



## **REGULAR MEETING AGENDA**

**Tuesday, September 26, 2023**

**6:30 P.M.**

**If you need any assistance due to a disability, please contact the Planning Department at least 48 hours in advance of the meeting at [planning@ypsitownship.org](mailto:planning@ypsitownship.org) or 734-544-4000 ext. 1.**

1. CALL TO ORDER
2. ROLL CALL
3. APPROVAL OF THE SEPTEMBER 12, 2023, REGULAR MEETING MINUTES
4. APPROVAL OF AGENDA
5. PUBLIC HEARINGS
  - A. **SPECIAL LAND USE – MOTOWN HOLDINGS, INC. - 6630 RAWSONVILLE ROAD – PARCEL K-11-25-400-014** – TO CONSIDER THE SPECIAL LAND USE PERMIT APPLICATION OF MOWTOWN HOLDINGS, INC. TO PERMIT THE CONSTRUCTION OF A TRUCK TERMINAL AND USES WHICH HAVE AN INDUSTRIAL CHARACTER IN TERMS OF EITHER THEIR OUTDOOR STORAGE REQUIREMENTS OR ACTIVITIES SUCH AS AUTOMOBILE GARAGES FOR A 6.030 ACRE SITE ZONED L-M – LOGISTICS AND MANUFACTURING.
  - B. **ZONING ORDINANCE TEXT AMENDMENT** – TO CONSIDER THE PROPOSED CHANGES TO THE FOLLOWING ZONING ORDINANCES:
    1. ARTICLE 2, SECTION 201. – DEFINITIONS.
    2. ARTICLE 4, SECTION 420. – USE TABLE.
    3. ARTICLE 5, SECTION 504. – NEIGHBORHOOD CORRIDORS.
    4. ARTICLE 5, SECTION 505. – REGIONAL CORRIDORS.
    5. ARTICLE 5, SECTION 507. – DESIGN STANDARDS.
    6. ARTICLE 11, SECTION 1155. – STATE-LICENSED RESIDENTIAL CHILD AND ADULT CARE FACILITIES.
    7. ARTICLE 11, SECTION 1167. – ADAPTIVE REUSE.
6. OLD BUSINESS
7. NEW BUSINESS
  - A. **PRELIMINARY SITE PLAN – MOTOWN HOLDINGS - 6630 RAWSONVILLE ROAD – PARCEL K-11-25-400-014** – TO CONSIDER THE PRELIMINARY SITE PLAN APPLICATION OF MOWTOWN HOLDINGS, INC. TO PERMIT THE CONSTRUCTION OF A TRUCK TERMINAL FOR A 6.030 ACRE SITE ZONED L-M – LOGISTICS AND MANUFACTURING.
8. OPEN DISCUSSION FOR ISSUES NOT ON THE AGENDA
  - A. CORRESPONDENCE RECEIVED
  - B. PLANNING COMMISSION MEMBERS

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**Township Supervisor**  
Brenda L. Stumbo  
**Township Clerk**  
Heather Jarrell Roe  
**Township Treasurer**  
Stan Eldridge



**YPSILANTI  
TOWNSHIP**  
— PLANNING & ZONING DEPARTMENT —

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**Trustees**  
John Newman II  
Gloria Peterson  
Debbie Swanson  
Ryan Hunter

C. MEMBERS OF THE AUDIENCE

9. TOWNSHIP BOARD REPRESENTATIVE REPORT
10. ZONING BOARD OF APPEALS REPRESENTATIVE REPORT
11. TOWNSHIP ATTORNEY REPORT
12. PLANNING DEPARTMENT REPORT
13. OTHER BUSINESS
14. ADJOURNMENT

**Please Note: This meeting is being recorded.**

**CHARTER TOWNSHIP OF YPSILANTI  
PLANNING COMMISSION MEETING  
Tuesday, September 12, 2023  
6:30 pm**

**COMMISSIONERS PRESENT**

Bill Sinkule, Chair  
Elizabeth El-Assadi, Vice-Chair  
Gloria Peterson  
Larry Doe

Muddasar Tawakkul  
Bianca Tyson

Caleb Copeland

**STAFF AND CONSULTANTS**

Jason Iacoangeli AICP, Planning Director  
Fletcher Reyher, Planning and Development Coordinator

i. **CALL TO ORDER/ESTABLISH QUORUM**

**MOTION:** Mr. Sinkule called the meeting to order at 6:30 pm.

ii. **APPROVAL OF JULY 2023 REGULAR MEETING MINUTES**

**MOTION:** Mr. Tawakkul **MOVED** to approve the July 25, 2023, regular meeting minutes. The **MOTION** was **SECONDED** by Mr. Doe and **PASSED** by unanimous consent.

iii. **APPROVAL OF AGENDA**

**MOTION:** Ms. Peterson **MOVED** to approve the proposed agenda. The **MOTION** was **SECONDED** by Ms. El-Assadi and **PASSED** by unanimous consent.

iv. **PUBLIC HEARINGS**

- a. **3120 ELLSWORTH ROAD – K-11-07-300-004 – TO CONSIDER THE SPECIAL LAND USE REVIEW APPLICATION OF TAHANI ABD-ALMAJEED TO PERMIT A GROUP DAYCARE HOME, PROVIDING CARE FOR UP TO TWELVE (12) CHILDREN, FOR A SITE ZONED R-4 ONE FAMILY RESIDENTIAL.**

Mr. Fletcher Reyher, Planning and Development Coordinator, presented to the Commission a special land use application to permit a group daycare home to provide care for up to 12 children at 3120 Ellsworth Road. The subject site is a 1-acre parcel, zoned R-4 One Family Residential, located adjacent to the Roundtree Apartment complex and Fortis Academy Charter School. The driveway is U-shaped, with both entrances on Ellsworth Road. The applicant currently operates a family day care home (1-6 children) in the Township located at the same address. The applicant is seeking to increase from one to six children to 12 children, which requires planning commission consideration for a special land use approval.

Mr. Reyher presented the Commission with an aerial view and a street view of the property taken from Google Street View. The surrounding properties are all residential, mostly single-family residential, and to the south of the property is a Roundtree apartment complex, which is residential multi-family medium density.

As per the Michigan Zoning Enabling Act, a group daycare home shall be issued a special use permit, conditional use permit or other similar permit if the group childcare home meets the following conditions.

- The group daycare is located not closer than 1,500 feet to any of the following: Another licensed group daycare; An adult foster care small group home or large group home licensed under the adult foster care facility; A facility offering substance use disorder services; A community correction center, resident home, halfway house.

The applicant has met the standards. The closest licensed group daycare home is 2,740 feet away, located in Pittsfield Township.

- Another condition is that the applicant shall have appropriate fencing for the safety of the children. Per the applicant's application submitted, there is a privacy fence in the rear yard where the children would recreate.
- The daycare home: The play area size must not be less than 600 square feet in size. The backyard of this property is approximately 16,000 square feet. The applicant has more than enough space to accommodate 7 to 12 children.
- Maintains the property consistent with the visible characteristics of the neighborhood (Standard has been met).
- Does not exceed 16 hours of operation during a 24-hour period (Standard has been met). The applicant proposes operating five days a week from 7 am to 6 pm.
- There are sign regulations, and the township has sign regulations as well. The applicant is not offering any signage at the moment. If they do, they'll need to come in with a separate permit and meet the standards of the zoning ordinance.

- The Zoning Enabling Act requires that the applicant provides off-street parking accommodation for parents dropping off and picking up their children and their employees (Standard has been met).

The township also has a list of standards that need to be met for approval of a special use permit for a group daycare home.

- The use will be harmonious and in accordance with the objective intent and purpose of this ordinance. The Planning Department believes that this use would be harmonious with surrounding uses.
- Group daycare homes are residential, and they provide an essential service to working parents.
- Will be compatible with the natural environment and existing and future land uses in the vicinity (The subject property is compatible with the natural environment and existing and future land uses).
- Will be compatible with the township master plans (The subject is currently compatible with the Master Plan and the future land use designation. That designation is Neighborhood Preservation. It will remain a single-family home, which meets that standard).
- Will be served adequately by essential public facilities and services (The subject property is an existing home and is served by essential public services).
- Will not be detrimental, hazardous, or disturbing to existing or future neighboring uses, property, or public affairs. (The location is a safe environment for this use. This property is located on Ellsworth near the intersection of the golf side and receives high traffic volumes at peak traffic hours. The Planning Commission will have to consider this).
- Will not create additional requirements at public costs for public facilities and services that will be detrimental to the economic welfare of the community (The proposed use would likely not create additional requirements at public costs for public facilities and services that will be detrimental to the economic welfare of the community).

Ms. Tahani Abd-Almajeed (Applicant) shared with the commission that she started a home daycare two months ago. There has been demand for daycare, but it is unable to expand due to the limitations, and having an assistant will help in the expansion.

Mr. Tawakkul asked Ms. Tahani Abd-Almajeed if she was comfortable with the conditions laid out; Ms. Tahani Abd-Almajeed stated yes.

Ms. Peterson commended Ms. Tahani Abd-Almajeed for the expansion of the daycare into a home daycare and for providing good daycare to the community. The provider has a home with plenty of space for the kids to play.

### **Public Hearing opened at 6:47 PM**

Chris Chadwick (3100 Ellsworth Road) spoke on behalf of his mother (Nancy Chadwick). Nancy Chadwick is the owner of the property adjacent to the daycare. Mr. Chadwick inquired if there would be weekend daycare for the age group of the children. Mr. Chadwick shared his concern about traffic congestion and the issue of cars being parked in his driveway. The other issue is that the house at 3120 is on a septic system. There's no sanitary sewer from the Gulf side to Michigan, which could have potential problems in the future. The property line on the west side is 13 feet from the school property and about 155 square feet from the storage building to the northwest corner of the property. There has been a sign posted of the daycare.

### **Hearing No Public Comments.**

### **Public Hearing closed at 6:52 PM**

Mr. Fletcher Reyher stated that he would respond to the resident after some research. Mr. Reyher stated that the public notices extend to Pittsfield Township. The planning department uses Washington County GIS, and it includes Pittsfield Township and all of those parcels that are in there. The 300-foot radius doesn't stop at those borders, and if it did stop at a county line, the addresses would be found in the adjacent County. According to the records, the property is hooked up to a public sewer. This would need to be confirmed with the YCUA engineer. If there are any discrepancies with the documents of the house, they will be corrected. Mr. Reyher stated that he would communicate to the applicant to remove the sign since there was no approval for the sign to be put up. The hours of operation of the home daycare are Monday-Friday (7:00 am –5:00 pm) for age groups 0-12 years.

**Note:** A condition for the Planning Commission to approve the applicant to remove the sign and to follow any necessary permits to have a sign erected.

**MOTION:** Mr. Tawakkul **MOVED** to approve the special conditional use permit request of Tahani Abd-Almajeed for the purpose of allowing a Group Daycare Home, providing care for up to twelve (12) children, for a site zoned R-4, Residential, located at 3120 Ellsworth RD, parcel, K-11-07-300-004 with the following conditions:

1. The applicant shall agree to enter into a special conditional use agreement outlining the following conditions:
  - The applicant shall supply, prior to the operation of a group day care home, to the Office of Community Standards a daycare application and all documentation as required by the daycare application, including but not

limited to, scaled and accurate survey drawing correlated with a legal description and showing all existing buildings, drives, and other improvements; copy of state license; copy of inspection reports, drawings or pictures of the house layout, showing the rooms that will be utilized for the daycare.

- The subject site shall be brought into compliance with all state building and fire codes pursuant to state licensing rules.
  - The use shall comply with the township sign ordinance.
  - Required off-street parking shall be provided during hours of operation.
  - An outdoor play area shall be provided pursuant to state licensing rules.
2. For the safety of all occupants and upon sufficient notice, the applicant shall permit, prior to the operation of a group day care home, the dwelling to be inspected by the Township Building official and/or Fire Marshal to ensure compliance with the adopted property maintenance code.

The **MOTION** was **SECONDED** by Mr. Doe

**Roll Call Vote:** Mr. Copeland (Yes); Ms. El-Assadi (Yes); Mr. Tawakkul (Yes); Mr. Tyson (Yes); Mr. Doe (Yes); Ms. Peterson (Yes); Mr. Sinkule (Yes).

**MOTION PASSED.**

v. **OLD BUSINESS**

None

vi. **NEW BUSINESS**

- a. **PRELIMINARY SITE PLAN – TYLER ROAD COLD STORAGE – 2901 TYLER ROAD –PARCEL K-11-12-300-006** – TO CONSIDER THE SKETCH PRELIMINARY SITE PLAN APPLICATION OF ARM HOLDINGS, LLC, TO PERMIT THE CONSTRUCTION OF COLD STORAGE AND SHOP BUILDINGS ON A PARCEL ZONED I-C – INDUSTRIAL AND COMMERCIAL LOCATED AT 2901 TYLER ROAD, YPSILANTI, MI 48198.

Mr. Iacoangeli (Township Planning Director) presented to the Commission a preliminary site plan for cold storage buildings for International Turbine Industries. The request is for the approval to construct a 7900 square foot storage building, 2100 square foot storage building (future), 10,000 square foot storage building (future) and a 45,000 square foot storage building for future development projects would also include water main extensions, and an entrance replacement at Tyler Road.

The site is currently zoned I-C, Industrial and Commercial, which follows the Master Plan designation. The site is surrounded by Airport Drive to the north and Tyler Road to the south. A portion of the property where these buildings are going to be developed is currently a vacant parking lot. The zoning in this area is I-C, and the master plan is Innovation and Employment District. The topography of this site is flat, and there would be no wetland impact based on the current map. In this zoning district, the maximum building height is 50 feet. The setbacks are 20 feet (front), 40 feet (side) and 50 feet (rear). The applicant is providing the required amount of parking as per the ordinance. The cold storage would have the recommended ADA-compliant parking spaces.

Replacement of the asphalt surrounding the buildings to make sure that the parking surface for all the new buildings meets the engineering standards of the township. The applicant has been requested to remove some of the invasive brush and weeds along Tyler Road that currently exist along the fence line and replace that with landscaping that includes evergreens and other trees to comply with the current zoning ordinance.

#### **Reviews of different departments:**

- **OHM:** Engineers is recommending approval as of August 25. An existing water main currently serves the building on site, and the applicant's proposal meets the Township's design standards.
- **Fire Department:** Fire Marshal Steve Wallgren has reviewed the plan and approved it as submitted. All future structures must comply with hydrant coverage, or the buildings must comply with hydrant coverage of 250 feet when they're built. Future suppress buildings must also have standalone hydrants dedicated to the fire department connection. There is a requirement for a Knox box for the development for the fire department to have access to the site.
- **YCUA:** Scott Westover recommended approval based on his review of the water main system.

Mr. Iacoangeli shared with the Commission that the International Turbine Industry is into turbine refurbishment and the need for storage for incoming and outgoing turbines as they are being restored. Currently, they're utilizing shipping containers as storage.

Mr. Iacoangeli informed the Commission that the development in the area is extremely limited because the soil underneath the parking lot is environmentally sensitive. The applicant would have to take care at the time of construction with regard to disturbing the soil and make sure that they remediate any environmental contamination that might be present.

The commissioner inquired about the duration of the construction.



William Andrews (General Manager of ITI) stated that the storage and the initial building would take six months to a year. And the aim is to make some long-term enhancements and additions as the company expands.

Ms. Peterson inquired about the turbine and the contents of the containers; Mr. Andrews shared that the location is for a jet engine overhaul facility. The work is usually on seven to 10 passenger jets. The crates are four feet by six feet by four feet high, and the engines fit into these crates.

The Commissioner stated that with the wetland districts, the applicants would need to take extra care.

The Commission and Mr. Andrews discussed the maintenance of the engines. The cold storage would continue to be a storage space. Building C is for the preliminary presentation. Once approved, the cold storage would be built first, and the plan is to start working towards Building C to be developed into a shop. Normally, it takes about 90 days to repair an engine, depending on the scope of maintenance.

**MOTION:** Mr. Tawakkul **MOVED** to approve the construction of a 7,900 sq.ft. Storage building, 2,100 sqft storage building (future), 10,000 sq.ft storage building (future), 45,000 sq.ft storage building (future), water main extension, and entrance replacement located at 2901 Tyler Road, Ypsilanti, MI 48198 Parcel #K-11-12-300-006. This motion is further made with the following conditions:

- The applicant shall address all outstanding comments from reviewing agencies prior to Final Site Plan approval.
- The applicant shall obtain all applicable internal and outside agency permits prior to construction.

The **MOTION** was **SECONDED** by Mr. Doe

**Roll Call Vote:** Mr. Copeland (Yes); Ms. El-Assadi (Yes); Mr. Tawakkul (Yes); Ms. Tyson (Yes); Mr. Doe (Yes); Ms. Peterson (Yes); Mr. Sinkule (Yes).

**MOTION PASSED.**

- b. **ZONING ORDINANCE TEXT AMENDMENT – TO CONSIDER THE PROPOSED CHANGES TO THE FOLLOWING ZONING ORDINANCES.**

Mr. Iacoangeli informed the Commission that most of the amendments were supposed to go through with the last batch, but due to a publication issue, it was sent as a separate batch of amendments to the Board.

Mr. Iacoangeli requested the Commission to schedule a Planning Commission meeting on September 26, 2023, for a formal public hearing on the amendments.

1) ARTICLE 2, SECTION 201. – DEFINITIONS: The new addition to the definition section.

**Adaptive Reuse:** The development of a new use for an older building or for a building originally designed for a special or specific purpose.

2) ARTICLE 4, SECTION 420. – USE TABLE.

3) ARTICLE 5, SECTION 504. – NEIGHBORHOOD CORRIDORS.

4) ARTICLE 5, SECTION 505. – REGIONAL CORRIDORS.

5) ARTICLE 5, SECTION 507. – DESIGN STANDARDS.

This additional language wasn't included in the zoning ordinance when it was adopted about a year and a half ago "Transparency Alternatives."

Transparency alternatives. The following alternatives may be used singularly or in combination for any side or rear-facing facade which requires transparency. If used in combination, they may count toward no more than 50% of the transparency requirement. Transparency alternatives may be used but cannot be counted toward the transparency requirements for facades that face a right-of-way.

- a. Wall design. Wall designs must provide a minimum of three of the following elements, occurring at intervals no greater than 25 feet horizontally and 10 feet vertically.
  - Expression of the structural system and infill panels through a change in plane not less than three inches.
  - System of horizontal and vertical scaling elements, such as: belt courses, string courses, cornice, and pilasters.
  - System of horizontal and vertical reveals not less than one inch in width/depth.
  - Variations in material module, pattern, and/or color.
  - System of integrated architectural ornamentation.
- b. Outdoor dining/seating: inclusion of outdoor dining/seating located between the building and the primary street lot line.
- c. Permanent art: noncommercial art or graphic design of sufficient scale and orientation to be perceived from the public right-of-way and rendered in materials or media appropriate to an exterior, urban environment and permanently integrated into the building wall.

These criteria, even though they did not exist in the ordinance, were used as part of the Aldi development to allow them to achieve some of their transparency requirements for parts of their building. And one of those choices that they made

was the permanent art because they will be putting an art area at the corner of Huron and Brinker.

6) ARTICLE 11, SECTION 1155. – STATE-LICENSED RESIDENTIAL CHILD AND ADULT CARE FACILITIES.

Struck out explicit state licensing rules that are subject to change and swapped them with State of Michigan licensing rules.

This change was made due to running into issues where ordinances have explicit legal numbers in them, and then the state numbers change, and the ordinance doesn't reflect it.

The other change is that the site shall comply with the sign provisions of Article 15.

7) ARTICLE 11, SECTION 1167. – ADAPTIVE REUSE

- i. **Intent:** The intent of this is to facilitate the retention and conversion of older, economically distressed, existing, underutilized, or historically significant buildings to viable uses. Reuse of existing buildings will help to reduce vacant space, create opportunities for new development, and reduce property degradation and blight. Encouraging the reuse of buildings is a sustainable practice to retain much of the energy that went into their initial construction and reduce greenhouse gas emissions. Specifically, the intent of this section is to:
  - a. Provide regulations specifically tailored to encourage and promote the rehabilitation of older used and underutilized buildings.
  - b. Provide for a mix of uses within said adaptive reuse developments, which promote the economic revitalization of Ypsilanti Township.
  - c. Promote the retention of older buildings and lands, which enhance the image and preserve the heritage of Ypsilanti Township.
  - d. Provide reasonable standards for the blending of new construction with existing buildings to allow quality development of older structures within contemporary development and building standards.
  
- ii. **Criteria:** The provisions of this section are intended to modify the standards otherwise applied to the site by its underlying zoning district. Unless specifically modified by this chapter, all other standards adopted shall apply.

Projects must meet the following criteria to be eligible adaptive reuse projects:

- The project site shall be located in an NB, Neighborhood Commercial, GB, General Commercial, Regional Commercial Form-Based district,

Neighborhood Corridor Form-Based district, or the adaptive reuse of a civic building or public-school building in any district.

- This applies to any building that is at least 20 years old and that was constructed in accordance with building and zoning codes in effect at the time of construction.
- The project results in a change of use in all or a portion of the existing building.
- The existing building may not be destroyed by any means to the extent of more than fifty (50) percent of its replacement cost.

iii. **Allowances:** The setbacks, height loading and parking. The building must have ample parking. Loading the height can exceed the maximum height of the district that it's in. The setbacks need to be considered legally non-conforming, and no further encroachments can be permitted on non-conforming setbacks.

iv. **Uses:**

- Permitted Uses: Any use that is permitted to use in the underlying zoning district.
- Assembly Uses, Clubs, Banquet Halls and other such uses are not permitted.
- The following uses shall be allowed as a Special Use- Planning Commission approval if they are within an adaptive reuse development:
  - i. Any use that is a Special-Use Planning Commission in the underlying zoning district.
  - ii. Indoor Climate Controlled Self-Storage for reuse of buildings greater than 50,000 square feet.
  - iii. Retail greater than 20,000 sq/ft.
  - iv. Commercial kennel/Pet Day Care.
  - v. Veterinary clinic/veterinary hospital
  - vi. Fitness, gymnastics, exercise centers, and indoor recreational facilities.
  - vii. Theatres.
  - viii. House of worship.
  - ix. Art Studios
  - x. Trade Schools and other educational uses.
  - xi. Offices and Flex Office Space.
  - xii. Daycare.
  - xiii. Craft trades such as breweries, coffee roasters, bakeries, or culinary businesses.

- Unless listed in this section, other uses are not permitted.

**v. Specific Conditions:**

- a. The provisions of this zoning overlay are intended to modify the standards otherwise applied to the site by its underlying district. Unless specifically modified by this chapter, all other standards adopted for this site shall apply.
- b. All adaptive reuse projects require site plan review as provided for in Article 9.
- c. Adaptive Reuse Projects require a Development Agreement approved by the Township Board of Trustees.
- d. Expansions to the floor area of an eligible building and new construction on the lot must comply with the dimensional requirements provided in the district in which it is located.
- e. The following site elements must be brought into compliance:
  - Parking lot pavement/repairs
  - Lighting as set forth in Section 1303.
  - Landscaping as set forth in Section 1301
- f. The application shall make necessary façade improvements as required by ordinance.
- g. The adaptive reuse project may include both additions and new construction.
- h. The application shall include security camera and license plate readers.
- i. The Planning Commission has the authority to require traffic, environmental, and other reports that aid the site plan review.

Mr. Iacoangeli stated that the zoning section permits to utilize existing buildings that would not otherwise be utilized in the manner that they were initially built.

This information will be opened for public hearing on September 26, 2023, once the Commission reviews the information.

**MOTION:** Mr. Tawakkul **MOVED** to approve to set the proposed amendments to the Zoning Ordinance for public hearing on September 26, 2023.

The **MOTION** was **SECONDED** by Ms. El-Assadi.

**Roll Call Vote:** Mr. Copeland (Yes); Ms. El-Assadi (Yes); Mr. Tawakkul (Yes); Ms. Tyson (Yes); Mr. Doe (Yes); Ms. Peterson (Yes); Mr. Sinkule (Yes).

**MOTION PASSED.**

vii. **OPEN DISCUSSIONS FOR ISSUES NOT ON AGENDA**

- **Correspondence received**

None to Report.

- **Planning Commission members**

The members discussed the development of Round House.

- **Members of the audience**

None to Report.

viii. **TOWNSHIP BOARD REPRESENTATIVE REPORT**

None to Report

ix. **ZONING BOARD OF APPEALS REPRESENTATIVE REPORT**

Ms. El-Assadi informed the Commission that Lamkin group was approved to do their office. An application was denied requesting relief from Sec. 802 of the Zoning Ordinance. The applicant constructed a garage addition in the required side yard setback.

x. **TOWNSHIP ATTORNEY REPORT**

None to Report

xi. **PLANNING DEPARTMENT REPORT**

Mr. Iacoangeli informed the Commission that there has been progress on the plans that were preliminarily approved and are moving toward their final site plan approval. The EMU golf facility is finishing the addition, with state representative Wilson planning to hold a re-election shindig. The university men's and women's facility is close to completion. There is good progress with RnL Carriers. The plan is to be completed in November.

Ms. Peterson inquired about the property at Crystal Ponds; Mr. Iacoangeli stated that they are at the stage of building the last two houses. Ms. Peterson shared her concern about the delay to the roadworks and completion of topcoats on the driveways. Ms. Peterson requested Mr. Iacoangeli to inquire about the completion.

xii. **OTHER BUSINESS**

None to Report

xiii. **ADJOURNMENT**

**MOTION:** Ms. El-Assadi **MOVED** to adjourn at 7:43 pm. The **MOTION** was **PASSED** by unanimous consent.

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Respectively Submitted by Minutes Services.



**Staff Report**  
**Motown Holdings, Inc. – Truck Terminal**  
**6630 Rawsonville Road**  
**Preliminary Site Plan and Special Land Use Review**

September 26, 2023

**Case Location and Summary**

The Office of Community Standards is in receipt of a Preliminary Site Plan and Special Land Use Application from Motown Holdings, Inc. for a proposed truck terminal to be located at 6630 Rawsonville Road, Parcel K-11-25-400-014. The Applicant is seeking special use and Preliminary Site Plan approval to construct a 31-space truck storage facility.

