of the proposed plan
<input type="checkbox"/> Fees paid separately to Washtenaw County Road Commission and Water Resources Commissioner's Office	<input type="checkbox"/> All contents detailed on the next pages for administrative, sketch, and full site plans.
<input type="checkbox"/> Additional Documents:	
<input type="checkbox"/> Woodland Protection application or the No Tree Affidavit, if applicable	
<input type="checkbox"/> Traffic Impact Questionnaire	
<input type="checkbox"/> Appropriate application and plans submitted to the Washtenaw County Road Commission and Water Resources Commissioner's Office	

Potter

ARCHITECTURAL SERVICES

RECEIVED
BY _____

OCT 24 2024

YPSILANTI TOWNSHIP
OCS

TRANSMITTAL MEMO

October 23, 2024

To: Ypsilanti Township Planning Department
Attn: Community Planner
7200 S. Huron River Dr.
Ypsilanti, MI 48197

RE: **Zawiyah Foundation, LLC**
Preliminary Site Plan Submittal

From: Barb Potter
Potter Architectural Services
630 Terrace Lane
Ypsilanti, MI 48198
734-678-0802

Contents of Transmittal:

Quantity	Date	Item	
1	10/23/24	11 x 17 signed and sealed drawing set for Preliminary Site Plan Review	
1	10/23/24	Preliminary Site Plan Review Application	
1	10/23/24	Checks in the amount of \$2,000.00 & \$500.00.	

- No full-size set needed per Fletcher Reyher.

Sincerely,



Barbara A. Potter, RA
Potter Architectural Services
734-678-0802

cc: file
Zawiyah Foundation, LLC

**SPECIAL CONDITIONAL USE/
 USES SUBJECT TO SPECIAL
 CONDITIONS APPLICATION**

I. PROJECT LOCATION

Address: 5718 Whittaker Rd. Parcel ID #: K-11- 21-300-034 Zoning NB

Lot Number: _____ Subdivision: _____

Describe proposed use: The space will be used for worship and prayer for the Zawiya Foundation. They currently have no more than 12 members worshipping with them. The building will contain an open worship space, restrooms, library and small kitchenette.

II. APPLICANT/PROPERTY OWNER

Applicant: Zawiya Foundation, LLC Phone: 415-912-8406

Address: 5718 Whittaker Rd. City: Ypsilanti State: MI Zip: 48198

Property Owner (if different than applicant): _____ Phone: _____

Address: _____ City: _____ State: _____ Zip: _____

III. FEES

Total: \$ <u>2,000</u>	Breakdown of fee:	Non-refundable:	\$1,000
		Refundable:	\$1,000

IV. APPLICANT SIGNATURE

The following are attached to this application:

- Name(s) and address(es) of all record owner(s) and proof of ownership.
 - If applicant is not the fee-simple owner, the owner's signed authorization for application must be attached to this application.
- Scaled and accurate survey drawing, correlated with a legal description and showing all existing buildings, drives and other improvements.
- Section of Zoning Ordinance involved in this request 2122.(1): 420.0 House of Worship
- [Daycare only]
- Copy of State license.
- Copy of inspection reports.
- Drawing or pictures of the house layout, showing the rooms that you will utilize for the daycare.

[Signature] Applicant Signature Sebastian Robins Print Name 9/30/2024 Date

Approved
 Denied

 Zoning Administrator Signature Print Name Date

Please note: Application cannot be appealed to the Board of Appeals. If denied by the Planning Commission, re-application can be made to the Planning Commission after 365 days, after the date of this application, except on the grounds of new evidence or proof of changed conditions found by the Planning Commission to be valid.



All special conditional use applications

- | | |
|---|--|
| <ul style="list-style-type: none"><input type="checkbox"/> The application is filled out in its entirety and includes the signature of the applicant and, if different than the applicant, the property owner.<input type="checkbox"/> Name(s) and address(es) of all record owner(s) and proof of ownership. If the applicant is not the property owner, written and signed permission from the property owner is required<input type="checkbox"/> A detailed description of the proposed use.<input type="checkbox"/> A site plan, if requested by the planning commission<input type="checkbox"/> Fees | <ul style="list-style-type: none"><input type="checkbox"/> Scaled and accurate survey drawing, correlated with a legal description and showing:<ul style="list-style-type: none"><input type="checkbox"/> All property lines and dimensions<input type="checkbox"/> All existing and proposed structures and dimensions<input type="checkbox"/> Locations of drives, sidewalks, and other paved areas on the property and on the adjacent streets<input type="checkbox"/> Location and dimensions of the nearest structures on adjacent properties<input type="checkbox"/> Easements and dimensions, if applicable |
|---|--|



Potter

ARCHITECTURAL SERVICES

TRANSMITTAL MEMO

October 3, 2024

To: Ypsilanti Township Planning Department
Attn: Community Planner
7200 S. Huron River Dr.
Ypsilanti, MI 48197

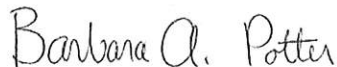
RE: **Zawiyah Foundation, LLC**
Special Land Use Submittal

From: Barb Potter
Potter Architectural Services
630 Terrace Lane
Ypsilanti, MI 48198
734-678-0802

Contents of Transmittal:

Quantity	Date	Item	
1	09/30/24	Full Size Signed and sealed folded drawing set for Special Land Use Review	
1	09/30/24	11 x 17 signed and sealed drawing set for Special Land Use Review	
1	9/30/24	Special Land Use Application	
1	-	Proof of Ownership	
1	9/16/24	Check in the amount of \$2,000.	

Sincerely,



Barbara A. Potter, RA
Potter Architectural Services
734-678-0802

cc: file
Zawiyah Foundation, LLC

WARRANTY DEED

MICHIGAN TITLE INSURANCE AGENCY, INC.
File Number: 44-03340

The Grantor(s) **JEFFREY L. ROTHSTEIN, BY JOSEPH CONSIGLIO HIS ATTORNEY IN FACT WHOSE POWER OF ATTORNEY IS RECORDED IN LIBER _____, PAGE _____.**

whose address is 5718 WHITTAKER RD, YPSILANTI, MI 48197

Convey(s) and Warrant(s) to **ZAWIYAH FOUNDATION MICHIGAN, A MICHIGAN CORPORATION**

whose address is 11666 MCDOUGALL ST., HAMTRAMACK, MI 48212

The following described premises situated in the TOWNSHIP OF YPSILANTI, COUNTY OF WASHTENAW, State of Michigan, and is described as follows:

SEE ATTACHED EXHIBIT A


Property Address: 5718 WHITTAKER RD., YPSILANTI, MI 48197

This property may be located within the vicinity of farmland or a farm operation. Generally accepted agricultural and management practices which may generate noise, dust, odors, and other associated conditions may be used and are protected by the Michigan right to farm act. The Grantor grants to the Grantee the right to make _____ division(s) under Section 108 of the Land Division Act, Act No. 288 of the Public Acts of 1967.

for the sum of **TWO HUNDRED FIVE THOUSAND AND 00/100 DOLLARS (\$205,000.00)**

Subject to: Building and Use Restrictions and Easements of record, if any.

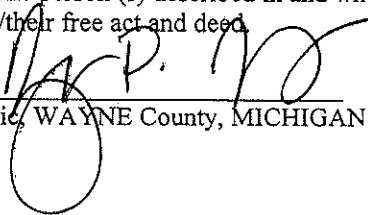
Dated: January 12, 2023



**JEFFREY L. ROTHSTEIN, BY JOSEPH CONSIGLIO
HIS ATTORNEY IN FACT WHOSE POWER OF
ATTORNEY IS RECORDED IN LIBER _____,
PAGE _____.**

STATE OF MICHIGAN
COUNTY OF WAYNE

On this 01/12/2023, before me, a Notary Public in and for said County, personally appeared **JEFFREY L. ROTHSTEIN, BY JOSEPH CONSIGLIO HIS ATTORNEY IN FACT WHOSE POWER OF ATTORNEY IS RECORDED IN LIBER _____, PAGE _____,** to me known to be the same person (s) described in and who executed the foregoing instrument and then acknowledged the same to be his/her/their free act and deed.

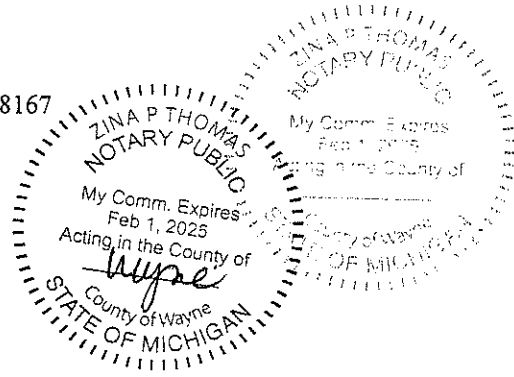


Notary Public, WAYNE County, MICHIGAN

My Commission Expires:

Drafted By: Adam Oberski, 42949 W. Seven Mile Road, Northville, MI 48167

Return To: Zawiyah Foundation Michigan, a Michigan Corporation
5718 Whittaker Rd., Ypsilanti, MI 48197



ZAWIYAH FOUNDATION MICHIGAN

5718 WHITTAKER RD.
YPSILANTI, MI 48197

SLU/PRELIMINARY SITE PLAN REVIEW REVISIONS 11/19/24

Potter
ARCHITECTURAL SERVICES

630 Terrace Lane | Ypsilanti, MI | 48198
Phone: 734-678-0802
Email: bpotter@potterarch.com
http://www.potterarch.com

Potter
ARCHITECTURAL SERVICES

Architect
Potter Architectural Services
630 Terrace Lane
Ypsilanti, MI 48198
(P) 734-678-0802
(E) bpotter@potterarch.com
Contact Name: Barbara Potter

Civil Engineer/Landscape Architect
Washtenaw Engineering
3526 W. Liberty St., Suite 400
Ann Arbor, MI 48103
(P) 734-761-8800
(E) jkm@wengco.com
Contact Name: Joe Maynard

