



REGULAR MEETING AGENDA

Tuesday, December 12, 2023

6:30 P.M.

If you need any assistance due to a disability, please contact the Planning Department at least 48 hours in advance of the meeting at planning@ypsitownship.org or 734-544-4000 ext. 1.

1. CALL TO ORDER
2. ROLL CALL
3. APPROVAL OF THE NOVEMBER 14, 2023, REGULAR MEETING MINUTES
4. APPROVAL OF AGENDA
5. PUBLIC HEARINGS
 - A. **SPECIAL CONDITIONAL USE – DEALPOINT MERRILL – 2515 ELLSWORTH ROAD – PARCEL K-11-18-100-013** – TO CONSIDER THE REQUEST OF A SPECIAL LAND USE APPLICATION OF DEALPOINT MERRILL TO PERMIT THE ADAPTIVE REUSE OF THE ROUNDTREE SHOPPING CENTER WHICH INCLUDES THE CONTINUATION OF RETAIL USES, REPURPOSING THE VACANT WALMART BUILDING INTO A CLIMATE-CONTROLLED SELF-STORAGE FACILITY AND RETAIL SPACE, AND FUTURE RETAIL OUTLOT DEVELOPMENT FOR A SITE ZONED GB – GENERAL BUSINESS.
6. OLD BUSINESS
7. NEW BUSINESS
 - A. **PRELIMINARY SITE PLAN – DEALPOINT MERRILL – 2515 ELLSWORTH ROAD – PARCEL K-11-18-100-013** – TO CONSIDER THE PRELIMINARY SITE PLAN APPLICATION OF DEAL POINT MERRILL TO PERMIT THE ADAPTIVE REUSE OF THE ROUNDTREE SHOPPING CENTER WHICH INCLUDES THE CONTINUATION OF RETAIL USES, REPURPOSING THE VACANT WALMART BUILDING INTO A CLIMATE-CONTROLLED SELF-STORAGE FACILITY AND RETAIL SPACE, AND FUTURE RETAIL OUTLOT DEVELOPMENT FOR A SITE ZONED GB – GENERAL BUSINESS.
 - B. **PRELIMINARY SITE PLAN – VISIBLE LEARNING CENTER – 1189 E. MICHIGAN AVENUE – PARCEL K-11-10-106-018** – TO CONSIDER THE PRELIMINARY SITE PLAN APPLICATION OF THE VISIBLE LEARNING CENTER TO PERMIT THE CONSTRUCTION OF A DRIVEWAY OFF OF EAST MICHIGAN AVENUE AND TO IMPROVE EXISTING PARKING AREAS FOR A 2.28 ACRE SITE ZONED RC – REGIONAL CORRIDOR WITH A SITE TYPE B DESIGNATION.
 - C. **ADOPTION OF REGULAR PLANNING COMMISSION MEETING DATES FOR THE 2024 CALENDAR YEAR**

Township Supervisor
Brenda L. Stumbo
Township Clerk
Heather Jarrell Roe
Township Treasurer
Stan Eldridge



**YPSILANTI
TOWNSHIP**
— PLANNING & ZONING DEPARTMENT —

Trustees
John Newman II
Gloria Peterson
Debbie Swanson
Ryan Hunter

8. OPEN DISCUSSION FOR ISSUES NOT ON THE AGENDA
 - A. CORRESPONDENCE RECEIVED
 - B. PLANNING COMMISSION MEMBERS
 - C. MEMBERS OF THE AUDIENCE
9. TOWNSHIP BOARD REPRESENTATIVE REPORT
10. ZONING BOARD OF APPEALS REPRESENTATIVE REPORT
11. TOWNSHIP ATTORNEY REPORT
12. PLANNING DEPARTMENT REPORT
13. OTHER BUSINESS
14. ADJOURNMENT

**CHARTER TOWNSHIP OF YPSILANTI
PLANNING COMMISSION MEETING
Tuesday, November 14, 2023
6:30 pm**

COMMISSIONERS PRESENT

Bill Sinkule, Chair
Gloria Peterson
Larry Doe
Muddasar Tawakkul

STAFF AND CONSULTANTS

Fletcher Reyher, Planning and Development Coordinator
Dennis McLain, Ypsilanti Township Attorney

- **CALL TO ORDER/ESTABLISH QUORUM**

MOTION: Mr. Sinkule called the meeting to order at 6:30 pm.

- **APPROVAL OF OCTOBER 24, 2023, REGULAR MEETING MINUTES**

MOTION: Mr. Tawakkul **MOVED** to approve the October 24, 2023, regular meeting minutes. The **MOTION** was **SECONDED** by Mr. Doe and **PASSED** by unanimous consent.

- **APPROVAL OF AGENDA**

MOTION: Mr. Doe **MOVED** to approve the proposed agenda. The **MOTION** was **SECONDED** by Mr. Tawakkul and **PASSED** by unanimous consent.

- **PUBLIC HEARINGS**

None

- **OLD BUSINESS**

None

- **NEW BUSINESS**

- **PRELIMINARY SKETCH SITE PLAN – CALIBER COLLISION – 1133 E. MICHIGAN AVENUE – PARCEL K-11-10-125-014** – TO CONSIDER THE PRELIMINARY SKETCH SITE PLAN APPLICATION OF CALIBER COLLISION TO PERMIT THE USE OF THE EXISTING BUILDING / SITE FOR AN AUTOMOBILE COLLISION BUSINESS FOR A 3.4 ACRE PARCEL ZONED RC – REGIONAL CORRIDOR WITH A SITE TYPE C DESIGNATION.

Mr. Fletcher Reyher, Planning and Development Coordinator, presented to the Commission the preliminary sketch plan for a Caliber Collision to be located at 1133 East Michigan Avenue. This property is zoned RC regional corridor with a site type C designation. Caliber Collision is requesting sketch plan approval to move their operation into the existing building that's located on the property. Caliber Collision offers collision repair, auto repair, glass repair, and other automotive services. The Charter Township of Ypsilanti 2040 Master Plan designates this site for Mixed Use Corridors, a designation intended to develop transportation arteries with a mixture of residential, commercial, office and employment use. Regional Mixed-Use corridor areas are located along the busiest corridors (East Michigan Avenue).

Mr. Fletcher Reyher presented the Commission with an aerial view of the property in discussion.

The building has historically been used for automotive services. There is vacant land on the north of the property, Industrial and automotive services to the south, and Commercial uses at the east and west of the property. The subject parcel is relatively flat. The site has woodlands on the northern portion of the property. According to FEMA MAP, the site is in an area of minimal flood hazard. The land will be used for collision business.

This property has an extensive history of special land use approvals from the Planning Commission for various automotive purposes. The first being June 26, 2001, the Planning Commission granted a special conditional use permit for vehicle sales and a collision facility. September 10, 2002, the Planning Commission granted a Special Conditional Use Permit to operate an auto body collision shop as an accessory use to the RV Dealership. March 27, 2007, the Planning Commission granted a Special Conditional Use Permit to allow for the sale of new and used tractor-trailer trucks as opposed to RVs.

Caliber Collision would continue the special land use approvals already granted to the property with the caveat that there would be no automobile sales and only be used as a collision shop. It is to be noted that in the future, this site would not be allowed to change back into automobile sales, it would specifically be used for collision if Caliber Collision is there.

Non-Conformities: Since the site has historically been used for auto body work and collision repair work, the planning department finds this use appropriate. There would be no tractor-trailers stored on site, the site would be used for servicing automobiles, screened behind a fence to the rear of the property. 1133 East Michigan Avenue is a Class B Nonconforming Structure. Caliber Collision can use what is already there, they are not permitted to expand or enlarge the building that's currently on the site.

Parking: Caliber Collision has met all the minimum parking standards set by the township zoning ordinance. The Planning Department will require that the applicant paint / restripe the existing parking lot. The applicant will be required to have a minimum of 5 barrier free parking spaces and the provision of one bicycle rack, as required by the township zoning ordinance.

Landscaping: The landscaping plan provided by Caliber Collision complies with the current zoning ordinance.

Dumpster: Applicant has included a dumpster enclosure on the plans. The applicant will be utilizing the existing lighting on site.

Lighting: The Planning Department will require that all lights be properly shielded to avoid projecting light onto adjacent properties.

Elevations: Caliber Collision does not propose any major modifications to the elevations of the building. The Planning Department requires that the applicant re-paint the front façade of the building and remove the old sign outline.

Fencing: There is an existing wooden privacy fence which screens the rear of the property, where the storage of the automobile is present. The planning department plans on asking the applicant to assess the condition of the fence and repair any fencing that is damaged. Mr. Fletcher Reyher stated that the fence is in good shape, and it would require some cleaning.

The Planning Department makes the following recommendations to the Planning Commission:

- Provide required bicycle parking.
- Provide new fence plans that are permitted per the Township Zoning Ordinance. (The applicant has already submitted the fence plans)
- Ensure that all existing lights are appropriately shielded.
- Repaint the front façade to ensure the previous sign outline is not present.
- Restripe the parking lot.

- Address all outstanding comments as provided in the letters attached to the Director's Report.
- The applicant shall provide a sidewalk connect from Michigan Ave internal to their site.
- The applicant shall also verify the existing sidewalk along Michigan.
- The applicant shall provide the location of all barrier-free parking spaces on the plans. It should be van accessible.
- Any other conditions based upon Planning Commission discussion.

Reviews of different departments:

- **OHM:** The engineering consultant recommends approval for the Planning Commission's consideration, listed in the report.
- **Fire Department:** Ypsilanti township Fire Department approved the plans conditionally. The fire marshal has some concerns about the change in use, which would require automatic sprinkler systems and proper fire hydrant coverage.
- **YCUA:** Scott Westover had no concerns or objections with the project.

Mr. Fletcher Reyher informed the Commission of the minor items that require to be addressed; the retention pond at the rear of the building that needs to be cleaned and can adequately hold stormwater. These items will be addressed at the time of the final site plan.

Mr. Doe inquired about cameras on the property; Mr. Fletcher Reyher stated that they have been mentioned in the suggested motion. The applicant would be entering into a development agreement with the township which outlines the requirement for security cameras. The Planning Commission would also like to discuss the hours of operation.

Mr. Tawakkul inquired if the applicant agreed with the recommended changes; Tim Dearman partner with old Ken McDonald, who has developed for Caliber Collision in 10 states. Mr. Dearman presented a colored presentation of the elevation and informed that Caliber Collision try to create a consistent look across their 1700 locations in 41 states. Caliber Collision are closed over the weekends, their hour of operation is from Monday – Friday (7:30 am – 5:30 pm). They hire about 18-24 technicians. Caliber Collision is very active in food banks in the communities; American Heart Association and they give away cars to veterans. Caliber Collision has got four approved sites. They are under construction in the towns of Adrienne, Mount Pleasant and Jackson. A total wrecked vehicle is never on the lot for more than 48 hours, it is hauled out once reviewed by Insurance.

MOTION: Mr. Tawakkul **MOVED** to approve the preliminary sketch site plan of Caliber Collision to permit the use of the existing building / site for an automobile collision business for a 3.4-acre site zoned RC – Regional Corridor with a Site Type C Designation, located at 1133 E. Michigan Avenue, Ypsilanti, MI 48198, Parcel K-11-10-125-014, with the following conditions:

- The applicant shall address all outstanding comments from reviewing agencies prior to Final Site Plan approval.
- The applicant shall obtain all applicable internal and outside agency permits prior to construction.
- The applicant shall provide the required bicycle parking.
- The applicant shall provide the Planning Department with revised fence plans that are permitted per the Township Zoning Ordinance.
- The applicant shall ensure that all existing light fixtures are functioning and properly shielded.
- The applicant shall repaint the front façade of the building.
- The applicant shall repaint / restripe the parking lot.
- The applicant shall provide the location of all barrier-free parking spaces on the final site plan. The applicant shall provide a minimum of five (5) barrier-free parking spaces, including one (1) van-accessible space, as required by the Township Zoning Ordinance.
- The applicant shall provide a sidewalk connect from Michigan Ave internal to their site. The applicant shall also verify the existing sidewalk along Michigan Ave, any barrier-free parking spaces and access aisles, and any existing on-site sidewalks are compliant.
- Caliber Collision will enter into a development agreement pursuant to the Final Site Plan Approval with the Township.
- Any other conditions based upon Planning Commission Discussion.

The **MOTION** was **SECONDED** by Mr. Doe

Roll Call Vote: Mr. Tawakkul (Yes); Mr. Doe (Yes); Ms. Peterson (Yes); Mr. Sinkule (Yes).

MOTION PASSED.

- **FINAL SITE PLAN APPROVAL EXTENSION – YPSILANTI TENNIS CLUB – 3160 W. MICHIGAN AVENUE – PARCEL K-11-18-340-001 – TO CONSIDER THE REQUEST TO EXTEND THE FINAL SITE PLAN APPROVAL GRANTED TO YPSILANTI TENNIS CLUB ON DECEMBER 14, 2022.**

Mr. Fletcher Reyher, Planning and Development Coordinator, presented to the Commission the request made on October 30, 2023, from the applicant of the Ypsilanti tennis club to be located at 3160 West Michigan Avenue for an extension of their final site plan approval for one year. This extension would be granted from December 14, 2023, until December 14, 2024.

The preliminary site plan that was approved by the Planning Commission and the final site plan approved by the township administratively on December 14, 2022, has been included in the packet. The Planning Commission has the authority to extend the final site plan approvals and would work with the applicant to submit all the required approvals and permits prior to scheduling the preconstruction meeting. The Planning Commission reckons that the tennis project would be an asset to the community.

Mr. Tawakkul inquired the reasons for the delay; Mr. Fletcher Reyher stated there were multiple reasons; financing, hiring of project managers and the construction companies to build the project. They plan to start the construction during spring of 2024.

Mr. Fletcher Reyher shared with the Commission the partial water design and the landscaping with a fountain.

Mr. Tawakkul inquired if the project required a development agreement; Mr. Fletcher Reyher stated that the suggested motions don't reflect the need, but he would clarify and correspond it back to the Commission.

MOTION: Mr. Tawakkul **MOVED** to approve the extension.

The **MOTION** was **SECONDED** by Mr. Doe

Roll Call Vote: Mr. Tawakkul (Yes); Mr. Doe (Yes); Ms. Peterson (Yes); Mr. Sinkule (Yes).

MOTION PASSED.

- **OPEN DISCUSSIONS FOR ISSUES NOT ON AGENDA**

- **Correspondence received.**

Mr. Fletcher Reyher informed the Commission on the availability of literature at the stand.

Mr. Fletcher Reyher informed Ms. Peterson of adding her to the Michigan Association of planning mailing lists.

- **Planning Commission members**

None to Report.

- **Members of the audience**

None to Report.

- **TOWNSHIP BOARD REPRESENTATIVE REPORT**

None to Report.

- **ZONING BOARD OF APPEALS REPRESENTATIVE REPORT**

None to Report.

- **TOWNSHIP ATTORNEY REPORT**

None to Report.

- **PLANNING DEPARTMENT REPORT**

Mr. Fletcher Reyher informed the Commission that Roundhouse continues to make efforts to construct their new building and gas station. The Children’s Healing Center is continuing to on their project.

Meeting for December 12, 2023, is still under consideration.

- **OTHER BUSINESS**

None to Report.

- **ADJOURNMENT**

MOTION: Mr. Doe **MOVED** to adjourn at 7:01 pm. The **MOTION** was **SECONDED** by Ms. Peterson and **PASSED** by unanimous consent.

Respectively Submitted by Minutes Services.



Staff Report
DealPoint Merrill – Self-Storage
2515 Ellsworth Road, Ypsilanti MI
Site Plan

December 12, 2023

Applicant: DealPoint Merrill

Project Name: DealPoint Merrill – Self-Storage

Plan Date: 10-09-2023

Location: 2515 Ellsworth Road, Ypsilanti MI, 48197 Parcel ID# K-11-18-100-013

Zoning: GB – General Business

Action Requested: Preliminary Site Plan and Special Conditional Use Approval

Case Location and Summary

DealPoint Merrill is purchasing the Roundtree Shopping Center. The Purchase will include the vacant Walmart building, the strip mall with Harbor Freight and Game Stop, and the strip mall with Lumber Liquidators. The Office of Community Standards is in receipt of a Preliminary Site Plan Application and Special Land Use Application from DealPoint Merrill requesting approval to repurpose the vacant Walmart into a 131,600 sq.ft. self-storage facility and 18,400 sq. ft. of retail. This project will also include façade improvements, parking lot repairs / repaving, landscaping, installation of license plate readers, lighting upgrades, and the removal of 27,400 sq.ft. of impervious parking area.

Cross References

- Article 4, District Regulations
- Article 9, Site Plan Review
- Article 11, Specific Provisions
- Article 12, Access, Parking, Loading
- Article 13, Site Design Standards

Subject Site Use, Zoning and Comprehensive Plan

The Charter Township of Ypsilanti 2040 Master Plan designates this site for Neighborhood Transition District. Neighborhood Transition Districts are residential, office



and/or commercial uses, but can include institutional/civic uses and spaces. Possible housing types range from single-family homes to detached and attached condominiums to multiple-family buildings, when compatible with adjacent neighborhoods. Often, there is no set land use pattern and the diversity of uses serves as a transition from between Neighborhood Preservation and Mixed-Use Corridor or Innovation and Employment districts. The mixture, design and intensity of uses is intended to support and protect the pattern, scale, and character of adjacent neighborhoods.

Aerial Photograph – 2023



Township Supervisor
Brenda L. Stumbo
Township Clerk
Heather Jarrell Roe
Township Treasurer
Stan Eldridge



**YPSILANTI
TOWNSHIP**
— PLANNING & ZONING DEPARTMENT —

Trustees
John Newman II
Gloria Peterson
Debbie Swanson
Ryan Hunter

Size of Subject Site:
30.407 Acres

Current Use of Subject Site:
Strip Commercial and Vacant Walmart

Current Zoning:
GB – General Business

Proposed use of Subject Property:
Self-Storage and Strip Commercial

Adjacent Uses, Zoning and Comprehensive Plan

| <i>Direction</i> | <i>Use</i> | <i>Zoning</i> | <i>Master Plan</i> |
|------------------|---------------------------------|--|---|
| North | Multiple Family / Single Family | RM-LD, Multiple Family Low Density | Neighborhood Preservation |
| South | Vacant | RC – Regional Corridor | Neighborhood Transition and Mixed-Use Corridors |
| East | Strip Commercial | RC – Regional Corridor & GB – General Business | Neighborhood Transition |
| West | Multiple Family | RM-MD, Multiple Family Medium Density | Neighborhood Transition |

Natural Features

Topography: The subject parcel is relatively flat.

Woodlands: There are matured woodland trees on the property behind the strip commercial area.

Wetlands: There are no wetlands on the subject property. According to FEMA MAP 26161C0407E, Dated April 3, 2012, the site is in an area of minimal flood hazard.



Analysis:

The plans have been reviewed by Township Staff and consultants in accordance with our procedures.

Planning Consultants (Carlisle Wortman Associates, Inc.):

CWA reviewed the Preliminary Site Plan and Special Conditional Use Application and has recommended approval in their letter dated November 27, 2023.

Engineering Consultants (OHM):

The Township Engineer recommended approval for this stage of the process in their November 28, 2023, review letter. OHM has provided preliminary detailed engineering comments that will be addressed at the time of Final Site Plan and Detailed Engineering Review.

Ypsilanti Community Utilities Authority (YCUA):

Reviewing agent Scott Westover offered no comments or concerns about the plans as they are not proposing new utilities.

Ypsilanti Township Fire Department:

YTFD Fire Marshall Steve Wallgren has recommended Preliminary Site Plan approval in a letter dated October 27, 2023.

Washtenaw County Water Resources Commission:

N/A

Washtenaw County Road Commission:

N/A



Special Conditional Use

Suggested Motions: *The following suggested motions and conditions are provided to assist the Planning Commission in making the most appropriate motion for this application. The Commission may utilize, add, or reject any conditions suggested herein, as they deem appropriate.*

Motion to table:

*“I move to table the request for **special conditional use permit** approval of DealPoint Merrill to permit the repurposing of the Roundtree Shopping Center which includes the continuation of retail uses, repurposing the vacant Walmart building into a climate-controlled self-storage facility and retail space, and associated site upgrades for a 30.407-acre site zoned GB – General Business, located at 2515 Ellsworth Road, Ypsilanti, MI 48197, Parcel K-11-18-100-013 to consider comments presented to the Planning Commission during the discussion of the project.”*

Motion to approve.

*“I move to approve the **special conditional use permit** of DealPoint Merrill to permit the repurposing of the Roundtree Shopping Center which includes the continuation of retail uses, repurposing the vacant Walmart building into a climate-controlled self-storage facility and retail space, and associated site upgrades for a 30.407-acre site zoned GB – General Business, located at 2515 Ellsworth Road, Ypsilanti, MI 48197, Parcel K-11-18-100-013, with the following conditions:*

- 1. The applicant shall address all outstanding comments from reviewing agencies prior to Final Site Plan approval.*
- 2. The applicant shall obtain all applicable internal and outside agency permits prior to construction.*
- 3. The applicant shall enter into a development agreement with the Township.*
- 4. Any other conditions based upon Planning Commission Discussion.*

Motion to deny:

*“I move to deny the **special conditional use permit** of DealPoint Merrill to permit the repurposing of the Roundtree Shopping Center which includes the continuation of retail uses, repurposing the vacant Walmart building into a climate-controlled self-storage facility and retail space, and associated site upgrades for a 30.407-acre site zoned GB – General Business, located at 2515 Ellsworth Road, Ypsilanti, MI 48197, Parcel K-11-18-100-013, for the following reasons:*



Preliminary Site Plan

Suggested Motions: *The following suggested motions and conditions are provided to assist the Planning Commission in making the most appropriate motion for this application. The Commission may utilize, add, or reject any conditions suggested herein, as they deem appropriate.*

Motion to table:

*“I move to table the request for **preliminary site plan** approval of DealPoint Merrill to permit the repurposing of the Roundtree Shopping Center which includes the continuation of retail uses, repurposing the vacant Walmart building into a climate-controlled self-storage facility and retail space, and associated site upgrades for a 30.407-acre site zoned GB – General Business, located at 2515 Ellsworth Road, Ypsilanti, MI 48197, Parcel K-11-18-100-013 to consider comments presented to the Planning Commission during the discussion of the project.”*

Motion to approve.

*“I move to approve the **preliminary site plan** of DealPoint Merrill to permit the repurposing of the Roundtree Shopping Center which includes the continuation of retail uses, repurposing the vacant Walmart building into a climate-controlled self-storage facility and retail space, and associated site upgrades for a 30.407-acre site zoned GB – General Business, located at 2515 Ellsworth Road, Ypsilanti, MI 48197, Parcel K-11-18-100-013, with the following conditions:*

- 1. The applicant shall address all outstanding comments from reviewing agencies prior to Final Site Plan approval.*
- 2. The applicant shall obtain all applicable internal and outside agency permits prior to construction.*
- 3. The applicant shall enter into a development agreement with the Township.*
- 4. Any other conditions based upon Planning Commission Discussion.*

Motion to deny:

*“I move to deny the **preliminary site plan** of DealPoint Merrill to permit the repurposing of the Roundtree Shopping Center which includes the continuation of retail uses, repurposing the vacant Walmart building into a climate-controlled self-storage facility and retail space, and associated site upgrades for a 30.407-acre site zoned GB – General Business, located at 2515 Ellsworth Road, Ypsilanti, MI 48197, Parcel K-11-18-100-013, for the following reasons:*

Township Supervisor
Brenda L. Stumbo
Township Clerk
Heather Jarrell Roe
Township Treasurer
Stan Eldridge



**YPSILANTI
TOWNSHIP**
— PLANNING & ZONING DEPARTMENT —

Trustees
John Newman II
Gloria Peterson
Debbie Swanson
Ryan Hunter

Respectfully submitted,

Fletcher Reyher, Planning & Development Coordinator
Charter Township of Ypsilanti Planning Department

Planning Director's Report

Project Name: DealPoint Merrill - Self Storage

Location: 2515 Ellsworth Road, Ypsilanti, MI 48197

Date: 11-30-2023

- | | |
|--|---|
| <input checked="" type="checkbox"/> Full Preliminary Site Plan Review # 2 <input type="checkbox"/> Sketch Preliminary Site Plan Review # <input type="checkbox"/> Administrative Preliminary Site Plan Review # <input type="checkbox"/> Detailed Engineering/Final Site Plan Review # <input checked="" type="checkbox"/> Special Use Permit <input type="checkbox"/> Public Hearing | <input type="checkbox"/> Rezoning <input type="checkbox"/> Tentative Preliminary Plat <input type="checkbox"/> Final Preliminary Plat <input type="checkbox"/> Final Plat Process <input type="checkbox"/> Planned Development Stage I <input type="checkbox"/> Planned Development Stage II |
|--|---|

| Contact / Reviewer | Consultants, Departments, & Agencies | Approved | Approved with Conditions | Denied | N/A | See email/letter attached or comments below |
|-------------------------------------|---|-------------------------------------|-------------------------------------|--------------------------|-------------------------------------|---|
| Jason Iacoangeli, Planning Director | Township Planning Department | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | See comments below |
| Carlisle/Wortman Associates | Planning Consultant | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | See letter dated 11-27-2023 |
| OHM / Stantec | Engineering Consultant | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | See letter dated 11-28-2023 |
| Steven Wallgren, Fire Marshal | Township Fire Department | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | See letter dated 10-30-2023 |
| Dave Bellers, Building Official | Township Building Department | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| Brian McCleery, Deputy Assessor | Township Assessing Department | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| Scott Westover, Engineering Manager | Ypsilanti Community Utilities Authority | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| Gary Streight, Project Manager | Washtenaw County Road Commission | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| Theresa Marsik, Stormwater Engineer | Washtenaw County Water Resources Commission | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| James Drury, Permit Agent | Michigan Department of Transportation | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| | | | | | | |

Planning Director's Recommended Action:

At this time, DealPoint Merrill is eligible for Special Conditional Use / Preliminary Site Plan consideration by the Planning Commission. This project is being placed on the Planning Commission agenda for Tuesday, December 12, 2023 at the regularly scheduled meeting. It would be the Planning Department's recommendation that the Planning Commission grant Special Conditional Use / Preliminary Site Plan approval as this project meets the conditions of the Township Zoning Ordinance for an adaptive reuse of this type. The approval should be contingent on the applicant addressing the remaining comments in the attached review letters. In addition, the applicant must seek approval from all outside agencies as part of the Final Site Plan / Detailed Engineering review. Lastly, the approval should be contingent on the applicant addressing the conditions of approval as presented in the Planning Department's Staff Report.



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: October 27, 2023
November 27, 2023

**Preliminary Site Plan and Special Conditional Use Review
For
Ypsilanti Township, Michigan**

| | |
|--------------------------|--|
| Applicant: | DealPoint Merrill |
| Project Name: | DealPoint Merrill – Self Storage |
| Plan Date: | October 9, 2023 |
| Location: | 2515 Ellsworth Road |
| Zoning: | GB, General Business |
| Action Requested: | Preliminary Site Plan and Special Conditional Use Approval |

PROJECT AND SITE DESCRIPTION

DealPoint Merrill has recently purchased the Roundtree shopping center. Their purchase includes the vacant Walmart, the strip mall with Harbor Freight and Sallys Beauty Supply, and the strip mall that includes Lumber Liquidators. The purchase does not include Taco Bell, Popeyes, and the strip mall with Cricket mobile.

The Township has been in lengthy discussions with the applicant about the future plan of the site. The Township and DealPoint Merrill have been cooperatively working together to repurpose the site to avoid a similar dilapidation such as Gault Village.

The applicant is proposing to redevelop the shopping center through multiple phases.

Phase 1 includes:

- Repurposing the vacant Walmart into 131,600 sq/ft self-storage facility and 18,400 sq/ft of retail. Retail portion for Phase 1 will be turned into “white box” until a tenant(s) is secured;
- Façade improvements to the former Walmart;
- Parking lot repairs and repaving;
- Site landscaping improvements;
- License plate readers;
- Site lighting upgrades; and
- Removing 27,400 sq/ft of existing impervious parking area and repurposing as landscaping and pedestrian improvements.

Phase 2 includes:

- Façade updates to the remaining commercial portions of the site; and
- Retail outlot development in existing parking lot of the vacant Walmart.

Please note that the Planning Commission is only considering Phase 1 of the redevelopment. Phase 2 will come in as a separate site plan once more details of Phase 2 are determined. The applicant is proposing this redevelopment under the recently adopted Adaptive Reuse Ordinance. More details are listed below.

Location of Subject Site:

Aerial Image of Subject Site and Vicinity



Current Use of Subject Site:

Vacant Walmart and Strip Commercial

Current Zoning:

GB, General Business

Proposed Use of Subject Property:

Self-Storage and Strip Commercial

Adjacent zoning and land uses are as follows:

| Direction | Zoning | Use |
|-----------|--|---------------------------------|
| North | RM, LD Multiple Family Low Density | Multiple Family / Single Family |
| South | RC, Regional Corridor | Vacant |
| East | RC, Regional Corridor and GB, General Business | Strip Commercial |
| West | RM, MD Multiple Family Medium Density | Multiple Family |

ADAPTIVE REUSE ORDINANCE

The Township recently adopted an Adaptive Reuse Ordinance to deal with properties such as the former Walmart. The ordinance permits flexibility in zoning in order to maintain viability of these large underutilized or vacant properties.

Sites zoned GB, General Business are permitted as a Special Conditional Use in the if they conform to the requirements set forth in section 1167 (Adaptive Reuse Ordinance) of the Zoning Ordinance.

Section 1167:

1. *Qualifying Criteria. To encourage and incentivize the adaptive reuse of buildings, this section permits a greater allowance of land uses and allows specific zoning relaxations than the underlying zoning district. The provisions of this section are intended to modify the standards otherwise applied to the site by its underlying zoning district. Unless specifically modified by this chapter, all other standards adopted shall apply. Projects must meet the following criteria to be an eligible adaptive reuse project:*
 - a. *Project site shall be located in a NB, Neighborhood Commercial, GB, General Commercial, or Regional Commercial Form-Based district or the adaptive reuse of a civic building or public school building in any district.*
 - b. *Applies to any building that is at least 20 years old and that was constructed in accordance with building and zoning codes in effect at the time of construction.*

- c. *The project results in a change of use in all or a portion of the existing building.*
- d. *Existing building may not be destroyed by any means to the extent of more than fifty (50) percent of its replacement cost.*

CWA Comment: The project meets these qualifying criteria.

2. *Specific conditions:*

- a. *The following site elements must be brought into compliance:*
 - i. *Parking lot pavement/repairs*
 - ii. *Lighting as set forth in Section*
 - iii. *Landscaping as set forth in Section*

CWA Comment: The applicant is making significant improvements to the site including removing 27,400 sq/ft of existing impervious parking area and repurposing that area as landscaping and pedestrian improvements. In addition, the applicant is providing other site improvements including overall site landscaping and site lighting.

Items to be Addressed: *None*

PARKING

Self-storage is a very low parking intense use. Converting most of Walmart to self-storage use, caused the Roundtree shopping center to be greatly overparked. We worked with the applicant to remove as much excess parking as possible. The remaining parking is sufficient.

Items to be Addressed: *None*

SETBACKS AND HEIGHT

Other than façade improvements, the applicant does not propose any physical changes to the buildings on site as part of the first phase. Subsequent phases that propose additional buildings will be reviewed under a future site plan.

Items to be Addressed: *None*

SITE ACCESS, CIRCULATION, and TRAFFIC

The applicant does not propose any changes to site access, and minimal changes to site circulation by removing parking areas and landscaping. Self-storage is a very low traffic use. Converting the use from Walmart to a self-storage will reduce site access and traffic to the site than what existed when the site was used as a Walmart. In addition, the applicant is making repairs to the parking lot.

Items to be Addressed: *None*

SCREENING & LANDSCAPING

The applicant is making significant improvements to overall site landscaping and screening including:

- Adding parking lot landscaping.
- Removing 27,400 sq/ft of existing impervious parking area and repurposing as landscaping and pedestrian improvements.

Existing screening along Ellsworth is sufficient.

Trash and Recycling Containers:

The applicant is screening the trash enclosure with a masonry screen wall.

Equipment Screening:

The applicant has indicated rooftop equipment screening.

Items to be Addressed: None

LIGHTING

The applicant will improve site lighting with new pole light and replace existing wall packs with new LED fixtures.

Items to be Addressed: None

ELEVATIONS AND FLOORPLANS

The applicant has provided elevations and floor plan (on site plan). The applicant proposes new paint and new signage.

Items to be Addressed: None

SPECIAL CONDITIONAL USE

The Planning Commission shall review the particular circumstances and facts of each proposed use in terms of the following standards and required findings, and with respect to any additional standards set forth in this Ordinance. The Planning Commission, either as part of its final decision or in its recommendation, shall find and report adequate data, information, and evidence showing that the proposed use meets all required standards and:

1. Will be harmonious, and in accordance with the objectives, intent, and purpose of this Ordinance.

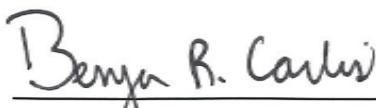
2. Will be compatible with a natural environment and existing and future land uses in the vicinity.
3. Will be compatible with the Township master plans.
4. Will be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage ways and structures, refuse disposal, or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately for such services
5. Will not be detrimental, hazardous, or disturbing to existing or future neighboring uses, persons, property, or the public welfare.
6. Will not create additional requirements at public costs for public facilities and services that will be detrimental to the economic welfare of the community.

We find that provided the additional information provided that the site complies with the required standards set forth in Section 1003:

1. The conversion of the vacant, underutilized building and site, into a viable long-term committed use advances numerous township Master Plan and other township policies and adds long-term stability to the site.
2. The conversion of the vacant, underutilized building and site, into a viable long-term committed use is consistent with the intent and purpose of the recently adopted Adaptive Reuse Ordinance.
3. The conversion of the vacant, underutilized building and site, into a viable long-term committed use rather than tearing the building down is an environmental best-practice.
4. The repurposed site can be adequately served by essential public facilities and services.
5. The repurposing and stabilization of the site will not be detrimental, hazardous, or disturbing to existing or future neighboring uses, persons, property, or the public welfare.
6. The repurposing and stabilization of the site will not create additional requirements at public costs for public facilities and services that will be detrimental to the economic welfare of the community.
7. The site improvements including removing impervious surface, landscape improvements, and applicable lighting improvements improves the site conditions and bring the site into zoning compliance.
8. The façade improvement will add value and stabilization to the site.

RECOMMENDATIONS

Overall we strongly support the proposed repurpose of the site, and find that the required standards have been met. We recommend Special Conditional Use and preliminary site plan approval.



CARLISLE/WORTMAN ASSOC., INC
Benjamin R. Carlisle, AICP, LEED AP
President

November 28, 2023

Mr. Jason Iacoangeli
Township Planning Director
Charter Township of Ypsilanti
7200 S. Huron River Drive
Ypsilanti, MI 48197

RE: Deal Point Merrill – Self-Storage
Site Plan Review #2

Dear Mr. Iacoangeli:

We have completed the second site plan review of the plans dated October 9, 2023 and stamped received by OHM Advisors on November 17, 2023.

At this time, the plans are recommended for approval for the Planning Commission's consideration, contingent on the following comments being addressed. Preliminary detailed engineering comments have been provided to the applicant as a courtesy and shall be addressed prior to submitting detailed engineering plans for review. The detailed engineering submittal shall address all applicable parts of the Ypsilanti Township Detailed Engineering Checklist. It shall be noted that additional detailed engineering comments may be generated as a result of additional information being provided.

It is noted that there are future retail spaces being proposed. Additional detail regarding the utilities, stormwater management system, site layout/accessibility, etc. for these spaces shall be provided in separate site plan/detailed engineering submittals for each space.

A brief description of the project has been provided below (Section A), followed by our comments (Section B and C) and a list of anticipated required permits and approvals (Section D). Comments in Section C are detailed in nature, do not influence the overall site layout, and can be addressed during the detailed engineering drawing submittal.

A. PROJECT AND SITE DESCRIPTION

The applicant is proposing to renovate the existing building located at 2515 Ellsworth Road for use as a climate controlled self-storage facility, in addition to both existing and proposed retail space. Future retail space is also being proposed.

The existing site is serviced by connection to the existing 8-inch water main loop and the existing nearby 10-inch sanitary sewer. The existing stormwater runoff is maintained by an existing on-site retention basin and underground conveyance system. Changes to the area of impervious surfaces are not being proposed and therefore changes to the stormwater management system are not required at this time.

B. SITE PLAN COMMENTS

Stormwater Management

1. Although changes to the existing stormwater management system are not required, the applicant shall verify the existing basin is functioning as originally proposed. The applicant shall re-establish the existing basin, make sure it's clean and free of debris, point-up any structures, and mow, if necessary.



Paving and Grading

2. The applicant shall provide additional truck turning templates (fire truck, garbage truck, etc.) on the plans for review to ensure sufficient space for accessibility has been provided.
3. The applicant shall verify the existing sidewalk along Ellsworth Road, all existing on-site sidewalk, ramps, landings, barrier-free parking spaces, and access aisles are compliant. Anything out of compliance will need to be removed and replaced as part of this phase of development. If sidewalk ramps along Ellsworth Road are out of compliance, it is preferred that the sidewalk is pulled through the entrance drives. The applicant shall note the cross-slope shall not exceed 2%, per ADA Standards.

C. PRELIMINARY DETAILED ENGINEERING PLAN COMMENTS

The following comments shall be addressed by the applicant during the detailed engineering drawing submittal, and do not affect the recommendation for approval to the Township of Ypsilanti Planning Commission. It should be noted that this is not an all-inclusive list and additional comments may be generated as new information is presented.

1. The applicant shall provide spot elevations at all four (4) corners of all existing and proposed ramps and level landings, barrier-free parking spaces and access aisles, and along both sides of all sidewalk at 50-foot intervals. The applicant shall note that the cross-slope shall not exceed 2%.
2. The applicant shall provide a soil erosion and sedimentation control (SESC) plan sheet within the plan set, specifically near the proposed landscape area. The applicant shall also provide the Ypsilanti Township SESC detail sheet. The detail sheet can be obtained by emailing stacie.monte@ohm-advisors.com.
3. The applicant shall provide a maintenance schedule for all permanent soil erosion and stormwater management activities both during and after construction. The schedule shall include the frequency of activities as well as the party responsible.
4. The applicant shall note that the plans, including digital, must be signed and sealed by a registered engineer in the State of Michigan.

D. REQUIRED PERMITS & APPROVALS

The following outside agency reviews and permits will be required for the project. Copies of any correspondence between the applicant and the review agencies, as well as the permit or waiver, shall be sent to both the Township and OHM Advisors (email: stacie.monte@ohm-advisors.com).

- ▶ **Ypsilanti Township Fire Department:** Review and approval is required.
- ▶ **Washtenaw County Road Commission (WCRC):** Review and approval of any proposed work within the Elsworth Rd ROW is required.
- ▶ **Ypsilanti Township Office of Community Standards:** A Soil Erosion and Sedimentation Control permit shall be secured from the Ypsilanti Township Office of Community Standards.
- ▶ The Township's Planner will inspect the landscaping for this site.
- ▶ If dewatering should be needed, the contractor/applicant shall be responsible for obtaining necessary approvals from the Township and the Township Engineer, permission from all impacted adjacent properties and/or permits from MDOT, WCWRC's Office, or the WCRC.
- ▶ Record plans shall be provided to the Township Engineer following the completion of construction.

Should you have any questions regarding this matter, please contact this office at (734) 466-4580.



Sincerely,
OHM Advisors

Handwritten signature of Matthew D. Parks in black ink.

Matthew D. Parks, P.E.

Handwritten signature of Stacie L. Monte in black ink.

Stacie L. Monte

MDP/SLM

cc: Fletcher Reyher, Township Staff Planner
Doug Winters, Township Attorney
Steven Wallgren, Township Fire Marshall
File

P:\0000_0100\SITE_YpsilantiTwp\2023\0098231120_2515 Ellsworth Rd_Deal Point Merrill Self-Storage\MUNI\01_SITE\PSP#2\Deal Point Merrill_PSP#2_2023-11-28.docx

CHARTER TOWNSHIP OF YPSILANTI FIRE DEPARTMENT

BUREAU OF FIRE PREVENTION

222 South Ford Boulevard, Ypsilanti, MI 48198



October 27, 2023

Jason Iacoangeli, Planning Director
Charter Township of Ypsilanti
7200 S. Huron River Drive
Ypsilanti, MI 48197

RE: Preliminary (non-residential) Site Plan Review #1

| | |
|--------------------|---|
| Project Name: | DealPoint Merrill Self Storage |
| Project Location: | 2515 Ellsworth Rd. Ypsilanti, MI 48197 |
| Project No: | 22-074 |
| Plan Date: | 10/09/20223 |
| Applicable Codes: | IFC 2018 |
| Architect: | LH2 Architecture, LLC |
| Architect Address: | 5909 W Loop S, Suite 230 Bellaire, TX 77401 |

Status of Review

Status of review: Approved as Submitted

Both pages were reviewed.

Site Coverage - Access

Comments: Complies with IFC 2018

Sincerely,

A handwritten signature in black ink that reads "Steve Wallgren".

Steve Wallgren, Fire Marshal
Charter Township of Ypsilanti Fire Department
CFPS, CFI I



LH2 Architecture, LLC
5909 W Loop S, Suite 230
Bellevue, TX 77401
713-664-2938



Overall Site Plan

DealPoint Merrill Self Storage

2515 Ellsworth Road
Ypsilanti, MI 48197



LETTIE H. HARRELL
LICENSE NO. 1301066231

REVISIONS:

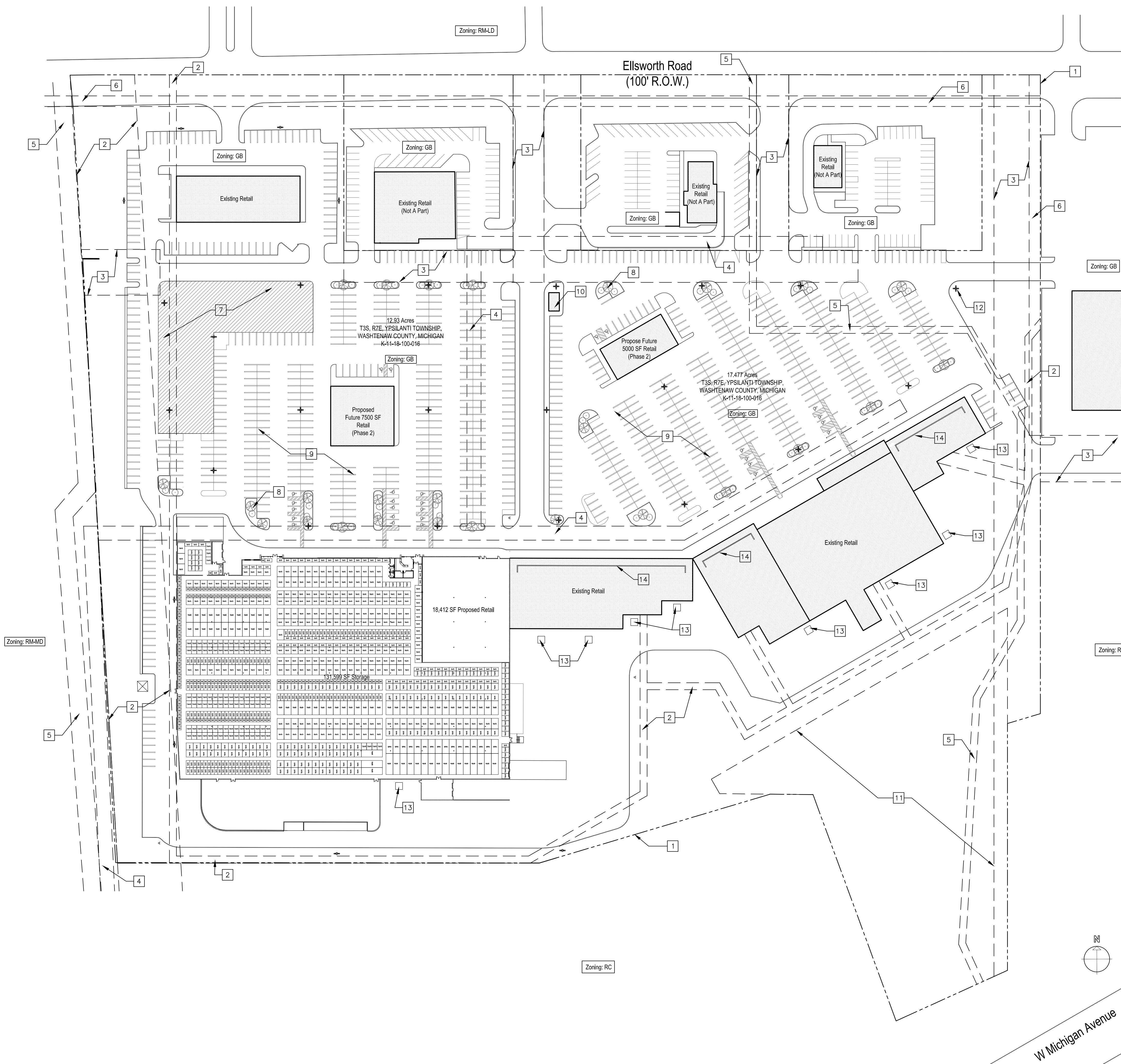
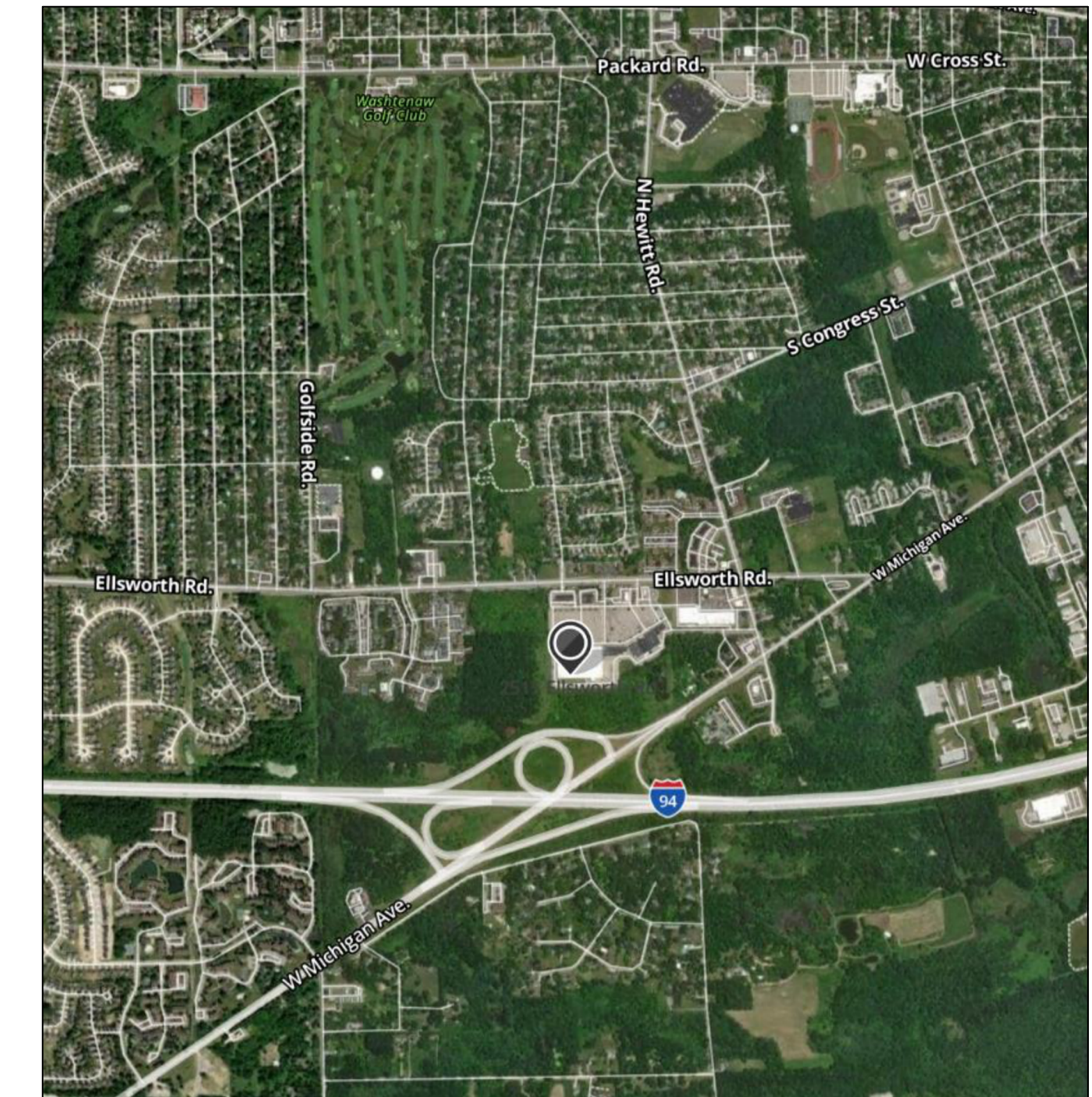
LH2 PROJECT NO: 22-074
ISSUED: Site Plan Review
ISSUE DATE: Oct. 09, 2023

DRAWING NUMBER

AS1.01
Overall Site Plan

KEYED SITE NOTES

- 1 Property Line
- 2 Existing Electrical Utility Easement
- 3 Existing Road Access Easement
- 4 Existing Sanitary Sewer Easement
- 5 Existing Storm Drainage Easement
- 6 Existing MBT Utility Easement
- 7 Proposed new landscaped area, re: Landscape Plans. Remove existing islands as required for new work
- 8 Proposed new landscaping at existing islands, re: Landscape Plans
- 9 Reseal parking lot and stripe as indicated, double line typical
- 10 Existing EV charging station
- 11 Existing Retention Pond
- 12 Existing Light Pole, typical
- 13 Proposed Dumpster Pad
- 14 Proposed Roof Screening





LH2 Architecture, LLC
5909 W Loop S, Suite 230
Bellevue, TX 77401
713-664-2938



Site Plan - Phase 1

DealPoint Merrill Self Storage

2515 Ellsworth Road
Ypsilanti, MI 48197



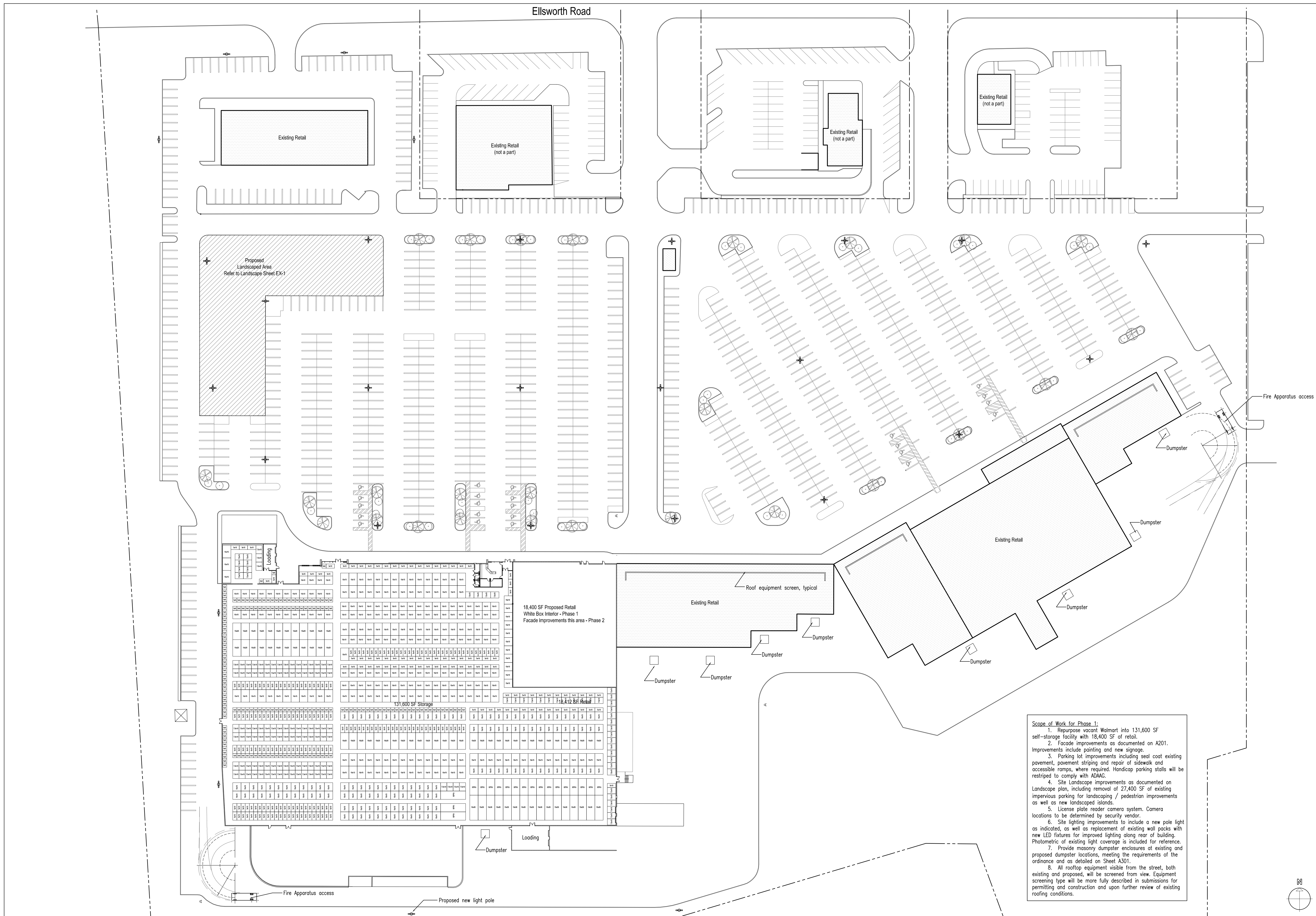
LETTIE H. HARRELL
LICENSE NO. 1301066231

REVISIONS:

LH2 PROJECT NO: 22-074
ISSUED: Site Plan Review
ISSUE DATE: Oct. 09, 2023

DRAWING NUMBER

AS1.02
Site Plan
Phase 1



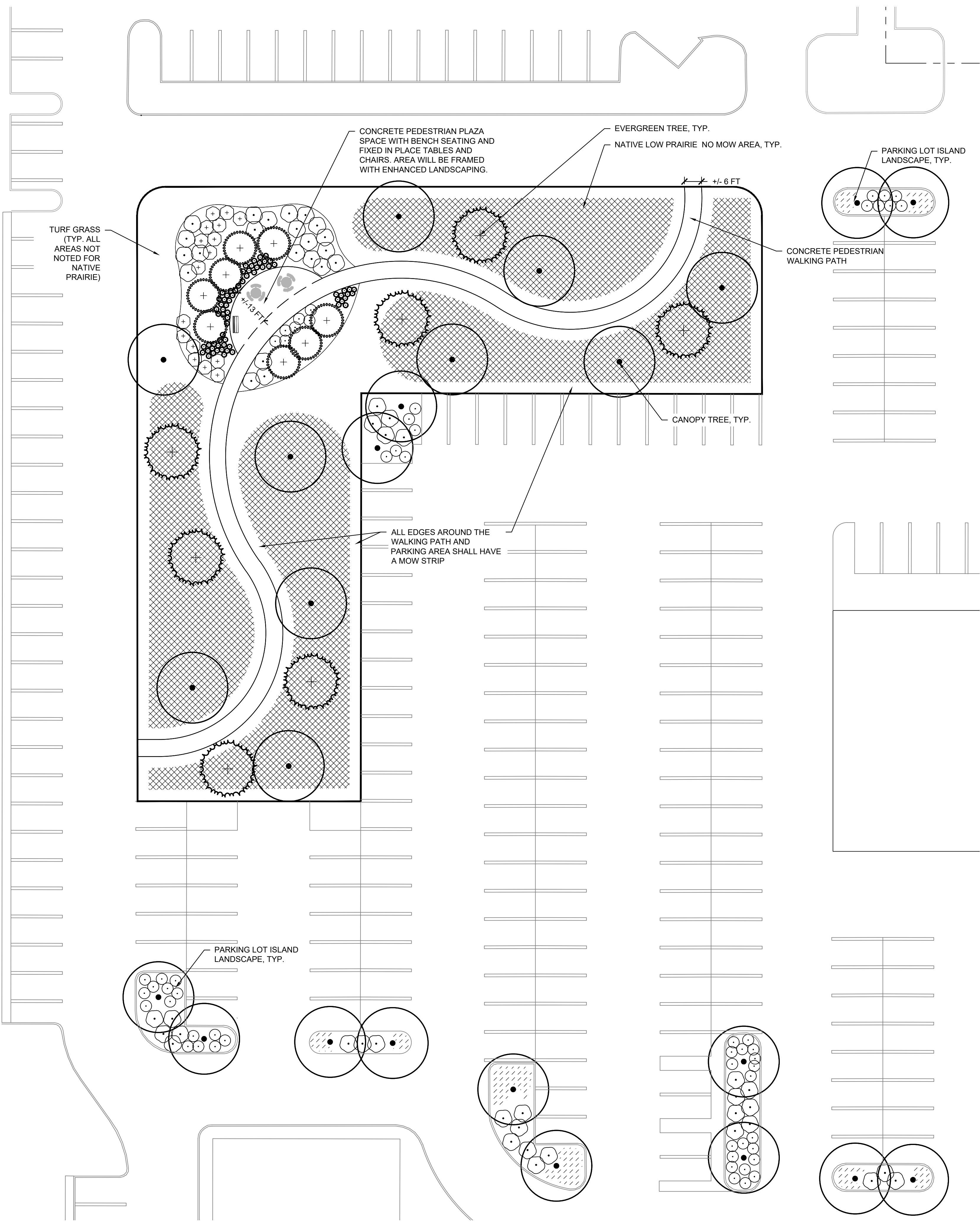
Scope of Work for Phase 1:

1. Repurpose vacant Walmart into 131,600 SF self-storage facility with 18,400 SF of retail.
2. Facade improvements as documented on A201. Improvements include painting and new signage.
3. Parking lot improvements including seal coat existing pavement, pavement striping and repair of sidewalk and accessible ramps, where required. Handicap parking stalls will be restriped to comply with ADAG.
4. Site Landscape improvements as documented on Landscape plan, including removal of 27,400 SF of existing impervious parking for landscaping / pedestrian improvements as well as new landscaped islands.
5. License plate reader camera system. Camera locations to be determined by security vendor.
6. Site lighting improvements to include a new pole light as indicated, as well as replacement of existing wall packs with new LED fixtures for improved lighting along rear of building. Photometric of existing light coverage is included for reference.
7. Provide masonry dumpster enclosures at existing and proposed dumpster locations, meeting the requirements of the ordinance and as detailed on Sheet A301.
8. All rooftop equipment visible from the street, both existing and proposed, will be screened from view. Equipment screening type will be more fully described in submissions for permitting and construction and upon further review of existing roofing conditions.