**Owner/Applicant**

Motown Holdings, Inc.  
6630 Rawsonville Road, Ypsilanti, MI 48198

**Cross References**

Zoning Ordinance citations:

- Article 4 – District Regulations
- Article 9 – Site Plan Review
- Article 10 – Special Land Use
- Article 12 – Access, Parking, and Loading
- Article 13 – Site Design Standards

***SUBJECT SITE USE, ZONING AND COMPREHENSIVE PLAN***

The subject site is a 6.0-acre parcel that has a single-family home and a mechanic shop. The site is currently zoned L-M, Logistics and Manufacturing. The Ypsilanti Township 2040 Master Plan designates this site as Innovation and Employment. Innovation and Employment areas are the major employment areas of the township. The Innovation and Employment District focuses on strategies for new investment and redevelopment that rely on proximity, connections and physical relationships of mutually supportive industries and businesses. Appropriate uses include warehouses, shipping, and logistics that access regional transportation arterial roads, such as highways.





**6630 Rawsonville Road, Ypsilanti, MI 48198 – Aerial Photograph 2020**



**ADJACENT USES, ZONING AND COMPREHENSIVE PLAN**

Direction	Use	Zoning	Master Plan
North	Contractors Storage Yard	L-M	Innovation and Employment
South	Nursery and Storage Yard	L-M	Innovation and Employment
East	Residential	L-M	Innovation and Employment
West	Railroad and Storage Yard	L-M	Innovation and Employment

**NATURAL FEATURES**

**Topography:** The subject parcel is relatively flat.

**Woodlands:** No woodlands are proposed to be removed.



**Wetlands:** Based on the Michigan EGLE wetlands map viewer, there are no wetlands on the subject property.

**Soils:** Unknown

### **Analysis**

The Plans have been reviewed by Township Staff and consultants in accordance with our procedures.

### **Planning Consultants (Carlisle/Wortman Associates):**

CWA reviewed the Preliminary Site Plan and has recommended approval in their letter dated August 14, 2023. CWA lists the following items need to be addressed by the Planning Commission and Applicant prior to making a motion:

1. Circulation approved by the Township Fire Marshall.
2. The Planning Commission should consider waiving additional landscaping along Rawsonville Road but require parking lot landscaping and detention pond landscaping.
3. Install dimmers to dim lights to 50% at dusk.
4. Provide dumpster screening.
5. Based on the discussion with the applicant, the Planning Commission should consider limiting the number of drivers/trucks that operate from the site to 15.

### **Engineering Consultants (OHM):**

The Township Engineer recommended approval for this stage of the process in their August 30, 2023, review letter. OHM has provided preliminary detailed engineering comments that will be addressed at the time of Final Site Plan and Detailed Engineering.

### **Ypsilanti Community Utilities Authority (YCUA):**

YCUA reviewing agent Scott Westover has recommended preliminary site plan approval in a letter dated August 30, 2023.

### **Ypsilanti Township Fire Department:**

YTFD Fire Marshall Steve Wallgren has recommended preliminary site plan approval in a letter dated August 30, 2023.

### **Washtenaw County Water Resources Commission:**

The WCWRC offered comments in their letter dated September 8, 2023.

### **Washtenaw County Road Commission:**

The WCRC offered comments in their email dated June 27, 2023.



## SUGGESTED MOTIONS:

### Special Land Use

**Suggested motions:** *The following suggested motions and conditions are provided to assist the Planning Commission in making the most appropriate motion for this application. The Commission may utilize, add, or reject any conditions suggested herein, as they deem appropriate.*

**Motion to table:**

*“I move to table the request for **special land use permit** approval for construction of a 31-space truck storage, and use of mechanic shop, and office located at 6630 Rawsonville Road, Parcel K-11-25-400-014, to consider the comments presented by the Planning Commission during discussion of the project.”*

**Motion to approve:**

*“I move to approve the **special land use permit** approval for construction of a of a 31-space truck storage, and use of mechanic shop, and office located at 6630 Rawsonville Road, Parcel K-11-25-400-014, with the following conditions:*

- 1. Applicant shall address all outstanding comments from reviewing agencies prior to Final Site Plan approval.*
- 2. Applicant shall obtain all applicable internal and outside agency permits prior to construction.*
- 3. The applicant shall install dimmers to dim lights to 50% at dusk.*
- 4. The applicant shall provide dumpster screening.*
- 5. The residential structure is not to be rented or used for residential uses. The residential structure is only to be used for office purposes.*
- 6. No outdoor storage of inoperable vehicles and vehicle parts.*
- 7. No outdoor storage of 3<sup>rd</sup> party trucks. All trucks must be part of the Motown Holdings, Inc. fleet.*
- 8. All vehicle repairs are for fleet vehicles only. The repair of 3<sup>rd</sup> party vehicles shall be prohibited.*
- 9. Any other conditions based upon Planning Commission Discussion.*



**Motion to deny:**

*“I move to deny the **special land use permit** approval for construction of a of a 31-space truck storage, and use of mechanic shop, and office located at 6630 Rawsonville Road, Parcel K-11-25-400-014, due to the following reasons:”*

**Preliminary Site Pan**

**Suggested motions:** *The following suggested motions and conditions are provided to assist the Planning Commission in making the most appropriate motion for this application. The Commission may utilize, add, or reject any conditions suggested herein, as they deem appropriate.*

**Motion to table:**

*“I move to table the request for **preliminary site plan** approval for construction of a 31-space truck storage, and use of mechanic shop, and office located at 6630 Rawsonville Road, Parcel K-11-25-400-014, to consider comments presented by the Planning Commission during discussion of the project.”*

**Motion to approve.**

*“I move to approve the **preliminary site plan** approval for construction of a 31-space truck storage, and use of mechanic shop, and office located at 6630 Rawsonville Road, Parcel K-11-25-400-014, with the following conditions:*

- 1. Applicant shall address all outstanding comments from reviewing agencies prior to Final Site Plan approval.*
- 2. Applicant shall obtain all applicable internal and outside agency permits prior to construction.*
- 3. Any other conditions based upon Planning Commission Discussion.*

**Motion to deny:**

*“I move to deny the **preliminary site plan** approval for construction of a 31-space truck storage, and use of mechanic shop, and office located at 6630 Rawsonville Road, Parcel K-11-25-400-014for the following reasons:”*

---

Respectfully submitted,

Fletcher Reyher, Planning and Development Coordinator  
Charter Township of Ypsilanti Planning Department

## *Planning Director's Report*

Project Name: Motown Holdings, Inc. - Truck Terminal

Location: 6630 Rawsonville Road, Ypsilanti, MI 48918

Date: 09-05-2023

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Full Preliminary Site Plan Review # 2<br><input type="checkbox"/> Sketch Preliminary Site Plan Review #<br><input type="checkbox"/> Administrative Preliminary Site Plan Review #<br><input type="checkbox"/> Detailed Engineering/Final Site Plan Review #<br><input checked="" type="checkbox"/> Special Use Permit<br><input type="checkbox"/> Public Hearing | <input type="checkbox"/> Rezoning<br><input type="checkbox"/> Tentative Preliminary Plat<br><input type="checkbox"/> Final Preliminary Plat<br><input type="checkbox"/> Final Plat Process<br><input type="checkbox"/> Planned Development Stage I<br><input type="checkbox"/> Planned Development Stage II |
|--|---|

Contact / Reviewer	Consultants, Departments, & Agencies	Approved	Approved with Conditions	Denied	N/A	See email/letter attached or comments below
Jason Iacoangeli, Planning Director	Township Planning Department	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See comments below
Carlisle/Wortman Associates	Planning Consultant	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 08-22-2023
OHM / Stantec	Engineering Consultant	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 08-30-2023
Steven Wallgren, Fire Marshal	Township Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 07-21-2023
Dave Bellers, Building Official	Township Building Department	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Brian McCleery, Deputy Assessor	Township Assessing Department	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Scott Westover, Engineering Manager	Ypsilanti Community Utilities Authority	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 08-30-2023
Gary Streight, Project Manager	Washtenaw County Road Commission	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	See letter dated 06-27-2023
Theresa Marsik, Stormwater Engineer	Washtenaw County Water Resources Commission	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 07-19-2023
James Drury, Permit Agent	Michigan Department of Transportation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

### Planning Director's Recommended Action:

At this time, Motown Holdings, Inc. is eligible for Preliminary Site Plan / Special Land Use consideration by the Planning Commission. This project is being placed on the Planning Commission agenda for September 26, 2023 at the regularly scheduled meeting. It would be the Planning Department's recommendation that the Planning Commission grant Preliminary Site Plan approval as this project meets the conditions of the Township Zoning Ordinance for a development of this type. The approval should be contingent on the applicant addressing the remaining planning and engineering comments. In addition, the applicant must seek approval approval from the following agencies: WCRC, WCWRC, and YCUA as required as part of the Final Site Plan / Detailed Engineering review. Lastly, the approval should be contingent on the applicant addressing the conditions of approval presented in the Planning Department's Staff Report / Planning Commission Meeting.



**Carlisle | Wortman**  
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: August 22, 2023

**Preliminary Site Plan and Special Use Review  
For  
Ypsilanti Township, Michigan**

<b>Applicant:</b>	Motown Holdings
<b>Project Name:</b>	Rawsonville Road Truck Storage
<b>Plan Date:</b>	August 14, 2023
<b>Location:</b>	6630 Rawsonville Road
<b>Zoning:</b>	LM, Logistics and Manufacturing
<b>Action Requested:</b>	Preliminary Site Plan and Special Use Approval

**PROJECT AND SITE DESCRIPTION**

The applicant is proposing to develop a 31-space truck storage facility at 6630 Rawsonville Road. The applicant proposes no changes to the existing structures on site proposes and plans to repurpose the existing home, garage, and mechanic shop on site. Other site improvements include:

- Pavement of the existing driveway
- Paving and stripping of rear of site for truck storage
- On-site stormwater management
- Landscape improvements
- Lighting improvements

The subject site is zoned LM, Logistics and Manufacturing. Truck terminals are a permitted use but uses such as this that have an industrial character in terms of either their outdoor storage requirements or activities require a special use in the LM district.

Location of Subject Site:

**Aerial Image of Subject Site and Vicinity**



Source: MapWashtenaw

Size of Subject Site:  
6.0 acres

Current Use of Subject Site:  
Single Family Home and Mechanic Shop

Current Zoning:  
LM, Logistics and Manufacturing

Proposed Use of Subject Property:  
Truck storage and mechanic shop

Adjacent zoning and land uses are as follows:

Direction	Zoning	Use
North	LM, Logistics and Manufacturing	Contractors Storage Yard
South	LM, Logistics and Manufacturing / Agriculture Overlay	Nursery and Storage Yard
East	Van Buren Township	Residential
West	LM, Logistics and Manufacturing	Railroad and Storage Yard

## EMPLOYEE AND OPERATIONAL DETAILS

Employees include four (4) office/dispatch operators, two (2) mechanics, and fifteen (15) drivers. The drivers will drive personal vehicles to the site and pick up trucks on site. Office and other employees will park in designed car parking spots on site.

We have asked the applicant to provide the following operational details:

1. Are trucks picked up daily and returned every night or are trucks gone for extended periods of time?

Applicant answer: *Both daily and extended periods 50/50 at this time. Things change with the market.*

2. Do trucks stored hold any freight in them overnight or is all cargo removed before they return to site?

Applicant answer: *In some cases, they will have pending delivery that will stay overnight.*

3. What is the normal truck pick up and drop off times?

Applicant answer: *Normal times are 7 am to 7 pm. Though traffic conditions may alter time.*

4. Are goods that are shipped stored in onsite warehouse?

Applicant answer: *No. Only stay in truck. Locked at all times.*

5. Other than trucks, is there any outdoor storage proposed?

Applicant answer: *No*

6. If only 15 drivers are proposed, why are there so many trucks spaces?

Applicant answer: *Extra spaces for trailer to be dropped.*

7. Are there any other truck repairs other than oil change, tire repair, and filter replacement?

Applicant answer: *All items allowed under light maintenance.*

We are still having difficulty understanding the need for 30 full truck spaces if only 15 drivers operate from the site. The applicant shall justify this need.

**Items to be Addressed:** *Planning Commission to consider the operation details information.*

## MASTER PLAN

The site is designated as Innovation and Employment. Innovation and Employment areas are the major employment areas of the township. The areas will be dominated by advanced companies which are at the



cutting edge of innovation with a combination technology, office, craft manufacturing or light industrial uses. The Innovation and Employment District focuses on strategies for new investment and redevelopment that rely on proximity, connections and physical relationships of mutually supportive industries and businesses. Appropriate uses include warehouses, shipping, and logistics that access regional transportation arterial roads, such as highways.

**NATURAL FEATURES**

**Topography:** The site has been graded for various historical uses.

**Woodlands/Wetlands:** There are no woodlands or wetlands on site.

**Items to be Addressed:** None

**AREA, WIDTH, HEIGHT, SETBACKS**

Sec 415 of the Zoning Ordinance establishes the bulk standards for the Logistics and Manufacturing District.

Table	Required / Allowed	Provided	Complies with Ordinance
Front	40-feet	34.5 feet	Existing non-conforming structure
Side Setback	40/80	Over 40-feet (north) 64.1-feet (south)	Complies
Rear Setback	50 feet	Over 50-feet	Complies

**Items to be Addressed:** None

**PARKING**

Parking for the site’s ancillary uses (office, mechanics, etc) are sufficient for site operations.

**Items to be Addressed:** None

**SITE ACCESS, CIRCULATION, and TRAFFIC**

The driveway will be paved. Access shall be approved by the Road Commission. Circulation should be approved by the Township Fire Marshall.

**Items to be Addressed:** 1). Access approval by the Road Commission; and 2). Circulation approved by Township Fire Marshall.

**SCREENING & LANDSCAPING**

	Required	Provided	Compliance
Street Yard Landscaping: 1 large dec tree per 40 lf of frontage, 1 orn tree per 100 lf of frontage, 1 shrub per 10 lf of frontage	200 L.F. / 40 L.F. = 5 trees 200 L.F. / 100 L.F. = 3 ornamental trees 200 L.F. / 10 = 20 shrubs	5 trees 3 ornamental 0 shrubs	Trees comply. Shrubs are deficient
General Landscaping: 1 tree per 1,000 sq/ft 1 shrub per 500 sq/ft	18,400 S.F. = 19 trees and 46 shrubs	10 trees 0 shrubs	Does not comply
Parking Lot: 1 large dec tree per 2000 sf of pavement and 1 per 40 feet of lineal	39,272 S.F. / 2,000 S.F. = 20 interior and 20 exterior	0 trees	Does not comply
Stormwater: 1 tree per 45 feet and 1 shrub 5 feet of lineal	1 tree per 45 feet and 1 shrub 5 feet of lineal	0 trees or shrubs	Does not comply

The applicant is seeking a waiver from Section 1301. Their justification is as follows:

- A. The existing parcel is narrow (205 feet) and deep (1,324 feet) making circulation for semi-tractor/trailers challenging.
- B. Storm-water detention and infiltration facilities occupy large surface areas of the site due to the existing high-water table. The necessary configurations and proximity of these structures to all required paved areas eliminate available space for landscaping on site.
- C. Location of existing house access drive into the property and existing mature trees prevent additional landscaping along Rawsonville Road Frontage.

The Planning Commission may waive or modify any of the standards of this Section in the following situations:

- A. Where a proposed modification cannot be reasonably accomplished in strict adherence to this section due to existing site or building constraints.
- B. Where a proposed building addition increases the gross building area by no greater than twenty percent (20%).
- C. Where a proposed parking lot expansion increases the number of parking spaces by no greater than twenty percent (20%)
- D. Where the addition of new landscape material would serve no good purpose due to its relation to existing plant material, changes in grade, or other site characteristics.
- E. Where the intent of this Section can be met through reasonable alternatives

Due to the reasoning noted by the applicant we agree that additional landscaping along Rawsonville Road is difficult, and a waiver should be considered. However, we do not find that parking lot landscaping and detention pond landscaping should be waived.

**Trash and Recycling Containers:**

A dumpster is located adjacent to the new parking lot. However, dumpster screening was not indicated. Applicant shall indicate screening that is compliant with section 1302.

**Equipment Screening:**

The applicant indicates no at grade or rooftop equipment.

***Items to be Addressed:*** 1). Planning Commission should consider waiving additional landscaping along Rawsonville but required parking lot landscaping and detention pond landscaping; and 2). Provide dumpster screening

**LIGHTING**

The applicant is proposing five (5) parking lot pole lights and three (3) building lights. The photometrics meet ordinance requirements. Applicant will install dimmer to reduce lighting by 50% at dusk.

***Items to be Addressed:*** None

**ELEVATIONS AND FLOORPLANS**

The applicant has not provided any elevations or floorplans. The applicant notes that they are not making any changes to the existing building. If the applicant is making any changes to the façade of any building in the future, elevations are required to be reviewed.

***Items to be Addressed:*** None

**SPECIAL USE**

The Planning Commission shall review the particular circumstances and facts of each proposed use in terms of the following standards and required findings, and with respect to any additional standards set forth in this Ordinance. The Planning Commission, either as part of its final decision or in its recommendation, shall find and report adequate data, information, and evidence showing that the proposed use meets all required standards and:

1. Will be harmonious, and in accordance with the objectives, intent, and purpose of this Ordinance.
2. Will be compatible with a natural environment and existing and future land uses in the vicinity.
3. Will be compatible with the Township master plans.
4. Will be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage ways and structures, refuse disposal, or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately for such services

5. Will not be detrimental, hazardous, or disturbing to existing or future neighboring uses, persons, property, or the public welfare.
6. Will not create additional requirements at public costs for public facilities and services that will be detrimental to the economic welfare of the community.

Provided that specific conditions are placed upon the application, we find that the special use standards have been met:

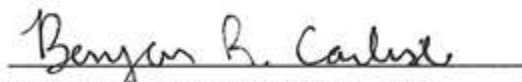
1. The use is consistent with the Master Plan. The site is designated as Innovation and Employment. Innovation and Employment areas are the major employment areas of the township. The Innovation and Employment District focuses on strategies for new investment and redevelopment that rely on proximity, connections and physical relationships of mutually supportive industries and businesses. Appropriate uses include warehouses, shipping, and logistics that access regional transportation arterial roads, such as highways.
2. The site is surrounded by a mix of logistics, warehousing, and light industrial uses. The use of the site is compatible with adjacent uses.
3. The site has been graded for various historical uses. The use should have no impact upon natural features.
4. Through stormwater management, lighting, and landscaping, the applicant is improving the site from what currently exists.
5. The use has limited public service needs and can be adequately served by public services.
6. There are conditions that may be placed upon the applicant to ensure compliance with required standards.

## RECOMMENDATIONS

We are still having difficulty understanding the need for 30 full truck spaces if only 15 drivers operate from the site. The applicant shall justify this need. If the applicant intends for up to 30 drivers/trucks to operate from the site, they should clarify their application.

We recommend special use and preliminary site plan approval with the following conditions:

1. *Circulation approved by Township Fire Marshall.*
2. *Planning Commission should consider waiving additional landscaping along Rawsonville Road but require parking lot landscaping and detention pond landscaping.*
3. *Install dimmers to dim lights to 50% at dusk.*
4. *Provide dumpster screening.*
5. *Based on the discussion with the applicant, the Planning Commission should consider limiting the number of drivers/trucks that operate from the site to 15.*

  
CARLISLE/WORTMAN ASSOC., INC.  
Benjamin R. Carlisle, AICP, LEED AP  
Principal

August 30, 2023

Mr. Jason Iacoangeli  
Township Planning Director  
Charter Township of Ypsilanti  
7200 S. Huron River Drive  
Ypsilanti, MI 48197

RE: Freight Terminal Parking Lot  
Site Plan Review #2

Dear Mr. Iacoangeli:

We have completed the second site plan review of the plans dated May 4, 2023, with a latest revision date of August 14, 2023, and stamped received by OHM Advisors on August 22, 2023.

At this time, the plans are recommended for approval for the Planning Commission's consideration, contingent on the following comments being addressed. Preliminary detailed engineering comments have been provided to the applicant as a courtesy and shall be addressed prior to submitting detailed engineering plans for review.

A brief description of the project has been provided below (Section A), followed by our comments (Section B and C) and a list of anticipated required permits and approvals (Section D). Comments in Section C are detailed in nature, do not influence the overall site layout, and can be addressed during the detailed engineering drawing submittal.

**A. PROJECT AND SITE DESCRIPTION**

The applicant is proposing to extend an existing parking lot, located at 6630 Rawsonville Road, with paving and grading improvements for the use of overnight storage for 25 semi-trucks, as well as 6 repair shop parking spaces. The existing on-site structures will remain and are not proposed to be altered. The stormwater runoff will be managed with the addition of an on-site detention basin and bio-swale that will outlet to the nearby Railroad ROW and Rawsonville Road ROW. No changes to the water or sanitary are proposed at this time.

**B. SITE PLAN COMMENTS**

**General**

1. The applicant shall provide additional truck turning movements for the western portion of the proposed hammerhead/turnaround on the west end of the site to verify adequate space will be provided.

**C. PRELIMINARY DETAILED ENGINEERING PLAN COMMENTS**

The following comments shall be addressed by the applicant during the detailed engineering drawing submittal, and do not affect the recommendation for approval to the Township of Ypsilanti Planning Commission. It should be noted that this is not an all-inclusive list and additional comments may be generated as new information is presented.

1. This office does not have any detailed engineering comments related to this project at this time; however, plans shall still be submitted for final detailed engineering review after site plan approval.



**D. REQUIRED PERMITS & APPROVALS**

The following outside agency reviews and permits will be required for the project. Copies of any correspondence between the applicant and the review agencies, as well as the permit or waiver, shall be sent to both the Township and OHM Advisors (email: [stacie.monte@ohm-advisors.com](mailto:stacie.monte@ohm-advisors.com)).

- ▶ **Ypsilanti Township Fire Department:** Review and approval of hydrant coverage and site accessibility is required.
- ▶ **Washtenaw County Water Resources Commissioner's Office (WCWRC):** Review and approval is required.
- ▶ **Washtenaw County Road Commission (WCRC):** Review and approval is required.
- ▶ **Michigan Department of Environment, Great Lakes & Energy (EGLE):** An EGLE permit will be required for any work and/or stormwater discharge into the wetlands.
- ▶ **Ypsilanti Township Office of Community Standards:** A Soil Erosion and Sedimentation Control permit shall be secured from the Ypsilanti Township Office of Community Standards.
- ▶ **Norfolk Southern Railroad:** Review, approval, and permitting of the stormwater outlet may be necessary if grading/earthwork within the ROW is required.
- ▶ The Township's Planner will inspect the landscaping for this site.
- ▶ If dewatering should be needed, the contractor/applicant shall be responsible for obtaining necessary approvals from the Township and the Township Engineer, permission from all impacted adjacent properties and/or permits from MDOT, WCWRC's Office, or the WCRC.
- ▶ Record plans shall be provided to the Township Engineer following the completion of construction.

Should you have any questions regarding this matter, please contact this office at (734) 466-4580.

Sincerely,  
OHM Advisors

Matthew D. Parks, P.E.

Stacie L. Monte

MDP/SLM

cc: Fletcher Reyher, Township Staff Planner  
Doug Winters, Township Attorney  
Steven Wallgren, Township Fire Marshall  
File

P:\0000\_0100\SITE\_YpsilantiTwp\2023\0098231020\_6630 Rawsonville Rd\_Freight Terminal Parking Lot\MUNI\01\_SITE\PSP#2\Freight Terminal Parking Lot\_PSP#2\_2023-08-30.docx

# CHARTER TOWNSHIP OF YPSILANTI FIRE DEPARTMENT

## BUREAU OF FIRE PREVENTION

222 South Ford Boulevard, Ypsilanti, MI 48198



August 30, 2023

Jason Iacoangeli, Planning Director  
Charter Township of Ypsilanti  
7200 S. Huron River Drive  
Ypsilanti, MI 48197

RE: Preliminary (non-residential) Site Plan Review #2

Project Name:	K-11-25-400-014 6630 Rawsonville Rd.
Project Location:	6630 Rawsonville rd. Ypsilanti, MI 48198
Plan revision Date:	8/14/2023
Job #:	32962
Applicable Codes:	IFC 2018
Engineer:	Washtenaw Engineering
Engineer Address:	3526 W. Liberty rd. suite 400 Ann Arbor, MI 48103

### Status of Review

**Status of review:** Approved as Submitted

All pages were reviewed.

### Site Coverage - Access

**Comments:** Complies with IFC 2018

Sincerely,

A handwritten signature in black ink that reads "Steve Wallgren".

Steve Wallgren, Fire Marshal  
Charter Township of Ypsilanti Fire Department  
CFPS, CFI I



YPSILANTI COMMUNITY UTILITIES AUTHORITY

2777 STATE ROAD  
YPSILANTI, MICHIGAN 48198-9112  
TELEPHONE: 734-484-4600  
WEBSITE: [www.ycua.org](http://www.ycua.org)

August 30, 2023

**VIA ELECTRONIC MAIL**

Mr. Jason Iacoangeli, Planning Director  
Office of Community Standards  
CHARTER TOWNSHIP OF YPSILANTI  
7200 S. Huron River Drive  
Ypsilanti, MI 48197

Re: Preliminary (non-residential) Site Plan Review #2  
**2901 Tyler Road Cold Storage**  
Charter Township of Ypsilanti (Plan Date: 07-28-2023)

Dear Mr. Iacoangeli:

In response to the electronic mail message from your office dated August 15, 2023, we have reviewed the referenced plans with regards to water supply and wastewater system design. The plans are acceptable to YCUA for this stage of review.

As there are no water or sanitary uses proposed as part of the project, connection fees do not apply. Please note that the **the construction phase escrow deposit, Authority administration fee, and record plan guarantee**, must be paid to YCUA by the Applicant, with a receipt delivered to the Township, before either the building or soil and grading permit is issued. The construction phase escrow deposit and associated fees and deposits and the entity responsible for maintaining those accounts will be determined during the Detailed Engineering phase of the project in conjunction with your office and the Township Engineer. Should there be any questions please contact this office.