Owner
Zawiyah Foundation Michigan
5718 Whittaker Rd.
Ypsilanti, MI
(P) (415) 912-8406
(E) sebastian@lamafoundation.com
Contact: Sebastian Robins



CHANGE OF USE REVIEW:
CHANGE TO AN EQUALLY OR LESS INTENSE USE, THAT DOES NOT INVOLVE SUBSTANTIAL CHANGE IN PARKING, TRAFFIC FLOW, HOURS OF OPERATION, PUBLIC SERVICES, EFFLUENT DISCHARGE, OR SUBSTANTIAL ALTERATION OF THE PHYSICAL CHARACTER OF THE SITE

LEGAL DESCRIPTION
THE LAND SITUATED IN THE TOWNSHIP OF YPSILANTI, COUNTY OF WASHTENAW, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH ¼ CORNER OS SECTION 21, TOWN 3 SOUTH, RANGE 7 EAST; THENCE NORTH 00 DEGREES 37 MINUTES 27 SECONDS EAST 1022.76 FEET ALONG THE NORTH-SOUTH ¼ LINE OF SAID SECTION 21 TO THE CENTERLINE OF WHITTAKER ROAD; THENCE NORTH 46 DEGREES 11 MINUTES 00 SECONDS WEST 696.24 FEET ALONG SAID CENTERLINE OF WHITTAKER ROAD TO THE POINT OF BEGINNING, THENCE CONTINUING NORTH 46 DEGREES 11 MINUTES 00 SECONDS WEST 100.00 FEET; THENCE SOUTH 42 DEGREES 62 MINUTES 30 SECONDS WEST 250.00 FEET MORE OR LESS TO THE CENTERLINE OF PAINT CREEK; THENCE SOUTHERLY ALONG THE CENTERLINE OS PAINT CREEK TO A POINT BEING SOUTH 42 DEGREES 52 MINUTES 30 SECONDS WEST 368.00 FEET MORE OR LESS FROM SAID POINT OF BEGINNING, THENCE NORTH 42 DEGREES 52 MINUTES 30 SECONDS EAST 368.00 FEET MORE OR LESS TO THE POINT OF BEGINNING.

		Change of Use/Special Land Use 9-30-24	Preliminary Site Plan Approval 10-23-24	SLU/SP Review Revisions 11/19/24
TS-1	Cover Sheet, Property Info, Ground Sign	X	X	X
C-1	Site/Landscape Plan, Turning Radius	X	X	X
A-0	Code Review Matrix	X	X	X
A-1	Demolition & Floor Plan, Notes, Legends	X	X	X

DRAWING INDEX

PROJECT:
Zawiyah Foundation Michigan
Change of Occupancy/
Minor Renovation

5718 Whittaker Rd.
Ypsilanti, MI 48197

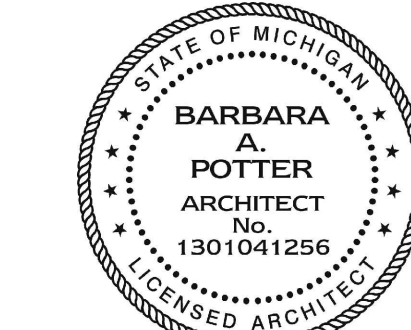
ISSUES/REVISIONS:	ISSUE DATE
SLU/ Change of Use	9-30-24
Prelim. Site Plan Approval	10-23-24
SLU/SP Review Revisions	11-19-24

SHEET TITLE
COVER SHEET
ZONING AND BUILDING
DATA
GROUND SIGN

(DO NOT SCALE DRAWINGS)

DATE:	
APPROVED BY:	B. POTTER
CHECKED BY:	B. POTTER
DESIGNED BY:	B. POTTER
DRAWN BY:	B. POTTER

ARCH./ENG. SEAL

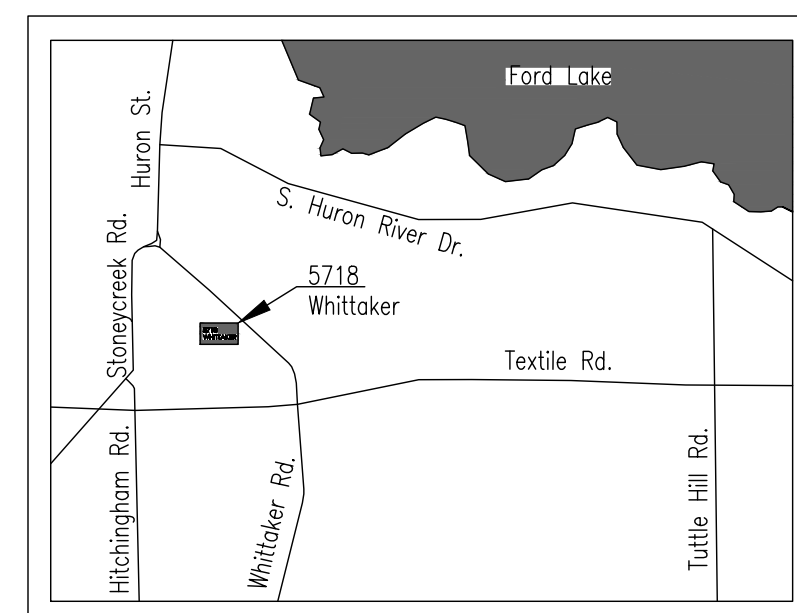


Barbara A. Potter

PAS PROJECT NUMBER:
2415

SHEET NUMBER:

TS-1



VICINITY MAP
SCALE: NTS



EXISTING GROUND SIGN
SCALE: NTS

OCCUPANT LOAD CALCULATIONS	
BUSINESS GROUP B: 1/100 SF - 697 GSF/100 = 7 OCCUPANTS	
ASSEMBLY AREA: 12 MAX. PER AFFADAVIT	
TOTAL OCCUPANTS = 19	
OCCUPANT LOAD GROUND FLOOR: 19 - 1 EXIT ALLOWED IF <49 TRAVEL DISTANCE TO MEANS OF EGRESS 75' ALLOWED DISTANCE PROVIDED < 75' - 1 EXIT ALLOWED	
EXISTING BUILDING DATA	
CONSTRUCTION TYPE: TYPE V-B	
CONSTRUCTION: SINGLE STORY WITH BASEMENT	
WOOD FRAME, BRICK VENEER, ASPHALT SHINGLES	
< 25 FT HIGH	
NOT SPRINKLERED	

TABLE OF LAND USE AND ZONING		
PARCEL ID: K-11-21-300-034		
NEIGHBORHOOD BUSINESS DISTRICT (NB)		
PROPOSED USE: HOUSE OF WORSHIP-ASSEMBLY <50 OCC. BUSINESS USE GROUP		
ZONING REQUIREMENT	REQUIRED	PROPOSED
MINIMUM LOT AREA	NONE	30,884 SF (.709 ACRES)
MINIMUM LOT WIDTH	NONE	100 FT. (EX)
MAXIMUM BUILDING COVERAGE	NONE	1,532 SF (4.9%)
MAXIMUM BUILDING HEIGHT	25 FT (2 STORIES)	< 25 FT
MIN. FRONT YARD SETBACK	20 FT.	82.4 FT
MIN. SIDE YARD SETBACK	10 FT.	10 FT. (EX)
MIN. REAR YARD SETBACK	50 FT.	50 FT (EX)
PARKING FRONT YARD SETBACK	20 FT.	37.5 FT. (EX)
PARKING SIDE YARD SETBACK	10 FT.	10 FT. (EX)

BUILDING COVERAGE		
EXISTING BUILDING FOOTPRINT: 1,532 SQ. FT.		
OFF-STREET PARKING REQUIREMENTS		
ORD. SECTION	REQUIRED	PROPOSED
1205	PROFESSIONAL OFFICE: 1 SPACE PER 300 GSF (1,532 SF) (1/300SF) = 5 SPACES	12 SPACES (INCLUDING 2 ADA)
1205	90 DEG. PARKING SPACE LAYOUT: 9 FT X 18 FT W/ 24 FT AISLE	9 FT X 18 FT W/ 24 FT AISLE