Site Plan

Scale: 1"=50' 01

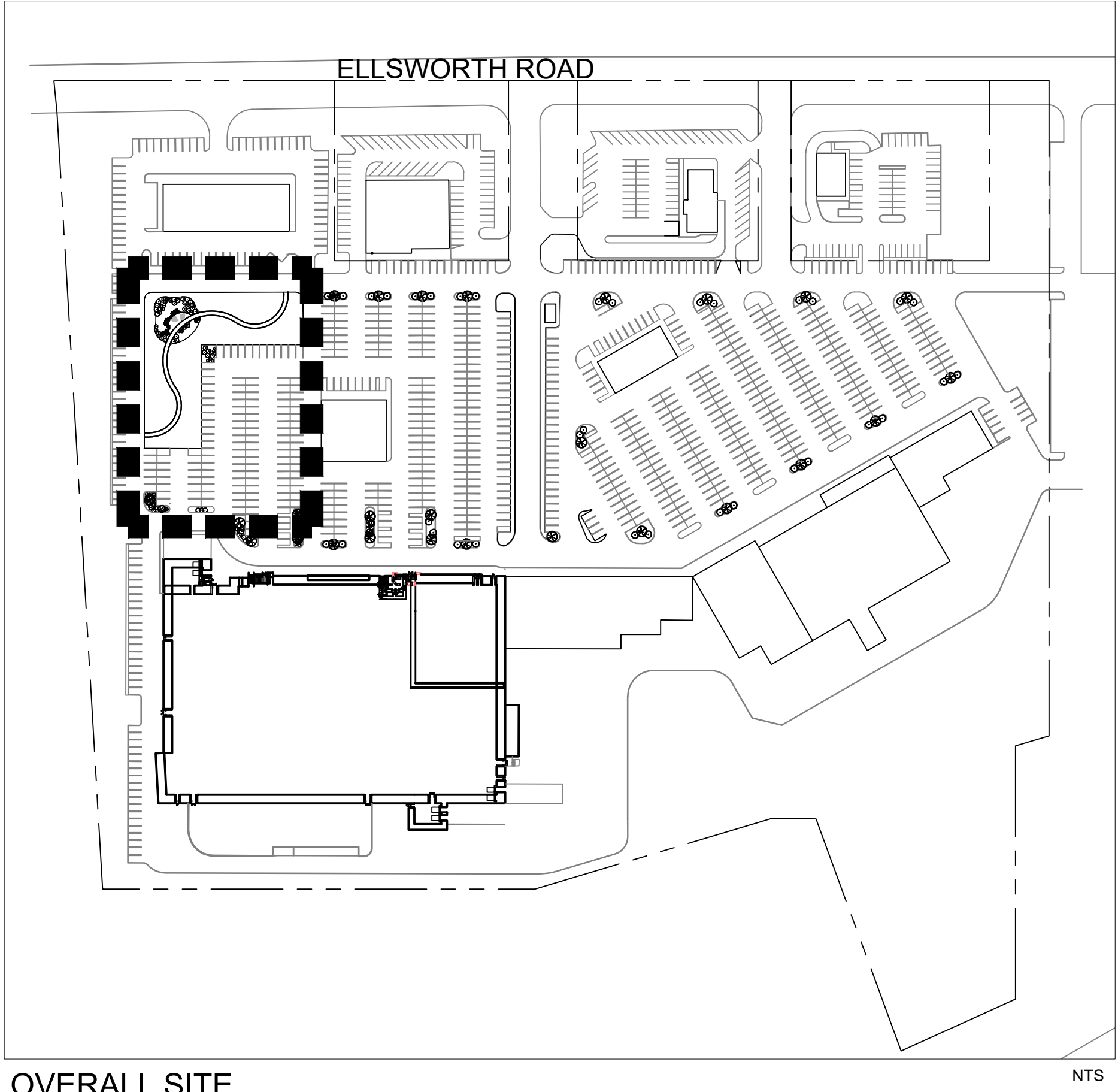
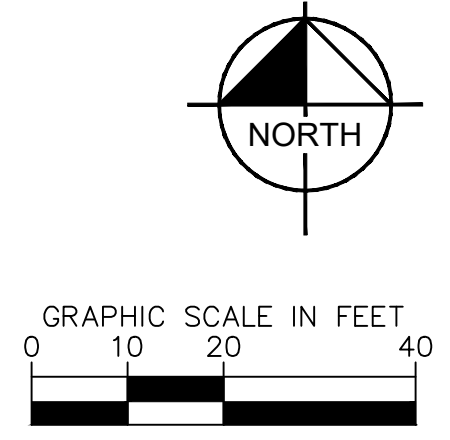
Drawing name: K:\PROJECTS\26847000_Self Storage\Ypsilanti\JUN23\Design\CADD\Planting\Sheet V2 L10 Concept Landscape plan.dwg Date: Nov 16, 2023 2:15pm By: amandamcnee
 This document, together with all attachments, is intended for the specific purpose and project for which it was prepared. Reuse of any portion of this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



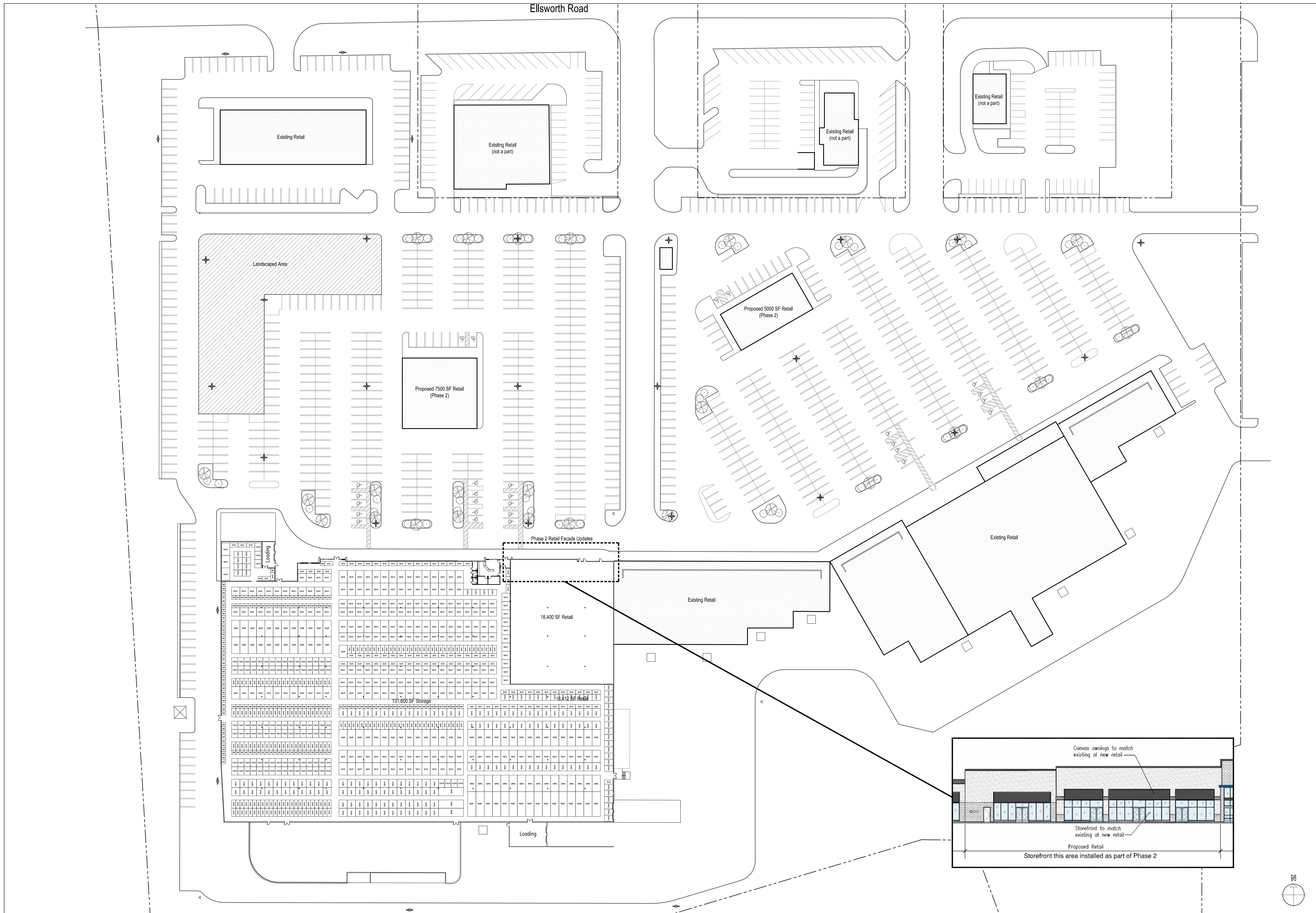
CONCEPT PLANT SCHEDULE

- CANOPY TREE
- EVERGREEN TREE
- SMALL EVERGREEN TREE
- MEDIUM DECIDUOUS SHRUBS
- LARGE DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASS
- NATIVE LOW PRAIRIE NO-MOW AREA
- PERENNIALS AND GROUNDCOVER

** NOTE PARKING LOT ISLAND LANDSCAPE PLANTINGS SHOWN ARE TYPICAL LEVEL OF LANDSCAPE FOR ENTIRE PARKING LOT. ENTIRE PARKING LOT NOT SHOWN IN THESE DRAWINGS BUT WILL BE PROVIDED AT FINAL DESIGN. IN ADDITION TO THE PARKING LOT LANDSCAPE, CODE ITEMS OUTLINED IN THE PLANNING DIRECTORS REPORT (STREET YARD, GENERAL LANDSCAPE, PARKING LOT, STORMWATER) DATED 10/31/2023 WILL BE PROVIDED.



| | | | | | | | |
|---------------------------------------|------------------|---------------|-----------------|---|-----------|------|----|
| | | | | | | | |
| SCALE: AS NOTED | DESIGNED BY: AMF | DRAWN BY: AMF | CHECKED BY: AMF | ©2023, KIMLEY-HORN AND ASSOCIATES, INC. 1000 TOWN CENTER, SUITE 1900 PHONE: 630-497-5550 WWW.KIMLEY-HORN.COM | | | |
| | | | | CITY COMMENTS | REVISIONS | DATE | BY |
| | | | | No. | XX/XX/XX | AW | BY |
| CONCEPT LANDSCAPE AMENITY AREA | | | | | | | |
| SELF STORAGE | | | | YPSILANTI, MI | | | |
| ORIGINAL ISSUE: 10/09/2023 | | | | KHA PROJECT NO. 268547000 | | | |
| SHEET NUMBER | | | | EX1 | | | |



LH2 Architecture, LLC
5909 W Loop S, Suite 230
Bellaire, TX 77401
713-664-2938



Site Plan - Phase 2

DealPoint Merrill Self Storage

2515 Ellsworth Road
Ypsilanti, MI 48197



LETTIE H. HARRELL
LICENSE NO. 1301066231

REVISIONS:

LH2 PROJECT NO: 22-074
ISSUED: Site Plan Review
ISSUE DATE: Oct. 09, 2023

DRAWING NUMBER

AS1.03
Site Plan
Phase 2

Site Plan - Phase 2

Scale: 1"=50' 01



LH2 Architecture, LLC
5909 W Loop S, Suite 230
Bellevue, TX 77401
713-664-2938



Elevations

DealPoint Merrill Self Storage
2515 Ellsworth Road
Ypsilanti, MI 48197



LETTIE H. HARRELL
LICENSE NO. 1301066231

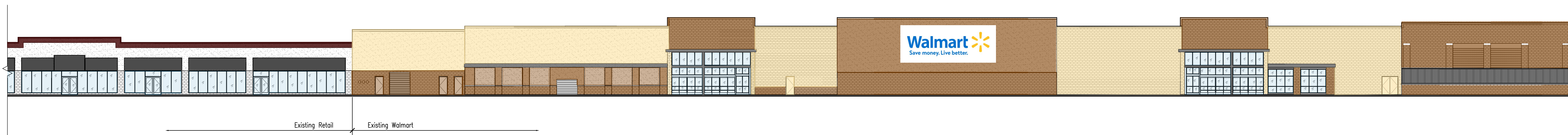
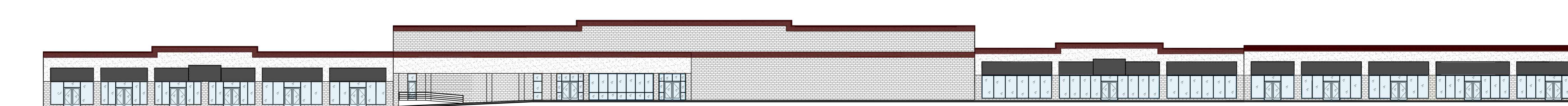
REVISIONS:

LH2 PROJECT NO: 22-074
ISSUED: Site Plan Review
ISSUE DATE: Oct. 09, 2023

DRAWING NUMBER

A2.01
Elevations

Existing Conditions

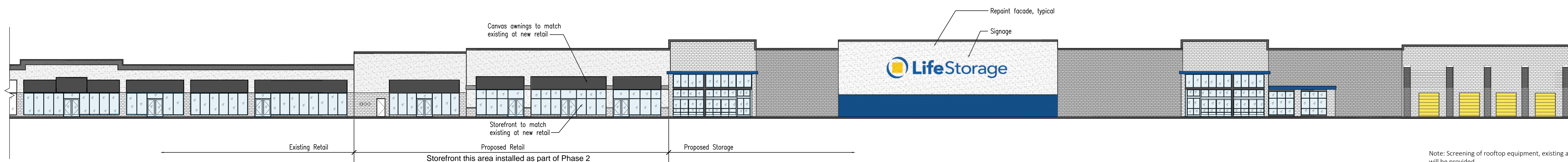
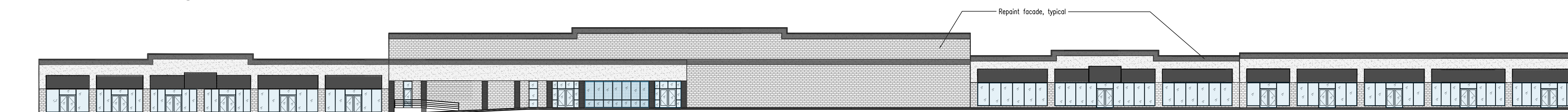


Existing North Elevation

Scale: 1"=20' 03

Proposed Facade Improvements

- New Paint
- New Signage
- HVAC Screening



Proposed North Elevation

Scale: 1"=20' 01

Note: Screening of rooftop equipment, existing and proposed, will be provided.



LH2 Architecture, LLC
5909 W Loop S, Suite 230
Bellevue, TX 77401
713-664-2938



Dumpster Details

DealPoint Merrill Self Storage
2515 Ellsworth Road
Ypsilanti, MI 48197



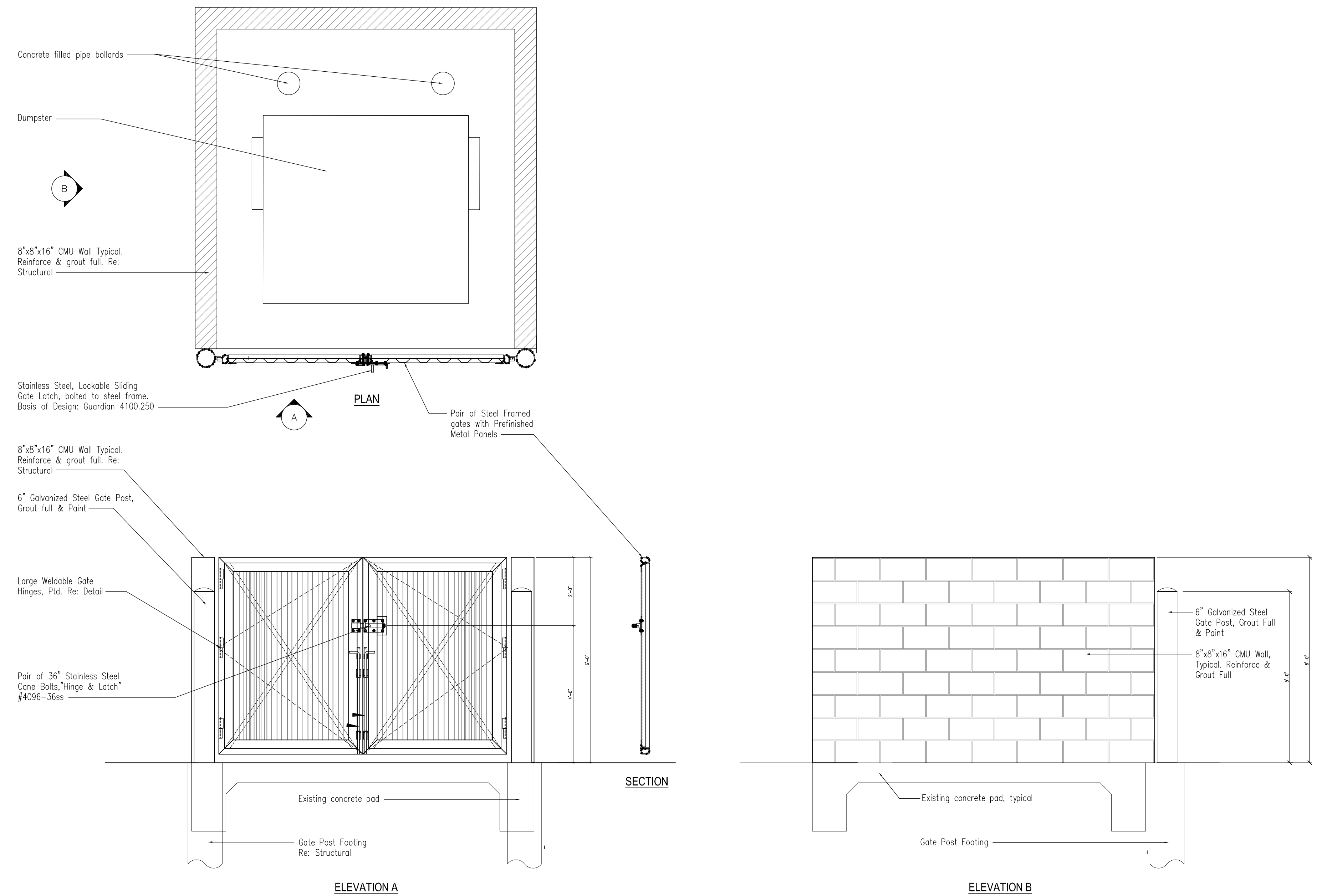
LETTIE H. HARRELL
LICENSE NO. 1301066231

REVISIONS:

LH2 PROJECT NO: 22-074
ISSUED: Site Plan Review
ISSUE DATE: Oct. 09, 2023

DRAWING NUMBER

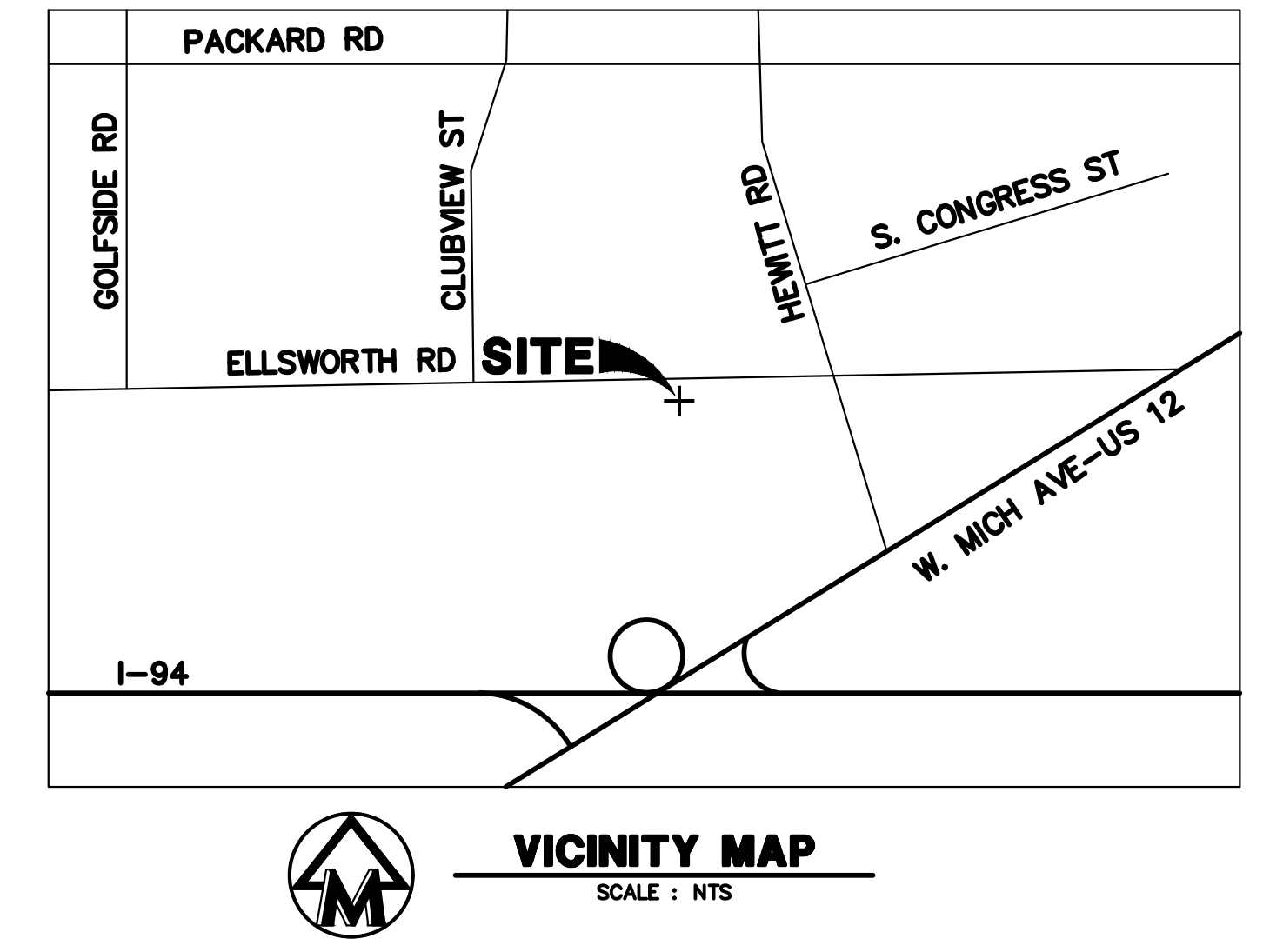
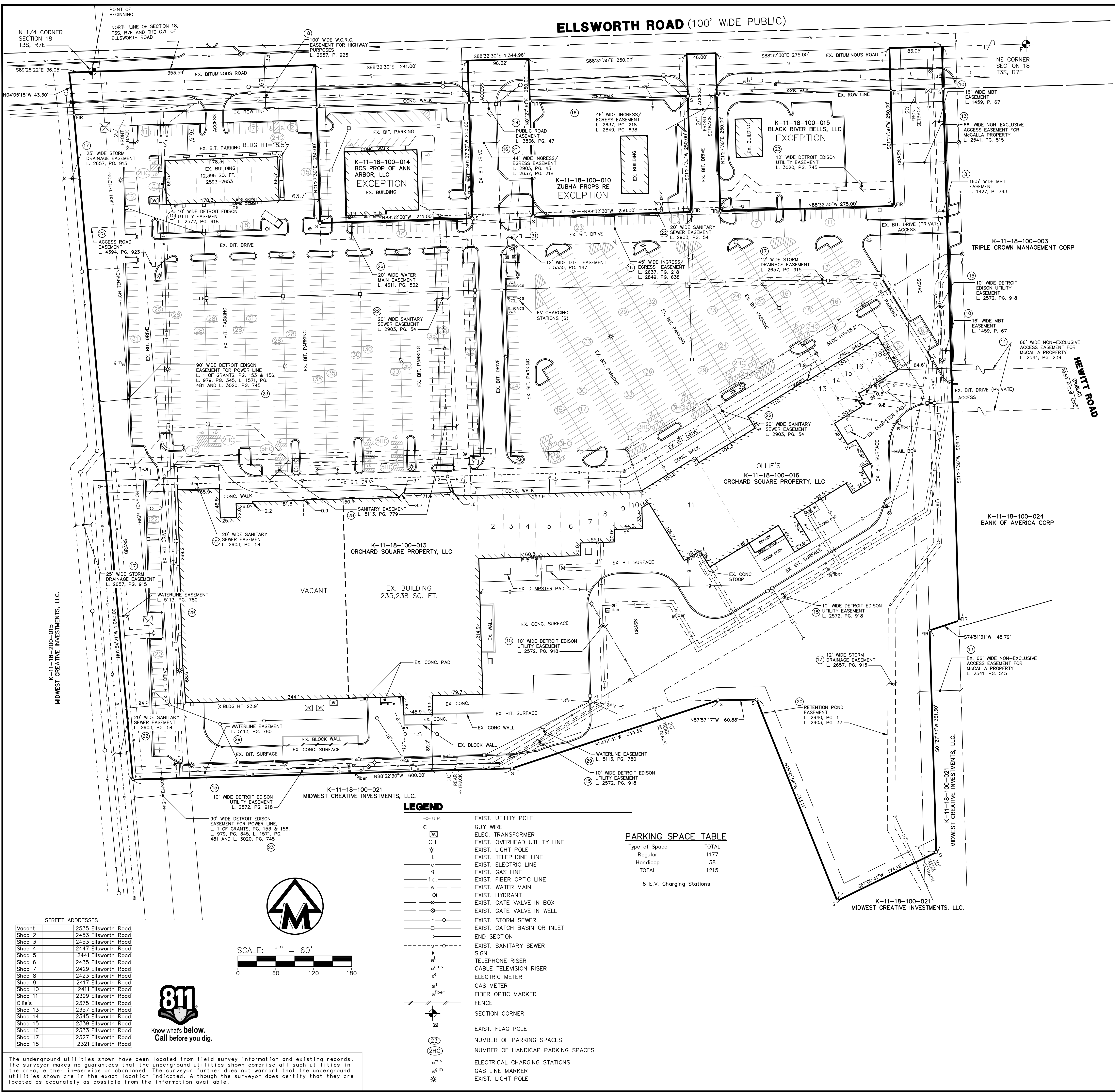
A3.01
Details



Dumpster Details

Scale: 1/2" = 1'-0" 01

ELLSWORTH ROAD (100' WIDE PUBLIC)



LEGAL DESCRIPTION

(PER FIRST AMERICAN TITLE COMMITMENT NO.: NCS-1134441-HHLV, WITH COMMITMENT DATE: SEPTEMBER 14, 2023)

Beginning at the North 1/4 corner of fractional Section 18, Town 3 South, Range 7 East, Ypsilanti Township, Washtenaw County, Michigan; thence South 88 degrees 32 minutes 30 seconds East 1344.95 feet along the North line of said fractional Section 18 and the centerline of Ellsworth Road; thence South 01 degrees 27 minutes 30 seconds West 909.11 feet; thence South 74 degrees 51 minutes 31 seconds West 48.79 feet; thence South 01 degrees 27 minutes 30 seconds West 351.30 feet; thence South 67 degrees 00 minutes 41 seconds West 174.18 feet; thence North 18 degrees 41 minutes 56 seconds West 343.11 feet; thence North 87 degrees 57 minutes 17 seconds West 60.88 feet; thence South 74 degrees 51 minutes 31 seconds West 343.32 feet; thence North 88 degrees 32 minutes 30 seconds West 600.00 feet; thence North 01 degrees 27 minutes 30 seconds West 1080.00 feet; thence North 04 degrees 05 minutes 15 seconds West 43.30 feet; thence South 88 degrees 32 minutes 30 seconds East 36.05 feet to the point of beginning, being a part of the Northeast 1/4 of fractional Section 18, Town 3 South, Range 7 East, Ypsilanti Township, Washtenaw County, Michigan;

Excepting therefrom the following described parcel:
Commencing at the North 1/4 corner of fractional Section 18, Town 3 South, Range 7 East, Ypsilanti Township, Washtenaw County, Michigan; thence South 88 degrees 32 minutes 30 seconds East 986.91 feet along the North line of said Section 18 and the centerline of Ellsworth Road to a point of beginning; thence continuing South 88 degrees 32 minutes 30 seconds East 275.00 feet along the North line of said Section 18 and the centerline of Ellsworth Road; thence South 01 degrees 27 minutes 30 seconds West 250.00 feet; thence North 88 degrees 32 minutes 30 seconds West 275.00 feet; thence North 01 degrees 27 minutes 30 seconds East 250.00 feet to the point of beginning, being a part of the Northeast 1/4 of fractional Section 18, Town 3 South, Range 7 East, Ypsilanti Township, Washtenaw County, Michigan;

Also excepting therefrom the following:
Commencing at the North 1/4 corner of fractional Section 18, Town 3 South, Range 7 East, Ypsilanti Township, Washtenaw County, Michigan; thence South 88 degrees 32 minutes 30 seconds East 690.91 feet along the North line of said Section 18 and the centerline of Ellsworth Road to a point of beginning; thence continuing South 88 degrees 32 minutes 30 seconds East 241.00 feet along said North line of said Section 18 and the centerline of Ellsworth Road; thence South 01 degrees 27 minutes 30 seconds West 250.00 feet; thence North 88 degrees 32 minutes 30 seconds West 241.00 feet; thence North 01 degrees 27 minutes 30 seconds East 250.00 feet to the point of beginning, being a part of the Northeast 1/4 of fractional Section 18, Town 3 South, Range 7 East, Ypsilanti Township, Washtenaw County, Michigan.

Also excepting therefrom the following:
Commencing at the North 1/4 corner of fractional Section 18, Town 3 South, Range 7 East, Ypsilanti Township, Washtenaw County, Michigan; thence South 88 degrees 32 minutes 30 seconds East 353.59 feet along the North line of said Section 18 and the centerline of Ellsworth Road to a point of beginning; thence continuing South 88 degrees 32 minutes 30 seconds East 241.00 feet along said North line of said Section 18 and the centerline of Ellsworth Road; thence South 01 degrees 27 minutes 30 seconds West 250.00 feet; thence North 88 degrees 32 minutes 30 seconds West 241.00 feet; thence North 01 degrees 27 minutes 30 seconds East 250.00 feet to the point of beginning, being a part of the Northeast 1/4 of fractional Section 18, Town 3 South, Range 7 East, Ypsilanti Township, Washtenaw County, Michigan.

Easement Parcel 1:
Together with a non-exclusive easement(s) as created, limited and defined by instrument dated September 23, 1991, recorded October 10, 1991 in Liber 2544, Page 239, Washtenaw County Records.
Easement Parcel 2:
Together with a non-exclusive easement(s) as created, limited and defined by instrument dated December 02, 1993, recorded December 08, 1993 in Liber 2903, Page 54, Washtenaw County Records.

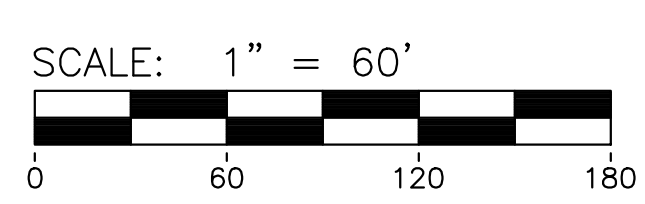
PARKING SPACE TABLE

| Type of Space | TOTAL |
|---------------|-------------|
| Regular | 1177 |
| Handicap | 38 |
| TOTAL | 1215 |

6 E.V. Charging Stations

LEGEND

- U.P. EXIST. UTILITY POLE
- GUY WIRE
- ELEC. TRANSFORMER
- EXIST. OVERHEAD UTILITY LINE
- EXIST. LIGHT POLE
- EXIST. TELEPHONE LINE
- EXIST. ELECTRIC LINE
- EXIST. GAS LINE
- EXIST. FIBER OPTIC LINE
- EXIST. WATER MAIN
- EXIST. HYDRANT
- EXIST. GATE VALVE IN BOX
- EXIST. GATE VALVE IN WELL
- EXIST. STORM SEWER
- EXIST. CATCH BASIN OR INLET
- END SECTION
- EXIST. SANITARY SEWER SIGN
- TELEPHONE RISER
- CABLE TELEVISION RISER
- ELECTRIC METER
- GAS METER
- FIBER OPTIC MARKER
- FENCE
- SECTION CORNER
- EXIST. FLAG POLE
- NUMBER OF PARKING SPACES
- NUMBER OF HANDICAP PARKING SPACES
- ELECTRICAL CHARGING STATIONS
- GAS LINE MARKER
- EXIST. LIGHT POLE



STREET ADDRESSES

| | |
|---------|---------------------|
| Vacant | 2535 Ellsworth Road |
| Shop 2 | 2453 Ellsworth Road |
| Shop 3 | 2453 Ellsworth Road |
| Shop 4 | 2447 Ellsworth Road |
| Shop 5 | 2441 Ellsworth Road |
| Shop 6 | 2435 Ellsworth Road |
| Shop 7 | 2429 Ellsworth Road |
| Shop 8 | 2423 Ellsworth Road |
| Shop 9 | 2417 Ellsworth Road |
| Shop 10 | 2411 Ellsworth Road |
| Shop 11 | 2399 Ellsworth Road |
| Shop 12 | 2375 Ellsworth Road |
| Shop 13 | 2357 Ellsworth Road |
| Shop 14 | 2345 Ellsworth Road |
| Shop 15 | 2339 Ellsworth Road |
| Shop 16 | 2333 Ellsworth Road |
| Shop 17 | 2327 Ellsworth Road |
| Shop 18 | 2321 Ellsworth Road |

The underground utilities shown have been located from field survey information and existing records. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. Although the surveyor does certify that they are located as accurately as possible from the information available.

MIDWESTERN CONSULTING
384 Plaza Drive, Ann Arbor, Michigan 48108
(734) 995-0000 • www.midwesternconsulting.com
Land Development • Land Survey • Instrumentation • Municipal
Wireless Communications • Transportation • Capital Services



CLIENT
DealPoint Merrill
21800 Burbank Blvd., Suite 350
Woodland Hills, CA 91367
ATTN: Tracy Brough
818-887-9787

2321-2515 W. ELLSWORTH RD.
ALTA/NSPS LAND TITLE SURVEY OF A PARCEL OF LAND LOCATED IN THE NORTH 1/2 OF FRACTIONAL SECTION 18, T3S, R7E, YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

1

| | |
|------------------|------------------|
| DATE: 11/07/2023 | REV. DATE: |
| SHEET: 1 OF 2 | REV. DATE: |
| CADD: DWG | ENG: M.V. |
| | P.L.: M.V. |
| | DATE: 11/07/2023 |
| | FILE: 2321-2515 |
| | REF: 1058 |

SURVEYORS CERTIFICATE

To: DealPoint Merrill, LLC a Delaware limited liability company; First American Title Insurance Company;
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established by ALTA and NSPS, and includes items 1, 2, 3, 4, 6(a)(1), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 13, 14, 16, 17, and 19 of Table A thereof. The fieldwork was completed on October 10, 2023.
MIDWESTERN CONSULTING, LLC.
By: Mark Vander Veen, P.S. No. 4001056778
Date:

22208

JOB NO.

EXCEPTIONS

- 7. The terms, provisions and easement(s) contained in the document entitled "Deed of Deputy State Highway Commissioner" recorded as Deed Liber 1039, Page 480 of Official Records. (NOT PLOTTABLE)
 - 8. The terms, provisions and easement(s) contained in the document entitled "Right of Way" recorded as Liber 1427, Page 793 of Official Records. (PLOTTED)
 - 9. The terms, provisions and easement(s) contained in the document entitled "Agreement - Easement - Restrictions" recorded as Liber 1432, Page 931. "Partial Disclaimer of Right of Way" recorded in Liber 3975, Page 409 of Official Records. (BLANKET)
 - 10. The terms, provisions and easement(s) contained in the document entitled "Right of Way" recorded as Liber 1459 Page 67 of Official Records. (PLOTTED)
 - 11. The terms, provisions and easement(s) contained in the document entitled "Grant of an Easement for Drainage" recorded as Liber 1714, Page 88 of Official Records. (NOT PLOTTABLE)
 - 12. The terms, provisions and easement(s) contained in the document entitled "Grant for an Easement for Drainage" recorded as Liber 1722, Page 327 of Official Records. (DOES NOT AFFECT THIS PROPERTY.)
 - 13. The terms, provisions and easement(s) contained in the document entitled "Warranty Deed" recorded as Liber 2541, Page 515 of Official Records. (PLOTTED)
 - 14. The terms, provisions and easement(s) contained in the document entitled "Easement and License Agreement" recorded as Liber 2544, Page 239 of Official Records. (PLOTTED)
 - 15. The terms, provisions and easement(s) contained in the document entitled "Underground Easement (Right of Way)" recorded as Liber 2572, Page 918 of Official Records. (PLOTTED)
 - 16. The terms, provisions and easement(s) contained in the document entitled "Warranty Deed" recorded as Deed Liber 2637, Page 218 and Deed Liber 2849, Page 638 of Official Records. (PLOTTED)
 - 17. Storm Drainage Easement granted to the Board of County Road Commissioners of the County of Washtenaw disclosed by instrument recorded in Liber 2657, Page 915, Washtenaw County Records. (PLOTTED)
 - 18. Public Road Easement granted to the Board of County Road Commissioners of the County of Washtenaw disclosed by instrument recorded in Liber 2657, Page 925, Washtenaw County Records. (PLOTTED)
 - 19. The terms, provisions and easement(s) contained in the document entitled "Declaration of Restrictive Covenant" recorded as Liber 2849, Page 651 of Official Records. (NOT PLOTTABLE)
 - 20. The terms, provisions and easement(s) contained in the document entitled "Surface and Storm Water Drainage Easement Agreement" recorded as Liber 2903, Page 37 and re-recorded in Liber 2940, Page 1 of Official Records. (PLOTTED)
 - 21. The terms, provisions and easement(s) contained in the document entitled "Easements and Restrictions Agreement" recorded as Liber 2903, Page 43 of Official Records. (PLOTTED)
 - 22. The terms, provisions and easement(s) contained in the document entitled "Sanitary Sewer Easement Agreement" recorded as Liber 2903, Page 54 of Official Records. (PLOTTED)
 - 23. The terms, provisions and easement(s) contained in the document entitled "Underground Easement (Right of Way)" recorded as Liber 3020, Page 745 of Official Records. (PLOTTED)
 - 24. Public Road Easement granted to the Board of Road Commissioners of the County of Washtenaw disclosed by instrument recorded in Liber 3836, Page 47, Washtenaw County Records. (PLOTTED)
 - 25. The terms, provisions and easement(s) contained in the document entitled "Amended and Restated Declaration of Easement and Agreement for Maintenance" recorded May 27, 2004 as Liber 4394, Page 923 of Official Records. (PLOTTED)
 - 26. The terms, provisions and easement(s) contained in the document entitled "Public Utility Easement" recorded March 08, 2007 as Liber 4611, Page 532 of Official Records. (PLOTTED)
 - 27. The terms, provisions and easement(s) contained in the document entitled "Temporary Construction Easement Agreement" recorded May 29, 2014 as Liber 5039, Page 507 of Official Records. (AGREEMENT EXPIRED)
 - 28. The terms, provisions and easement(s) contained in the document entitled "Utility Easement (Sanitary Sewer Lines)" recorded September 04, 2015 as Liber 5113, Page 779 of Official Records. (PLOTTED)
 - 29. The terms, provisions and easement(s) contained in the document entitled "Utility Easement (Water Service Lines)" recorded September 04, 2015 as Liber 5113, Page 780 of Official Records. (PLOTTED)
 - 30. The terms and provisions contained in the document entitled "Restrictive Covenant Agreement" recorded October 16, 2015 as Liber 5119, Page 965 of Official Records. (NOT PLOTTABLE)
 - 31. The terms, provisions and easement(s) contained in the document entitled "DTE Electric Company Underground Easement (Right of Way)" recorded November 20, 2019 as Liber 5330, Page 147 of Official Records. (PLOTTED)
 - 37. All of the terms and provisions set forth and contained in that certain Short Form Lease between Hutchens/Michigan Limited Partnership, by SNA, Inc., a general partner, DBA Alera, Lessor, and Wal-Mart Stores, Inc., Lessee, a memorandum of which is recorded in Liber 2774, Page 87. (NOT PLOTTABLE)
- As affected by "Amendment to Short Form Lease" recorded in Liber 5119, Page 966. (NOT PLOTTABLE)

NOTES

- 1). This survey was prepared using First American Title Insurance Company Commitment No. NCS-1134441-HHLV with an effective date of September 14, 2023.
- 2). Current Zoning Standards based on Zoning Report prepared by PARTNER Engineering and Science, Inc.
 - Zoning Designation: Parcel is currently zoned GB (General Business)
 - Maximum Height: 2 Stories (allowed) 3 Stories (existing)
 - 25 ft (allowed) 23.9 ft (existing)
- Setbacks

| | |
|-------------------------|-------------------|
| Front - 20 ft (allowed) | 145 ft (existing) |
| Side - 10 ft (allowed) | 61 ft (existing) |

 - *or 50 ft if lot borders a residential zoning district or street
 - Note: Property not abutting Residential District or Street along West Property Line.

| | |
|------------------------|--------------------|
| Rear - 20 ft (allowed) | 89.2 ft (existing) |
|------------------------|--------------------|

 - *or 50 ft if lot borders a residential zoning district or street
 - Note: Property not abutting Residential District or Street along West Property Line.
- Total Parking Required
 - (2321 Ellsworth Rd.):
 - 1 space per each 250 sf of usable retail floor area for the first 50,000 sf.
 - 1 space for each 275 sf for the next 50,000 to 450,000 sf of usable floor area
 - Total Required Parking Spaces = 427
 - (2515 Ellsworth Rd.):
 - 1 space per each 325 sf of gross floor area
 - Total Required Parking Spaces = 451
- Total Parking Existing:

| | |
|--------------------------------|-----|
| (2321 Ellsworth Rd.): | |
| Regular Parking Spaces: | 532 |
| EV Charging Spaces: | 6 |
| Handicapped Parking Spaces: | 20 |
| Total Provided Parking Spaces: | 558 |
| (2515 Ellsworth Rd.): | |
| Regular Parking Spaces: | 604 |
| EV Charging Spaces: | 0 |
| Handicapped Parking Spaces: | 15 |
| Total Provided Parking Spaces: | 619 |
- 3). Said described property is located within an area having a Zone Designation X by the Secretary of Housing and Urban Development, on Flood Insurance Rate Map No. 26161C0407E, with a date of identification of April 3, 2012, for Community Number 260542, in Washtenaw County, State of Michigan, which is the current Flood Insurance Rate Map for the community in which said property is situated
- 4). The parcel herein described has 1177 regular parking spaces and 38 Handicap spaces. Total = 1215 spaces
- 5). There was no evidence of current earth moving work, building construction or building additions as of the date the field work was performed.
- 6). There is no evidence of changes that will be made to the existing right-of-way lines or sidewalks in the near future.
- 7). Property contains 1,324,630 square feet or 30.41 acres.
- 8). The property described hereon is the same as the property described in First American Title Insurance Company Commitment No. NCS-1134441-HHLV with an effective date of September 14, 2023, and that all easements, covenants and restrictions referenced in said title commitment or apparent from a physical inspection of the site or otherwise known to have been plotted hereon or otherwise noted as to their effect on the subject property.

The underground utilities shown have been located from field survey information and existing records. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. Although the surveyor does certify that they are located as accurately as possible from the information available.

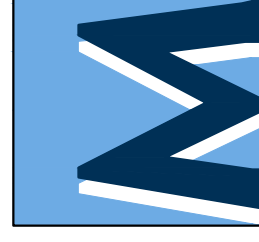
M:\3113\21\21\22\2208\2110.dwg, 11/7/2023 7:49 AM, Mark Vander Veen, MLC Per #33 Copyright © 2023, Midwestern Consulting LLC. All rights reserved. No part of this drawing may be used or reproduced in any form or by any means, or stored in a database or retrieval system, without prior permission of Midwestern Consulting LLC.

| | |
|-----------|--------------|
| JOB No. | 22208 |
| DATE | 11/07/2023 |
| SHEET | 2 OF 2 |
| REV. DATE | |
| CADD/DWG | |
| ENG. | |
| P.L. | |
| DATE | 11/07/2023 |
| FILE | 22208.dwg |

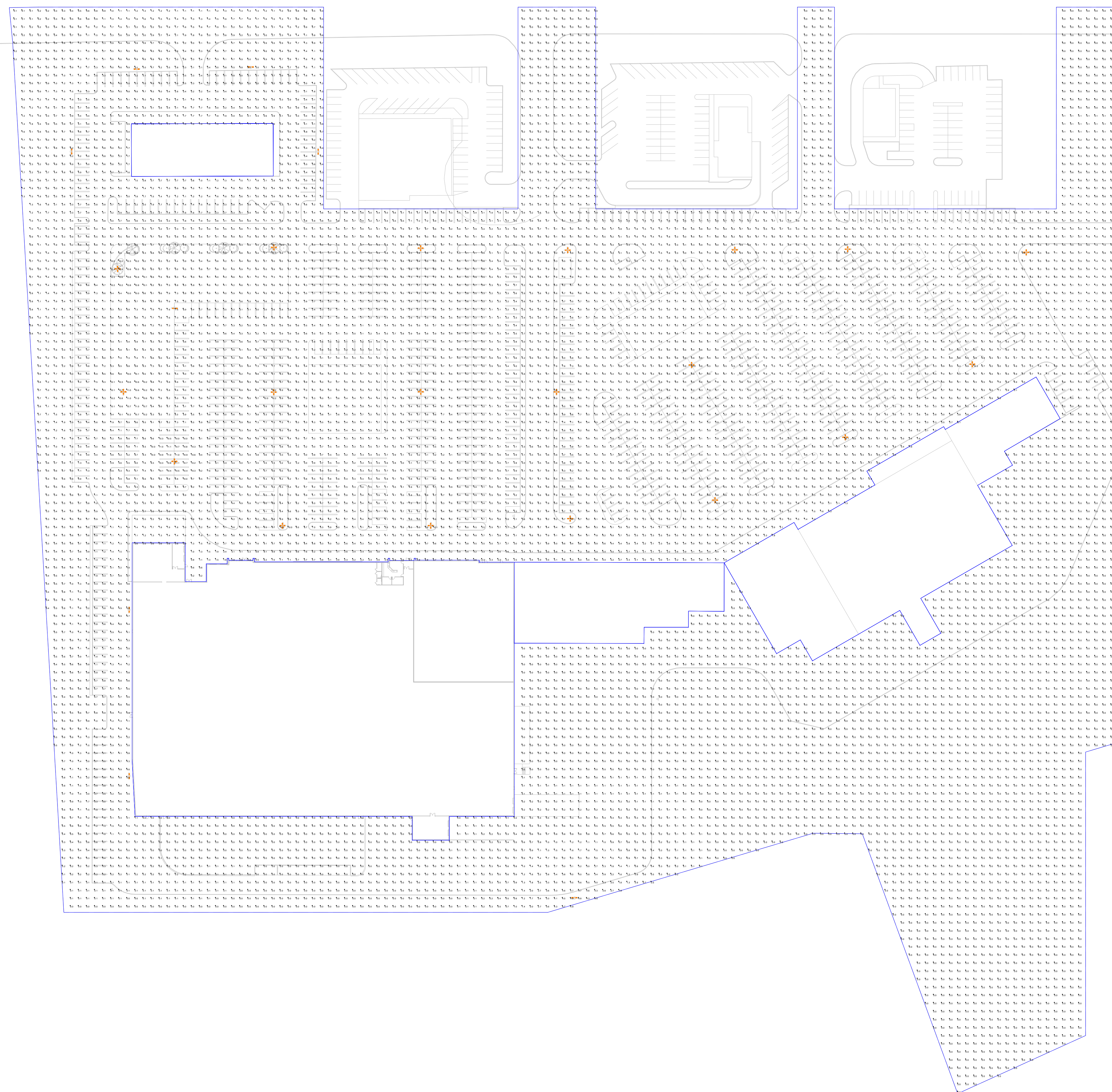
2

2321-2515 W. ELLSWORTH RD.
ALTA/NSPS LAND TITLE SURVEY OF A PARCEL OF LAND LOCATED IN THE NORTH 1/2 OF FRACTIONAL SECTION 18, T3S, R7E, YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

CLIENT
DesPoint Merrill
21800 Burbank Blvd., Suite 350
Woodland Hills, CA 91367
ATTN: Tracy Brough
818-887-9787



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Wireless Communications • Transportation • Civil/PE Services



Layout designs are based on information provided by the client and are only to be used as USLED recommendations for luminaire placement. Determination of luminaire application within existing or new field conditions is the responsibility of the engineer and/or architect.

The illumination level calculations within this layout are of those luminaires that have been laboratory tested under controlled conditions in accordance with Illuminating Engineering Society standard practices. Performance of any USLED luminaire may vary based on any varying field conditions. Unless otherwise noted, calculations do not include landscaping, buildings, curbs, or any other architectural elements which may alter the results.

LL-17580-R-1 (EXT).AGI

Date:11/6/2023

Project Name:DPM Ypsilanti

Prepared For: National LED

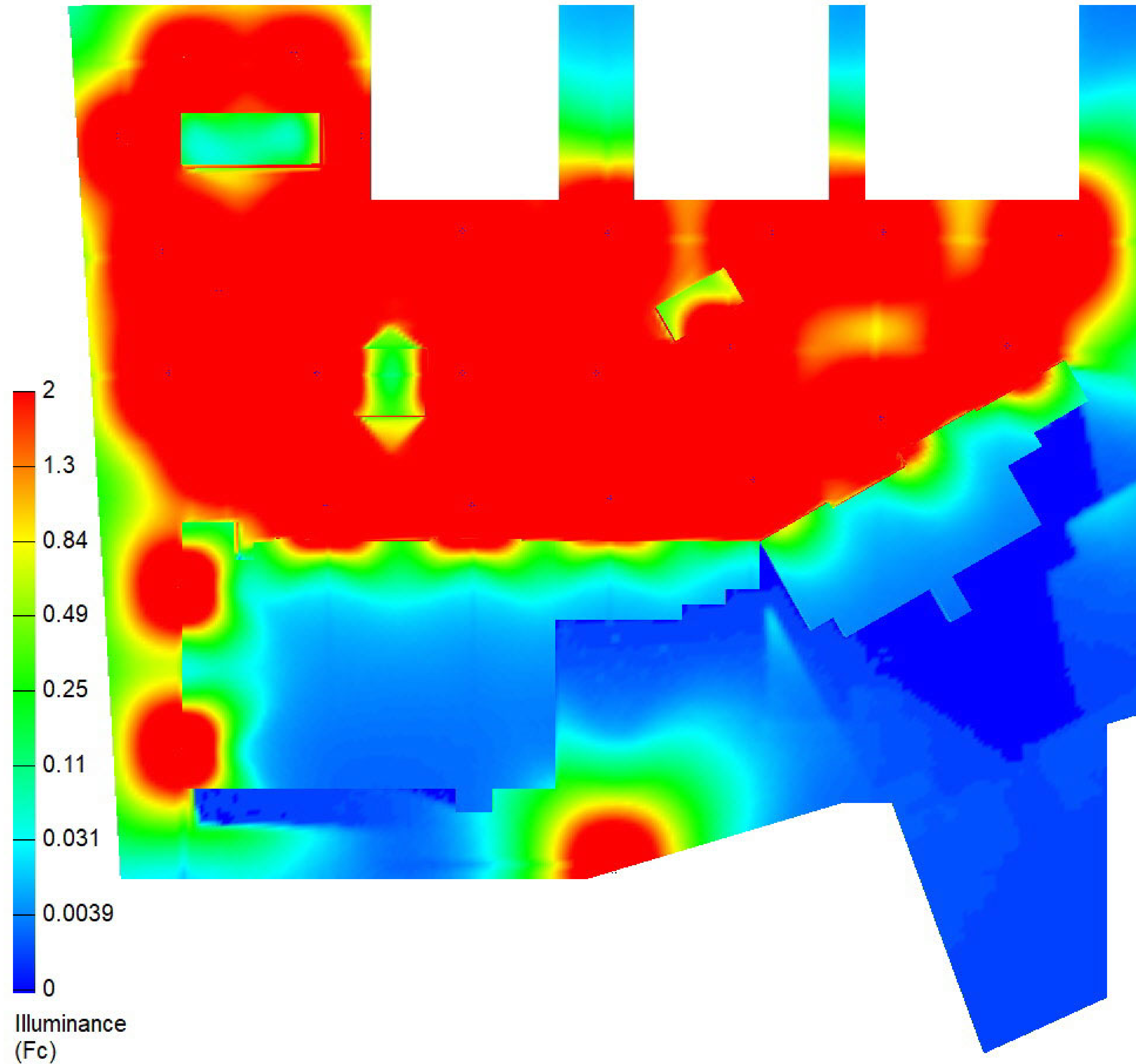
Page 1 of 2 Completed By:Lapp

6807 Portwest Drive
Houston, TX 77024

NationalLED

| Luminaire Schedule | | | | | | | | |
|--------------------|-----|----------------------------------|----------------|-------|------------|-------------|-------------|-----|
| Symbol | Qty | Label | Arrangement | LLF | Lum. Watts | Total Watts | Lum. Lumens | MH |
| | 19 | QDXLE2-240-50-UNVL-x-5-x-x (x4) | 4 @ 90 DEGREES | 0.963 | 247.6 | 18817.6 | 34768 | 38' |
| | 8 | QDXLE2-240-50-UNVL-x-5-x-x (B2B) | BACK-BACK | 0.963 | 247.6 | 3961.6 | 34768 | 38' |

| Calculation Summary @ GRADE - Calculation Points = 10'x10' | | | | | | |
|--|-------|------|------|-----|---------|---------|
| Label | Units | Avg | Max | Min | Avg/Min | Max/Min |
| ground_Planar | Fc | 2.49 | 11.1 | 0.0 | N.A. | N.A. |



Layout designs are based on information provided by the client and are only to be used as USLED recommendations for luminaire placement. Determination of luminaire application within existing or new field conditions is the responsibility of the engineer and/or architect.
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LL-17580-R-1 (EXT).AGI

Date:11/6/2023

Project Name:DPM Ypsilanti

Prepared For:National LED

Page 2 of 2 Completed By:Lapp

6807 Portwest Drive
Houston, TX 77024

NationalLED



LH2 Architecture, LLC
5909 West Loop South, Suite 230
Bellaire, TX 77401
P: 713-664-2938 F: 713-255-3156

November 17, 2023

Jason Iacoangeli AICP
Planning Director
Charter Township of Ypsilanti
7200 S. Huron River Drive
Ypsilanti, MI 48197

RE: DealPoint Merrill Self Storage
2515 Ellsworth Road
Ypsilanti Township, MI

Dear Jason,

In reference to the Director's Report dated 10-27-2023, we offer the following responses.

Screening and Landscaping:

1. Dumpster Enclosures: Dumpster locations are indicated on the site plan AS1.01 and AS1.02. Enclosures meeting the requirements of the ordinance will be provided as part of Phase 1, re: A3.01.
2. Rooftop equipment screening will be provided as part of Phase 1. Refer to AS1.02.
3. Landscaping is provided, re: AS1.02 and EX-1 Landscape Plan.

Lighting:

1. A photometric is provided confirming adequate lighting in the parking lot. As part of Phase 1, an additional light pole will be added in the rear of the proposed storage re: AS1.02. Additionally, all existing wall packs will be replaced with new LED fixtures.

Façade Improvements:

1. Refer to elevations sheet A2.01 for proposed improvements to be provided as part of Phase 1. The storefront for the proposed new retail will be provided as part of Phase 2, once a tenant is identified.

Work to be included as part of Phase 1 is listed on sheet AS1.02. Additionally, existing utilities are provided on the attached updated ALTA survey.

Should any additional information be required, please do not hesitate to contact us.

Sincerely,

LH2 ARCHITECTURE, LLC

A handwritten signature in blue ink that reads 'LH2 Harrell'.

Lettie H. Harrell AIA, NCARB, LEED AP



**Staff Report
Visible Learning Center
1189 E. Michigan Ave, Ypsilanti MI
Site Plan**

December 12, 2023

Applicant: Visible Learning Center

Project Name: Visible Learning Center Driveway

Plan Date: 11-08-2023

Location: 1189 E. Michigan Ave, Ypsilanti MI, 48198 Parcel ID# K-11-10-106-018

Zoning: RC - Regional Corridor – Site Type B

Action Requested: Preliminary Site Plan Review

Case Location and Summary

The Office of Community Standards is in receipt of a Preliminary Site Plan Application from Visible Learning Center requesting preliminary site plan approval to improve the existing parking area and provide direct access to Michigan Ave via new driveway entrance and paved parking area. Currently, The Visible Learning Center shares a driveway with 1159 E. Michigan Avenue which is located the West of the property. This arrangement has the potential to cause traffic conflicts and confusion with patrons.

Cross References

- **Article 5, Form Based Districts**
- **Article 9, Site Plan Review**
- **Article 12, Access, Parking, Loading**
- **Article 13, Site Design Standards**

Subject Site Use, Zoning and Comprehensive Plan

The Charter Township of Ypsilanti 2040 Master Plan designates this site for Mixed-Uses. The intent is to preserve and strengthen the neighborhoods through investment, rehabilitation, and infill. The site is currently zoned RC, Regional Corridor which follows the Master Plan designation.

Township Supervisor
Brenda L. Stumbo
Township Clerk
Heather Jarrell Roe
Township Treasurer
Stan Eldridge



**YPSILANTI
TOWNSHIP**
— PLANNING & ZONING DEPARTMENT —

Trustees
John Newman II
Gloria Peterson
Debbie Swanson
Ryan Hunter

Aerial Photograph – 2020



Township Supervisor
 Brenda L. Stumbo
Township Clerk
 Heather Jarrell Roe
Township Treasurer
 Stan Eldridge



**YPSILANTI
 TOWNSHIP**
 — PLANNING & ZONING DEPARTMENT —

Trustees
 John Newman II
 Gloria Peterson
 Debbie Swanson
 Ryan Hunter

Size of Subject Site:

2.28 acres

Current Use of Subject Site:

Daycare Center

Current Zoning:

RC – Regional Corridor – Site Type B Designation

Proposed use of Subject Property:

Redoing parking lot and adding a driveway connection off Michigan Avenue

Adjacent Uses, Zoning and Comprehensive Plan

| <i>Direction</i> | <i>Use</i> | <i>Zoning</i> | <i>Master Plan</i> |
|-------------------------|------------------------|------------------------|---------------------------|
| North | Residential | RC – Regional Corridor | Regional Corridor |
| South | Vacant | RC – Regional Corridor | Regional Corridor |
| East | Residential/Commercial | RC – Regional Corridor | Regional Corridor |
| West | Residential/Commercial | RC – Regional Corridor | Regional Corridor |

Natural Features

Topography: The subject parcel is relatively flat.

Woodlands: There are matured woodland trees on the property where the driveway is to be located.

Wetlands: There are no wetlands on the subject property. According to FEMA MAP 26161C0430E, Dated April 3, 2012, the site is in an area of minimal flood hazard.



Analysis

Parking and Loading:

Sec 1205. – Parking Requirements requires the following:

| | Required | Provided |
|-------------------------|-----------------------|-----------------|
| Childcare Center | +/- 15 | 21 |
| Loading | 1 Per Building | 1 |
| Bike Parking | 1 | 1 |

Items to be addressed: None to be addressed. The applicant proposes adequate parking accommodation.

Parking Lot Patching / Asphalt Replacement:

Sec 903.3 – Completion of site design in accordance with approved final site plan:

It shall be the responsibility of the owner of a property for which final site plan approval has been granted to maintain the property in accordance with the approved site design on a continuing basis until the property is razed, or until new zoning regulations supersede the regulations upon which site approval was based, or until a new site design approval is sought. Such maintenance shall include all building and site elements depicted on the site plan including parking configuration, lighting, and landscaping. Any property owner who fails to maintain a site as approved shall be deemed in violation of the applicable use provisions of this Section and shall be subject to penalties.

Items to be addressed: None to be addressed. The property owner shall be responsible for maintaining the driveway and parking lot on a continuing basis.

Sidewalk

Sec 1206. – Bicycle and Pedestrian Accommodations

Development plans shall include site amenities that enhance safety and convenience and promote walking or bicycling as an alternative means of transportation. All sites with parking of ten (10) spaces or greater shall provide a bike rack for at least two (2) bicycles within fifty (50) feet of the building entrance.

Concrete paved safety paths for bicycles and pedestrians not less than eight (8) feet wide shall be provided on both sides of all major thoroughfares defined in Section 24, Definitions.



Items to be addressed: None to be addressed. The applicant has included bicycle and pedestrian accommodation in the form of a bike hoop, and a 5' wide sidewalk connection from E. Michigan Avenue to the daycare facility, and an 8' wide sidewalk along E. Michigan Avenue.

Landscaping:

Sec 1301. – Landscaping Requirements

Upon thorough review of the site plan landscape requirements, we have determined the landscape plan provided meets the general intent and minimum requirements of the zoning ordinance.

The applicant is removing 10 regulated trees. Tree replacement at 100 percent of trees is required. The applicant is adding 8 additional trees along with the required 10. As well as 35 new shrubs around the north and south property lines along Cross Street and Michigan Avenue.

Items to be addressed: None to be addressed.

Trash Receptacles:

Sec 1302. – Trash and Recycling Receptacles

The site plan gives location and plans for dumpster enclosure that meets the requirements per section 1302 of the zoning ordinance.

Items to be addressed: None to be addressed.

Exterior Lighting:

Sec 1303 – Exterior Lighting

The plans show existing light poles, and there are plans given that shows updated lighting that will be put on the existing poles.

Items to be addressed: There are two existing light poles in the grass field on the northern side of the property adjacent to Cross Street. These poles are non-operational and serve no purpose to the functioning of the site. These light poles must be removed.

Summary:

The Township Planning Department strongly encourages this development as it will increase pedestrian safety and decrease traffic conflicts in the area.



Suggested Motions:

The following suggested motions and conditions are provided to assist the Planning Commission in making the most appropriate motion for this application. The Commission may utilize, add, or reject any conditions suggested herein, as they deem appropriate.

Motion to table:

*“I move to table the request for **Preliminary Site Plan** of The Visible Learning Center to permit the construction of a new driveway entrance off East Michigan Avenue and associated parking lot improvements for a 2.28-acre site zoned RC – Regional Corridor with a Site Type B Designation, located at 1189 E. Michigan Avenue, Ypsilanti, MI 48198, Parcel, K-11-10-106-018 to consider comments presented by the Planning Commission during the discussion of the project.”*

Motion to approve.

*“I move to approve the **Preliminary Site Plan** of The Visible Learning Center to permit the construction of a new driveway entrance off East Michigan Avenue and associated parking lot improvements for a 2.28-acre site zoned RC – Regional Corridor with a Site Type B Designation, located at 1189 E. Michigan Avenue, Ypsilanti, MI 48198, Parcel, K-11-10-106-018, with the following conditions:*

- 1. The applicant shall address all outstanding comments from reviewing agencies prior to Final Site Plan approval.*
- 2. The applicant shall obtain all applicable internal and outside agency permits prior to construction.*
- 3. The applicant shall remove the inoperable light poles in the grass field on the northern side of the property adjacent to Cross Street.*
- 4. The applicant shall provide the Planning Department with fence plans that meet the Township Zoning Ordinance requirements for the existing entrance closure.*
- 5. Any other conditions based upon Planning Commission Discussion.*

Motion to deny:

*“I move to deny the **Preliminary Site Plan** of The Visible Learning Center to permit the construction of a new driveway entrance off East Michigan Avenue and associated parking lot improvements for a 2.28-acre site zoned RC – Regional Corridor with a Site Type B Designation, located at 1189 E. Michigan Avenue, Ypsilanti, MI 48198, Parcel, K-11-10-106-018, for the following reasons:*

Township Supervisor
Brenda L. Stumbo
Township Clerk
Heather Jarrell Roe
Township Treasurer
Stan Eldridge



**YPSILANTI
TOWNSHIP**
— PLANNING & ZONING DEPARTMENT —

Trustees
John Newman II
Gloria Peterson
Debbie Swanson
Ryan Hunter

Respectfully submitted,

Fletcher Reyher, Planning & Development Coordinator
Charter Township of Ypsilanti Planning Department

Planning Director's Report

Project Name: Visible Learning Center - Driveway

Location: 1189 E. Michigan Avenue, Ypsilanti, MI 48198

Date: 12-05-2023

- | | |
|---|---|
| <input checked="" type="checkbox"/> Full Preliminary Site Plan Review # 2 <input type="checkbox"/> Sketch Preliminary Site Plan Review # <input type="checkbox"/> Administrative Preliminary Site Plan Review # <input type="checkbox"/> Detailed Engineering/Final Site Plan Review # <input type="checkbox"/> Special Use Permit <input type="checkbox"/> Public Hearing | <input type="checkbox"/> Rezoning <input type="checkbox"/> Tentative Preliminary Plat <input type="checkbox"/> Final Preliminary Plat <input type="checkbox"/> Final Plat Process <input type="checkbox"/> Planned Development Stage I <input type="checkbox"/> Planned Development Stage II |
|---|---|

| Contact / Reviewer | Consultants, Departments, & Agencies | Approved | Approved with Conditions | Denied | N/A | See email/letter attached or comments below |
|-------------------------------------|---|-------------------------------------|-------------------------------------|--------------------------|-------------------------------------|---|
| Jason Iacoangeli, Planning Director | Township Planning Department | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | See comments below |
| Carlisle/Wortman Associates | Planning Consultant | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| OHM / Stantec | Engineering Consultant | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | See letter dated 11-16-2023 |
| Steven Wallgren, Fire Marshal | Township Fire Department | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | See letter dated 11-17-2023 |
| Dave Bellers, Building Official | Township Building Department | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| Brian McCleery, Deputy Assessor | Township Assessing Department | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| Scott Westover, Engineering Manager | Ypsilanti Community Utilities Authority | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | See email dated 09-05-2023 |
| Gary Streight, Project Manager | Washtenaw County Road Commission | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| Theresa Marsik, Stormwater Engineer | Washtenaw County Water Resources Commission | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | See letter dated 12-04-2023 |
| James Drury, Permit Agent | Michigan Department of Transportation | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | No correspondence received |
| | | | | | | |

Planning Director's Recommended Action:

At this time, the Visible Learning Center is eligible for Preliminary Site Plan consideration by the Planning Commission. This project is being placed on the Planning Commission agenda for Tuesday, December 12, 2023 at the regularly scheduled meeting. It would be the Planning Department's recommendation that the Planning Commission grant Preliminary Site Plan approval as this project meets the conditions of the Township Zoning Ordinance. The approval should be contingent on the applicant addressing the remaining comments in the attached review letters. In addition, the applicant must seek approval from all outside agencies as required as part of the Final Site Plan / Detailed Engineering review. Lastly, the approval should be contingent on the applicant addressing the conditions of approval presented in the Planning Department's Staff Report.



**Staff Report
Visible Learning Center
1189 E. Michigan Ave, Ypsilanti MI
Site Plan**

November 17, 2023

Applicant: Visible Learning Center

Project Name: Visible Learning Center Driveway

Plan Date: 11-08-2023

Location: 1189 E. Michigan Ave, Ypsilanti MI, 48198 Parcel ID# K-11-10-106-018

Zoning: RC - Regional Corridor – Site Type B

Action Requested: Preliminary Site Plan Review

Case Location and Summary

The Office of Community Standards is in receipt of an Administrative Site Plan Application from Visible Learning Center requesting administrative site plan approval to improve existing parking and provide direct access to Michigan Ave via new driveway entrance and paved parking area. Currently, The Visible Learning Center shares a driveway with 1159 E. Michigan Avenue which is located the West of the property. This arrangement has the potential to cause traffic conflicts and confusion with patrons.

Cross References

- Article 5, Form Based Districts
- Article 9, Site Plan Review
- Article 12, Access, Parking, Loading
- Article 13, Site Design Standards

Subject Site Use, Zoning and Comprehensive Plan

The Charter Township of Ypsilanti 2040 Master Plan designates this site for Mixed-Uses. The intent is to preserve and strengthen the neighborhoods through investment, rehabilitation, and infill. The site is currently zoned RC, Regional Corridor which follows the Master Plan designation.

Township Supervisor
Brenda L. Stumbo
Township Clerk
Heather Jarrell Roe
Township Treasurer
Stan Eldridge



**YPSILANTI
TOWNSHIP**
— PLANNING & ZONING DEPARTMENT —

Trustees
John Newman II
Gloria Peterson
Debbie Swanson
Ryan Hunter

Aerial Photograph – 2020





Size of Subject Site:

2.28 acres

Current Use of Subject Site:

Daycare Center

Current Zoning:

RC – Regional Corridor – Site Type B Designation

Proposed use of Subject Property:

Redoing parking lot and adding a driveway connection off Michigan Ave

Adjacent Uses, Zoning and Comprehensive Plan

| <i>Direction</i> | <i>Use</i> | <i>Zoning</i> | <i>Master Plan</i> |
|-------------------------|------------------------|------------------------|---------------------------|
| North | Residential | RC – Regional Corridor | Regional Corridor |
| South | Vacant | RC – Regional Corridor | Regional Corridor |
| East | Residential/Commercial | RC – Regional Corridor | Regional Corridor |
| West | Residential/Commercial | RC – Regional Corridor | Regional Corridor |

Natural Features

Topography: The subject parcel is relatively flat.

Woodlands: There are matured woodland trees on the property where the driveway is to be located.

Wetlands: There are no wetlands on the subject property. According to FEMA MAP 26161C0430E, Dated April 3, 2012, the site is in an area of minimal flood hazard.



Analysis

Parking and Loading:

Sec 1205. – Parking Requirements requires the following:

| | Required | Provided |
|------------------|-----------------|-----------------|
| Childcare Center | +/- 15 | 21 |
| Loading | 1 Per Building | 1 |
| Bike Parking | 1 | 1 |

Items to be addressed: None to be addressed. The applicant proposes adequate parking accommodation.

Parking Lot Patching / Asphalt Replacement:

Sec 903.3 – Completion of site design in accordance with approved final site plan:

It shall be the responsibility of the owner of a property for which final site plan approval has been granted to maintain the property in accordance with the approved site design on a continuing basis until the property is razed, or until new zoning regulations supersede the regulations upon which site approval was based, or until a new site design approval is sought. Such maintenance shall include all building and site elements depicted on the site plan including parking configuration, lighting, and landscaping. Any property owner who fails to maintain a site as approved shall be deemed in violation of the applicable use provisions of this Section and shall be subject to penalties.

Items to be addressed: None to be addressed. The property owner shall be responsible for maintaining the driveway and parking lot on a continuing basis.

Sidewalk

Sec 1206. – Bicycle and Pedestrian Accommodations

Development plans shall include site amenities that enhance safety and convenience and promote walking or bicycling as an alternative means of transportation. All sites with parking of ten (10) spaces or greater shall provide a bike rack for at least two (2) bicycles within fifty (50) feet of the building entrance.

Concrete paved safety paths for bicycles and pedestrians not less than eight (8) feet wide shall be provided on both sides of all major thoroughfares defined in Section 24, Definitions.



Items to be addressed: None to be addressed. The applicant has included bicycle and pedestrian accommodation in the form of a bike hoop, and a 5' wide sidewalk connection from E. Michigan Avenue to the daycare facility, and an 8' wide sidewalk along E. Michigan Avenue.

Landscaping:

Sec 1301. – Landscaping Requirements

Upon thorough review of the site plan landscape requirements, we have determined the landscape plan provided meets the general intent and minimum requirements of the zoning ordinance.

The applicant is removing 10 regulated trees. Tree replacement at 100 percent of trees is required. The applicant is adding 8 additional trees along with the required 10. As well as 35 new shrubs around the north and south property lines along Cross Street and Michigan Avenue.

Items to be addressed: None to be addressed.

Trash Receptacles:

Sec 1302. – Trash and Recycling Receptacles

The site plan gives location and plans for dumpster enclosure that meets the requirements per section 1302 of the zoning ordinance.

Items to be addressed: None to be addressed.

Exterior Lighting:

Sec 1303 – Exterior Lighting

The plans show existing light poles, and there are plans given that shows updated lighting that will be put on the existing poles.

Items to be addressed: There are two existing light poles in the grass field on the northern side of the property adjacent to Cross Street. These poles are non-operational and serve no purpose to the functioning of the site. These light poles must be removed.

Summary:

The Township Planning Department strongly encourages this development as it will increase pedestrian safety and decrease traffic conflicts in the area.