Sincerely,

SCOTT D. WESTOVER, P.E., Engineering Manager  
Ypsilanti Community Utilities Authority

cc: Mr. Luke Blackburn, Mr. Sean Knapp, File, YCUA  
Mr. Fletcher Reyer, Charter Township of Ypsilanti  
Mr. Eric Copeland, Mr. Steve Wallgren, Township Fire Department  
Mr. Matt Parks, P.E., Ms. Stacie Monte, Township Engineer  
Mr. William Andrews, Applicant  
Mr. Jason Fleis, P.E., Applicant's design engineer



## WCRC App. 19543 - Motown Holdings - Rawsonville Rd

Streight, Gary <streightg@wcroads.org>

Tue 6/27/2023 7:36 AM

To: Joe Maynard (jkm@wengco.com) <jkm@wengco.com>; jaysandhu492@yahoo.com <jaysandhu492@yahoo.com>

Cc: Lawrence, Callie <lawrencec@wcroads.org>; McCulloch, Mark <mccullochm@wcroads.org>; Jason Iacoangeli <jiacoangeli@ypsitownship.org>

I have completed the review of the plans submitted for the above project and offer the following comments for your consideration:

- Move the opening of the drive approach back 12 feet to accommodate a future widening of Rawsonville Road. The curb end shall be offset 12 feet from the current edge of Rawsonville Road.
- The WCRC requests the donation of 27 feet of right of way to meet the 60 foot half width master plan.
- Provide a cost estimate for all work within the Rawsonville Road right of way for approval.
- An inspection fee equal to 3% of the approved estimate, \$500 minimum, shall be deposited and a deposit equal to the full amount of the approved estimate shall be provided in the form of a letter of credit or cashier's check.
- Provide the name, contact info and certificate of insurance for the contractor performing the work.

Once you have addressed the comments above, please send revised plans to [permits@wcroads.org](mailto:permits@wcroads.org) for review. If you have any questions, feel free to contact me.

**Gary Streight, P.E.**

Project Manager



Washtenaw County Road Commission  
555 N. Zeeb Road, Ann Arbor, Michigan

Direct: (734) 327-6692 | Main: (734) 761-1500  
[wcroads.org](http://wcroads.org) | [Follow us on Facebook](#)



EVAN N. PRATT, P.E.

Water Resources Commissioner

705 N Zeeb Road  
Ann Arbor, MI 48103  
734-222-6860

[Drains@washtenaw.org](mailto:Drains@washtenaw.org)

Harry Sheehan  
Chief Deputy Water Resources Commissioner

Scott Miller P.E.  
Deputy Water Resources Commissioner

Theo Eggermont  
Public Works Director

September 8, 2023

Mr. Joe Maynard, P.E.  
Washtenaw Engineering Company  
3526 W. Liberty Road, Suite 400  
P.O. Box 1128  
Ann Arbor, Michigan 48106

RE: Motown Holdings  
Ypsilanti Township, Michigan  
WCWRC Project No. 9706

Dear Mr. Maynard:

This office has reviewed the site plans for the above-referenced project to be located in Ypsilanti Township. These plans have a job number of 32962, a date of August 14, 2023, and were received on August 24, 2023. As a result of our review, we would like to offer the following comments:

1. Due to the revisions contained in the most-recent plan set, the approval of the plans dated June 20, 2023 is rescinded.
2. The design plans are technically correct and do not require revisions at this time. An approval letter will be issued upon payment of the attached invoice.
3. Please see the attached invoice for the current fees and remit these fees upon receipt.

If you have any questions, please contact our office.

Sincerely,

A handwritten signature in blue ink that reads 'Theresa M. Marsik'.

Theresa M. Marsik, P.E.  
Stormwater Engineer  
(approval\Motown Holdings rev3)

cc: Jason Iacoangeli, Ypsilanti Township Planning Director  
Belinda Kingsley, Ypsilanti Township Planning & Zoning Coordinator  
Fletcher Reyher, Ypsilanti Township Planning & Development Coordinator  
Matt Parks, P.E., Ypsilanti Township Engineer (OHM)  
Stacie Monte, Ypsilanti Township Engineer (OHM)  
Doug Winters, McLain and Winters

**GENERAL CONSTRUCTION NOTES:**

- ALL WORK ON THIS SITE WILL BE IN ACCORDANCE WITH ALL APPLICABLE CURRENT STANDARDS & SPECIFICATIONS OF THE TOWNSHIP OF YPSILANTI EXCEPT AS HEREINAFTER MODIFIED.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MIGHT AFFECT THIS JOB.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO AND THE REPAIR OF ANY EXISTING UTILITY LINE IN THE CONSTRUCTION ZONE.
- AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL "MISS DIG" (1-800-482-7171) FOR UTILITY LOCATIONS.
- LOCATION OF EXISTING UTILITIES WERE TAKEN FROM EXISTING PLANS. LOCATIONS WERE FIELD VERIFIED WHERE POSSIBLE.
- THE CONTRACTOR WILL BE REQUIRED TO PROOF ROLL (WITH A HEAVY RUBBER TIRED VEHICLE) ALL FILL AREAS PRIOR TO PLACING ADDITIONAL FILL AND ALL CUT AREAS UPON COMPLETION OF THE CUT AND PRIOR TO PLACING SUBBASE MATERIAL. IF THE PROOF ROLLING INDICATES UNSTABLE AREAS THE UNSTABLE MATERIAL MUST BE REMOVED AND REPLACED WITH MATERIAL MATCHING THE ADJACENT SOILS TO THE ELEVATION OF THE SUB-GRADE.
- ALL FILL MATERIAL MUST BE PLACED IN LIFTS NOT EXCEEDING 12 INCHES AND COMPACTED TO 95% OF THE MAXIMUM UNIT WEIGHT.
- THE FINISHED SUBGRADE MUST BE GRADED WITHIN A TOLERANCE OF ± 0.1 FEET OF DESIGN GRADE COMPACTED TO NOT LESS THAN 95% OF THE MAXIMUM UNIT WEIGHT TO A DEPTH OF 9 INCHES AND APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO PLACEMENT OF THE SUBBASE.
- THE WORK OF CONSTRUCTING AN AGGREGATE BASE COURSE SHALL CONFORM TO MDOT SPECIFICATION 302 EXCEPT THAT FINE GRADING PRIOR TO PLACEMENT OF THE BITUMINOUS SURFACING SHALL BE INCLUDED IN THE COST OF FURNISHING AND PLACING THE AGGREGATE BASE.
- ALL PAVEMENT GRADES SHOWN REPRESENT TOP OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION TRAFFIC CONTROL SHALL BE SIGNED PER THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REMOVAL OF ALL TEMPORARY EROSION CONTROL MEASURES PER THIS APPROVED PLAN.
- CONTRACTOR MUST OBTAIN AN EROSION CONTROL PERMIT FROM THE TOWNSHIP OF YPSILANTI PRIOR TO BEGINNING EARTH MOVING. CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO BEGINNING CONSTRUCTION.

**GENERAL SITE PLAN NOTES:**

THE PROJECT SEEKS TO COMPLY WITH THE WASHTENAW COUNTY WATER RESOURCES COMMISSIONER FOR STORM WATER MANAGEMENT AND THE TOWNSHIP OF YPSILANTI FOR SITE PLAN SUBMITTAL.

THE FOLLOWING ITEMS ARE NOTED AS PART OF THIS PROJECT:

- PROPERTY LINES ARE NOT PROPOSED TO BE ALTERED.
- NO NEW EASEMENTS ARE PROPOSED AS PART OF THIS PROJECT.
- THE PROJECT HAS NO OUTDOOR SALES OR DISPLAYS.
- THE PROJECT HAS NO TRANSFORMER OR A UTILITY LEAD OF ANY KIND PROPOSED.
- NO TRASH BINS OR ENCLOSURE ARE PROPOSED AS PART OF THIS PROJECT.
- NO BUILDINGS ARE PROPOSED AS PART OF THIS PROJECT.
- ALL EXISTING FENCING TO REMAIN ONSITE.

**APPLICATION for VARIANCE TO LANDSCAPE AND SCREENING VARIANCE REQUEST**

**Sec. 1301. - Landscape requirements:**

- Explanation: The subject property has several physical characteristics restricting its development.
- The existing parcel is narrow (205.46 lf) and deep (1,324.40lf) making circulation for semi-tractor/trailers challenging.
  - Storm-water detention and infiltration facilities occupy large surface areas of the site due to the existing high water table. The necessary configurations and proximity of these structures to all required paved areas eliminated available space for landscaping on site.
  - Location of the existing house access drive into the property and existing mature trees prevent additional landscaping along the Rawsonville Road Frontage.

These stated conditions make additional site and street frontage landscaping impractical. A variance to Sections 1301 is requested.

**NOTE:**

JR TRANSPORT, LLC  
SANDHU TRANSPORT, LLC  
UPJINDER EXPRESS, LLC  
SHARE THE FACILITIES AT 6630 RAWSONVILLE RD

**PROPERTY OWNER**  
MOTOWN HOLDINGS, INC.  
50790 SILVERTON DR  
CANTON, MI 48187

**APPLICANT**  
MOTOWN HOLDINGS, INC.  
6630 RAWSONVILLE RD  
BELLEVILLE, MI 48111

**ENGINEER**  
WASHTENAW ENGINEERING COMPANY  
3526 W. LIBERTY, STE 400  
ANN ARBOR, MI 48103

**UTILITY QUANTITIES**

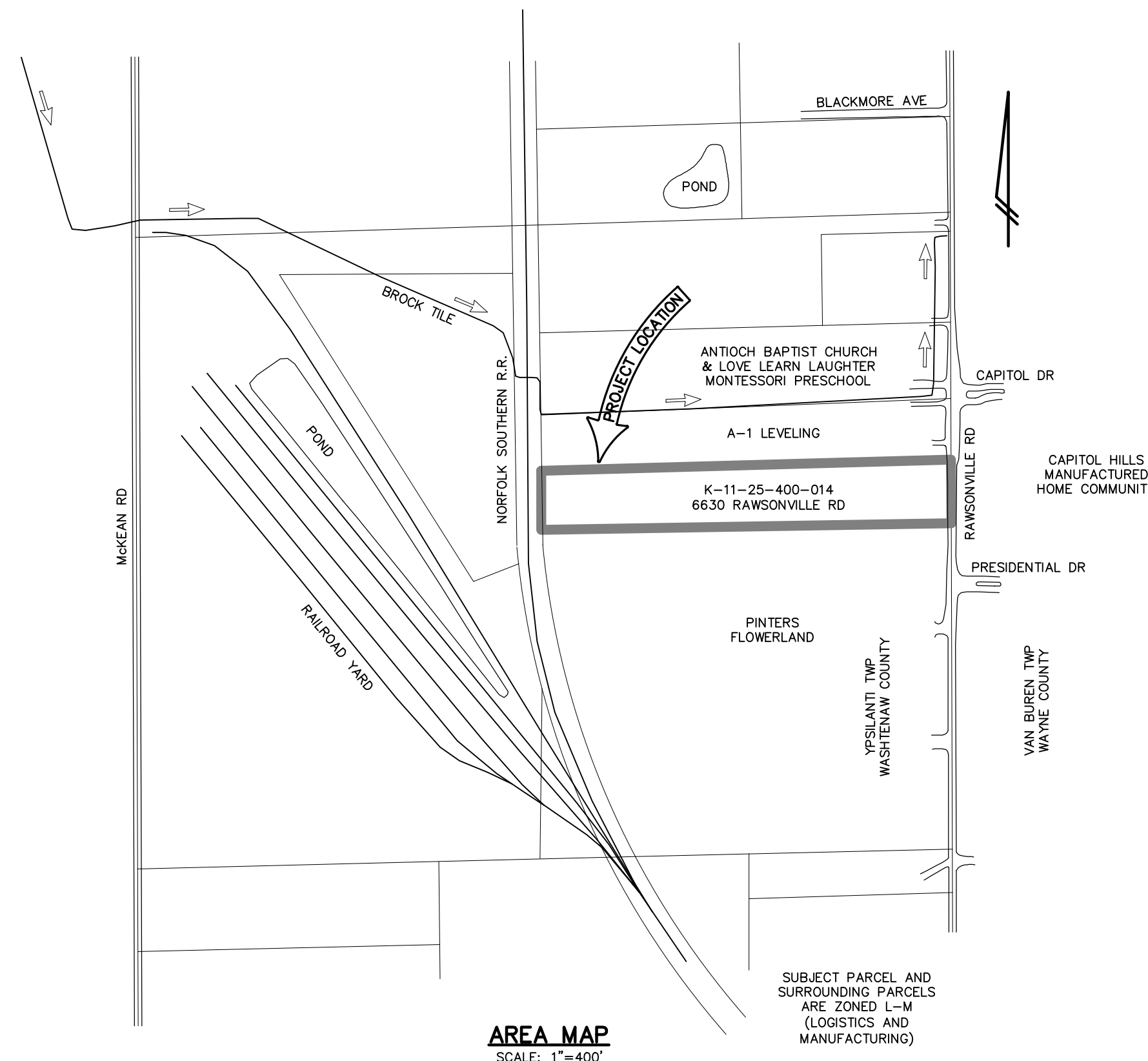
STORM SEWER  
IN R.O.W.:  
138 LF 12" C76 CLIV RCP PIPE  
2 EA 12" FLARED END SECTION  
ON SITE:  
20 LF 12" C76 CLIV RCP PIPE  
1 EA 12" FLARED END SECTION  
1 EA 4FT DIA. CMP OUTLET STANDPIPE W/GRATE

# SITE PLAN FOR MOTOWN HOLDINGS, INC. 6630 RAWSONVILLE RD.

A PART OF THE SE CORNER OF  
SECTION 25, T3S, R7E, YPSILANTI TOWNSHIP,  
WASHTENAW COUNTY, MICHIGAN

FOR:

**MOTOWN HOLDINGS, INC.**  
**6630 RAWSONVILLE RD.**  
**BELLEVILLE, MI 48111**  
**PH: (734) 931-2313**



**WASHTENAW ENGINEERING**

CIVIL ENGINEERS • PLANNERS  
SURVEYORS • LANDSCAPE ARCHITECTS

P.O. BOX 1128  
3526 WEST LIBERTY RD, SUITE 400, ANN ARBOR, MICHIGAN 48106  
TEL: 734-761-8800 FAX: 734-761-9550  
E-MAIL: weco@wengco.com

washtenawengineering.com

**SITE DATA**

CATEGORY	REQUIRED	EXISTING PARCEL	PROPOSED PARCEL
ZONING - L-M LOGISTICS AND MANUFACTURING	L-M	L-M	L-M
LOT SIZE (AC)	N/A (MIN)	6.03 AC	6.03 AC
LOT SIZE (SF)	N/A (MIN)	262,955 SF	262,955 SF
AREA IN R.O.W.	NA	6,775 SF	6,775 SF
NET AREA	NA	256,180 SF	256,180 SF
BUILDING SIZE TOTAL	NA	7,366 SF	7,366 SF
LOT WIDTH	NA	205.46' MIN.	205.46' MIN.
LOT COVERAGE	NA	0.3%	0.3%
FLOOR AREA COVERAGE	NA	0.3%	0.3%
GROUND FLOOR AREA	NA	7,366 SF	7,366 SF
BUILDING HEIGHT	50' MAX.	±20'	±20'
BUILDING HEIGHT (STORIES)	NA	1 STORY	1 STORY
BUILDING SETBACKS			
FRONT (EAST)	40.0'	34.5' <sup>(1)</sup>	34.5' <sup>(1)</sup>
SIDE (NORTH)	40.0'	102.4'	102.4'
SIDE (SOUTH)	40.0'	27.2' <sup>(1)</sup>	27.2' <sup>(1)</sup>
REAR (WEST)	50.0'	914.0'	914.0'

**NOTES:**

- EXISTING NON-CONFORMING SETBACKS.
- PROJECT PERMITS NEEDED
  - WASHTENAW COUNTY WATER RESOURCES COMMISSIONER
    - REVIEW AND APPROVAL FOR STORM WATER MANAGEMENT SYSTEMS
  - APPROVAL DATE:
  - WASHTENAW COUNTY ROAD COMMISSION
    - COMMERCIAL DRIVE APPROACH PERMIT
    - PERMIT #
    - ISSUE DATE:
  - YPSILANTI TOWNSHIP PLANNING AND ZONING
    - SOIL EROSION AND SEDIMENTATION CONTROL PERMIT
    - PERMIT #
    - ISSUE DATE:

**PARKING:**

- 6 - 65 FT PARKING FOR MECHANICAL SHOP
- 25 - 65 FT PARKING SPACES FOR SEMI-TRUCKS AND TRAILERS

**PROJECT DESCRIPTION -**

THIS SITE IS LOCATED AT 6630 RAWSONVILLE RD., YPSILANTI TOWNSHIP, MICHIGAN. THIS PROJECT PROPOSES TO EXTEND EXISTING PARKING LOT OUT BY PAVING AND GRADING EXISTING SPACE FOR THE OVERNIGHT STORAGE OF 25 TRAILER SEMI-TRUCKS AND 6 REPAIR SHOP PARKING. NO CHANGES TO EXISTING STRUCTURES IS PROPOSED. THE SITE WILL HAVE TWO STORM WATER MANAGEMENT AREAS: A SHALLOW DETENTION BASIN NEAR THE FRONT OF THE PROPERTY AND A BIO SWALE ALONG THE SOUTH EDGE WHERE INFILTRATION WAS AVAILABLE. NEW LANDSCAPING WILL BE PROPOSED TO BRING THE WHOLE SITE UP TO CODE. NO NEW WATER LINES OR SANITARY LINES PROPOSED. NO CHANGE OF USE IS EXPECTED AS A PART OF THIS PROJECT.

**PROJECT NARRATIVE**

MOTOWN HOLDINGS INC. Located at 6630 Rawsonville Road, Ypsilanti Township, MI.

Property Size: 6.03 -acres, frontage 205.46 LF

Zone District: L-M (Logistics and Manufacturing), east side of Rawsonville Road is Wayne County.

Business Type -LOGISTICS SERVICE

Delivery Vehicles:

- (20) Existing Semi Trucks
- (5) Semi Trucks purchased waiting for delivery

Hours of Operation: 7am-7pm

Employees: (4) office/dispatch, (2) mechanics, (15) drivers

On site activities include, light vehicle maintenance such as oil change, tire repair & replacement of filters, etc., truck dispatch, general office, warehouse. Approximately 50% of trucks are to be picked up daily and returned overnight. The other 50% may be gone for extended periods of time. These percentages may change depending on the market.

Parking: Service vehicles are parked on site. Vehicle drivers park their personal vehicles in overnight truck parking bays. Other employees' (office & mechanic) vehicles park in designated employee areas. Most trucks will be stored empty. In some limited cases they will have a pending delivery and keep the freight in them overnight.

Pickup and drop off times: Normal times are 7 a.m. to 7 p.m. though traffic conditions may alter times on an individual basis.

Existing Structures: Office (existing House 1,960 sf), Shop 1,470 sf, Warehouse 3,936 sf. Light maintenance is performed on-site.

Onsite storage: No warehouse storage is proposed for this site. Any freight for delivery on trucks is to stay in the trucks and be loaded at all times. No outside storage for anything other than trucks is proposed. The extra parking spaces are to drop empty trailers as needed.

Truck Repair: Truck repairs are to include oil change, tire repair, filter replacement and light maintenance repairs of their own vehicles. There will be no public access to the repair shop or the garage.

Site Analysis: Existing Trees: They are limited to front yard landscaping and along the south property line fence row. See existing conditions for tree survey and identification.

Other Natural Features: There are NO, wetlands, drains, creeks, surface water or flood plains on site.

Landscaping: Lawn areas around all existing structures are maintained.

Adjacent Properties:  
Pinter Properties LLC zoning = COMMERCIAL IMPROVED  
Address: 6830 Rawsonville Rd

Leveling B Elliott Inc. zoning = L-M  
Address: 6590 Rawsonville Rd

Railway LLC  
Address: 6601 MCKEAN RD zoning = 301 INDUSTRIAL-IMPROVED

(L-M = Logistics and Manufacturing)

SHEET TITLE	SHEET NO.
COVER SHEET	1
EXISTING CONDITIONS	2
SITE ANALYSIS	3
REMOVAL PLAN	4
SITE PLAN	5
GRADING, UTILITY AND SOIL EROSION CONTROL PLAN	6
STORM WATER MANAGEMENT CALCULATIONS DRN2	7
STORM WATER MANAGEMENT CALCULATIONS DRN3	7A
TURNING TEMPLATE	8
LANDSCAPE PLAN	9
ENTRANCE DETAILS	10
YPSILANTI TOWNSHIP STANDARD DETAILS	
SOIL EROSION CONTROL DETAILS	11
STORM SEWER STANDARD DETAILS	12-13
PHOTOMETRIC PLAN	14
PHOTOMETRIC DETAILS	15

PREPARED BY

*Joseph K. Maynard*  
JOSEPH K. MAYNARD P.E., MICH No. 52559



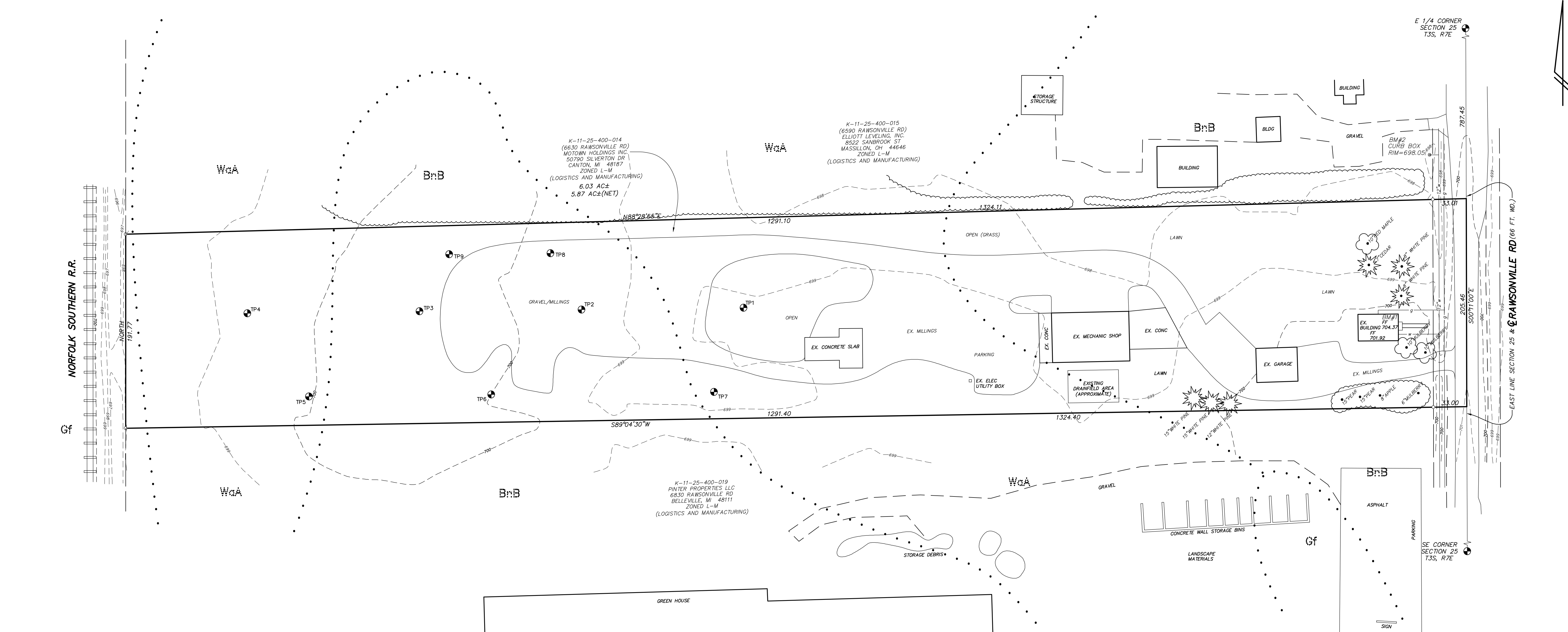
REVISED: 08-14-23  
REVISED: 06-20-23  
ORIGINAL: 05-04-23

**SITE PLAN - 6630 RAWSONVILLE RD.**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING RECORDS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE ACCURATELY LOCATED OR DEPICTED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

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**TREE IDENTIFICATION**

DIA.	SPECIES	CONDITION
15"	PEAR	FAIR
8"	APPLE	FAIR
15"	PEAR	FAIR
12"	WHITE PINE	GOOD
15"	WHITE PINE	GOOD
15"	WHITE PINE	GOOD
10"	WHITE MULBERRY	FAIR
10"	WHITE MULBERRY	FAIR
8"	WHITE PINE	GOOD
8"	WHITE PINE	GOOD
7"	RED CEDAR	POOR
10"	RED MAPLE	GOOD
6"	WHITE MULBERRY	FAIR

**WASHTEWAW COUNTY SOIL SURVEY CLASSIFICATION**

BmB - BOYER LOAMY SAND, 0 TO 6 PERCENT SLOPES  
 Gf - GILFORD SANDY LOAM  
 WcA - WASEPI SANDY LOAM, 0 TO 4 PERCENT SLOPES

..... - SOILS BOUNDARY

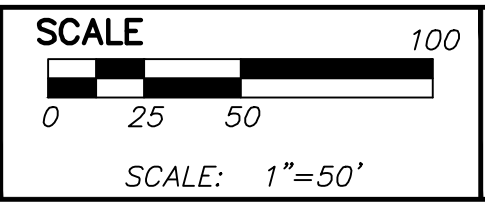
SOILS ARE BASED ON USDA SOIL SURVEY OF WASHTEWAW COUNTY.

**LEGEND**

	SPOT ELEV.	TC = TOP OF CURB	--- = GRAVEL	--- = EXISTING STORM
	POST	TW = TOP OF WALL	--- = FENCE	--- = EXISTING SANITARY
	MANHOLE	--- = CONCRETE	--- = EXISTING WATER	--- = EXISTING GAS
	GATE VALVE	--- = ASPHALT	--- = EXISTING ELECTRIC	--- = EXISTING TELEPHONE
	END SECTION			

**BENCHMARK** BM#1 - EAST FINISHED FLOOR OF EXISTING HOUSE ELEV=704.37  
 BM#2 - CURB BOX FOR 6590 RAWSONVILLE RD, 22' SOUTH OF DRIVE, ELEV=698.05

**REVISIONS** -06-20-2023 PER WCWR, 08-14-2023 PER TWP



TOPOGRAPHY BY OTHERS, MIDWESTERN CONSULTING, 5-18-2001.