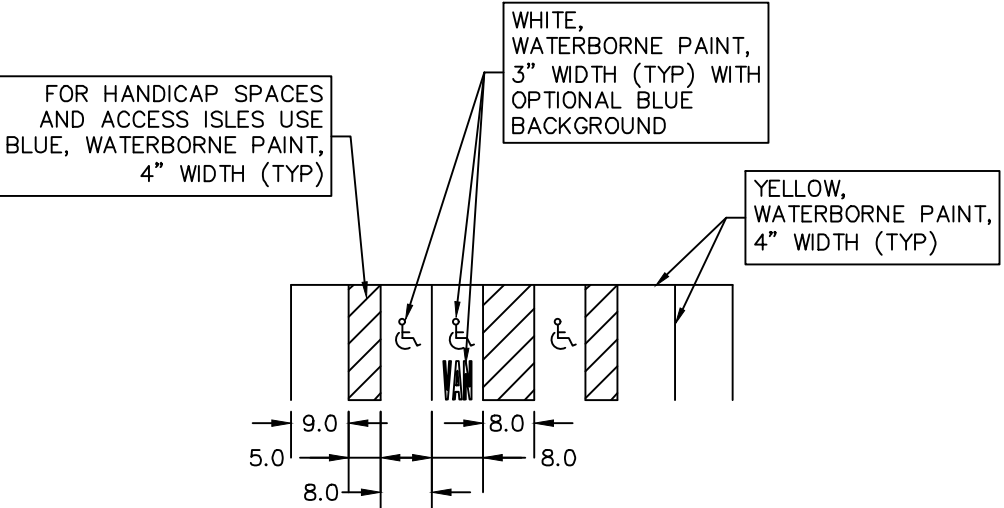
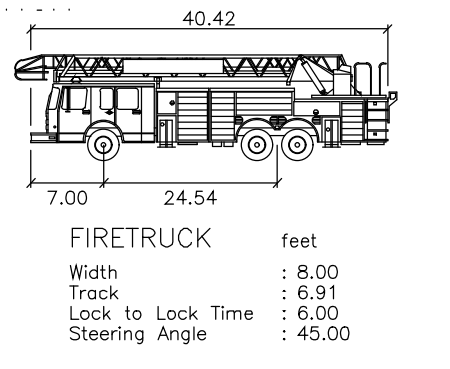
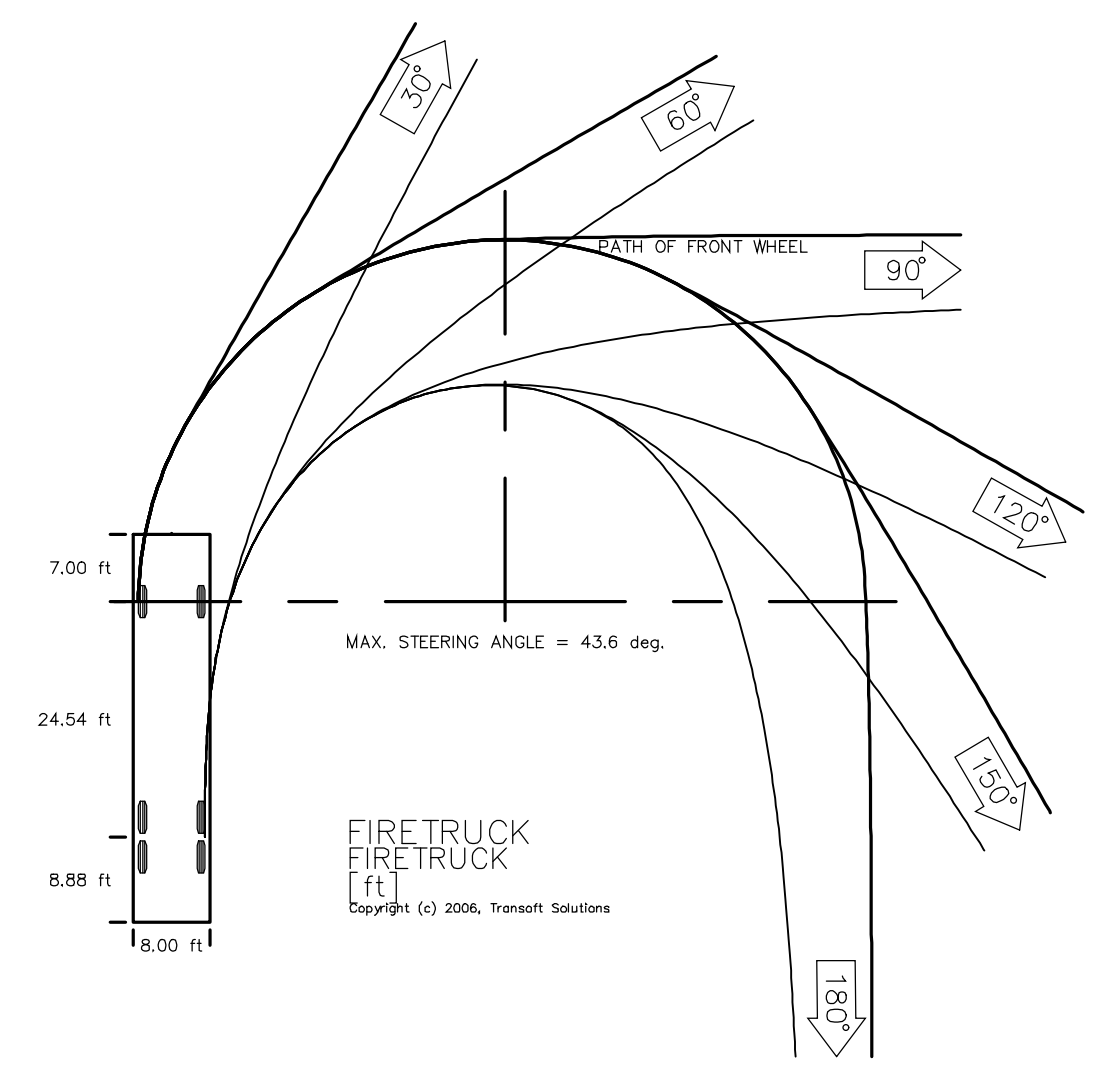
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM RECON SURVEY INFORMATION AND EXISTING RECORDS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

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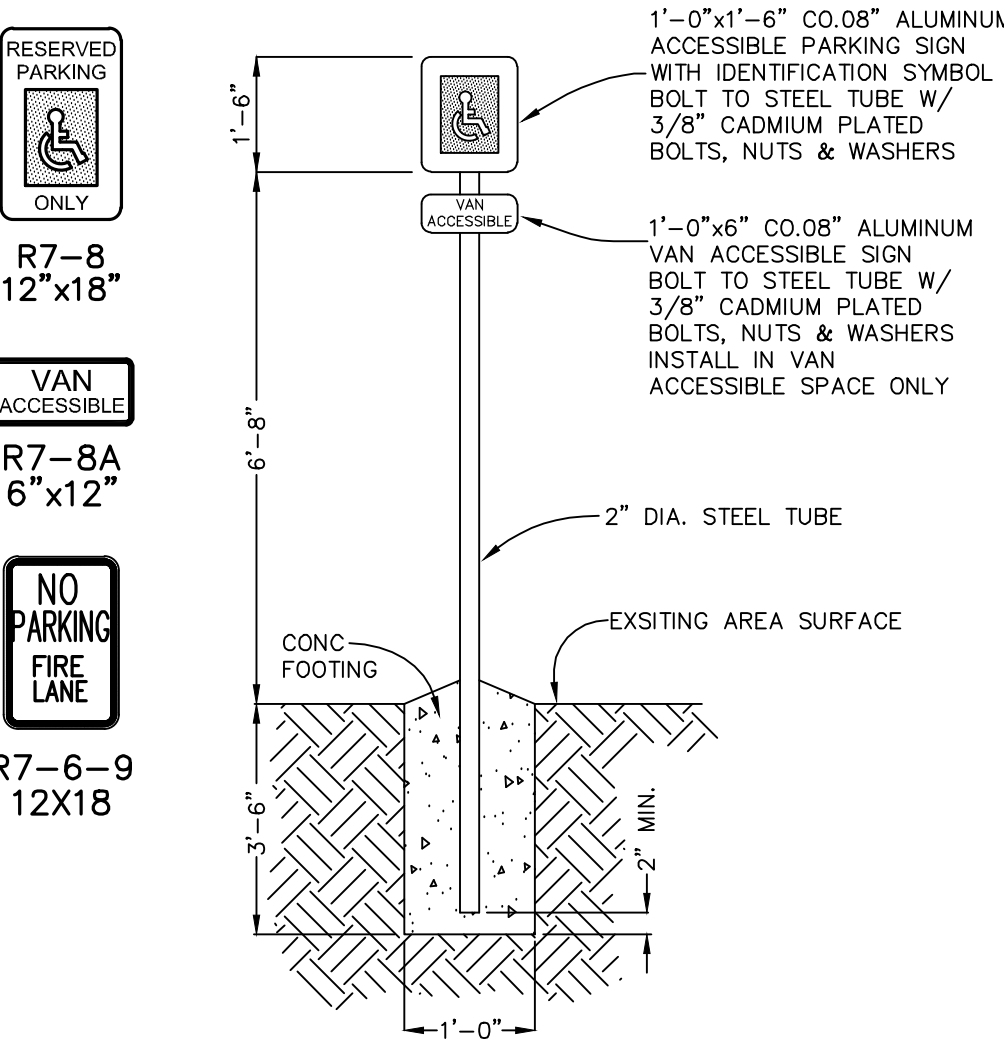
THE OWNER SHALL USE THE UNUSUAL OR OTHER SPECIAL TO USE THE DRAWINGS. SPECIFICATIONS, REFERENCED BY THIS DRAWING, ARE NOT TO BE ADDED TO OR DELETED FROM THIS PROJECT OR FOR COMPLETION OF THE PROJECT BY OTHER INSTRUMENTS OF SERVICE OR OTHER PROJECTS. FOR ADDITIONS TO THIS PROJECT, THE SURVEYOR SHALL BE ADVISED IN WRITING UNDER THE AGREEMENT. THE SURVEYOR SHALL NOT BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT OR FOR THE CONSTRUCTION OF THE PROJECT. THE SURVEYOR SHALL NOT BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT OR FOR THE CONSTRUCTION OF THE PROJECT. THE SURVEYOR SHALL NOT BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT OR FOR THE CONSTRUCTION OF THE PROJECT.