Township Supervisor
Brenda L. Stumbo
Township Clerk
Heather Jarrell Roe
Township Treasurer
Stan Eldridge



**YPSILANTI
TOWNSHIP**
— PLANNING & ZONING DEPARTMENT —

Trustees
John Newman II
Gloria Peterson
Debbie Swanson
Ryan Hunter

Recommendations:

1. The applicant shall submit to the Planning Department fence plans for the closure of the shared driveway at the time of Final Site Plan Review. The fence plans must comply with the Township Zoning Ordinance.
2. The applicant shall remove the two existing light poles located in the grass field North of the building, adjacent to Cross Street. These light poles serve no purpose and must be removed as they do not contribute to the functioning of the site.
3. The Planning Department asks that the applicant consider installing a sidewalk connection from the proposed site to Cross Street.

Respectfully submitted,

Fletcher Reyher, Planning & Development Coordinator
Charter Township of Ypsilanti Planning Department

November 16, 2023

Mr. Jason Iacoangeli
Township Planning Director
Charter Township of Ypsilanti
7200 S. Huron River Drive
Ypsilanti, MI 48197

RE: Visible Learning Center
Site Plan Review #2

Dear Mr. Iacoangeli:

We have completed the second site plan review of the plans dated August 15, 2023, with a latest revision date of November 8, 2023, and stamped received by OHM Advisors on August 21, 2023.

At this time, the plans are recommended for approval for the Planning Commission's consideration, contingent on the following comments being addressed. Preliminary detailed engineering comments have been provided to the applicant as a courtesy and shall be addressed prior to submitting detailed engineering plans for review.

A brief description of the project has been provided below (Section A), followed by our comments (Section B and C) and a list of anticipated required permits and approvals (Section D). Comments in Section C are detailed in nature, do not influence the overall site layout, and can be addressed during the detailed engineering drawing submittal.

A. PROJECT AND SITE DESCRIPTION

The applicant is proposing to utilize an existing building located at 1189 E Michigan Ave for a daycare facility. The existing parking area will be improved, and direct, independent vehicular access will be provided to the business from Michigan Ave. Access to Cross St is not being proposed at this time.

The existing site appears to be serviced by connection to the existing 8-inch water main and 12-inch sanitary sewer along Cross St. The applicant is also proposing improvements to the stormwater management system which will utilize an existing, on-site detention basin.

B. SITE PLAN COMMENTS

Paving and Grading/Site Layout

1. It is recommended that a sidewalk connection from the proposed site to Cross St be provided as it is anticipated that foot traffic will be accessing the site from Cross St.

Site Utilities

2. It currently appears that sufficient hydrant coverage may not be provided by the existing hydrants. This office defers to the Ypsilanti Township Fire Department on the review and approval of hydrant coverage.



C. PRELIMINARY DETAILED ENGINEERING PLAN COMMENTS

The following comments shall be addressed by the applicant during the detailed engineering drawing submittal, and do not affect the recommendation for approval to the Township of Ypsilanti Planning Commission. It should be noted that this is not an all-inclusive list and additional comments may be generated as new information is presented.

1. The applicant shall provide spot elevations at all four (4) corners of all barrier-free parking spaces, access aisles, ramps, and level landings, as well as along both sides of all proposed sidewalk and the existing sidewalk along Cross St at 50-foot intervals. The applicant shall note that the cross-slope shall not exceed 2% per ADA Standards.
2. The applicant shall provide utility pipe profiles, including pipe diameter, material, length, slope, and hydraulic grade line for all proposed storm sewer on the plans.
3. The applicant shall provide cross-sections for the proposed on-site asphalt and concrete.
4. The applicant shall provide the ADS N-12 manufacturer's specification for use under pavement.
5. The applicant shall provide the water and sanitary service connection locations to the existing building on the plans for clarity.

D. REQUIRED PERMITS & APPROVALS

The following outside agency reviews and permits will be required for the project. Copies of any correspondence between the applicant and the review agencies, as well as the permit or waiver, shall be sent to both the Township and OHM Advisors (email: stacie.monte@ohm-advisors.com).

- ▶ **Ypsilanti Township Fire Department:** Review and approval of hydrant coverage and site accessibility is required.
- ▶ **Washtenaw County Water Resources Commissioner's Office (WCWRC):** Review and approval is required.
- ▶ **Washtenaw County Road Commission (WCRC):** Review and approval is required for all work within the Cross Street ROW.
- ▶ **Michigan Department of Transportation (MDOT):** Review and approval of changes to the entrance drive on E Michigan Ave and any proposed work within the E Michigan Ave ROW is required.
- ▶ **Ypsilanti Township Office of Community Standards:** A Soil Erosion and Sedimentation Control permit shall be secured from the Ypsilanti Township Office of Community Standards.
- ▶ The Township's Planner will inspect the landscaping for this site.
- ▶ If dewatering should be needed, the contractor/applicant shall be responsible for obtaining necessary approvals from the Township and the Township Engineer, permission from all impacted adjacent properties and/or permits from MDOT, WCWRC's Office, or the WCRC.
- ▶ Record plans shall be provided to the Township Engineer following the completion of construction.

Should you have any questions regarding this matter, please contact this office at (734) 466-4580.

Sincerely,
OHM Advisors

Matthew D. Parks, P.E.

Stacie L. Monte

MDP/SLM



cc: Fletcher Reyher, Township Staff Planner
Doug Winters, Township Attorney
Steven Wallgren, Township Fire Marshall
File

P:\0000_0100\SITE_YpsilantiTwp\2023\0098231010_1189 E Michigan Ave_Visible Learning Center\MUNI\01_SITE\PSP#2\Visible Learning Center_PSP#2_2023-11-16.docx

CHARTER TOWNSHIP OF YPSILANTI FIRE DEPARTMENT

BUREAU OF FIRE PREVENTION

222 South Ford Boulevard, Ypsilanti, MI 48198



November 17, 2023

Jason Iacoangeli, Planning Director
Charter Township of Ypsilanti
7200 S. Huron River Drive
Ypsilanti, MI 48197

RE: Preliminary (non-residential) Site Plan Review #2

| | |
|---------------------|---|
| Project Name: | K-11-10-106-018 Visible Learning Center |
| Project Location: | 1189 E. Michigan Ave. Ypsilanti, MI 48198 |
| Plan revision Date: | 11/8/2023 |
| Job #: | 32983 |
| Applicable Codes: | IFC 2018 |
| Engineer: | Washtenaw Engineering |
| Engineer Address: | 3526 W. Liberty rd. suite 400 Ann Arbor, MI 48103 |

Status of Review

Status of review: Approved as Submitted

All pages were reviewed.

Site Coverage - Access

Comments: Complies with IFC 2018

Sincerely,

A handwritten signature in cursive script that reads "Steve Wallgren".

Steve Wallgren, Fire Marshal
Charter Township of Ypsilanti Fire Department
CFPS, CFI I

📌 Flag for follow up.



Scott Westover <SWestover@ycua.org>

To: Fletcher Reyher



Tue 9/5/2023 3:27 PM

No water or sanitary work is proposed. YCUA has no comment on or objection to the proposed work. Let me know if there are any questions.

SCOTT WESTOVER | Director of Engineering

Telephone: (734) 484-4600 ext. 220

swestover@ycua.org

Ypsilanti Community Utilities Authority

2777 State Road | Ypsilanti, Michigan USA 48198-9112

www.ycua.org

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EVAN N. PRATT, P.E.

Water Resources Commissioner

705 N Zeeb Road
Ann Arbor, MI 48103
734-222-6860

Drains@washtenaw.org

Harry Sheehan
Chief Deputy Water Resources Commissioner

Scott Miller P.E.
Deputy Water Resources Commissioner

Theo Eggermont
Public Works Director

December 4, 2023

Mr. Joseph Maynard, P.E.
Washtenaw Engineering
P.O. Box 1128
3526 West Liberty Road, Suite 400
Ann Arbor, Michigan 48106

RE: Visible Learning Center
Ypsilanti Township, Michigan
WCWRC Project No. 9940

Dear Mr. Maynard:

This office has reviewed the site plans for the above-referenced project to be located in Ypsilanti Township. These plans have a job number of 32983, a date of November 8, 2023, and were received on November 14, 2023. As a result of our review, we would like to offer the following comments:

1. The design plans are technically correct and do not require revisions at this time. An approval letter will be issued upon payment of the attached invoice.
2. Please submit the drain use permit application, affidavit of pollution prevention, and required permit fees at your convenience. If revisions are made to the plans based on comments from other agencies, provide the latest plans with the permit application.
3. Please see the attached invoice for the current fees and remit these fees upon receipt. As requested, the invoice is being submitted directly to Visible Learning Center.

If you have any questions, please contact our office.

Sincerely,

A handwritten signature in blue ink that reads 'Theresa M. Marsik'.

Theresa M. Marsik, P.E.
Stormwater Engineer
(permit\Visible Learning Center rev2)

cc: Kamal Dari, Visible Learning Center
Jason Iacoangeli, Ypsilanti Township Planning Director
Belinda Kingsley, Ypsilanti Township Planning & Zoning Coordinator
Fletcher Reyher, Ypsilanti Township Planning & Development Coordinator
Doug Winters, McLain and Winters
Matt Parks, P.E., Ypsilanti Township Engineer (OHM)
Stacie Monte, Ypsilanti Township Engineer (OHM)

PRINCIPALS
J.K. MAYNARD, P.E.
D.J. HOUCK
D.L. MOORE
ASSOCIATE
T.L. SUTHERLAND, P.S.



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TRANSPORTATION ENGINEERS
LANDSCAPE ARCHITECTS

TRANSMITTAL MEMORANDUM

Date: November 11, 2023

To: Charter Township of Ypsilanti
Office of Community Standards
7200 S. Huron River Dr
Ypsilanti, MI 48197

Attention:

Project: 1189 E. Michigan Avenue, Ypsilanti Township
Visible Learning Center

Enclosed: Eight (8) sets of Site Plans 24x36
One (1) Set of Site Plans 11x17
One (1) Flash Drive with PDF of Plan
Response Letter
MDOT Communication for Permit

5

Remarks:

Please review for approval. If you have any questions please contact the undersigned.

From:

A handwritten signature in black ink, appearing to read "Joseph K. Maynard", is written over a horizontal line. Below the signature, the name "Joseph K. Maynard, P.E." is printed in a standard font.

S:\PROJECTS\VISIBLE LEARNING CENTER\YpsiTwp231113trans.doc

Application Reference Number:94104

Applicant Info

Applicant Name: Visible Learning Center
Mailing Address: 1189 E. Michigan Avenue
City: Ypsilanti **State:** MI

Zip: 48198

Primary Contact

Contact Name: Kamal Dari
Phone No: 734-320-2531 **Cell Phone No:**
Email Address: info@visiblelearningcenter.com

Secondary Contact

Contact Name: Debbie Moore
Phone No: 734-761-8800 **Cell Phone No:**
Email Address: dim@wengco.com

Site Info

State Route: BL12 **Township Of:** Ypsilanti **County:** Washtenaw County
Nearest Intersection: Ecorse Road **Side of Road:** North
Distance to the nearest intersection: 0.5 Miles **Direction from worksite to the nearest intersection on the state route:** East

Work Info

Proposed Start Date: 08/01/2023 **Proposed Completion Date:** 07/31/2024

Purpose:
removal and reconstruction/widening of entrance drive

Requisition #: **Work Order #:**
NDOT Job #: **Organizations Job #:**
Line Closure Proposed: Yes
Work Located on Restricted Route: No
Work performed outside of time restrictions: No
Date Submitted: 05/10/2023

Bond Info

Department Bond Number:

Insurance Info

Certificate of Insurance Number:

Attachments

Attachments Included.

Mitigation Methods

Lane Shifts (elimination of center left turn lane, etc.)

Coordination

Local projects in area

Traffic Control Devices

Temporary Regulatory Signs
Lighted arrow panels
Channelizing devices (drums, "grabber cones", tubular markers)

Transportation Operation Plans

Are there provisions developed to maintain roadway during construction, including enhancing shoulders, maintaining detour route, etc.?

Yes

detour will be posted to use the unused driveway

Type of Work

Driveways

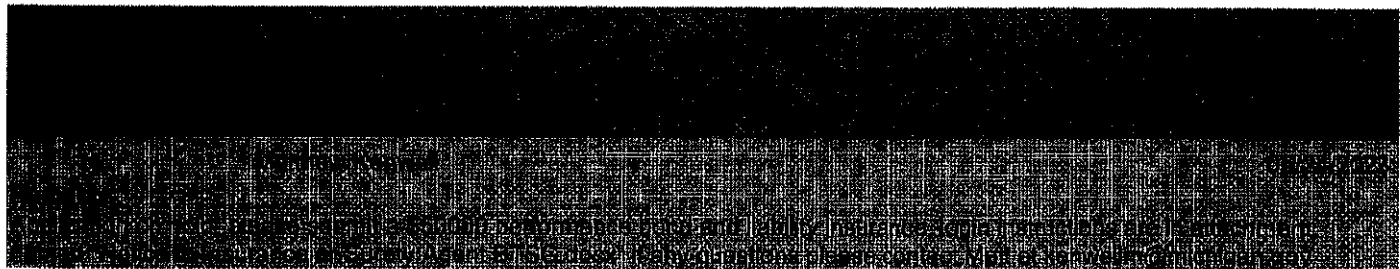
Commercial Driveways - Parking spaces 10-50

Application Fee (Nonrefundable)

Additional fees may be applied.

\$275.00

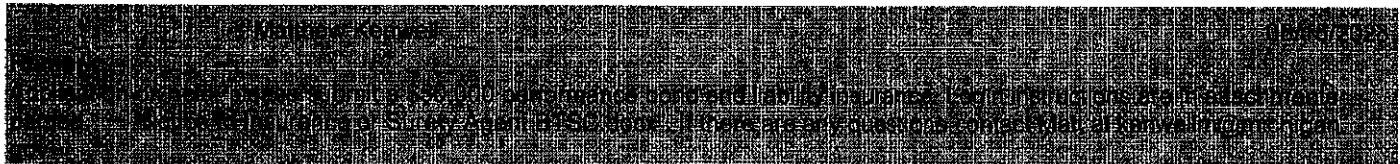
Remarks Summary



Matthew Kenwell

06/15/2023

Remark:
Application on hold, fixing applicant information



PRINCIPALS
J.K. MAYNARD, P.E.
D.J. HOUCK
D.L. MOORE

ASSOCIATE
T.L. SUTHERLAND, P.S.



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TRANSPORTATION ENGINEERS
LANDSCAPE ARCHITECTS

November 13, 2023

Ypsilanti Township
7200 S. Huron River Drive
Ypsilanti, MI 48197

Attn: Jason Iacoangeli

RE: 1189 E. Michigan Avenue, Ypsilanti

We offer the following comments in response to your Planning Director's Report dated September 8, 2023:

Ypsilanti Township, September 8, 2023

1. All sites with parking of ten (10) spaces or greater shall provide a bike rack for at least two (2) bicycles within fifty (50) feet of the building entrance. Currently there are none listed on the site plans.
Bike rack added.
2. Sidewalk installation along E. Michigan Ave at the driveway entrance to promote connectivity along the streetscape.
8 foot wide safety path added to frontage along E. Michigan Avenue.
3. Applicant shall continue to work with the Michigan Department of Transportation (MDOT) to secure approvals for the proposed driveway entrance. Applicant shall provide the Township with copies of any approvals and comments from MDOT. This project will not be placed on a Planning Commission Agenda until correspondence with the MDOT is provided.
Acknowledged. Plan is with MDOT and noted for approval once permit bond and insurance is provided. Client will complete once plan is approved.

Recommendations: Ypsilanti Township's Planning Department recommends a walking path from the sidewalk access along Cross Street for people who may want to access the daycare from the northern neighborhoods.

Owner wishes to keep walk off of Cross Street, it creates too much access and security issues for the children at the site.

OHM, dated September 6, 2023

SITE PLAN COMMENTS

Paving and Grading/Site Layout

1. Based on discussions held at the preapplication meeting for this project, held on March 23, 2023, the applicant is encouraged to explore vehicular access to Cross St. Should the applicant choose to proceed with the plans as presented, correspondence with the Michigan Department of Transportation (MDOT) regarding the proposed access to E. Michigan Ave shall be provided prior to be placed on a Township Planning Commission agenda. It is also recommended that the applicant provide a sidewalk connection from the proposed site to Cross St.

MDOT correspondence is attached. No connection to Cross Street is proposed.

3526 W. LIBERTY RD, SUITE 400, PO BOX 1128, ANN ARBOR, MI 48106-1128
PHONE: 734-761-8800 FAX: 734-761-9530

2. The applicant shall provide sidewalk along the E. Michigan Ave frontage, as well as a sidewalk connection from the proposed site to E. Michigan Ave. The applicant shall also provide a sidewalk connection to the proposed southern parking spaces.
An 8 foot wide safety path added along E. Michigan Avenue frontage. A sidewalk connection from the proposed site to E. Michigan Avenue and southern parking spaces is proposed. No sidewalk is proposed to Cross Street.
3. The applicant shall provide a passenger vehicle turning template for the t-turnaround near the barrier-free parking space to ensure sufficient accessibility is provided. It also currently appears that the turning movements for fire trucks and garbage trucks may be tight for a single access drive.
Passenger vehicle turning template added to Sheet 6, Access and Circulation Plan.

Stormwater Management

4. The applicant noted in the Storm Water Narrative (Sheet 9) that there is inadequate storage to detain the entire 100-year storm event; however, the applicant shall provide additional on-site storage for the 100-year storm, per WCWRC Standards. The applicant shall note that water quality management shall also be provided.
Acknowledged. Plans revised per WCWRC comments.

Site Utilities

5. The applicant shall provide the location of all nearby fire hydrants on the plans and verify sufficient hydrant coverage will be provided. This office defers to the Ypsilanti Township Fire Department on the review and approval of hydrant coverage.
Hydrant locations added to plan. Hydrant coverage dimensions added.
6. The applicant shall clarify if any changes to the water main or sanitary sewer are being proposed. The applicant shall also provide the water and sanitary service connection locations on the plans for clarify, including where the water service connects to the main along Cross St.
Note stating "No Changes to water main or sanitary sewer are proposed" added to Sheet 5, Site Plan.

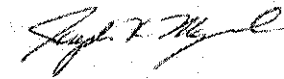
PRELIMINARY DETAILED ENGINEERING PLAN COMMENTS

1. The applicant shall provide spot elevations at all four (4) corners of all barrier-free parking spaces, access aisles, ramps, and level landings, as well as along both sides of all proposed sidewalk and the existing sidewalk along Cross St at 50-foot intervals. The applicant shall note that the cross-slope shall not exceed 2% per ADA Standards. The applicant shall note that any sidewalk along Cross St that is out of compliance will need to be removed and replaced.
To be addressed during final engineering submittal. Note added to Site Plan, Sheet 5.
2. The applicant shall provide utility pipe profiles, including pipe diameter, material, length, slope, and hydraulic grade line for all proposed storm sewer on the plans.
To be addressed during final engineering submittal.
3. The applicant shall provide the orifice calculations for the proposed outlet control structure on the plans.
It is an overflow structure. No orifices proposed.
4. The applicant shall verify the disturbed site area and the area used in Worksheets 1, 2, and 10 of the storm water management calculations (Sheet 9) as there appears to be a discrepancy.
Only the proposed impervious surfaces are being captured and treated.

5. The applicant shall label the nearby Washtenaw County Water Resources (WCWRC) County Drains on the plans for clarity. The applicant shall note that a Drain Use Permit will be required.
Drain labels added. Note added to Site Plan, Sheet 5.
6. The applicant shall provide conveyance calculations for the storm water management system on the plans.
Added to the Site Plan, Sheet 5.
7. The applicant shall clarify how storm water runoff will be managed around the building (i.e., roof drains).
No change to the existing roof drain system.
8. It is recommended that the applicant relocate the proposed trees away from the existing water service for ease of future maintenance.
Trees relocated.
9. The applicant shall provide cross-sections for the proposed on-site asphalt and concrete.
To be addressed during final engineering submittal.
10. The applicant shall provide the storm sewer material on the plans for clarity.
The pipe materials are listed.

If you have any questions please contact the undersigned.

Sincerely,



Joseph K. Maynard, P.E.

PRINCIPALS
J.K. MAYNARD, P.E.
D.J. HOUCK
D.L. MOORE

ASSOCIATE
T.L. SUTHERLAND, P.S.



CIVIL ENGINEERS * PLANNERS * SURVEYORS
TRANSPORTATION ENGINEERS
LANDSCAPE ARCHITECTS

November 13, 2023

Washtenaw County Water Resources Commissioner
705 North Zeeb Road
Ann Arbor, MI 48103

Attn: Theresa Marsik, P.E.

RE: Visible Learning Center, Ypsilanti Township
WCWRC Project No. 9940

We offer the following comments in response to your review letter dated September 12, 2023:

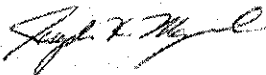
1. A drain use permit will be required to discharge to the Hamilton Tile drain. However, the permit application and associated fees can be submitted once the design is finalized.
Acknowledged.
2. The Hamilton Tile drain and the Beyer Relief drain must be clearly identified on each plan sheet where they are depicted.
Drain labels added to topography.
3. The certificate of outlet on plan sheet 8 references the receiving channel as the Willow Run Basin instead of the Hamilton Tile drain.
Revised to Hamilton Tile Drain.
4. The plans should be revised to delete references to this office and its personnel. Specifically, the note on plan sheet 7 stating, "(23) of the (26) existing trees to remain in existing detention pond per order of the Washtenaw County Water Resources Commissioner (WCWRC)" must be removed. WCWRC did not issue an order regarding the existing trees within the basin area. Our staff indicated that we would not require removal of the trees, provided the basin volume or discharge piping was not adversely affected by the trees.
Note removed.
5. The existing 6-inch diameter pipe from the basin to structure R2 should be removed or bulkheaded so that it does not preclude infiltration.
Existing 6" diameter pipe to be removed. Noted on plan.
6. The basin bottom elevation is noted in the storage volume table as Elevation 743. That contour line and additional spot elevations, in addition to pipe inverts, must be added to the grading plan.
The existing 6" outlet pipe has an invert of 742.89. No other Spot elevations exist below elevation 743.00. Bottom of basin outlined and called out on plans.
7. A conveyance table for the proposed pipe network must be included in the plan set.
Added to Sheet 5, Site Plan.

3526 W. LIBERTY RD, SUITE 400, PO BOX 1128, ANN ARBOR, MI 48106-1128
PHONE: 734-761-8800

8. A utility plan presenting the pipe size, rim elevation, and invert elevations at a minimum, must be added to the plan set.
Utility information added to Site Plan, Sheet 5.
9. A distinct sediment forebay, at least five percent of the 100-year storm event volume, will be required for the detention basin. The forebay should also include a sediment depth marker.
The ADS Flexstorm is a permanent sediment and oil removal unit. Additional notes have been added to the Permanent Maintenance Plan on Sheet 8.
10. The basin outlet control structure detail shown on plan sheet 9 indicates an emergency overflow at Elevation 745.5 feet. The overflow spillway is not identified on the plan view of the basin.
Location of overflow spillway added to plan detail on Sheet 9.
11. A maintainable engineered structure, such as an infiltration trench, must be placed in the bottom of the infiltration basin.
An infiltration trench has been added to the bottom of the basin.
12. On Worksheet W8, sheet flow length is listed as 340 feet. Per the note listed on W8 and shown on plan sheet 9, sheet flow cannot exceed 300 feet. Anything beyond 300 feet is considered a waterway.
Revised.
13. The existing basin does not accommodate the required detention volume. Additional volume capacity must be added to the design, either by expanding the existing basin or by incorporating an additional BMP into the storm water management design.
An additional underground infiltration bed along the perforated pipe from R6 to R5 has been added.
14. Please see the attached invoice for the current fees and remit these fees upon receipt. As requested, the invoice is being submitted directly to Visible Learning Center.
Acknowledged.

If you have any questions please contact the undersigned.

Sincerely,



Joseph K. Maynard, P.E.

GENERAL CONSTRUCTION NOTES:

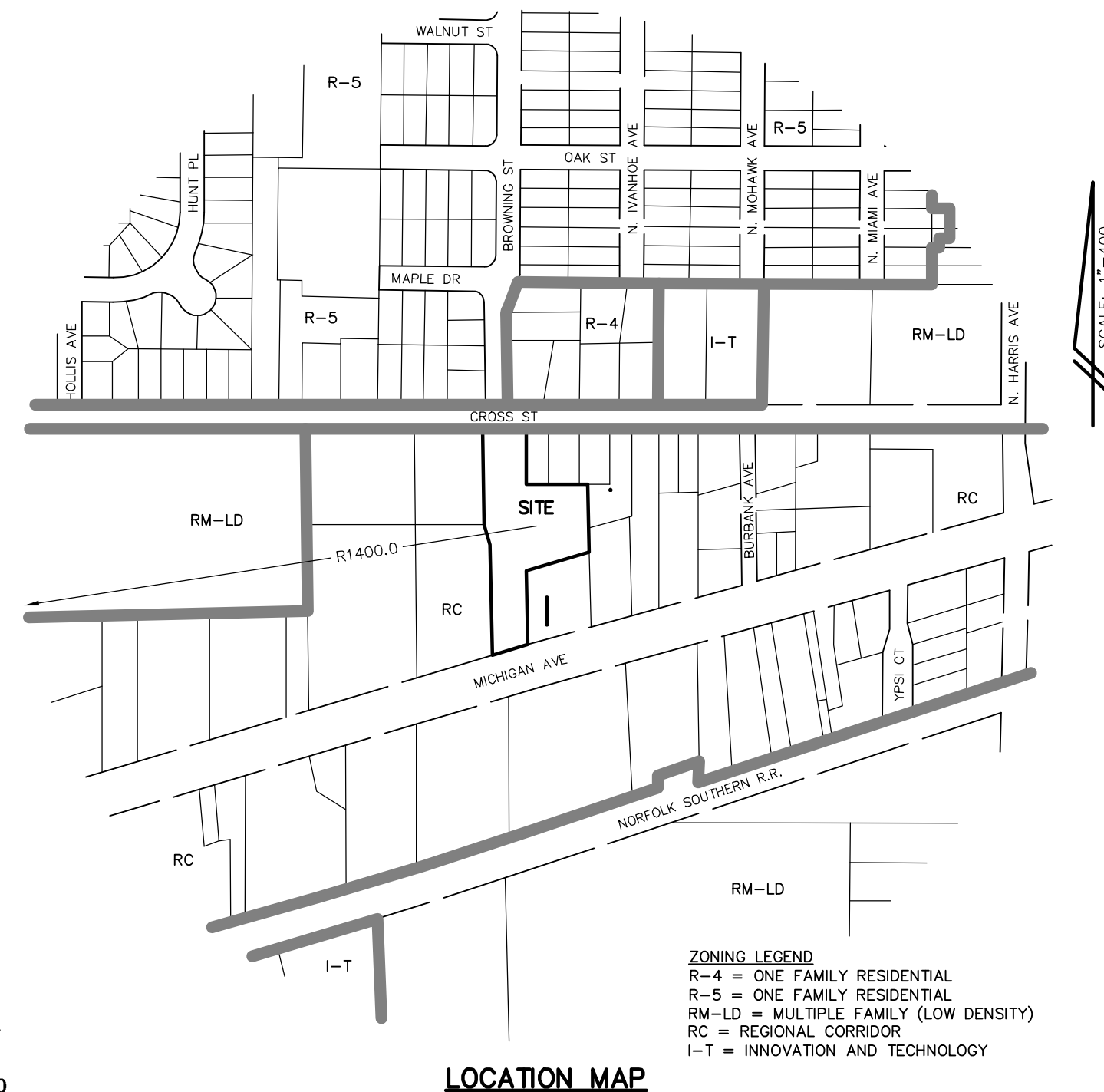
- ALL WORK ON THIS SITE WILL BE IN ACCORDANCE WITH ALL APPLICABLE CURRENT STANDARDS & SPECIFICATIONS OF THE TOWNSHIP OF YPSILANTI EXCEPT AS HEREINAFTER MODIFIED.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MIGHT AFFECT THIS JOB.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO AND THE REPAIR OF ANY EXISTING UTILITY LINE IN THE CONSTRUCTION ZONE.
- AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL "MISS DIG" (1-800-482-7171) FOR UTILITY LOCATIONS.
- LOCATION OF EXISTING UTILITIES WERE TAKEN FROM EXISTING PLANS. LOCATIONS WERE FIELD VERIFIED WHERE POSSIBLE.
- THE CONTRACTOR WILL BE REQUIRED TO PROOF ROLL (WITH A HEAVY RUBBER TIRE VEHICLE) ALL FILL AREAS PRIOR TO PLACING ADDITIONAL FILL AND ALL CUT AREAS UPON COMPLETION OF THE CUT AND PRIOR TO PLACING SUBBASE MATERIAL. IF THE PROOF ROLLING INDICATES UNSTABLE AREAS THE UNSTABLE MATERIAL MUST BE REMOVED AND REPLACED WITH MATERIAL MATCHING THE ADJACENT SOILS TO THE ELEVATION OF THE SUB-GRADE.
- ALL FILL MATERIAL MUST BE PLACED IN LIFTS NOT EXCEEDING 12 INCHES AND COMPACTED TO 95% OF THE MAXIMUM UNIT WEIGHT.
- THE FINISHED SUBGRADE MUST BE GRADED WITHIN A TOLERANCE OF ± 0.1 FEET OF DESIGN GRADE COMPACTED TO NOT LESS THAN 95% OF THE MAXIMUM UNIT WEIGHT TO A DEPTH OF 9 INCHES AND APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO PLACEMENT OF THE SUBBASE.
- THE WORK OF CONSTRUCTING AN AGGREGATE BASE COURSE SHALL CONFORM TO MDOT SPECIFICATION 3.01 EXCEPT THAT FINE GRADING PRIOR TO PLACEMENT OF THE BITUMINOUS SURFACING SHALL BE INCLUDED IN THE COST OF FURNISHING AND PLACING THE AGGREGATE BASE.
- ALL PAVEMENT GRADES SHOWN REPRESENT TOP OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION TRAFFIC CONTROL SHALL BE SIGNED PER THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REMOVAL OF ALL TEMPORARY EROSION CONTROL MEASURES PER THIS APPROVED PLAN.
- CONTRACTOR MUST OBTAIN AN EROSION CONTROL PERMIT FROM THE TOWNSHIP OF YPSILANTI PRIOR TO BEGINNING EARTH MOVING. CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO BEGINNING CONSTRUCTION.

PRELIMINARY SITE PLAN FOR VISIBLE LEARNING CENTER 1189 E. MICHIGAN AVE.

A PART OF THE NE CORNER OF
SECTION 10, T3S, R7E, YPSILANTI TOWNSHIP,
WASHTENAW COUNTY, MICHIGAN

FOR:

**VISIBLE LEARNING CENTER
1189 E. MICHIGAN AVE
YPSILANTI, MI 48197
PH: (734) 480-2414**

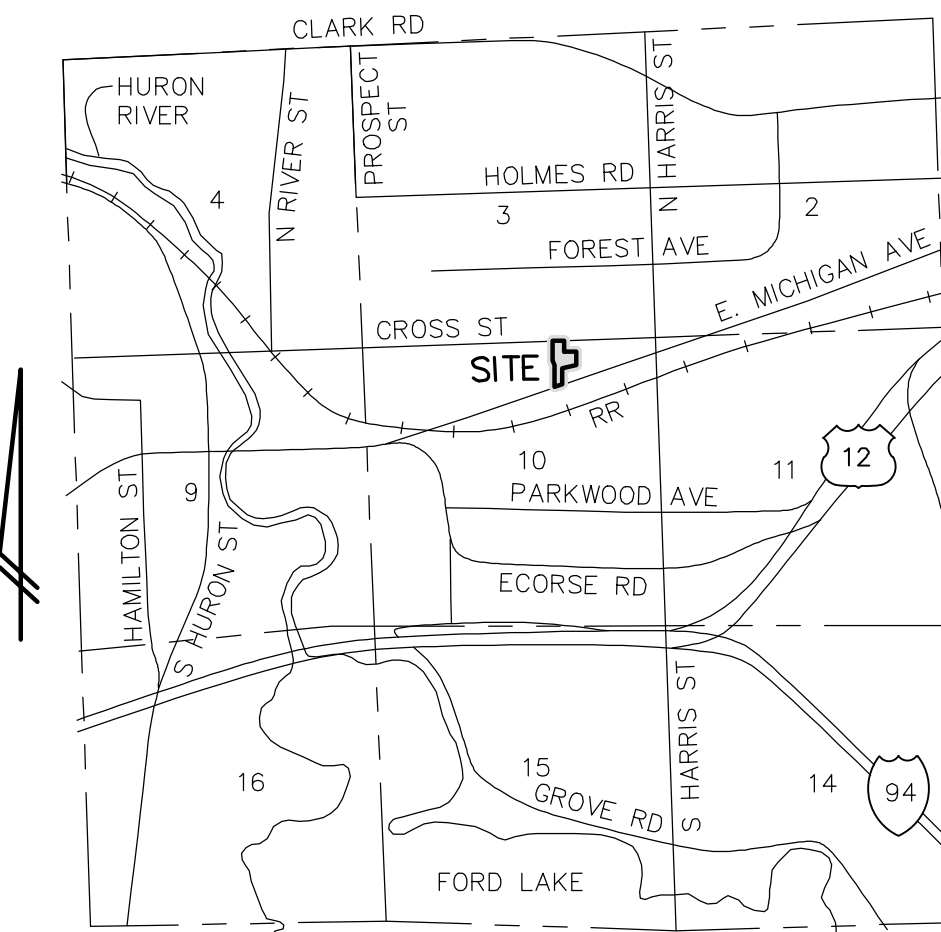


DESCRIPTION

Commencing at the Northeast corner of Section 10, T3S, R7E, Ypsilanti Township, Washtenaw County, Michigan; thence N90°00'00"W 1286.26 feet along the North line of said Section and the centerline of Cross Street; thence S00°11'55"W 33.29 feet to the POINT OF BEGINNING; thence continuing S00°11'55"W 149.92 feet (recorded as 150.00 feet); thence N89°59'43"E 167.05 feet; thence S01°17'57"W 184.49 feet; thence S73°20'39"W 178.90 feet (recorded as 179.00 feet); thence S01°19'15"E 199.91 feet; thence S73°20'06"W 99.98 feet along the Northerly line of Michigan Avenue; thence N01°19'15"W 299.87 feet (recorded as 300.00 feet); thence N16°16'47"W 57.22 feet; thence N00°55'54"W 259.47 feet (recorded as 259.45 feet); thence N89°59'43"E 119.03 (recorded as 118.48 feet) along the South line of Cross Street to the Point of Beginning. Being a part of the Northeast 1/4 of Section 10, T3S, R7E, Ypsilanti Township, Washtenaw County, Michigan and a part of Lot 7 of Supervisors Plat No. 5, as recorded in Liber 9 of Plats, Page 27 Washtenaw County records, and containing 2.28 acres of land, more or less. Being subject to any easements and restrictions of record, if any.

PROPERTY OWNER/APPLICANT:

VISIBLE LEARNING CENTER
1189 E. MICHIGAN AVE
YPSILANTI, MI 48197
PH: (734) 480-2414
www.visiblelearningcenter.com



VICINITY MAP
(SCALE: 1"=1/2 MILE)

ENGINEER/SURVEYOR:

WASHTENAW ENGINEERING
CIVIL ENGINEERS • PLANNERS
SURVEYORS • LANDSCAPE ARCHITECTS
P.O. BOX 1128
3526 WEST LIBERTY RD., SUITE 400, ANN ARBOR, MICHIGAN 48106
TEL. 734-761-8600
E-MAIL: weco@wengco.com

SITE DATA

| CATEGORY | REQUIRED | EXISTING PARCEL 1 | PROPOSED PARCEL 1 |
|--|----------|-------------------|-------------------|
| USE: CHILD CARE FACILITY | | | |
| ZONING - RC- REGIONAL CORRIDOR (NEIGHBORHOOD BUSINESS) | RC | RC | RC |
| LOT SIZE (AC) | NA (MIN) | 2.28 AC | 2.28 AC |
| LOT SIZE (SF) | NA (MIN) | 99,301 SF | 99,301 SF |
| AREA IN R.O.W. | NA | 0 SF | 0 SF |
| NET AREA | NA | 99,301 SF | 99,301 SF |
| BUILDING SIZE TOTAL | NA | 4,568 SF | 4,568 SF |
| LOT WIDTH | NA (MIN) | 96.28' MIN. | 96.28' MIN. |
| LOT COVERAGE | NA | 4.6% | 4.6% |
| FLOOR AREA COVERAGE | NA | 4.6% | 4.6% |
| GROUND FLOOR AREA | NA | 4,568 SF | 4,568 SF |
| BUILDING HEIGHT | 25' MAX. | 15' | 15' |
| BUILDING HEIGHT (STORIES) | 2 MAX. | 1 | 1 |
| BUILDING SETBACKS | | | |
| FRONT (SOUTH) | 20.0' | 250.7' | 20.0' |
| SIDE (EAST) | 10.0' | 6.9' | 6.9' |
| SIDE (WEST) | 10.0' | 202.8' | 10.0' |
| REAR (NORTH) | 20.0' | 243.6' | 20.0' |

- PROJECT PERMITS NEEDED
- WASHTENAW COUNTY WATER RESOURCE COMMISSION
LETTER OF APPROVAL OR LETTER CLAIMING NO JURISDICTION
ISSUE DATE:
 - YPSILANTI TOWNSHIP PLANNING AND ZONING
SOIL EROSION PERMIT #
ISSUE DATE:
 - MDOT CONSTRUCTION PERMIT
MDOT PERMIT #
ISSUE DATE:

GENERAL SITE PLAN NOTES:

THIS IS AN EXISTING DEVELOPED SITE. AN EXISTING BUILDING USED FOR CHILD CARE, AN EXISTING PAVED PARKING AREA AND ACCESS THROUGH THE NEIGHBORING PROPERTY TO THE WEST. THERE IS SIDEWALK ACCESS FROM THE PARKING LOT TO THE BUILDING. THERE IS NO SIDEWALK PRESENT ALONG MICHIGAN AVENUE. THERE IS NO VEHICLE OR SIDEWALK ACCESS TO CROSS STREET TO THE NORTH.

THIS PROJECT PROPOSES TO IMPROVE THE EXISTING PARKING AND PROVIDE DIRECT ACCESS TO MICHIGAN AVENUE. THIS WILL REQUIRE CONSTRUCTION OF A NEW DRIVEWAY ENTRANCE AND PAVED PARKING AREA. PEDESTRIAN ACCESS WILL CONTINUE TO BE ONLY FROM THE PARKING AREA TO THE BUILDING AS NO SIDEWALKS ARE PRESENT ALONG MICHIGAN AVENUE AND THERE IS NO PROPOSED CHANGES TO ACCESS TO CROSS STREET.

THE PROJECT SEEKS TO COMPLY WITH THE WASHTENAW COUNTY WATER RESOURCE COMMISSION FOR STORM WATER MANAGEMENT AND THE TOWNSHIP OF YPSILANTI FOR SITE PLAN SUBMITTAL.

THE FOLLOWING ITEMS ARE NOTED AS PART OF THIS PROJECT:

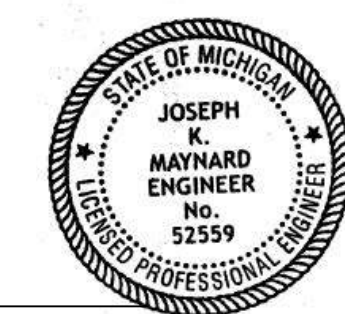
- THE PROJECT WILL RECONFIGURE THE LIGHTING FOR THE NEW PARKING, DRIVE AND SIDEWALK.
- PROPERTY LINES ARE NOT PROPOSED TO BE ALTERED.
- NO NEW EASEMENTS ARE PROPOSED AS PART OF THIS PROJECT.
- THE PROJECT HAS NO OUTDOOR SALES OR DISPLAYS.
- THE PROJECT HAS NO TRANSFORMER OR A UTILITY LEAD OF ANY KIND PROPOSED.
- A TRASH BIN AND ENCLOSURE ARE PROPOSED AS PART OF THIS PROJECT.
- NO NEW BUILDINGS ARE PROPOSED AS PART OF THIS PROJECT.
- NEW FENCING IS PROPOSED TO CLOSE OF THE EXISTING ACCESS FROM THE WEST PROPERTY. ALL OTHER EXISTING FENCING TO REMAIN ONSITE.
- NO CHANGES TO THE EXISTING BUILDING.
- THE SEDIMENT FORE BAY & OVERFLOW STRUCTURE ARE LOCATED WITHIN A DRAINAGE EASEMENT. OWNER SHALL BARE RESPONSIBILITY FOR MAINTAINING THE SEDIMENT FORE BAY, OVERFLOW STRUCTURE & ASSOCIATED APPURTENANCES.

PARKING:
24 PARKING SPACES ARE PROPOSED. THIS INCLUDES ONE VAN ACCESSIBLE ADA SPACE.

CHILD CARE CENTER
1 SPACE PER CAREGIVER
(9) CAREGIVERS = 9 SPACES
CHILDREN MAXIMUM = 35
(15) DROP-OFF SPACES PROVIDED

| SHEET TITLE | SHEET NO. |
|---------------------------------------|-----------|
| COVER SHEET | 1 |
| BOUNDARY AND TOPOGRAPHICAL SURVEY | 2 |
| SITE ANALYSIS & NATURAL FEATURES | 3 |
| REMOVAL PLAN | 4 |
| SITE PLAN | 5 |
| ACCESS AND CIRCULATION PLAN | 6 |
| LANDSCAPE PLAN | 7 |
| GRADING AND SOIL EROSION CONTROL PLAN | 8 |
| STORM WATER MANAGEMENT PLAN | 9 |
| PHOTOMETRIC PLAN | P1 |
| SITE LIGHTING DETAILS | P2 |
| MDOT (WORK IN E. MICHIGAN AVE.) | |
| ENTRANCE CONSTRUCTION PLAN | M1 |
| MAINTENANCE OF TRAFFIC | M2 |
| YPSILANTI TOWNSHIP STANDARD DETAILS | |
| SOIL EROSION CONTROL DETAILS | S1 |
| STORM SEWER STANDARD DETAILS | S2,S3 |

PREPARED BY: *Joseph K. Maynard*
JOSEPH K. MAYNARD P.E., MICH No. 52559



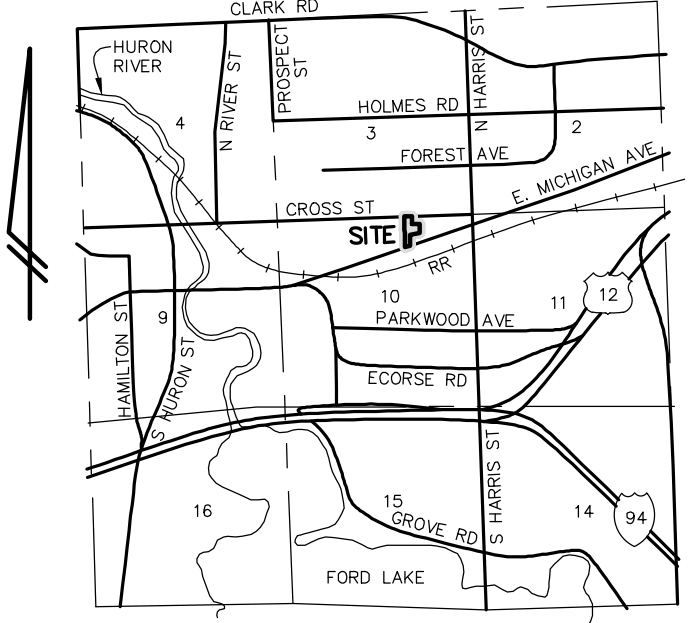
REVISED: 11-08-2023
ORIGINAL: 08-15-2023

PRELIMINARY SITE PLAN - 1189 E. MICHIGAN AVE.

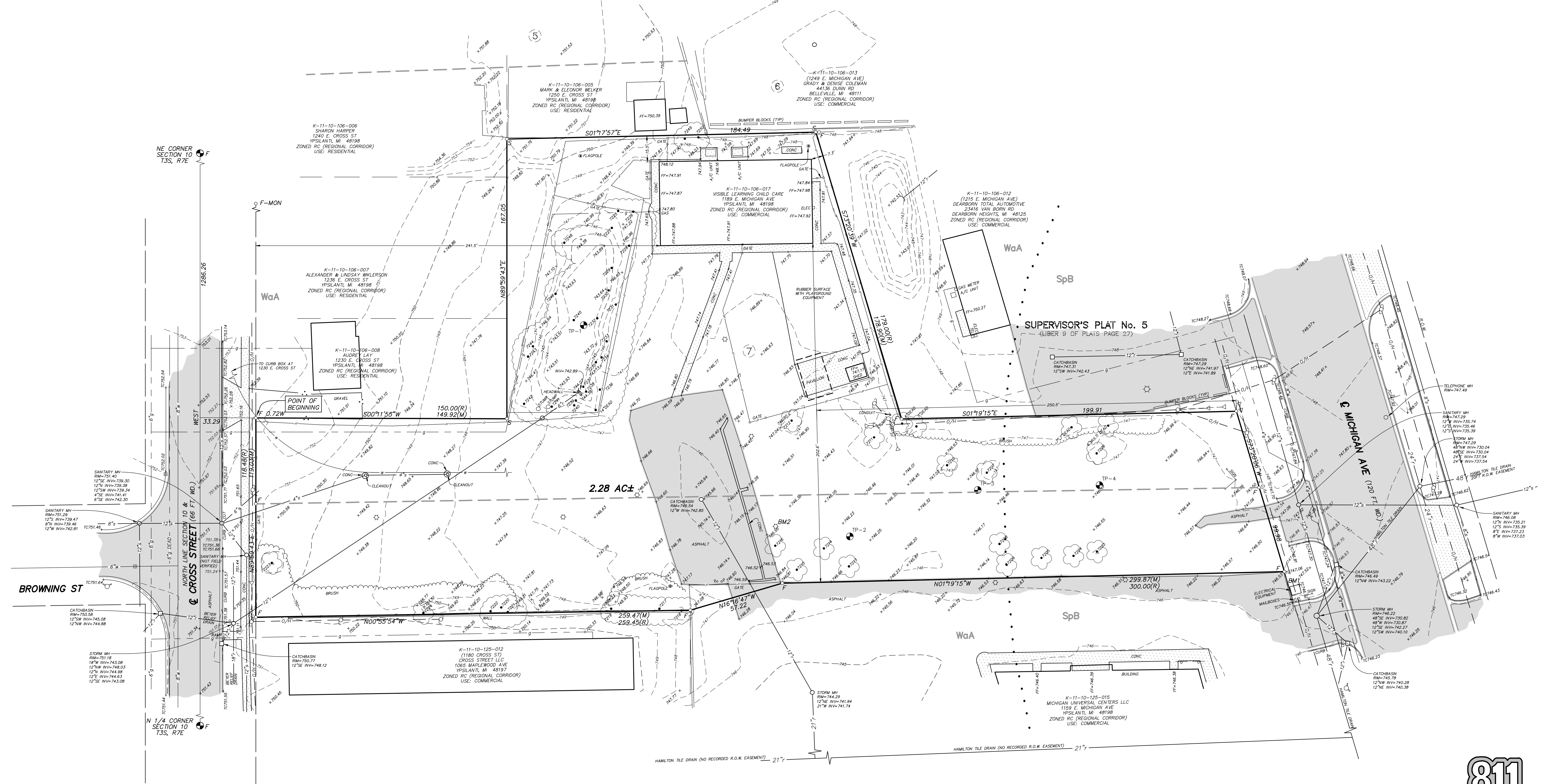
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING RECORDS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE ACCURATELY LOCATED OR DEPICTED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

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THE OWNER SHALL NOT USE OR REPRODUCE ANY OTHER PERSON'S USE OF THE DRAWINGS, SPECIFICATIONS, OR INSTRUMENTS BY ANY OTHER INSTRUMENTS OF SERVICE ON OTHER PROJECTS. FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THE PROJECT BY OTHERS SO LONG AS WASHTEWAW ENGINEERING COMPANY (MECO) IS NOT ADVISED TO BE IN DEFAULT UNDER THIS AGREEMENT. THE SURVEYOR SHALL NOT BE RESPONSIBLE FOR THE ACTIONS OF ANY OTHER PERSONS OR AGENCIES AND EMPLOYEES OF ANY OF THEM FROM AND AGAINST CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING BUT NOT LIMITED TO ATTORNEY'S FEES, ARISING OUT OF UNAUTHORIZED REUSE OF DRAWINGS, SPECIFICATIONS, ELECTRONIC DATA OR OTHER INSTRUMENTS OF SERVICE.



VICINITY MAP
(SCALE: 1"=1 MILE)



DESCRIPTION
Commencing at the Northeast corner of Section 10, T3S, R7E, Ypsilanti Township, Washtenaw County, Michigan; thence N90°00'00"W 1286.26 feet along the North line of said Section and the centerline of Cross Street; thence S00°11'55"W 33.29 feet to the POINT OF BEGINNING; thence continuing S00°11'55"W 149.92 feet (recorded as 150.00 feet); thence N89°59'43"E 167.05 feet; thence S01°17'57"W 184.49 feet; thence S73°20'39"W 178.90 feet (recorded as 179.00 feet); thence S01°19'15"E 199.91 feet; thence S73°20'06"W 99.98 feet along the Northerly line of Michigan Avenue; thence N01°19'15"W 299.87 feet (recorded as 300.00 feet); thence N16°16'47"W 57.22 feet; thence N00°55'54"W 259.47 feet (recorded as 259.45 feet); thence N89°59'43"E 119.03 feet (recorded as 118.48 feet) along the South line of Cross Street to the Point of Beginning. Being a part of the Northeast 1/4 of Section 10, T3S, R7E, Ypsilanti Township, Washtenaw County, Michigan and a part of Lot 7 of Supervisors Plat No. 5, as recorded in Liber 9 of Plats, Page 27 Washtenaw County records, and containing 2.28 acres of land, more or less. Being subject to any easements and restrictions of record, if any.

CERTIFICATE OF SURVEY
Bearings shown on this survey were determined in the following manner: Bearings have been related to match the recorded bearing of Supervisors Plat No. 5, as recorded in Liber 9 of Plats, Page 27 Washtenaw County records.
I hereby certify that I have surveyed and mapped the land above platted and/or described on March 3, 2023 and that the ratio of closure on the unadjusted field observations of such survey was 1/10,000 and that all of the requirements of P.A. 132, 1970 (as amended by P.A. 280, 1972 and P.A. 24, 1988) have been complied with.

WASHTEWAW COUNTY SOIL SURVEY CLASSIFICATION
SpB - SPIKES LOAMY SAND, 0 TO 6 PERCENT SLOPES
WaA - WASEPI SANDY LOAM, 0 TO 4 PERCENT SLOPES
••••• SOLS BOUNDARY
SOILS ARE BASED ON USDA SOIL SURVEY OF WASHTEWAW COUNTY.

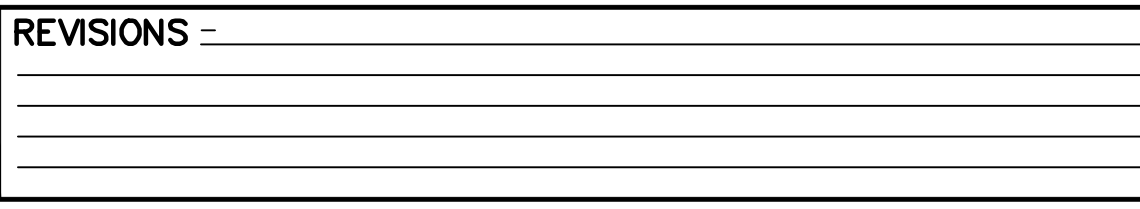
LEGEND

| | | | | | | | |
|---|--------------|----|-------------|-----|----------|-----|--------------------|
| ○ | LIGHT POLE | TC | TOP OF CURB | --- | GRAVEL | --- | EXISTING STORM |
| ○ | UTILITY POLE | TW | TOP OF WALL | --- | FENCE | --- | EXISTING SANITARY |
| ○ | POST | ○ | MANHOLE | --- | CONCRETE | --- | EXISTING WATER |
| ○ | GUY ANCHOR | ○ | CATCHBASIN | --- | ASPHALT | --- | EXISTING GAS |
| ○ | HYDRANT | ○ | END SECTION | --- | | --- | EXISTING ELECTRIC |
| | | | | --- | | --- | EXISTING TELEPHONE |

BENCHMARK BM1=TOP OF SELVY CORNER OF CONCRETE PAD FOR ELECTRICAL EQUIPMENT AT THE SOUTHWEST CORNER OF SITE, ELEV=747.21 (NAVD 88).
BM2=TOP OF NELY BOLT OF LIGHTPOLE BASE AT SOUTHWEST CORNER OF PARKING LOT, ELEV=748.38 (NAVD 88).

REVISIONS

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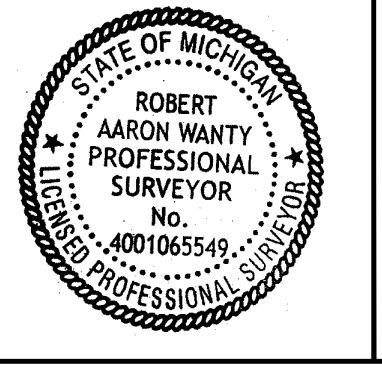


PREPARED BY **Robert A. Wanty**
ROBERT A. WANTY P.S., MICH No. 65549

SOIL BORING TESTING LOCATIONS FROM MATERIALS TESTING CONSULTANTS (MTC) INFILTRATION TESTING REPORT, PROJECT NO.231326, JUNE 12, 2023.



Know what's below.
Call before you dig.

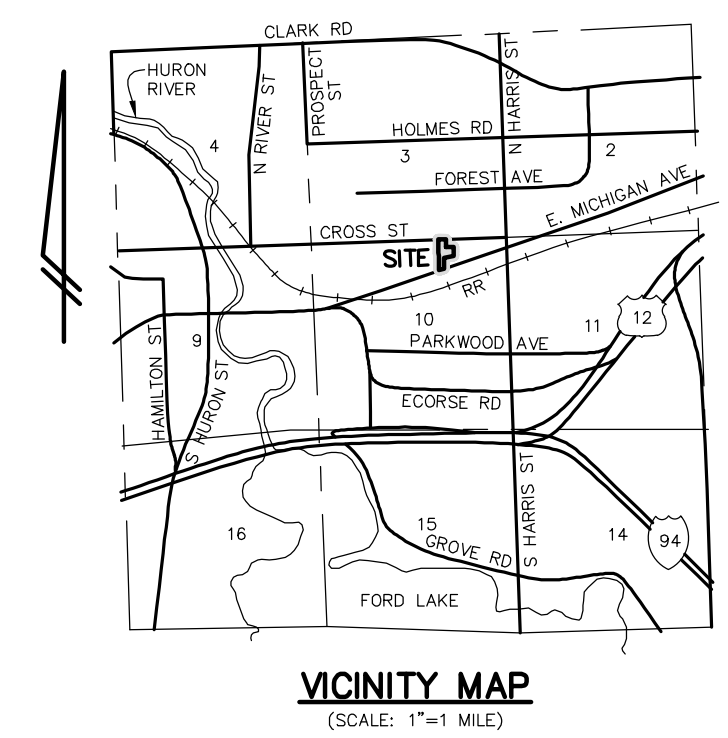


| | | | | | | | | | | | |
|------------|--------|---------|------|---------|-----------------|-------|---|--------|-------------------------|--|---|
| SECTION 10 | TOWN 3 | RANGE 7 | EAST | PROJECT | K-11-10-106-018 | SHEET | 2 | CLIENT | VISIBLE LEARNING CENTER | 1189 E. MICHIGAN AVE YPSILANTI, MI 48197 TEL 734-480-2414 www.visiblelearningcenter.com | WASHTENAW ENGINEERING CIVIL ENGINEERS PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS 3526 W. LIBERTY RD SUITE 400 ANN ARBOR MI 48103 TEL 734-761-8800 |
| | | | | | | | | | | | |

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 SOILS BOUNDARY
 SOILS ARE BASED ON USDA SOIL SURVEY OF WASHTEAW COUNTY.



| TAG | COMMON NAME | DBH | CONDITION | REMOVAL |
|------|--------------|----------------|-----------|---------|
| 7203 | Elm | 14 | Dead | X |
| 7204 | Black Walnut | 6 | Good | X |
| 7205 | Chinese Elm | 6 | Good | X |
| 7206 | Poplar | 6,5,5,5,4,4 | Poor | |
| 7207 | Black Walnut | 24 | Good | |
| 7208 | Black Walnut | 4,6,6,6 | Poor | X |
| 7209 | Sumac | 6,10,12 | Poor | |
| 7210 | Poplar | 18 | Good | |
| 7211 | Black Walnut | 6 | Good | |
| 7212 | Black Walnut | 20 | Good | |
| 7213 | Black Walnut | 20 | Good | |
| 7214 | Black Walnut | 18 | Good | |
| 7215 | Hackberry | 12 | Good | |
| 7215 | Elm | 12 | Good | |
| 7216 | Chinese Elm | 20 | Good | X |
| 7217 | Poplar | 11,11 | Poor | |
| 7218 | Chokecherry | 28 | Poor | |
| 7219 | Norway Maple | 18 | Poor | |
| 7220 | Norway Maple | 9 | Poor | |
| 7221 | Poplar | 8 | Poor | |
| 7222 | Poplar | 18,12 | Poor | |
| 7223 | Poplar | 60,40 | Good | |
| 7224 | Poplar | 8 | Poor | |
| 7225 | Poplar | 7 | Poor | |
| 7226 | Poplar | 16 | Fair | |
| 7227 | Poplar | 12 | Fair | |
| 7228 | Poplar | 12 | Poor | |
| 7229 | Poplar | 9 | Fair | |
| 7230 | Elm | 6 | Fair | |
| 7231 | Poplar | 15,18,15,20,21 | Fair | |
| 7232 | Poplar | 6 | Fair | |
| 7233 | Poplar | 9 | Fair | |
| 7234 | Poplar | 8 | Fair | |
| 7235 | Poplar | 15 | Fair | |
| 7236 | Poplar | 12 | Fair | X |
| 7237 | Poplar | 15 | Fair | X |
| 7238 | Poplar | 10 | Fair | X |
| 7239 | Poplar | 18,15 | Fair | X |
| 7240 | Poplar | 15 | Fair | |
| 7241 | Dead stub | 5 | Dead | |
| 7242 | Poplar | 18 | Good | |
| 7243 | Poplar | 18,12 | Good | |
| 7244 | Poplar | 20 | Good | |
| 7245 | Poplar | 6,4 | Poor | |
| 7246 | Elm | 7 | Fair | |
| 7248 | Poplar | 18 | Good | |
| 7249 | Elm | 6 | Poor | |
| 7250 | Elm | 7 | Poor | |

PROJECT NARRATIVE & NATURAL FEATURES
Visible Learning Center. Located at 1189 E. Michigan Ave. Ypsilanti Township, MI.
 Property Size: 2.28-acres, frontage 99, 8 LF
 Zone District: REGIONAL CORRIDOR
 Business Type - CHILD DAY CARE
 Vehicles: existing (15) proposed (23)
 Existing Structures: Office 4,390 sf

LAND USE
 The existing parcel is an irregular shape with frontages on E. Michigan Ave, and a non-active frontage on E. Cross St. Development on this parcel consists of existing dumpster, parking, detention pond, and outdoor tot lot. Landscaping is maintained lawn areas throughout the existing property.

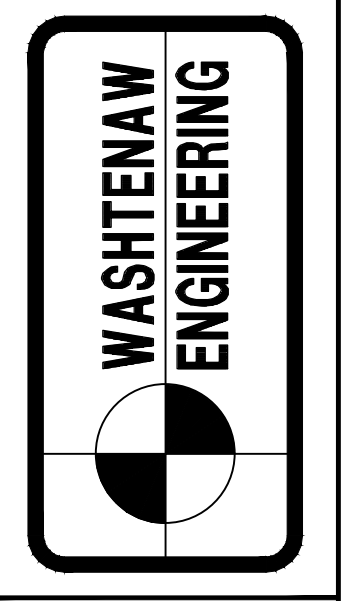
NATURAL FEATURES
 Existing trees are concentrated along the west property line, within the detention pond area as well as scattered throughout the front yard at the E. Michigan frontage. (See woodland inventory)
TOPOGRAPHY
 The land is sloped gently 2-4% from an on-site high point of 940.00 in the center of the property to a low point of 910.00 along the south line adjoining the E. Michigan Ave.

WETLANDS
 There are NO wetlands, groundwater recharge areas, drains, creeks, surface water and/or floodplains on site.
THREATENED AND ENDANGERED SPECIES
 There is no evidence of endangered threatened or endangered plant or animal species on the property.

ACCESS POINT
 Currently the parcel has no direct vehicle access off E. Michigan Ave. but utilizes access thru the adjacent parcel to the west at 1159 E. Michigan Ave. Vehicular access will be redirected into the site thru a new driveway proposed on the E. Michigan Ave. frontage. There are NO pedestrian sidewalks on or near the property.

PROPOSED LAND USE
 Child Day- Care with adequate vehicle access and circulation. An outdoor play area exists.
NATURAL FEATURES PROTECTION PLAN
 The trees to be preserved will be protected during construction and clean-up efforts. The Contractor will optimize ways to preserve as many high-quality trees on-site as possible.

CIVIL ENGINEERS
 PLANNERS • SURVEYORS
 LANDSCAPE ARCHITECTS
 3526 W. LIBERTY RD
 ANN ARBOR, MI 48106
 TEL: 734-761-8800



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K-11-10-106-018
1189 E. MICHIGAN AVE
VISIBLE LEARNING CENTER

SECTION 10 TOWN 3 SOUTH RANGE 7 EAST
 YPSILANTI TOWNSHIP
 WASHTEAW COUNTY • MICHIGAN
 JOB NO. 32983
 DATE 8-15-2023
 DWS NO. 983-001 Rev
 FIELD BOOK 621-658
 FILE NO. 10787

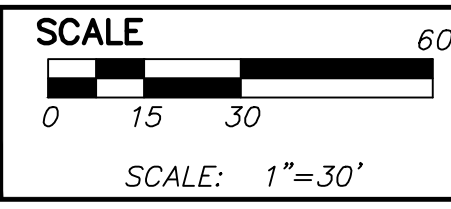


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SOIL BORING TESTING LOCATIONS FROM MATERIALS TESTING CONSULTANTS (MTC) INFILTRATION TESTING REPORT, PROJECT NO.231326, JUNE 12, 2023.



PREPARED BY *Gerald J. Sosnowski*
 GERALD J. SOSNOWSKI RLA, MICH. No. 982



REVISIONS

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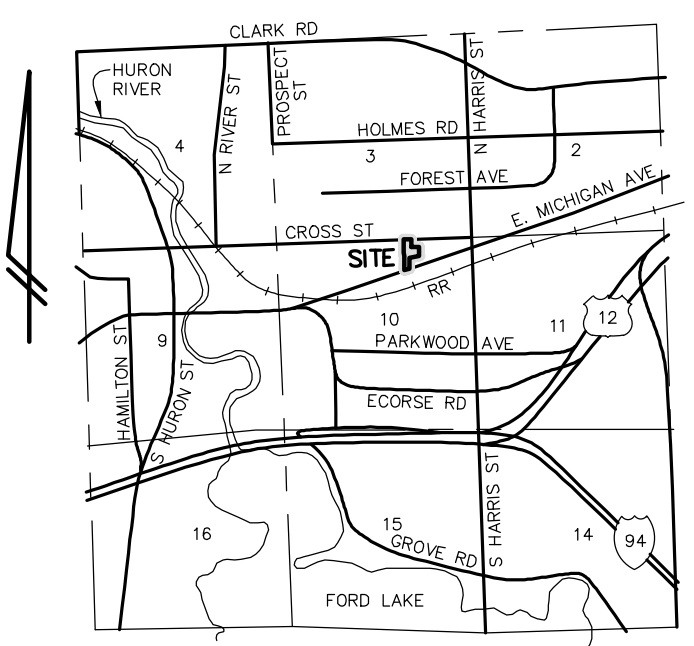
LEGEND

| | | | | | | | |
|-----|--------------|-----|-------------|-----|----------|-----|--------------------|
| ○ | LIGHT POLE | TC | TOP OF CURB | --- | GRAVEL | --- | EXISTING STORM |
| ○ | UTILITY POLE | TW | TOP OF WALL | --- | FENCE | --- | EXISTING SANITARY |
| ○ | POST | ○ | MANHOLE | --- | CONCRETE | --- | EXISTING WATER |
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| ○ | GATE VALVE | --- | END SECTION | --- | --- | --- | EXISTING ELECTRIC |
| --- | HYDRANT | --- | --- | --- | --- | --- | EXISTING TELEPHONE |

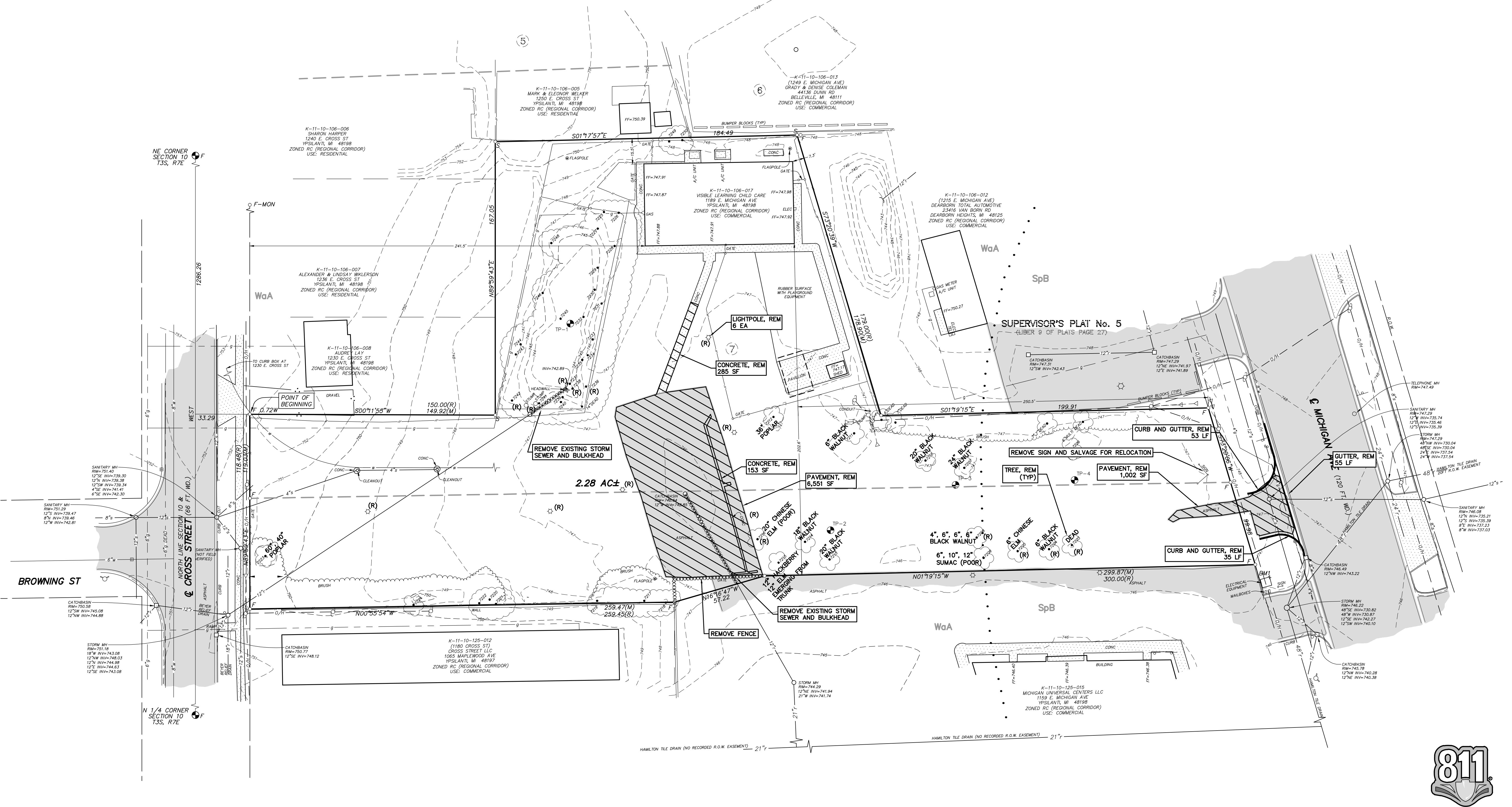
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VICINITY MAP
(SCALE: 1"=1 MILE)



WASHTEENAW COUNTY SOIL SURVEY CLASSIFICATION
SpB - SPINKS LOAMY SAND, 0 TO 6 PERCENT SLOPES
WaA - WASEPI SANDY LOAM, 0 TO 4 PERCENT SLOPES
 SOILS BOUNDARY
 SOILS ARE BASED ON USDA SOIL SURVEY OF WASHTEENAW COUNTY.