PREPARED BY *Joseph K. Maynard*  
 JOSEPH K. MAYNARD P.E., MICH No. 52559

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 TEL: 734-761-8800

---

**MOTOWN HOLDINGS, INC.**  
 6630 RAWSONVILLE RD  
 BELLEVILLE, MI 48111  
 TEL: 734-931-2313

---

**EXISTING CONDITIONS**

---

**K-11-25-400-014**  
**6630 RAWSONVILLE RD**

---

SECTION 25 SOUTH RANGE 7 EAST  
 TOWNSHIP 3 SOUTH RANGE 7 EAST  
 YPSILANTI TOWNSHIP  
 WASHTEWAW COUNTY • MICHIGAN

DATE 05-04-2023 JOB NO. 32962  
 DWS NO. 32962-EX  
 FIELD BOOK -  
 FILE NO. 10766

2 SHEET

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**TREE IDENTIFICATION**

DIA.	SPECIES	CONDITION
15"	PEAR	FAIR
8"	APPLE	FAIR
15"	PEAR	FAIR
12"	WHITE PINE	GOOD
15"	WHITE PINE	GOOD
15"	WHITE PINE	GOOD
10"	WHITE MULBERRY	FAIR
10"	WHITE MULBERRY	FAIR
8"	WHITE PINE	GOOD
8"	WHITE PINE	GOOD
7"	RED CEDAR	POOR
10"	RED MAPLE	GOOD
6"	WHITE MULBERRY	FAIR

**Site Analysis:**  
Existing Trees: They are limited to front yard landscaping and along the south property line fence row. See existing conditions for tree survey and identification.

**Other Natural Features:** There are NO, wetlands, drains, creeks, surface water or flood plains on site.

**Landscaping:** Lawn areas around all existing structures are maintained.

**WASHTEANAW COUNTY SOIL SURVEY CLASSIFICATION**  
**BnB** - BOYER LOAMY SAND, 0 TO 6 PERCENT SLOPES  
**Gf** - GILFORD SANDY LOAM  
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 . . . . . - SOILS BOUNDARY

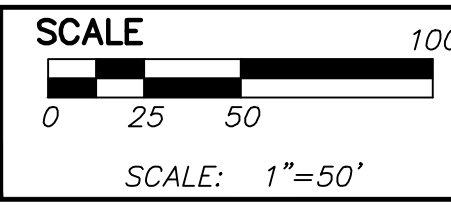
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**LEGEND**

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	POST	TW = TOP OF WALL	- - - = FENCE		EXISTING SANITARY
	GATE VALVE				EXISTING WATER
	CATCHBASIN				EXISTING GAS
	END SECTION				EXISTING ELECTRIC
					EXISTING TELEPHONE

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**REVISIONS** -06-20-2023 PER WCWR, 08-14-2023 PER TWP



**TAX DESCRIPTION (K-11-25-400-014)**  
 Commencing at the E 1/4 post of section, thence S0°11'E 787.45 feet along the East line of section for Place of Beginning; thence S0°11'E 205.46; thence S89°04'30"W 1324.4 feet; thence North 191.77 feet; thence N88°28'55"E 1324.11 feet to the Place of Beginning. Being part of the East 1/2 of the SE 1/4, Section 25, T3S, R7E, containing 6.03 acres of land more or less.  
 TOPOGRAPHY BY OTHERS, MIDWESTERN CONSULTING, 5-18-2001.

PREPARED BY *Gerald J. Sosnowski*  
 GERALD J. SOSNOWSKI RLA, MICH. No. 982

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**CLIENT**  
**MOTOWN HOLDINGS, INC.**  
 6630 RAWSONVILLE RD  
 BELLEVILLE, MI 48111  
 TEL: 734-931-2313

**SHEET**  
**K-11-25-400-014**  
**6630 RAWSONVILLE RD**

**PROJECT**  
 SECTION 25 TOWN 3 SOUTH RANGE 7 EAST  
 YPSILANTI TOWNSHIP  
 WASHTEANAW COUNTY • MICHIGAN  
 DATE 05-04-2023 JOB NO. 32962  
 DWS NO. 32962 aerial  
 FIELD BOOK -  
 FILE NO. 10766

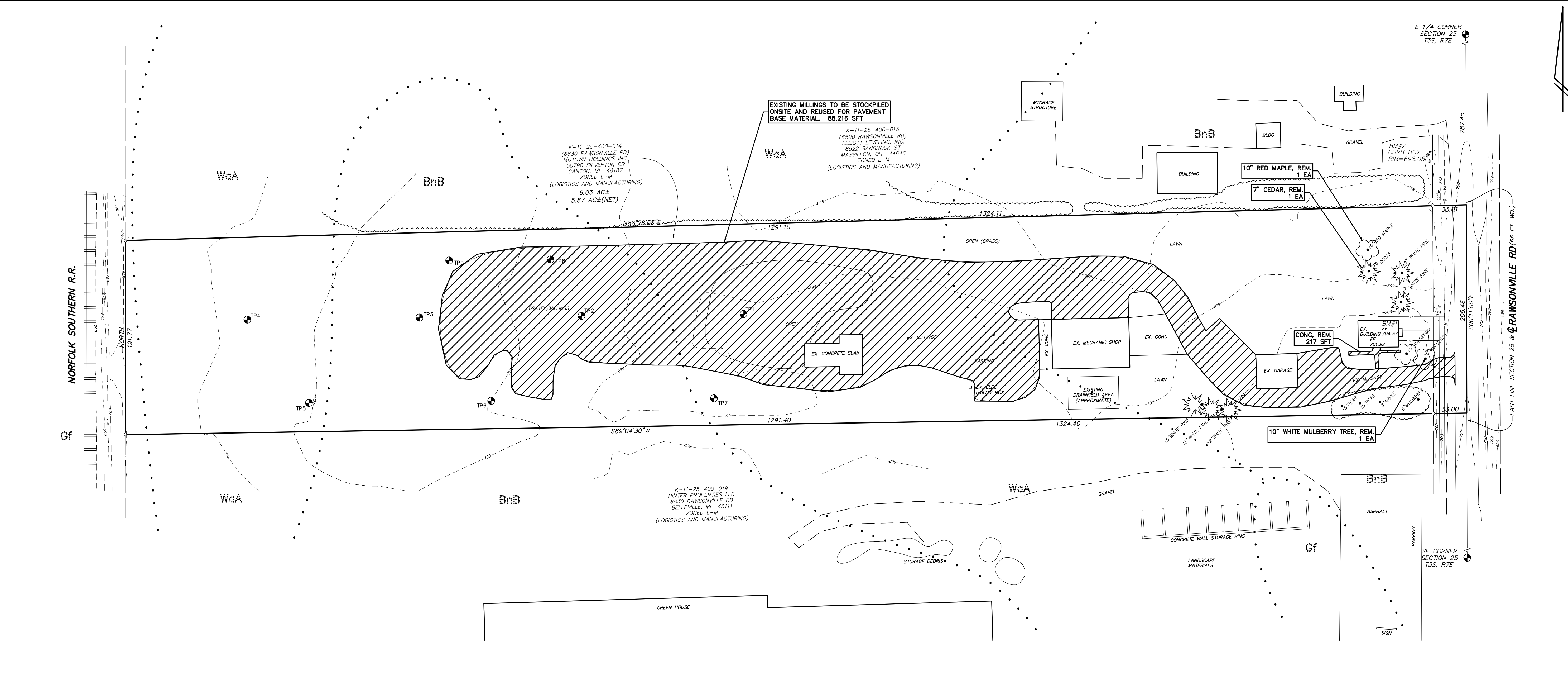
**3**  
 SHEET

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**TREE IDENTIFICATION**

DIA.	SPECIES	CONDITION	REMOVE
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8"	APPLE	FAIR	
15"	PEAR	FAIR	
12"	WHITE PINE	GOOD	
15"	WHITE PINE	GOOD	
15"	WHITE PINE	GOOD	
10"	WHITE MULBERRY	FAIR	X
10"	WHITE MULBERRY	FAIR	X
8"	WHITE PINE	GOOD	
8"	WHITE PINE	GOOD	
7"	RED CEDAR	POOR	X
10"	RED MAPLE	GOOD	X
6"	WHITE MULBERRY	FAIR	

**WASHTEANAW COUNTY SOIL SURVEY CLASSIFICATION**

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 Gf — GILFORD SANDY LOAM  
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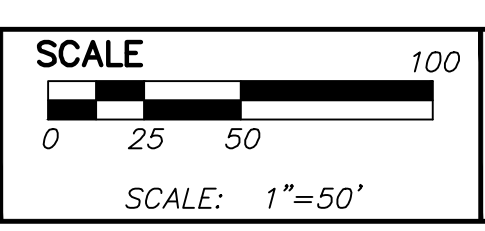
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**LEGEND**

○	LIGHT POLE	TC	TOP OF CURB	---	GRAVEL	---	EXISTING STORM
○	UTILITY POLE	TW	TOP OF WALL	---	FENCE	---	EXISTING SANITARY
○	POST	○	MANHOLE	---	CONCRETE	---	EXISTING WATER
○	GUY ANCHOR	○	CATCHBASIN	---	ASPHALT	---	EXISTING GAS
○	HYDRANT	---	END SECTION	---		---	EXISTING ELECTRIC
						---	EXISTING TELEPHONE

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**REVISIONS** — 06-20-2023 PER WCWR, 08-14-2023 PER TWP



TOPOGRAPHY BY OTHERS, MIDWESTERN CONSULTING, 5-18-2001.

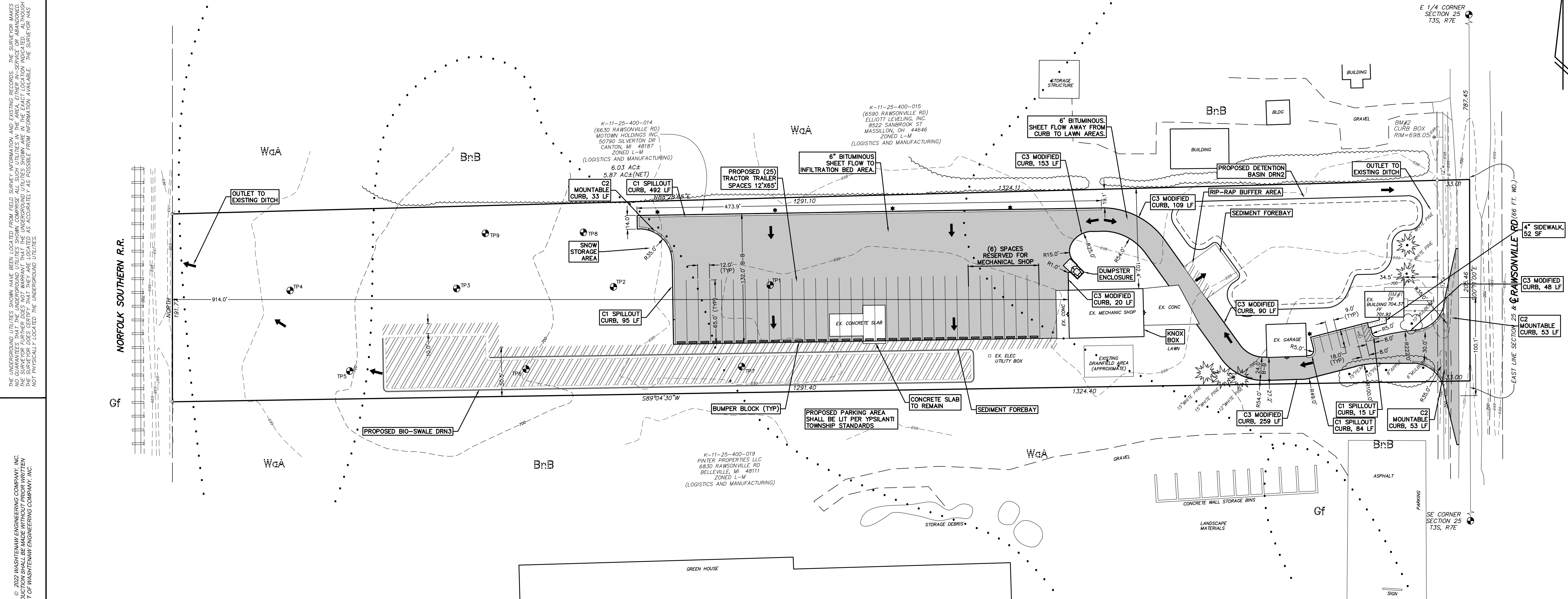
PREPARED BY: *Joseph K. Maynard*  
 JOSEPH K. MAYNARD P.E., MICH No. 52559

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SECTION 25 TOWN 3 SOUTH RANGE 7 EAST  
 PROJECT K-11-25-400-014  
 6630 RAWSONVILLE RD  
 CLIENT MOTOWN HOLDINGS, INC.  
 6630 RAWSONVILLE RD  
 BELLEVILLE, MI 48111  
 TEL: 734-931-2313  
 SHEET 4  
 DATE 05-04-2023  
 JOB NO. 32962  
 DWS NO. 32962-rem  
 FIELD BOOK —  
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**WASHTEANAW ENGINEERING**



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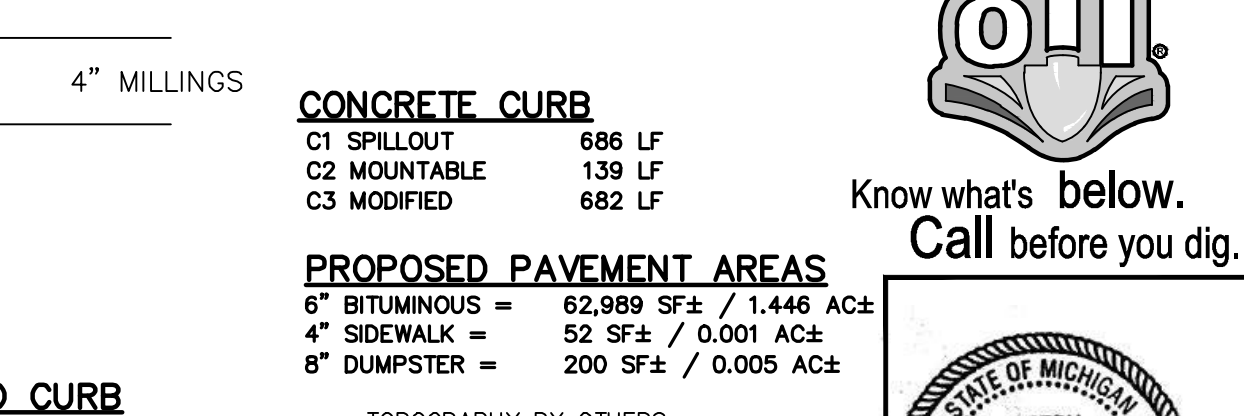
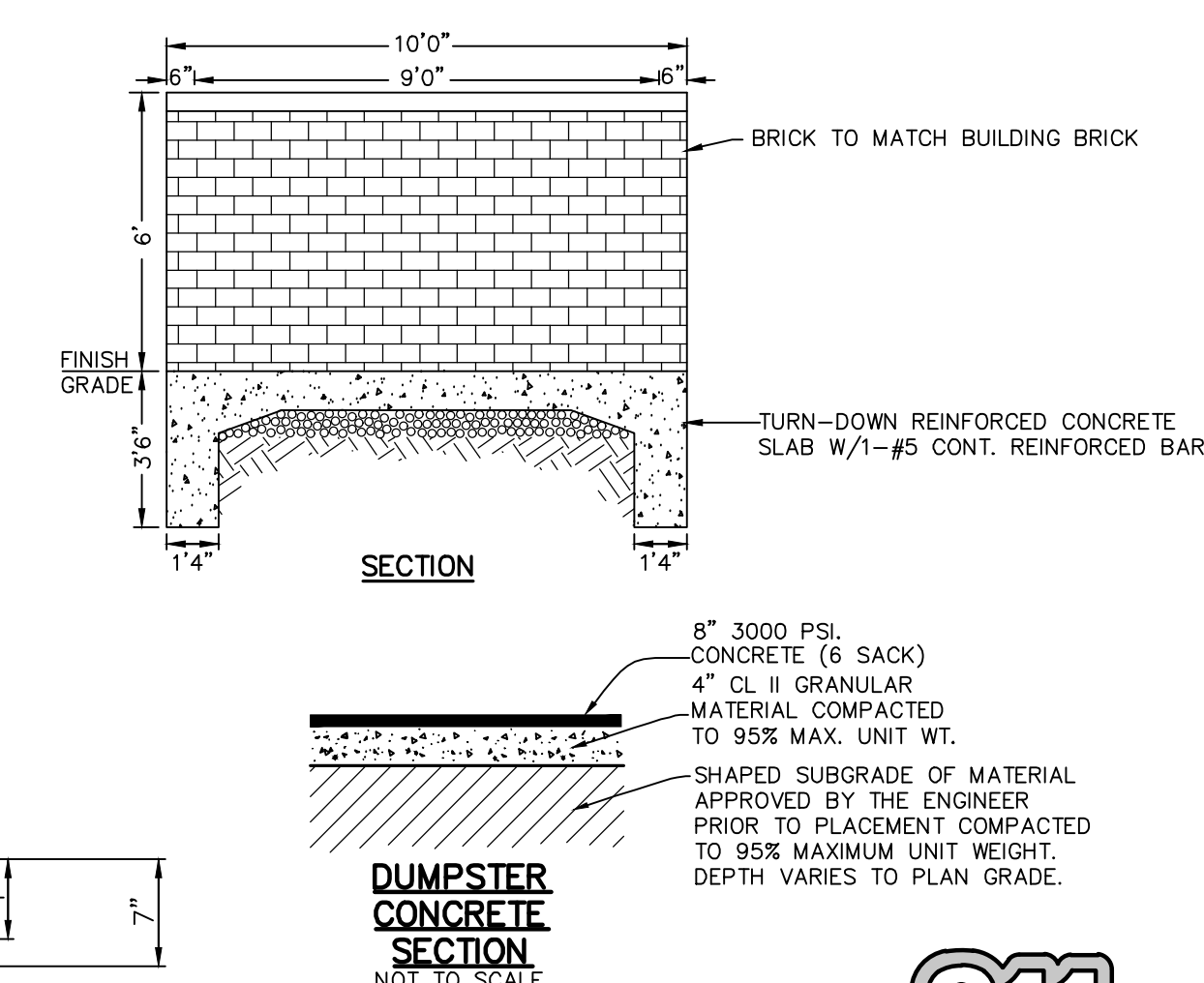
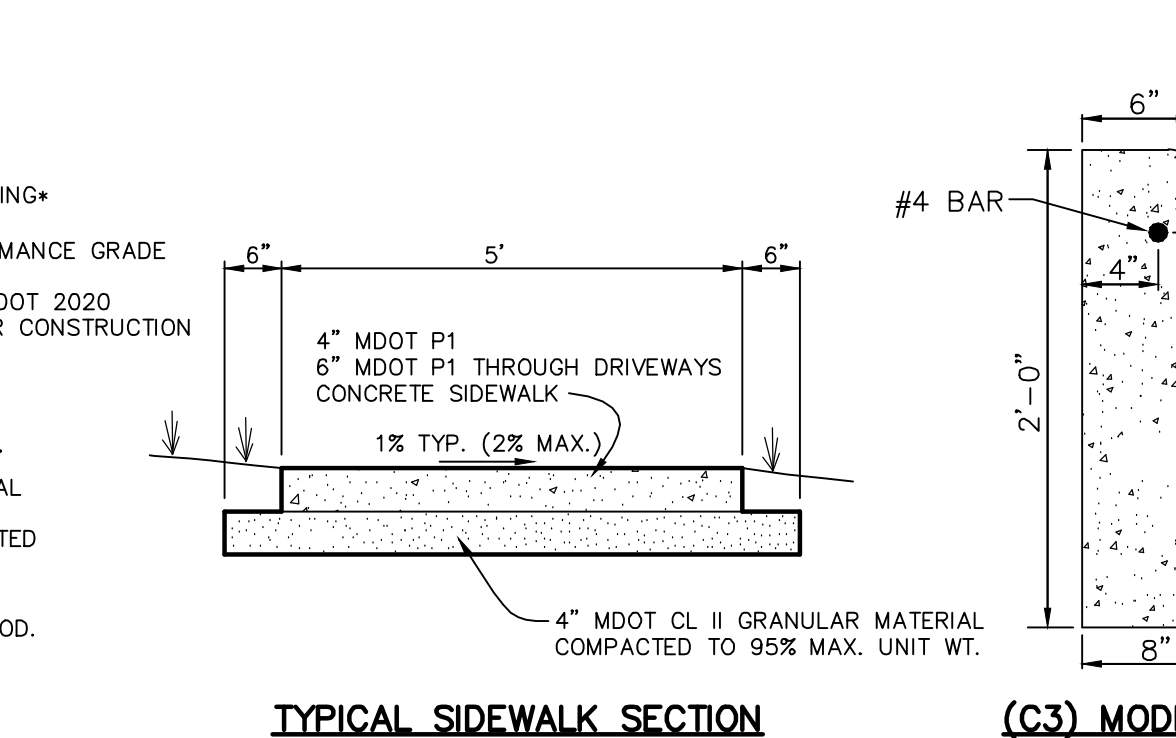
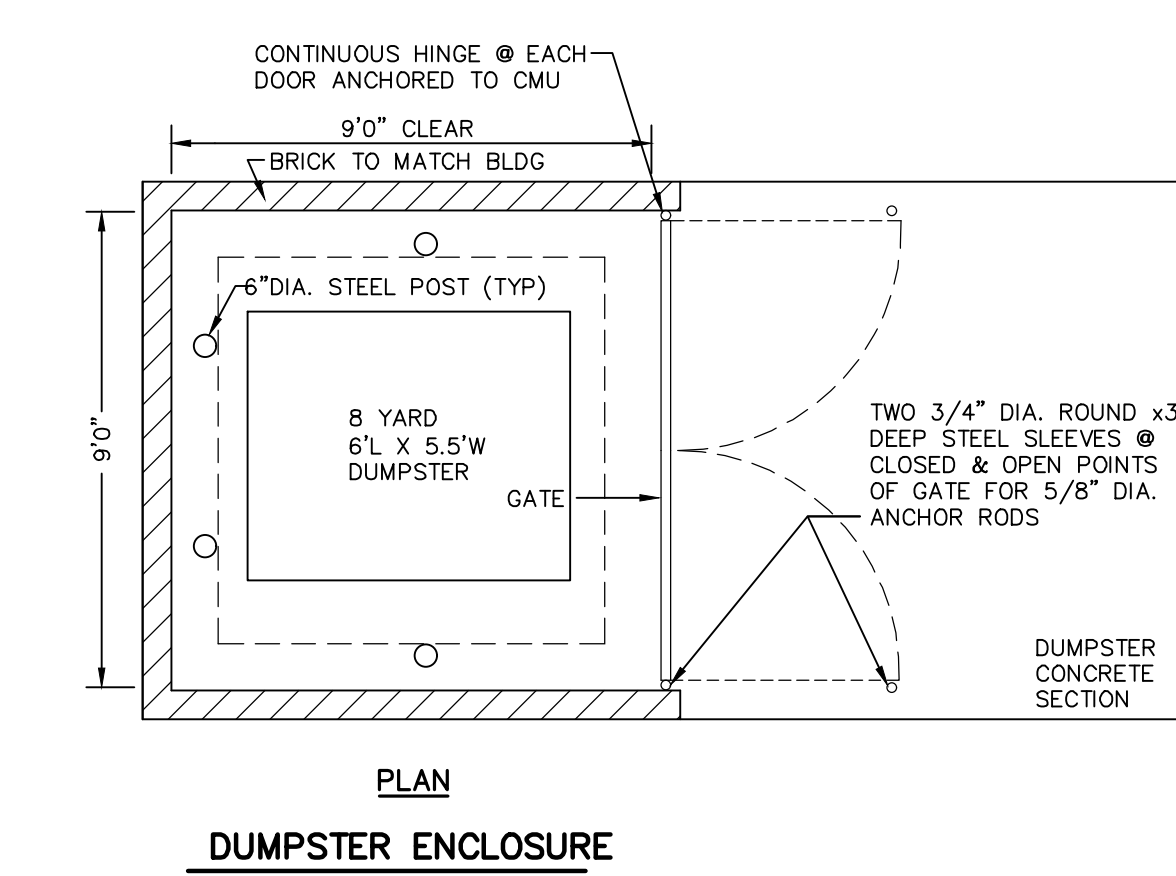
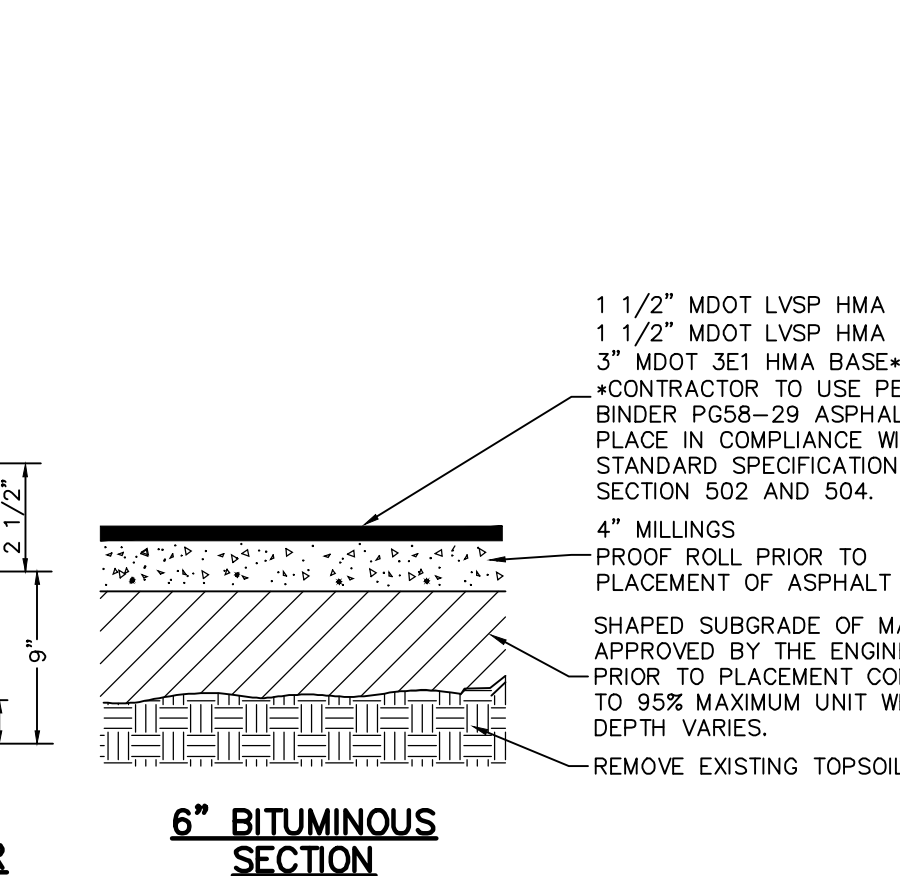
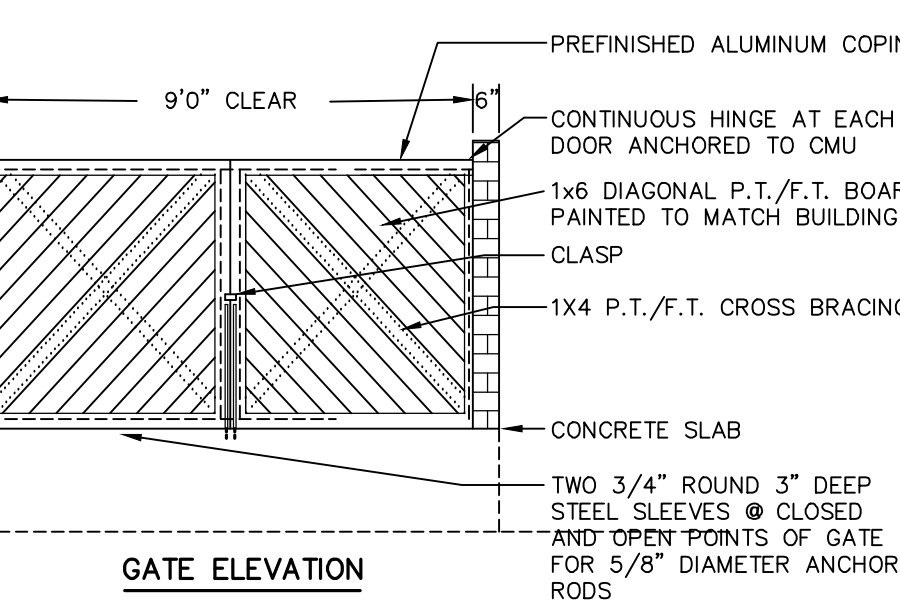
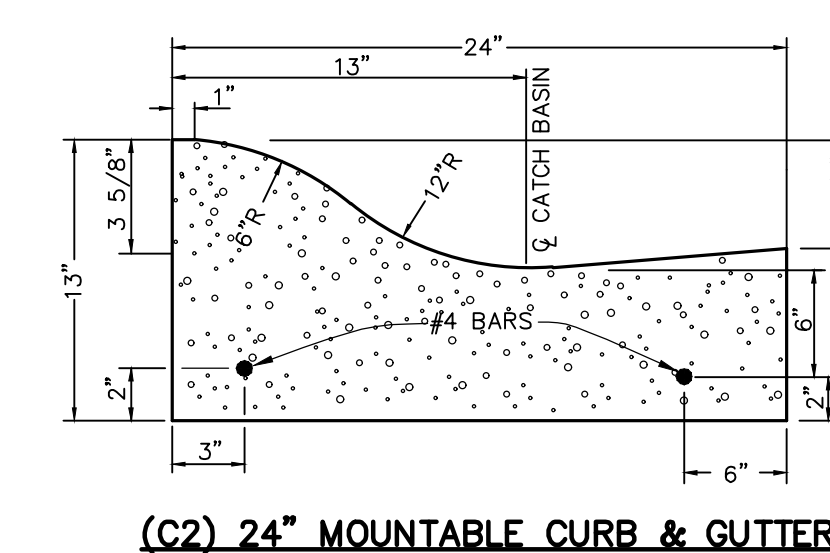
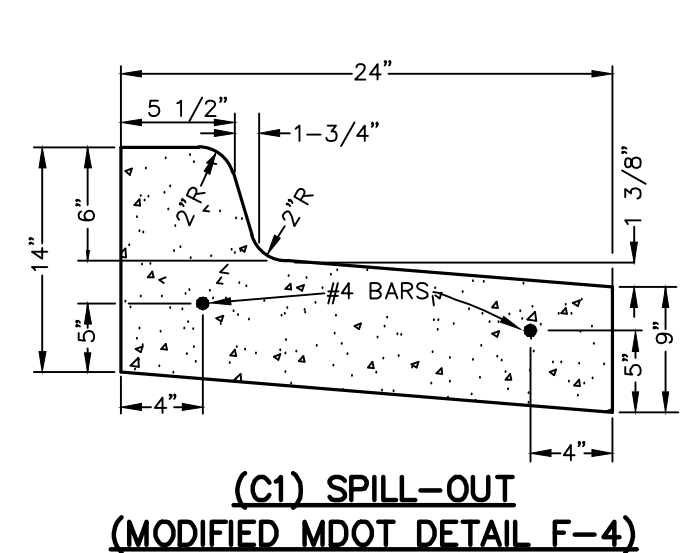
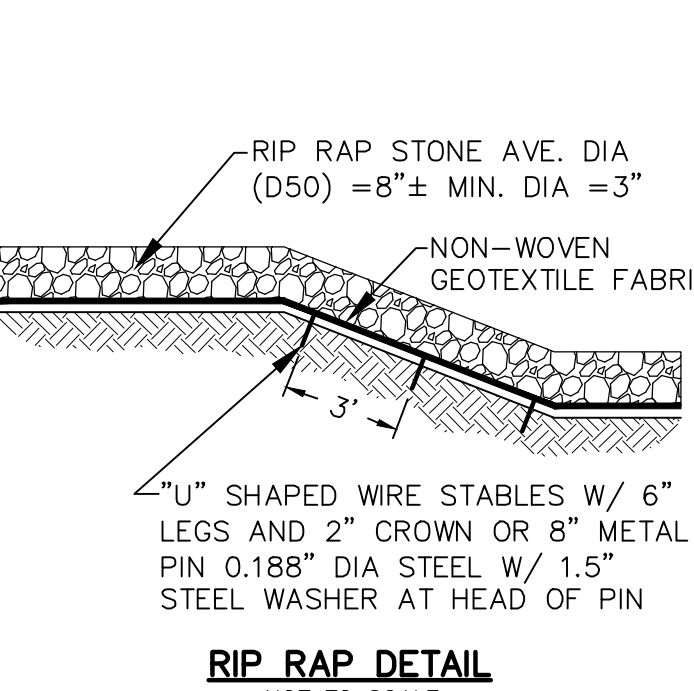
- PROPOSED LEGEND**
- CONCRETE CURB & GUTTER (C1)
  - MOUNTABLE CURB & GUTTER (C2)
  - MODIFIED CURB (C3)
  - BITUMINOUS
  - CONCRETE
  - STONE
  - INFILTRATION AREA
  - OUTLINE OF STORM WATER MANAGEMENT SYSTEM AREA
  - BUMPER BLOCK
  - LIGHTPOLE
  - TESTPIT LOCATION