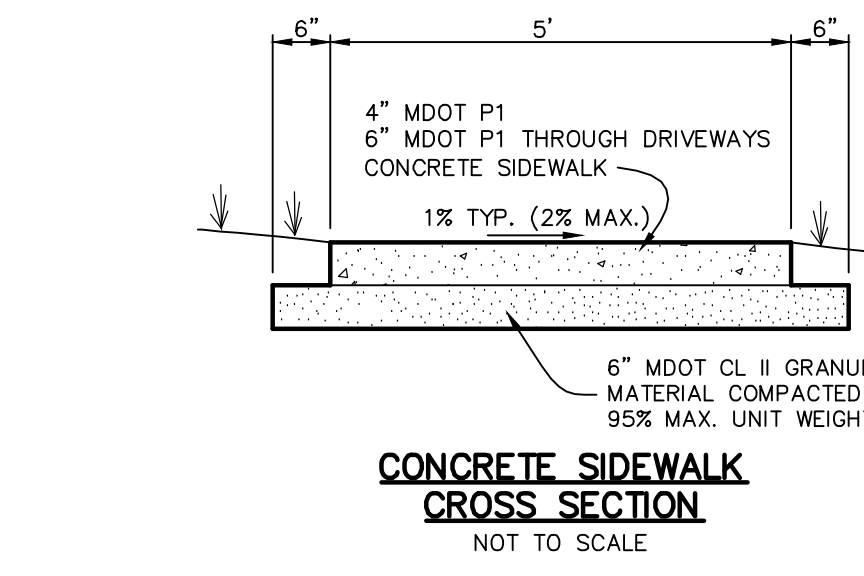
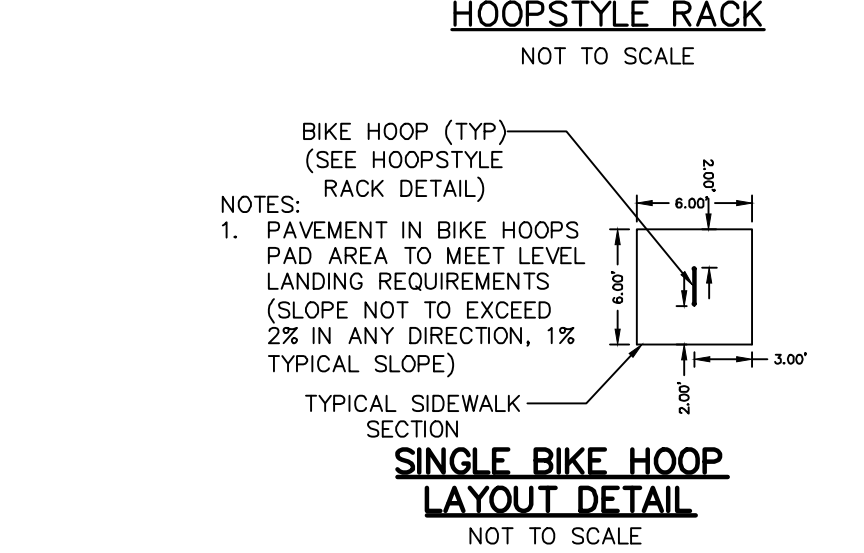
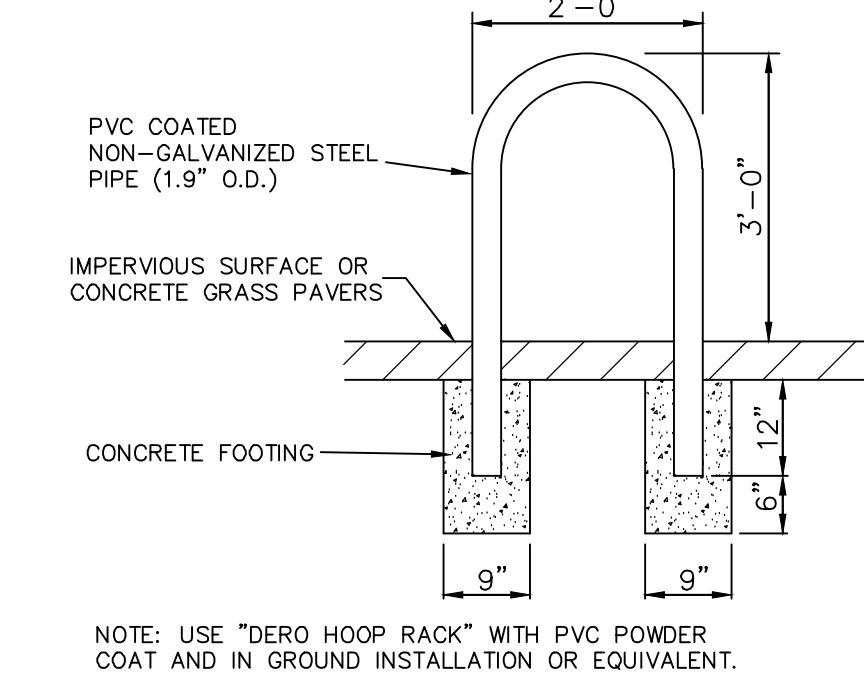
SAMPLE 96 GALLON BIN



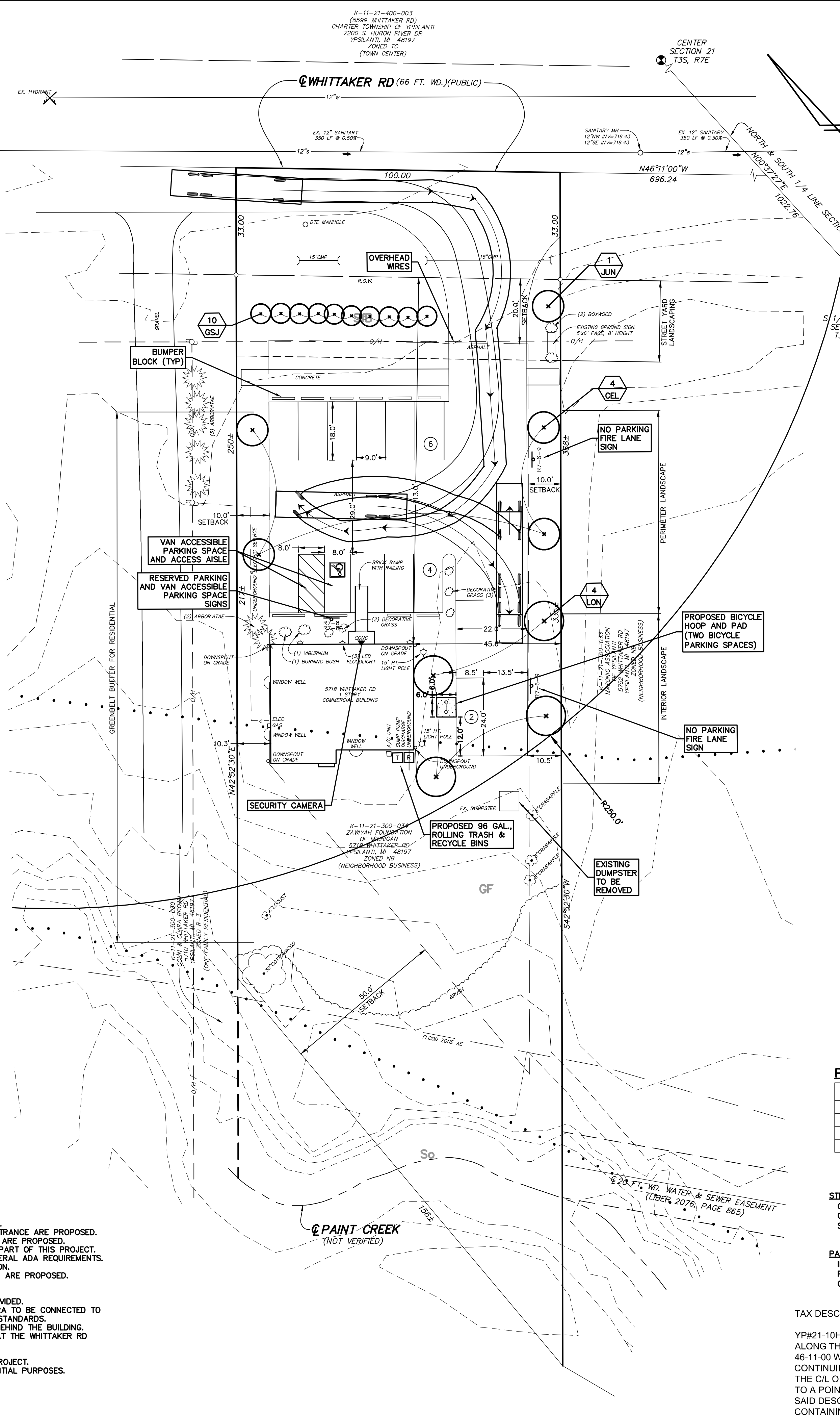
- PARKING SPACE PAVEMENT MARKING NOTES:**
- PARKING LINES ARE TO BE 4" WIDE. USE YELLOW WATERBORNE PAINT APPLIED IN TWO COATS. CONTRACTOR TO WAIT AT LEAST 3 DAYS AFTER FINAL PAVING TO APPLY PAINT.
 - PARKING SPACE DIMENSIONS ARE A MINIMUM OF 9 FT WIDTH AND 18 FT DEPTH. HANDICAP SPACE DIMENSIONS ARE A MINIMUM 8 FT WIDTH WITH A 5 FT ACCESS ISLE ADJACENT. FOR VAN ACCESSIBLE SPACES THE DIMENSIONS ARE A MINIMUM OF 11 FT WIDTH WITH A 5 FT ACCESS ISLE ON THE RIGHT HAND SIDE OR A MINIMUM OF 8 FT WIDTH WITH A 8 FT ACCESS ISLE ON THE RIGHT HAND SIDE.
 - BLUE LINES ARE TO BE USED FOR HANDICAP SPACE LINES AND ACCESS ISLE MARKINGS.
 - HANDICAP SYMBOL FOR PARKING SPACES IS TO BE 3" MINIMUM STROKE WIDTH. USE WHITE WATERBORNE PAINT APPLIED IN TWO COATS. THE SYMBOL HEIGHT IS TO BE A MINIMUM OF 28 INCHES. AN OPTIONAL BLUE BACKGROUND AND WHITE BORDER ARE OPTIONAL.