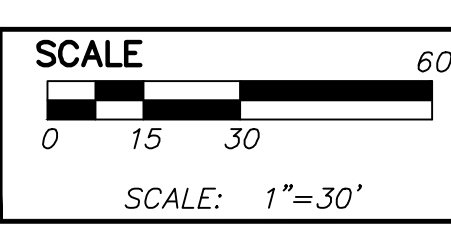
LEGEND

| | | | | | | | |
|---|--------------|---|-------------|-----|----------|-----|--------------------|
| ○ | LIGHT POLE | ○ | SPOT ELEV. | --- | GRAVEL | --- | EXISTING STORM |
| ⊕ | UTILITY POLE | ○ | POST | --- | FENCE | --- | EXISTING SANITARY |
| ⊕ | GUY ANCHOR | ○ | MANHOLE | --- | CONCRETE | --- | EXISTING WATER |
| ⊕ | HYDRANT | ○ | GATE VALVE | --- | ASPHALT | --- | EXISTING GAS |
| | | ○ | END SECTION | --- | | --- | EXISTING ELECTRIC |
| | | | | --- | | --- | EXISTING TELEPHONE |

BENCHMARK BM1=TOP OF SELV CORNER OF CONCRETE PAD FOR ELECTRICAL EQUIPMENT AT THE SOUTHWEST CORNER OF SITE, ELEV=747.21 (NAVD 88).
 BM2=TOP OF NELY BOLT OF LIGHTPOLE BASE AT SOUTHWEST CORNER OF PARKING LOT, ELEV=748.39 (NAVD 88).

REVISIONS

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PREPARED BY *Joseph K. Maynard*
 JOSEPH K. MAYNARD P.E., MICH No. 52559

SOIL BORING TESTING LOCATIONS FROM MATERIALS TESTING CONSULTANTS (MTC) INFILTRATION TESTING REPORT, PROJECT NO.231326, JUNE 12, 2023.

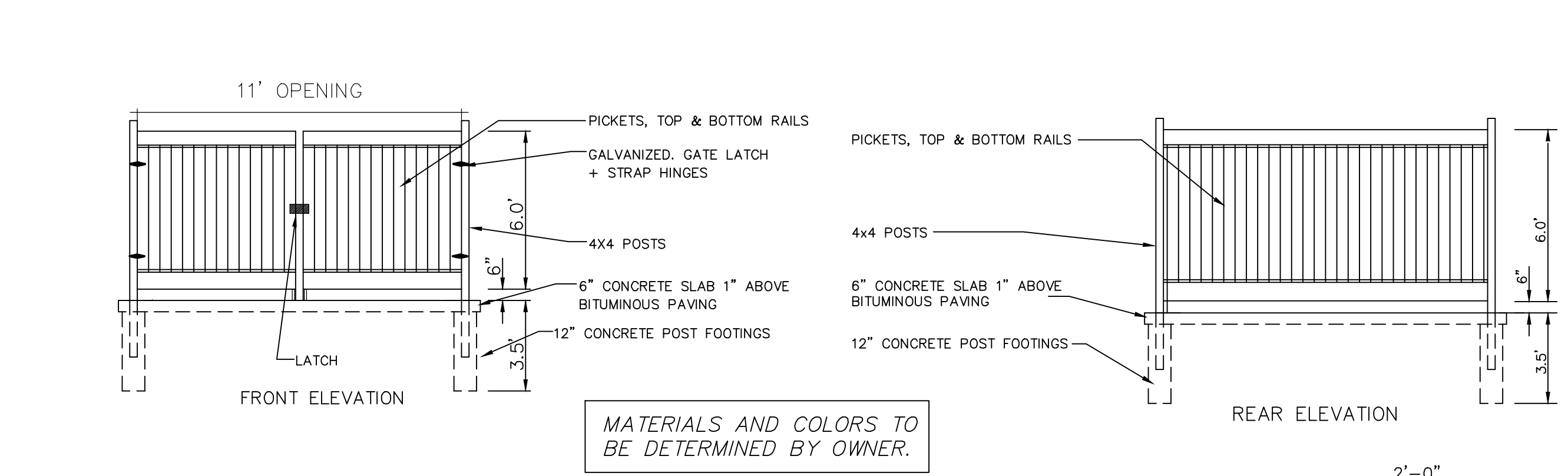
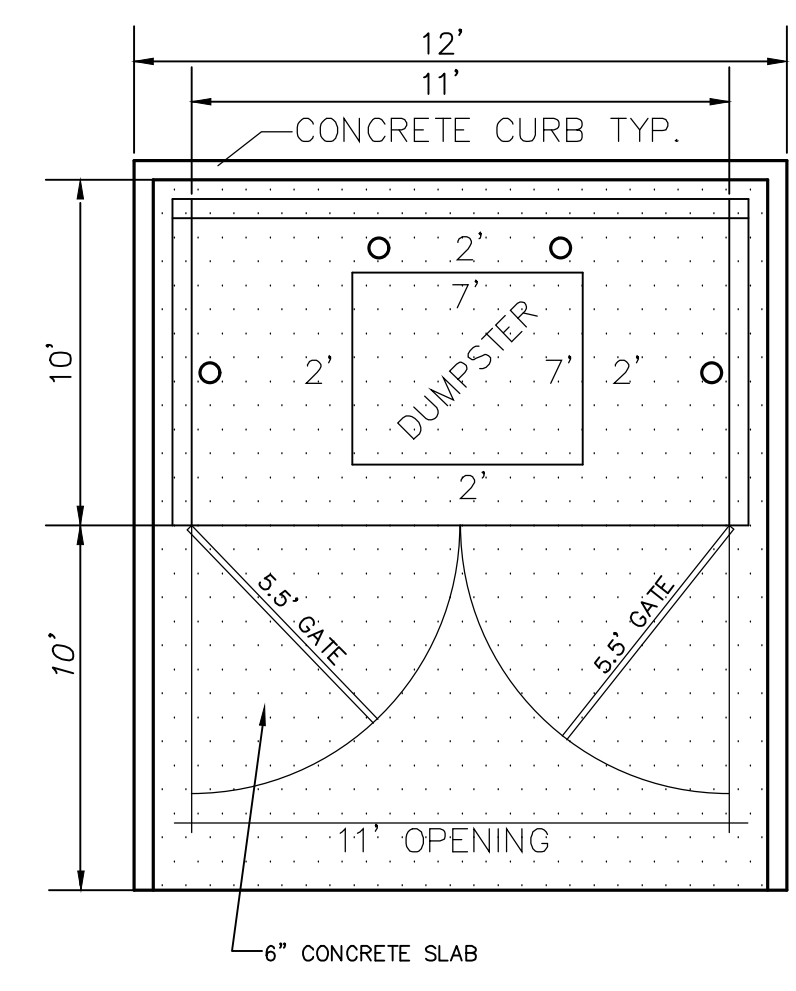
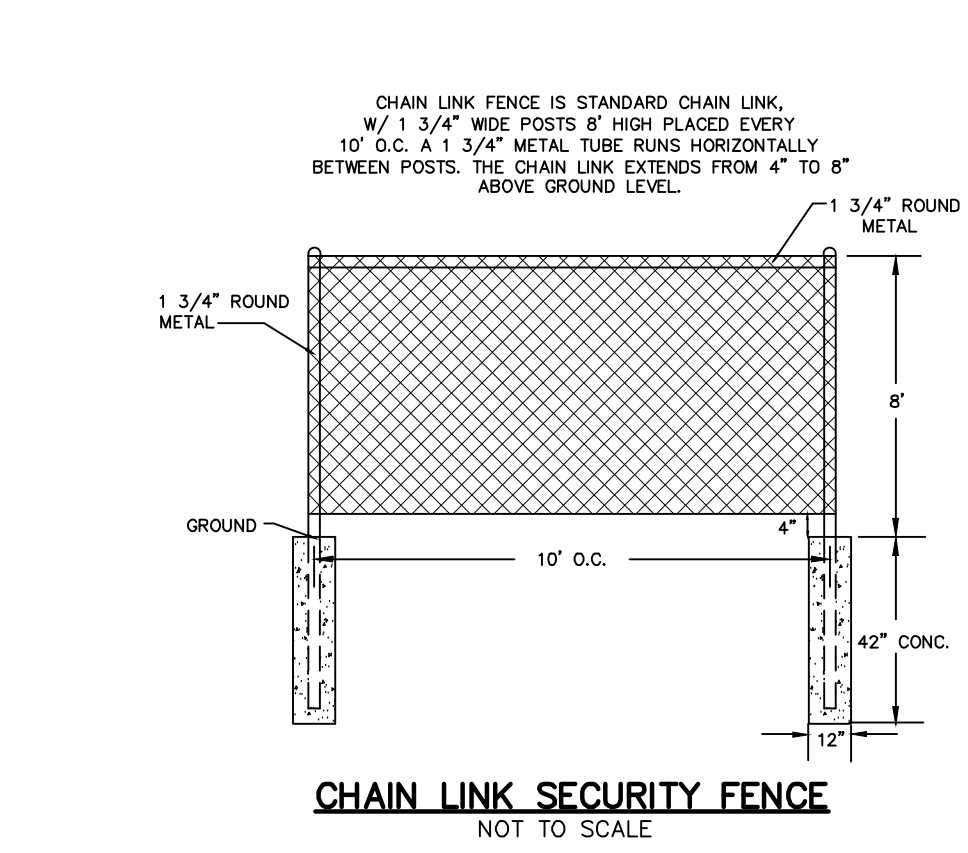
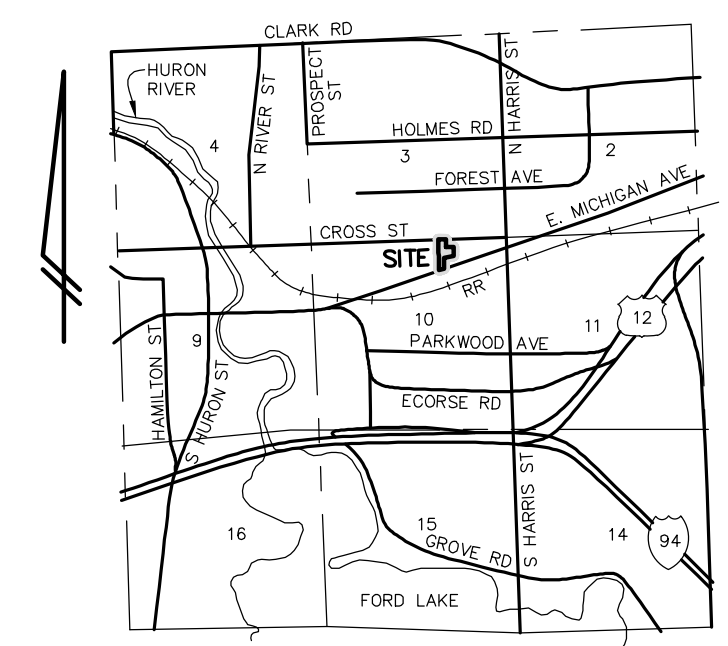


| | | | |
|---|---|--|---------------------------|
| CIVIL ENGINEERS PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS 3526 W. LIBERTY RD ANN ARBOR, MI 48103 TEL: 734-761-8800 | | VISIBLE LEARNING CENTER 1189 E. MICHIGAN AVE YPSILANTI, MI 48197 www.visiblelearningcenter.com | CLIENT |
| | | REMOVAL PLAN | SHEET |
| PROJECT | K-11-10-106-018 1189 E. MICHIGAN AVE VISIBLE LEARNING CENTER | SECTION 10 | TOWN 3 SOUTH RANGE 7 EAST |
| DATE 8-15-2023 | JOB NO. 32983 | DATE 8-15-2023 | JOB NO. 32983 |
| DWG NO. 983-SP-CRM | FIELD BOOK 621-658 | FILE NO. 10787 | SHEET 4 |

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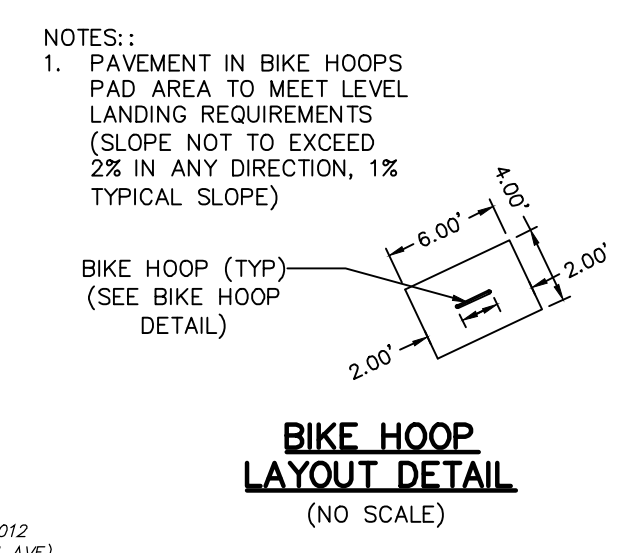
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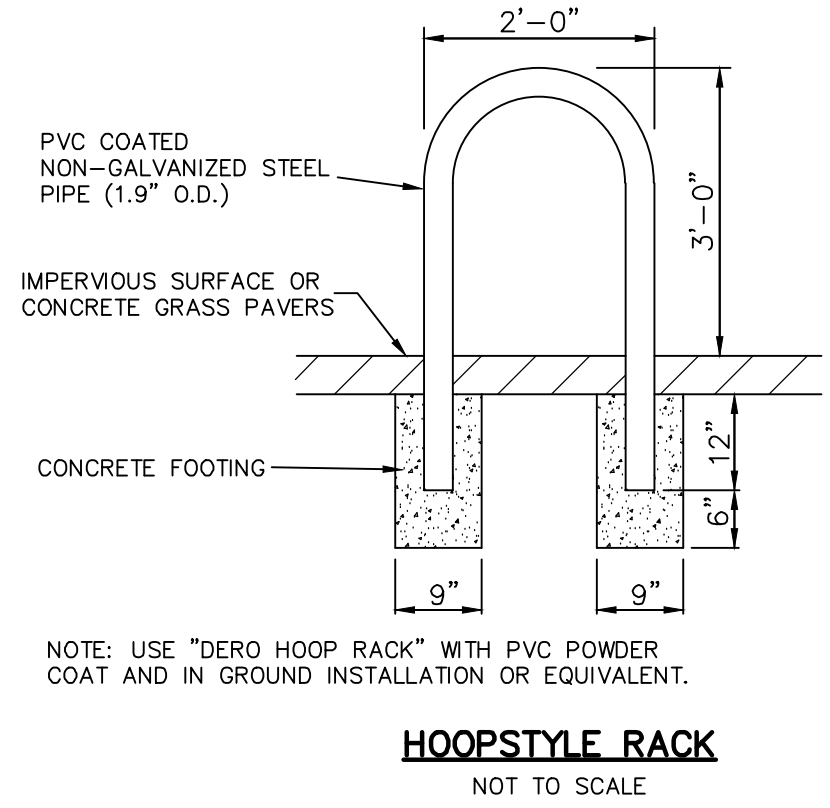
MATERIALS AND COLORS TO BE DETERMINED BY OWNER.

DUMPSTER ENCLOSURE

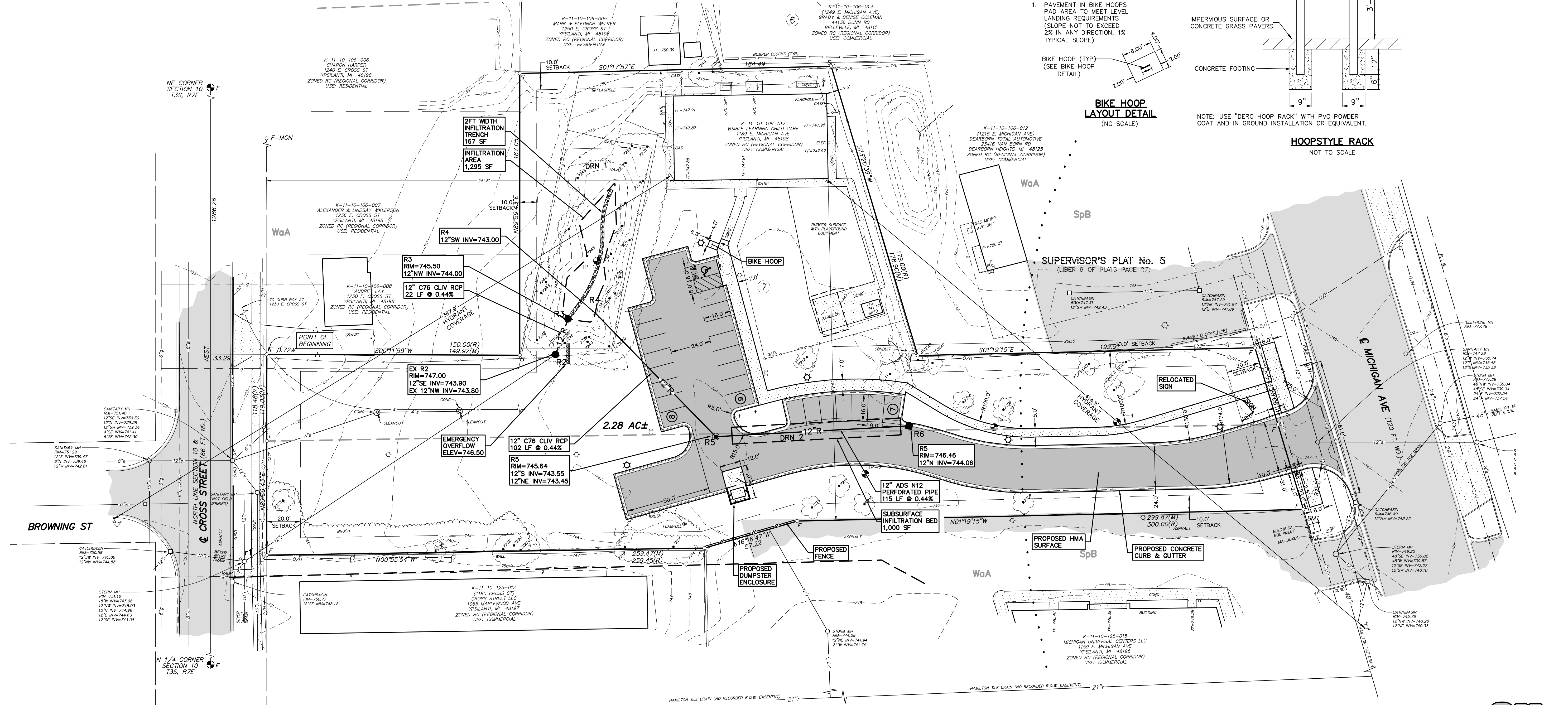
NOT TO SCALE



NOTES:
1. PAVEMENT IN BIKE HOOPS PAD AREA TO MEET LEVEL LANDING REQUIREMENTS (SLOPE NOT TO EXCEED 2% IN ANY DIRECTION, 1% TYPICAL SLOPE)



NOTE: USE "DERO HOOP RACK" WITH PVC POWDER COAT AND IN GROUND INSTALLATION OR EQUIVALENT.



STORM SEWER CALCULATIONS

T (Initial) = 15 10 Year Intensity (i) = 175/(T+25)

| FROM MH | TO MH | Drainage Area Name | ACRES | TC | EQUIV. AREA ACRES | INLET FLOW PER CE CA | LATERAL RUNS | | | TOTAL AREA CA | T MIN. | I PER HOUR | Q = CIA CFS | CAPAC. OF PIPE CFS | DIA. OF PIPE IN. | ROUGHNESS COEFF. | LENGTH OF PIPE | SLOPE OF PIPE | SLOPE OF HGL | VEL. FT./SEC. FULL | TIME OF FLOW MIN. | H.G. ELEV. UPPER END | H.G. ELEV. LOWER END | RM. ELEV. UPPER END | RM. ELEV. LOWER END | INVERT LOWER END |
|---------|-------|--------------------|--------|--------|-------------------|----------------------|--------------|-------|------|---------------|--------|------------|-------------|--------------------|------------------|------------------|----------------|---------------|--------------|--------------------|-------------------|----------------------|----------------------|---------------------|---------------------|------------------|
| | | | | | | | 1 | 2 | 3 | | | | | | | | | | | | | | | | | |
| R6 | R5 | DRN3 | 0.3210 | 0.9271 | 0.2976 | 1.3020 | 0.2976 | 15.00 | 4.38 | 1.3020 | 2.36 | 12 | 0.013 | 102 | 0.44 | 0.13 | 3.01 | 0.57 | 744.49 | 744.35 | 746.46 | 744.00 | 743.55 | | | |
| R5 | R4 | DRN2 | 0.2109 | 0.8089 | 0.1706 | 0.7484 | 0.4682 | 15.57 | 4.31 | 2.0196 | 2.36 | 12 | 0.013 | 102 | 0.44 | 0.32 | 3.01 | 0.57 | 744.13 | 743.80 | 745.64 | 743.45 | 743.00 | | | |
| R3 | R2 | BASIN 1 | 0.5319 | 0.8802 | 0.4682 | | 0.4682 | 15.00 | 4.38 | 2.0484 | 2.36 | 12 | 0.013 | 22 | 0.44 | 0.33 | 3.01 | 0.12 | 744.77 | 744.70 | 745.50 | 744.00 | 743.90 | | | |
| R2 | r1 | | | | | | 0.0000 | 15.00 | 4.38 | 0.0000 | 2.03 | 12 | 0.013 | 222 | 0.32 | 0.00 | 2.58 | 1.43 | 743.88 | 743.88 | 747.00 | 743.80 | 743.08 | | | |

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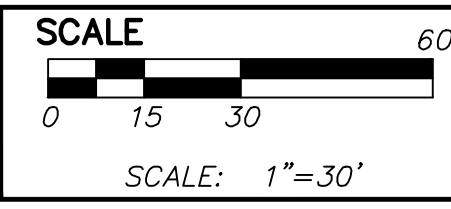
LEGEND

| | | | | | | | |
|---|--------------|---|-------------|-----|----------|-----|--------------------|
| ○ | LIGHT POLE | ○ | SPOT ELEV. | --- | GRAVEL | --- | EXISTING STORM |
| ○ | UTILITY POLE | ○ | POST | --- | FENCE | --- | EXISTING SANITARY |
| ○ | GUY ANCHOR | ○ | MANHOLE | --- | CONCRETE | --- | EXISTING WATER |
| ○ | HYDRANT | ○ | GATE VALVE | --- | ASPHALT | --- | EXISTING GAS |
| | | ○ | END SECTION | --- | | --- | EXISTING ELECTRIC |
| | | | | --- | | --- | EXISTING TELEPHONE |

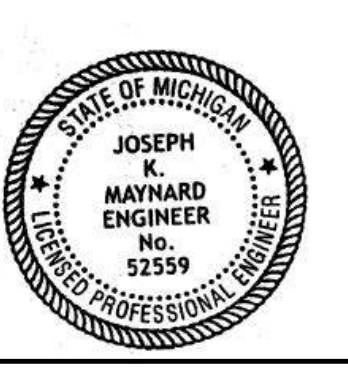
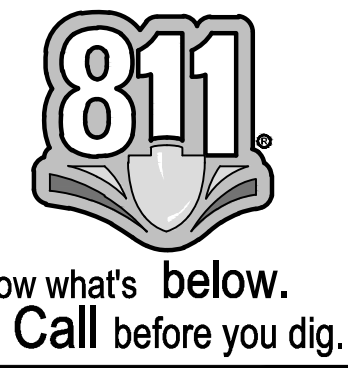
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 BM2=TOP OF NELY BOLT OF LIGHTPOLE BASE AT SOUTHWEST CORNER OF PARKING LOT, ELEV=748.39 (NAVD 88).

REVISIONS

| NO. | DESCRIPTION |
|-----|-------------|
| | |



PREPARED BY: *Joseph K. Maynard*
 JOSEPH K. MAYNARD P.E., MICH No. 52559



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 CIVIL ENGINEERS
 PLANNERS • SURVEYORS
 LANDSCAPE ARCHITECTS
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 ANN ARBOR, MI 48106
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 1189 E. MICHIGAN AVE
 YPSILANTI, MI 48197
 TEL: 734-480-2414
 www.visiblelearningcenter.com

PROJECT K-11-10-106-018
1189 E. MICHIGAN AVE
VISIBLE LEARNING CENTER

SECTION 10 **TOWN** 3 **RANGE** 7 **EAST**
DATE 8-15-2023 **JOB NO.** 32983
DWG NO. 983-sps-site
FIELD BOOK 621-658
FILE NO. 10787

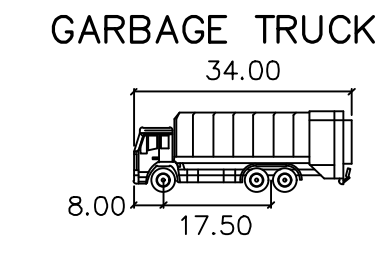
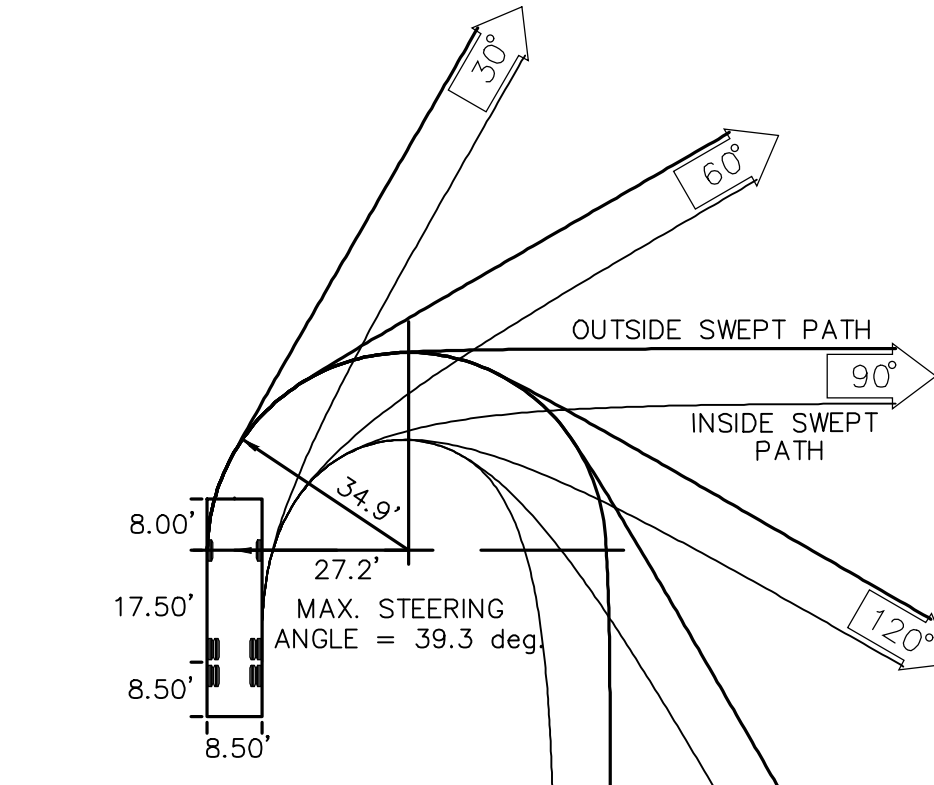
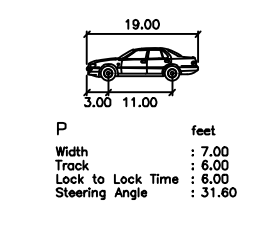
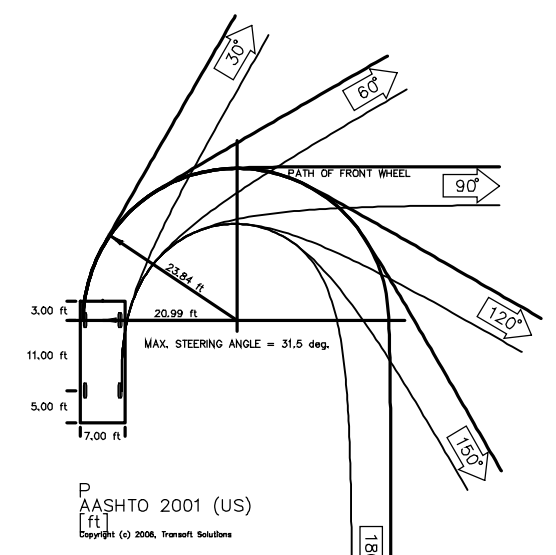
SHEET 5

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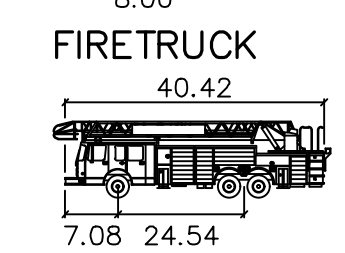
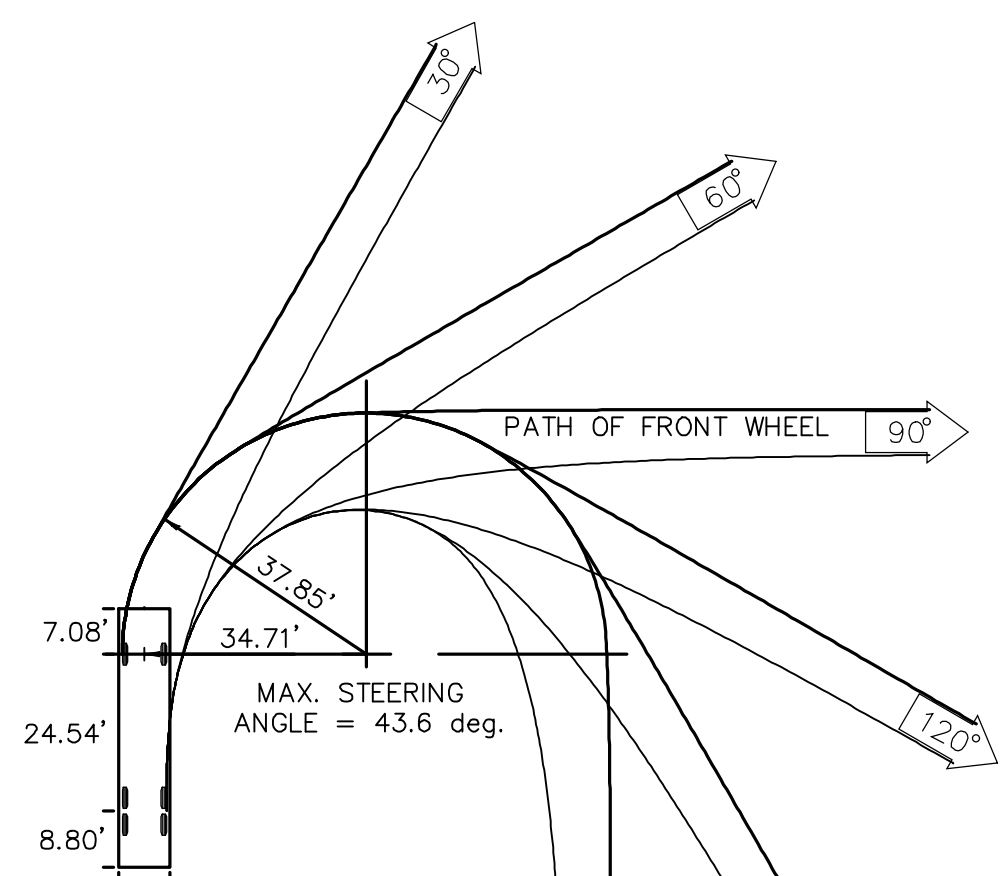
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YPSILANTI, MI 48197
TEL 734-480-2414
WWW.VISIBLELEARNINGCENTER.COM



| GARBAGE TRUCK | |
|-------------------|---------|
| Width | : 8.50 |
| Track | : 8.50 |
| Lock to Lock Time | : 6.00 |
| Steering Angle | : 40.00 |

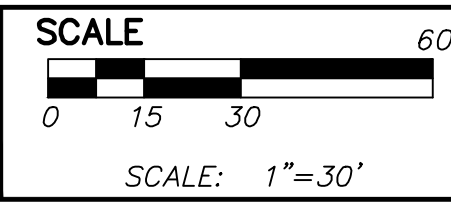


| FIRETRUCK | |
|-------------------|---------|
| Width | : 8.00 |
| Track | : 6.91 |
| Lock to Lock Time | : 6.00 |
| Steering Angle | : 45.00 |

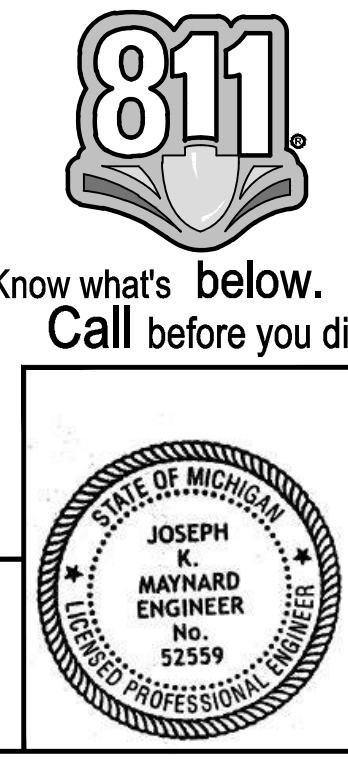
| LEGEND | |
|--------|-------------------------|
| | LIGHT POLE |
| | UTILITY POLE |
| | GUY ANCHOR |
| | HYDRANT |
| | SPOT ELEV. |
| | POST |
| | GATE VALVE |
| | SIGN |
| | TOP OF CURB |
| | TOP OF WALL |
| | MANHOLE |
| | CATCHBASIN |
| | END SECTION |
| | GRAVEL |
| | FENCE |
| | CONCRETE |
| | ASPHALT |
| | EXISTING STORM SANITARY |
| | EXISTING WATER |
| | EXISTING GAS |
| | EXISTING ELECTRIC |
| | EXISTING TELEPHONE |

| BENCHMARK | |
|-----------|--|
| BM1 | TOP OF S'ELY CORNER OF CONCRETE PAD FOR ELECTRICAL EQUIPMENT AT THE SOUTHWEST CORNER OF SITE, ELEV=747.21 (NAVD 88). |
| BM2 | TOP OF N'E'LY BOLT OF LIGHTPOLE BASE AT SOUTHWEST CORNER OF PARKING LOT, ELEV=748.38 (NAVD 88). |

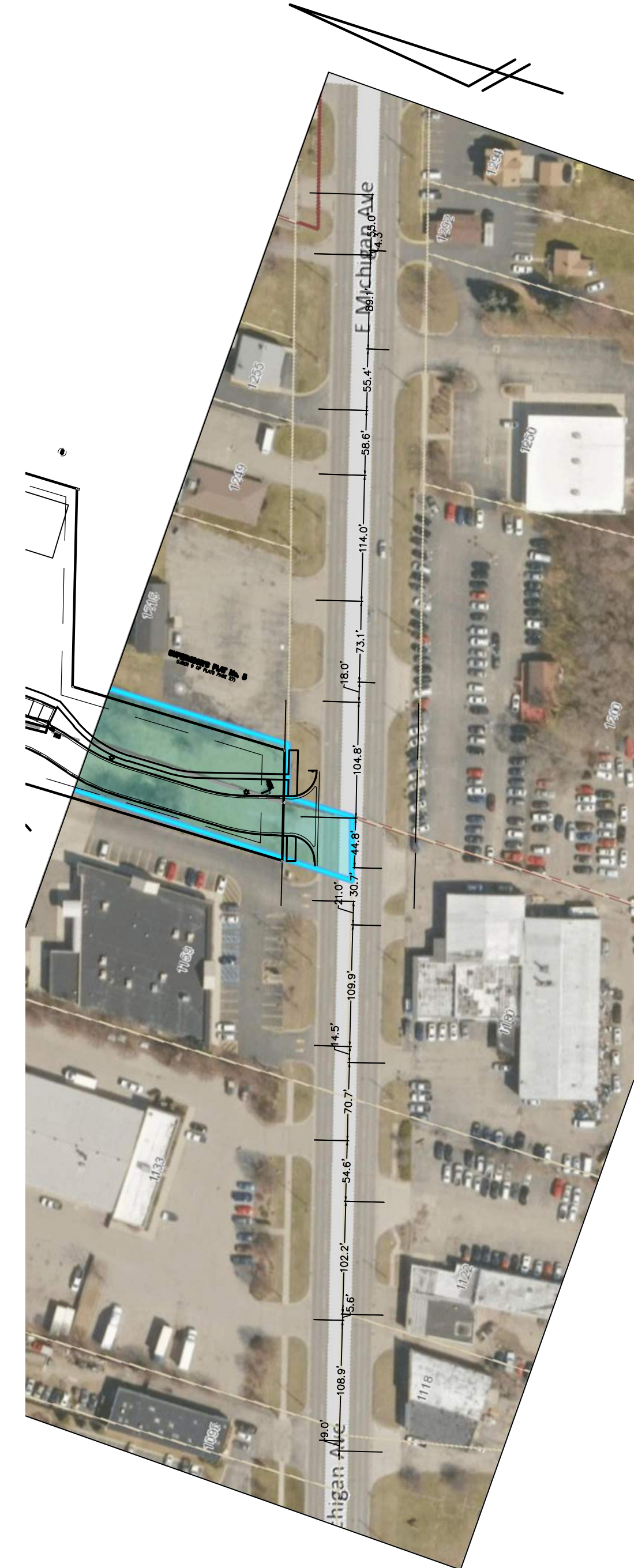
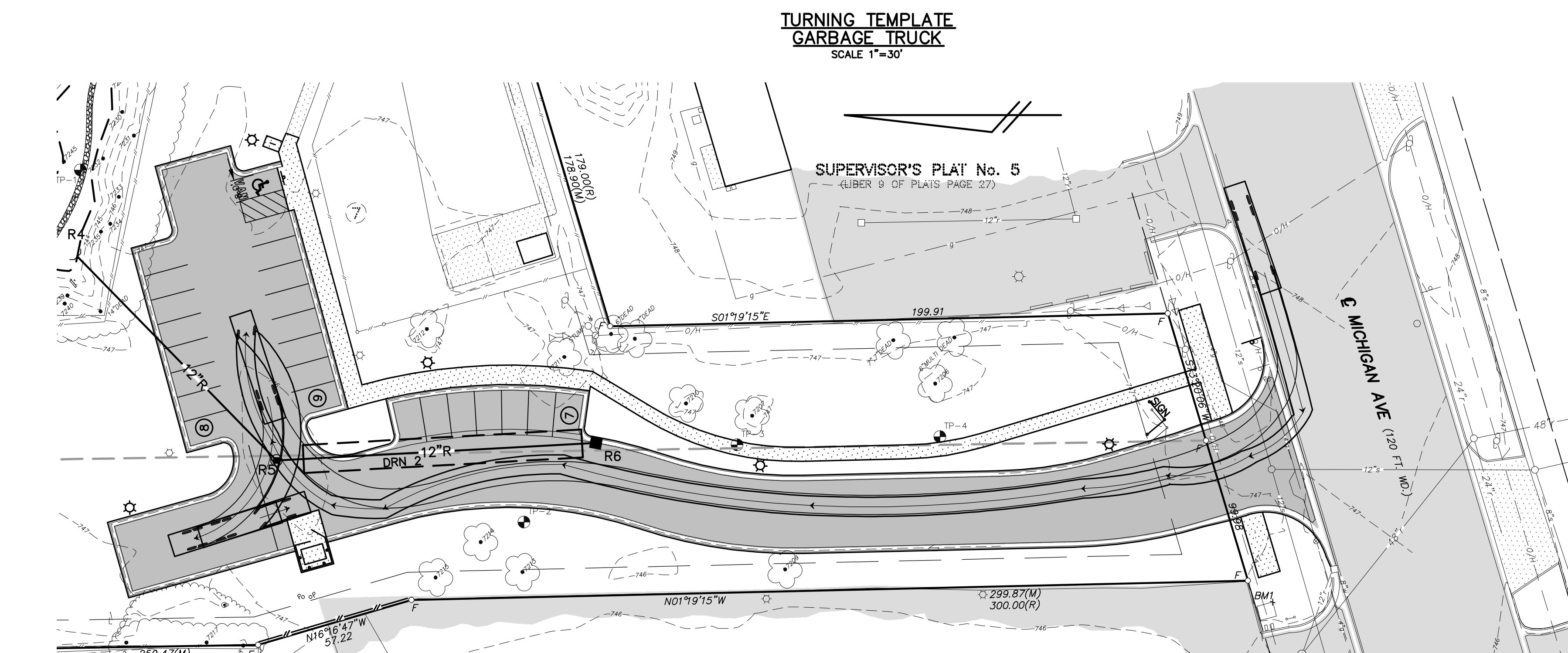
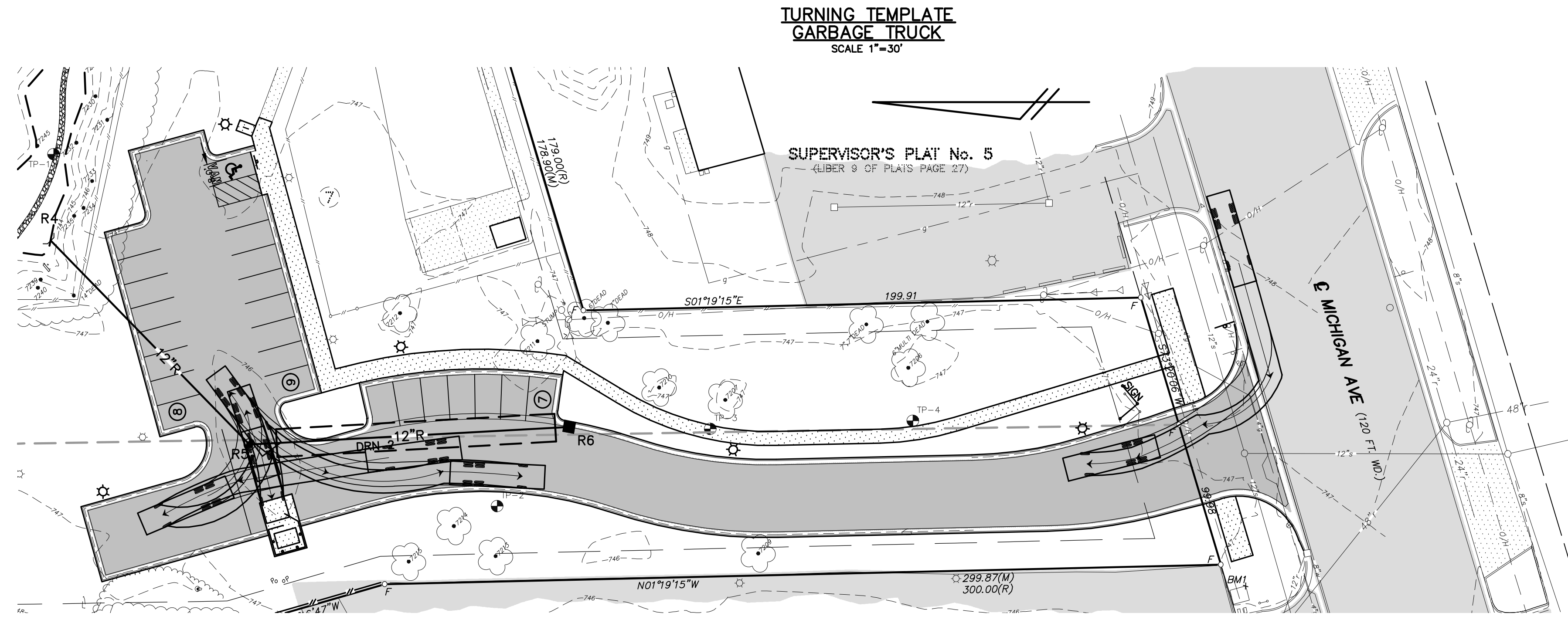
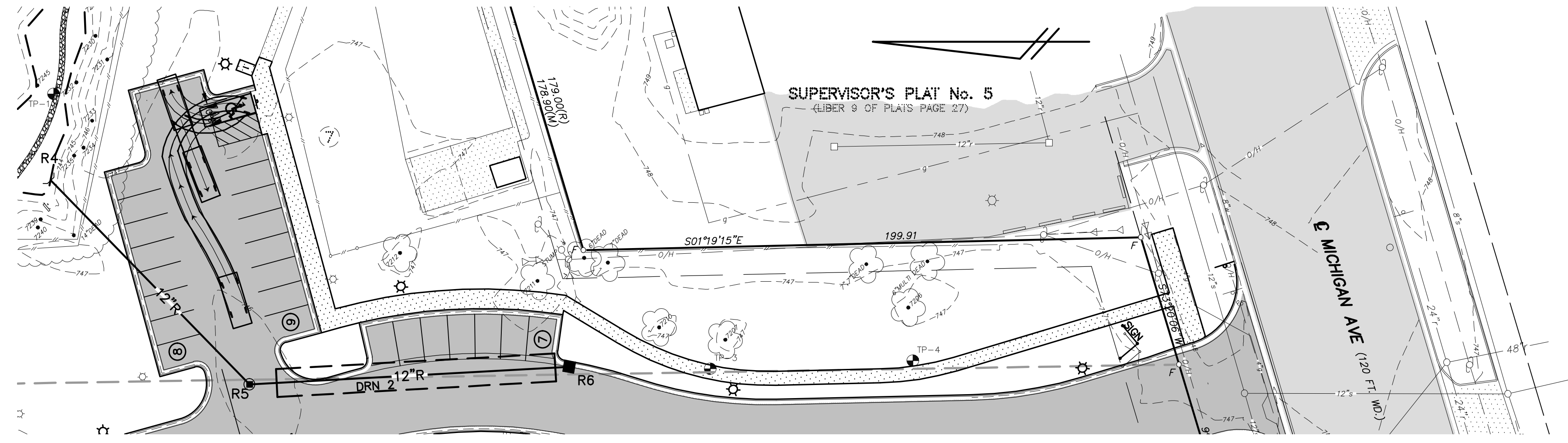
| REVISIONS | |
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PREPARED BY: *Joseph K. Maynard*
JOSEPH K. MAYNARD P.E., MICH No. 52559



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Call before you dig.



SOIL BORING TESTING LOCATIONS FROM MATERIALS TESTING CONSULTANTS (MTC) INFILTRATION TESTING REPORT, PROJECT NO.231326, JUNE 12, 2023.

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PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS
3526 W. LIBERTY RD
ANN ARBOR MI 48103
TEL 734-761-8800

WASHTEANAW ENGINEERING

CLIENT: **VISIBLE LEARNING CENTER**
1189 E. MICHIGAN AVE
YPSILANTI, MI 48197
TEL 734-480-2414
www.visiblelearningcenter.com

SHEET: **ACCESS AND CIRCULATION PLAN**

PROJECT: **K-11-10-106-018**
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VISIBLE LEARNING CENTER

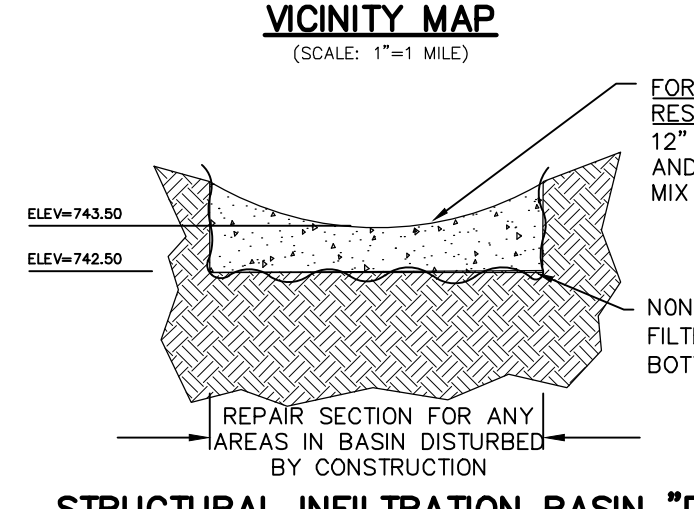
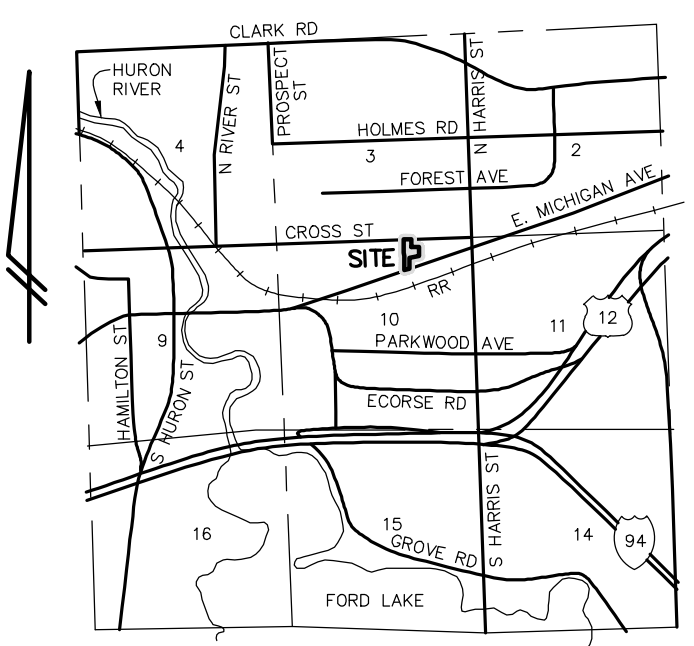
SECTION 10 TOWN 3 SOUTH RANGE 7 EAST
YPSILANTI TOWNSHIP
WASHTEANAW COUNTY • MICHIGAN
DATE 8-15-2023 JOB NO. 32983
DWS NO. 983-176-access FIELD BOOK 621-658
FILE NO. 10797

6 SHEET

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING RECORDS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. FOLIAGE PROTECTION SHALL BE MADE WITHOUT PRIOR WRITTEN CONSENT OF WASHTENAW ENGINEERING COMPANY, INC. THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATE AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

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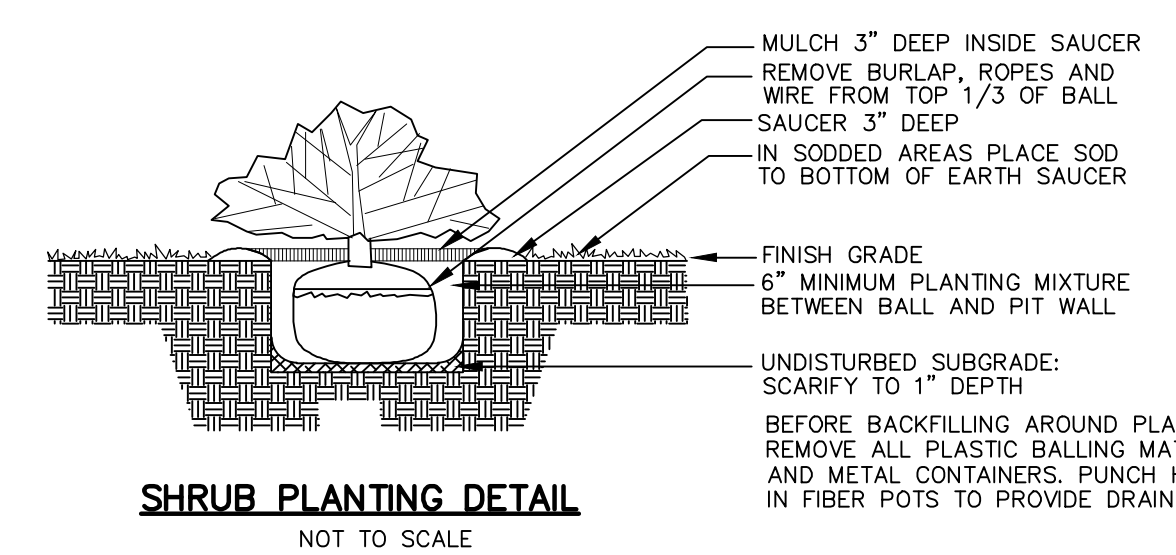


FOR DISTURBED AREA RESTORATION:
12" AMENDED SOIL MIX AND VEGETATION REPAIR MIX PLANTINGS.
NON-WOVEN GEO-TEXTILE FILTER FABRIC (SIDES AND BOTTOM)
REPAIR SECTION FOR ANY AREAS IN BASIN DISTURBED BY CONSTRUCTION

VEGETATION REPAIR MIX:
30% VAR RED FESCUE
20% VAR CREW FESCUE
20% TURF TYPE PER. RYE
10% POA TRIVIALIS
10% POA SUPINA

AMENDED SOIL MIX:
50-60% SAND
20-30% TOPSOIL
20-30% LEAF COMPOST
SOILS MUST BE FREE OF CONSTRUCTION DEBRIS AND SUB-SOILS.

SEEDING RATE: 4#/1000SF
FERTILIZER: N/A
DIRECT DRILL SEED INTO FINISH GRADE. MULCH SEEDING WITH 80%/1000SF WHEAT STRAW. CRIMP STRAW INTO FINISH GRADE.



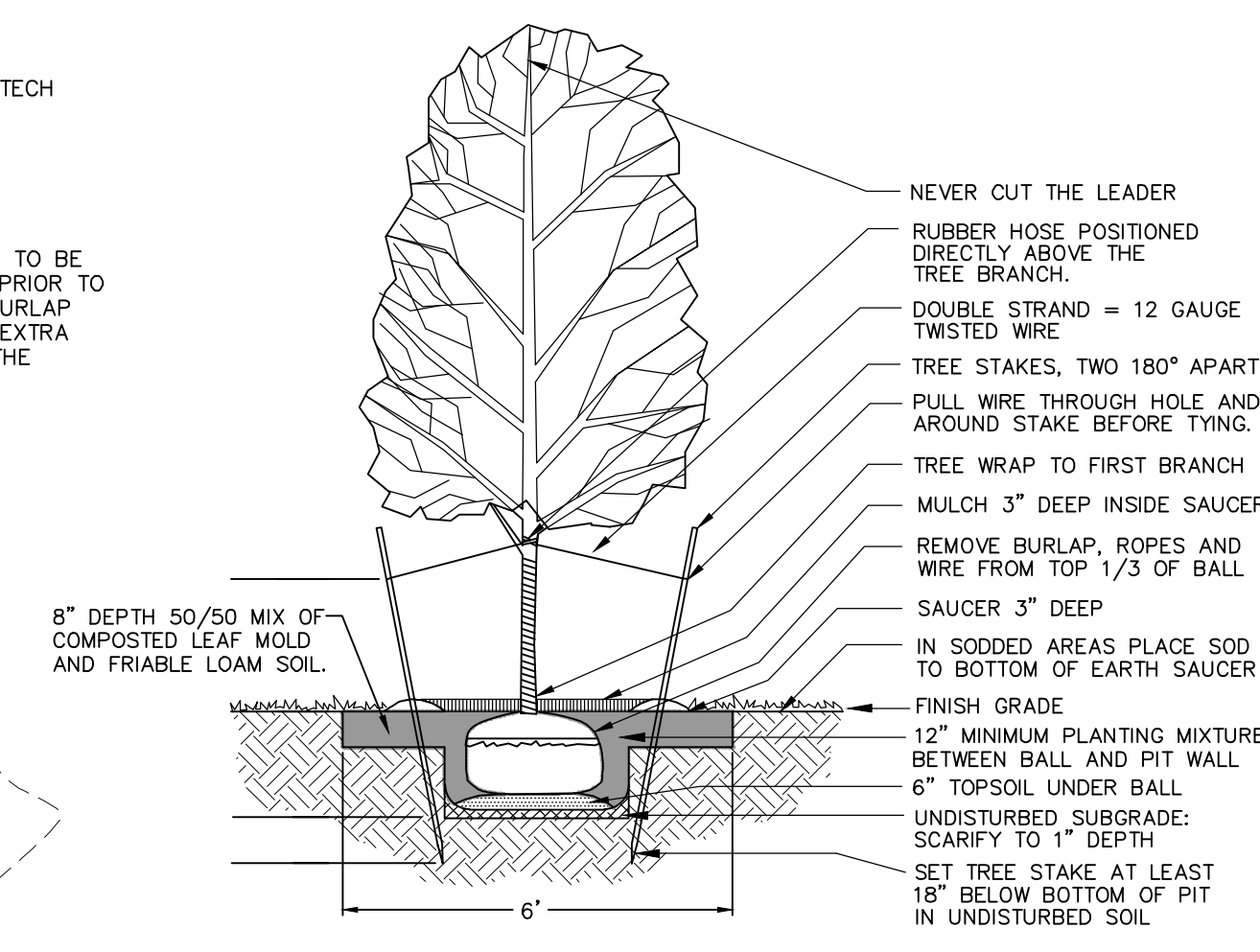
MULCH 3" DEEP INSIDE SAUCER
REMOVE BURLAP, ROPES AND WIRE FROM TOP 1/3 OF BALL
SAUCER 3" DEEP
IN SODDED AREAS PLACE SOD TO BOTTOM OF EARTH SAUCER

FINISH GRADE
6" MINIMUM PLANTING MIXTURE BETWEEN BALL AND PIT WALL

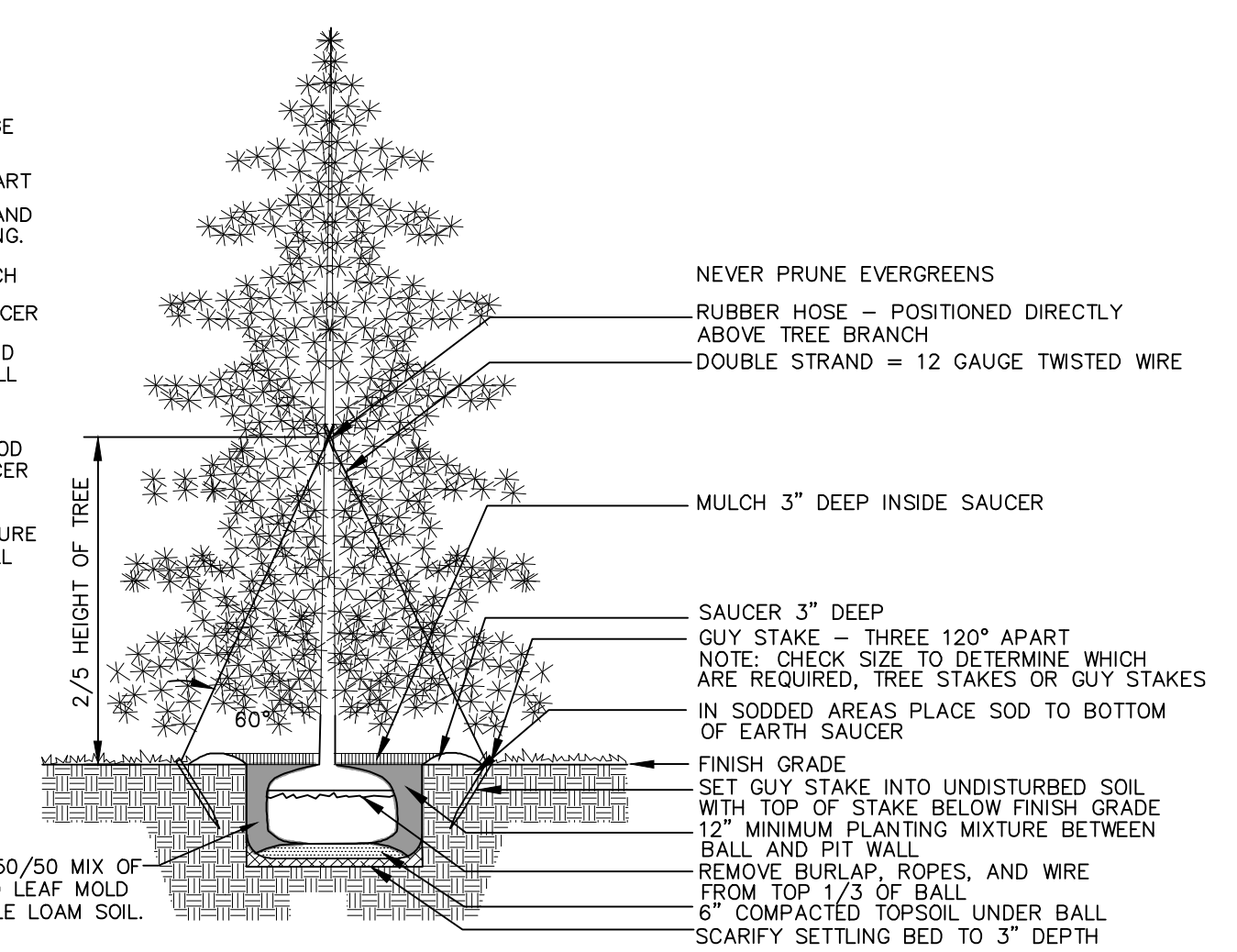
UNDISTURBED SUBGRADE: SCARIFY TO 1" DEPTH
BEFORE BACKFILLING AROUND PLANT REMOVE ALL PLASTIC BALLING MATERIAL AND METAL CONTAINERS. PUNCH HOLES IN FIBER POTS TO PROVIDE DRAINAGE.

ADD 'MYCORRHIZAE' ROOT GROWTH ENHANCER TO PLANTING SOIL MIX. PRODUCT MANUFACTURER, PREMIER TECH 1-800-606-6926
APPLICATION RATE:
TREES 10 CUPS PER 2.5" CALIPER
SHRUBS 1 CUP PER 2 GALLON POT

NOTE:
ALL EVERGREEN TREES AND SHRUBS TO BE TREATED WITH AN ANTI-DESICCANT PRIOR TO THE FALL AND WINTER SEASONS. BURLAP WIND SCREENS MAY BE NEEDED AS EXTRA FOLIAGE PROTECTION THROUGHOUT THE WINTER SEASON.