**WASHTEWAW COUNTY SOIL SURVEY CLASSIFICATION**

- Boyer Loamy Sand, 0 to 6 Percent Slopes
- Gilford Sandy Loam
- Wasepi Sandy Loam, 0 to 4 Percent Slopes

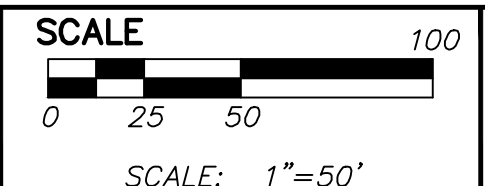
SOILS ARE BASED ON USDA SOIL SURVEY OF WASHTEWAW COUNTY.

- LEGEND**
- LIGHT POLE
  - UTILITY POLE
  - GUY ANCHOR
  - HYDRANT
  - SPOT ELEV.
  - POST
  - GATE VALVE
  - SIGN
  - TOP OF CURB
  - TOP OF WALL
  - MANHOLE
  - CATCHBASIN
  - END SECTION
  - GRAVEL
  - FENCE
  - CONCRETE
  - ASPHALT
  - EXISTING STORM
  - EXISTING SANITARY
  - EXISTING WATER
  - EXISTING GAS
  - EXISTING ELECTRIC
  - EXISTING TELEPHONE



**BENCHMARK**  
BM#1 - EAST FINISHED FLOOR OF EXISTING HOUSE ELEV=704.37  
BM#2 - CURB BOX FOR 6590 RAWSONVILLE RD, 22' SOUTH OF DRIVE, ELEV=698.05

**REVISIONS** - 06-20-2023 PER WCRC, 08-14-2023 PER TWP



PREPARED BY: *Joseph K. Maynard*  
JOSEPH K. MAYNARD P.E., MICH No. 52559

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STATE OF MICHIGAN  
JOSEPH MAYNARD  
ENGINEER  
No. 52559

CIVIL ENGINEERS  
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**WASHTEWAW ENGINEERING**

3526 W. LIBERTY RD  
ANN ARBOR, MI 48103  
TEL: 734-761-8800

**MOTOWN HOLDINGS, INC.**  
6630 RAWSONVILLE RD  
BELLEVILLE, MI 48111  
TEL: 734-931-2313

**SITE PLAN**

**K-11-25-400-014**  
**6630 RAWSONVILLE RD**

SECTION 25 TOWN 3 SOUTH RANGE 7 EAST  
YPSILANTI TOWNSHIP  
WASHTEWAW COUNTY • MICHIGAN  
DATE 05-04-2023 JOB NO. 32962  
DWS NO. 32962-site  
FIELD BOOK -  
FILE NO. 10766

5 SHEET

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING RECORDS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR HAS CONDUCTED VISUAL INSPECTIONS OF THE SURFACE AND WHERE NECESSARY, HAS CONDUCTED TESTS TO DETERMINE THE PRESENCE AND DEPTH OF UTILITIES. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

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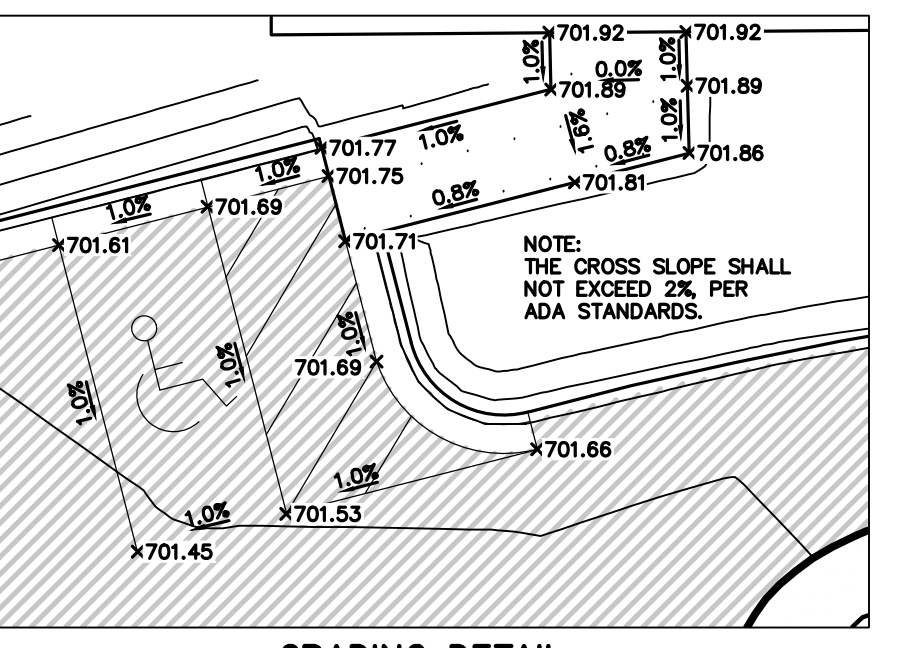
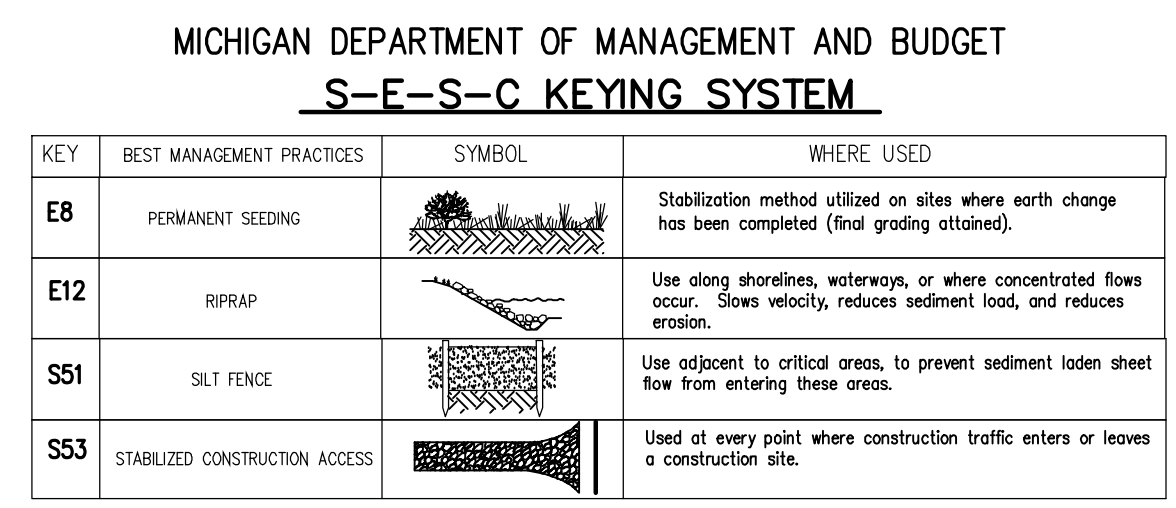
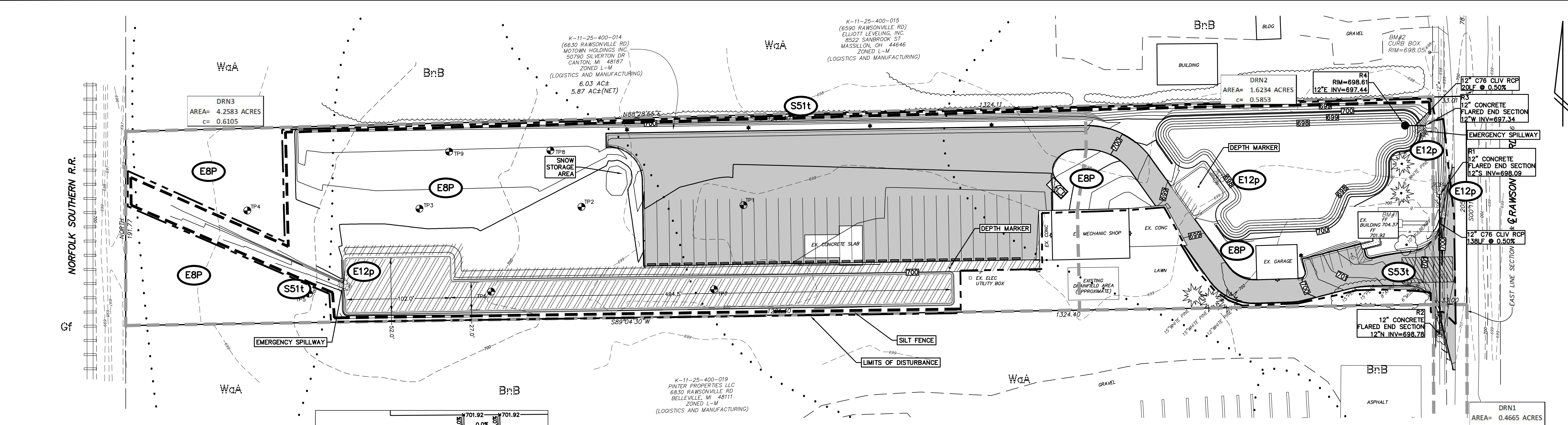


Table with columns: FROM MH, TO MH, Drainage Area Name, ACRES, EQUIV. AREA ACRES PER CB CA, INLET FLOW Lateral, LATERAL RUNS Lateral, TOTAL AREA ACRES, TIME MIN, I IN PER HOUR, Q = CIA CFS, CAPAC. OF SEWER CFS, DIA. OF PIPE IN, ROUGHNESS COEFF., LENGTH OF PIPE FT., SLOPE OF PIPE %, SLOPE OF HGL %, VEL. FT./SEC. FLOWING FULL, TIME OF FLOW IN PIPE MIN, H.G. ELEV. UPPER END, H.G. ELEV. LOWER END, RIM ELEV. UPPER END, RIM ELEV. LOWER END, INVERT UPPER END, INVERT LOWER END.

STORM WATER MANAGEMENT NARRATIVE. EXISTING CONDITIONS. THIS SITE IS LOCATED AT 6630 RAWSONVILLE RD., YPSILANTI TOWNSHIP, MICHIGAN. THIS SITE IS CURRENTLY DEVELOPED. THERE IS NO STORM WATER TREATMENT ON-SITE. THE EXISTING STORM WATER DISCHARGES NORTH EAST TO AN UNNAMED DRAIN THAT IS PART OF THE WILLOW RUN BASIN. FROM THERE IT EVENTUALLY DISCHARGES TO THE HURON RIVER. THE PROPERTY IS NOT IN A 100 YEAR FLOOD PLAN AND DOES NOT HAVE ANY HISTORY OF FLOODING.

PROPOSED IMPROVEMENTS. THE PROPOSED WORK IS TO EXPAND THE EXISTING PARKING FOR SEMI-TRUCK TRAILERS AND PROVIDE STORM WATER TREATMENT IN COMPLIANCE WITH THE RULES OF THE WASHTENAW COUNTY WATER RESOURCES COMMISSIONER. THE SITE WILL REMOVE THE EXISTING GRAVEL PARKING LOT, ADD A PAVED PARKING LOT AREA AND INSTALL AN INFILTRATION TRENCH AND A RAIN GARDEN.



Table with columns: PROPOSED DRAINAGE AREAS, TYPE B SOILS, ROOF, ASPHALT ON CONCRETE, TYPE B SOILS, TYPE B SOILS, TYPE B SOILS, TYPE B SOILS, TYPE B SOILS, TOTAL AREA, NAME, SFT, ACRE, C, SFT, ACRE, C, SFT, ACRE, C, SFT, ACRE, C, SFT, ACRE, C, SFT, ACRE, C, SFT, ACRE, C, SFT, ACRE, C.

PROPOSED STORM WATER MANAGEMENT. THE WATER TABLE ON THIS SITE IS 3.5 TO 4.0 FT BELOW THE EXISTING GRADE AT APPROXIMATE ELEV=696.0. AS INFILTRATION IS AVAILABLE, IN ORDER TO MEET THE REQUIRED INFILTRATION, SHALLOW INFILTRATION AREAS ARE PROPOSED WITH LITTLE SURFACE OR SOIL STORAGE, INSTEAD RELYING ON THE INFILTRATION SHOWN IN THE SOILS TESTING.

THE PARKING LOT AREA IS GRADED TO DIRECT THE WATER TO AN INFILTRATION TRENCH WHICH WILL PROVIDE 100% INFILTRATION OF THE 100 YEAR STORM EVENT. AN ARMORED 10 FT STRIP BETWEEN THE PAVEMENT AND THE INFILTRATION TRENCH IS PROVIDED FOR SEDIMENT REMOVAL.



Table for MAINTENANCE TASKS DURING CONSTRUCTION. Columns include Tasks, Storm Sewer System, Ditches & Swales, Outdoor Control Structures, Rip-Rap, Filtration Basins, Storm Detention, Storm Infiltration Areas, Emergency Overflows, and Scheduled Frequency.

Table for PERMANENT MAINTENANCE TASKS AFTER CONSTRUCTION. Columns include Tasks, Storm Sewer System, Ditches & Swales, Outdoor Control Structures, Rip-Rap, Filtration Basins, Storm Detention, Storm Infiltration Areas, Emergency Overflows, and Schedule.

Table for PERMANENT MAINTENANCE ANNUAL BUDGET. Columns include Description and Annual Cost.

CONSTRUCTION SEQUENCE - IN SEQUENCE. 1. TEMPORARY CONTROL MEASURES INSTALLED. 2. GRAVEL CONSTRUCTION ACCESS INSTALLED. 3. LAND CLEARING. 4. DETENTION/SEDIMENT BASIN INSTALLED AND STABILIZATION. 5. UTILITY INSTALLATION. 6. PLACE INLET FILTERS FOR MANHOLES. 7. PLACE GRAVEL SURFACE. 8. FINAL GRADE/SEED. 9. CATCHBASINS/SEDIMENT BASINS CLEANED. 10. PERMANENT CONTROL MEASURES INSTALLED AND FUNCTIONING. 11. REMOVE TEMPORARY CONTROL MEASURES.

811 logo with text 'Know what's below. Call before you dig.' and contact information for Joseph K. Maynard P.E., Mich No. 52559.

CLIENT: MOTOWN HOLDINGS, INC. 6630 RAWSONVILLE RD BELLEVILLE, MI 48113 TEL: 734-931-2313. WASHTENAW ENGINEERING logo and contact info: CIVIL ENGINEERS, LANDSCAPE ARCHITECTS, 3526 W. LIBERTY RD ANN ARBOR, MI 48103 TEL: 734-761-8600.

SHEET: GRADING, UTILITY AND SOIL EROSION CONTROL PLAN. PROJECT: K-11-25-400-014 6630 RAWSONVILLE RD.

PROJECT: K-11-25-400-014 6630 RAWSONVILLE RD. SECTION 25 TOWN 3 SOUTH RANGE 7 EAST. DATE 05-04-2023. JOB NO. 32962. DWS NO. 32962-grt. FIELD BOOK - 10766. FILE NO. 10766. LEGEND: LIGHT POLE, UTILITY POLE, GUY ANCHOR, HYDRANT, SPOT ELEV., POST, GATE VALVE, GATE SECTION, TOP OF CURB, TOP OF WALL, MANHOLE, CATCHBASIN, END SECTION, GRAVEL, FENCE, CONCRETE, EXISTING WATER, EXISTING GAS, EXISTING ELECTRIC, EXISTING TELEPHONE, BENCHMARK BM#1 - EAST FINISHED FLOOR OF EXISTING HOUSE ELEV=704.37, BM#2 - CURB BOX FOR 6590 RAWSONVILLE RD, 22' SOUTH OF DRIVE, ELEV=698.05. REVISIONS 06-20-2023 PER WCRC, 08-14-2023 PER TMP. SCALE 1"=50'. PREPARED BY JOSEPH K. MAYNARD P.E., MICH No. 52559.



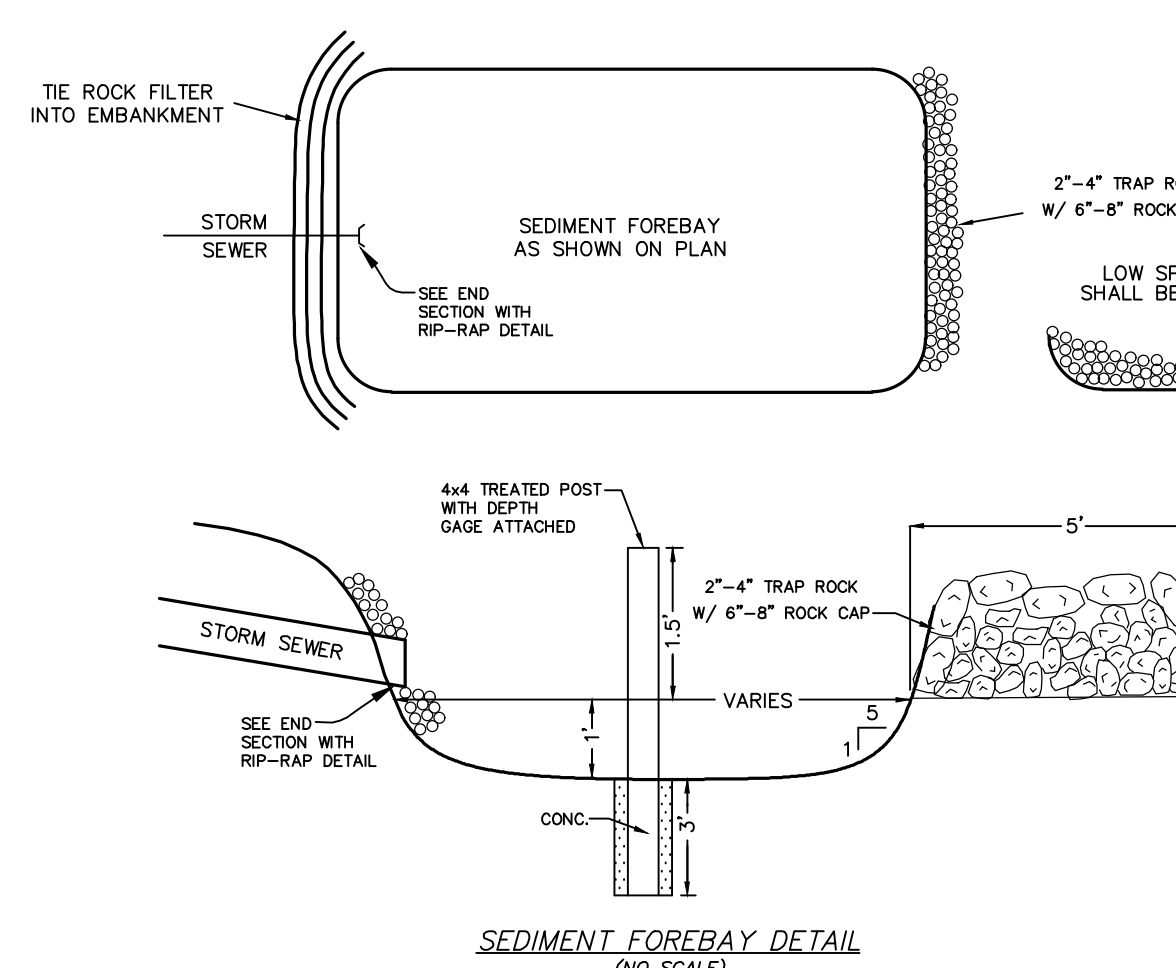
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DETENTION BASIN "DRN-2" VOLUME CALCULATIONS

Standard Method Runoff Volume Work Sheets. Project: 6630 Rawsonville Rd. Basin: Detention Basin DRN-2. By: Seth Garner. Date: 6/20/2023. W1 Determining Post-Development Cover types, Areas, Curve Numbers and Runoff Coefficients. W2 First Flush. W3 Pre-development Bankfull Runoff Calculation (Vbf-pre). W4 Pervious Cover Post-development Bankfull Runoff Calculation (Vbf-per-post). W5 Impervious Cover Post-development Bankfull Runoff Calculation (Vbf-imp-post). W6 Pervious Cover Post-development 100-Year Storm Runoff Calculation (V100-per-post). W7 Impervious Cover Post-development 100-Year Storm Runoff Calculation (V100-imp-post). W8 Determine Time of Concentration for Applicable Flow Types (Tc-hrs). W9 Runoff Summary & Onsite Infiltration Requirement. W10 Detention/Retention Requirement.