- PROPOSED LEGEND**
- CONCRETE SURFACE
 - SIGN
 - BICYCLE PARKING
 - BUMPER BLOCK
 - SECURITY CAMERA
- WASHTENAW COUNTY SOIL SURVEY CLASSIFICATION**
- GF - GILFORD SANDY LOAM, 0 TO 2 PERCENT SLOPES
 - SfB - SEWARD SANDY LOAM, 0 TO 1 PERCENT SLOPES
 - So - SLOAN SILT LOAM, 0 TO 1 PERCENT SLOPES
 - Sols - SOILS BOUNDARY
- SOILS ARE BASED ON USDA SOIL SURVEY OF WASHTENAW COUNTY.**



- NOTES:**
- TOPOGRAPHY WAS GENERATED BY EWASHTENAW.ORG MAPPING WEBSITE.
 - WETLANDS WERE NOT SURVEYED.
 - FLOOD NOTE - FLOOD ZONE LOCATED FROM FIRM MAP NUMBER 26161C0430E.
 - WHITTAKER ROAD IS POSTED AT 45 MPH. NO CHANGES TO THE EXISTING ENTRANCE ARE PROPOSED.
 - EXISTING DEVELOPED SITE. NO CHANGES TO THE STORM WATER MANAGEMENT ARE PROPOSED.
 - AN ADDITIONAL 36 SQUARE FEET OF IMPERVIOUS SURFACE IS PROPOSED AS PART OF THIS PROJECT.
 - THE VAN ACCESSIBLE SPACE AND ADJOINING ACCESS ISLE ARE TO MEET FEDERAL ADA REQUIREMENTS. THE PAVEMENT IN THIS AREA WILL HAVE 2% OR LESS SLOPE IN ANY DIRECTION.
 - THE PAINT STRIPING SHOWN IS PROPOSED. A TOTAL OF 12 PARKING SPACES ARE PROPOSED.
 - BUMPER BLOCKS ARE PROPOSED FOR THE 90° PARKING SPACES.
 - BOUNDARY INFORMATION FROM RECORD DRAWINGS.
 - NO LARGE DELIVERIES ARE EXPECTED AT THE SITE. NO LOADING SPACE PROVIDED.
 - SECURITY CAMERA TO BE PLACED ABOVE ENTRANCE DOOR. SECURITY CAMERA TO BE CONNECTED TO SECURITY SYSTEM INSIDE BUILDING. SECURITY SYSTEM TO MEET ORDINANCE STANDARDS.
 - TRASH TO BE STORED IN 96 GALLON BINS, ONE TRASH AND ONE RECYCLE, BEHIND THE BUILDING. CAN ADD AN ADDITIONAL RECYCLE BIN AS REQUIRED. BINS TO BE PLACED AT THE WHITTAKER RD EDGE-OF-METAL FOR TRASH PICKUP ONCE PER WEEK.
 - NO PROPOSED CHANGES TO THE EXTERIOR LIGHTING.
 - NO CHANGES TO THE EXISTING BUILDING ARE PROPOSED AS PART OF THIS PROJECT.
 - APPLICANT UNDERSTANDS THAT THE BUILDING CANNOT BE USED FOR RESIDENTIAL PURPOSES.



EXISTING ARBORVITAE

SIZE
4"
4"
8"
8"
10"
10"
527/8"=8.7 TREES

- Sec. 1301 - Landscape Requirements:**
- C. Street yard landscaping.**
- A minimum of one (1) large deciduous tree shall be planted for each forty (40) lineal feet of frontage, or portion thereof, plus
 - A minimum of one (1) ornamental tree shall be planted for each one hundred (100) lineal feet of frontage or portion thereof, plus
 - A minimum of one (1) shrub shall be planted for each ten (10) lineal feet of frontage, or portion thereof.
- D. Parking lot landscaping.**
- 1) Interior requirements:**
- One (1) large deciduous tree shall be required for each two thousand (2,000) square feet of paved driveway and parking lot surface, provided that no less than two (2) trees are provided.
 - Trees shall be distributed evenly throughout the parking area. There shall be no more than twelve (12) spaces in a row without a landscape break.
 - Each tree shall be provided with an open land area of not less than one hundred fifty (150) square feet to provide area for infiltration.
 - The preservation of existing trees within or adjacent to a parking area can be used to fulfill the requirement for parking lot trees. In such cases, every six (6) caliper inches of preserved tree shall be counted as one parking lot tree.
 - An equivalent amount of landscape plantings at the perimeter of parking lots may be approved where landscaping within parking lots would be impractical due to the size of the parking lot, detrimental to safe and efficient traffic flow, or would create an unreasonable burden for maintenance and snowplowing, provided all other landscaping requirements are met.
- 2) Perimeter**
- Canopy trees shall be provided along the perimeter of a parking lot at a minimum rate of one (1) tree per forty (40) feet of lot perimeter; however, trees need not be planted on forty (40) foot centers.
 - Parking lots that serve uses set forth in Section 1301.3H shall meet the landscaping requirements set forth in Section 1301.3H where such screening is needed to promote a compatible relationship with an adjacent use.
 - A minimum distance of three (3) feet from the backside of the curb and the proposed landscape plantings shall be provided. Where vehicles overhang a landscape island or strip, a minimum distance of five (5) feet from the backside of the curb and the proposed landscape plantings shall be provided.
 - Parking lots that front on a public roadway shall meet street yard landscaping requirements set forth in Section 1301.2.C.
 - Where an off-street parking area is located within a required front yard, a landscape berm or continuous minimum three (3) foot tall hedge row shall be provided within the greenbelt between parking area and the road right-of-way. The Planning Commission, at its discretion, may approve alternative landscape plantings or a solid wall in lieu of a landscape berm or hedges.
- E. Greenbelt buffer for residential developments.**
- The landscape requirements between the wall and the future right-of-way shall meet the street yard landscaping as set forth in Section 1301.3H.
- L. Landscape berms.**
- Berms shall be at least three (3) feet above the grade elevation and shall be constructed with slopes no steeper than one (1) foot vertical for each three (3) feet horizontal with at least a two (2) foot flat area on the top. For the purposes of this provision, grade elevation shall be the ground elevation at the property line adjacent to the proposed berm. The height of the berm shall be measured from the surface of the parking area or land on the nonresidential side of the berm.
 - The berm area shall be planted with grass or other suitable ground cover to ensure that it withstands wind and weather and retains its height and shape.
 - Within a landscape berm, plant material shall be provided as follows:
 - A minimum of one (1) evergreen tree per fifty (50) lineal feet or fraction thereof, plus
 - A minimum of one (1) deciduous tree per one hundred (100) lineal feet or fraction thereof, plus
 - A minimum of one (1) shrub per twenty (20) lineal feet or fraction thereof.

PLANT LIST

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENT
CEL	4	Celtis occidentalis	COMMON HACKBERRY	2.5" CAL.	B & B
LON	4	Platanus x acerifolia	LONDON PLANE TREE	2.5" CAL.	B & B
JUN	1	Amelanchier canadensis	JUNE BERRY	6" HT.	B & B
GSJ	10	Juniper chinensis	GOLD STAR JUNIPER	24" HT.	CONT.

LANDSCAPE REQUIREMENTS

	REQUIRED	EXISTING	PROVIDED
STREET YARD LANDSCAPING			
CANOPY	3	0	0*
ORNAMENTAL	1	0	1
SHRUBS	10	0	10
PARKING LOT LANDSCAPING			
INTERIOR LANDSCAPING (7,130 SF)	3.56	0	4
PERIMETER LANDSCAPING	4	0	4
GREENBELT BUFFER FOR RESIDENTIAL			
CANOPY	4	2	0*
SHRUBS	9	0	0*

TAX DESCRIPTION

YP#21-10H-1A: COM AT THE S 1/4 CORNER OF SEC 21, TH N 00-37-27 E 1022.76 ALONG THE N/S 1/4 LINE OF SEC 21 TO THE C/L OF WHITTAKER ROAD; TH N 46-11-00 W 696.24 FT ALONG C/L OF WHITTAKER ROAD TO THE P.O.B.; TH CONTINUING N 46-11-00 W 100 FT; TH S 42-52-30 W 250 FT MORE OR LESS TO THE C/L OF PAINT CREEK; TH SOUTHERLY ALONG CENTER OF PAINT CREEK TO A POINT BEING S 42-52-30 W 368 FT MORE OR LESS FROM THE P.O.B. OF SAID DESCRIPTION; TH N 42-52-30 E 368 FT MORE OR LESS TO THE P.O.B., CONTAINING .71 ACRE +/-, SEC 21, T3S-R7E. (PER L-3365 P-156 12/19/1996)

PREPARED BY: *Joseph K. Maynard*
 JOSEPH K. MAYNARD P.E., MICH No. 52559



CLIENT
 ZAWIYAH FOUNDATION
 MICHIGAN
 5718 WHITTAKER RD
 YPSILANTI, MI 48197
 TEL: 415-912-8406

SHEET
 EXISTING CONDITIONS AND
 CHANGE OF
 OCCUPANCY
 SITE PLAN

PROJECT
 SECTION 21 TOWN 3 SOUTH RANGE 7 EAST
 YPSILANTI TOWNSHIP
 WASHTENAW COUNTY MICHIGAN
 JOB NO. 33131
 DATE 9-4-2024
 DWS no. ct site plan
 FIELD BOOK NONE
 FILE NO. 10866

LEGEND

- LIGHT POLE
- UTILITY POLE
- GUY ANCHOR
- HYDRANT
- SPOT ELEV.
- POST
- GATE VALVE
- SIGN
- TOP OF CURB
- TOP OF WALL
- MANHOLE
- CATCHBASIN
- END SECTION
- GRAVEL
- FENCE
- CONCRETE
- ASPHALT
- EXISTING STORM
- EXISTING SANITARY
- EXISTING WATER
- EXISTING GAS
- EXISTING ELECTRIC
- EXISTING TELEPHONE

BENCHMARK -

REVISIONS 11-19-2024 PER TWP REVIEW

SCALE
 0 10 20 40
 SCALE: 1"=20'

PROJECT:

Zawiyah Foundation Michigan
Change of Occupancy/
Minor Renovation

5718 Whittaker Rd.
Ypsilanti, MI 48197

ISSUES/REVISIONS:	ISSUE DATE
SLU/ Change of Use	9-30-24
Prelim. Site Plan Approval	10-23-24
SLU/SP Review Revisions	11-19-24

SHEET TITLE

SITE PLAN
CODE COMPLIANCE

(DO NOT SCALE DRAWINGS)