NEVER CUT THE LEADER
RUBBER HOSE POSITIONED DIRECTLY ABOVE THE TREE BRANCH.
DOUBLE STRAND = 12 GAUGE TWISTED WIRE
TREE STAKES, TWO 180° APART
PULL WIRE THROUGH HOLE AND AROUND STAKE BEFORE TYING.
TREE WRAP TO FIRST BRANCH
MULCH 3" DEEP INSIDE SAUCER
REMOVE BURLAP, ROPES AND WIRE FROM TOP 1/3 OF BALL
SAUCER 3" DEEP
IN SODDED AREAS PLACE SOD TO BOTTOM OF EARTH SAUCER
FINISH GRADE
12" MINIMUM PLANTING MIXTURE BETWEEN BALL AND PIT WALL
6" TOPSOIL UNDER BALL
UNDISTURBED SUBGRADE: SCARIFY TO 1" DEPTH
SET TREE STAKE AT LEAST 18" BELOW BOTTOM OF PIT IN UNDISTURBED SOIL



NEVER PRUNE EVERGREENS
RUBBER HOSE POSITIONED DIRECTLY ABOVE TREE BRANCH
DOUBLE STRAND = 12 GAUGE TWISTED WIRE
MULCH 3" DEEP INSIDE SAUCER
SAUCER 3" DEEP
GUY STAKE - THREE 120° APART
NOTE: CHECK SIZE TO DETERMINE WHICH ARE REQUIRED, TREE STAKES OR GUY STAKES
IN SODDED AREAS PLACE SOD TO BOTTOM OF EARTH SAUCER
FINISH GRADE
SET GUY STAKE INTO UNDISTURBED SOIL WITH TOP OF STAKE BELOW FINISH GRADE
12" MINIMUM PLANTING MIXTURE BETWEEN BALL AND PIT WALL
REMOVE BURLAP, ROPES, AND WIRE FROM TOP 1/3 OF BALL
6" COMPACTED TOPSOIL UNDER BALL
SCARIFY SETTLING BED TO 3" DEPTH

ADD 'MYCORRHIZAE' ROOT GROWTH ENHANCER TO PLANTING SOIL MIX. PRODUCT MANUFACTURER, PREMIER TECH 1-800-606-6926
APPLICATION RATE:
TREES 10 CUPS PER 2.5" CALIPER
SHRUBS 1 CUP PER 2 GALLON POT

NOTE:
ALL EVERGREEN TREES AND SHRUBS TO BE TREATED WITH AN ANTI-DESICCANT PRIOR TO THE FALL AND WINTER SEASONS. BURLAP WIND SCREENS MAY BE NEEDED AS EXTRA FOLIAGE PROTECTION THROUGHOUT THE WINTER SEASON.

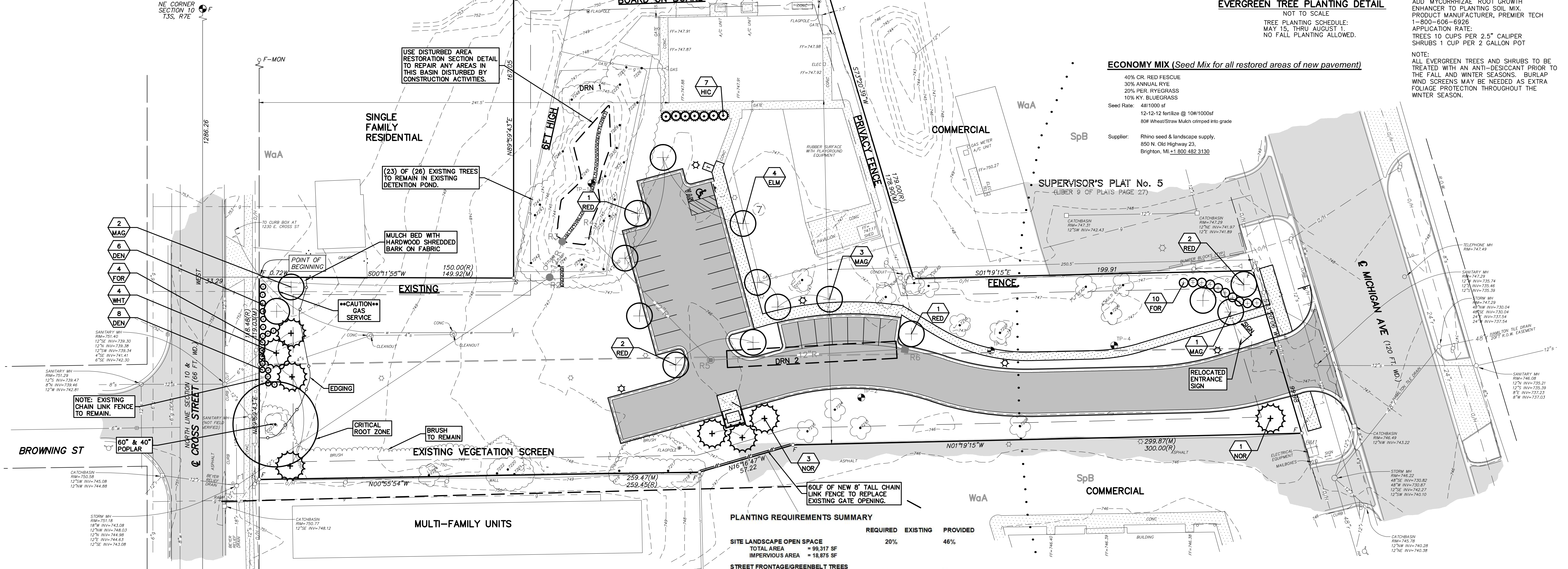
TREE PLANTING SCHEDULE:
MAY 15, THRU AUGUST 1
NO FALL PLANTING ALLOWED.

ECONOMY MIX (Seed Mix for all restored areas of new pavement)

40% CR RED FESCUE
30% ANNUAL RYE
20% PER RYEGRASS
10% KY BLUEGRASS

Seed Rate: 4#/1000 sf
12-12-12 fertilizer @ 10#/1000sf
80# Wheelbarrow Mulch topped into grade

Supplier: Rhino seed & landscape supply, 850 N. Old Highway 23, Brighton, MI 48104-3130



PLANTING REQUIREMENTS SUMMARY

| | REQUIRED | EXISTING | PROVIDED |
|--|-------------------|----------|-----------|
| SITE LANDSCAPE OPEN SPACE | | 20% | 46% |
| TOTAL AREA | 99,317 SF | | |
| IMPERVIOUS AREA | 18,875 SF | | |
| STREET FRONTAGE/GREENBELT TREES | | | |
| (D) Michigan Ave. (89.8 LF @ 1 tree per 40') | 3 | 0 | 2 |
| (Om) @ 1 per 100' | 1 | 0 | 1 |
| (S) @ 1 per 10' | 10 | 0 | 10 |
| (D) Cross St. (118.39 LF @ 1 tree per 40') | 5 | 1 | 4 |
| (Om) @ 1 per 40' | 2 | 0 | 2 |
| (S) @ 1 per 30' | 19 | 0 | 19 |
| DUMPSTER SCREENING | | | |
| 1 DUMPSTER | masonry enclosure | | + 3 trees |
| INTERIOR PARKING LOT & PERIMETER LANDSCAPING | | | |
| (D) 24 SPACES @ 1 tree per 2,000 SF | 10 | 6 | 4 |
| PERIMETER PARKING LOT LANDSCAPING | | | |
| (D) 260 LF @ 1 per 40' | 6 | 2 | 4 |
| (Om) 260 LF @ 1 per 100' | 3 | 0 | 3 |
| TREE REMOVALS | | | |
| 2 DEAD OR INVA SIVE | | | |
| 2 STUMPS | | | |
| 6 WITHIN CONSTRUCTION LIMITS FOR UTILITIES | | | |
| 10 TOTAL | | | |
| DETENTION POND LANDSCAPE | | | |
| TREES | 8 | 23 | 0 |
| SHRUBS | 73 | 0 | 0 |

NOTE: ADJOINING SINGLE FAMILY RESIDENTIAL IS SCREENED WITH A CONTINUOUS 6FT HIGH BOARD ON BOARD PRIVACY FENCE AND FIVE(5) DECIDUOUS EXISTING TREES.

NOTE: MULTI-FAMILY UNITS ARE SCREENED WITH EXISTING DECIDUOUS TREES, SHRUBBERY, VINES AND A 6FT HIGH CHAIN LINK FENCE.

NOTE: TOP OF DETENTION POND IS SURROUNDED (4 SIDES) WITH 6FT HIGH BOARD ON BOARD PRIVACY FENCE. NO SHRUBS PROVIDED.

LANDSCAPE LEGEND

- = PROPOSED SHRUB
- ⊕ = PROPOSED DECIDUOUS TREE
- ⊕ = PROPOSED EVERGREEN TREE
- 3 = PLANT QUANTITY & IDENTIFICATION
- = RYERSON STEEL EDGING

SOIL BORING TESTING LOCATIONS FROM MATERIALS TESTING CONSULTANTS (MTC) INFILTRATION TESTING REPORT, PROJECT NO.231326, JUNE 12, 2023.

PLANT LIST

TREES

| SYM | QTY | BOTANICAL NAME | COMMON NAME | SIZE | COMMENT |
|-----|-----|-----------------------------|-----------------------|-----------|---------|
| RED | 6 | Acer Rubrum 'Armstrong' | 'ARMSTRONG' RED MAPLE | 2.5" CAL. | B & B |
| NOR | 4 | Picea abies | NORWAY SPRUCE | 7' HT. | B & B |
| WHT | 4 | Pinus strobus | WHITE PINE | 7' HT. | B & B |
| ELM | 4 | Ulmus americana 'Princeton' | PRINCETON ELM | 2.5" CAL. | B & B |

ORNAMENTAL TREES

| SYM | QTY | BOTANICAL NAME | COMMON NAME | SIZE | COMMENT |
|-----|-----|-------------------|---------------|-----------|---------|
| MAG | 6 | Magnolia stellata | STAR MAGNOLIA | 2.5" CAL. | B & B |

SHRUBS

| SYM | QTY | BOTANICAL NAME | COMMON NAME | SIZE | COMMENT |
|-----|-----|--------------------|-------------------|------|-----------|
| DEN | 14 | Taxus densiformis | DENSE YEW | 36" | CONTAINER |
| HIC | 7 | Taxus hicksii | HICKS YEW | 36" | CONTAINER |
| FOR | 14 | Forsythia suspensa | WEeping FORSYTHIA | 36" | CONTAINER |

BENCHMARK BM1-TOP OF S'ELY CORNER OF CONCRETE PAD FOR ELECTRICAL EQUIPMENT AT THE SOUTHWEST CORNER OF SITE, ELEV=747.21 (NAVD 88).
BM2-TOP OF N'ELY BOLT OF LIGHTPOLE BASE AT SOUTHWEST CORNER OF PARKING LOT, ELEV=748.39 (NAVD 88).

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |

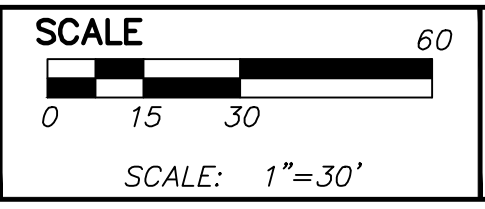
WASHTENAW COUNTY SOIL SURVEY CLASSIFICATION

SpB - SPINKS LOAMY SAND, 0 TO 6 PERCENT SLOPES
WaA - WASEPI SANDY LOAM, 0 TO 4 PERCENT SLOPES

SOILS ARE BASED ON USDA SOIL SURVEY OF WASHTENAW COUNTY.

LEGEND

| | | | | | |
|---|------------|----|-------------|-----|----------|
| ○ | SPOT ELEV. | TC | TOP OF CURB | --- | GRAVEL |
| ○ | POST | TW | TOP OF WALL | --- | FENCE |
| ○ | GATE VALVE | ○ | MANHOLE | --- | CONCRETE |
| ○ | HYDRANT | ○ | CATCHBASIN | --- | ASPHALT |
| ○ | | ○ | END SECTION | | |



PREPARED BY: *Gerald J. Sosnowski*
GERALD J. SOSNOWSKI RLA, MICH No. 982



CIVIL ENGINEERS
PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS
3526 W. LIBERTY RD
ANN ARBOR, MI 48103
TEL: 734-761-8800

WASHTENAW ENGINEERING

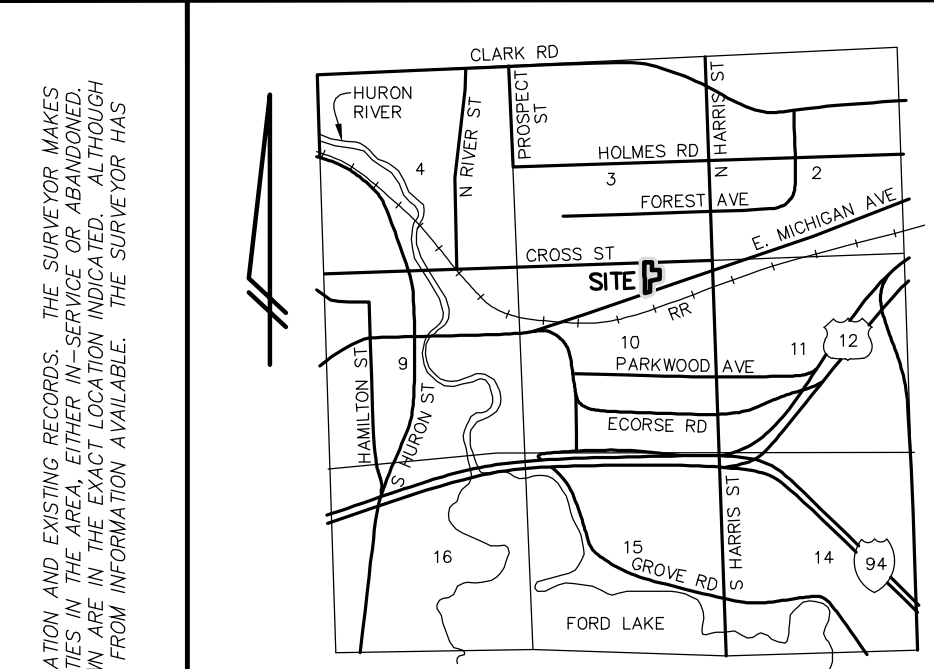
VISIBLE LEARNING CENTER
1189 E. MICHIGAN AVE
YPSILANTI, MI 48197
www.visiblelearningcenter.com

LANDSCAPE PLAN

PROJECT: **K-11-10-106-018**
1189 E. MICHIGAN AVE
VISIBLE LEARNING CENTER

SECTION 10 TOWN 3 SOUTH RANGE 7 EAST
YPSILANTI TOWNSHIP
WASHTENAW COUNTY • MICHIGAN
DATE 8-15-2023 JOB NO. 983-rp9-lmtd
DWS NO. 983-rp9-lmtd
FIELD BOOK 621-658
FILE NO. 10787

7 SHEET



VICINITY MAP
(SCALE: 1"=1 MILE)

PROFESSIONAL ENGINEER
WASHTENAW ENGINEERING
 CIVIL ENGINEERS • PLANNERS • SURVEYORS
 TRANSPORTATION ENGINEERS
 LANDSCAPE ARCHITECTS

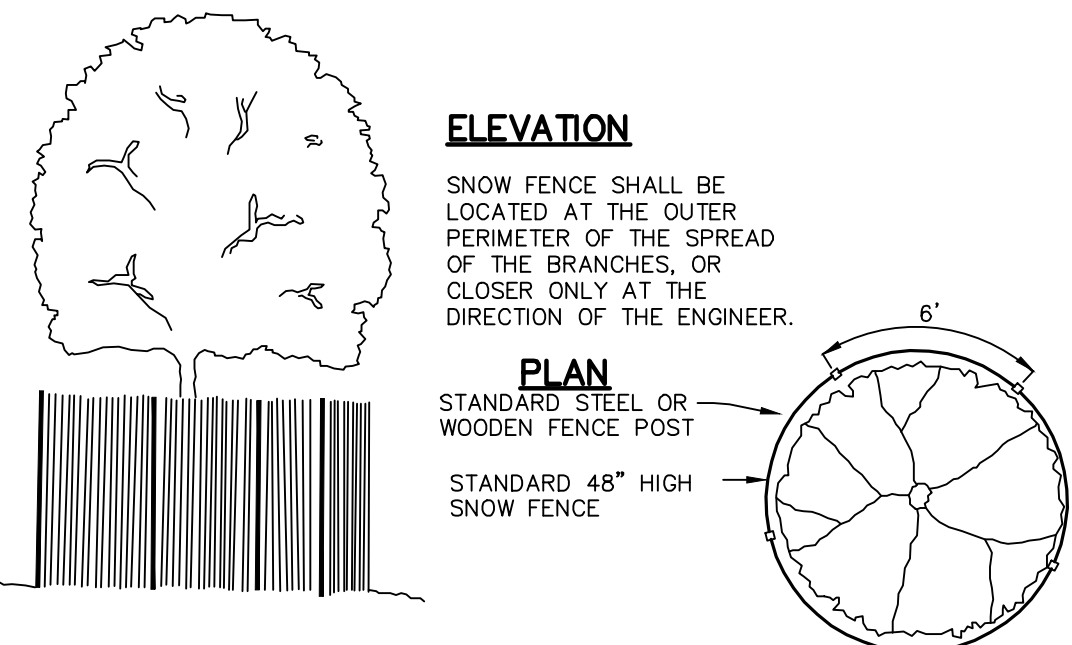
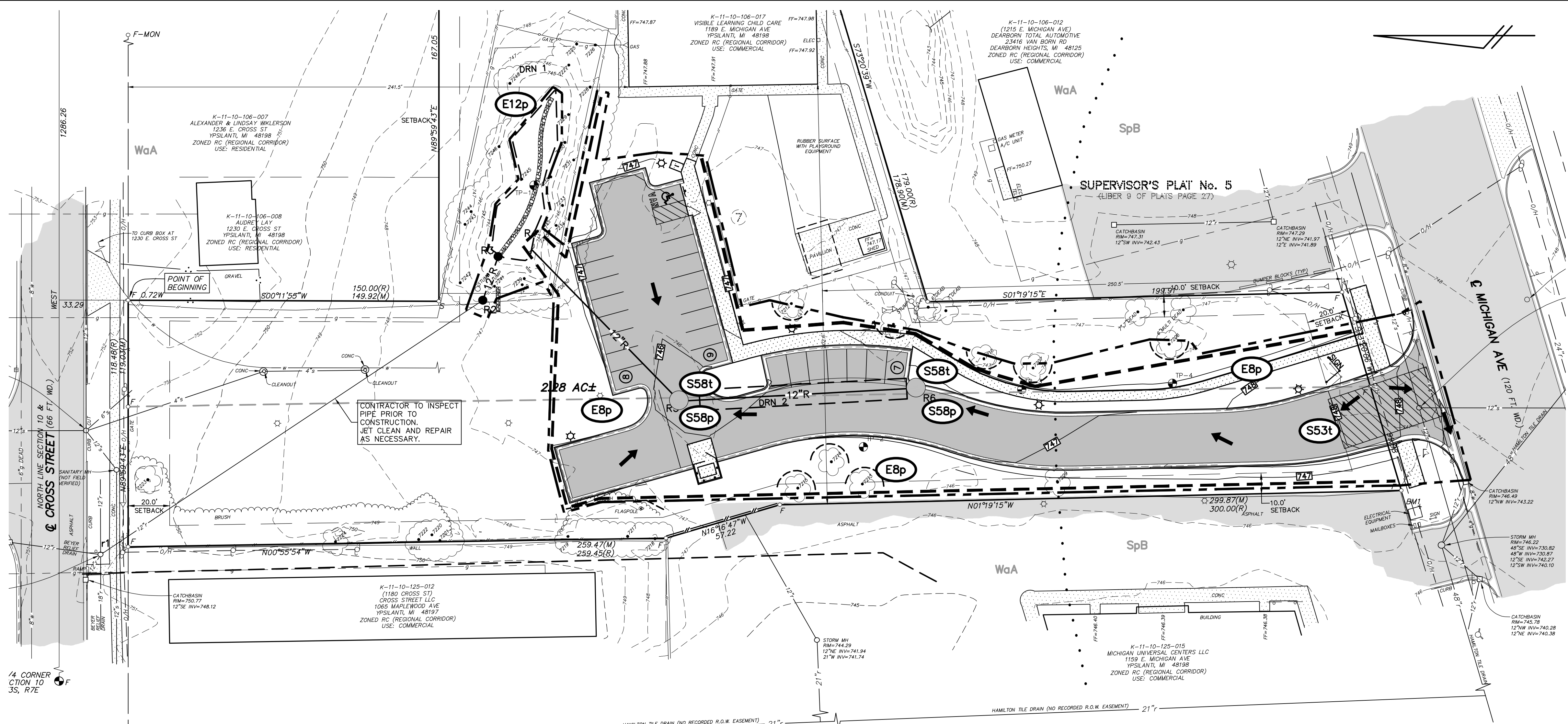
ENGINEER'S CERTIFICATE OF OUTLET

Date: November 8, 2023
 Development Name: 1189 E. Michigan Ave.
 Twp. of: Ypsilanti, Sec. 10
 Washtenaw County, Michigan

I hereby certify that the existing Hamilton Tile Drain is the only reasonable available storm water outlet for the proposed storm water management system and that the existing drain has sufficient capacity to serve as an adequate outlet for the proposed system, without detriment to or diminution of the drainage service that the existing outlet presently provides.

Signed: *Seth A. Garner, P.E.*
 Seth A. Garner, P.E.
 BETH A. GARNER ENGINEER
 NO. 55111

SPROJECTS: VISIBLE LEARNING CENTER/CERTIFICATE OF OUTLET 144
 POST OFFICE BOX 1138 • 3838 WEST LIBERTY ROAD • SUITE 400 • ANN ARBOR, MICHIGAN 48106 • TELEPHONE 734-761-8800
 www.washtenawengineering.com



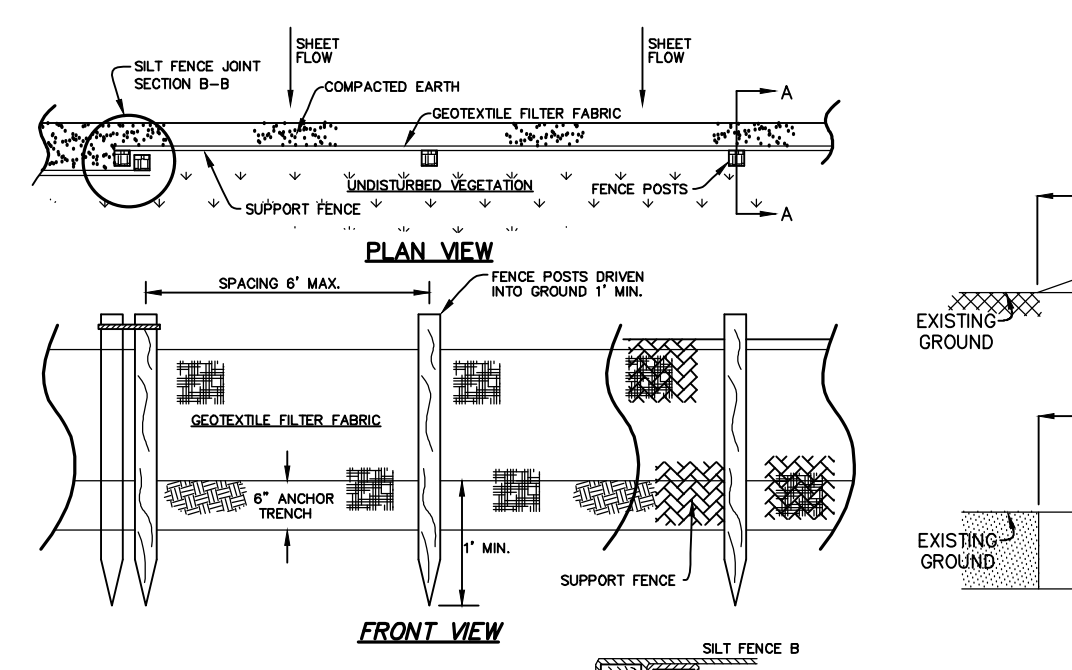
ELEVATION

SNOW FENCE SHALL BE LOCATED AT THE OUTER PERIMETER OF THE SPREAD OF THE BRANCHES, OR CLOSER ONLY AT THE DIRECTION OF THE ENGINEER.

PLAN

STANDARD STEEL OR WOODEN FENCE POST
 STANDARD 48" HIGH SNOW FENCE

TREE PROTECTION FENCING
 NOT TO SCALE



PLAN VIEW

FRONT VIEW

SECTION A-A

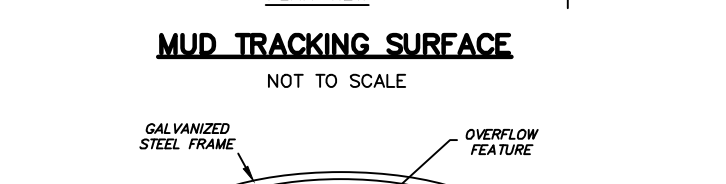
SECTION B-B

SILT FENCE DETAIL (SS1)

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SpB - SPINKS LOAMY SAND, 0 TO 6 PERCENT SLOPES
 WaA - WASEPI SANDY LOAM, 0 TO 4 PERCENT SLOPES

SOILS ARE BASED ON USDA SOIL SURVEY OF WASHTENAW COUNTY.



MUD TRACKING SURFACE
 NOT TO SCALE

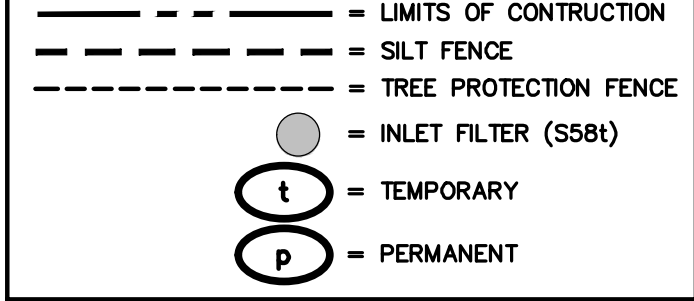
INLET PROTECTION FABRIC DROP DETAIL (SS8t)

NOT TO SCALE

MICHIGAN OFFICE OF MANAGEMENT & BUDGET KEYING SYSTEM

| Code | Description | Notes |
|------|--------------------------------|---|
| E8 | PERMANENT SEEDING | Stabilization method utilized on sites where earth change has been completed (final grading attained). |
| S51 | SILT FENCE | Use adjacent to critical areas, to prevent sediment laden sheet flow from entering these areas. |
| S53 | STABILIZED CONSTRUCTION ACCESS | Used at every point where construction traffic enters or leaves a construction site. |
| S58 | INLET PROTECTION FABRIC DROP | Use at stormwater inlets, especially at construction sites. |
| E10 | SODDING | On areas and slopes where immediate stabilization is required. |
| E12 | RIPRAP | Use along shorelines, waterways, or where concentrated flows occur. Slows velocity, reduces sediment load, and reduces erosion. |

SOIL EROSION CONTROL LEGEND



MAINTENANCE SCHEDULE DURING CONSTRUCTION

| Tasks | Storm Sewer System | Catch Basin Stumps | Catch Basin Inlets | Ditches and Swales | Outfall Control Structures | Rip-Rap | Filtration Basins | Storm Detention Areas | Wetlands | Emergency Overflows | Scheduled Frequency |
|--|--------------------|--------------------|--------------------|--------------------|----------------------------|---------|-------------------|-----------------------|----------|---------------------|--|
| Inspect for Sediment Accumulation | X | X | X | X | X | X | X | X | X | X | Weekly |
| Removal of Sediment Accumulation | X | X | X | X | X | X | X | X | X | X | As Needed ⁽¹⁾ & prior to turnover |
| Inspect for floatables and debris | X | X | X | X | X | X | X | X | X | X | Quarterly |
| Cleaning of floatables and debris | X | X | X | X | X | X | X | X | X | X | Quarterly & at turnover |
| Inspect for erosion | X | X | X | X | X | X | X | X | X | X | Weekly |
| Re-establish permanent vegetation on eroded slopes | X | X | X | X | X | X | X | X | X | X | As Needed & at turnover |
| Replacement of stone | X | X | X | X | X | X | X | X | X | X | As Needed & prior to turnover |
| Mowing | X | X | X | X | X | X | X | X | X | X | 0-2 Times per year |
| Inspect Stormwater system components during wet weather and compare to as-built plans by professional engineer | X | X | X | X | X | X | X | X | X | X | Annually and at turnover |
| Make adjustments or replacements as determined by annual wet weather inspection | X | X | X | X | X | X | X | X | X | X | As Needed |

(1) As Needed means when sediment has accumulated to a maximum of one foot. Following construction, it is the developer's responsibility to perform the maintenance. No chemicals are allowed in stormwater features or buffer zones with the following exception: invasive species may be treated with chemicals by a certified applicator. Mowing is only allowed twice per year. The owner, Visible Learning Center, is required to pay for all maintenance activities on a continuing basis.

ANNUAL MAINTENANCE BUDGET (PERMANENT)

| Item No | Description | Annual Cost |
|-----------------------------------|---|-------------|
| 1 | Semi-Annual Inspection for sediment accumulation | \$200.00 |
| 2 | Removal of sediment accumulation every 2 years as needed | \$500.00 |
| 3 | Inspect for floatable & debris annually and after major storms | \$100.00 |
| 4 | Removal of floatables and debris annually and after major storms | \$150.00 |
| 5 | Inspect for erosion annually and after major storms | \$150.00 |
| 6 | Re-establish permanent vegetation on eroded slopes as needed | \$350.00 |
| 7 | Replacement of stone as needed | \$500.00 |
| 8 | Clean streets every 6 months as needed | \$250.00 |
| 9 | Mowing 0-2 times per year | \$300.00 |
| 10 | Inspect structural elements during wet weather and compare to as-built plans every 2 years | \$150.00 |
| 11 | Make structural adjustments or replacements as determined by inspection as needed | \$400.00 |
| 12 | Have a professional engineer carry out emergency inspections upon identification of severe problems | \$200.00 |
| 13 | Records Maintenance | \$100.00 |
| Estimated Annual Maintenance Cost | | \$3,350.00 |

MAINTENANCE SCHEDULE AFTER CONSTRUCTION (PERMANENT)

| Tasks | Catch Basin Inlet Casings | Ditches and Swales | Outfall Control Structure | Rip-Rap | ADS Flexstorm Permanent Filtration | Storm Detention Basin | Emergency Overflow | Schedule |
|--|---------------------------|--------------------|---------------------------|---------|------------------------------------|-----------------------|--------------------|--|
| Inspect for Sediment Accumulation | X | X | X | X | X | X | X | Semi-Annually |
| Removal of Sediment Accumulation | X | X | X | X | X | X | X | Every 2 Years As Needed ⁽¹⁾ |
| Inspect for floatables and debris | X | X | X | X | X | X | X | Annually |
| Cleaning of floatables and debris | X | X | X | X | X | X | X | As Needed |
| Inspect for erosion | X | X | X | X | X | X | X | Annually |
| Re-establish permanent vegetation on eroded slopes | X | X | X | X | X | X | X | As Needed |
| Replacement of stone | X | X | X | X | X | X | X | Every 3-5 years as needed |
| Clean Streets | X | X | X | X | X | X | X | As Needed |
| Mowing | X | X | X | X | X | X | X | 0-2 Times per year |
| Inspect stormwater system components during wet weather and compare to as-built plans by professional engineer | X | X | X | X | X | X | X | Annually |
| Inspect stormwater system infiltration BMP components following storms of 1 inch or more | X | X | X | X | X | X | X | As Needed |
| Make adjustments or replacements as determined by annual wet weather inspection | X | X | X | X | X | X | X | As Needed |
| Keep records of all inspections and maintenance activities | X | X | X | X | X | X | X | Annually |
| Keep records of all costs for inspections, maintenance and repairs. | X | X | X | X | X | X | X | Annually |

(1) As Needed for removal of sediment accumulation means when sediment has accumulated to a maximum of one foot. Following construction, it is the responsibility of the owner, Visible Learning Center, to perform the maintenance. No chemicals are allowed in stormwater features or buffer zones with the following exception: invasive species may be treated with chemicals by a certified applicator. Mowing is only allowed twice per year. The owner, Visible Learning Center, is required to pay for all maintenance activities on a continuing basis.

SOIL EROSION CONTROL NOTES:

- ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF YPSILANTI TOWNSHIP AND WASHTENAW COUNTY.
- DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR FOR EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES AND WHEN NECESSARY, REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
- EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS, WHICH INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
- EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION; SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THIS SITE.
- THE OWNER SHALL OBTAIN OR CAUSE HIS CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS, PAY ALL FEES AND POST ALL BONDS TO EACH AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER EROSION CONTROL MEASURES ON THIS PROJECT.
- ALL CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES WHEN REQUIRED AND AS DIRECTED ON THIS PLAN. HE SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES AND OTHER CHANGES HAVE BEEN ACCOMPLISHED.
- THE CONTRACTOR IS TO PROTECT AS MUCH EXISTING VEGETATION AS POSSIBLE.
- ALL MUD, DIRT AND DEBRIS TRACKED ONTO EXISTING ROADS FROM THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR AND/OR BUILDER. ALL MUD, DIRT AND DEBRIS TRACKED ONTO PAVED SURFACES WITHIN THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR AND/OR BUILDER.
- ANY SOIL EROSION CONTROL MEASURES DAMAGED BY THEIR CONTRACTOR'S OPERATION SHALL BE REPLACED THE SAME DAY.
- INSTALLATION OF PERMANENT ADS FLEXSTORM FILTRATION INLET PROTECTION IN STRUCTURES R5 AND R6 IS REQUIRED AS PART OF INSTALLING PERMANENT SOIL EROSION CONTROL MEASURES. SEE SHEET 6, STORM WATER MANAGEMENT PLAN.
- PERMANENT SEEDING IN GENERAL SHALL BE PER THE LANDSCAPE PLAN.
- LIMITS OF CONSTRUCTION AREA FOR THIS PROJECT IS 42,730 SFT (0.98± ACRES)
- FEMA FLOOD MAP PANEL 26161C0430E. NOT IN A 100 YEAR FLOOD PLAIN.
- 20 FT± FROM HAMILTON TILE DRAIN.
- ESTIMATED COST OF THE PERMANENT AND TEMPORARY EROSION CONTROL DEVICES IS \$ 9,104.47
- ESTIMATED COST TO PROTECT SITE FROM EROSION SHOULD CONSTRUCTION DISCONTINUE IS \$ 3,000.00.

CONSTRUCTION SEQUENCE - IN SEQUENCE

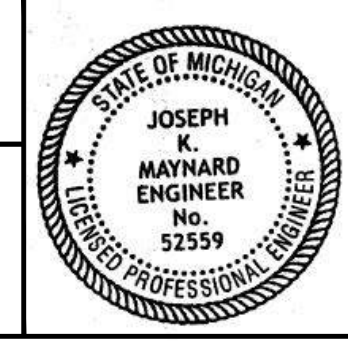
- TEMPORARY CONTROL MEASURES INSTALLED.
- GRAVEL CONSTRUCTION ACCESS INSTALLED.
- LAND CLEARING.
- DETENTION/SEDIMENT BASIN INSTALLED AND STABILIZATION.
- UTILITY INSTALLATION.
- PLACE INLET FILTERS FOR MANHOLES.
- PLACE GRAVEL SURFACE.
- FINAL GRADE/SEED.
- CATCHBASINS/SEDIMENT BASINS INSTALLED.
- PERMANENT CONTROL MEASURES INSTALLED AND FUNCTIONING.
- REMOVE TEMPORARY CONTROL MEASURES.

NOTES:
 1. STORM SEWER PIPE TO BE C76 CLIV RCP
 2. THE CONTRACTOR IS RESPONSIBLE TO ACQUIRE ALL REQUIRED PERMITS FOR THIS PROJECT.

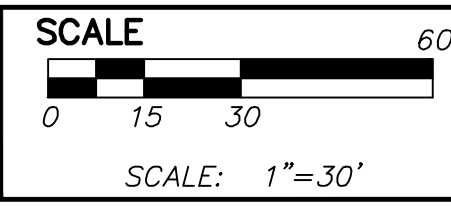
SOIL BORING TESTING LOCATIONS FROM MATERIALS TESTING CONSULTANTS (MTC) INFILTRATION TESTING REPORT, PROJECT NO.231326, JUNE 12, 2023.



Know what's below. Call before you dig.



PREPARED BY: *Joseph K. Maynard*
 JOSEPH K. MAYNARD P.E., MICH No. 52559



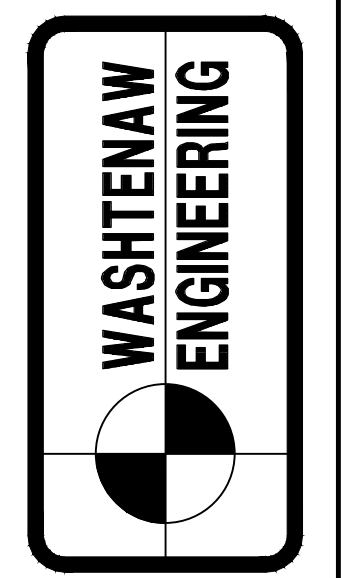
REVISIONS -

LEGEND

| | | | |
|------------------|-----------------|----------------|--------------------------|
| ○ = LIGHT POLE | ○ = SPOT ELEV. | --- = GRAVEL | --- = EXISTING STORM |
| ○ = UTILITY POLE | ○ = POST | --- = FENCE | --- = EXISTING SANITARY |
| ○ = GUY ANCHOR | ○ = MANHOLE | --- = CONCRETE | --- = EXISTING WATER |
| ○ = HYDRANT | ○ = GATE VALVE | --- = ASPHALT | --- = EXISTING GAS |
| | ○ = END SECTION | | --- = EXISTING ELECTRIC |
| | | | --- = EXISTING TELEPHONE |

BENCHMARK BM1=TOP OF S.E. CORNER OF CONCRETE PAD FOR ELECTRICAL EQUIPMENT AT THE SOUTHWEST CORNER OF SITE, ELEV=747.21 (NAVD 88).
 BM2=TOP OF N.E. BOLT OF LIGHTPOLE BASE AT SOUTHWEST CORNER OF PARKING LOT, ELEV=748.38 (NAVD 88).

CIVIL ENGINEERS
 PLANNERS • ARCHITECTS
 LANDSCAPE ARCHITECTS
 3526 W. LIBERTY RD
 SUITE 400
 ANN ARBOR, MI 48103
 TEL: 734-761-8800



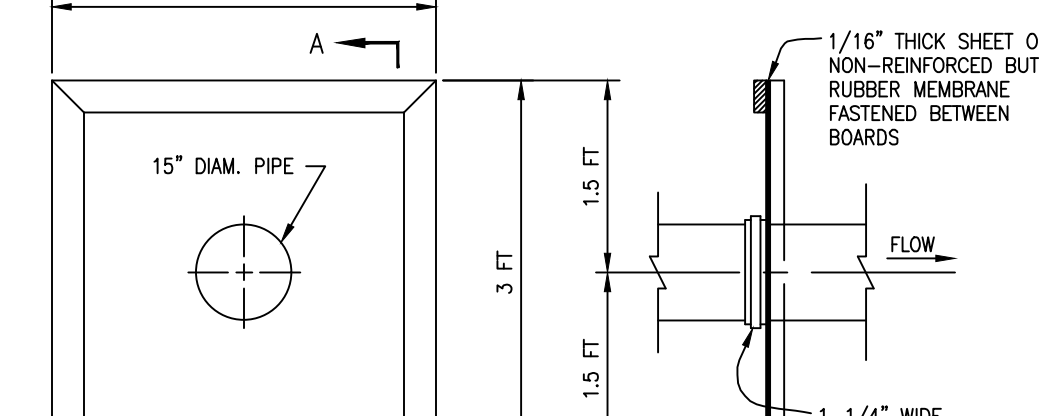
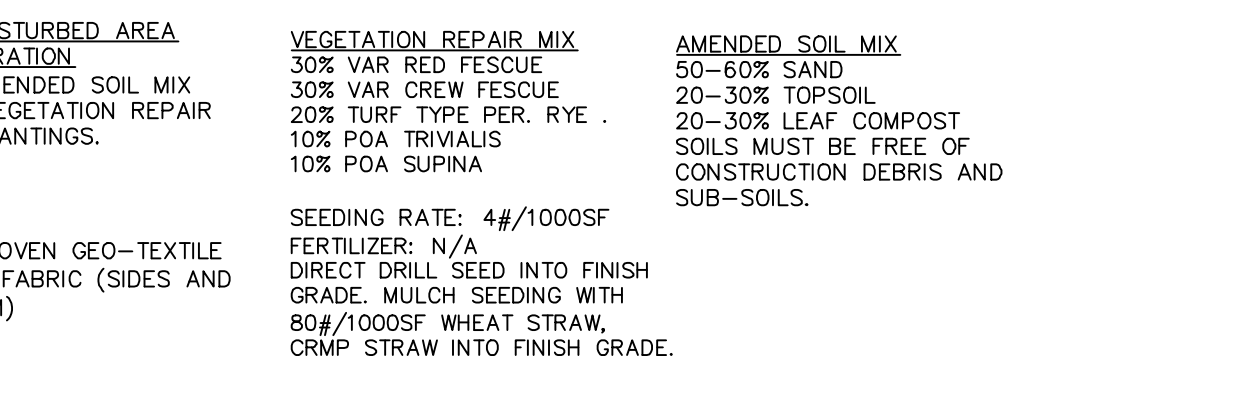
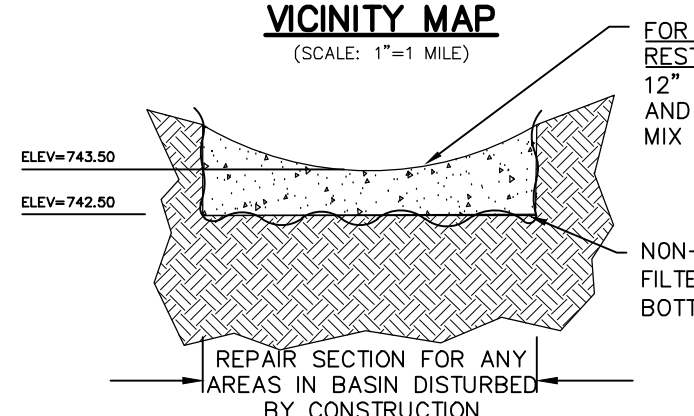
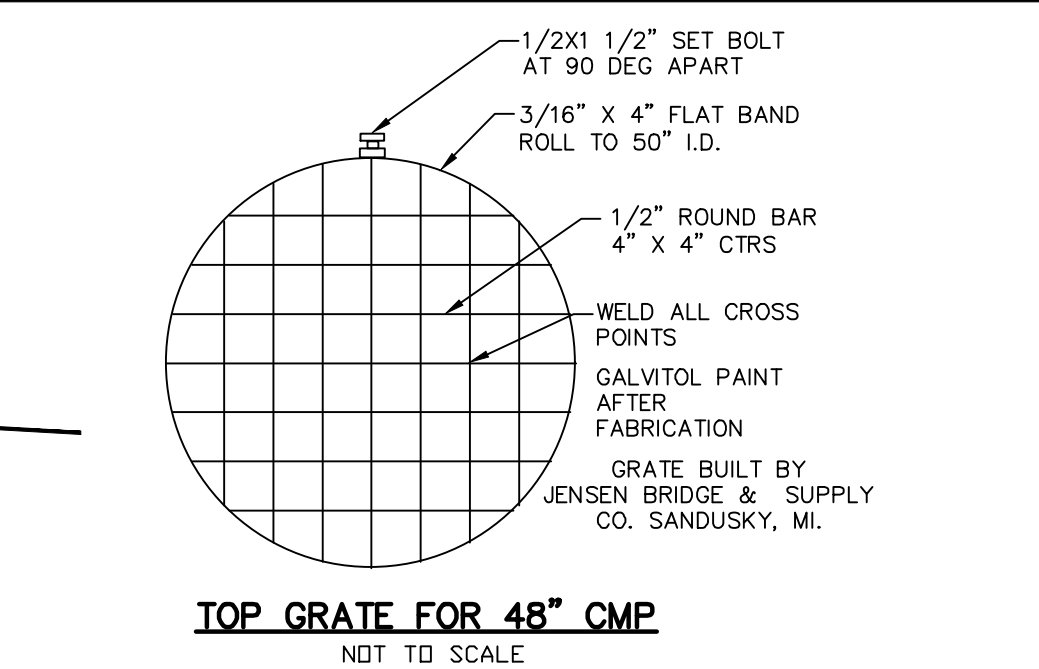
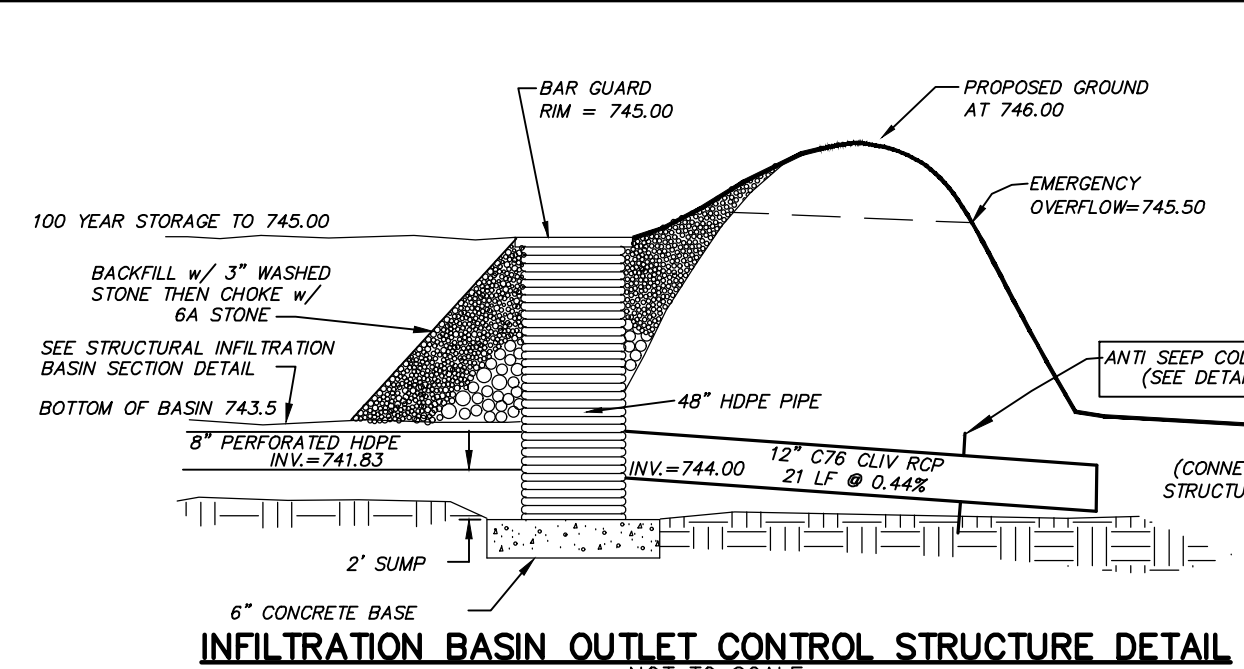
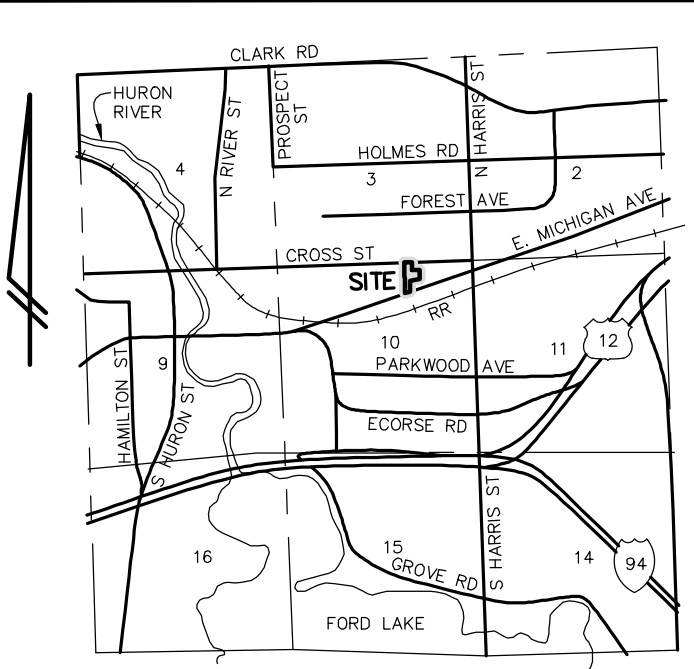
VISIBLE LEARNING CENTER
 1189 E. MICHIGAN AVE
 YPSILANTI, MI 48197
 TEL 734-480-2414
 www.visiblelearningcenter.com

GRADING AND SOIL EROSION CONTROL PLAN

K-11-10-106-018
 1189 E. MICHIGAN AVE
 VISIBLE LEARNING CENTER

SECTION 10 TOWN 3 SOUTH RANGE 7 EAST
 YPSILANTI TOWNSHIP
 WASHTENAW COUNTY • MICHIGAN
 DATE 8-15-2023 JOB NO. 32993
 DWS NO. 983-98-grd
 FIELD BOOK 621-658
 FILE NO. 10797

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING RECORDS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN CORRECTLY REPRESENT THE ACTUAL UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE COMPLETELY ACCURATE. THE SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE TO OR LOSS OF ANY UTILITIES OR OTHER PROPERTY CAUSED BY THE USE OF THIS INFORMATION. THE SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE TO OR LOSS OF ANY UTILITIES OR OTHER PROPERTY CAUSED BY THE USE OF THIS INFORMATION.



STRUCTURAL INFILTRATION BASIN "DRN1" DISTURBED AREA RESTORATION SECTION DETAIL
NOT TO SCALE

Standard Method Runoff Volume Worksheet

Project: **Visible Learning Center**
Basin: **DRN1**
By: **Seh Garner**
Date: **08/20/2023**

Determine Post-Development Cover Types, Areas, Curve Numbers and Runoff Coefficients

Total Site Area = **2.28** Ac
Disturbed Site Area = **0.98** Ac
% Disturbed = **43** %

Rational Method Variables

| Cover Type | Slope (%) | Area (ft ²) | Area (Ac) | C | C(Area) |
|---------------|-----------|-------------------------|-----------|--------|---------|
| Impervious A | 5.48 | 0.1251 | 0.95 | 0.188 | |
| Impervious B | 15.019 | 0.3586 | 0.95 | 0.347 | |
| Pervious (S)A | 4% | 0.0039 | 0.15 | 0.0051 | |
| Pervious (S)B | 4% | 0.0000 | 0.20 | 0.0000 | |
| Pervious (S)C | 8% | 0.0000 | 0.25 | 0.0000 | |
| Pervious (W)A | 4% | 0.0143 | 0.25 | 0.0036 | |
| Pervious (W)B | 4% | 0.0000 | 0.30 | 0.0000 | |
| Pervious (W)C | 8% | 0.0000 | 0.35 | 0.0000 | |

Weighted C = $\sum(C_i \text{Area}_i) / \sum(\text{Area}_i)$ = **0.5319**

NRCS Variables - Pervious Cover

| Cover | Soil Type | Area (ft ²) | Area (Ac) | Curve Number | CN(Area) |
|------------|-----------|-------------------------|-----------|--------------|----------|
| Open Space | Good | 1.475 | 0.039 | 39 | 1.321 |
| Open Space | Good | 0.25 | 0.002 | 61 | 0.8723 |

Weighted CN = $\sum(CN_i \text{Area}_i) / \sum(\text{Area}_i)$ = **46**

NRCS Variables - Impervious Cover

| Cover | Soil Type | Area (ft ²) | Area (Ac) | Curve Number | CN(Area) |
|-------|-----------|-------------------------|-----------|--------------|----------|
| Paved | A | 5.48 | 0.1251 | 98 | 12.2586 |
| Paved | B | 15.019 | 0.3586 | 98 | 35.1428 |

Weighted CN = $\sum(CN_i \text{Area}_i) / \sum(\text{Area}_i)$ = **98**

W9 Runoff Summary & Onsite Infiltration Requirement

First Flush Volume V_{ff} = **1,699** ft³
Pervious-Post Development Bankfull Runoff Volume V_{bf-imp-post} = **0** ft³
Impervious-Cover Post-Development Bankfull Runoff Volume V_{bf-imp-post} = **3,725** ft³
Total BF Volume V_{bf-post} = **3,725** ft³
Pervious - Post Development 100-year Runoff Volume V_{100-imp-post} = **92** ft³
Impervious-Cover Post-Development 100-year Runoff Volume V_{100-imp-post} = **8,555** ft³
Total 100-year Volume V₁₀₀ = **8,647** ft³

Determine Onsite Infiltration Requirement

Subtract the Pre-Development Bankfull Volume from the Post-Development Bankfull Volume

Total Post-Development Bankfull Volume V_{bf-post} = **3,725** ft³
Pre-Development Bankfull Runoff Volume V_{bf-pre} = **23** ft³
Bankfull Volume Difference = **3,702** ft³

Compare the Bankfull Volume Difference with the First Flush Volume. The greater of the two is the Onsite Infiltration Requirement.

Onsite Infiltration Requirement V_{in} = **3,702** ft³

W10 Detention/Retention Requirement

Detention Peak Unit Hydrograph Q₁₀₀ = **238** cfs @ 4:42
Total Site Area (ac) excluding "Self-Creeding" BMPs Area = **0.5319** ac
Q₁₀₀ = Q_{100-pre} + Q_{100-post} = **5.39913255** in
Peak Flow PF = Q₁₀₀ * Area @ 4:42 = **4.81026269** cfs
Δh = PF * 0.15 Area = **4.73047768** cfs
V_{det} = (Δh * PF) / V_{in} = **8,504** ft³

W11 Determine Applicable BMPs and Associated Volume Credits

| Proposed BMP | Infiltration Area (ft ²) | Storage Volume (ft ³) | Rate | Infiltration Volume (ft ³) | During Storm (ft ³) | Total Volume Reduction (ft ³) |
|--------------------------------|--------------------------------------|-----------------------------------|------|--|---------------------------------|---|
| Bio-Retention Basins | | | | | | |
| Rain Gardens | | | | | | |
| Pervious Pavement | | | | | | |
| Dry Wells | | | | | | |
| Structural Infiltration Basins | 1,295 | 3,161 | 0 | 1 | 648 | 3,809 |
| Subsurface Infiltration Bed | 1,000 | 450 | 10 | 1 | 5,000 | 5,450 |

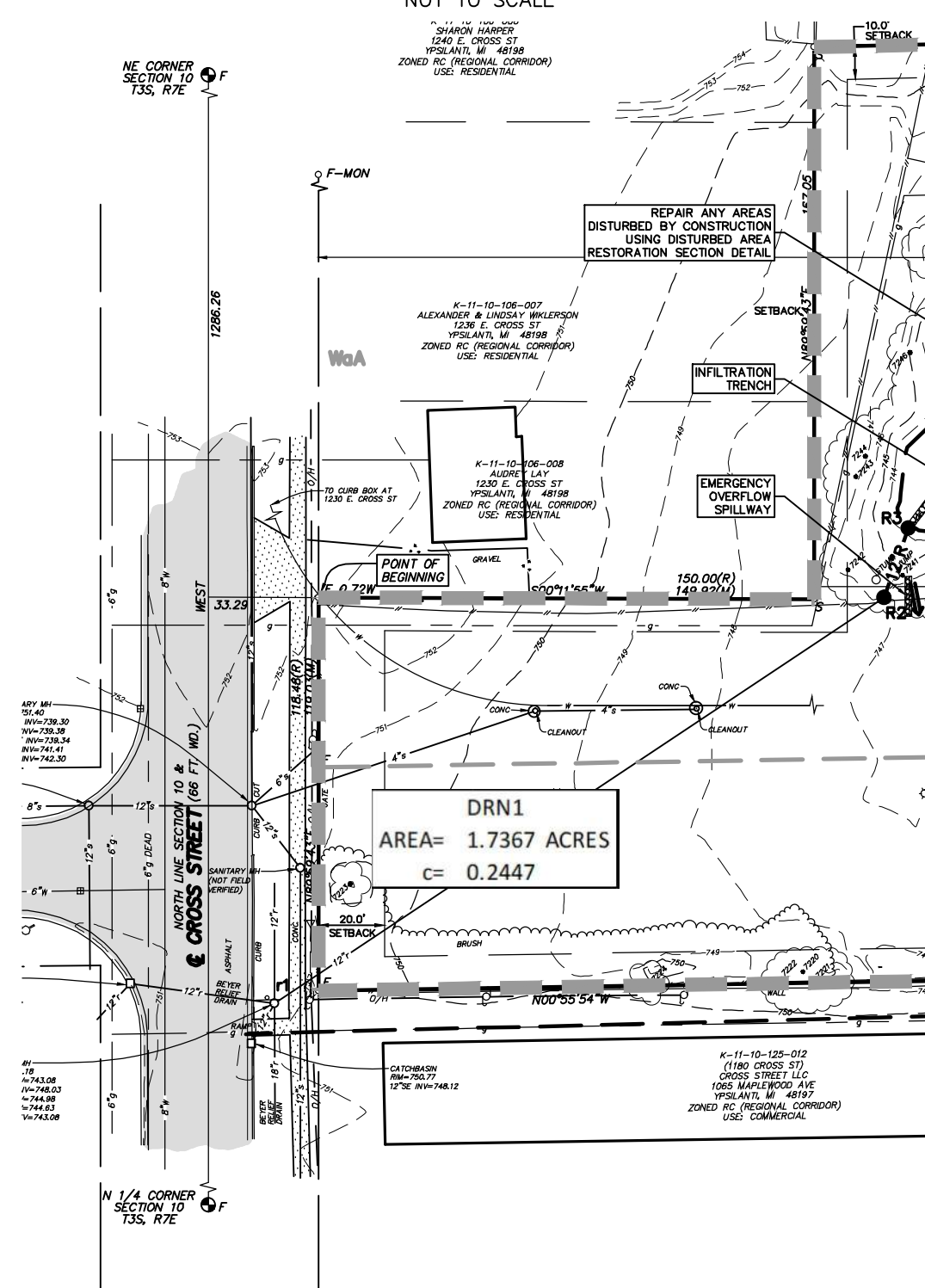
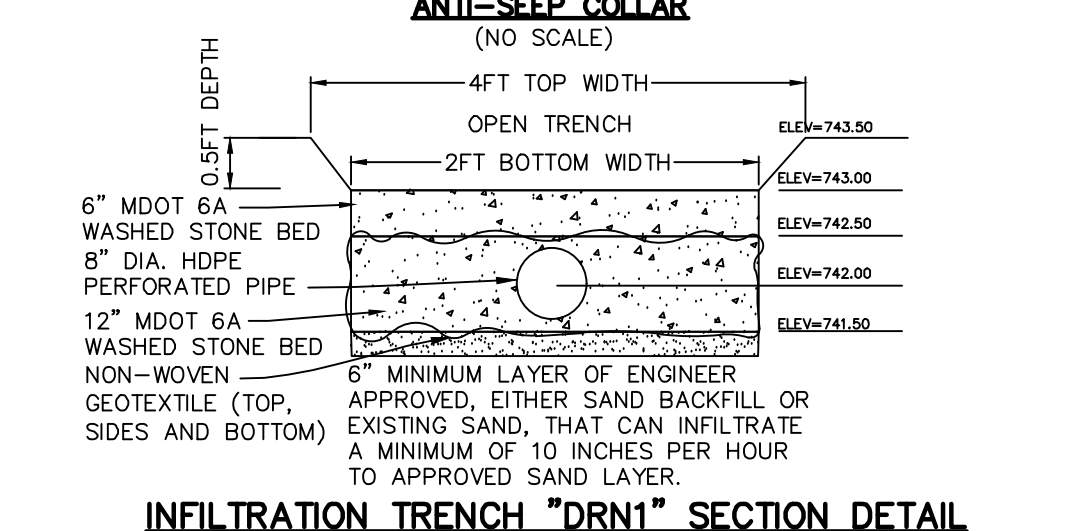
Total Volume Reduction Credit by Proposed Structural BMPs (100%) = **8,504** ft³
Runoff Volume Infiltration Requirement (V_{in}) from W9 = **3,702** ft³
Runoff Volume Credit = **4,802** ft³

NOTES:

- COAT THE PIPE AT THE COLLAR LOCATION WITH BUTYL RUBBER ROOF PATCH CEMENT SEALER OR OTHER BUTYL RUBBER SEALER. (DO NOT USE ASPHALT ROOF PATCH)
- FOR PIPE DIAMETERS OF 1" TO 4", CUT A HOLE (CENTERED) IN THE BUTYL RUBBER APPROXIMATELY 1/2" IN DIAMETER. FOR PIPE DIAMETERS 6" TO 16", CUT A HOLE 3" SMALLER THAN THE DIAMETER OF THE PIPE.
- FORCE THE BUTYL RUBBER OVER THE UPSTREAM END OF THE PIPE AND OVER THE BUTYL RUBBER ROOF SEALER.
- INSTALL A 1-1/4" WIDE STAINLESS STEEL CLAMP AROUND THE PIPE, OVER THE BUTYL RUBBER, AND TIGHTEN UNTIL SEALER IS FORCED OUT.
- STAPLE THE BUTYL RUBBER TO THE LUMBER FRAME.
- THE COMPLETED INSTALLATION MUST BE WATER-TIGHT.
- THE WOOD FRAME SHALL BE CONSTRUCTED FROM EITHER 1" x 4" OR 2" x 2" LUMBER AND SHALL BE RIGID ENOUGH TO WITHSTAND BACKFILL OPERATIONS.

TABLE OF QUANTITIES (PER COLLAR)

| " | BUTYL RUBBER SQ. FT. | STAINLESS STEEL CLAMP | LUMBER LIN. FT. |
|---|----------------------|-----------------------|-----------------|
| 2 | 4 | 1 | 12 |
| 3 | 9 | 1 | 16 |
| 5 | 25 | 1 | 20 |
| 6 | 36 | 1 | 24 |



PROPOSED INFILTRATION AREAS

| NAME | SFT | ACRES | C | SFT | ACRES | C | SFT | ACRES | C | SFT | ACRES | C | TOTAL AREA |
|---------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|------------|
| DRN1 | 0.0000 | 0.95 | 6.937 | 0.1593 | 0.95 | 56.490 | 1.2968 | 0.15 | 0.0000 | 0.20 | 4.425 | 0.1016 | 75.650 |
| DRN2 | 5.448 | 0.1251 | 0.95 | 2.995 | 0.0481 | 0.95 | 1.475 | 0.0339 | 0.15 | 0.0000 | 0.20 | 9.185 | 0.2109 |
| DRN3 | 0.0000 | 0.95 | 13.524 | 0.3105 | 0.95 | 0.0000 | 0.15 | 0.0000 | 0.25 | 4.58 | 0.1015 | 0.25 | 13.882 |
| BASIN 1 | 5.448 | 0.1251 | 0.95 | 15.619 | 0.3586 | 0.95 | 1.475 | 0.0339 | 0.15 | 0.0000 | 0.20 | 625 | 0.0143 |

Compute the NRCS Runoff Curve Number (CN)

CN = $1000 / (1 + 0.0579 * Q - 0.0190 * Q^2 + 0.000074 * Q^3)$

CN = **1000 / (1 + 0.0579 * 46 - 0.0190 * 46^2 + 0.000074 * 46^3)** = **98**

Compute the Time of Concentration (tc) in hours and drainage area in square miles

A minimum time of concentration of 0.167 hours (10 minutes) should be used.

Structure Name: **la** **la/p**
Name: **0.41** **0.41**
R5: **0.25** **0.00069**

Read the peak discharge (qu) from exhibit 4-11 for the appropriate tc for type II distribution.

Structure Name: **la** **la/p**
Name: **0.41** **0.41**
R5: **0.25** **0.00069**

Substituting WQV (watershed inches) for runoff depth (Q), compute the water quality flow (WQF).

WQF = qu * Q

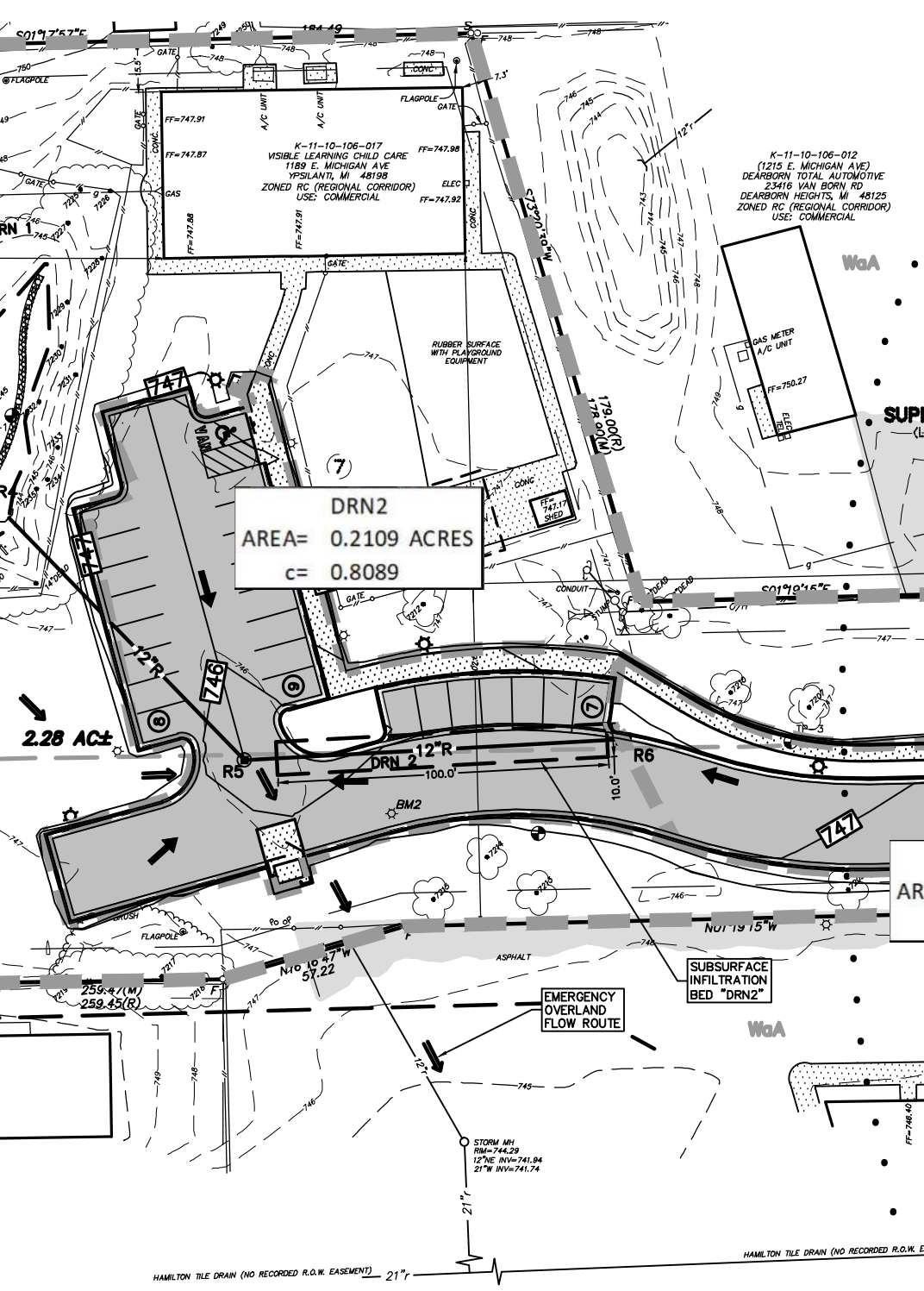
WQF = **0.25** * **0.041** = **0.01025** csm/in

Structure Name: **la** **la/p**
Name: **0.41** **0.41**
R5: **0.25** **0.00069**

Use ADS FLEXSTORM 63MH-RP-PCP FILTER

PROPOSED LEGEND

- CONCRETE CURB & GUTTER (F4)
- MODIFIED CURB & GUTTER (F4)
- CONCRETE GUTTER
- CONCRETE CURB & GUTTER (F6)
- ASPHALT PAVEMENT
- CONCRETE -PAVEMENT
- LIGHTPOLE
- SIGN
- FLOW ARROW
- EMERGENCY OVERFLOW ROUTE



WASHTENAW COUNTY SOIL SURVEY CLASSIFICATION

SpB - SPINKS LOAMY SAND, 0 TO 4 PERCENT SLOPES
WaA - WASEPI SANDY SAND, 0 TO 6 PERCENT SLOPES

SOILS ARE BASED ON USDA SOIL SURVEY OF WASHTENAW COUNTY.