DETENTION BASIN "DRN-2" VOLUME CALCULATIONS (CONTINUED)

W11 Determine Applicable BMPs and Associated Volume Credits. W12 Natural Features Inventory. W13 Summary. A. Storm Water Management Summary. B. Detention Volume Increase for sites where the required infiltration cannot be achieved.

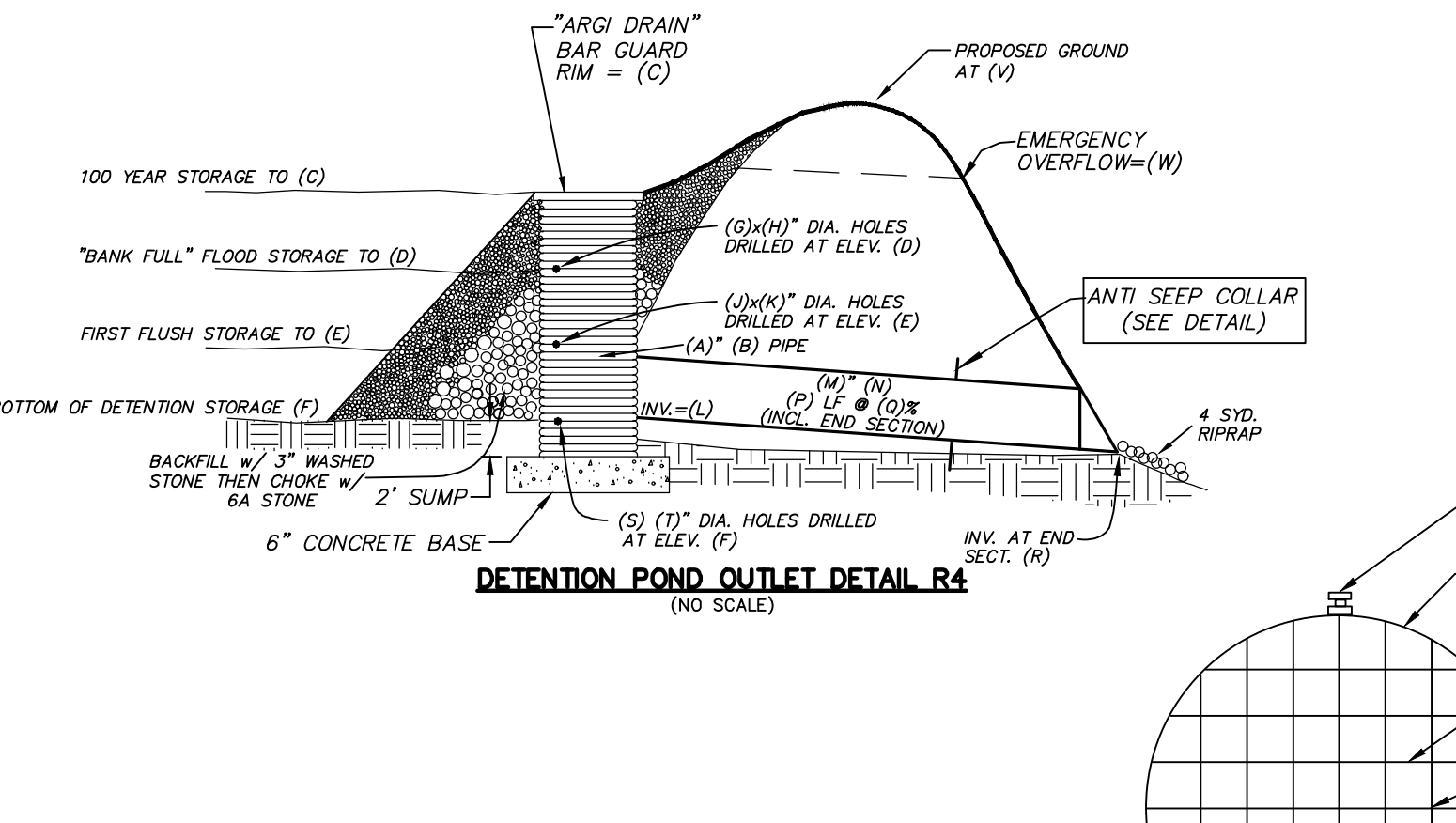


DETENTION BASIN "DRN-2" STORAGE CALCULATIONS

DETENTION BASIN DRN2 CALCULATIONS. PROJECT NAME: 6630 Rawsonville Rd. Design By: Seth Garner, P.E. Date: 6/20/2023. 100 YEAR FLOOD VOLUME STORAGE. BANKFULL FLOOD VOLUME. STORAGE ANALYSIS. OUTLET CONTROL STRUCTURE DESIGN. BANKFULL FLOOD. ORIFICE TABLE.

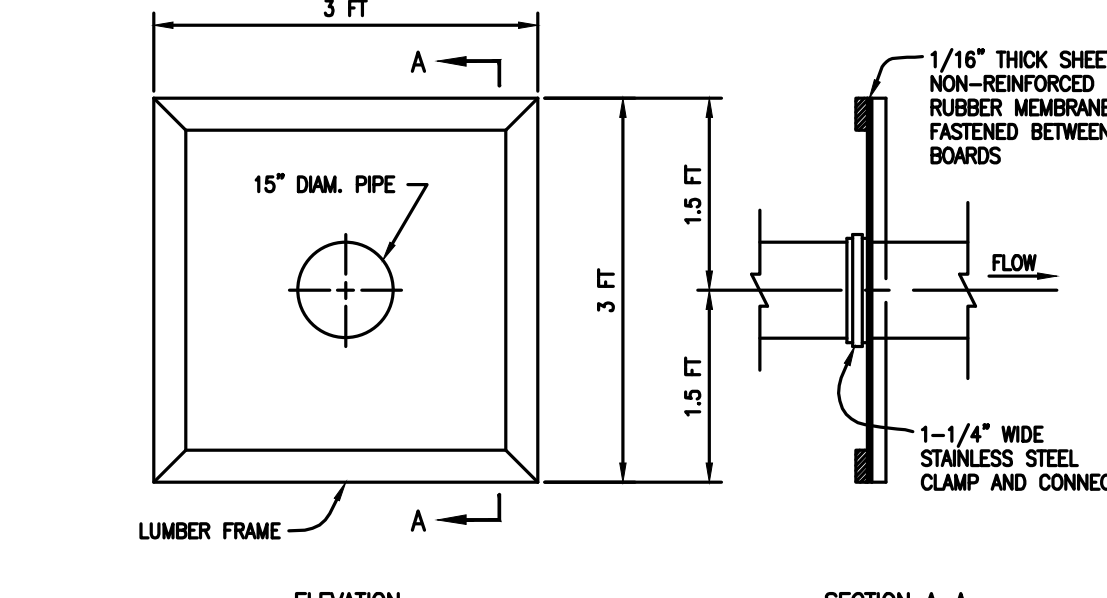
DETENTION BASIN "DRN-2" OUTLET STRUCTURE TABLE

Table with columns for DIAMETER OF STANDPIPE, MATERIAL OF STANDPIPE, 100 YEAR STORAGE TO, BANK FULL FLOOD STORAGE TO, FIRST FLUSH STORAGE TO, BOTTOM OF BASIN, NUMBER OF HOLES(S) AT BANK FULL, DIAMETER OF HOLES(S) AT BANK FULL, NUMBER OF HOLES(S) AT FIRST FLUSH, DIAMETER OF HOLES(S) AT FIRST FLUSH, INVERT OF OUTLET PIPE, DIAMETER OF OUTLET PIPE, MATERIAL OF OUTLET PIPE, LENGTH OF OUTLET PIPE, SLOPE OF OUTLET PIPE, INVERT AT END OF OUTLET PIPE, NUMBER OF HOLES(S) AT BOTTOM OF BASIN, DIAMETER OF HOLES(S) AT BOTTOM OF BASIN, PROPOSED FINISH GROUND ELEVATION, EMERGENCY OVERFLOW ELEVATION.



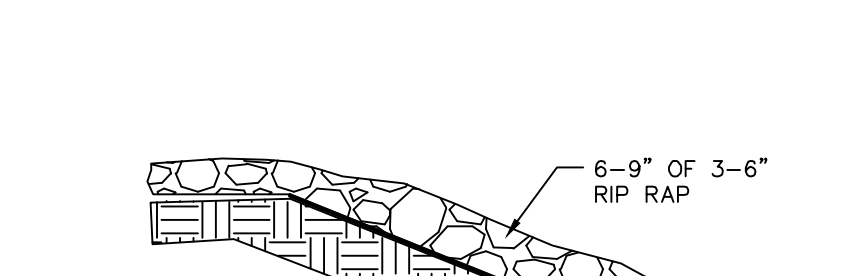
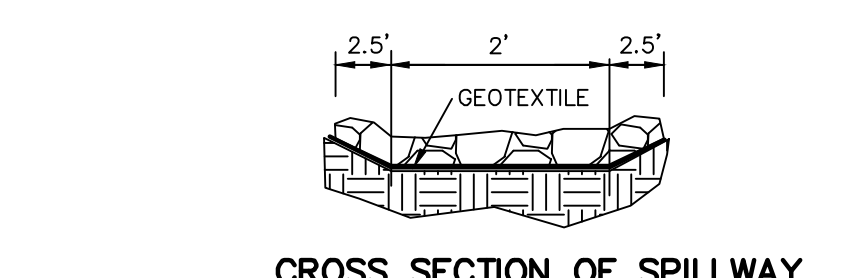
DETENTION BASIN "DRN-2" EMERGENCY OVERFLOW CALCULATIONS

Emergency Overflow Design. Basin: DRN2. Design Requirements. Tc for 100 Year Flood Volume Storage Calculation. Calculate C. Calculate Co. Calculate Storage Time for 100 year storm event. Maximum Flow Rate. Minimum Velocity. Channel Bottom Width (B). Channel Depth (d). Channel Side Slope 1V : H = 5. Manning's Formula. Full Flow, Q = 1.486n^(-1/4) \* (A/P)^2/3 \* (s/100)^1/2. Is Full Flow greater than Qmax? YES. Velocity, V = Q/A. Is Velocity less than 10 fps? YES.



- NOTES: 1. COAT THE PIPE AT THE COLLAR LOCATION WITH BUTYL RUBBER ROOF PATCH CEMENT SEALER OR OTHER BUTYL RUBBER SEALER. (DO NOT USE ASPHALT ROOF PATCH). 2. FOR PIPE DIAMETERS OF 1" TO 4", CUT A HOLE (CENTERED) IN THE BUTYL RUBBER APPROXIMATELY 1/2" IN DIAMETER. FOR PIPE DIAMETERS 6" TO 16", CUT A HOLE 3" SMALLER THAN THE DIAMETER OF THE PIPE. 3. FORCE THE BUTYL RUBBER OVER THE UPSTREAM END OF THE PIPE AND OVER THE BUTYL RUBBER ROOF SEALER. 4. INSTALL A 1-1/4" WIDE STAINLESS STEEL CLAMP AROUND THE PIPE, OVER THE BUTYL RUBBER, AND TIGHTEN UNTIL SEALER IS FORCED OUT. 5. STAPLE THE BUTYL RUBBER TO THE LUMBER FRAME. 6. THE COMPLETED INSTALLATION MUST BE WATER-TIGHT. 7. THE WOOD FRAME SHALL BE CONSTRUCTED FROM EITHER 1" x 4" OR 2" x 2" LUMBER AND SHALL BE RIGID ENOUGH TO WITHSTAND BACKFILL OPERATIONS.

TABLE OF QUANTITIES (PER COLLAR). Columns: W" FEET, BUTYL RUBBER SQ. FT., STAINLESS STEEL CLAMP, LUMBER LIN. FT.



INSTALL NON-WOVEN GEOTEXTILE SOIL SEPARATOR (AMOCO 4547 OR APPROVED EQUAL).

LONGITUDINAL SECTION OF SPILLWAY EMERGENCY OVERFLOW DETAIL

LEGEND. Symbols for LIGHT POLE, UTILITY POLE, GUY ANCHOR, HYDRANT, SPOT ELEV., POST, GATE VALVE, SIGN, TOP OF CURB, TOP OF WALL, MANHOLE, CATCHBASIN, END SECTION, EXISTING STORM, EXISTING SANITARY, EXISTING WATER, EXISTING GAS, EXISTING ELECTRIC, EXISTING TELEPHONE, GRAVEL, FENCE, CONCRETE, ASPHALT.

BENCHMARK. BM#1 - EAST FINISHED FLOOR OF EXISTING HOUSE ELEV=704.37. BM#2 - CURB BOX FOR 6630 RAWSONVILLE RD, 22' SOUTH OF DRIVE, ELEV=698.05.

REVISIONS - 06-20-2023 PER WCRC, 08-14-2023 PER TMP.

SCALE. 0 50 100. SCALE: 1"=100'

PREPARED BY: JOSEPH K. MAYNARD P.E., MICH No. 52559.

811. Know what's below. Call before you dig.

STATE OF MICHIGAN. JOSEPH K. MAYNARD ENGINEER. No. 52559. PROFESSIONAL SEAL.

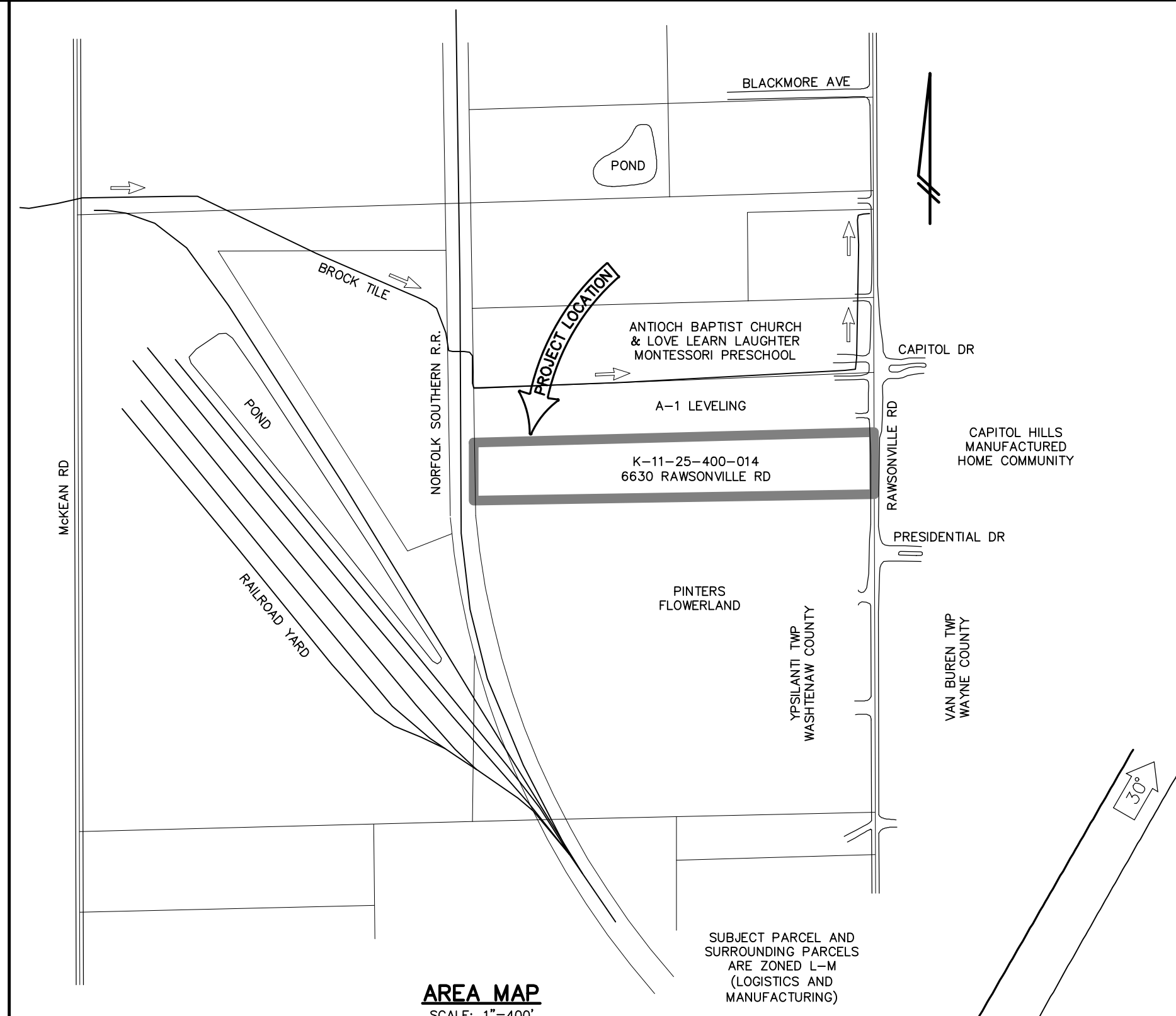
CLIENT: MOTOWN HOLDINGS, INC. 6630 RAWSONVILLE RD, BELLEVILLE, MI 48111. SHEET: STORM WATER MANAGEMENT CALCULATIONS DRN2. PROJECT: K-11-25-400-014 6630 RAWSONVILLE RD. SECTION: 25 TOWN: 3 SOUTH: 7 RANGE: 7 EAST: 7. DATE: 05-04-2023. JOB NO.: 32962. DWS NO.: 32962-grd. FIELD BOOK: FILE NO.: 10766.



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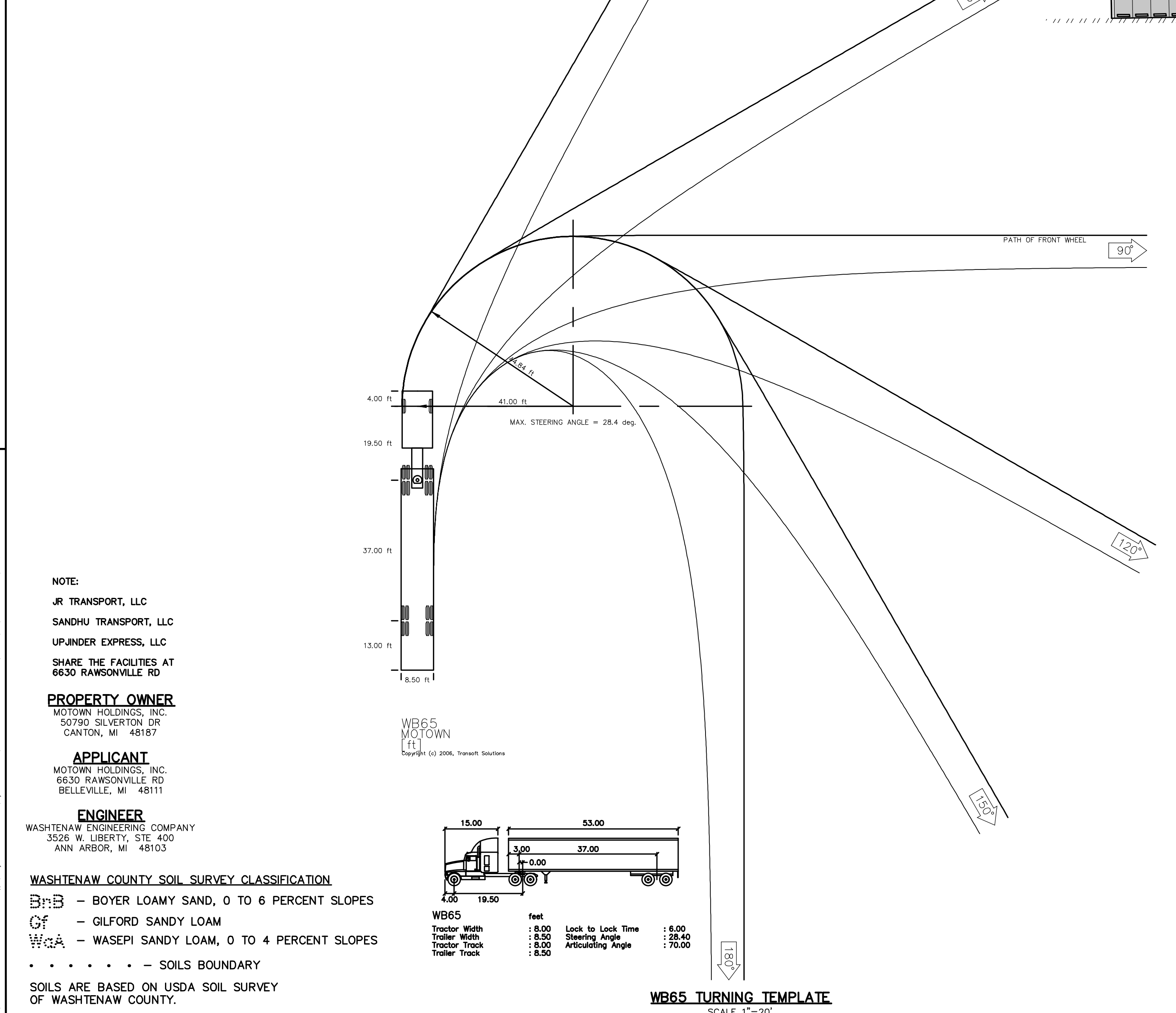
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AREA MAP  
SCALE: 1"=400'

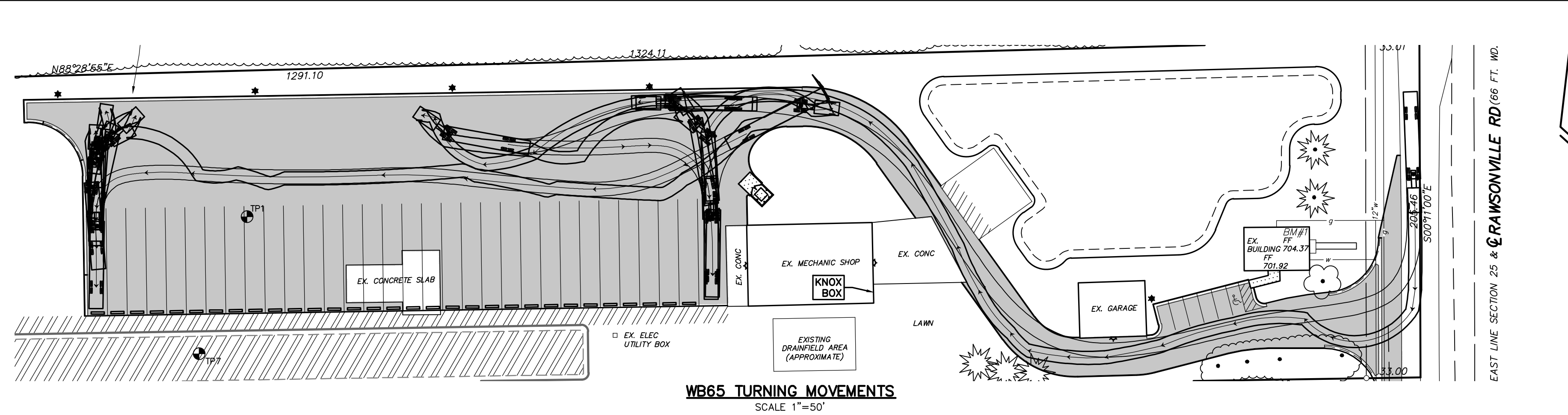
SUBJECT PARCEL AND SURROUNDING PARCELS ARE ZONED L-UM (LOGISTICS AND MANUFACTURING)



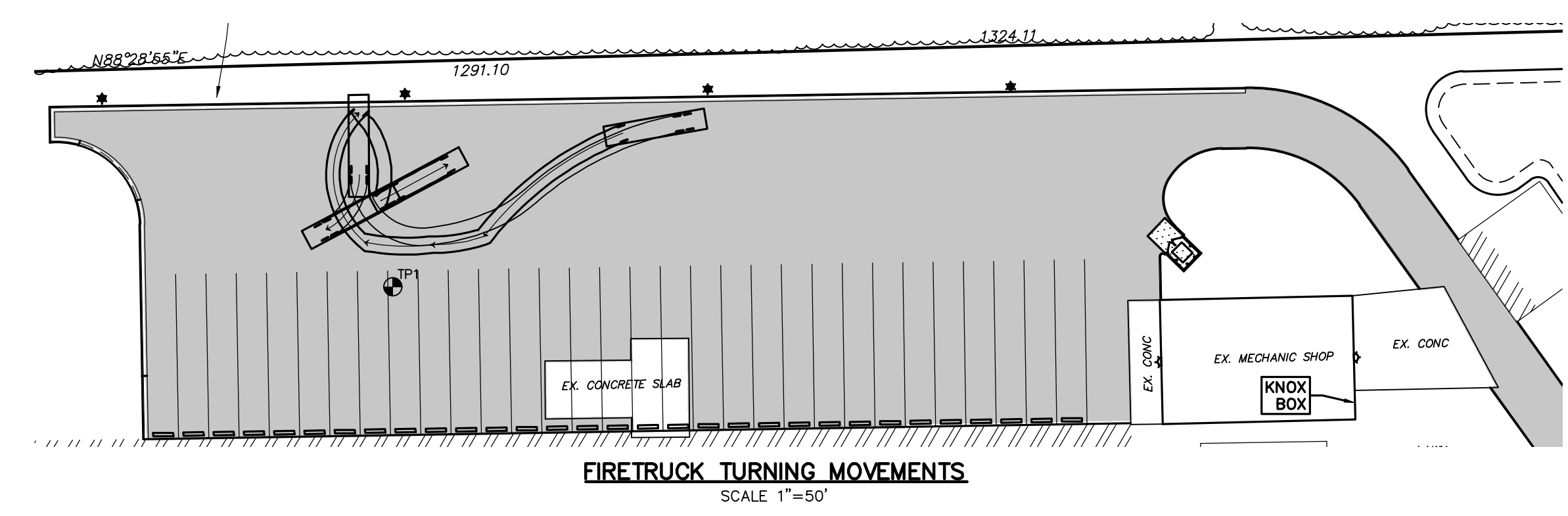
WB65

Tractor Width	feet	8.00	Lock to Lock Time	: 6.00
Trailer Width	feet	8.50	Steering Angle	: 28.40
Tractor Track	feet	8.50	Articulating Angle	: 70.00
Trailer Track	feet	8.50		