DATE:	
APPROVED BY:	B. POTTER
CHECKED BY:	B. POTTER
DESIGNED BY:	B. POTTER
DRAWN BY:	B. POTTER

ARCH./ENG. SEAL



Barbara A. Potter

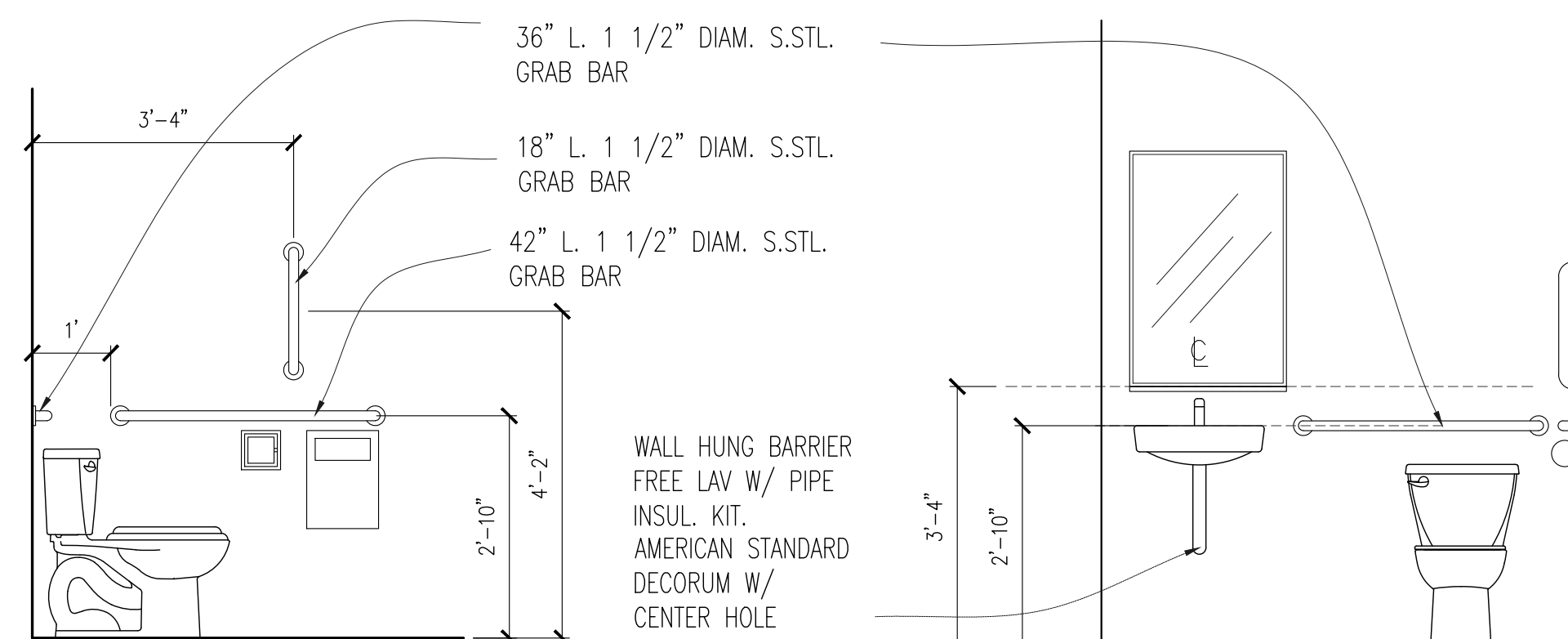
PAS PROJECT NUMBER:

2415

SHEET NUMBER:

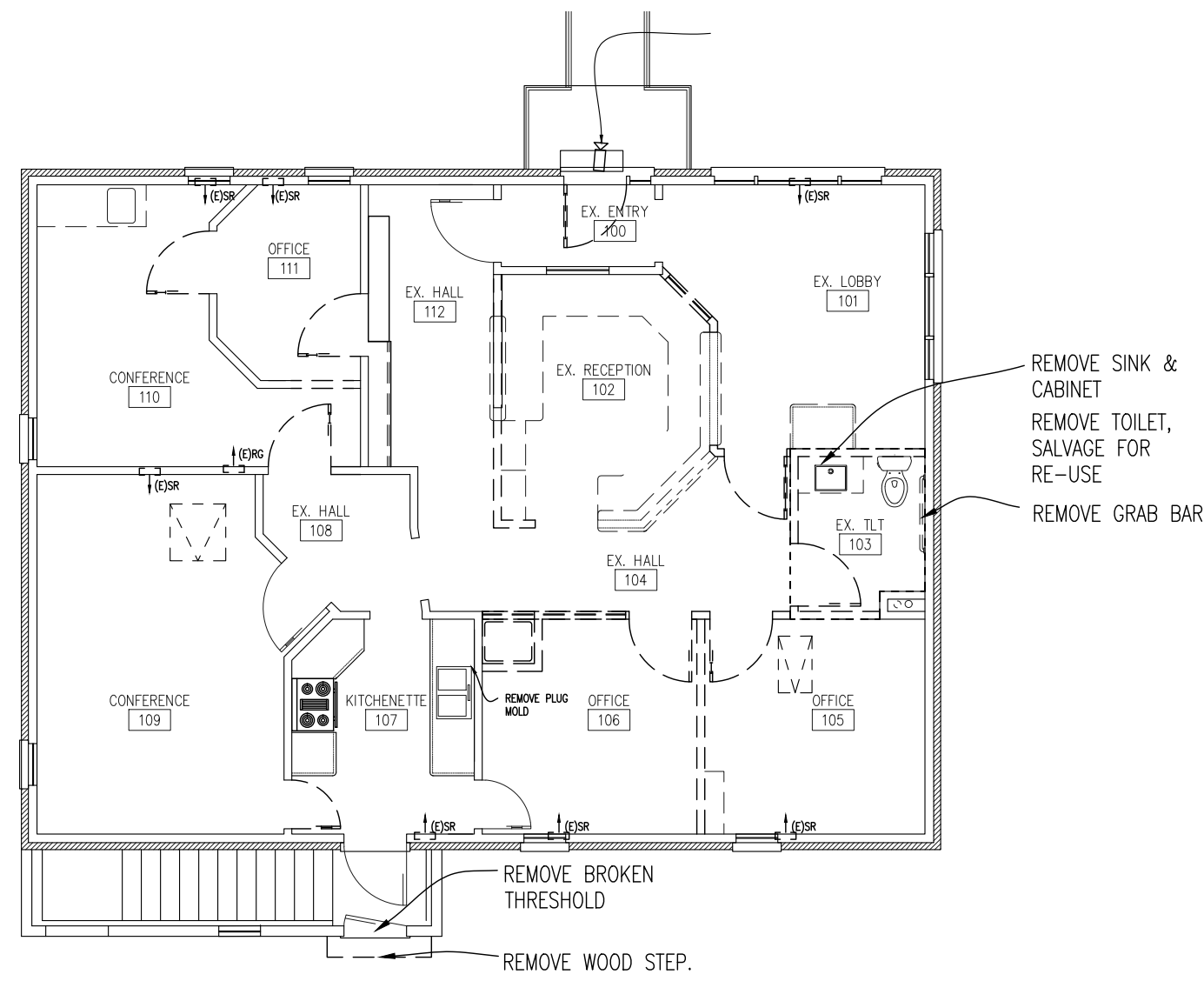
A-0

BUILDING CODE SUMMARY						
Applicable Codes	Michigan Rehabilitation Code 2015 w/ reference to Michigan Building Code 2015 Michigan Mechanical Code 2015 Michigan Plumbing Code 2015 National Electrical Code 2014 & Part 8 Rules					
Authorities Having Jurisdiction	Ypsilanti Township					
Project Summary	Change of Use from Business Office for a non-profit agency to House of Worship Bathroom Renovations.					
Total Bldg. Area	1,532 SF					
Bldg. Ht.	1 St./ 15 Ft (Exist.)					
Item	MRCCEB Section	MBC Section	Requirement	Provided		
Classification of Work	Change of Occupancy	506.1		Comply with Ch. 10 MRCEB		
Use Group	B-Business (Assembly <50)		304.1			
Construction Type	5B Comb/Unprotected		602.5	5B		
Fire Rated Constr.	Exterior Bearing Walls	1012.6	T601	0 hr.	0 hr	Meets Requirement
	Interior Bearing Walls		T601	0 hr.	0 hr	Meets Requirement
	Structural Members		T601	0 hr.	0 hr	Meets Requirement
	Floor		T601	0 hr.	0 hr	Meets Requirement
	Roof		T601	0 hr.	0 hr	Meets Requirement
Interior Finishes		1012.3	T803.11	Class A/B/C	Class A/B/C	Meets Requirements
Fire Protection	Not Sprinklered	1012.2.2	903.2	Not Required	Not provided	Meets Requirements
Means of Egress	Occupant Load	1012.4.3	T1004.1.2	19 occupants		
	Corridor Width	1012.4.3	1020.2	36" (occupancy <50)	40" (ex)	Meets Requirements
	Corridor Fire Rating		1017.1	0 hr	0 hr	Meets Requirements
	Max.Travel Distance		T1006.2.1	75'	54 ft	Meets Requirements
	Accessible Means of Egress		1009.1.1	Not required in ex. bldg.	1 provided (Existing Ramp)	Meets Requirements
	Door Size		1010.1	32" clear from face of door to stop.	32" clear	Meets Requirements
	Stairway width		1011.1	36"	40"	
	Stairway Fire Rating					
	Treads & Risers	403.1	1011.5.2	An existing stairway shall not be required to comply with the requirements of Section 1011 of the International Building Code where the existing space and construction does not allow a reduction in pitch or slope.		Meets Requirement
	Number of Exits Required		T1006.3.2(2)	1	Less than 75' travel/occ. load <48 54'-0" travel distance provided	Meets Requirement
Mechanical						
		1009.1		Comply with MMC 2015 for ventilation		
Plumbing						
	Plumbing Fixtures	1010.1	MPC 401	Comply with MPC if increased demand	1WC/1 Lav Women, 1WC/1Lav Men, 1 add'l lav, 1 mop sink	Meets Requirement