ADS FLEXSTORM PURE INLET FILTERS

Specifications by Nominal Size Range (Min. Values)

| Nominal Bag Size | Solids Storage Capacity (ft ³) | Flow Rate (GPM) | Oil Retention (GPM) | PCP |
|------------------|--|-----------------|---------------------|-----|
| Small | 1.6 | 1.2 | 0.8 | 89 |
| Medium | 2.3 | 1.7 | 1.2 | 89 |
| Large | 3.8 | 2.7 | 1.8 | 89 |
| Extra Large | 4.2 | 3.6 | 2.4 | 178 |

INSTALLATION INSTRUCTIONS:

- REMOVE GRATE
- CLEAN GRATE LEDGE
- SET INLET FILTER ON LOAD BEARING LEDGE OF STRUCTURE
- REPLACE GRATE

STORM WATER NARRATIVE

THE SITE IS LOCATED ALONG E. MICHIGAN AVE. WEST OF THE INTERSECTION WITH N. HARRIS ST. THE SITE WAS PREVIOUSLY DEVELOPED WITH A BUILDING AND PARKING LOT. THERE IS AN EXISTING BASIN IN NORTH EAST CORNER OF THE SITE.

THE PROPOSED PROJECT IS TO DISCONNECT THE DRIVEWAY ACCESS FROM THE NEIGHBORS PROPERTY AND CONNECT IT TO E. MICHIGAN AVE. AND TO BRING THE SITE INTO COMPLIANCE WITH CURRENT REGULATIONS.

THE EXISTING BASIN IS AT A HIGHER POINT IN THE PROPERTY AND DOES NOT APPEAR TO BE TAKING IN WATER. THIS EXISTING BASIN CURRENTLY HAS AN INFILTRATION RATE OF 1 INCH PER HOUR UNDISTURBED. THERE IS AN EXISTING 6" PIPE FOR AN OUTLET FROM THIS BASIN. THE EXISTING PARKING AREA WAS DIRECTLY DISCHARGING THROUGH A STORM PIPE TO THE HAMILTON TILE DRAIN RUNNING THROUGH THE NEIGHBORS PROPERTY TO THE WEST.

THE EXISTING STORM PIPE DISCHARGING THROUGH THE NEIGHBORS PROPERTY TO THE WEST IS BEING REMOVED. THE NEW STORM SEWER SYSTEM WILL DISCHARGE TO THE EXISTING BASIN. IT IS PROPOSED TO INFILTRATE THE NEW IMPERVIOUS SURFACES. FIRST TO A SUBSURFACE INFILTRATION BED BETWEEN STRUCTURES R6 AND REAR TEST PIT 2. SECOND TO THE EXISTING BASIN IN WHICH TEST PIT 1 WAS LOCATED. THESE PROPOSED INFILTRATION AREAS WILL MEET THE INFILTRATION AND 100 YEAR STORAGE REQUIREMENTS. A NEW STANDPIPE OVERFLOW OUTLET IS BEING PROPOSED AND THE EXISTING 6 INCH ORIFICE PIPE REMOVED. THE OUTLET WILL CONNECT TO THE EXISTING 12" STORM PIPE THAT GOES NORTHWEST TO A STRUCTURE IN CROSS ST.

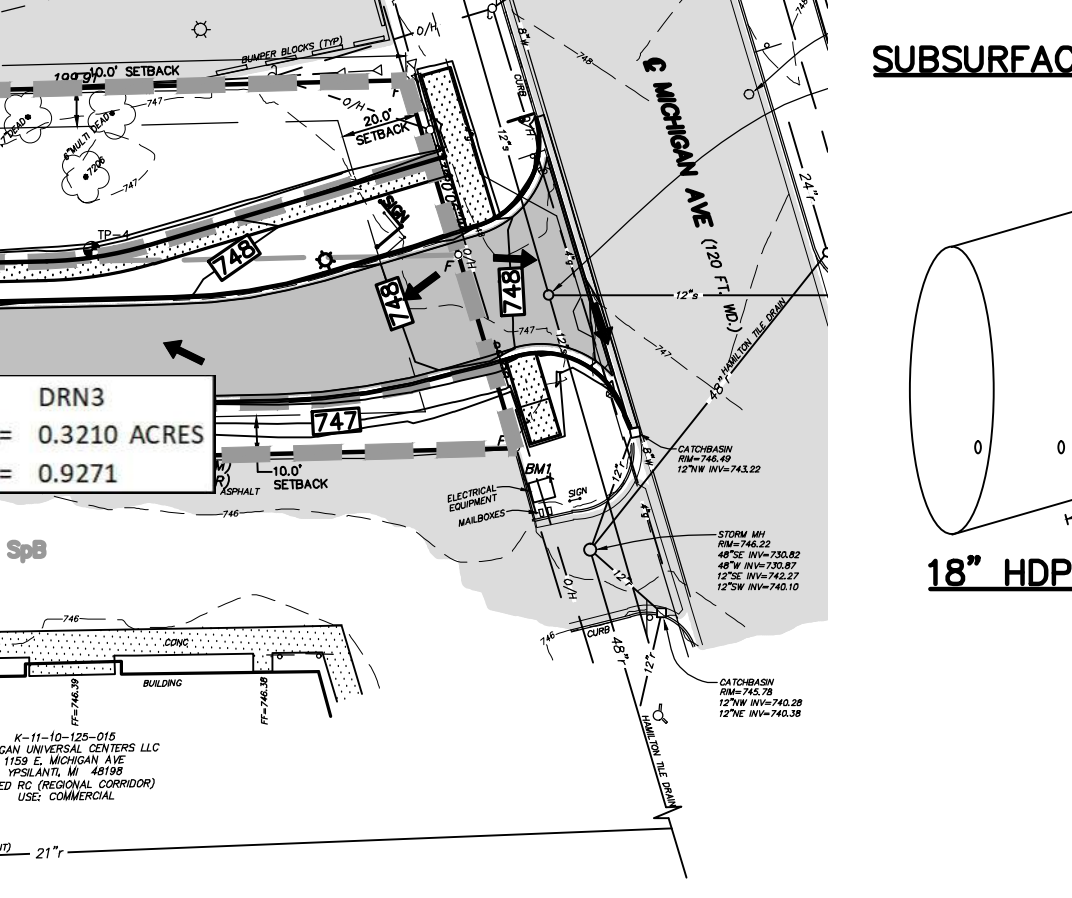
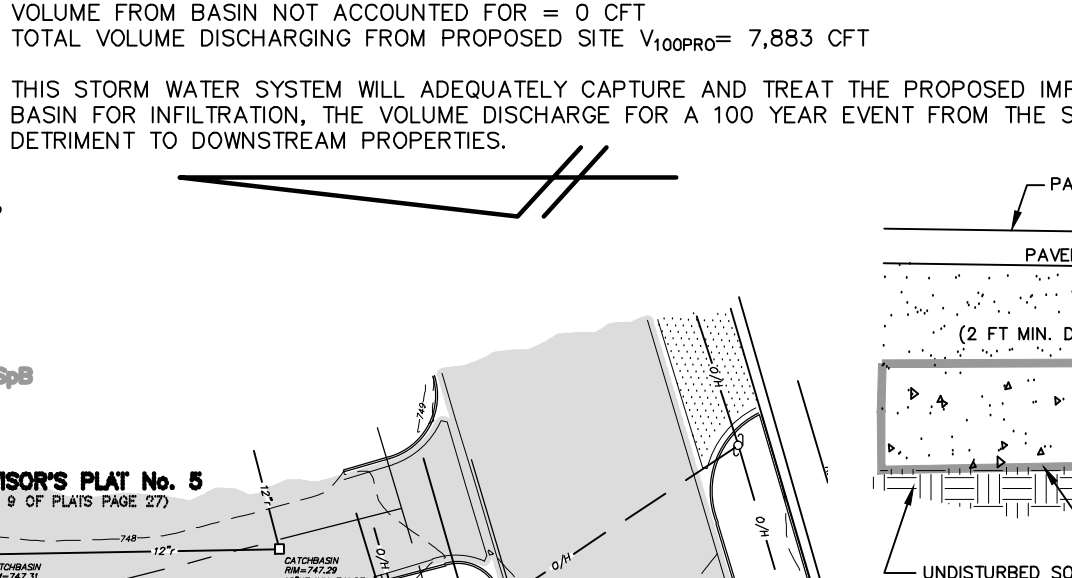
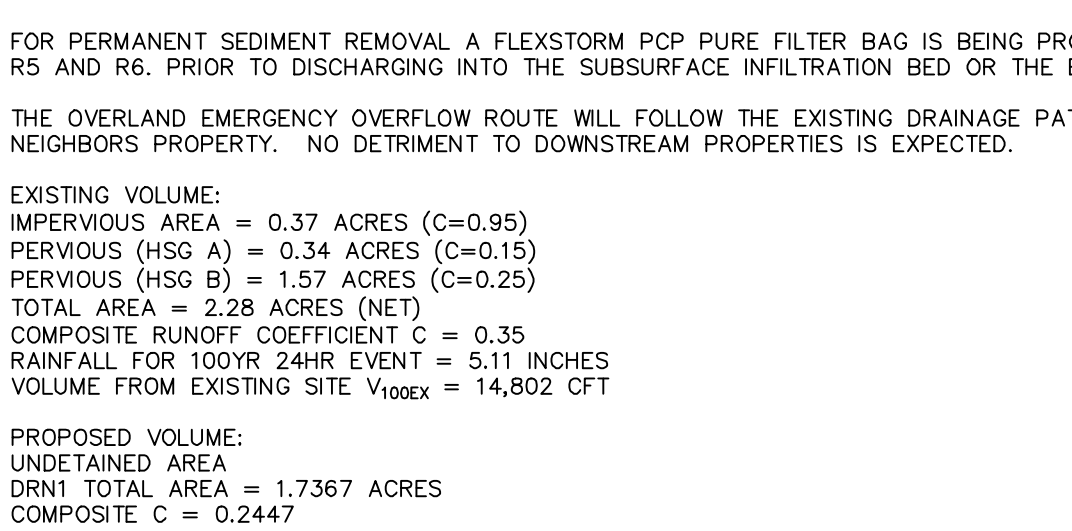
FOR PERMANENT SEDIMENT REMOVAL A FLEXSTORM PCP PURE FILTER BAG IS BEING PROPOSED IN EACH OF THE TWO INLET STRUCTURES, R5 AND R6. PRIOR TO DISCHARGING INTO THE SUBSURFACE INFILTRATION BED OR THE EXISTING BASIN.

THE OVERLAND EMERGENCY OVERFLOW ROUTE WILL FOLLOW THE EXISTING DRAINAGE PATTERN TO THE HAMILTON TILE DRAIN ON THE NEIGHBORS PROPERTY. NO DETRIMENT TO DOWNSTREAM PROPERTIES IS EXPECTED.

EXISTING VOLUME:
IMPERVIOUS AREA = 0.37 ACRES (C=0.95)
PERVIOUS (HSG A) = 0.34 ACRES (C=0.15)
PERVIOUS (HSG B) = 1.57 ACRES (C=0.25)
TOTAL AREA = 2.28 ACRES (NET)
COMPOSITE RUNOFF COEFFICIENT C = 0.35
RAINFALL FOR 100YR 24HR EVENT = 5.11 INCHES
VOLUME FROM EXISTING SITE V_{100exst} = 14,802 CFT

PROPOSED VOLUME:
UNDETAILED AREA = 7.883 CFT
DRN1 TOTAL AREA = 1.7367 ACRES
COMPOSITE C = 0.2447
VOLUME FROM UNDETAILED AREA = 7,883 CFT
VOLUME FROM BASIN NOT ACCOUNTED FOR = 0 CFT
TOTAL VOLUME DISCHARGING FROM PROPOSED SITE V_{100prop} = 7,883 CFT

THIS STORM WATER SYSTEM WILL ADEQUATELY CAPTURE AND TREAT THE PROPOSED IMPROVED AREAS. WITH THE USE OF THE EXISTING BASIN FOR INFILTRATION THE VOLUME DISCHARGE FOR A 100 YEAR EVENT FROM THE SITE WILL BE REDUCED AND WILL NOT CAUSE A DETRIMENT TO DOWNSTREAM PROPERTIES.



Know what's below. Call before you dig.

811

SOIL BORING TESTING LOCATIONS FROM MATERIALS TESTING CONSULTANTS (MTC) INFILTRATION TESTING REPORT, PROJECT NO. 231226, JUNE 12, 2023.

WASHTENAW COUNTY ENGINEERING

SEAL: **JOSEPH K. MAYNARD**
MICHIGAN PROFESSIONAL ENGINEER
NO. 52559

REVISIONS

SCALE: 1" = 50'

PREPARED BY: **Joseph K. Maynard P.E.**, MICH No. 52559

PROJECT: **1189 E. MICHIGAN AVE VISIBLE LEARNING CENTER**

RANGE: **7** EAST

TOWN: **3** SOUTH

SHEET: **9**

DATE: **8-15-2023**

JOB NO.: **329983**

DWG NO.: **983-98-SWMT**

FIELD BOOK: **621-658**

FILE NO.: **10787**

SECTION: **10** TOWN: **3** SOUTH: **7** EAST: **9**

CIVIL ENGINEERS
LANDSCAPE ARCHITECTS
LANDSCAPE ARCHITECTS
3526 W. LIBERTY RD
ANN ARBOR MI 48103
TEL: 734-761-8800

WASHTENAW ENGINEERING

VISIBLE LEARNING CENTER
1189 E. MICHIGAN AVE
YPSILANTI, MI 48197
TEL: 734-480-2414
www.visiblelearningcenter.com

STORM WATER MANAGEMENT PLAN

1189 E. MICHIGAN AVE VISIBLE LEARNING CENTER

PROJECT: **1189 E. MICHIGAN AVE VISIBLE LEARNING CENTER**

RANGE: **7** EAST

TOWN: **3** SOUTH

SHEET: **9**

DATE: **8-15-2023**

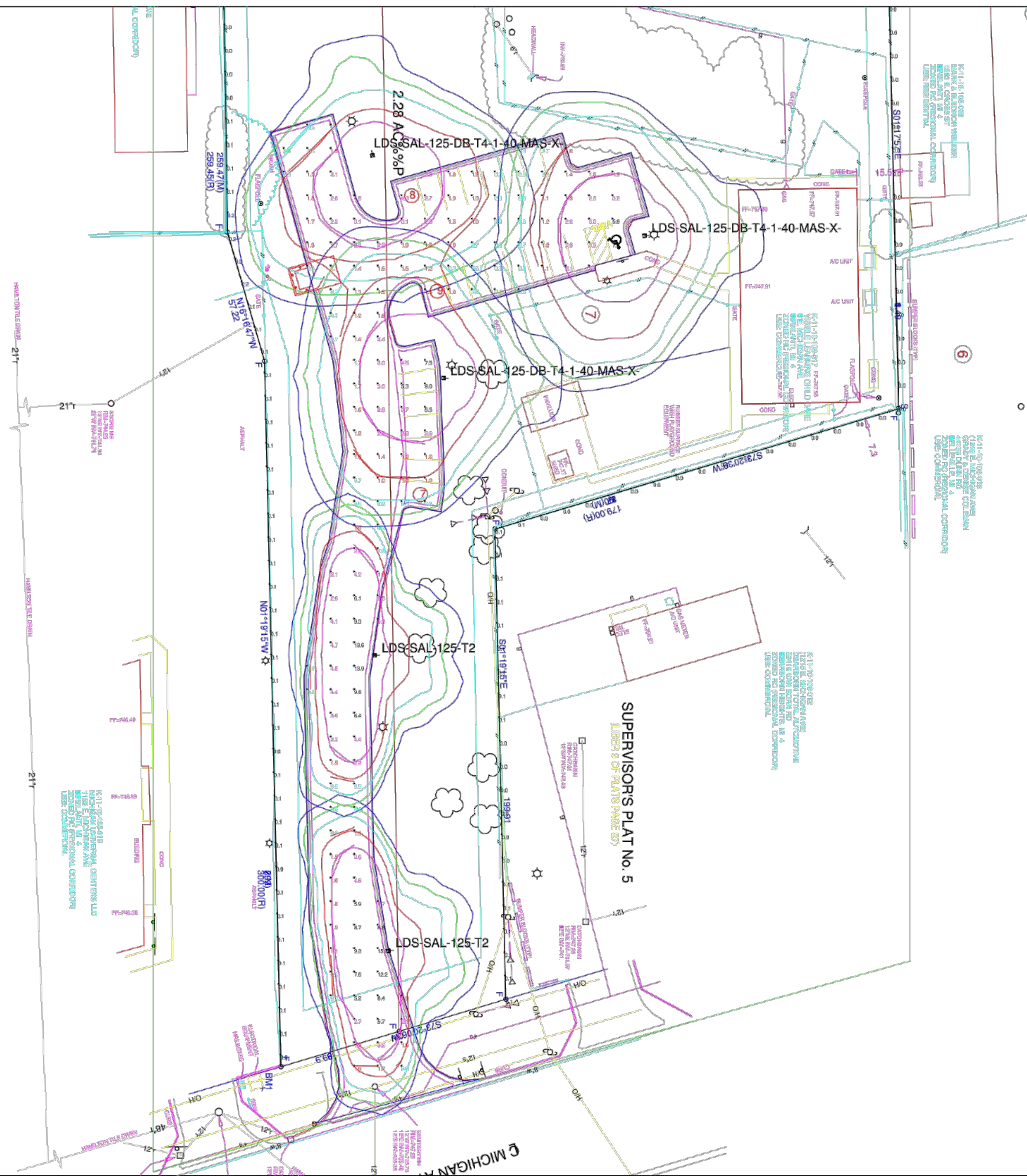
JOB NO.: **329983**

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FILE NO.: **10787**

PREPARED BY: **Joseph K. Maynard P.E.**, MICH No. 52559



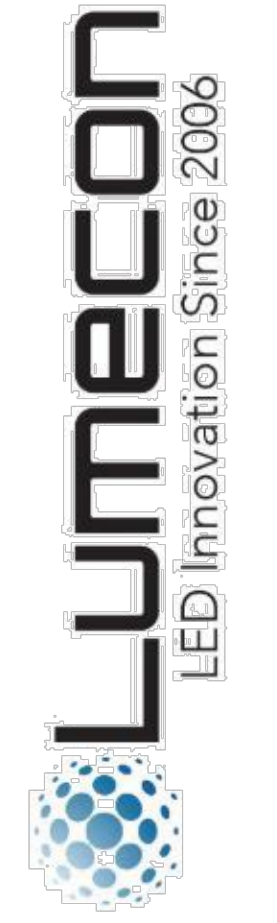
| Luminaire Schedule | | | | | | | |
|--------------------|-----|-------------------------------|-------|--------------------------------|-----------------|------------------|-----------------|
| Symbol | Qty | Label | LLF | Description | Mounting Height | Luminaire Lumens | Luminaire Watts |
| ☐ | 2 | LDS-SAL-125-T2 | 0.890 | LDS-SAL-125-DB-T2-1-40-MAS-X-X | 18 | 17693 | 126.81 |
| ☐ | 3 | LDS-SAL-125-DB-T4-1-40-MAS-X- | 0.890 | LDS-SAL-125-DB-T4-1-40-MAS-X-X | 18 | 17519 | 126.81 |

| Calculation Summary | | | | | | | |
|---------------------|----------|-------------|-----|------|------|---------|---------|
| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min |
| AsphaltLOT | Planar | Illuminance | Fc | 2.57 | 15.0 | 0.4 | 6.43 |
| PropertyLine | | Illuminance | Fc | 0.04 | 0.2 | 0.0 | N.A. |

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE THE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP. THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

Illuminance Values

- 0.2 - 0.29 fc
- 0.3 - 0.49 fc
- 0.5 - 0.99 fc
- 1.0 - 1.99 fc
- 2.0 - 5.0 fc



| # | Date | Comments |
|-----------|------|----------|
| | | |
| Revisions | | |

Drawn By: M. Wozniacki, LC
 Checked By:
 Date: 7/7/2023
 Scale:

Visible Learning Center

H:\Working\328818\328818.dwg, 11/02/2023, 8:41:02 AM, 1:1

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LEGEND
 L = LIGHT POLE
 U = UTILITY POLE
 G = GUY ANCHOR
 H = HYDRANT
 S = SPOT ELEV.
 P = POST
 V = GATE VALVE
 N = SIGN
 TC = TOP OF CURB
 TW = TOP OF WALL
 M = MANHOLE
 C = CATCHBASIN
 E = END SECTION
 G = GRAVEL
 F = FENCE
 C = CONCRETE
 A = ASPHALT
 r = EXISTING STORM
 s = EXISTING SANITARY
 w = EXISTING WATER
 g = EXISTING GAS
 e = EXISTING ELECTRIC
 t = EXISTING TELEPHONE

Lumecon DETROIT SERIES LDS - SAL LED Small Area Light



Description
 The latest fixture design of the LDS-SAL is a blend of modern sophistication and unmatched energy efficiency. The LDS-SAL small area light includes the benefits of superior thermal efficiency, an industry-leading luminaire design, and quality optics ensuring best-in-class photometric results. Optimize photometric design with greater pole spacing, uniformity, and lower energy usage. The LDS-SAL includes luminaire options for 30,000 lumens allowing one-to-one replacements of existing HD fixtures up to 1000 Watt and is a perfect one-grade solution for parking lots, pathways, tennis courts, and many other outdoor applications. Proudly Made in the USA.

Technical Specifications
 Input Voltage: 120-277V or 347-480V
 Housing: One-way aluminum housing with 95% glass polyester powder coat finish for maximum durability. The base aluminum material is prepared using an environmentally-friendly anodize and deep surface cleaning and passivation process. The process results in a more durable conversion layer than traditional chromate conversion coatings and allows maximum adhesion of the powder coating to the aluminum substrate. Housing features an integrated heat sink and driver compartment built into the fixture design.
 Mounting: Mounting arm designed for a square round pole (standard). Additional mounting options include a pole mounting arm adapter.
 Beam Spread: Options
 Effective Projected Area (EPA): 0.33 ft²
 Color Temperature: 2500K, 2700K, 3000K, 4000K (standard), 5000K
 LED Lifetime: All LEDs are rated for a minimum of 100,000 hours of continuous operation at ambient outdoor temperatures from -40°F to 140°F (-40°C to 100°C).
 Color Rendering Index (CRI): Minimum of 80 or higher. CRI 90 available upon request. CRI 90+ not available in 2200K.
 Dimming: 0-10V dimmer dimming capability.
 Custom Option: Lumecon, metalworking, engineered premium acrylic optical lenses to maximize the distribution and uniformity of light while retaining cool. Our simple distribute light at least 27% further and with 20% more uniformity than leading competitors. Lumecon custom lenses meet or exceed what environment that integrates luminaire "hot spot" and use less wattage than typical LED area lights.
 Vandal Resistant: Our lens is also resistant to vandalism with a tamper-proof design making the lens material dense and impact resistant. Its built to withstand high abuse lighting environments.
 Range Protection: Thermally protected CSA/UL listed voltage type surge protector is included and meets ANSI C120.2-2015 Extreme Level. Also meets ECR645-11 Class II EN61683-11 Type II, and UL 61010-1 Energy Related Hazard Protection for surge protection. The device is wired in series with the luminaire input power in order to interrupt power to the luminaire when overcurrent, protecting the LED power supply and driver board from additional electrical surges.

Options & Accessories
 UARP - Universal Adapter Round Pole
 R - Recessed Only
 95 - Recessed Only with Shifting Cap
 79 - Seven-pin Twist Lock Photocell Recessed Only
 PC1 - 120V-277V Button Eye Photocell
 PC2 - 347V-480V Button Eye Photocell
 PC3 - 120V-277V Twist Lock Photocell (10 year warranty)
 PC4 - 347V-480V Twist Lock Photocell (10 year warranty)
 OC1 - On/Off
 OC2 - Dim/High
 OC3 - On/Off w/Photocell
 OC4 - Dim/High w/Photocell
 SC - Split Circuit 1V
 BS - Battery Back-Up
 DIM - 105-205 VAC, 50/60 Hz with 10 position field adjustable selector switch
 DIM-HV - High Voltage 312-530 VAC, 50/60 Hz with 10 position field adjustable selector switch
 DIM-CD - Constant all-night Dimming
 DIM-CD-HV - Constant all-night Dimming, 315-530 VAC 50/60Hz
 DIM-GL - 120 VAC, 50/60 Hz, GL, certified version with gray cover
 DIM-ALC - Adaptive Lighting Control with 2% per year incremental increase to compensate for aging fixture
 DIM-XX - Factory set dimming schedule (10 position selector switch not available)
 BS - Bird Spike (Field Installed)
 BL - Backlight (Loose) snap over LED Array(s) for Backlight Control at the source.

Options and Accessories
 33-00113 - External Glass Shield
 33-00120 - Full Glass Shield

Accessories ordered as a separate line item:

Notes:
 1. For units with 79 the mounting must be installed to a 4x4" post horizontal size per ANSI C110.10-2015. If more than a 4" x 4" post, use PC1 or PC2.
 2. Control as specified with Occupancy Sensor. Use OC2 or OC4 when Occupancy Sensor and Photocell are needed and aiming greater than 80° from horizontal.
 3. Mount onto a PO Mounting Height for proper lens orientation.
 4. Split circuit is only available for 300W, 400W, and 800W models.
 5. Split circuit is not compatible with Occupancy sensor or photocell control.
 6. Split Circuit and Battery Back-up cannot both be in the same housing. Battery Back-up will require external. Battery Back-up will control one of the circuits.
 7. 3000W or greater, and fixed mounts must be ordered for full certification compliance.
 8. Units with Type 2, Type 3 and Type 4 straps.

Lumecon DETROIT SERIES LDS - SAL LED Small Area Light

Ordering Information
 LDS-SAL - Options / Ordering Example: LDS-SAL-110-DB-75-1-80-MA8

| Wattage | Color | Finish/Options | Voltage | Color Temperature | Mounting Methods |
|-----------------|------------------------|----------------|---------------|-------------------|---|
| 30 - 30 Watts | DB - Dark Bronze | T2 - Type II | 1 - 120V-277V | 22 - 2200K* | MAS - Mounting Arm (Square Pole) * For a Round pole, use UARP option |
| 45 - 45 Watts | GR - Gray | T3 - Type III | 2 - 347V-480V | 27 - 2700K* | |
| 60 - 60 Watts | BLK - Black | T4 - Type IV | | 30 - 3000K* | SF - 50° Filter TM - Sensor Mount * |
| 75 - 75 Watts | WH - White | T5 - Type V | | 40 - 4000K | |
| 80 - 80 Watts | CC - Custom Color | | | 60 - 6000K | |
| 85 - 85 Watts | AF - Automotive Finish | | | | |
| 95 - 95 Watts | | | | | |
| 110 - 110 Watts | | | | | |
| 125 - 125 Watts | | | | | |
| 160 - 160 Watts | | | | | |
| 200 - 200 Watts | | | | | |
| 220 - 220 Watts | | | | | |

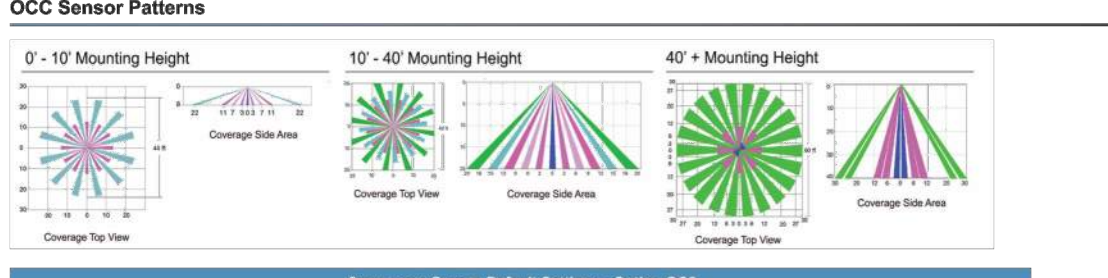
Options & Accessories
 UARP - Universal Adapter Round Pole
 R - Recessed Only
 95 - Recessed Only with Shifting Cap
 79 - Seven-pin Twist Lock Photocell Recessed Only
 PC1 - 120V-277V Button Eye Photocell
 PC2 - 347V-480V Button Eye Photocell
 PC3 - 120V-277V Twist Lock Photocell (10 year warranty)
 PC4 - 347V-480V Twist Lock Photocell (10 year warranty)
 OC1 - On/Off
 OC2 - Dim/High
 OC3 - On/Off w/Photocell
 OC4 - Dim/High w/Photocell
 SC - Split Circuit 1V
 BS - Battery Back-Up
 DIM - 105-205 VAC, 50/60 Hz with 10 position field adjustable selector switch
 DIM-HV - High Voltage 312-530 VAC, 50/60 Hz with 10 position field adjustable selector switch
 DIM-CD - Constant all-night Dimming
 DIM-CD-HV - Constant all-night Dimming, 315-530 VAC 50/60Hz
 DIM-GL - 120 VAC, 50/60 Hz, GL, certified version with gray cover
 DIM-ALC - Adaptive Lighting Control with 2% per year incremental increase to compensate for aging fixture
 DIM-XX - Factory set dimming schedule (10 position selector switch not available)
 BS - Bird Spike (Field Installed)
 BL - Backlight (Loose) snap over LED Array(s) for Backlight Control at the source.

Accessories ordered as a separate line item:
 33-00113 - External Glass Shield
 33-00120 - Full Glass Shield

Notes:
 1. For units with 79 the mounting must be installed to a 4x4" post horizontal size per ANSI C110.10-2015. If more than a 4" x 4" post, use PC1 or PC2.
 2. Control as specified with Occupancy Sensor. Use OC2 or OC4 when Occupancy Sensor and Photocell are needed and aiming greater than 80° from horizontal.
 3. Mount onto a PO Mounting Height for proper lens orientation.
 4. Split circuit is only available for 300W, 400W, and 800W models.
 5. Split circuit is not compatible with Occupancy sensor or photocell control.
 6. Split Circuit and Battery Back-up cannot both be in the same housing. Battery Back-up will require external. Battery Back-up will control one of the circuits.
 7. 3000W or greater, and fixed mounts must be ordered for full certification compliance.
 8. Units with Type 2, Type 3 and Type 4 straps.

Lumecon DETROIT SERIES LDS - SAL LED Small Area Light

Occupancy Sensor Patterns

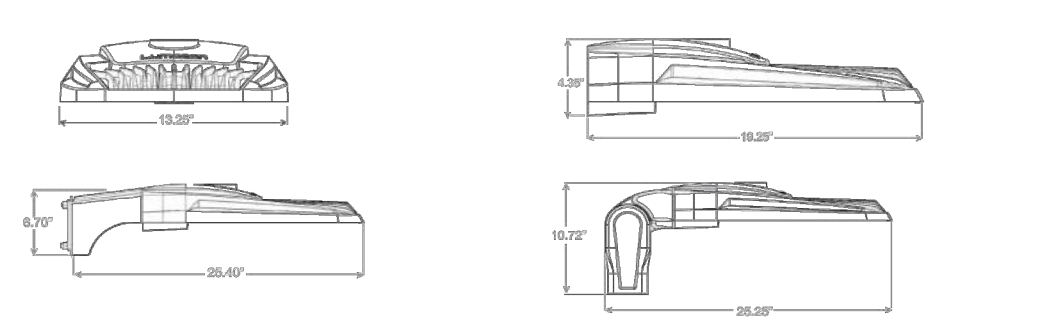


Occupancy Sensor Default Settings - Option OC2


| Option | Dimmed State (Unoccupied) | High Level (When occupied) | Photocell Operation (EOC Option Only) | Dwell Time (Occupancy time delay) | Ramp-up Time (From unoccupied to occupied) | Ramp-up Time (From occupied to unoccupied) |
|-------------|---------------------------|----------------------------|---------------------------------------|-----------------------------------|--|--|
| OC2 and OC4 | Approx. 20% Output | 100% Output | Enabled @ 1.5 FC* | 5 Minutes | Disabled | Disabled |

Dimensions & Weights

| Model | Width | Length | Height | Weight |
|---------|--------|--------|-------------------------------------|--------|
| LDS-SAL | 13.25" | 19.25" | 4.30" 6.77" (MAS) 10.72" (SF) | 15 lbs |



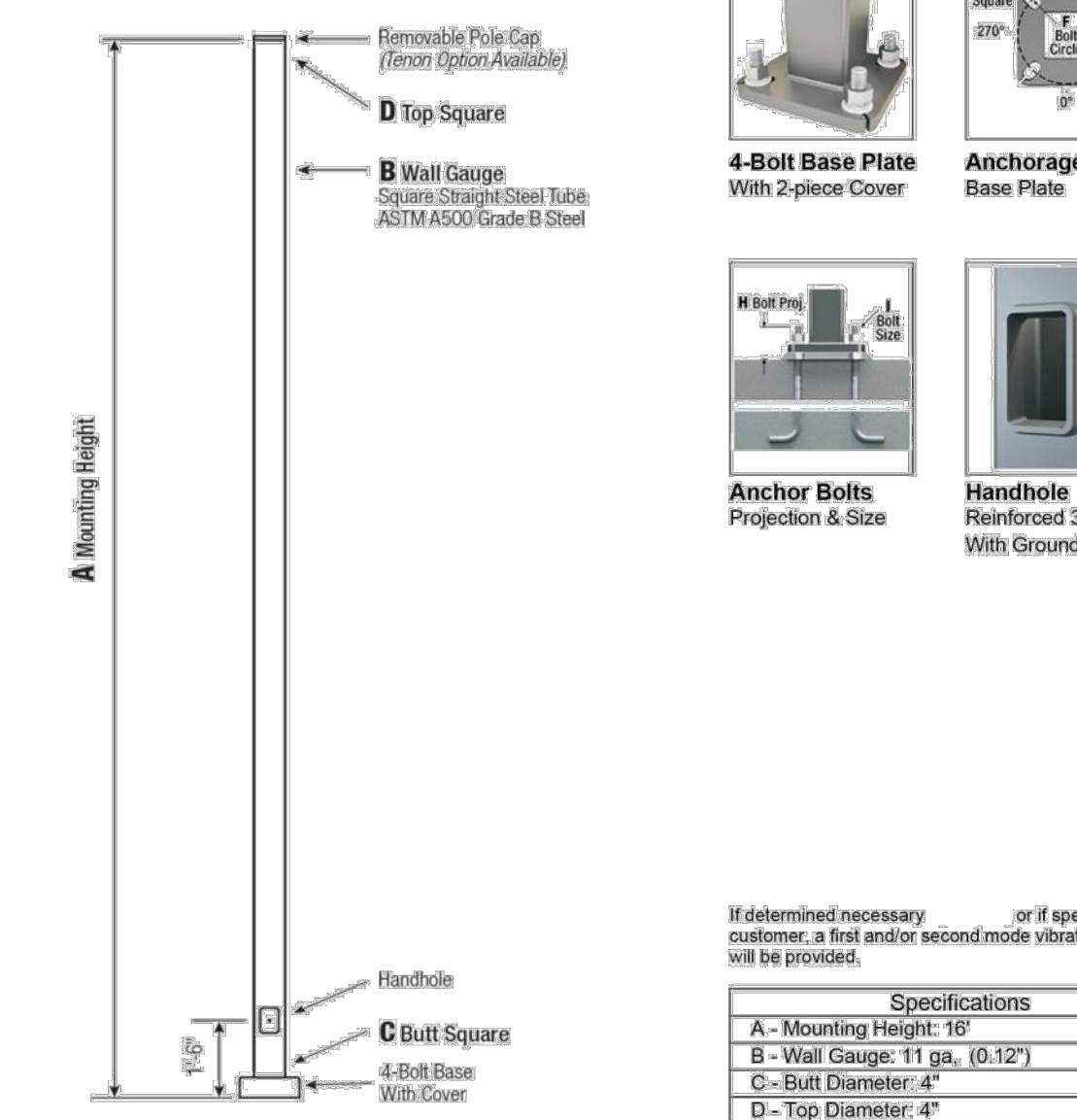
Color Option Samples



Notes:
 *OC2 and OC4 settings including photocell set point, highlow dim rates, and occupancy sensor time delay are all configurable by using the WattStopper® App. If any other settings are desired to be set at the factory, please note these changes on Purchase Order.

Lumecon LED Innovation Since 2006 H-SSS16B4-4-D190-V8

SSS - Square Straight Steel Pole
 16" - 11 ga - 4" Square Steel Pole
 Finish (F): To Be Determined



4-Bolt Base Plate With 2-piece Cover
Anchor Bolts Projection & Size
Handhole Reinforced 3"x5" With Grounding
Removable Pole Cap (Felon Option Available)
D Top Square
B Wall Gauge Square Straight Steel Tube ASTM A500 Grade B Steel
C Butt Square
4-Bolt Base With Cover
Handhole

Specifications
 A - Mounting Height: 16"
 B - Wall Gauge: 11 ga. (0.12")
 C - Butt Diameter: 4"
 D - Top Diameter: 4"
 F - Bolt Circle Range: 8" - 9"
 G - Base Square: 8"
 H - Bolt Proj: 3/32"
 I - Bolt Size: 0.75" x 17" x 3"


Customer Name: _____ **Qty:** 1
Dealer: _____ **Location:** _____
Project: _____
Notes: _____

WARNING: Do not install light pole without luminaire.

Website: 58821

Lumecon DETROIT SERIES LDS - SAL LED Small Area Light

Color Option Samples



Notes:
 1. For units with 79 the mounting must be installed to a 4x4" post horizontal size per ANSI C110.10-2015. If more than a 4" x 4" post, use PC1 or PC2.
 2. Control as specified with Occupancy Sensor. Use OC2 or OC4 when Occupancy Sensor and Photocell are needed and aiming greater than 80° from horizontal.
 3. Mount onto a PO Mounting Height for proper lens orientation.
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 6. Split Circuit and Battery Back-up cannot both be in the same housing. Battery Back-up will require external. Battery Back-up will control one of the circuits.
 7. 3000W or greater, and fixed mounts must be ordered for full certification compliance.
 8. Units with Type 2, Type 3 and Type 4 straps.

SECTION 10 TOWN 3 SOUTH RANGE 7 EAST PROJECT K-11-10-106-018 SHEET 1189 E. MICHIGAN AVE VISIBLE LEARNING CENTER

DATE 8-15-2023 JOB NO. 32983 DWS NO. 983-pfc-photo det FIELD BOOK 621, 658 FILE NO. 10787

SOIL BORING TESTING LOCATIONS FROM MATERIALS TESTING CONSULTANTS (MTC) INFILTRATION TESTING REPORT, PROJECT NO.231326, JUNE 12, 2023.

811 Know what's below. Call before you dig.

JOSEPH K. MAYNARD ENGINEER No. 52559

PREPARED BY *Joseph K. Maynard* JOSEPH K. MAYNARD P.E., MICH No. 52559

LEGEND
 L = LIGHT POLE
 U = UTILITY POLE
 G = GUY ANCHOR
 H = HYDRANT
 S = SPOT ELEV.
 P = POST
 V = GATE VALVE
 N = SIGN
 TC = TOP OF CURB
 TW = TOP OF WALL
 M = MANHOLE
 C = CATCHBASIN
 E = END SECTION
 G = GRAVEL
 F = FENCE
 C = CONCRETE
 A = ASPHALT
 r = EXISTING STORM
 s = EXISTING SANITARY
 w = EXISTING WATER
 g = EXISTING GAS
 e = EXISTING ELECTRIC
 t = EXISTING TELEPHONE

BENCHMARK BM1=TOP OF SELY CORNER OF CONCRETE PAD FOR ELECTRICAL EQUIPMENT AT THE SOUTHWEST CORNER OF SITE, ELEV=747.21 (NAVD 88).
 BM2=TOP OF NELY BOLT OF LIGHTPOLE BASE AT SOUTHWEST CORNER OF PARKING LOT, ELEV=748.38 (NAVD 88).

REVISIONS

SCALE NO SCALE

CIVIL ENGINEERS
 PLANNERS • SURVEYORS
 LANDSCAPE ARCHITECTS
 3526 W. LIBERTY RD
 SUITE 400
 ANN ARBOR MI 48103
 TEL: 734-761-8600

WASHTEANAW ENGINEERING

VISIBLE LEARNING CENTER
 1189 E. MICHIGAN AVE
 YPSILANTI, MI 48197
 TEL 734-480-2414
 www.visiblelearningcenter.com

PROJECT K-11-10-106-018 SHEET 1189 E. MICHIGAN AVE VISIBLE LEARNING CENTER

DATE 8-15-2023 JOB NO. 32983 DWS NO. 983-pfc-photo det FIELD BOOK 621, 658 FILE NO. 10787

SOIL BORING TESTING LOCATIONS FROM MATERIALS TESTING CONSULTANTS (MTC) INFILTRATION TESTING REPORT, PROJECT NO.231326, JUNE 12, 2023.

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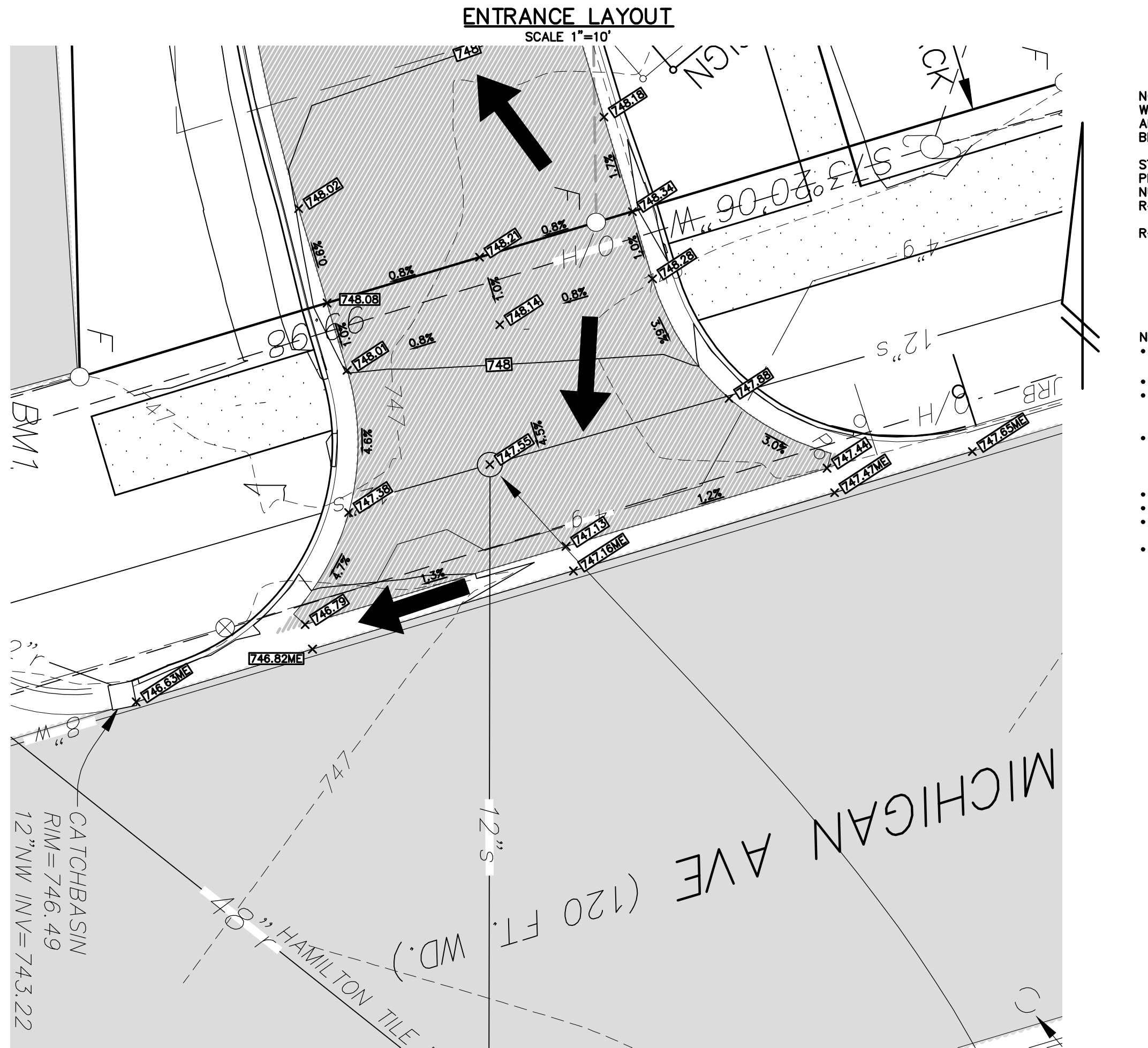
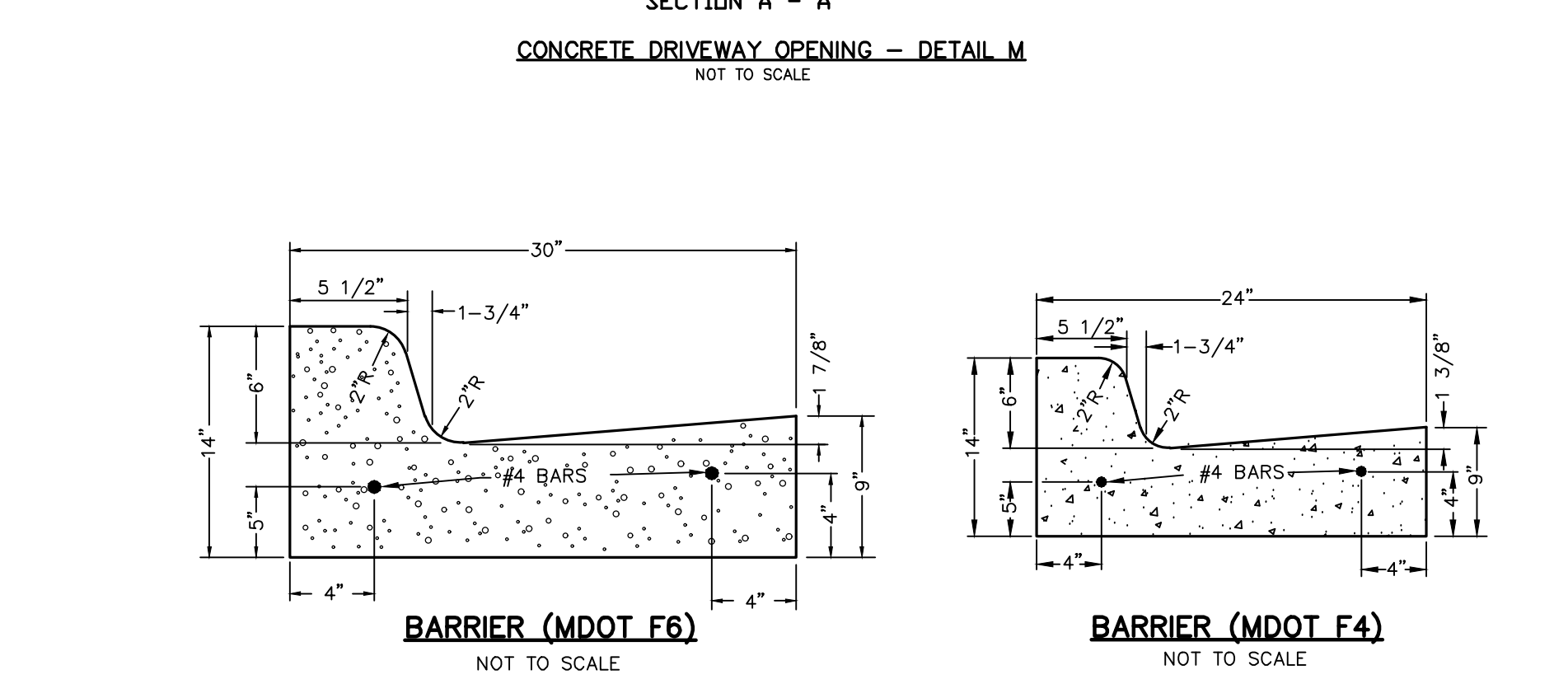
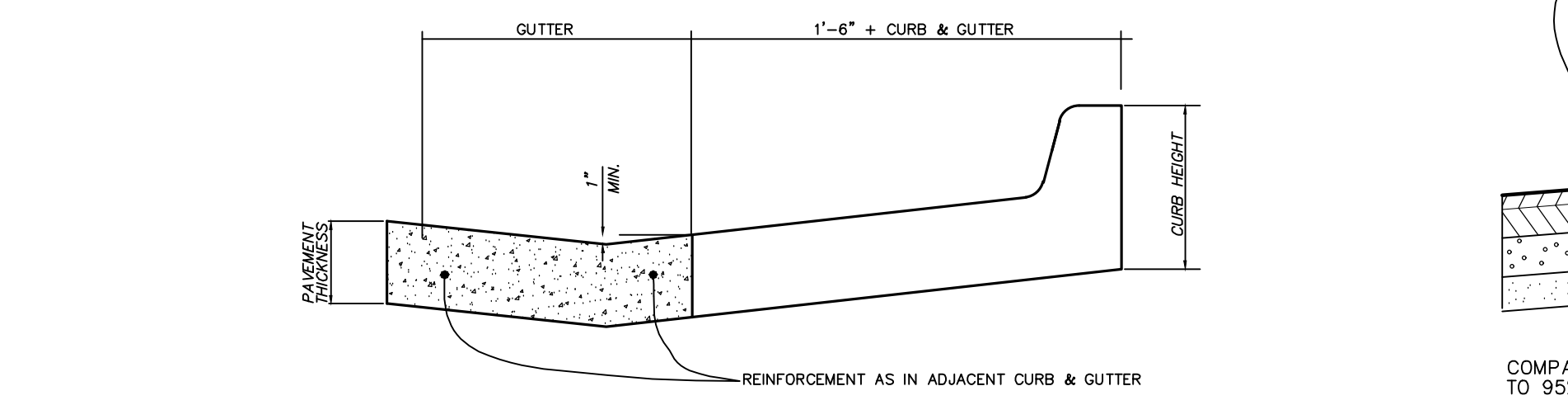
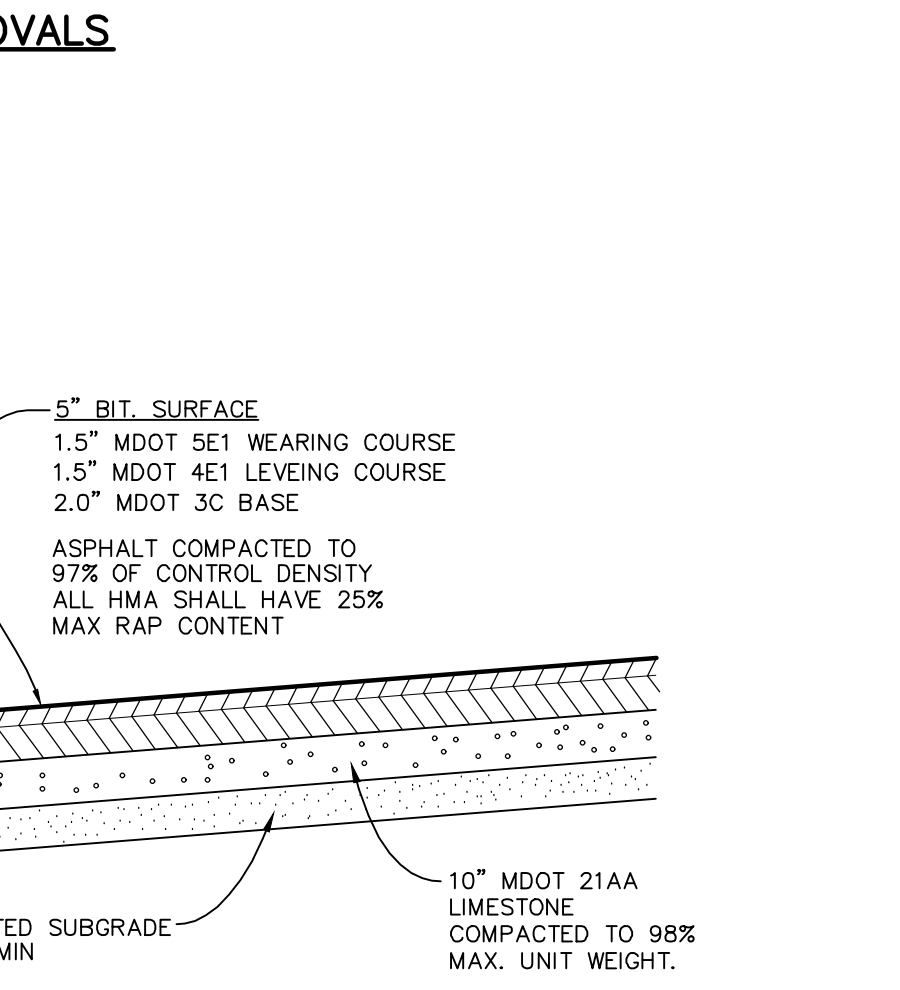
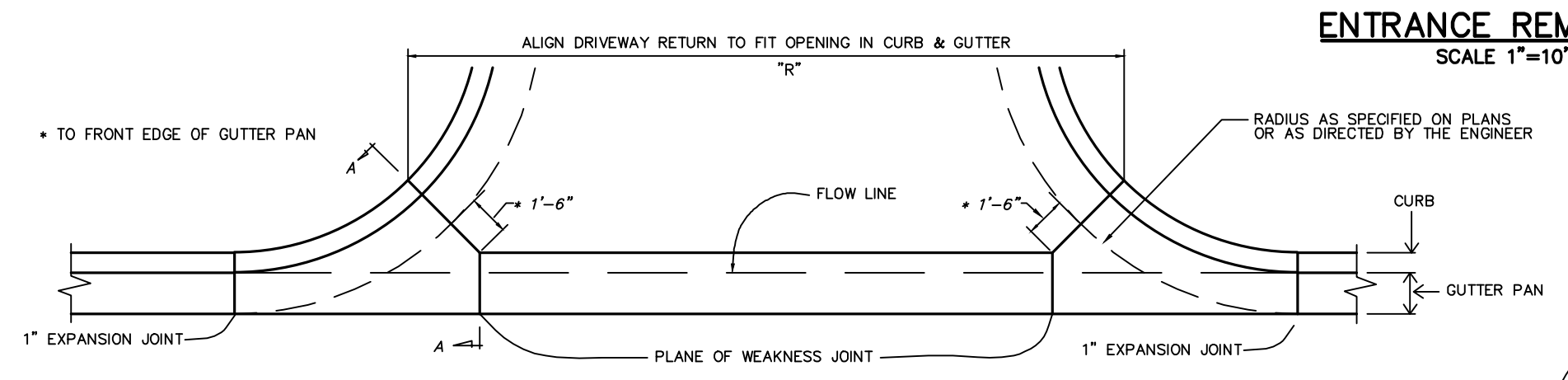
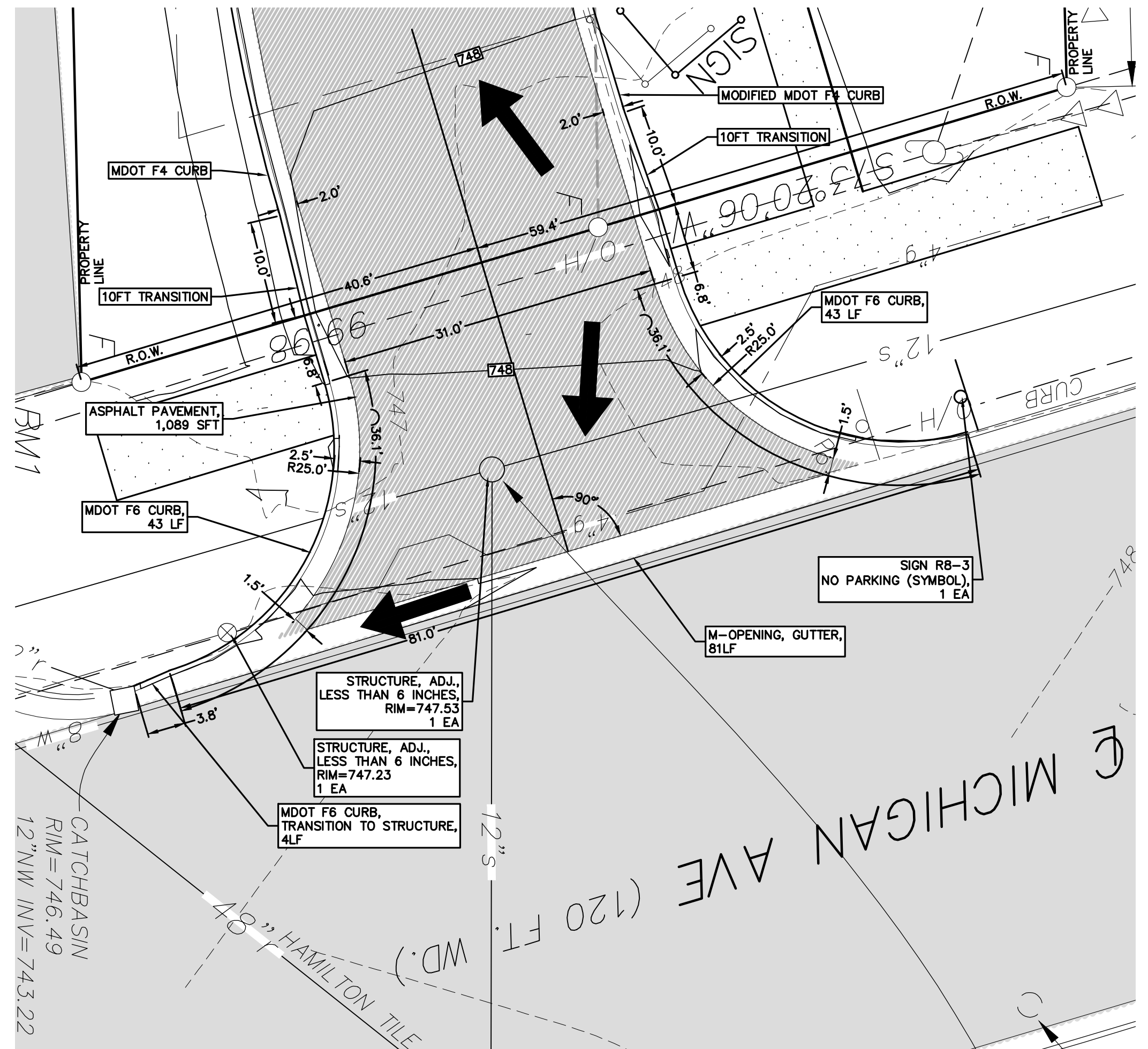
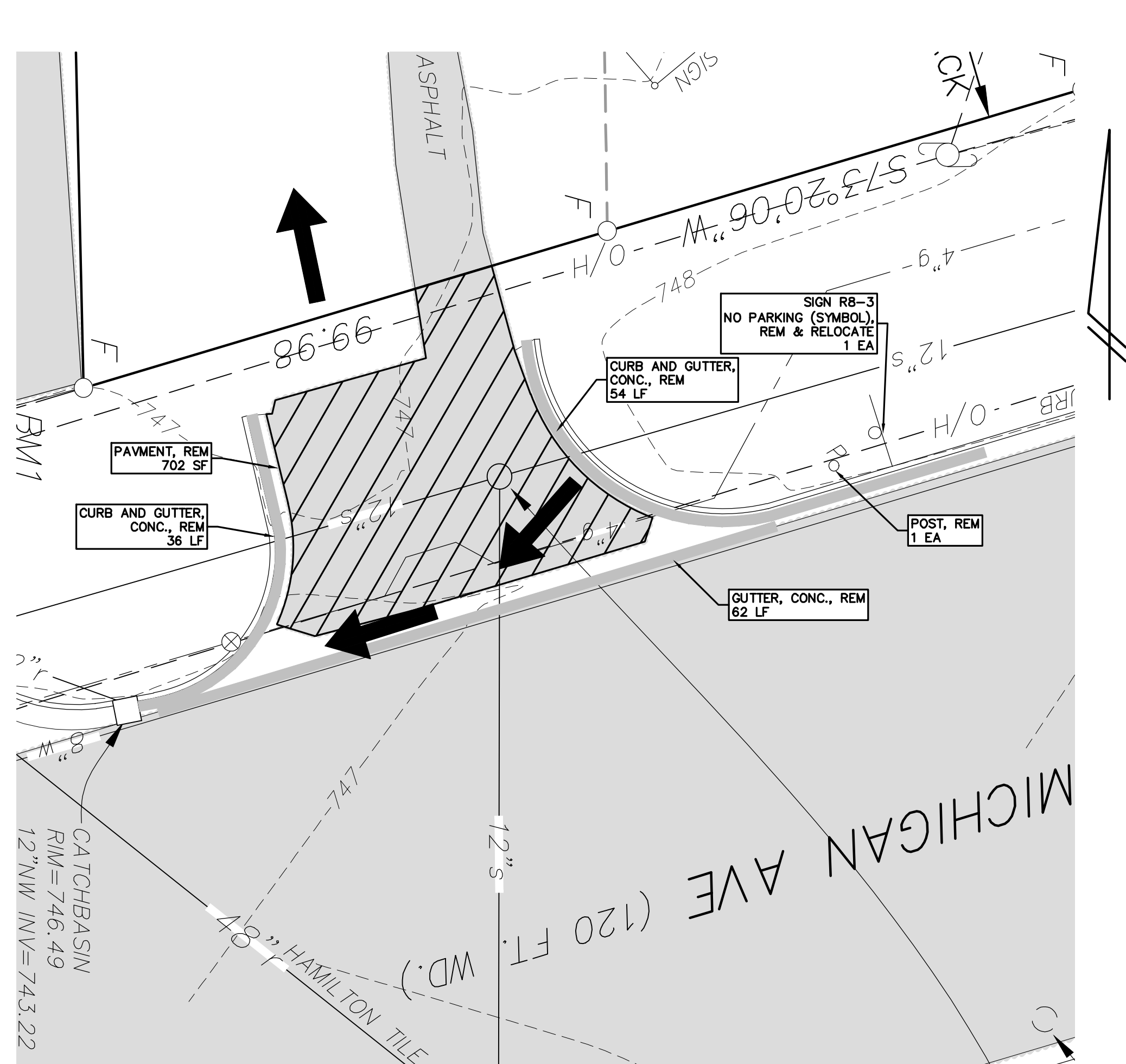
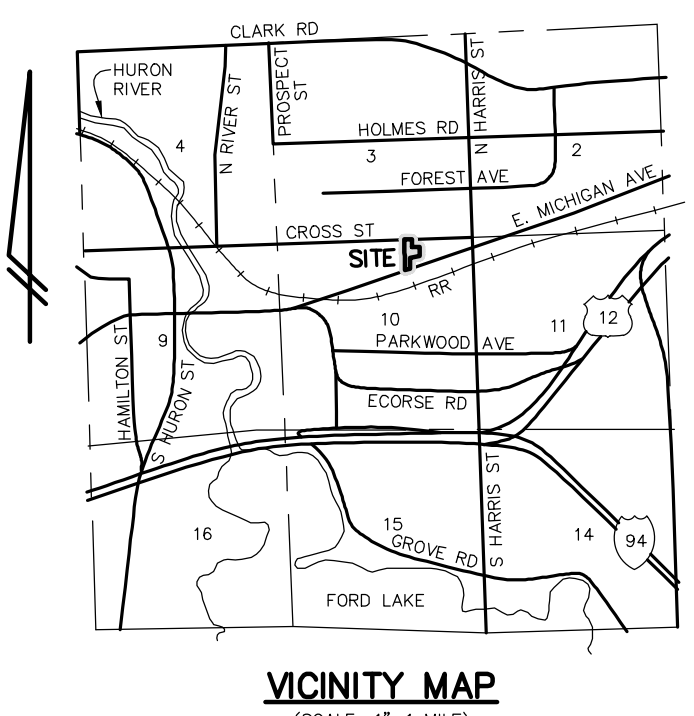
REVISIONS

SCALE NO SCALE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING RECORDS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE ACCURATE AND COMPLETE. THE SURVEYOR DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

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WASHTEANAW COUNTY SOIL SURVEY CLASSIFICATION
 SpB - SPINKS LOAMY SAND, 0 TO 6 PERCENT SLOPES
 WaA - WASEPI SANDY LOAM, 0 TO 4 PERCENT SLOPES
 SOILS BOUNDARY
 SOILS ARE BASED ON USDA SOIL SURVEY OF WASHTEANAW COUNTY.