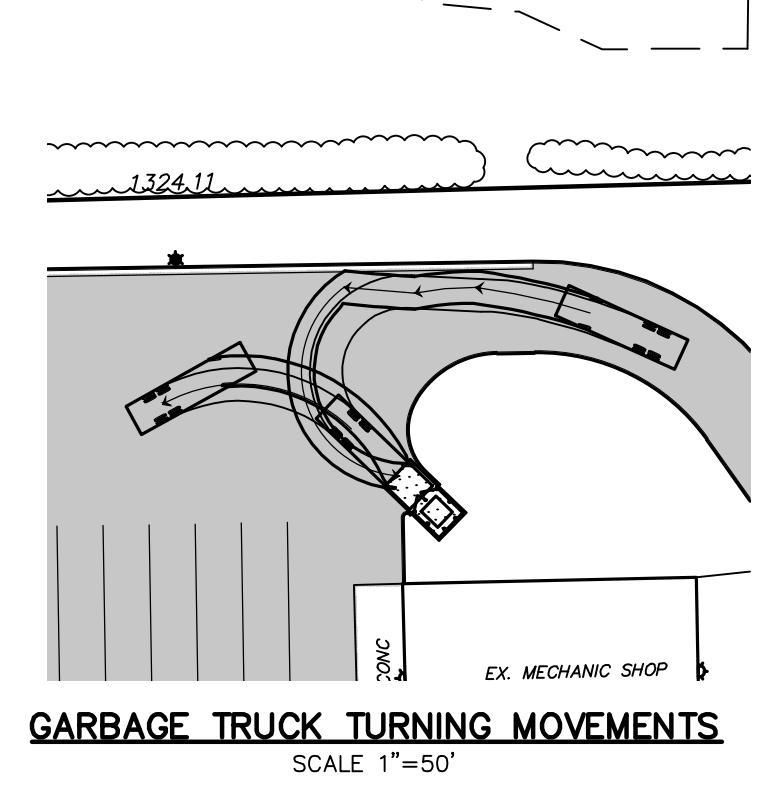
WB65 TURNING TEMPLATE  
SCALE 1"=20'



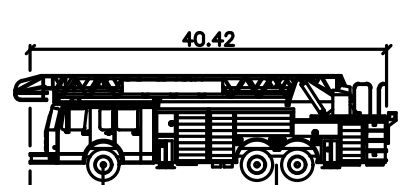
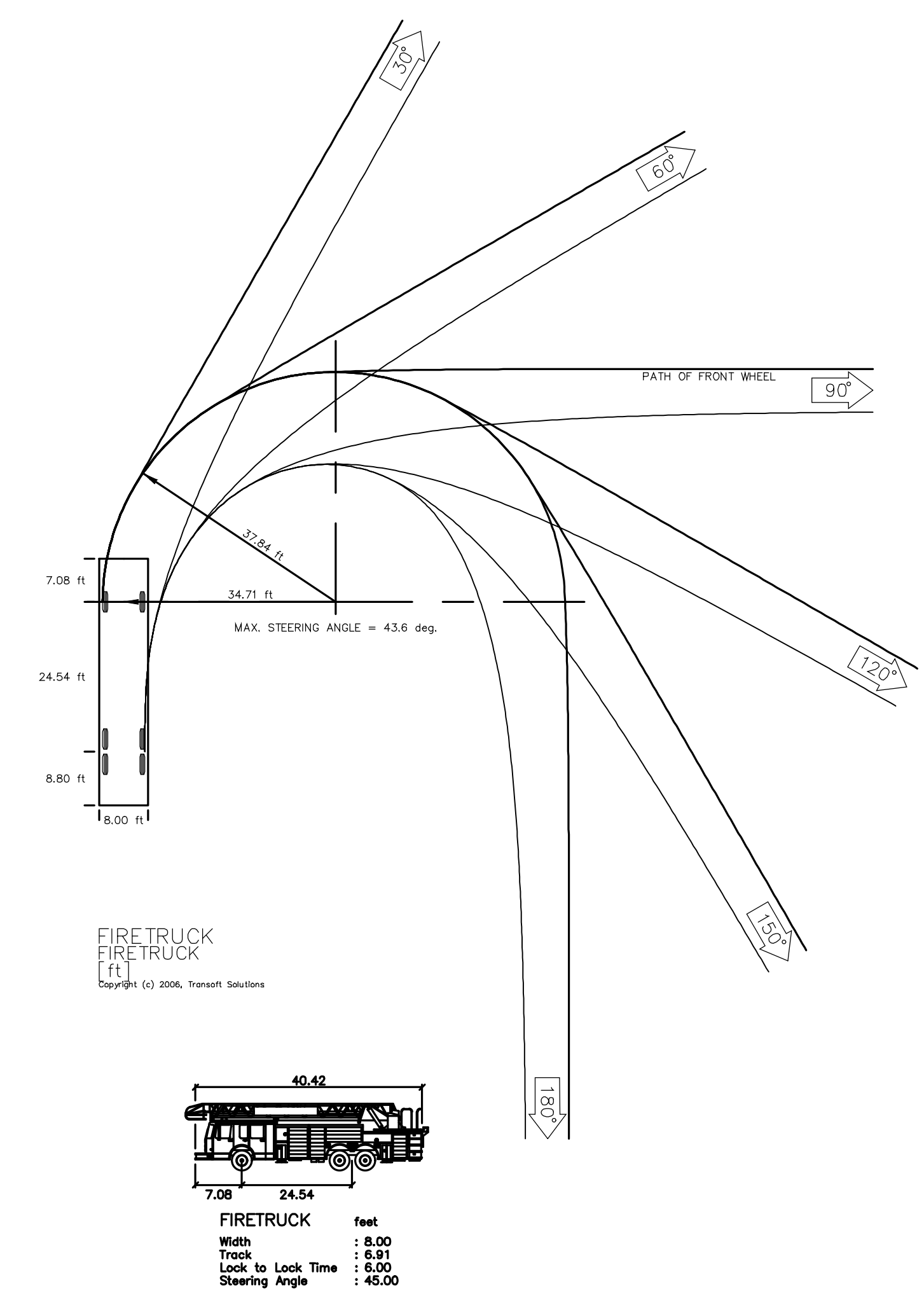
WB65 TURNING MOVEMENTS  
SCALE 1"=50'



FIRETRUCK TURNING MOVEMENTS  
SCALE 1"=50'



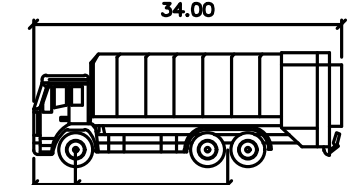
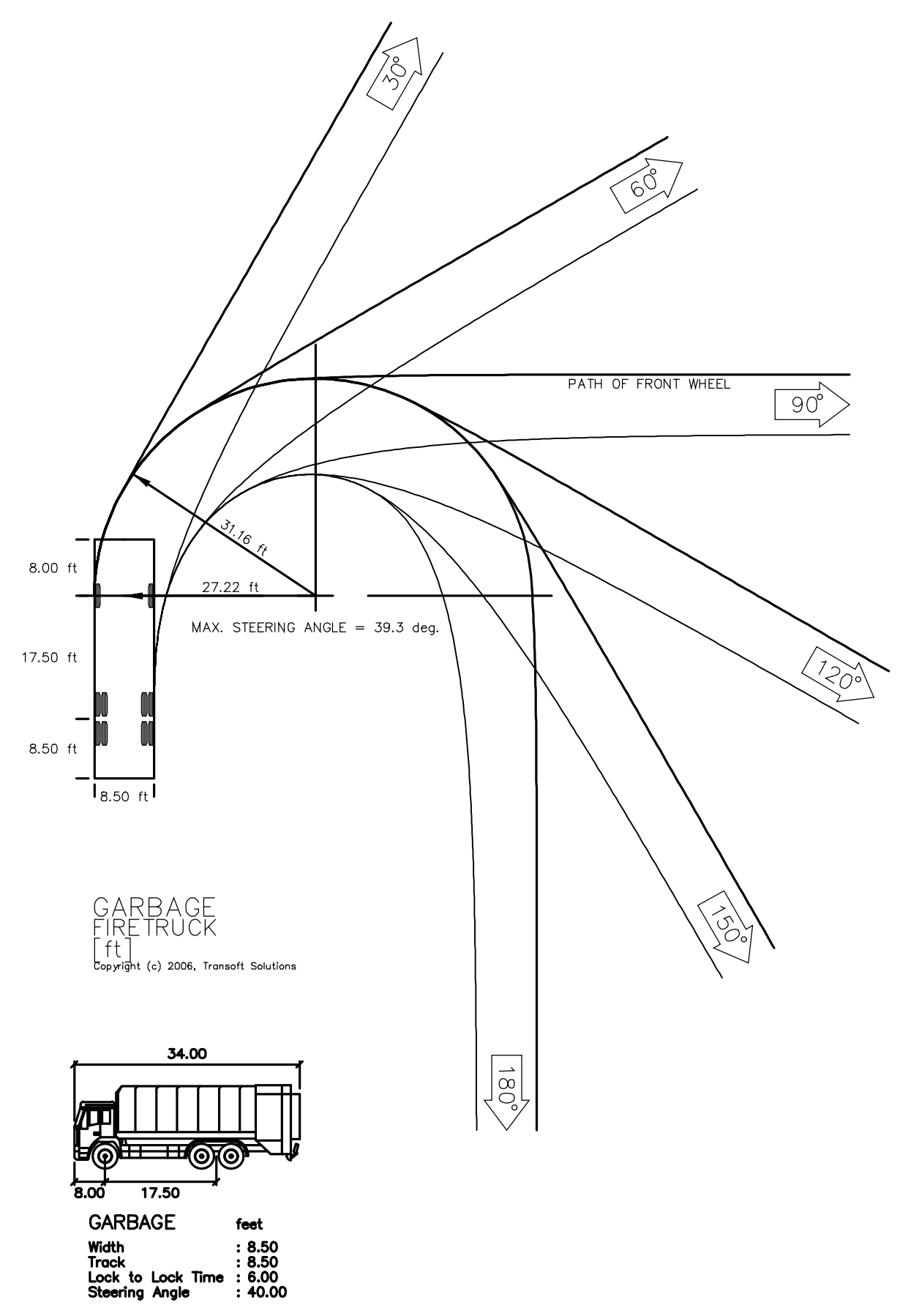
GARBAGE TRUCK TURNING MOVEMENTS  
SCALE 1"=50'



FIRETRUCK

Width	feet	8.00
Track	feet	8.81
Lock to Lock Time	feet	6.00
Steering Angle	degrees	45.00

FIRETRUCK TURNING TEMPLATE  
SCALE 1"=20'



GARBAGE

Width	feet	8.50
Track	feet	8.50
Lock to Lock Time	feet	6.00
Steering Angle	degrees	40.00

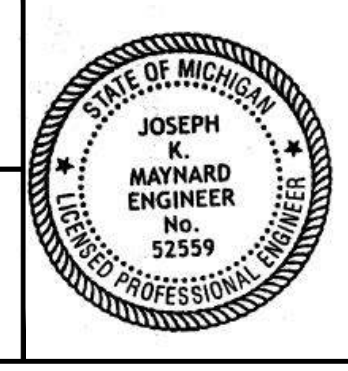
GARBAGE TRUCK TURNING TEMPLATE  
SCALE 1"=20'

TAX DESCRIPTION (K-11-25-400-014)

Commencing at the E 1/4 post of section, thence S0°11'E 787.45 feet along the East line of section for Place of Beginning, thence S0°11'E 205.46; thence S89°04'30"W 1324.4 feet; thence North 191.77 feet; thence N88°28'55"E 1324.11 feet to the Place of Beginning. Being part of the East 1/2 of the SE 1/4, Section 25, T3S, R7E, containing 6.03 acres of land more or less.

TOPOGRAPHY BY OTHERS. MIDWESTERN CONSULTING, 5-18-2001.

PREPARED BY: *Joseph K. Maynard*  
JOSEPH K. MAYNARD P.E., MICH No. 52559



LEGEND

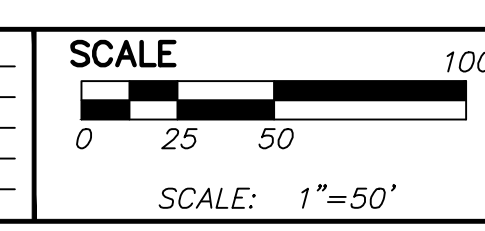
○	LIGHT POLE	---	GRAVEL	---	EXISTING STORM
○	UTILITY POLE	---	FENCE	---	EXISTING SANITARY
○	POST	---	CONCRETE	---	EXISTING WATER
○	GUY ANCHOR	---	ASPHALT	---	EXISTING GAS
○	HYDRANT	---		---	EXISTING ELECTRIC
		---		---	EXISTING TELEPHONE

BENCHMARK

BM#1	- EAST FINISHED FLOOR OF EXISTING HOUSE ELEV=704.37
BM#2	- CURB BOX FOR 6590 RAWSONVILLE RD, 22' SOUTH OF DRIVE, ELEV=698.05

REVISIONS

-06-20-2023	PER WCWR, 08-14-2023 PER TWP
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CIVIL ENGINEERS  
PLANNERS • SURVEYORS  
LANDSCAPE ARCHITECTS  
3526 W. LIBERTY RD  
ANN ARBOR, MI 48103  
TEL: 734-761-8800

**WASHTEANAW ENGINEERING**

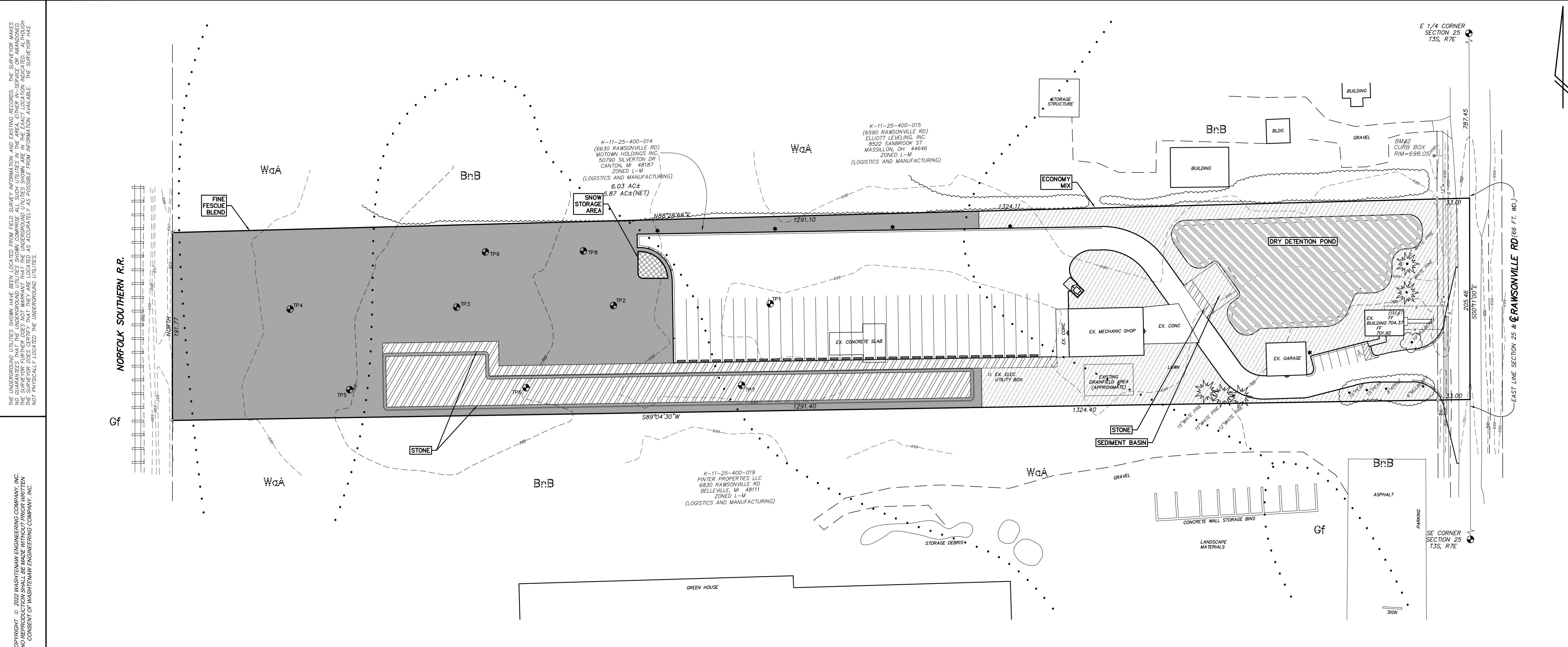
MOTOWN HOLDINGS, INC.  
6630 RAWSONVILLE RD  
BELLEVILLE, MI 48111  
TEL: 734-931-2313

**TURNING TEMPLATE**

K-11-25-400-014  
6630 RAWSONVILLE RD

SECTION 25 TOWN 3 SOUTH RANGE 7 EAST  
YPSILANTI TOWNSHIP  
WASHTEANAW COUNTY • MICHIGAN  
DATE 05-04-2023 JOB NO. 32962  
DWS NO. 32962-turr  
FIELD BOOK - 10766  
FILE NO. 10766

8 SHEET



THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING RECORDS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE ACCURATELY LOCATED OR DEPTHS ARE ACCURATE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

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APPLICATION for VARIANCE TO LANDSCAPE AND SCREENING VARIANCE REQUEST

**Sec. 1301. - Landscape requirements:**

- Explanation: The subject property has several physical characteristics restricting its development.
- The existing parcel is narrow (205.46 lf) and deep (1,324.40lf) making circulation for semi-tractor/trailers challenging.
  - Storm-water detention and infiltration facilities occupy large surface areas of the site due to the existing high water table. The necessary configurations and proximity of these structures to all required paved areas eliminated available space for landscaping on site.
  - Location of the existing house access drive into the property and existing mature trees prevent additional landscaping along the Rawsonville Road Frontage.

These stated conditions make additional site and street frontage landscaping impractical. A variance to Sections 1301 is requested.

**WASHTEANAW COUNTY SOIL SURVEY CLASSIFICATION**

- BOYER LOAMY SAND, 0 TO 6 PERCENT SLOPES
- GILFORD SANDY LOAM
- WASEPI SANDY LOAM, 0 TO 4 PERCENT SLOPES

..... - SOILS BOUNDARY  
 SOILS ARE BASED ON USDA SOIL SURVEY OF WASHTEANAW COUNTY.

**SITE ANALYSIS:**

Existing Trees: They are limited to front yard landscaping and along the south property line fence row. See existing conditions for tree survey and identification.

Other Natural Features: There are NO wetlands, drains, creeks, surface water or flood plains on site.

Landscaping: Lawn areas around all existing structures are maintained.

**MESIC PRAIRIE INSTALLATION**

- PLACE 12" DRY DETENTION POND MIX.
- DRILL SEED MESIC PRAIRIE MIX.
- BLOW IN CHOPPED WHEAT STRAW MULCH.
- CRIMP STRAW MULCH INTO GRADE.
- SEED SCHEDULE: APRIL 15 - AUGUST 31 OR SEPT 5 - DECEMBER 31.
- CONTRACTOR TO WARRANTY SEEDING FOR ONE YEAR FROM DATE OF INSTALLATION.

**DRY DETENTION POND SOIL**

MIXTURE:  
 60 PERCENT SCREENED SAND  
 40 PERCENT COMPOST.  
 PLACE 12" DEPTH IN BASIN.

**Mesic Prairie Mix**

Common Name	Scientific Name	#/acre
<b>Temporary Grasses</b>		<b>20</b>
Seed Oats	<i>Avena sativa</i>	
Annual Rye	<i>Lolium multiflorum</i>	
<b>Native Grasses</b>		<b>12</b>
Big Bluestem Grass	<i>Andropogon gerardii</i>	
Copper Oval Sedge	<i>Carex lasiocarpa</i>	
Canada Wild Rye	<i>Elymus canadensis</i>	
Switch Grass	<i>Panicum virgatum</i>	
Little Bluestem	<i>Schizachyrium scoparium</i>	
Indian Grass	<i>Sorghastrum nutans</i>	
<b>Native Wildflowers:</b>		<b>8</b>
New England Aster	<i>Aster novae-angliae</i>	
Heath Aster	<i>Aster pilosus</i>	
Tall Coreopsis	<i>Coreopsis tripteris</i>	
White False Indigo	<i>Baptisia leucantha</i>	
Purple Coneflower	<i>Echinacea purpurea</i>	
Rattlesnake Master	<i>Eryngium yuccifolium</i>	
Ox Eye Sunflower	<i>Helopsis helianthoides</i>	
Rough Blazing Star	<i>Liatris aspera</i>	
Dense Blazing Star	<i>Liatris spicata</i>	
Bergamot (Beebalm)	<i>Monarda fistulosa</i>	
Obedient Plant	<i>Physostegia virginiana</i>	
Mountain Mint	<i>Pycnanthemum virginianum</i>	
Black-eyed Susan	<i>Rudbeckia hirta</i>	
Green-headed Coneflower	<i>Rudbeckia laciniata</i>	
Yellow Coneflower	<i>Ratibida pinnata</i>	
Princes Dock	<i>Silphium laciniatum</i>	
Tall Goldenrod	<i>Solidago altissima</i>	
Lance-leaved Goldenrod	<i>Solidago graminifolia</i>	
Stiff Goldenrod	<i>Solidago rigida</i>	
Spaldewort	<i>Tradescantia ohioensis</i>	
White Vervain	<i>Verbena urticifolia</i>	
Blue Vervain	<i>Verbena hastata</i>	
<b>Total Pounds Per Acre</b>		<b>40 lbs</b>

**FINE FESCUE BLEND (perimeter of detention basin & west end of parcel)**

Hard Fescue  
 Chewings Fescue  
 Sheeps Fescue Creeping  
 Red Fescue  
 Traditional Fine Fescue Blends  
 Seeding Rate: 4-6 lbs/1,000 sq ft DO NOT FERTILIZE  
 80# Wheat/Straw Mulch crimped into grade/Supplier: Stock Seed Farms  
 800-758-1820  
 Murock, Nebraska

**ECONOMY MIX (Seed Mix for all restored areas east of parking lot)**

40% CR RED FESCUE  
 30% ANNUAL RYE  
 20% PER. RYEGRASS  
 10% KY. BLUEGRASS  
 Seed Rate: 4#/1000sf  
 12-12-12 fertillize @ 10#/1000sf  
 80# Wheat/Straw Mulch crimped into grade  
 Supplier: Rhino seed & landscape supply,  
 850 N. Old Highway 23,  
 Brighton, MI +1 800 482 3193

**TREE IDENTIFICATION**

DIA.	SPECIES	CONDITION	REMOVE
15"	PEAR	FAIR	
8"	APPLE	FAIR	
15"	PEAR	FAIR	
12"	WHITE PINE	GOOD	
15"	WHITE PINE	GOOD	
15"	WHITE PINE	GOOD	
10"	WHITE MULBERRY	FAIR	
10"	WHITE MULBERRY	FAIR	X
8"	WHITE PINE	GOOD	
8"	WHITE PINE	GOOD	
7"	RED CEDAR	POOR	X
10"	RED MAPLE	GOOD	X
6"	WHITE MULBERRY	FAIR	

**PROPOSED LEGEND**

- = CONCRETE CURB & GUTTER (C1)
- = MOUNTABLE CURB & GUTTER (C2)
- = MODIFIED CURB (C3)
- = 6" BITUMINOUS
- = CONCRETE
- = STONE
- = INFILTRATION AREA
- = OUTLINE OF STORM WATER MANAGEMENT SYSTEM AREA
- = BUMPER BLOCK
- = LIGHTPOLE
- = TESTPIT LOCATION
- = FINE FESCUE BLEND
- = ECONOMY MIX
- = MESIC PRAIRIE MIX
- = SNOW STORAGE



Know what's below. Call before you dig.