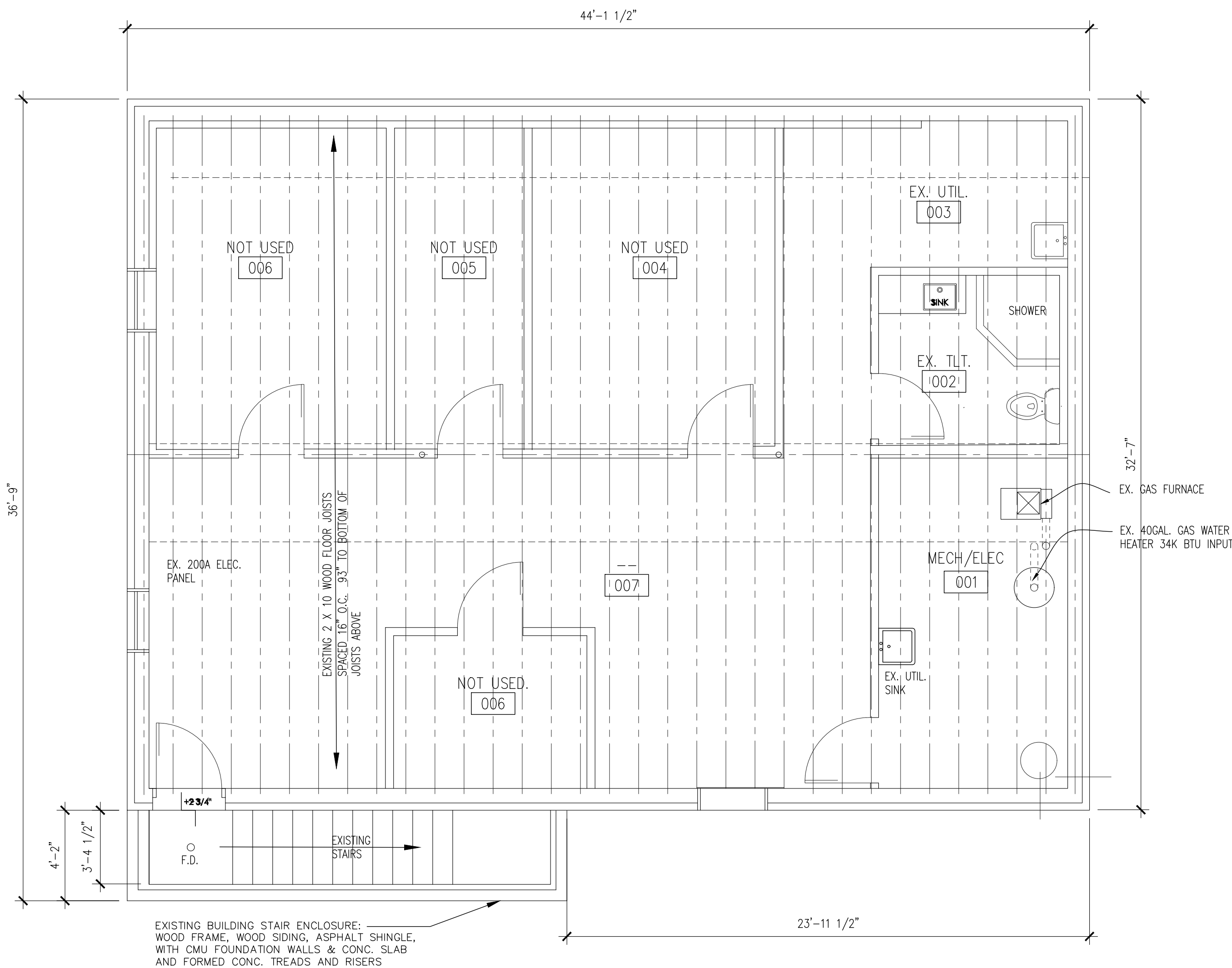


ELEVATION – ADA GRAB BAR CONFIG.

SCALE: 1/2" = 1'-0"



GROUND FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



BASEMENT CONSTRUCTION IS EXISTING. NO WORK TO BE COMPLETED.

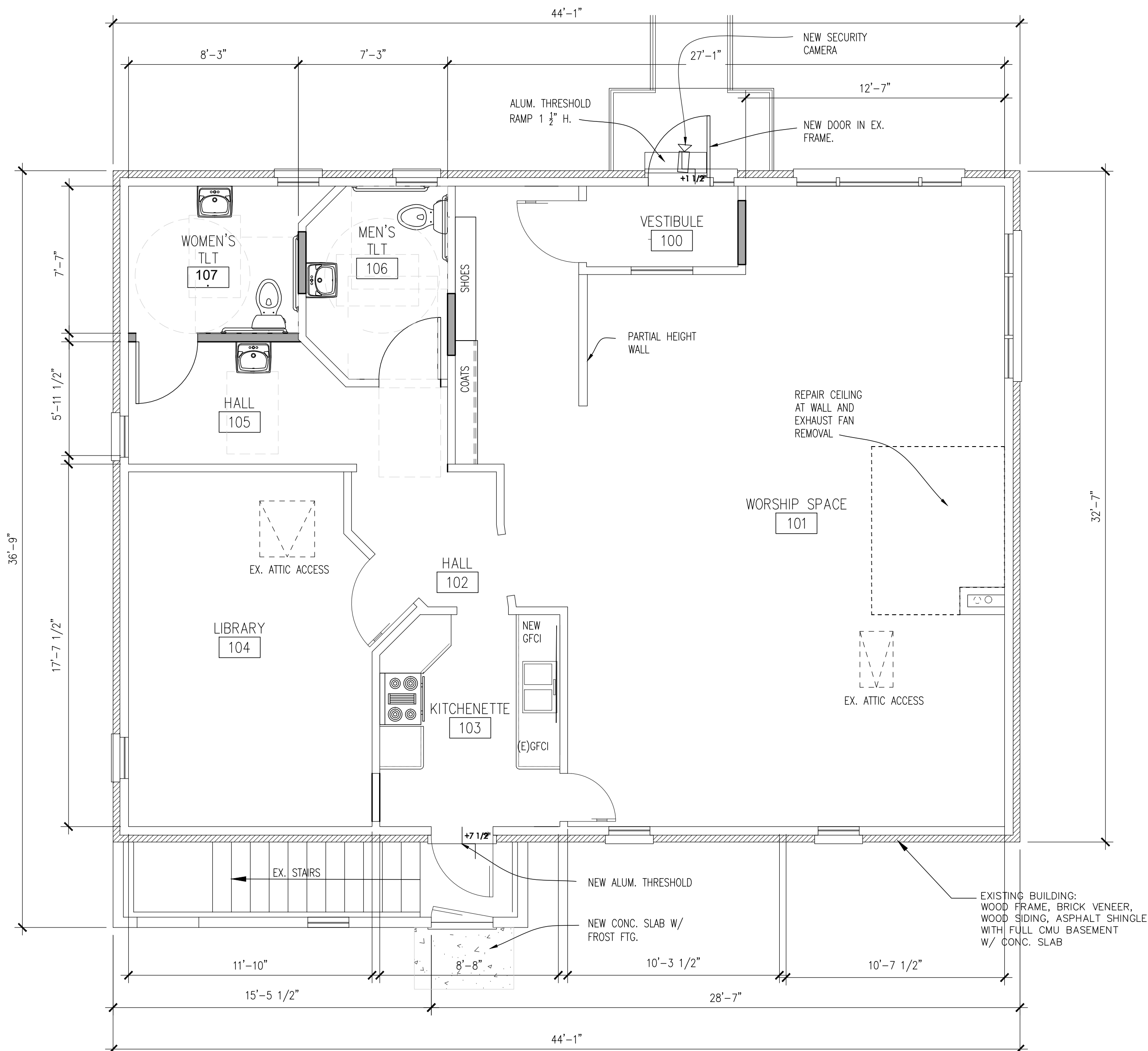
BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL FLOOR PLAN NOTES:

- A. GENERAL FLOOR PLAN / PARTITION NOTES AND PARTITION TYPES APPLY TO ALL FLOOR PLANS AND ENLARGED FLOOR PLANS INCLUDED WITHIN THIS DOCUMENT SET.
- B. ALL NEW PARTITIONS SHALL BE PARTITION TYPE MS1, UNO.
- C. ALL INTERIOR PARTITION DIMENSIONS ARE TO FINISH FACE, UNO.
- D. MAINTAIN INTEGRITY OF ALL NEW OR EXISTING FIRE RATED PARTITIONS. REFER TO REFLECTED CEILING PLANS FOR FIRE RATED PARTITION LOCATIONS.
- E. WHERE EXISTING SUBSTRATES ARE LOCATED WITHIN NEW FINISHED AREAS, OR PATCHING OF EXISTING SUBSTRATES WITHIN EXISTING ROOMS IS REQUIRED DUE TO WALL INFILL OR DEVICE REMOVAL, NEW FINISHES SHALL EXTEND TO NEAREST NATURAL BREAK OR TERMINATION FOR A CLEAN, UNBLEMISHED APPEARANCE AT THE END OF CONSTRUCTION. REFER TO ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATIONS OF INCIDENTAL ADDITIONAL FINISH WORK ASSOCIATED WITH RESTORATION OF EXISTING FINISHES WHERE ALTERED BY ARCHITECTURAL, MECHANICAL AND ELECTRICAL WORK.
- F. THE CONTRACTOR SHALL FURNISH AND INSTALL WALL REINFORCING FOR INSTALLATION OF EQUIPMENT, CASEWORK, TOILET ACCESSORIES, HANDRAILS, ETC.
- G. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO BEGINNING WORK OR SUPPLYING MATERIALS OR COMPONENTS. LAYOUT ALL WALLS PRIOR TO COMMENCEMENT OF FRAMING AND NOTIFY ARCHITECT FOR DISPOSITION OF MAJOR DIMENSIONAL CONFLICTS.
- H. REMOVE ALL UNUSED TELECOM WIRING AND EQUIPMENT WIRING FROM PREVIOUS OWNER.
- J. REMOVE MISCELLANEOUS WALL MOUNTED ITEMS. PATCH/REPAIR AND REPAINT ALL ROOMS.