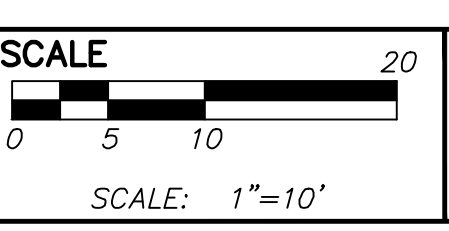
LEGEND

| | | | | | | | | | |
|--|--------------|--|------------|--|-------------|--|----------|--|--------------------|
| | LIGHT POLE | | SPOT ELEV. | | TOP OF CURB | | GRAVEL | | EXISTING STORM |
| | UTILITY POLE | | POST | | TOP OF WALL | | FENCE | | EXISTING SANITARY |
| | GUY ANCHOR | | MANHOLE | | CATCHBASIN | | CONCRETE | | EXISTING WATER |
| | HYDRANT | | GATE VALVE | | END SECTION | | ASPHALT | | EXISTING GAS |
| | | | SIGN | | | | | | EXISTING ELECTRIC |
| | | | FLOW ARROW | | | | | | EXISTING TELEPHONE |

BENCHMARK BM1=TOP OF S'ELY CORNER OF CONCRETE PAD FOR ELECTRICAL EQUIPMENT AT THE SOUTHWEST CORNER OF SITE, ELEV=747.21 (NAVD 88).
 BM2=TOP OF N'E'LY BOLT OF LIGHTPOLE BASE AT SOUTHWEST CORNER OF PARKING LOT, ELEV=748.38 (NAVD 88).

REVISIONS

| | |
|-----|-------------|
| NO. | DESCRIPTION |
| | |
| | |



PREPARED BY: *Joseph K. Maynard*
 JOSEPH K. MAYNARD P.E., MICH No. 52559

SOIL BORING TESTING LOCATIONS FROM MATERIALS TESTING CONSULTANTS (MTC) INFILTRATION TESTING REPORT, PROJECT NO. 231326, JUNE 12, 2023.

NOTES APPLYING TO STANDARD PLANS: WHERE THE FOLLOWING ITEMS ARE CALLED FOR ON THE PLANS, THEY ARE TO BE CONSTRUCTED ACCORDING TO THE STANDARD PLAN GIVEN BELOW OPPOSITE EACH ITEM UNLESS OTHERWISE INDICATED.

STANDARD PLAN NUMBER
 R-29-1
 R-30-G

MDOT STANDARD PLAN
 DRIVEWAY OPENINGS & APPROACHES, AND CONCRETE SIDEWALK CONCRETE CURB AND CONCRETE CURB & GUTTER

NOTES:

- CONTRACTOR TO COMPLETE WORK IN ACCORDANCE WITH MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) RULES AND STANDARDS.
- THE SPEED LIMIT IS 50 MILES PER HOUR (POSTED) FOR MICHIGAN AVE.
- MICHIGAN AVE. IS A 5 LANE UNDIVIDED HIGHWAY WITH ASPHALT PAVEMENT. THE EXISTING CONCRETE CURB IS 2.5 FT WIDTH (TYP) FROM BACK OF CURB TO EDGE OF METAL.
- A SINGLE TWO-WAY COMMERCIAL DRIVEWAY ON A CURBED HIGHWAY IS PROPOSED TO REPLACE THE EXISTING NON-CONFORMING DRIVEWAY. THIS IS AN ASPHALT DRIVEWAY WITH OPENING TYPE "M" LOW-VOLUME COMMERCIAL DRIVEWAY.
- NO TURN LANES OR TAPERS ARE PROPOSED.
- NO EXISTING SITE STORM WATER ENTERS THE E. MICHIGAN AVE. R.O.W.
- NO PROPOSED SITE STORM WATER ENTERS THE E. MICHIGAN AVE. R.O.W.
- CONTRACTOR TO PROVIDE TRAFFIC CONTROL DEVICES PER MDOT REQUIREMENTS.

PROPOSED LEGEND

| | |
|--|-----------------------------|
| | CONCRETE CURB & GUTTER (F4) |
| | MODIFIED CURB & GUTTER (F4) |
| | CONCRETE GUTTER |
| | CONCRETE CURB & GUTTER (F6) |
| | ASPHALT PAVEMENT |
| | CONCRETE PAVEMENT |
| | LIGHTPOLE |
| | SIGN |
| | FLOW ARROW |

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 www.visiblelearningcenter.com

MDOT K-11-10-106-018
1189 E. MICHIGAN AVE
VISIBLE LEARNING CENTER

SECTION 10 TOWN 3 SOUTH RANGE 7 EAST
 PROJECT 1189 E. MICHIGAN AVE
 DATE 8-15-2023 JOB NO. 32983
 DWS NO. 983-89-mdot
 FIELD BOOK 621-658
 FILE NO. 10787

M1
 SHEET

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING RECORDS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE ACCURATE AND COMPLETE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

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MINIMUM MERGING TAPER LENGTH "L" (FEET)

| OFFSET FEET | 25 | 30 | 35 | 40 | 45 | 50 | 55 | 60 | 65 | 70 |
|-------------|-----|-----|-----|-----|-----|-----|-----|-----|-----|------|
| 1 | 30 | 15 | 20 | 27 | 45 | 50 | 55 | 60 | 65 | 70 |
| 2 | 21 | 30 | 41 | 53 | 90 | 100 | 110 | 120 | 130 | 140 |
| 3 | 31 | 45 | 61 | 80 | 135 | 150 | 165 | 180 | 195 | 210 |
| 4 | 42 | 60 | 82 | 107 | 180 | 200 | 220 | 240 | 260 | 280 |
| 5 | 52 | 75 | 102 | 133 | 225 | 250 | 275 | 300 | 325 | 350 |
| 6 | 63 | 90 | 123 | 160 | 270 | 300 | 330 | 360 | 390 | 420 |
| 7 | 73 | 105 | 143 | 187 | 315 | 350 | 385 | 420 | 455 | 490 |
| 8 | 83 | 120 | 163 | 213 | 360 | 400 | 440 | 480 | 520 | 560 |
| 9 | 94 | 135 | 184 | 240 | 405 | 450 | 495 | 540 | 585 | 630 |
| 10 | 104 | 150 | 204 | 267 | 450 | 500 | 550 | 600 | 650 | 700 |
| 11 | 115 | 165 | 225 | 293 | 495 | 550 | 605 | 660 | 715 | 770 |
| 12 | 125 | 180 | 245 | 320 | 540 | 600 | 660 | 720 | 780 | 840 |
| 13 | 135 | 195 | 266 | 347 | 585 | 650 | 715 | 780 | 845 | 910 |
| 14 | 146 | 210 | 286 | 374 | 630 | 700 | 770 | 840 | 910 | 980 |
| 15 | 157 | 225 | 307 | 400 | 675 | 750 | 825 | 900 | 975 | 1050 |

THE FORMULAS FOR THE MINIMUM LENGTH OF A MERGING TAPER IN DERIVING THE "L" VALUES SHOWN IN THE ABOVE TABLES ARE AS FOLLOWS:

$L = W \times S^2$ WHERE POSTED SPEED PRIOR TO THE WORK AREA IS 40 MPH OR LESS

$L = S \times W$ WHERE POSTED SPEED PRIOR TO THE WORK AREA IS 45 MPH OR GREATER

L = MINIMUM LENGTH OF MERGING TAPER
S = POSTED SPEED LIMIT IN MPH PRIOR TO WORK AREA
W = WIDTH OF OFFSET

MDOT TRAFFIC AND SAFETY MAINTAINING TRAFFIC TYPICAL

TABLES FOR "L", "D" AND "B" VALUES

DRAWN BY: CONRAD/EGT PLAN DATE: JUNE 2008 SHEET: 1 OF 2
CHECKED BY: BROWNE FILE: E:\PROJECTS\1189 E. MICHIGAN AVE\1189 E. MICHIGAN AVE.dwg REV: 10/11/2011

DISTANCE BETWEEN TRAFFIC CONTROL DEVICES "D" AND LENGTH OF LONGITUDINAL BUFFER SPACE ON "WHERE WORKERS PRESENT" SEQUENCES

| "D" DISTANCES (D FEET) | 25 | 30 | 35 | 40 | 45 | 50 | 55 | 60 | 65 | 70 |
|------------------------|-----|-----|-----|-----|-----|-----|-----|-----|-----|----|
| 250 | 300 | 350 | 400 | 450 | 500 | 550 | 600 | 650 | 700 | |

GUIDELINES FOR LENGTH OF LONGITUDINAL BUFFER SPACE "B"

| SPEED * LENGTH (MPH FEET) | |
|---------------------------|-----|
| 20 | 33 |
| 25 | 50 |
| 30 | 83 |
| 35 | 132 |
| 40 | 181 |
| 45 | 230 |
| 50 | 279 |
| 55 | 329 |
| 60 | 411 |
| 65 | 476 |
| 70 | 542 |

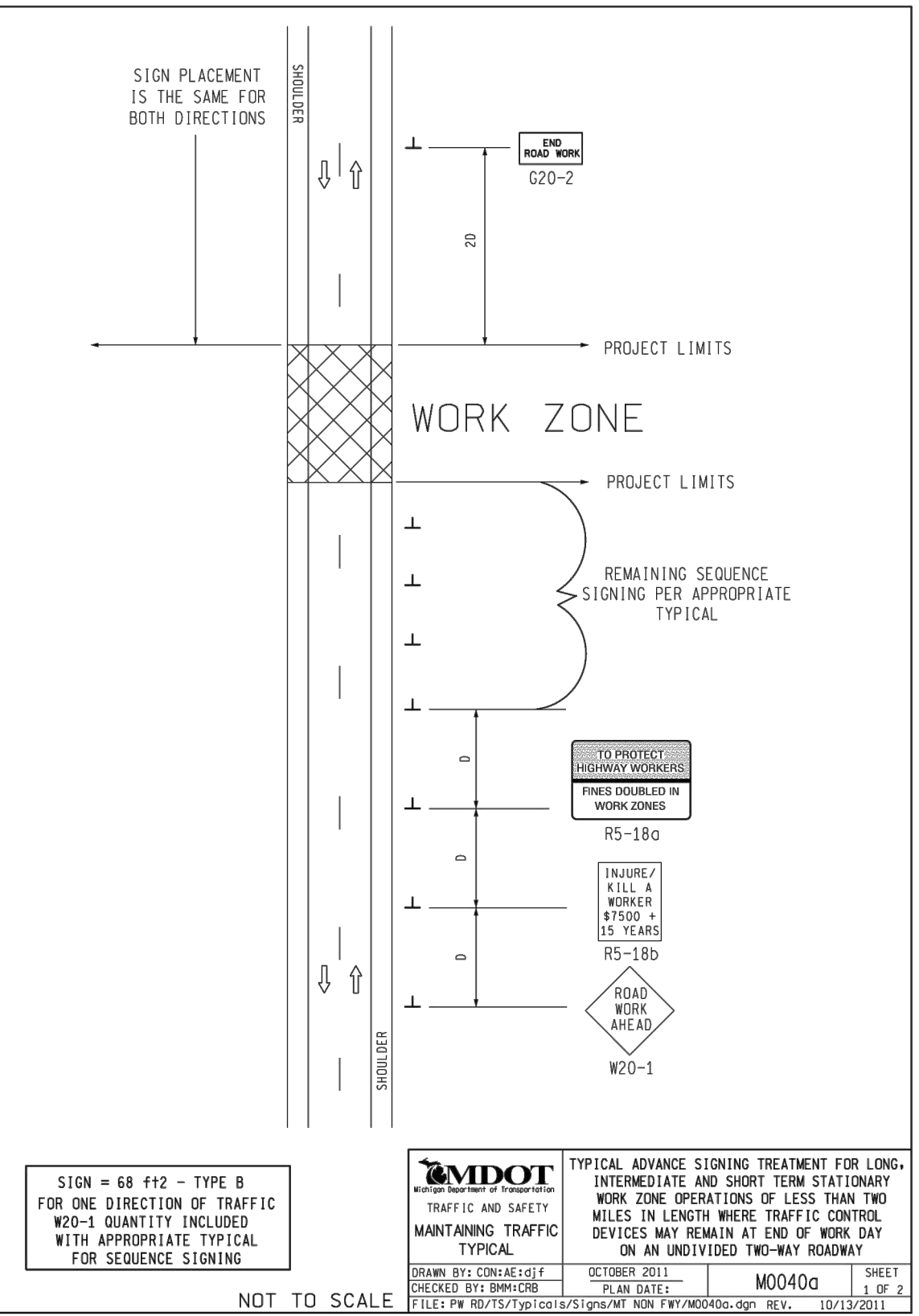
* POSTED SPEED, OFF PEAK 85TH PERCENTILE SPEED PRIOR TO WORK STARTING, OR THE ANTICIPATED OPERATING SPEED

1. BASED UPON AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) BRAKING DISTANCE PORTION OF STOPPING SIGHT DISTANCE FOR WET AND LEVEL PAVEMENTS (A POLICY ON GEOMETRIC DESIGN OF HIGHWAY AND STREETS). AASHTO. THIS AASHTO DOCUMENT ALSO RECOMMENDS ADJUSTMENTS FOR THE EFFECT OF GRADE ON STOPPING AND VARIATION FOR TRUCKS.

MDOT TRAFFIC AND SAFETY MAINTAINING TRAFFIC TYPICAL

TABLES FOR "L", "D" AND "B" VALUES

DRAWN BY: CONRAD/EGT PLAN DATE: JUNE 2008 SHEET: 2 OF 2
CHECKED BY: BROWNE FILE: E:\PROJECTS\1189 E. MICHIGAN AVE\1189 E. MICHIGAN AVE.dwg REV: 10/11/2011



MDOT TRAFFIC AND SAFETY MAINTAINING TRAFFIC TYPICAL

TYPICAL ADVANCE SIGNING TREATMENT FOR LONG-INTERMEDIATE AND SHORT-TERM STATIONARY WORK ZONE OPERATIONS OF LESS THAN TWO MILES IN LENGTH WHERE TRAFFIC CONTROL DEVICES MAY REMAIN AT END OF WORK DAY ON AN UNDIVIDED TWO-WAY ROADWAY

DRAWN BY: CONRAD/EGT PLAN DATE: OCTOBER 2011 SHEET: 1 OF 2
CHECKED BY: BROWNE FILE: E:\PROJECTS\1189 E. MICHIGAN AVE\1189 E. MICHIGAN AVE.dwg REV: 10/11/2011

NOTES

30. THE APPROPRIATE ADVANCE SIGNING SEQUENCE(S), (M0030G THROUGH M0080G) SHALL BE USED ON ALL PROJECTS.

32. THESE SIGNS SHALL BE LEFT IN PLACE AT THEIR PRESCRIBED LOCATIONS FOR THE DURATION OF THE PROJECT AND UNTIL ALL TEMPORARY TRAFFIC CONTROL HAS BEEN REMOVED.

35. THESE SIGNS ARE INTENDED TO BE USED WITHIN THE LIMITS OF THE TEMPORARY SEQUENCE SIGNING AS IS SHOWN ON 1 OF 2. THESE SIGNS ARE NOT TO BE INTERMINGLED WITH ANY OTHER TEMPORARY SEQUENCE SIGNING EXCEPT AS SHOWN.

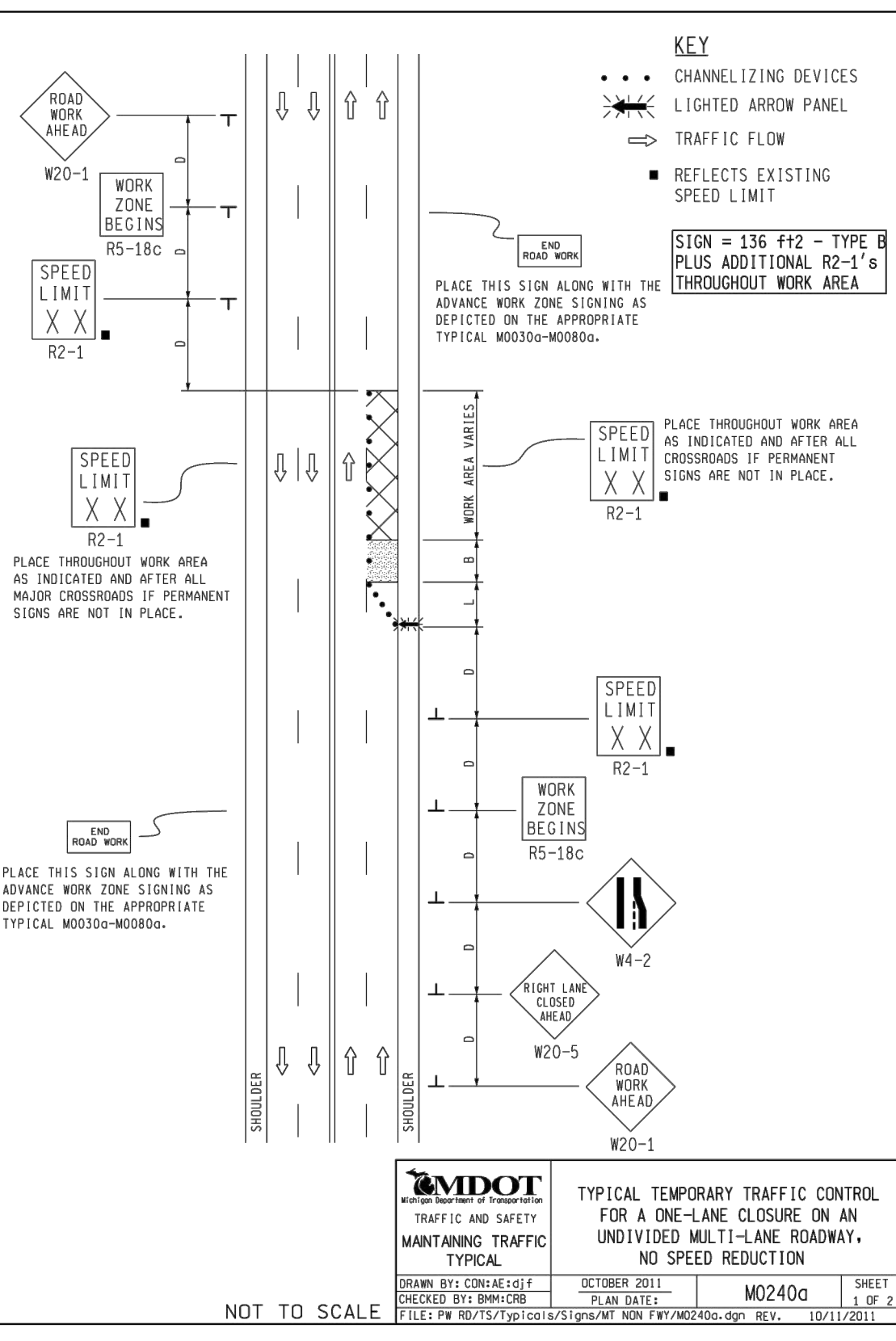
SIGN SIZES

| | |
|--------|-----------|
| G20-2 | 48" x 24" |
| RS-18c | 96" x 60" |
| RS-18b | 48" x 60" |
| W20-1 | 48" x 48" |

MDOT TRAFFIC AND SAFETY MAINTAINING TRAFFIC TYPICAL

TYPICAL ADVANCE SIGNING TREATMENT FOR LONG-INTERMEDIATE AND SHORT-TERM STATIONARY WORK ZONE OPERATIONS OF LESS THAN TWO MILES IN LENGTH WHERE TRAFFIC CONTROL DEVICES MAY REMAIN AT END OF WORK DAY ON AN UNDIVIDED TWO-WAY ROADWAY

DRAWN BY: CONRAD/EGT PLAN DATE: OCTOBER 2011 SHEET: 2 OF 2
CHECKED BY: BROWNE FILE: E:\PROJECTS\1189 E. MICHIGAN AVE\1189 E. MICHIGAN AVE.dwg REV: 10/11/2011



MDOT TRAFFIC AND SAFETY MAINTAINING TRAFFIC TYPICAL

TYPICAL TEMPORARY TRAFFIC CONTROL FOR A ONE-LANE CLOSURE ON AN UNDIVIDED MULTI-LANE ROADWAY, NO SPEED REDUCTION

DRAWN BY: CONRAD/EGT PLAN DATE: OCTOBER 2011 SHEET: 1 OF 2
CHECKED BY: BROWNE FILE: E:\PROJECTS\1189 E. MICHIGAN AVE\1189 E. MICHIGAN AVE.dwg REV: 10/11/2011

NOTES

18. D = DISTANCE BETWEEN TRAFFIC CONTROL DEVICES
L = MINIMUM LENGTH OF TAPER
B = LENGTH OF LONGITUDINAL BUFFER
SEE M0020G FOR "D", "L", AND "B" VALUES

2. ALL NON-APPLICABLE SIGNING WITHIN THE CTA SHALL BE MODIFIED TO FIT CONDITIONS, COVERED OR REMOVED.

3. DISTANCES BETWEEN SIGNS, THE VALUES FOR WHICH ARE SHOWN IN TABLE D, ARE APPROXIMATE AND MAY NEED ADJUSTING AS DIRECTED BY THE ENGINEER.

3A. THE "WORK ZONE BEGINS" (RS-18c) SIGN SHALL BE USED ONLY IN THE INITIAL SIGNING SEQUENCE IN THE WORK ZONE. SUBSEQUENT SEQUENCES IN THE SAME WORK ZONE SHALL OMIT THIS SIGN AND THE QUANTITIES SHALL BE ADJUSTED APPROPRIATELY.

4. THE MAXIMUM RECOMMENDED DISTANCE(S) BETWEEN CHANNELIZING DEVICES SHOULD BE EQUAL IN FEET TO THE POSTED SPEED IN MILES PER HOUR ON TAPER(S) AND TWICE THE POSTED SPEED IN THE PARALLEL AREAS(S).

5. FOR OVERNIGHT CLOSURES, TYPE III BARRICADES SHALL BE LIGHTED.

6. WHEN CALLED FOR IN THE FHWA ACCEPTANCE LETTER FOR THE SIGN SYSTEM SELECTED, THE TYPE A WARNING FLASHER, SHOWN ON THE WARNING SIGNS, SHALL BE POSITIONED ON THE SIDE OF THE SIGN NEAREST THE ROADWAY.

7. ALL TEMPORARY SIGNS, TYPE III BARRICADES, THEIR SUPPORT SYSTEMS AND LIGHTING REQUIREMENTS SHALL MEET NCHRP 350 CRASHWORTHY REQUIREMENTS STIPULATED IN THE CURRENT EDITION OF THE MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, THE CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE STANDARD PLANS AND APPLICABLE SPECIAL PROVISIONS. ONLY DESIGNS AND MATERIALS APPROVED BY MDOT WILL BE ALLOWED.

8. WHEN BUFFER AREAS ARE ESTABLISHED, THERE SHALL BE NO EQUIPMENT OR MATERIALS STORED OR WORK CONDUCTED IN THE BUFFER AREA.

21. ALL EXISTING PAVEMENT MARKINGS WHICH ARE IN CONFLICT WITH EITHER PROPOSED CHANGES IN TRAFFIC PATTERNS OR PROPOSED TEMPORARY TRAFFIC MARKINGS, SHALL BE REMOVED BEFORE ANY CHANGE IS MADE IN THE TRAFFIC PATTERNS. EXCEPTION WILL BE MADE FOR DAYTIME-ONLY TRAFFIC PATTERNS THAT ARE ADEQUATELY DELINEATED BY OTHER TRAFFIC CONTROL DEVICES.

26. THE LIGHTED ARROW PANEL SHALL BE LOCATED AT THE BEGINNING OF THE TAPER AS SHOWN. WHEN PHYSICAL LIMITATIONS RESTRICT ITS PLACEMENT AS INDICATED, THEN IT SHALL BE PLACED AS CLOSE TO THE BEGINNING OF THE TAPER AS POSSIBLE.

SIGN SIZES

| | |
|-------------------|-----------|
| DIAMOND WARNING | 48" x 48" |
| R2-1 REGULATORY | 48" x 60" |
| RS-18c REGULATORY | 48" x 48" |

MDOT TRAFFIC AND SAFETY MAINTAINING TRAFFIC TYPICAL

TYPICAL TEMPORARY TRAFFIC CONTROL FOR A ONE-LANE CLOSURE ON AN UNDIVIDED MULTI-LANE ROADWAY, NO SPEED REDUCTION

DRAWN BY: CONRAD/EGT PLAN DATE: OCTOBER 2011 SHEET: 2 OF 2
CHECKED BY: BROWNE FILE: E:\PROJECTS\1189 E. MICHIGAN AVE\1189 E. MICHIGAN AVE.dwg REV: 10/11/2011

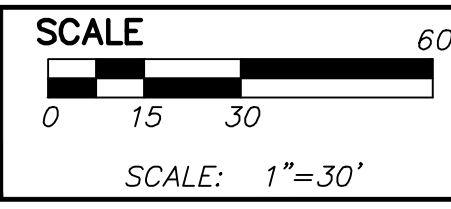
LEGEND

| | | | | | | | |
|---|--------------|----|-------------|-----|----------|-----|--------------------|
| ○ | LIGHT POLE | TC | TOP OF CURB | --- | GRAVEL | --- | EXISTING STORM |
| ○ | UTILITY POLE | TW | TOP OF WALL | --- | FENCE | --- | EXISTING SANITARY |
| ○ | POST | ○ | MANHOLE | --- | CONCRETE | --- | EXISTING WATER |
| ○ | GUY ANCHOR | ○ | CATCHBASIN | --- | ASPHALT | --- | EXISTING GAS |
| ○ | HYDRANT | ○ | END SECTION | --- | | --- | EXISTING ELECTRIC |
| | | | | --- | | --- | EXISTING TELEPHONE |

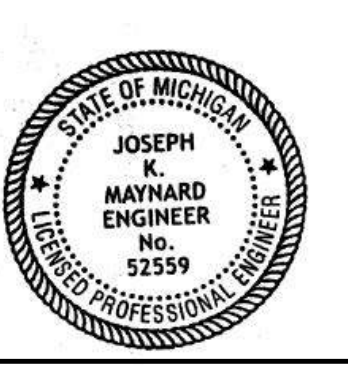
BENCHMARK BM1=TOP OF S'ELY CORNER OF CONCRETE PAD FOR ELECTRICAL EQUIPMENT AT THE SOUTHWEST CORNER OF SITE, ELEV=747.21 (NAVD 88).
BM2=TOP OF N'E'LY BOLT OF LIGHTPOLE BASE AT SOUTHWEST CORNER OF PARKING LOT, ELEV=748.38 (NAVD 88).

REVISIONS

| | | |
|-------|------|-------------|
| NO. 1 | DATE | DESCRIPTION |
|-------|------|-------------|



PREPARED BY: *Joseph K. Maynard*
JOSEPH K. MAYNARD P.E., MICH No. 52559



SOIL BORING TESTING LOCATIONS FROM MATERIALS TESTING CONSULTANTS (MTC) INFILTRATION TESTING REPORT, PROJECT NO.231326, JUNE 12, 2023.

CLIENT

VISIBLE LEARNING CENTER
1189 E. MICHIGAN AVE
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TEL 734-480-2414
www.visiblelearningcenter.com

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CIVIL ENGINEERS
PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS
3526 W. LIBERTY RD
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SHEET

MDOT
MAINTENANCE
OF TRAFFIC

PROJECT

K-11-10-106-018
1189 E. MICHIGAN AVE
VISIBLE LEARNING CENTER

SECTION 10 TOWN 3 SOUTH RANGE 7 EAST

YPSILANTI TOWNSHIP
WASHTEANAW COUNTY • MICHIGAN

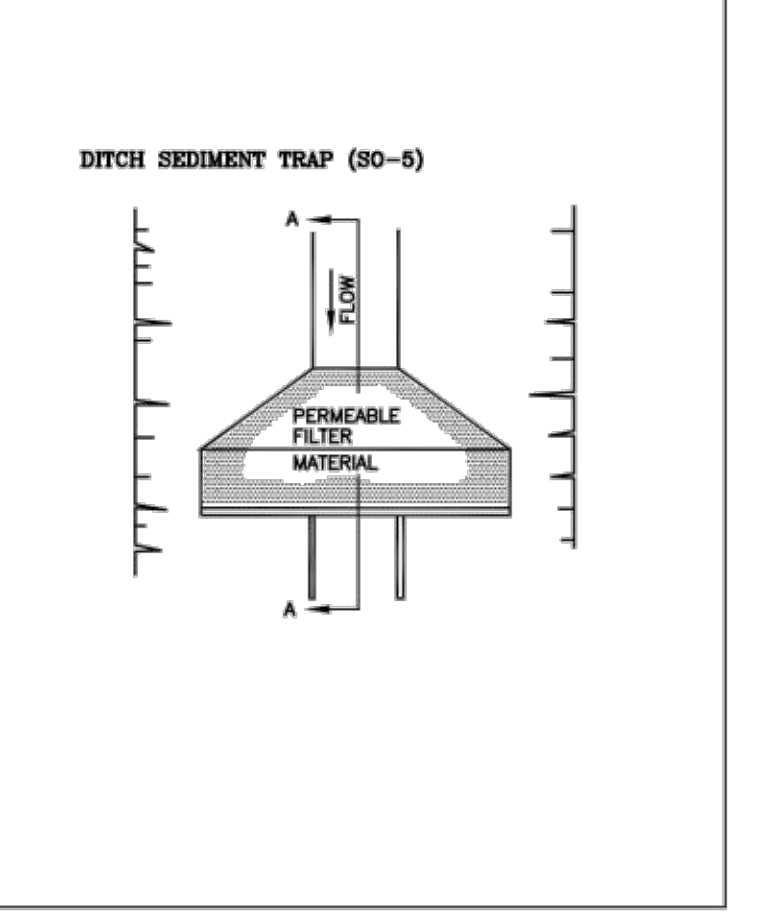
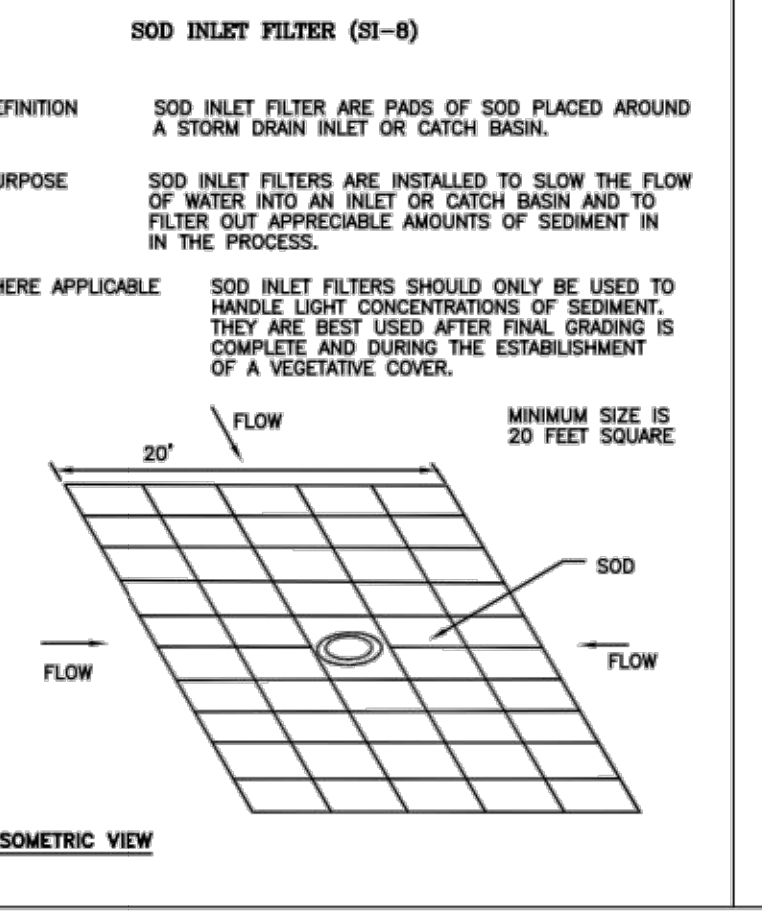
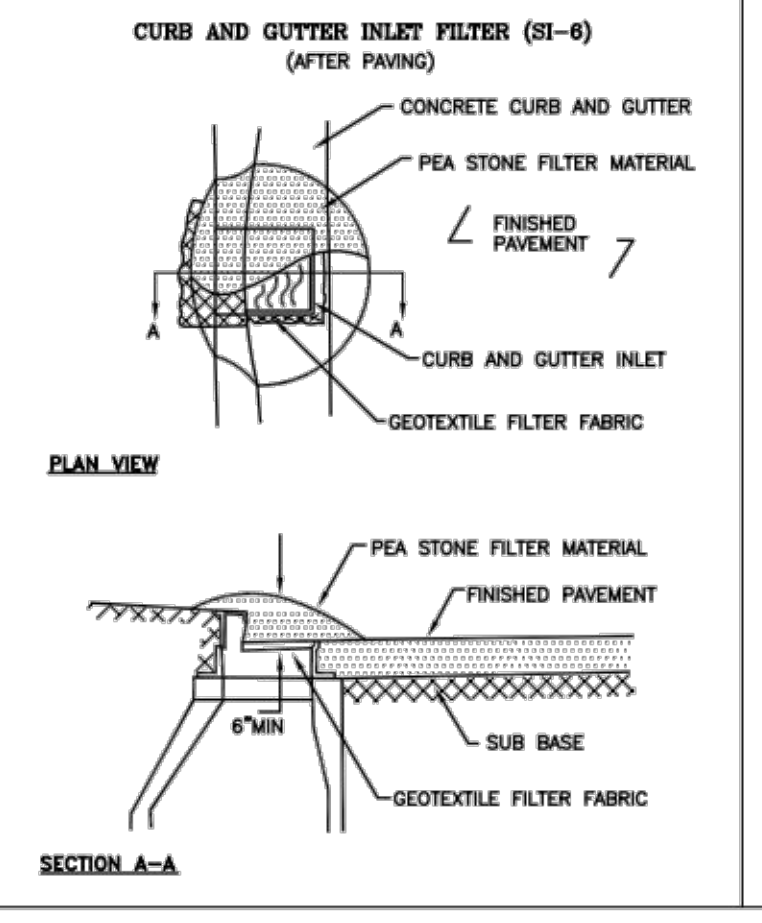
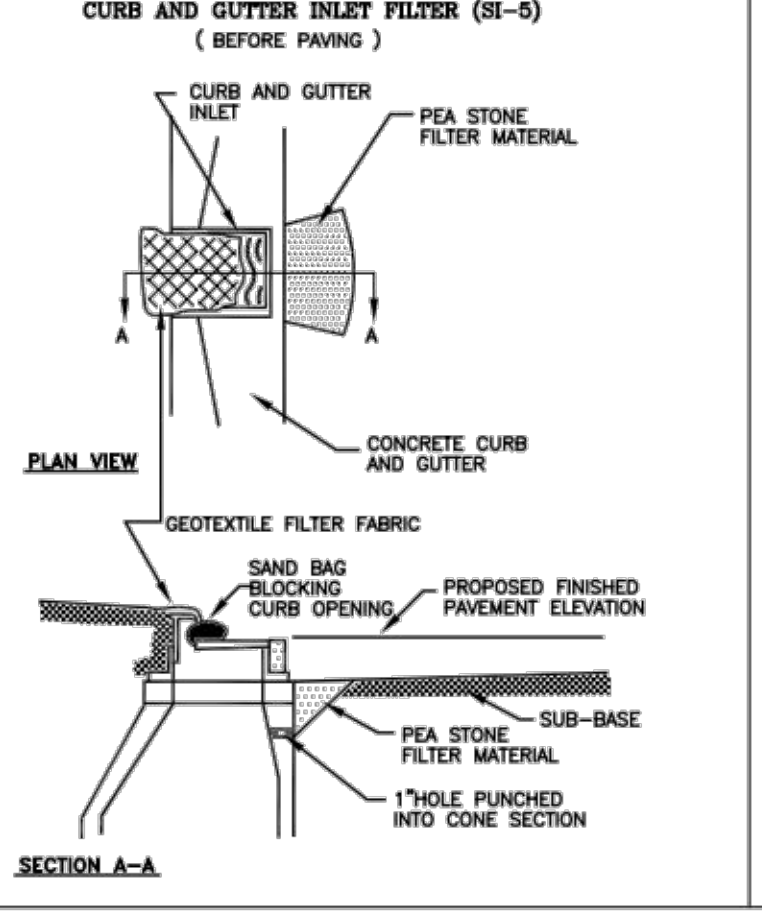
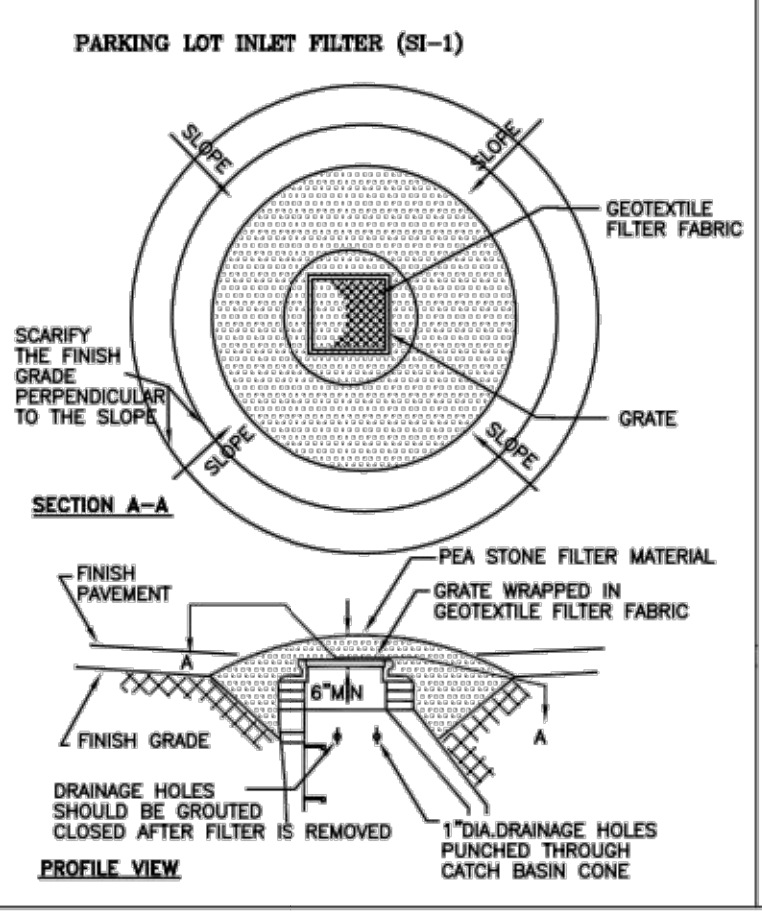
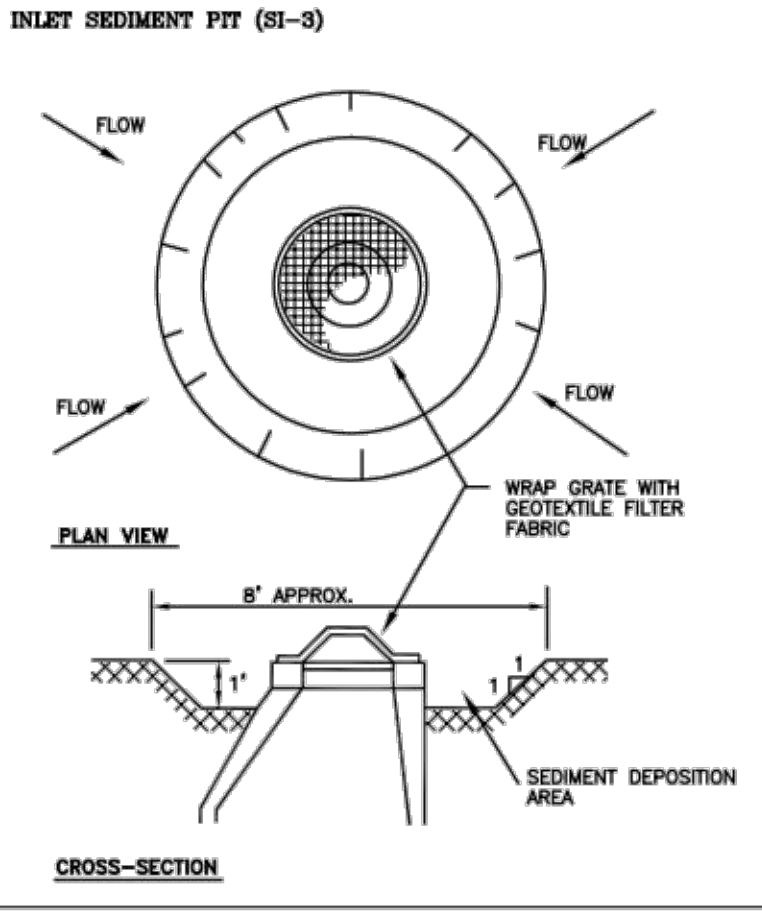
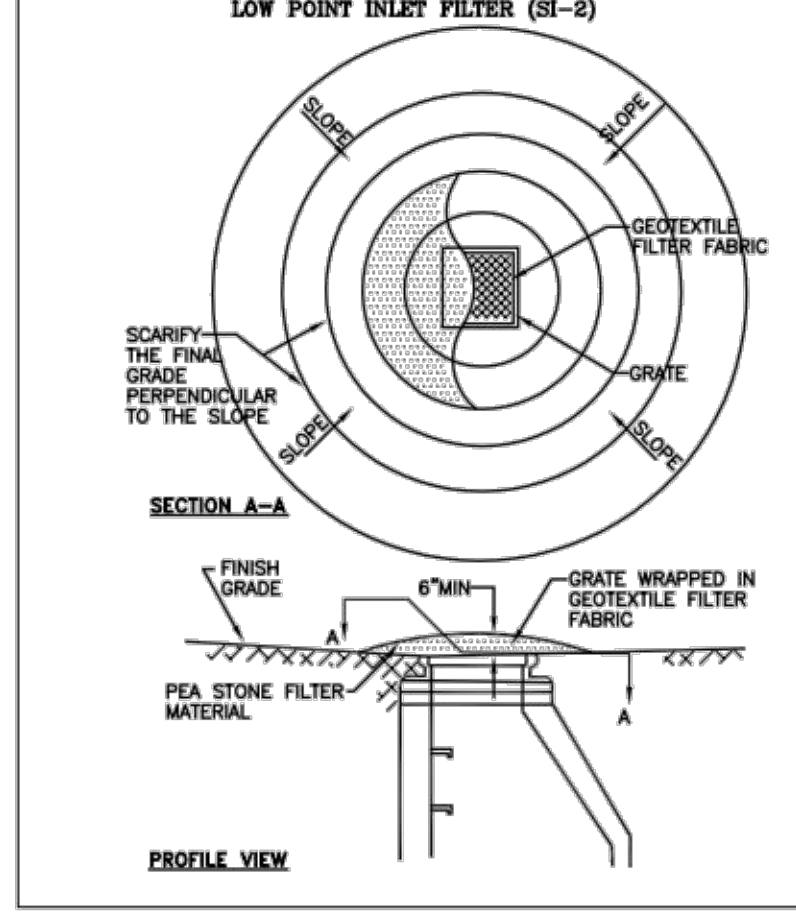
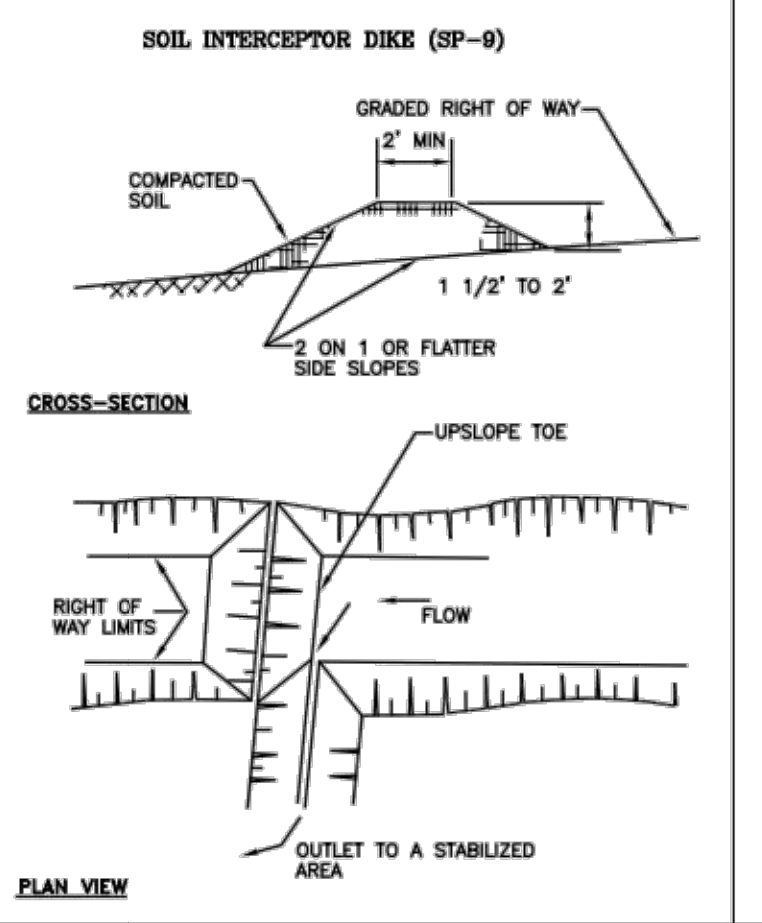
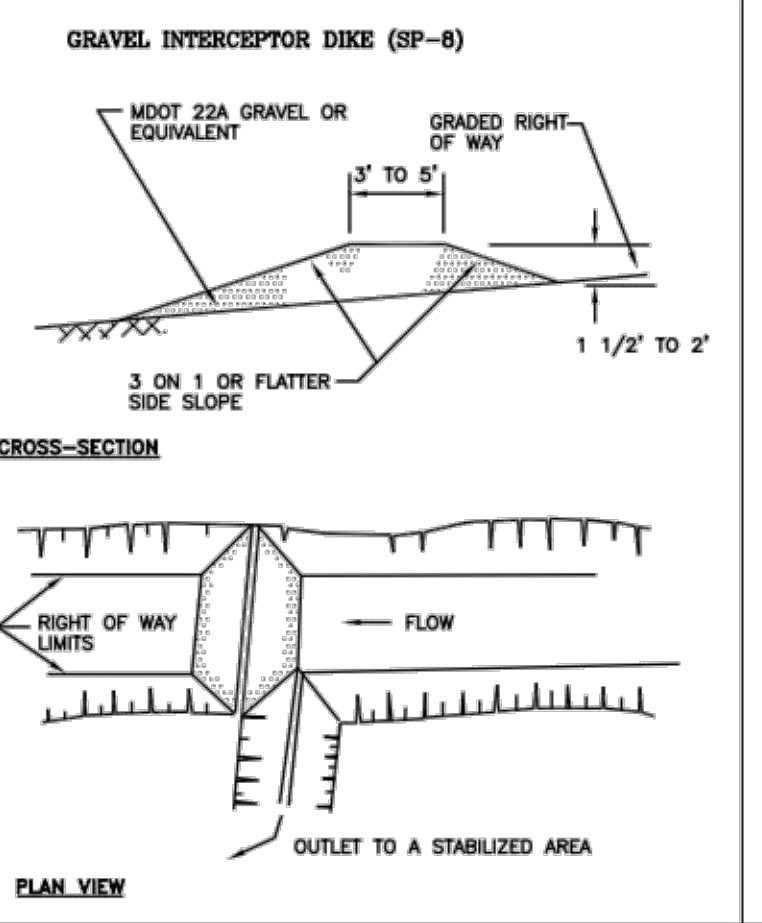
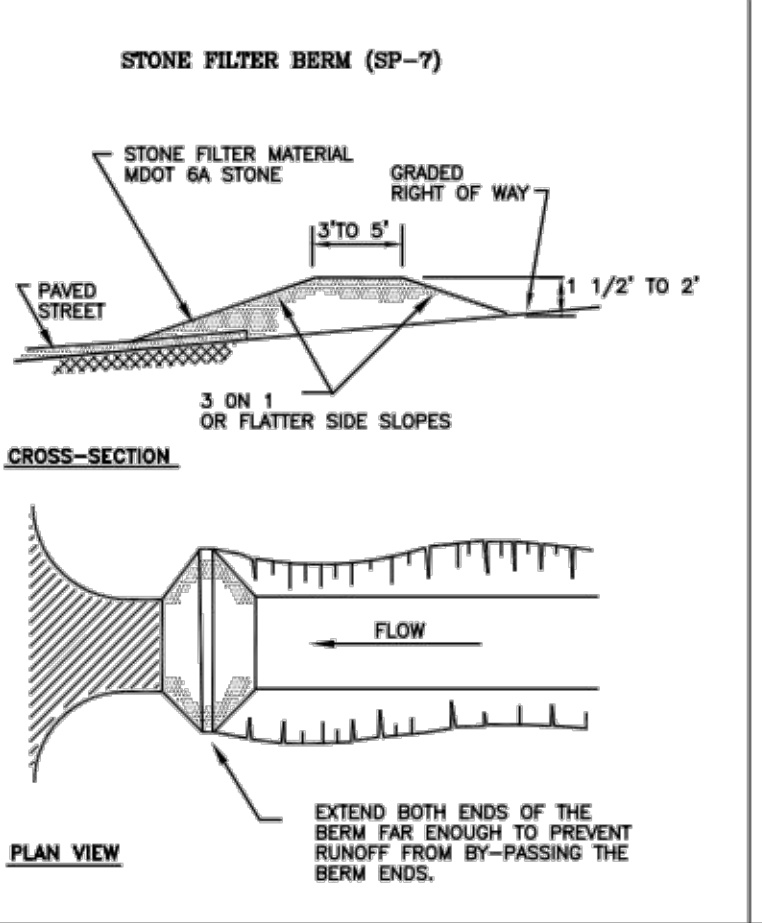
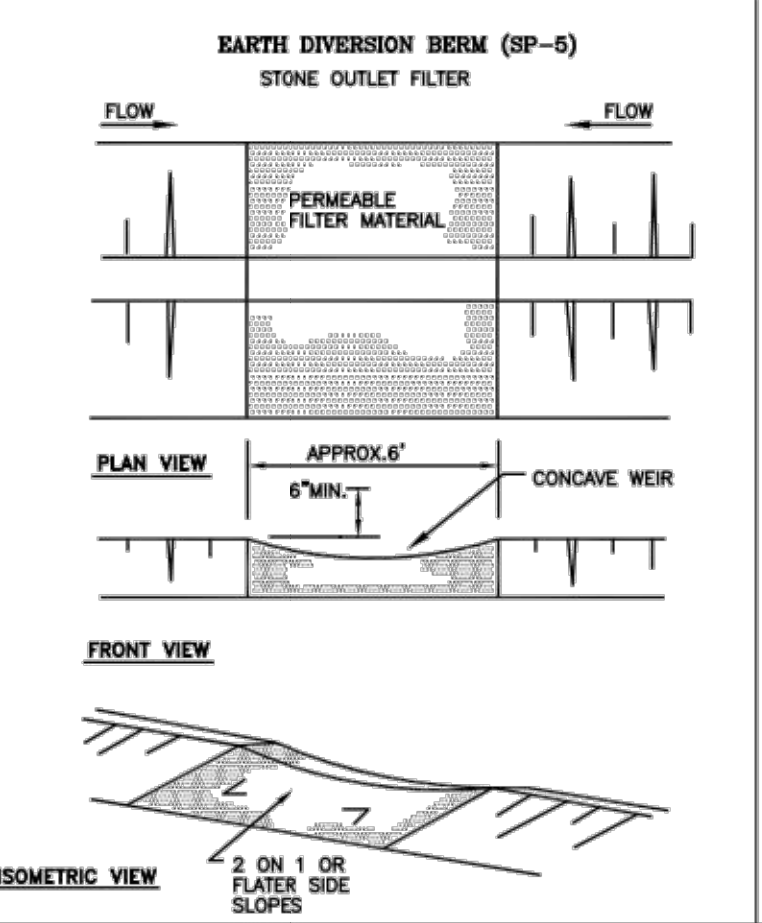
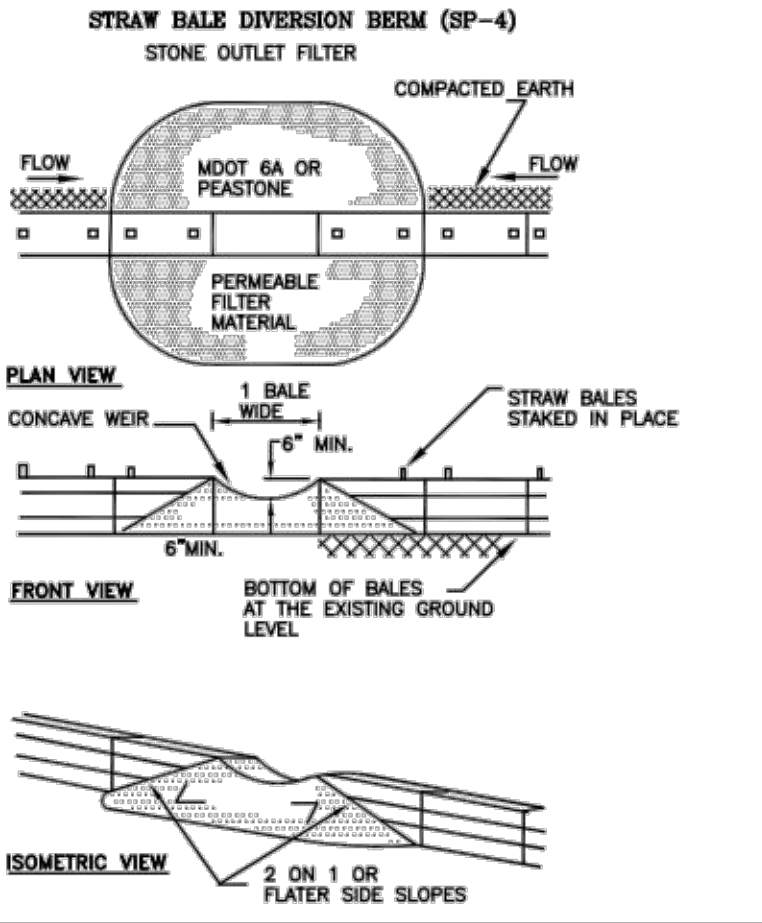
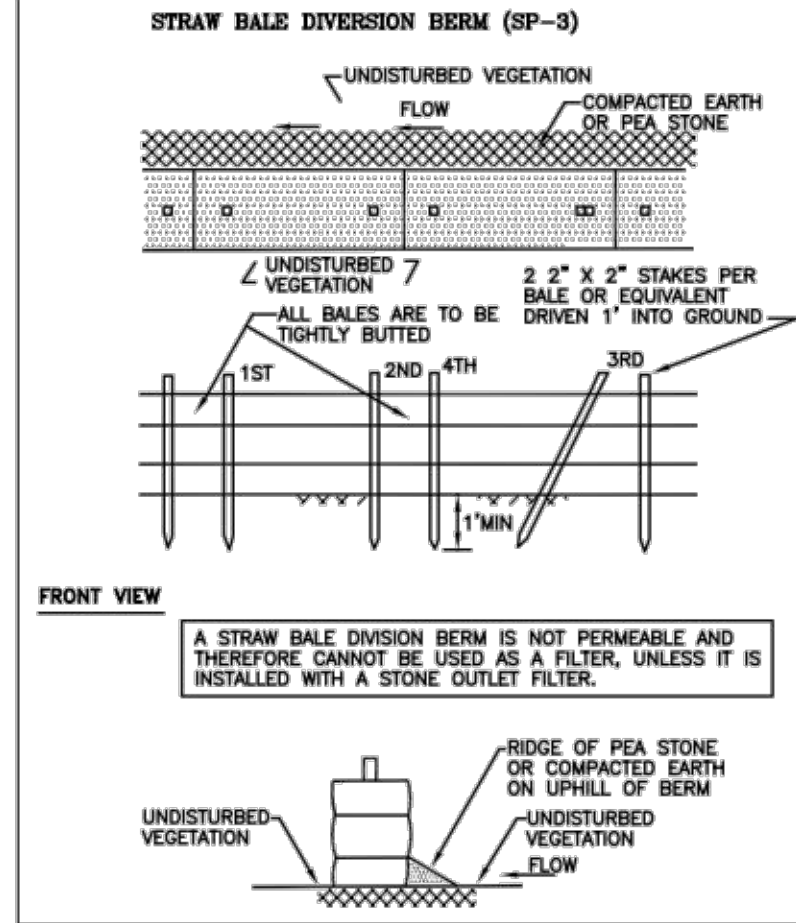
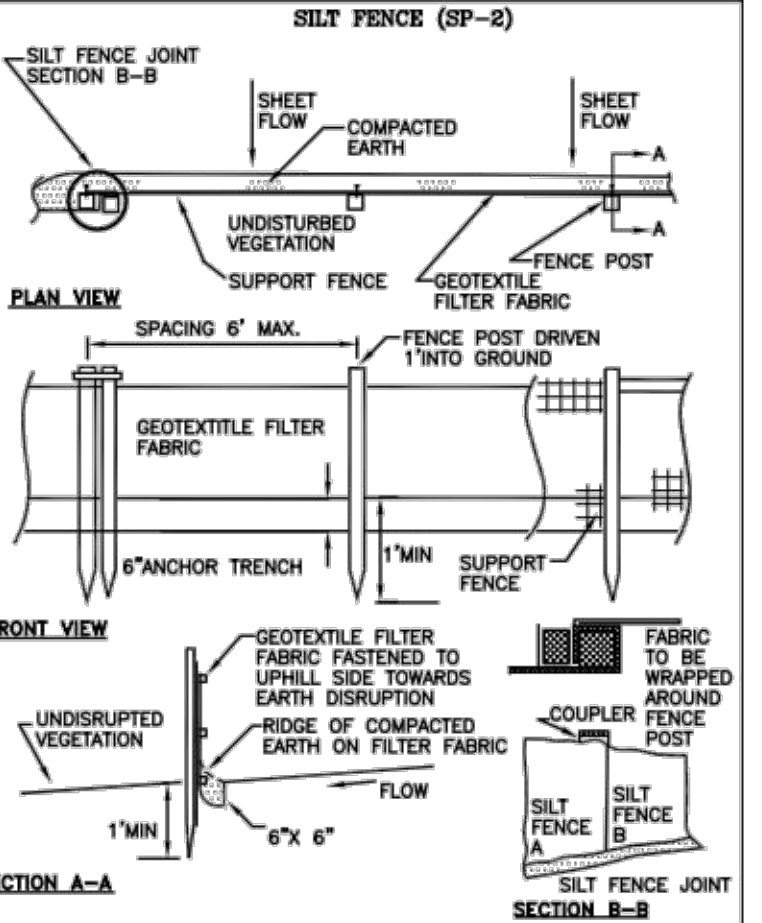
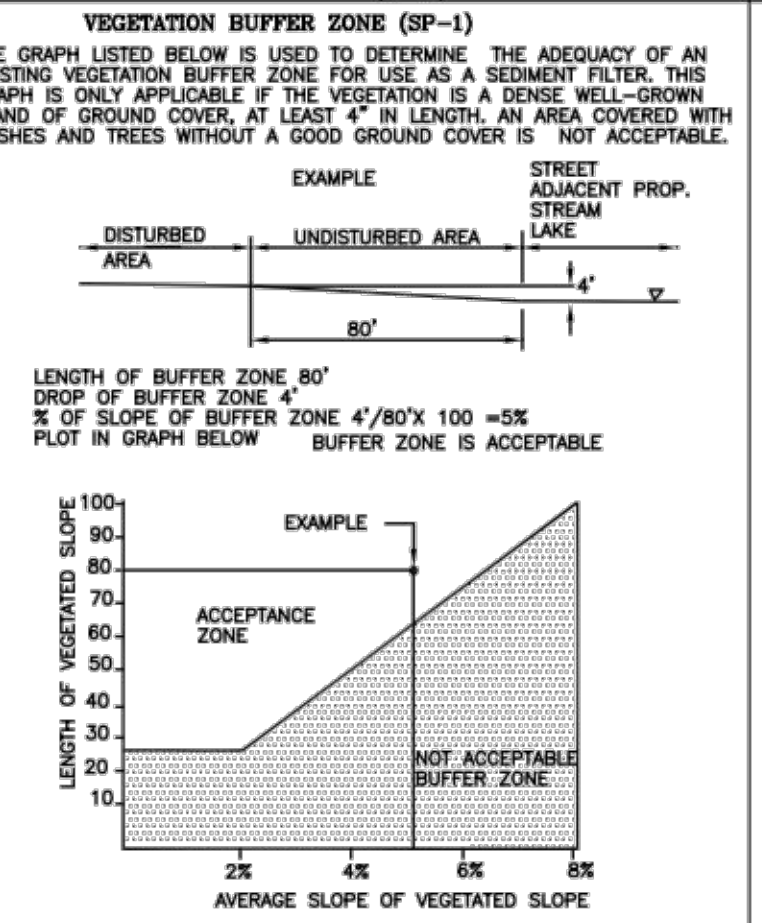
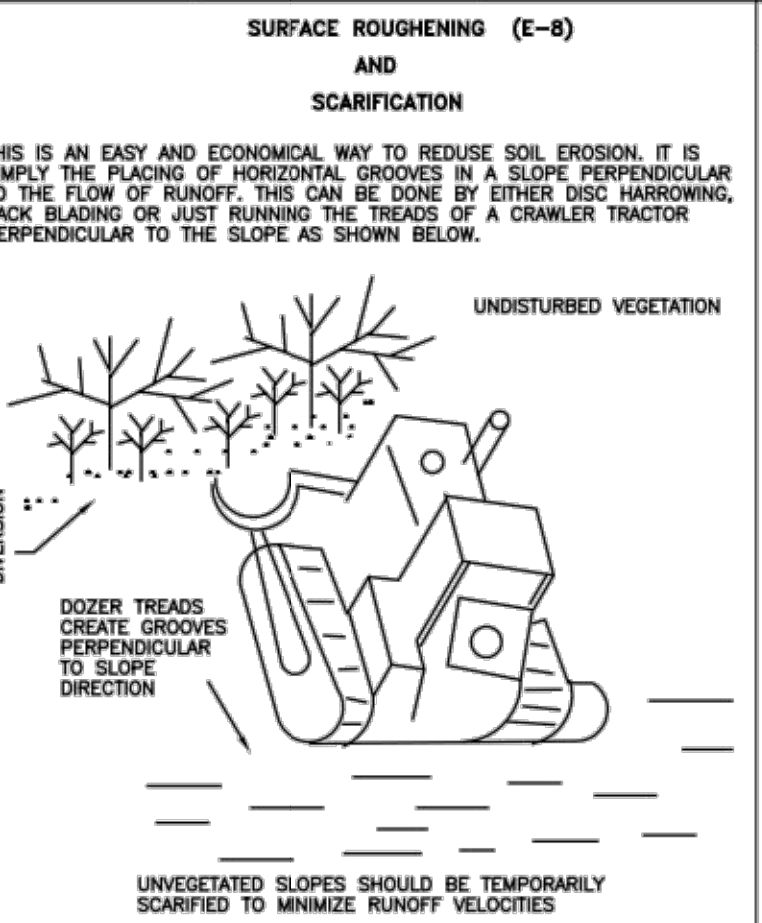
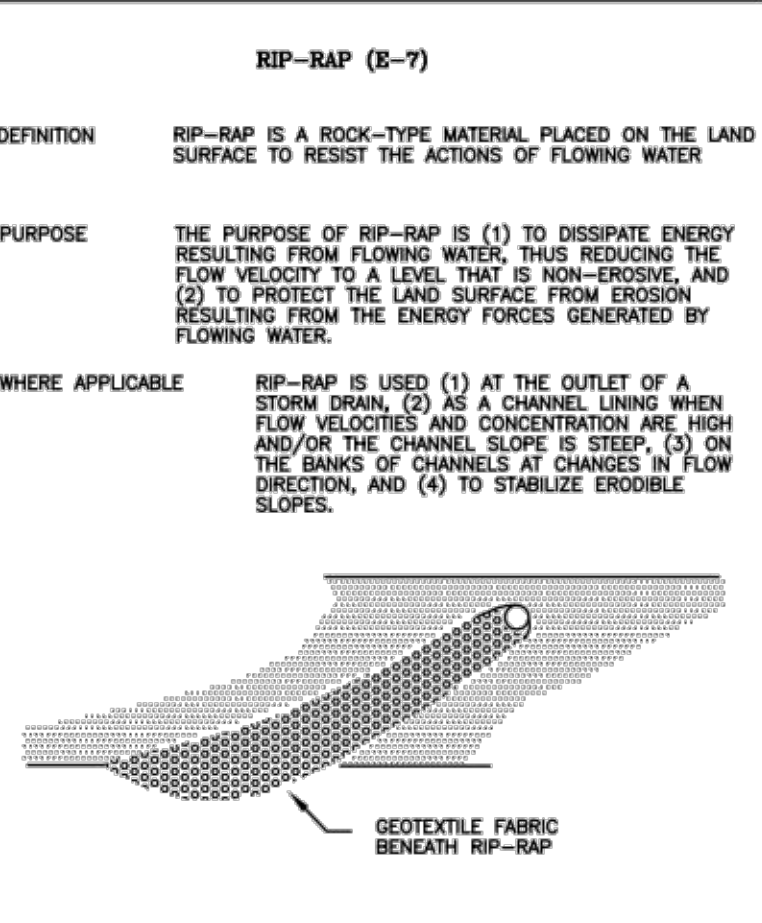
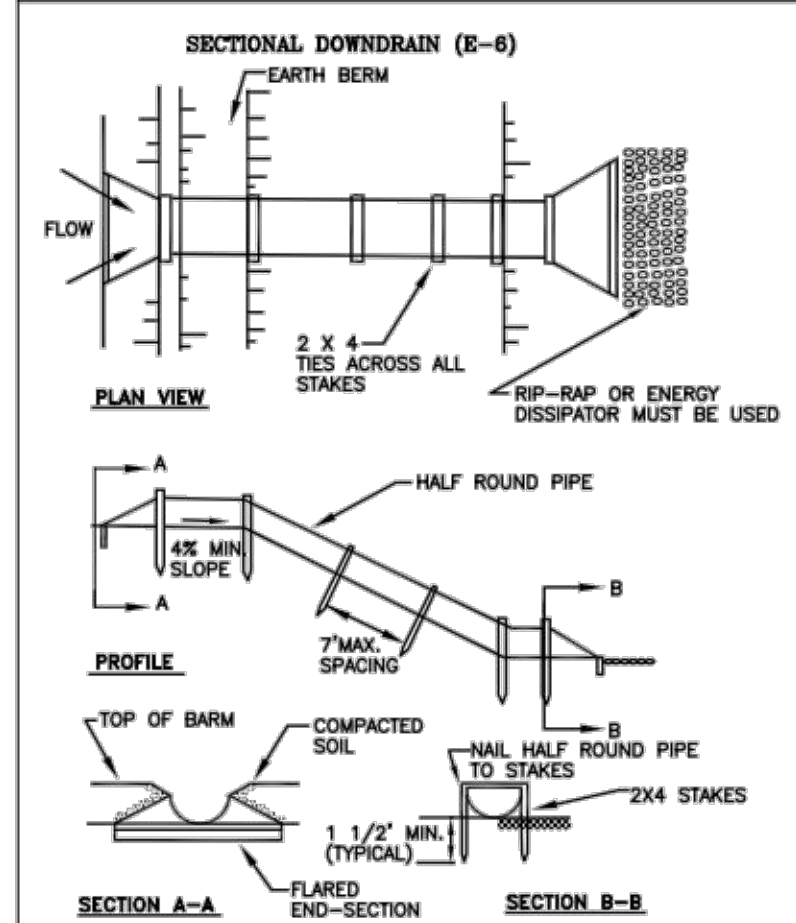
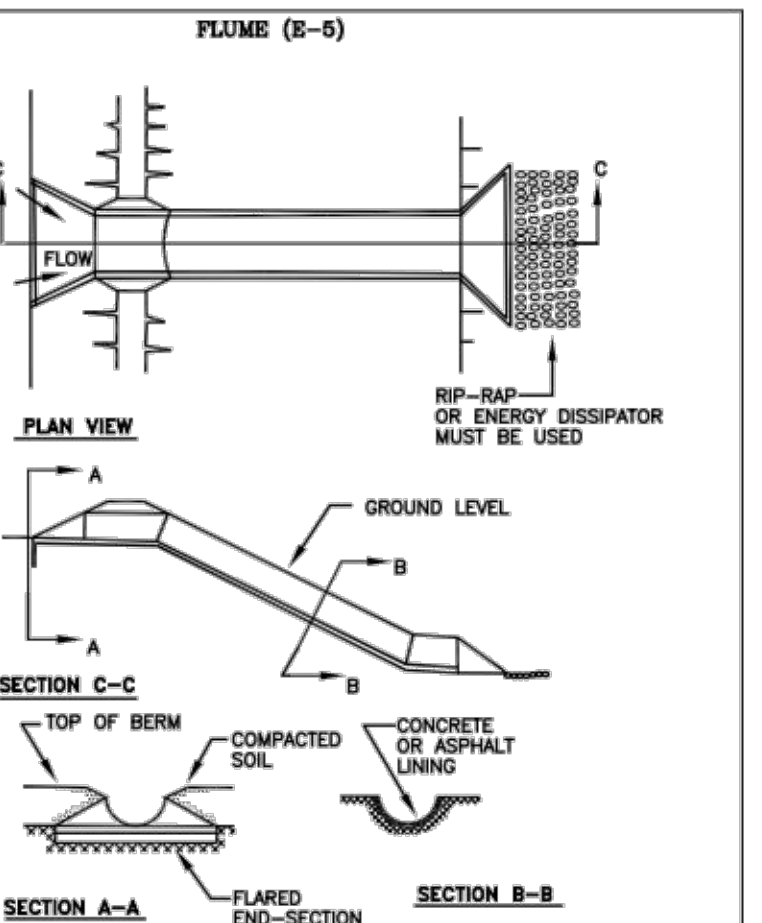
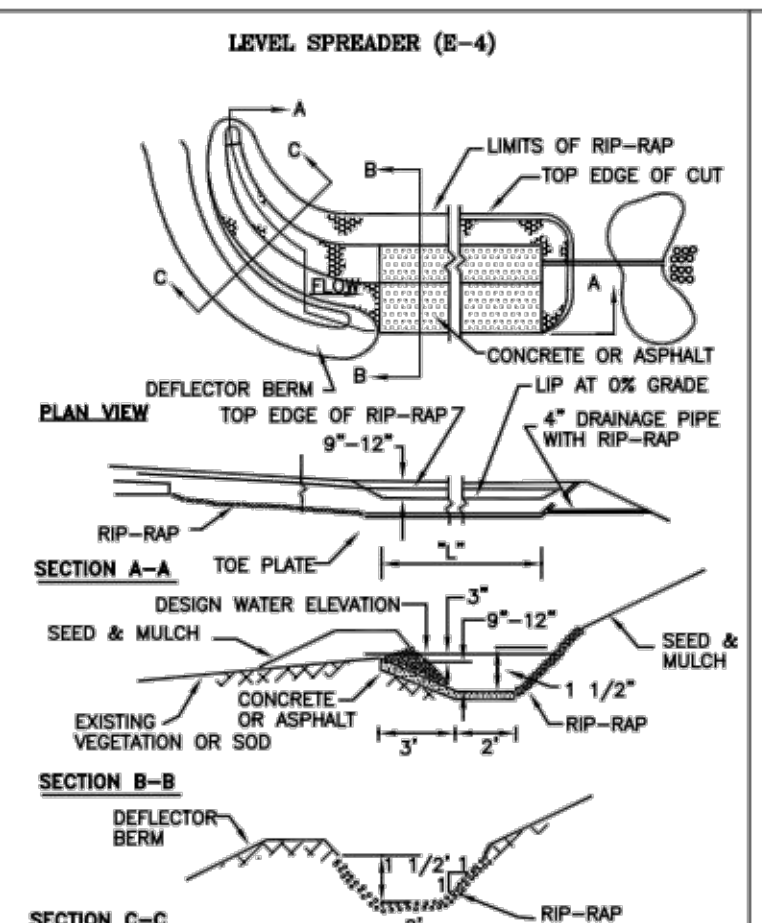
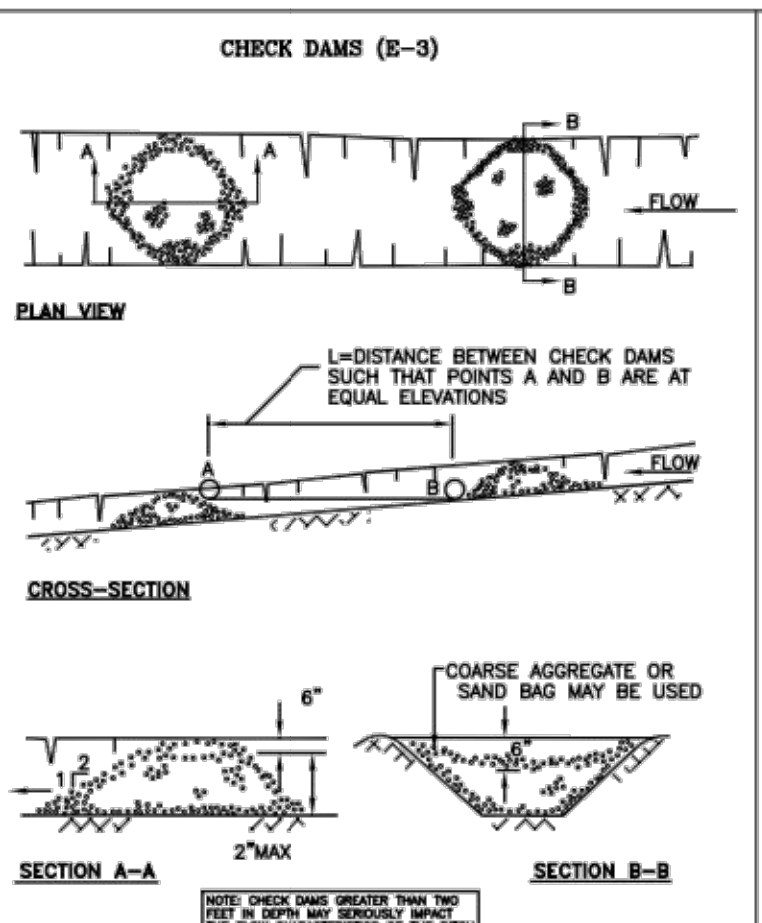
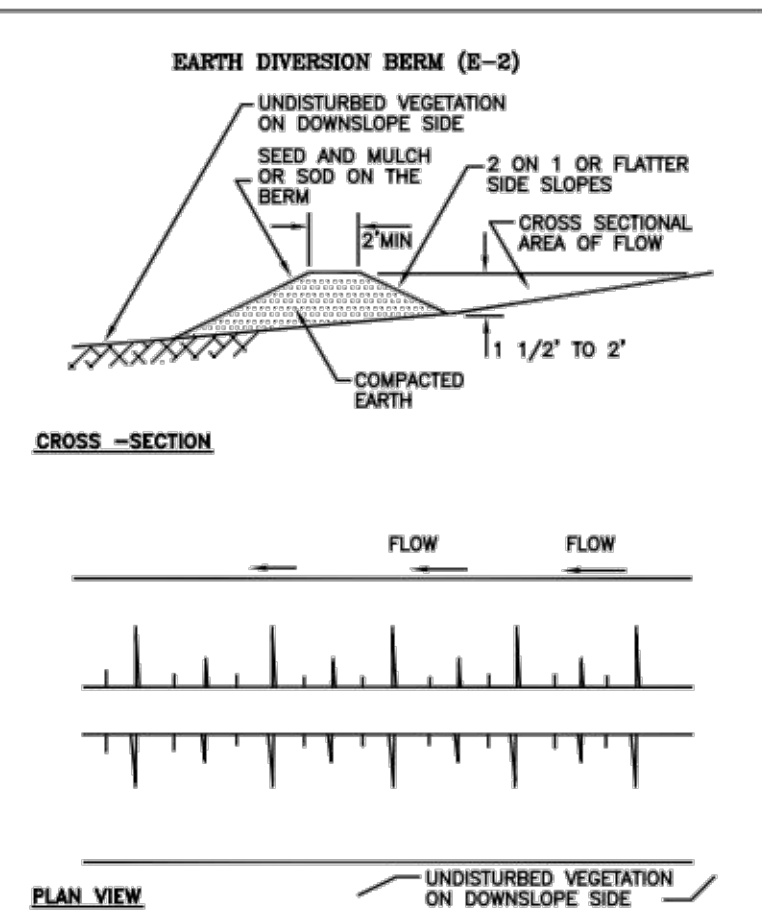
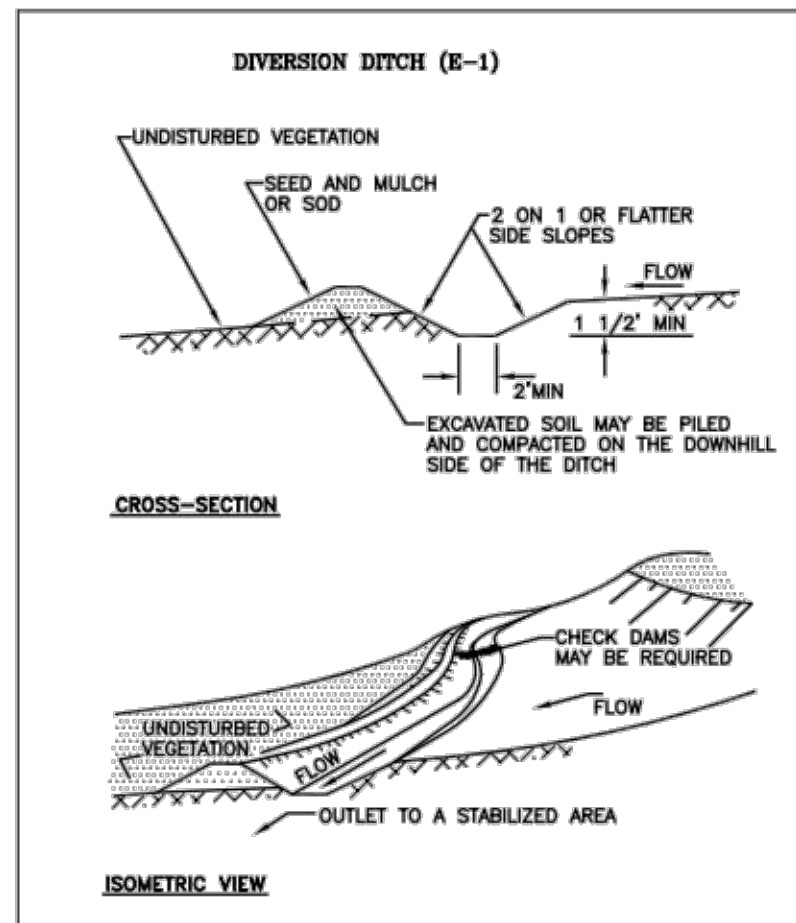
DATE 8-15-2023 JOB NO. 32983
DWS NO. 983-80-rd01-traffic
FIELD BOOK 621-658
FILE NO. 10787

M2 SHEET

RULE 323.1703
SOIL EROSION AND SEDIMENTATION CONTROL PLAN REQUIREMENTS.

A PERSON SHALL PREPARE A SOIL EROSION AND SEDIMENTATION CONTROL PLAN FOR ANY EARTH CHANGE IDENTIFIED IN R 323.1704. A PERSON SHALL DESIGN THE PLAN TO EFFECTIVELY REDUCE ACCELERATED SOIL EROSION AND SEDIMENTATION AND SHALL IDENTIFY FACTORS THAT MAY CONTRIBUTE TO SOIL EROSION OR SEDIMENTATION, OR BOTH. THE PLAN SHALL INCLUDE, BUT NOT BE LIMITED TO, ALL OF THE FOLLOWING:

- (A) A MAP OR MAPS AT A SCALE OF NOT MORE THAN 200 FEET TO THE INCH OR AS OTHERWISE DETERMINED BY THE COUNTY OR LOCAL ENFORCING AGENCY. A MAP SHALL INCLUDE A LEGAL DESCRIPTION AND SITE LOCATION SKETCH THAT INCLUDES THE PROXIMITY OF ANY PROPOSED EARTH CHANGE TO LAKES OR STREAMS, OR BOTH; PREDOMINANT LAND FEATURES; AND CONTOUR INTERVALS OR SLOPE DESCRIPTION.
- (B) A SOILS SURVEY OR A WRITTEN DESCRIPTION OF THE SOIL TYPES OF THE EXPOSED LAND AREA CONTEMPLATED FOR THE EARTH CHANGES.
- (C) DETAILS FOR PROPOSED EARTH CHANGES, INCLUDING ALL OF THE FOLLOWING:
 - (i) A DESCRIPTION AND THE LOCATION OF THE PHYSICAL LIMITS OF EACH PROPOSED EARTH CHANGE.
 - (ii) A DESCRIPTION AND THE LOCATION OF ALL EXISTING AND PROPOSED ON-SITE DRAINAGE AND DEWATERING FACILITIES.
 - (iii) THE TIMING SEQUENCE OF EACH PROPOSED EARTH CHANGE.
 - (iv) THE LOCATION AND DESCRIPTION FOR INSTALLING AND REMOVING ALL PROPOSED TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES.
 - (v) A DESCRIPTION AND THE LOCATION OF ALL PROPOSED PERMANENT SOIL EROSION AND SEDIMENTATION MEASURES.
 - (v) A PROGRAM PROPOSAL FOR THE CONTINUED MAINTENANCE OF ALL PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES THAT REMAIN AFTER PROJECT COMPLETION, INCLUDING THE DESIGNATION OF THE PERSON RESPONSIBLE FOR THE MAINTENANCE. MAINTENANCE RESPONSIBILITIES SHALL BECOME A PART OF ANY SALES OR EXCHANGE AGREEMENT FOR THE LAND ON WHICH THE PERMANENT SOIL EROSION CONTROL MEASURES ARE LOCATED.



| REVISIONS: | ISSUE NO. | BID DATE |
|------------|--------------|-----------|
| | B.G. DRN. | DATE |
| | TOPO DRN. | DESIGN |
| | PROFILE DRN. | ENG. DRN. |
| | APPROVED | SCALE |
| | V: | H: NTS |

YPSILANTI TOWNSHIP
TOWNSHIP STANDARD
SOIL EROSION CONTROL DETAILS

CLIENT: YPSILANTI TOWNSHIP

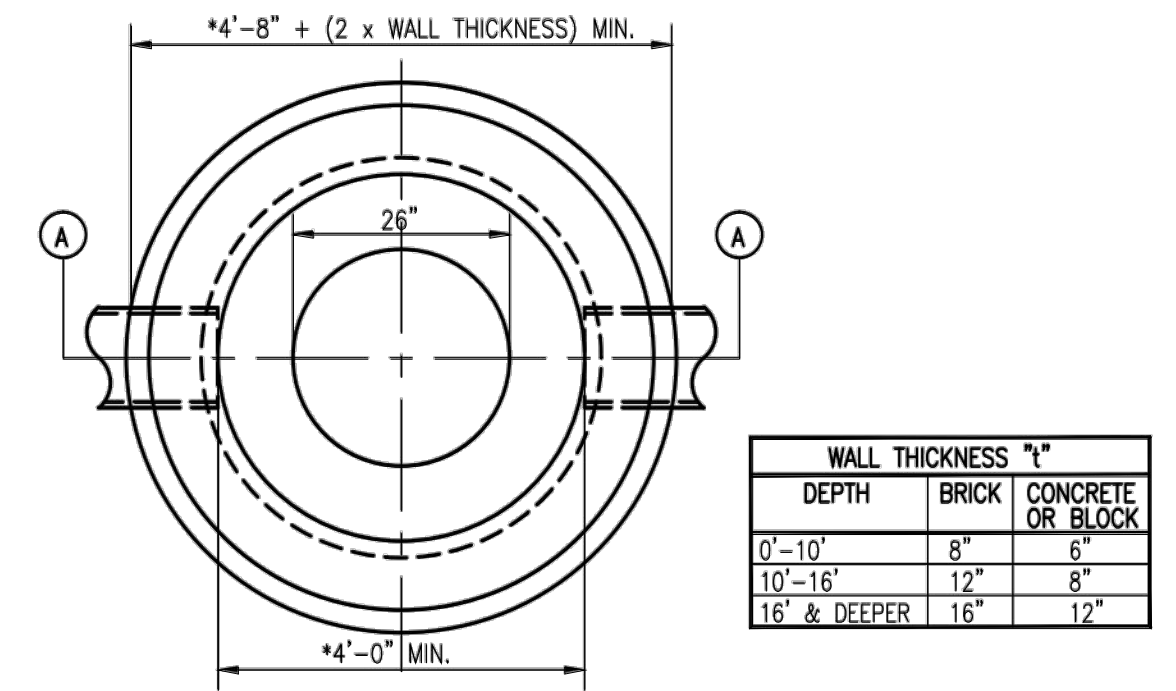
ORCHARD, HILTZ & McCLIMENT, INC.

3400 Plymouth Road
Livonia, MI 48150
(734) 522-6711
(734) 522-6427 FAX

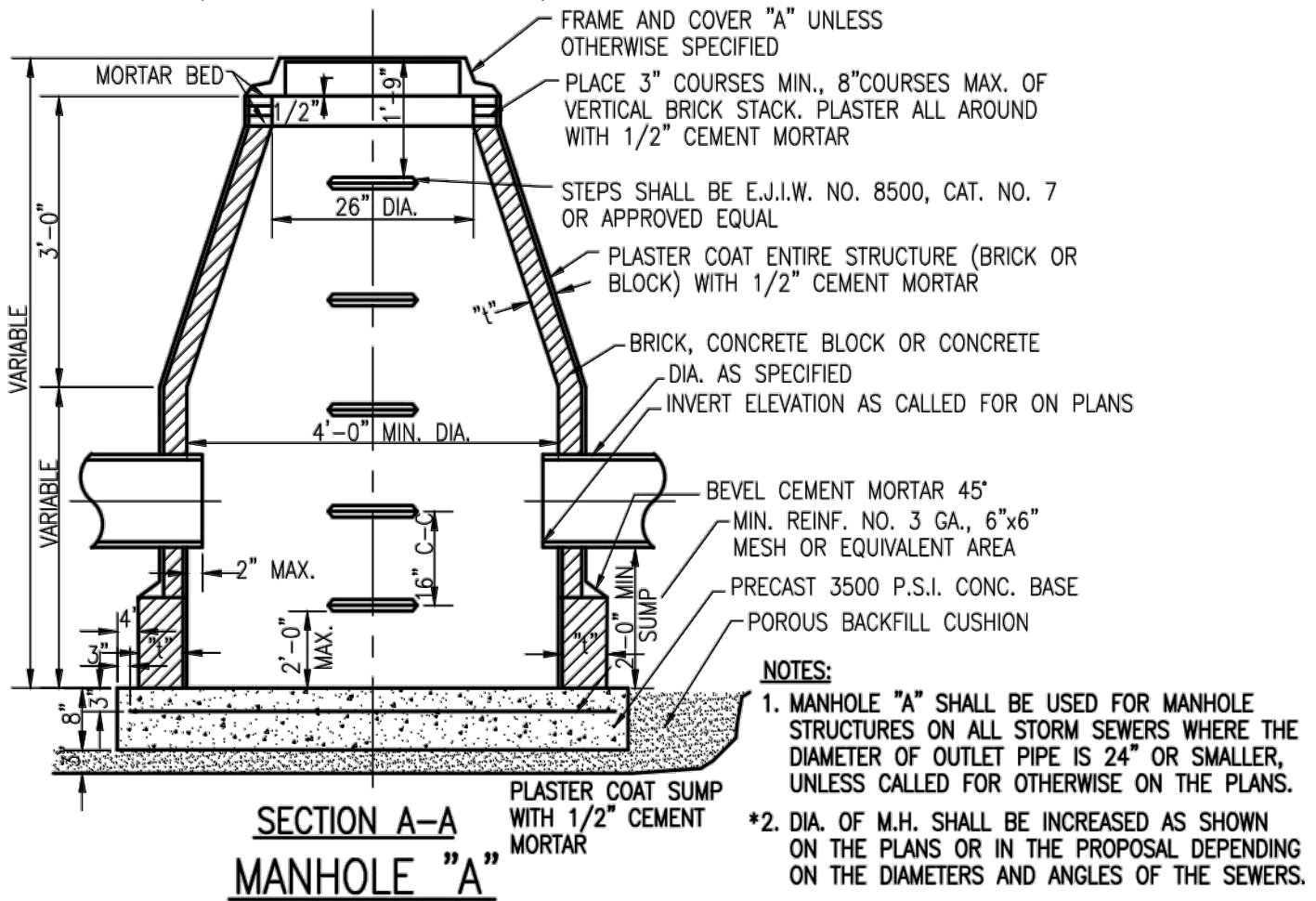
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SHEET
13

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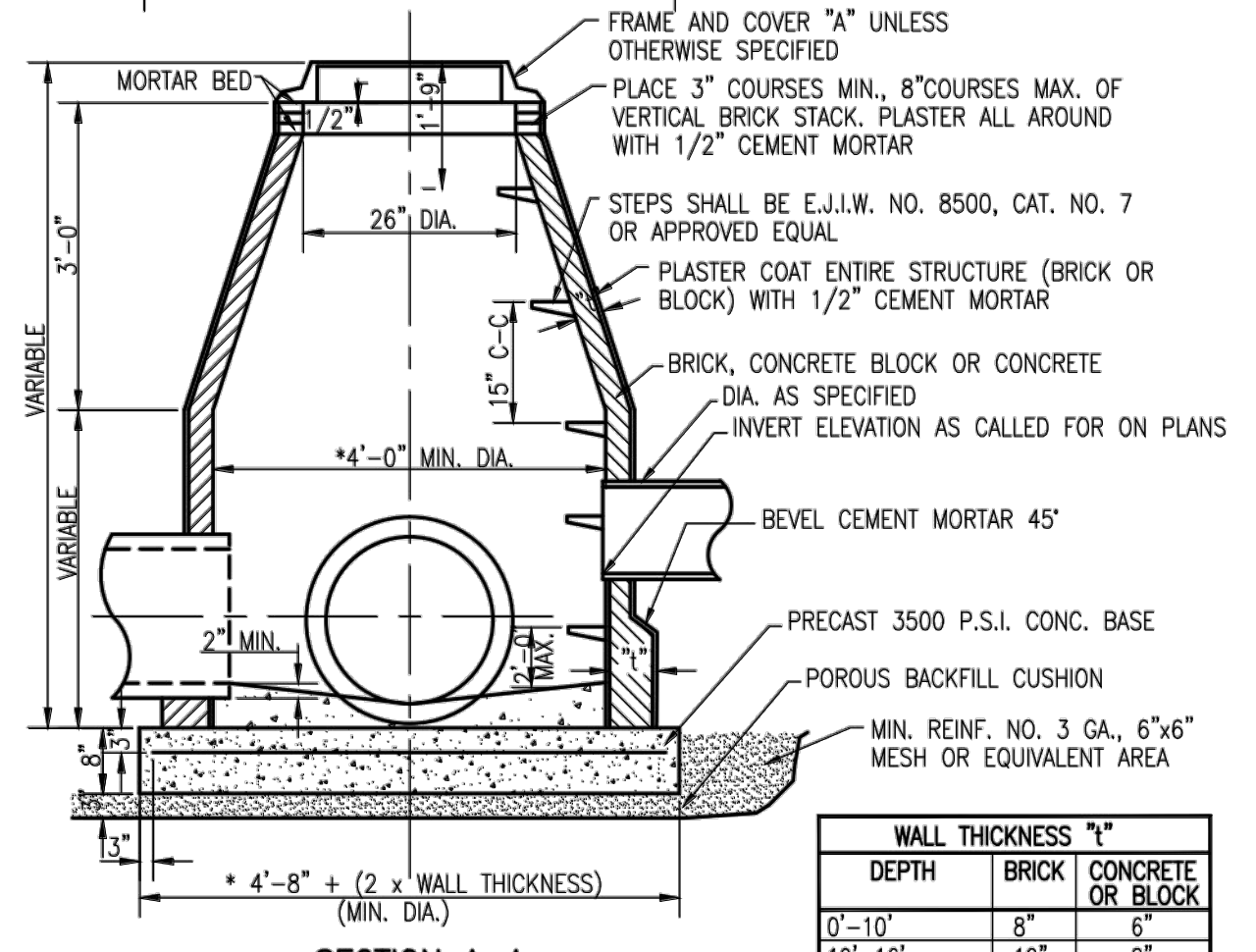
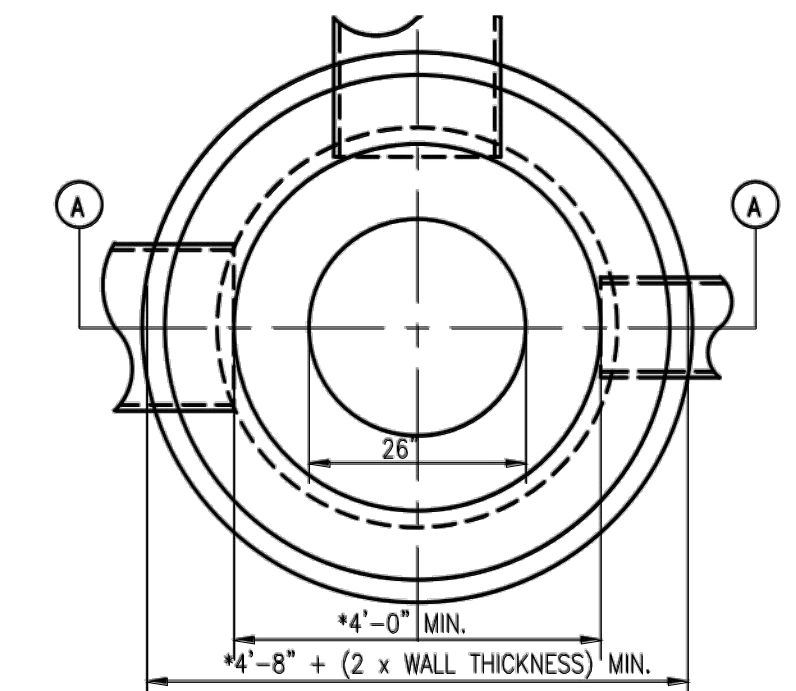


| DEPTH | BRICK | CONCRETE OR BLOCK |
|--------------|-------|-------------------|
| 0'-10" | 8" | 6" |
| 10'-16" | 12" | 8" |
| 16' & DEEPER | 16" | 12" |



SECTION A-A
MANHOLE "A"

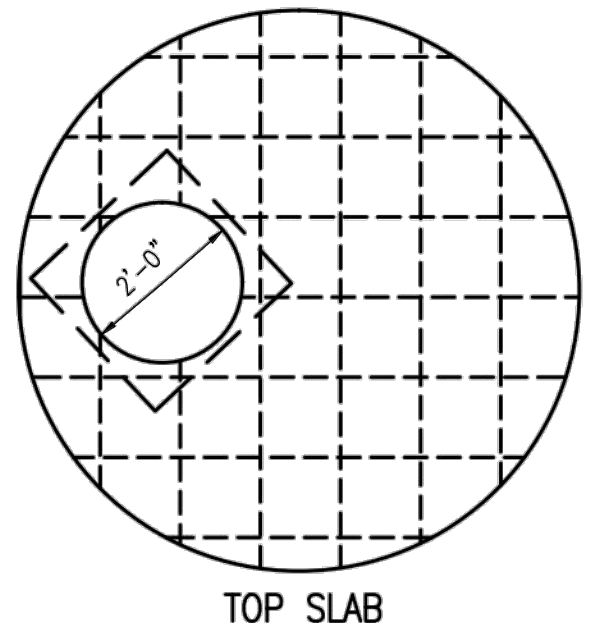
- NOTES:
- MANHOLE "A" SHALL BE USED FOR MANHOLE STRUCTURES ON ALL STORM SEWERS WHERE THE DIAMETER OF OUTLET PIPE IS 24" OR SMALLER, UNLESS CALLED FOR OTHERWISE ON THE PLANS.
 - DIA. OF M.H. SHALL BE INCREASED AS SHOWN ON THE PLANS OR IN THE PROPOSAL DEPENDING ON THE DIAMETERS AND ANGLES OF THE SEWERS.



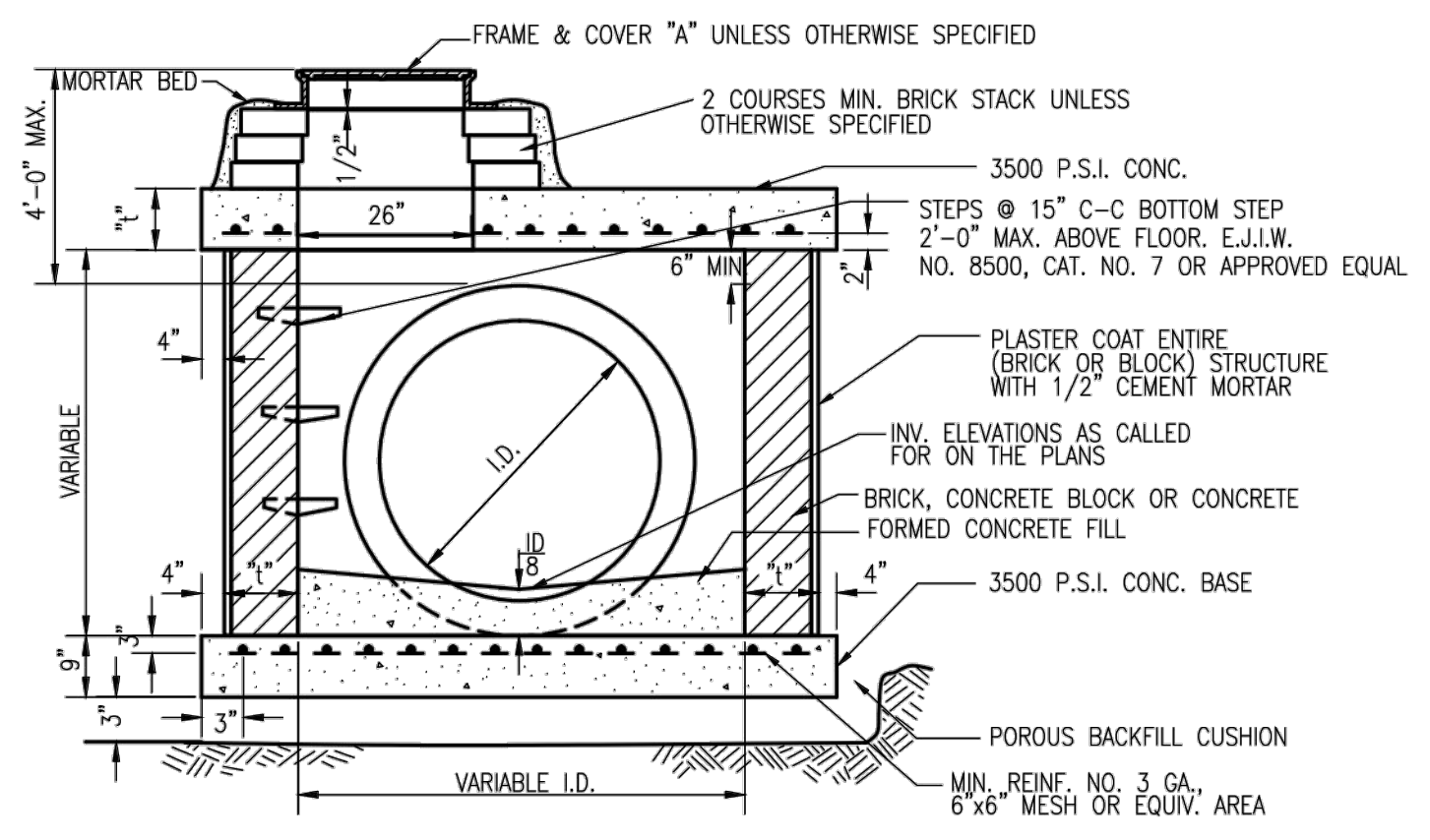
SECTION A-A
MANHOLE "B"

- NOTES:
- MANHOLE "B" SHALL BE USED FOR MANHOLE STRUCTURES ON ALL STORM SEWERS WHERE THE DIAMETER OF OUTLET PIPE IS 24" OR SMALLER, UNLESS CALLED FOR OTHERWISE ON THE PLANS.
 - DIA. OF M.H. SHALL BE INCREASED AS SHOWN ON THE PLANS OR IN THE PROPOSAL DEPENDING ON THE DIAMETERS AND ANGLES OF THE SEWERS.

| DEPTH | BRICK | CONCRETE OR BLOCK |
|--------------|-------|-------------------|
| 0'-10" | 8" | 6" |
| 10'-16" | 12" | 8" |
| 16' & DEEPER | 16" | 12" |



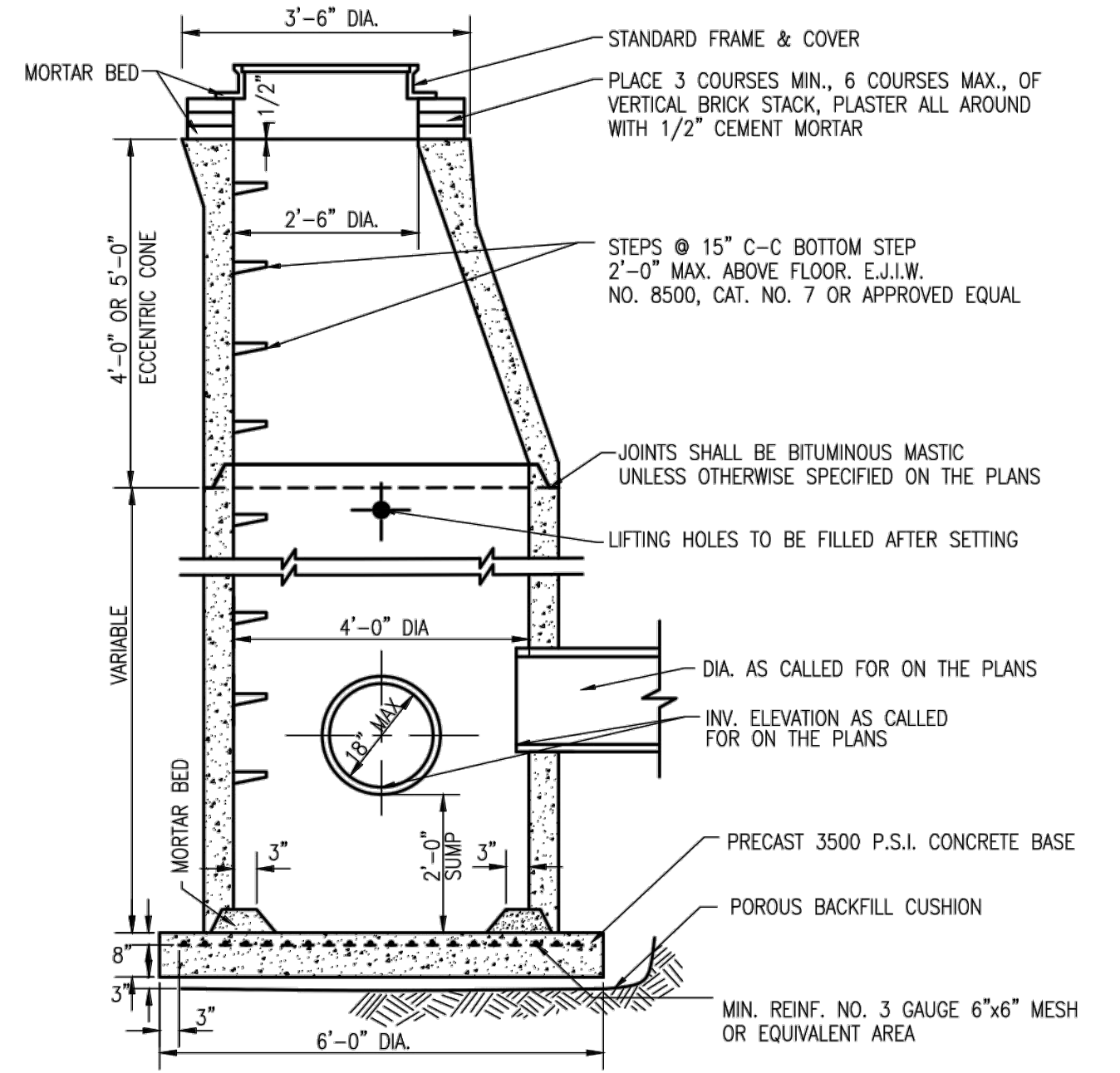
TOP SLAB



TYPICAL SECTION
MANHOLE "D"

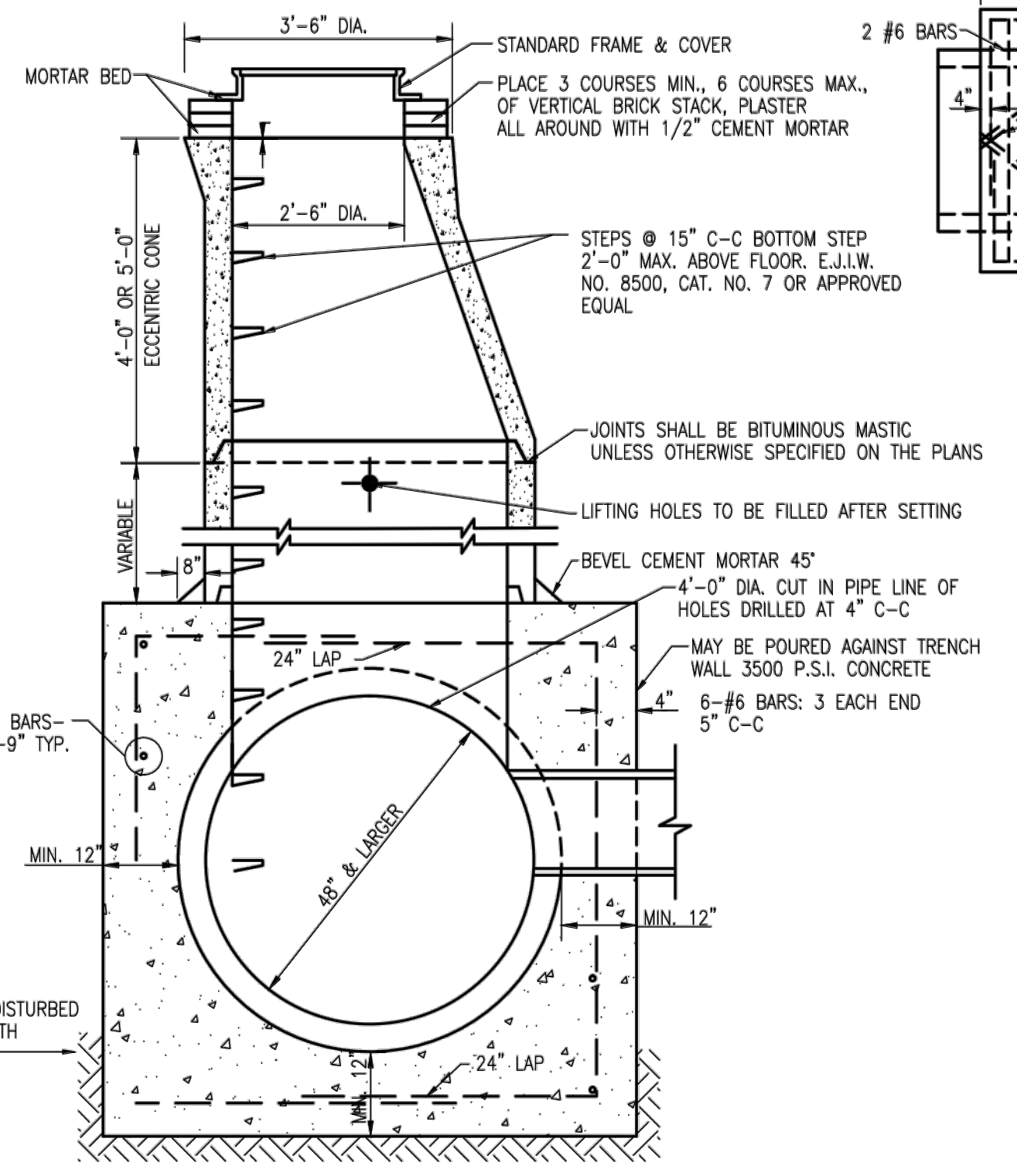
| OUTLET I.D. | M.H. D | TOP SLAB "T" | WALLS "W" | REINFORCING STEEL (SLAB) |
|-------------|--------|--------------|-----------|--------------------------|
| 24" OR LESS | 4'-0" | 9" | 8" | 3/4" @ 9" EACH WAY |
| 30" | 4'-0" | 9" | 8" | 3/4" @ 9" EACH WAY |
| 36" | 4'-0" | 9" | 12" | 3/4" @ 9" EACH WAY |
| 42" | 4'-0" | 10" | 12" | 3/4" @ 9" EACH WAY |
| 48" | 4'-0" | 10" | 12" | 3/4" @ 9" EACH WAY |
| 54" | 4'-0" | 11" | 12" | 7/8" @ 9" EACH WAY |

- NOTES:
- DIA. SHALL BE INCREASED AS SHOWN ON PLANS OR IN THE PROPOSAL DEPENDING ON THE ANGLE OF THE SEWERS.
 - M.H. "D" SHALL BE USED WHERE THE DEPTH OF COVER FROM THE TOP OF CASTING TO THE TOP OF SEWER IS LESS THAN 4'-0". M.H. "D" SHALL BE CONSTRUCTED WITH A 2' SUMP WHERE DIAMETER OF OUTLET SEWER IS 24" OR LESS.



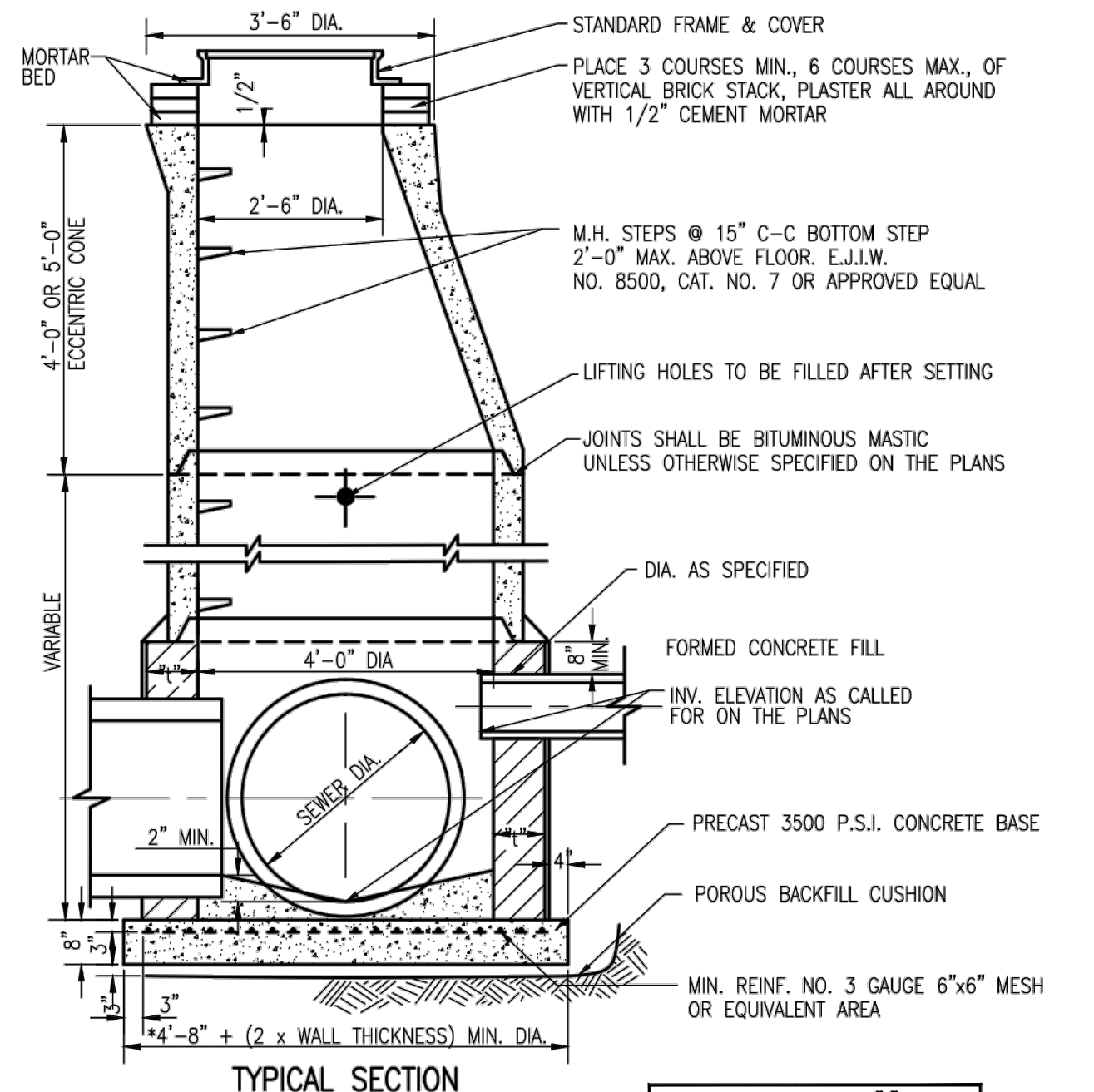
TYPICAL SECTION
PRECAST MANHOLE "E"

- NOTES:
- THIS MANHOLE SHALL BE USED ONLY WHEN MEETING CONDITIONS STATED IN THE "GENERAL MANHOLE NOTES", ITEM NO. 2A
 - PRECAST UNITS SHALL MEET THE REQUIREMENTS SPECIFIED BY A.S.T.M. C-478-68.



TYPICAL SECTION
PRECAST MANHOLE "C"

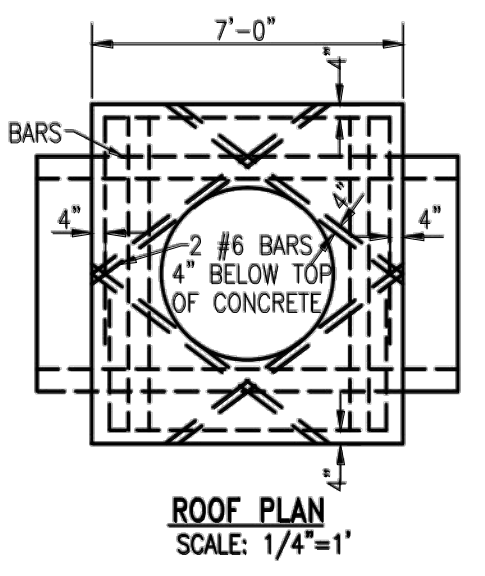
- NOTES:
- MANHOLE "C" SHALL BE USED FOR MANHOLE STRUCTURES ON ALL STORM SEWERS WHERE 48" OR LARGER DIA. PIPES INTERSECT.
 - PRECAST UNITS SHALL MEET THE REQUIREMENTS SPECIFIED BY A.S.T.M. C-478-68.



TYPICAL SECTION
PRECAST MANHOLE "F"

- NOTES:
- THIS MANHOLE SHALL BE USED ONLY WHEN MEETING CONDITIONS STATED IN THE "GENERAL MANHOLE NOTES", ITEM NO. 2A
 - PRECAST UNITS SHALL MEET THE REQUIREMENTS SPECIFIED BY A.S.T.M. C-478-68.
 - DIAMETER OF MANHOLE SHALL BE INCREASED AS SHOWN ON PLANS OR IN THE PROPOSAL, DEPENDING ON THE DIAMETERS AND ANGLES OF THE SEWERS.

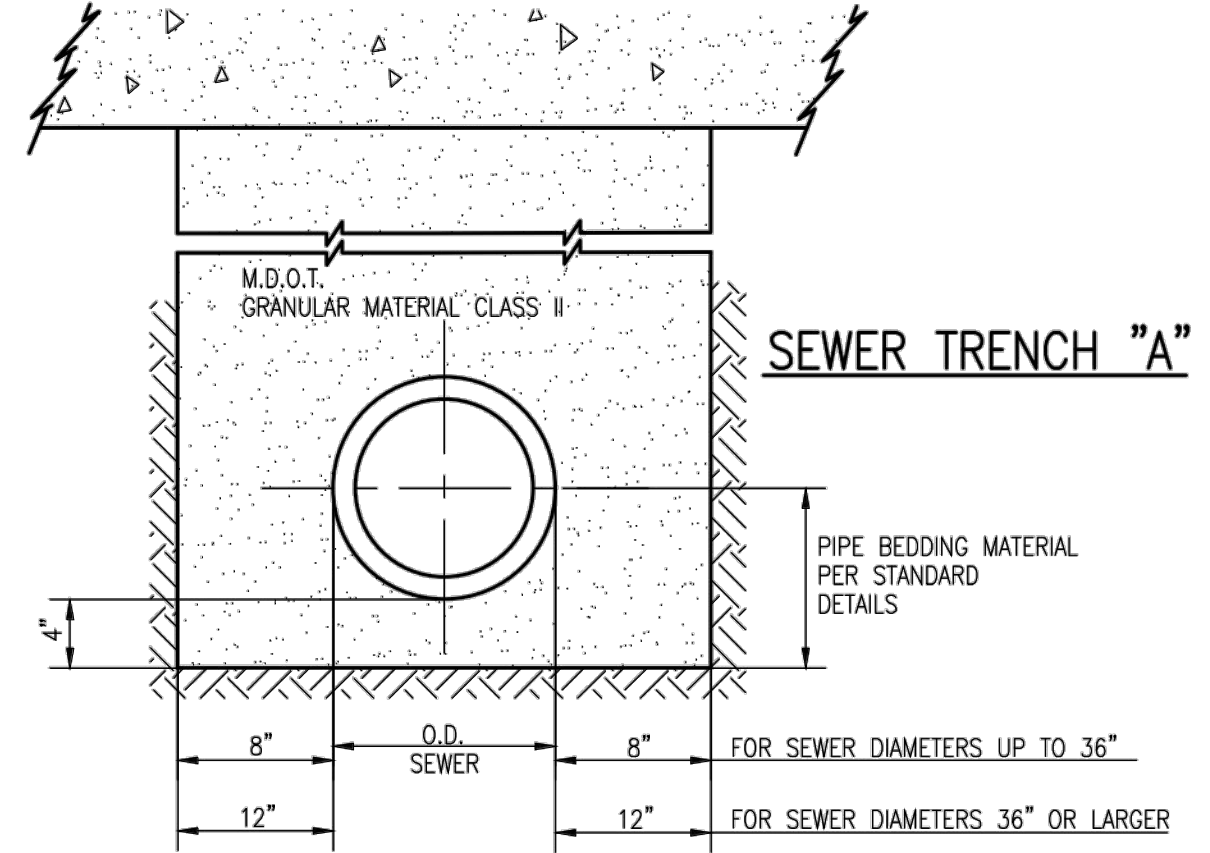
| DEPTH | BRICK | CONCRETE OR BLOCK |
|--------------|-------|-------------------|
| 0'-10" | 8" | 6" |
| 10'-16" | 12" | 8" |
| 16' & DEEPER | 16" | 12" |



ROOF PLAN
SCALE: 1/4"=1'

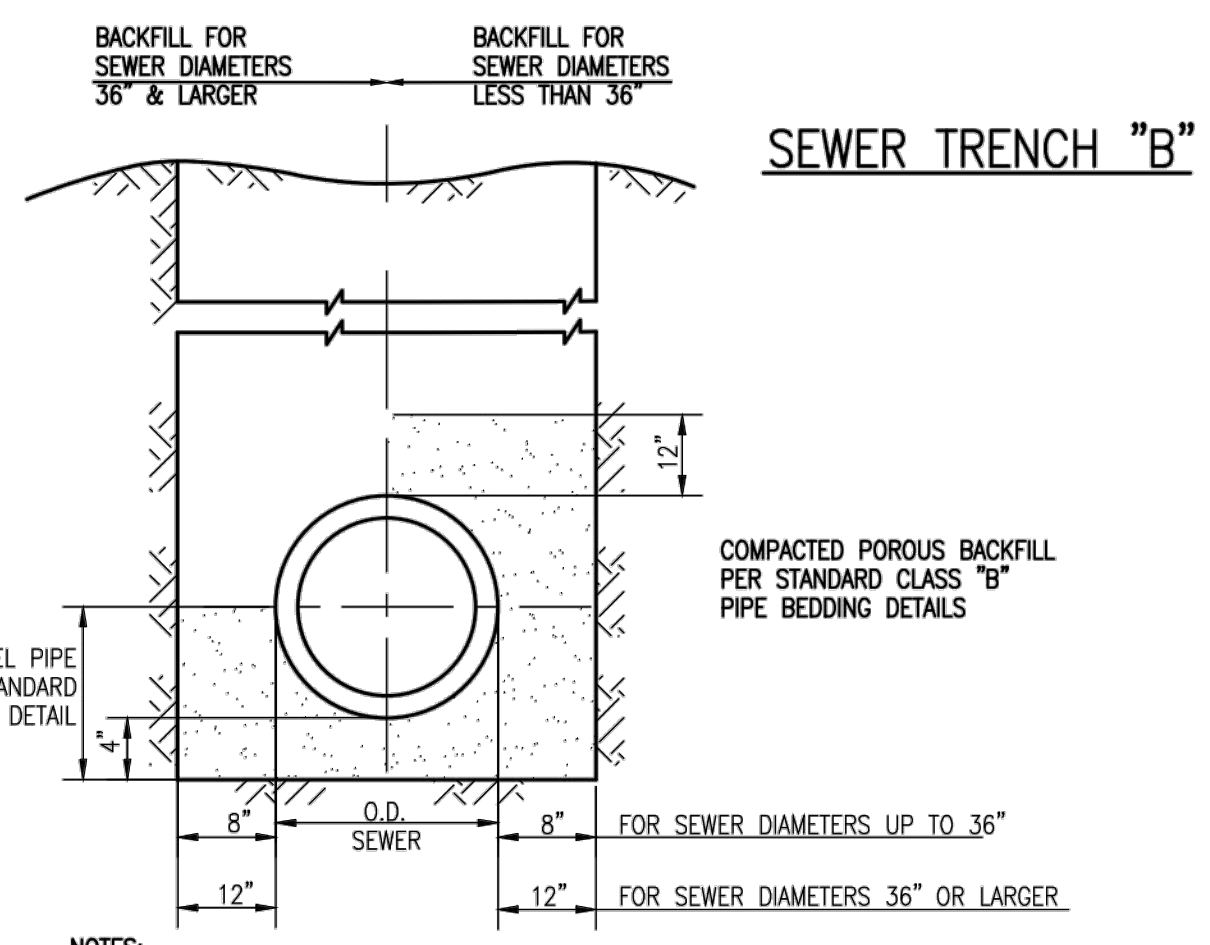
GENERAL NOTES FOR
STORM SEWER MANHOLES

- ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE TOWNSHIP OF YPSILANTI AND YCUA.
- CONTRACTOR SHALL CONSTRUCT MANHOLES WITH PRECAST REINFORCED CONCRETE UNITS ("E", "F", AND "I") IN LIEU OF CONCRETE, BRICK AND BLOCK MANHOLES ("A" AND "B") IN ACCORDANCE WITH THE FOLLOWING CONDITIONS:
 - MAXIMUM DIAMETER OF SEWER OUTLET IN ANY PRECAST UNIT SHALL BE 18" (MANHOLE "E" ONLY).
 - NO OPENINGS SHALL BE MADE IN PRECAST UNITS WHICH WOULD LEAVE LESS THAN 24" OF UNDISTURBED PRECAST PIPE OR WOULD REMOVE MORE THAN 30% OF THE CIRCUMFERENCE ALONG ANY HORIZONTAL PLANE.
 - STRUCTURES FOR SEWERS LARGER THAN 18", OR THOSE NOT MEETING THE OPENING REQUIREMENTS, SHALL BE BUILT OF BLOCK OR BRICK UP TO A MINIMUM OF 8" ABOVE THE TOP OF SEWER, WITH PRECAST UNITS BEING USED ABOVE THIS POINT, WHERE PRECAST UNITS REST ON THE BLOCK OR BRICK, THE GROOVE IN THE PRECAST UNIT SHALL BE FILLED WITH MORTAR.
 - OPENINGS FOR THE OUTLET SEWER SHALL BE PRECAST WITH A DIAMETER OF 3 INCHES LARGER THAN THE OUTSIDE DIAMETER OF THE OUTLET PIPE. ALL OTHER OPENINGS SHALL BE MADE IN THE FIELD AFTER MANHOLE HAS BEEN CONSTRUCTED.
- ALL VERTICAL OPENINGS IN CONCRETE BLOCK STRUCTURE WALLS SHALL BE COMPLETELY FILLED WITH MORTAR. ALL VERTICAL WALL JOINTS SHALL BE CEMENT POINTED.
- A "POURED 3500 P.S.I. CONCRETE BASE" WITHOUT STEEL REINFORCEMENT MAY BE SUBSTITUTED FOR PRECAST BASE WHEN APPROVED BY THE TOWNSHIP ENGINEER. A POROUS BACKFILL CUSHION WILL NOT BE REQUIRED UNDER THE POURED BASE UNLESS CONTRACTOR HAS EXCAVATED BELOW THE REQUIRED ELEVATION, AT WHICH TIME THE ENGINEER WILL DECIDE AS TO THE MERITS OF INCREASING THE THICKNESS OF THE CONCRETE BASE OR THE USE OF A POROUS BACKFILL CUSHION.
- WHERE UNSTABLE GROUND CONDITIONS ARE ENCOUNTERED, SLAG OR STONE BEDDING SHALL BE USED AS DIRECTED BY THE ENGINEER IN ORDER TO PROVIDE A STABLE FOUNDATION FOR PIPE AND MANHOLES.
- ALL PIPES ENTERING OR LEAVING A MANHOLE SHALL BE ADEQUATELY SUPPORTED BY POURING 2500 P.S.I. CONCRETE FILL FROM UNDISTURBED EARTH TO SPRINGLINE.
- WHEREVER EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL HOLES AT 4" CENTER TO CENTER AROUND PERIPHERY OR OPENING TO CREATE A PLANE OF WEAKNESS BEFORE BREAKING SECTION OUT.



SEWER TRENCH "A"

- NOTES:
- TRENCH "A" SHALL BE USED UNDER ROAD SURFACES, PAVEMENT, SIDEWALK, CURB, AGGREGATE & PAVED DRIVES AND WHERE THE EDGE OF TRENCH IS WITHIN 3 FEET OF THE PAVEMENT
 - GRANULAR MATERIAL SHALL BE PLACED BY THE "CONTROLLED DENSITY METHOD" OR OTHER MEANS HAVING APPROVAL OF THE ENGINEER AND IS TO BE COMPACTED TO 95% OF MAXIMUM UNIT WEIGHT



SEWER TRENCH "B"

- NOTES:
- SUITABLE EXCAVATED BACKFILL MATERIAL SHALL BE PLACED IN ONE FOOT LAYERS AND COMPACTED BY MECHANICAL TAMPING OR OTHER EFFECTIVE MEANS HAVING APPROVAL OF THE ENGINEER, TO A DENSITY EQUIVALENT TO THE UNDISTURBED ADJACENT SOIL.
 - TRENCH "B" SHALL BE USED UNDER CONDITIONS OTHER THAN SPECIFIED FOR TRENCH "A"



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YPSILANTI TOWNSHIP / Y.C.U.A.
STANDARD STORM SEWER DETAILS

DRAWING PATH: S:\CITY\Ypsilanti\Ypsilanti\Standard\Ypsilanti\Township\2015\11\10pm

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Township Supervisor
Brenda L. Stumbo
Township Clerk
Heather Jarrell Roe
Township Treasurer
Stan Eldridge



**YPSILANTI
TOWNSHIP**
— PLANNING & ZONING DEPARTMENT —

Trustees
John Newman II
Gloria Peterson
Debbie Swanson
Ryan Hunter

Ypsilanti Township Planning Commission 2024 Schedule of Meetings

The Planning Commission holds regular meetings on the 2nd and 4th Tuesdays of each month.

Special Meetings may be held at the request of the applicant. If a special meeting is called the applicant is required to pay a fee of \$1,100.

Work Session: 6:00pm (time subject to change due to length of agenda)
Meeting: 6:30pm

All meetings are held at the Tilden R. Stumbo Civic Center Building, 7200 S. Huron River Drive, Ypsilanti, Michigan 48197.

Tuesday, January 9, 2024
Tuesday, January 23, 2024

Tuesday, February 13, 2024
Tuesday, February 27, 2024

Tuesday, March 12, 2024
Tuesday, March 26, 2024

Tuesday, April 9, 2024
Tuesday, April 23, 2024

Tuesday, May 14, 2024
Tuesday, May 28, 2024

Tuesday, June 11, 2024
Tuesday, June 25, 2024

Tuesday, July 9, 2024
Tuesday, July 23, 2024

Tuesday, August 13, 2024
Tuesday, August 27, 2024

Tuesday, September 10, 2024
Tuesday, September 24, 2024

Tuesday, October 8, 2024
Tuesday, October 22, 2024

Tuesday, November 12, 2024
Tuesday, November 26, 2024

Tuesday, December 10, 2024
No meeting Tuesday, December 24, 2024

TOWNSHIP HALL
3040 NORTH PROSPECT STREET
COR. PROSPECT & CHERRY HILL RDS.
YPSILANTI, MICHIGAN 48198
TELEPHONE: (734) 482-6099
FAX: (734) 482-3842

CHARTER TOWNSHIP OF SUPERIOR WASHTENAW COUNTY, MICHIGAN

Planning Commission
Charter Township of Ypsilanti
7200 S. Huron River Drive
Ypsilanti, MI 48197

November 29, 2023

RE: UPDATE TO THE SUPERIOR CHARTER TOWNSHIP MASTER PLAN

In accordance with the Michigan Planning Enabling Act (PA 33 of 2008 as amended), the Superior Charter Township has prepared a comprehensive update to the existing Master Plan and requests your cooperation and comment on the Plan. This comprehensive update includes revisions to the Township Vision and Policies, Growth Management and Future Land Use Plan, Dixboro Special Area Plan, and Strategies and Implementation. The Superior Charter Township 2023 Comprehensive Master Plan is ready for your review, and a digital draft can be found on the Township's website at:

www.superiortownship.org/2023-master-plan/

This letter represents the initiation of the 63-day comment period, which will conclude with a public hearing at an upcoming Planning Commission meeting.

Please direct all comments to the Secretary of the Planning Commission via the Township Planning and Zoning Administrator at the e-mail address below.

We thank you for your consideration in this matter. If you have any questions or comments on the Superior Charter Township 2023 Comprehensive Master Plan or process at this time, please contact me.

Sincerely,



Laura Bennett
Planning & Zoning Administrator
Superior Charter Township
planning@superior-twp.org
734-482-6099