DEMOLITION & FLOOR PLAN LEGEND

- EXISTING WALL
- DEMO WALL
- NEW STUD WALL
- EXISTING DOOR
- NEW DOOR
- DEMO DOOR
- EX. SMOKE DETECTOR
- EX. ELEC. RECEPTACLE
- NEW ELEC. RECEPTACLE
- NAME ROOM TAG
- NO. ROOM TAG



GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

PROJECT:
Zawiyah Foundation Michigan
Change of Occupancy/
Minor Renovation

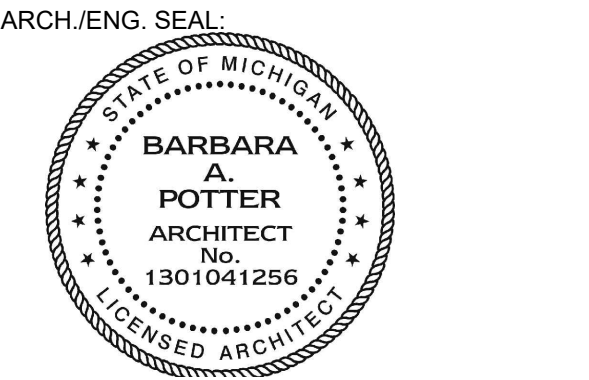
5718 Whittaker Rd.
Ypsilanti, MI 48197

ISSUES/REVISIONS:	ISSUE DATE
SLU/ Change of Use	9-30-24
Prelim. Site Plan Approval	10-23-24
SLU/SP Review Revisions	11-19-24

SHEET TITLE
DEMOLITION PLAN
BASEMENT AND
MAIN FLOOR PLAN

(DO NOT SCALE DRAWINGS)

DATE:	
APPROVED BY:	B. POTTER
CHECKED BY:	B. POTTER
DESIGNED BY:	B. POTTER
DRAWN BY:	B. POTTER



Barbara A. Potter
PAS PROJECT NUMBER:
2415
SHEET NUMBER:

PRINCIPALS
J.K. MAYNARD, P.E.
D.J. HOUCK
D.L. MOORE

ASSOCIATE
T.L. SUTHERLAND, P.S.



CIVIL ENGINEERS * PLANNERS * SURVEYORS
TRANSPORTATION ENGINEERS
LANDSCAPE ARCHITECTS

November 18, 2024

Ypsilanti Township
7200 S. Huron River Drive
Ypsilanti, MI 48197

Attn: Fletcher Reyher

RE: Zawayah Foundation

We offer the following comments in response to your Planning Director's Report dated November 12, 2024:

Carlisle Wortman, dated November 11, 2024

PARKING, LOADING

1. Widen the barrier-free aisle to meet the minimum 8-foot-wide dimension.
Revised to have 8-foot aisle and 8-foot parking space.
2. Add a loading space to the plans or provide documentation that demonstrates a loading space is not required for the proposed uses.
No large deliveries are expected at site, note added to plans as note #11.
3. Add a bike rack accommodating two bikes to the plans.
Bike rack has been added on the plans.
4. Widen safety path along Whittaker to 8-feet-wide, or in lieu of constructing a safety path, the Planning Commission may permit funds to be placed in escrow for construction at a later date.
Owner is requesting Planning Commission waiver this requirement.

SITE ACCESS, CIRCULATION, TRAFFIC

1. Defer circulation of delivery/tire trucks to Township Engineer and Fire Marshall.
Please see attached fire department approval letter.

LANDSCAPING & SCREENING

1. General landscaping is deficient by 16 shrubs.
Project has requested waiver for this requirement.
2. Street yard landscaping is deficient by 2 shade trees along Whittaker Road.
Project has requested waiver for this requirement.
3. Interior parking lot landscaping is deficient by 2 shade trees.
Project has requested waiver for this requirement.
4. Screening between land uses is deficient by 16 large evergreen trees.
Project has requested waiver for this requirement.

3526 W. LIBERTY RD, SUITE 400, PO BOX 1128, ANN ARBOR, MI 48106-1128
PHONE: 734-761-8800

5. Planning Commission to consider whether to waiver/modify landscaping requirements to address deficiencies.
Acknowledged.
6. Applicant to describe how trash from this building will be handled.
A summary note has been added to the plans as note #13.

LIGHTING

1. Describe if existing light fixtures will be used, or if new light fixtures will be installed. If new fixtures are proposed, then a photometric plan, with details about the proposed fixtures, needs to be provided.
No changes proposed to exterior lighting proposed, note added to plan as note #14.

FLOOR PLANS & MISCELLANEOUS REQUIREMENTS.

1. Applicant to confirm that no changes to the exterior of the building are proposed.
No changes proposed. A summary note has been added to the plans as note #15.
2. Applicant to confirm their understanding that this building cannot be used for residential purposes.
No changes proposed. A summary note has been added to the plans as note #16.
3. Add security cameras and an alarm system that meets ordinance standards to plans.
Security camera added above entrance door. Notes added as note #12.

OHM, dated November 7, 2024

SITE PLAN COMMENTS

Site Utilities

1. The applicant shall provide the location of the nearest hydrant on the plans and note that a 250-foot hydrant coverage radius is required. This office defers to the Ypsilanti Township Fire Department on the review and approval of hydrant coverage. If additional hydrant coverage is determined necessary, additional review by our office and YCUA will be required.
Existing hydrant added to plans. Ypsilanti Fire Department has approved the plans.

Paving and Grading

2. The applicant shall provide a fire truck and garbage truck turning template on the plans to ensure sufficient space for accessibility is available.
Added turning template for fire trucks. As owner will use small garbage and recycling bins, no need for garbage truck template.

PRELIMINARY DETAILED ENGINEERING COMMENTS

1. The applicant shall provide spot elevations at all four (4) corners of the barrier-free parking space and access aisle, ramps and landings, and along both sides of all existing sidewalk at 50-foot intervals. The applicant shall note that the cross-slope shall not exceed 2%, per ADA Standards. The applicant shall also note that any existing barrier-free spaces or sidewalk that is out of compliance will need to be removed and replaced.
Acknowledged and will be completed once plan has been approved.
2. The applicant shall provide a storm water narrative clarifying how the existing storm water runoff is maintained, as well as the ultimate outlet.
Acknowledged and will be completed once plan has been approved.
3. The applicant shall provide the location of the curb stop box on the plans for reference.
Acknowledged and will be completed once plan has been approved.

Ypsilanti Township Fire Department, dated November 12, 2024

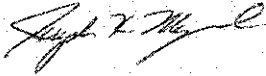
Status of review: Approved as submitted.

Comments: The plans state that there is no work to be done in the basement but future office was on the print for rooms 006 and 004. Plans will need to be submitted that address the egress issues if you would like to use that area for more than storage.

Plans updated to remove note on use of basement as office space.

If you have any questions please contact the undersigned.

Sincerely,

A handwritten signature in black ink, appearing to read "Joseph K. Maynard".

Joseph K. Maynard, P.E.

Township Supervisor
Brenda L. Stumbo
Township Clerk
Debbie Swanson
Township Treasurer
Stan Eldridge



**YPSILANTI
TOWNSHIP**
— PLANNING & ZONING DEPARTMENT —

Trustees
John Newman II
Gloria Peterson
Karen Lovejoy Roe
LaResha Thornton

Planning Commission Annual Report Calendar Year 2024

Pursuant to Section 19(2) of the Michigan Planning Enabling Act, PA 33 of 2008, the Township Planning Commission shall make an annual written report to the legislative body concerning its operations and the status of planning activities, including recommendations regarding actions by the legislative body related to planning and development.

The following information has been compiled with as a roster of Planning Commission members' attendance and a summary of items presented to and acted upon by the Planning Commission.

Action Items: Overall, the Commission held 7 meetings and considered 18 action items in 2024. This report includes a breakdown of each meeting by date, applicant, action requested, and action taken.

Upcoming items:

None to report currently.

Township Supervisor
 Brenda L. Stumbo
Township Clerk
 Debbie Swanson
Township Treasurer
 Stan Eldridge



**YPSILANTI
 TOWNSHIP**
 — PLANNING & ZONING DEPARTMENT —

Trustees
 John Newman II
 Gloria Peterson
 Karen Lovejoy Roe
 LaResha Thornton

Date	Applicant	Proposed Location	Request	Outcome/Action
9-Jan	No meeting	-	-	-
23-Jan	No meeting	-	-	-
13-Feb	No meeting	-	-	-
27-Feb	No meeting	-	-	-
12-Mar	Hewitt Property	617 S Hewitt Road	Special Land Use - Gas Station	Denied
	Hewitt Property	617 S Hewitt Road	Preliminary Site Plan	Denied
	Staff	8589 Martz	Notice of Termination of Farm Land Protection Agreement	N/A
	Staff	N/A	2023 Planning Commission Report	N/A
26-Mar	Dr.Paws Vet Clinic	2789/2751 Washtenaw	Preliminary Sketch Plan	Approved
9-Apr	No meeting	-	-	-
23-Apr	No meeting	-	-	-
14-May	No meeting	-	-	-
28-May	No meeting	-	-	-
11-Jun	No meeting	-	-	-
25-Jun	No meeting	-	-	-
9-Jul	No meeting	-	-	-
23-Jul	White Water Car Wash	2675 Washtenaw	Special Land Use - Carwash	Postponed
	White Water Car Wash	2675 Washtenaw	Preliminary Site Plan	Postponed
	Sheetz	2103/2059 W Michigan and 755 S Hewitt	Special Land Use - Gas Station	Postponed
	Sheetz	2103/2059 W Michigan and 755 S Hewitt	Preliminary Site Plan	Postponed
	Bluemind Therapy	1122 Walnut	Special Land Use - Child Daycare Center	Approved
13-Aug	No meeting	-	-	-
27-Aug	Frost Music Venue	2525 State	Preliminary Site Plan	Approved
10-Sep	White Water Car Wash	2675 Washtenaw	Site Type Change	Approved
	White Water Car Wash	2675 Washtenaw	Special Land Use - Carwash	Approved
	White Water Car Wash	2675 Washtenaw	Preliminary Site Plan	Approved
24-Sep	No meeting	-	-	-
8-Oct	Sheetz	2103/2059 W Michigan and 755 S Hewitt	Special Land Use - Gas Station	Approved
	Sheetz	2103/2059 W Michigan and 755 S Hewitt	Preliminary Site Plan	Approved
22-Oct	No meeting	-	-	-
12-Nov	No meeting	-	-	-
26-Nov	Los Amigos	2851 E Michigan	Class A Designation	Approved
	Holiday Inn Express	350/460 Joe Hall	Preliminary Site Plan	Postponed
10-Dec	No meeting	-	-	-
24-Dec	No meeting	-	-	-