**LEGEND**

	== SPOT ELEV.	TC = TOP OF CURB	--- = GRAVEL		= EXISTING STORM
	o = POST	TW = TOP OF WALL	- - - = FENCE		= EXISTING SANITARY
	o = MANHOLE	o = MANHOLE			= EXISTING WATER
	o = GATE VALVE	o = CATCHBASIN			= EXISTING GAS
	o = SIGN	o = END SECTION			= EXISTING ELECTRIC
					= EXISTING TELEPHONE

**BENCHMARK** BM#1 - EAST FINISHED FLOOR OF EXISTING HOUSE ELEV=704.37  
 BM#2 - CURB BOX FOR 6590 RAWSONVILLE RD, 22' SOUTH OF DRIVE, ELEV=698.05

**REVISIONS** -06-20-2023 PER WCRC, 08-14-2023 PER TWP

**SCALE**

SCALE: 1"=50'

TOPOGRAPHY BY OTHERS, MIDWESTERN CONSULTING, 5-18-2001.  
 PREPARED BY   
 GERALD J. SOSNOWSKI RLA, MICH No. 982

CIVIL ENGINEERS  
 PLANNERS • SURVEYORS  
 LANDSCAPE ARCHITECTS

**WASHTEANAW ENGINEERING**

**MOTOWN HOLDINGS, INC.**  
 6630 RAWSONVILLE RD  
 BELLEVILLE, MI 48111  
 TEL: 734-931-2313

**LANDSCAPE PLAN**

**K-11-25-400-014**  
**6630 RAWSONVILLE RD**

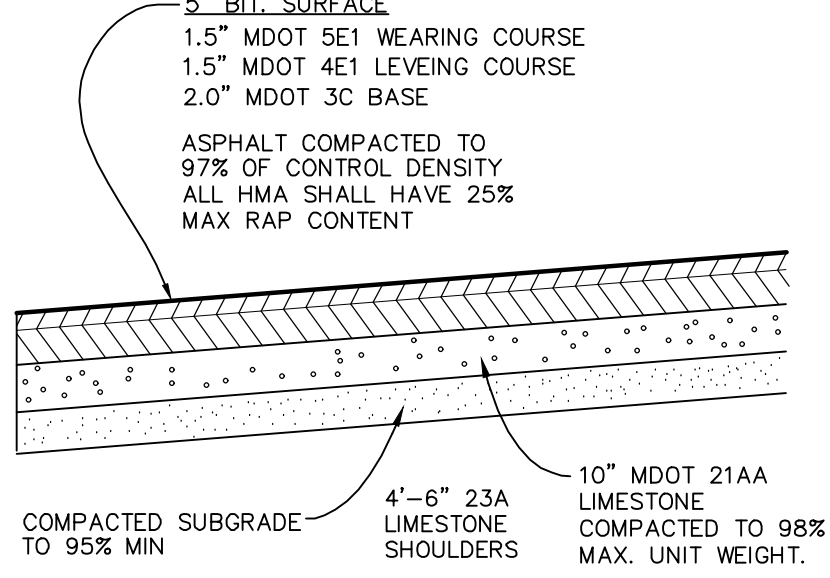
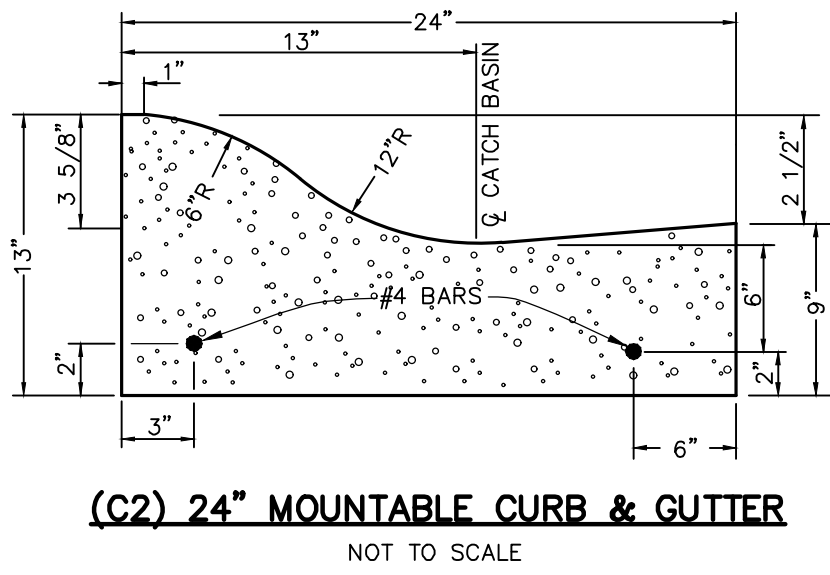
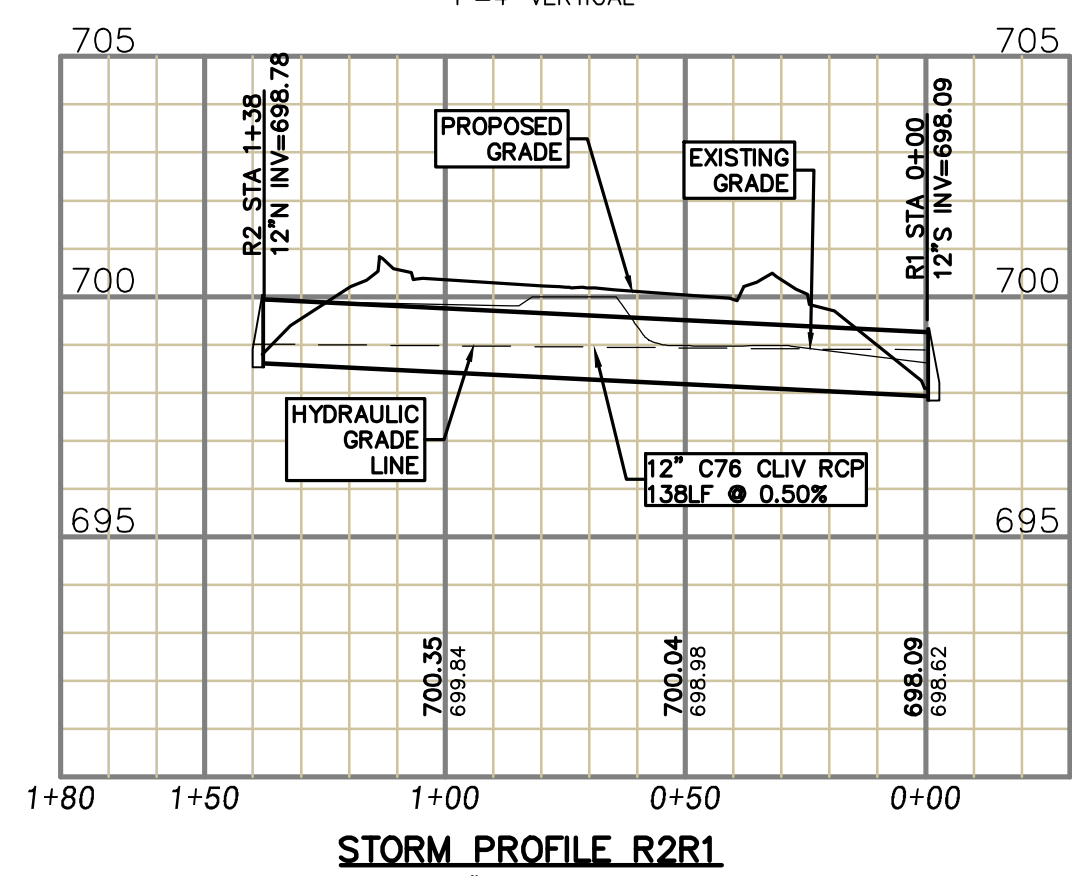
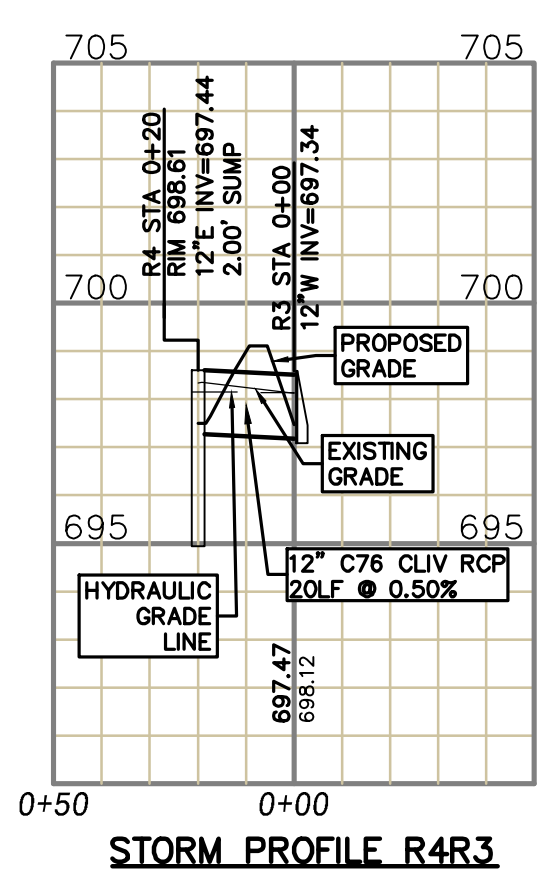
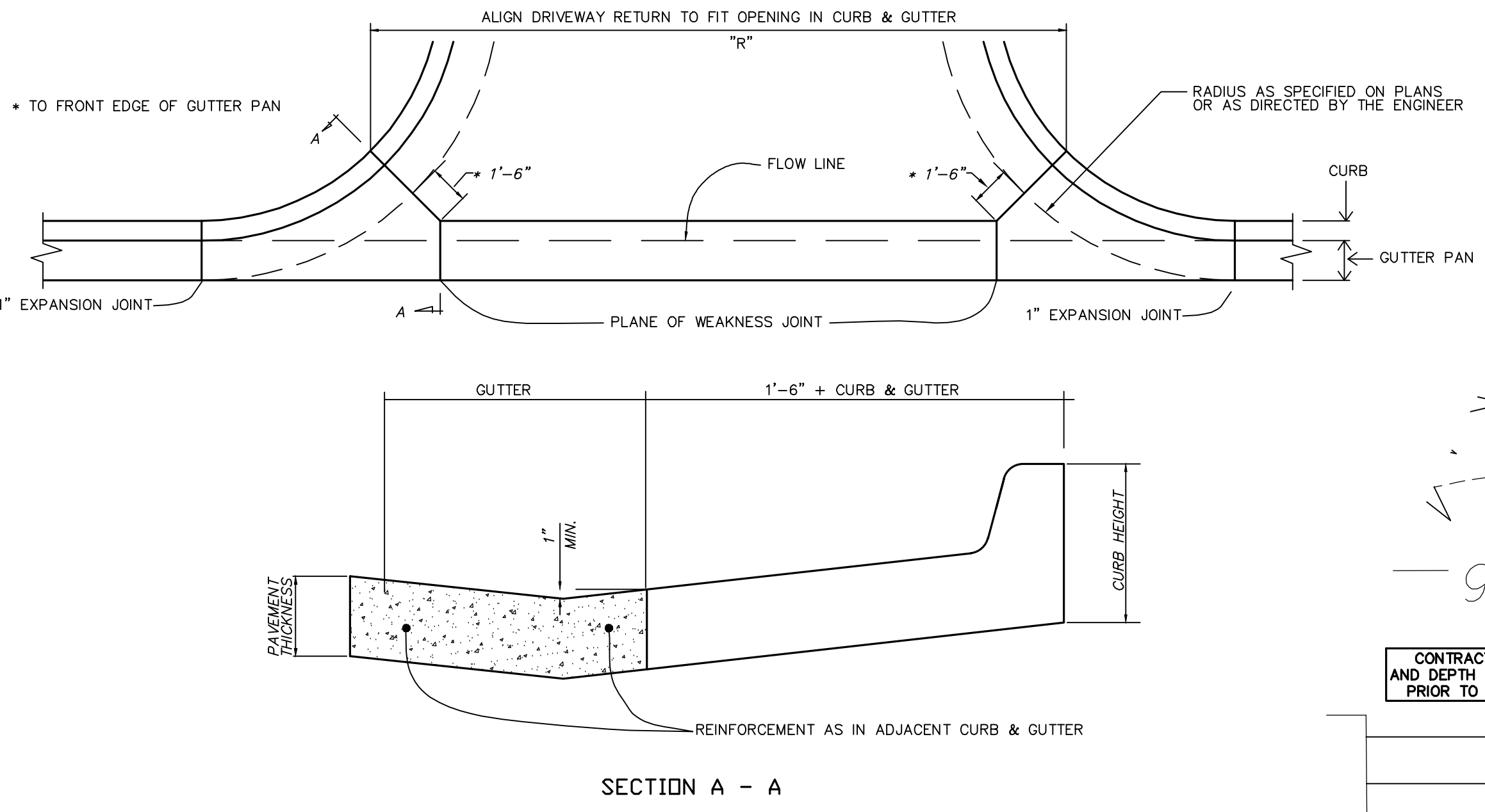
SECTION 25 TOWN 3 SOUTH RANGE 7 EAST  
 YPSILANTI TOWNSHIP  
 WASHTEANAW COUNTY • MICHIGAN  
 DATE 05-04-2023 JOB NO. 32962  
 DWS NO. 32962-land  
 FIELD BOOK -  
 FILE NO. 10766

9 SHEET

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**PROPOSED LEGEND**

- CONCRETE CURB & GUTTER (C1)
- MOUNTABLE CURB & GUTTER (C2)
- MODIFIED CURB (C3)
- 6" BITUMINOUS
- CONCRETE
- STONE
- INFILTRATION AREA
- OUTLINE OF STORM WATER MANAGEMENT SYSTEM AREA
- BUMPER BLOCK
- LIGHT POLE
- TEST PIT LOCATION

**WASHTEANAW COUNTY SOIL SURVEY CLASSIFICATION**

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- GILFORD SANDY LOAM
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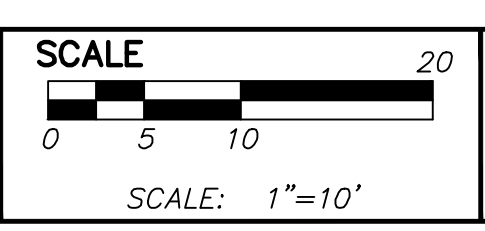
• • • • • SOILS BOUNDARY

SOILS ARE BASED ON USDA SOIL SURVEY OF WASHTEANAW COUNTY.

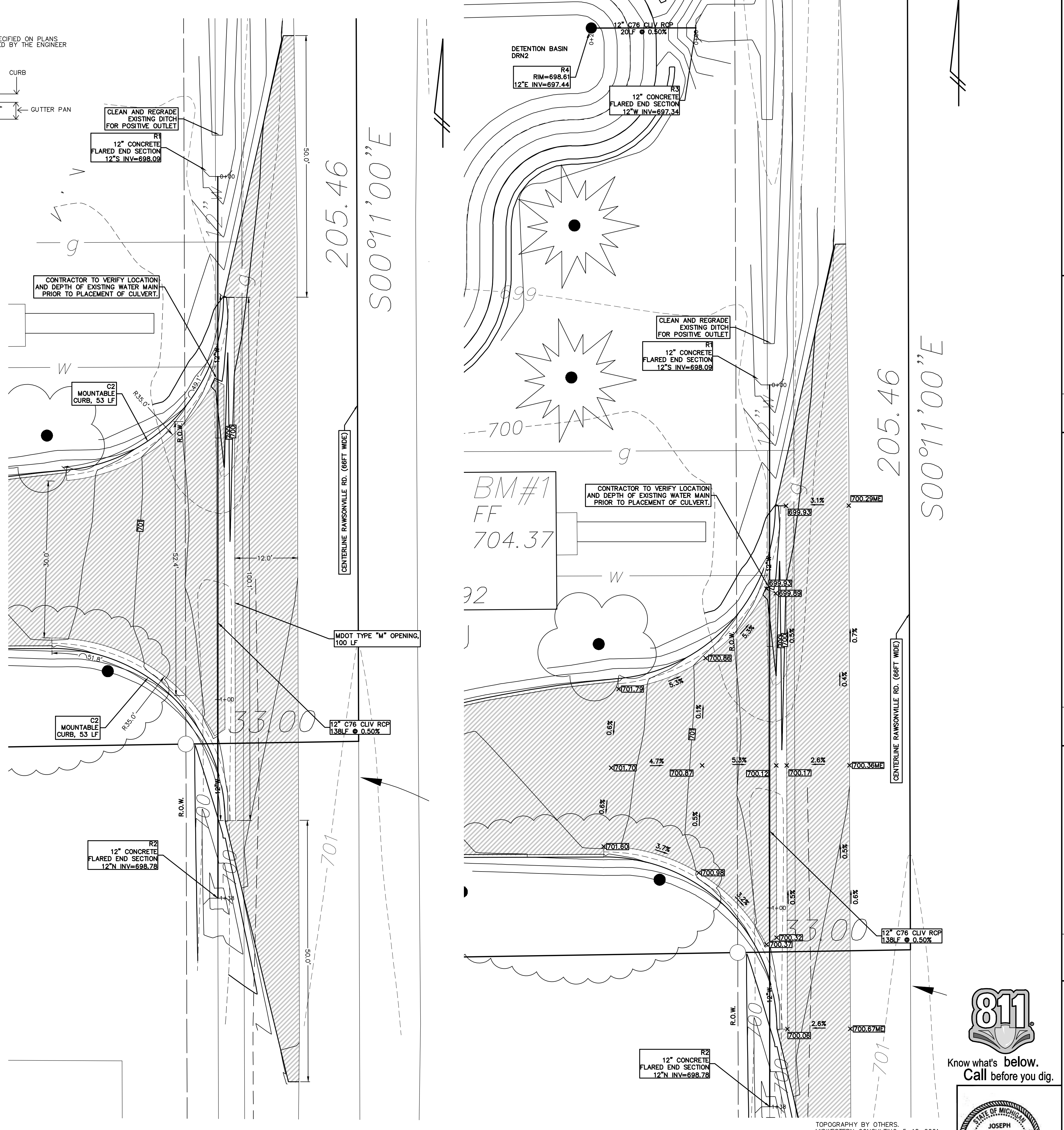
- NOTES:**
- CONTRACTOR TO COMPLETE WORK IN ACCORDANCE WITH WASHTEANAW COUNTY ROAD COMMISSIONER (WCRC) RULES AND STANDARDS.
  - THE SPEED LIMIT IS 55 MILES PER HOUR (UNPOSTED) FOR RAWSONVILLE ROAD. THIS IS LISTED ON THE SPEED LIMIT MAP MARCH 2, 2021 LOCATED ON THE WCROADS.ORG WEBSITE.
  - CONTRACTOR TO PROVIDE TRAFFIC CONTROL DEVICES PER WCRRC REQUIREMENTS AND FLAGGER'S AS NEEDED FOR PROJECT COMPLETION.
  - CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES IN CULVERT PIPE PATH, PRIOR TO STARTING PROJECT. REPORT ALL ELEVATIONS TO OWNER & ENGINEER.

**BENCHMARK** BM#1 - EAST FINISHED FLOOR OF EXISTING HOUSE ELEV=704.37  
 BM#2 - CURB BOX FOR 6590 RAWSONVILLE RD, 22' SOUTH OF DRIVE, ELEV=698.05

**REVISIONS** -06-20-2023 PER WCRC, 08-14-2023 PER TWP



PREPARED BY *Joseph K. Maynard*  
 JOSEPH K. MAYNARD P.E., MICH No. 52559



**WASHTEANAW ENGINEERING**

**MOTOWN HOLDINGS, INC.**  
 6630 RAWSONVILLE RD  
 BELLEVILLE, MI 48111  
 TEL: 734-931-2313

**ENTRANCE DETAILS**

**K-11-25-400-014**  
**6630 RAWSONVILLE RD**

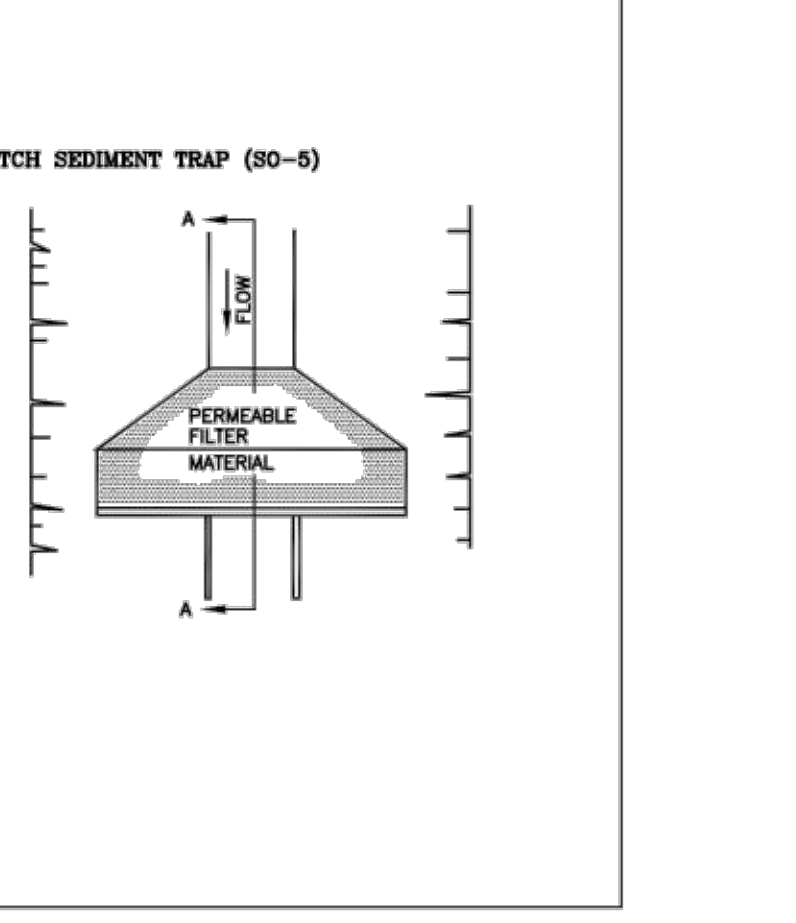
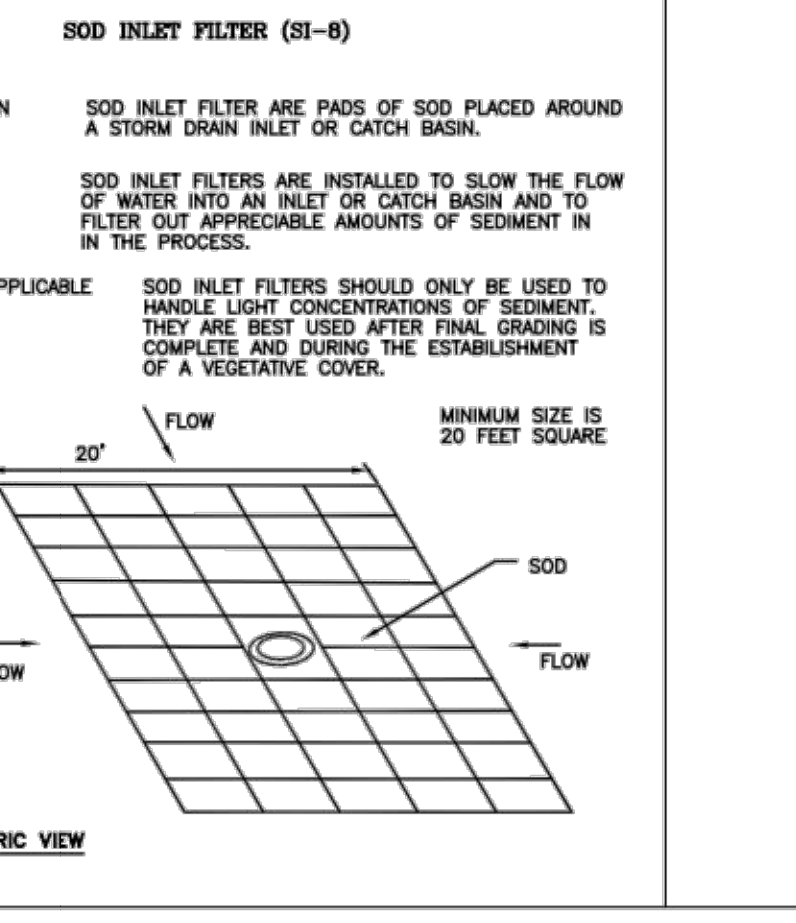
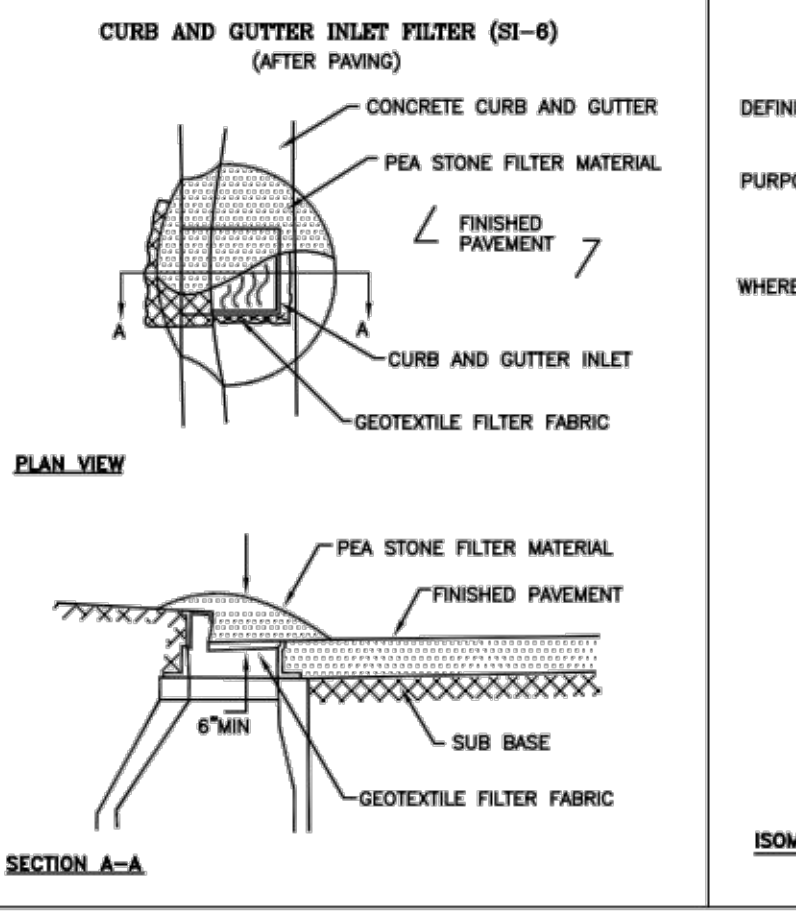
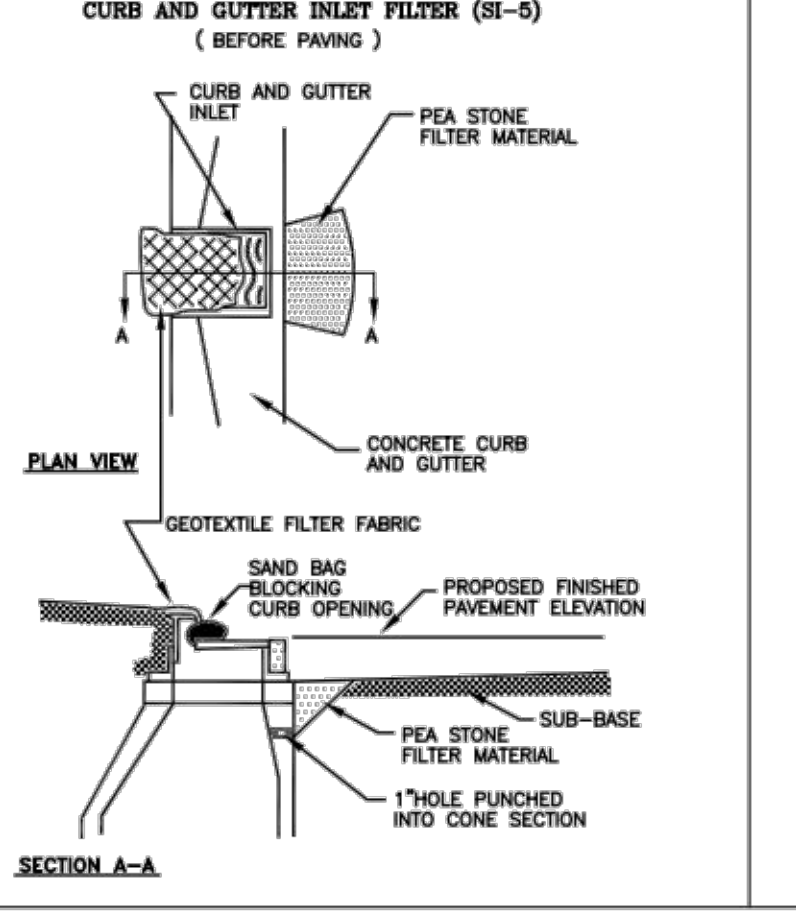
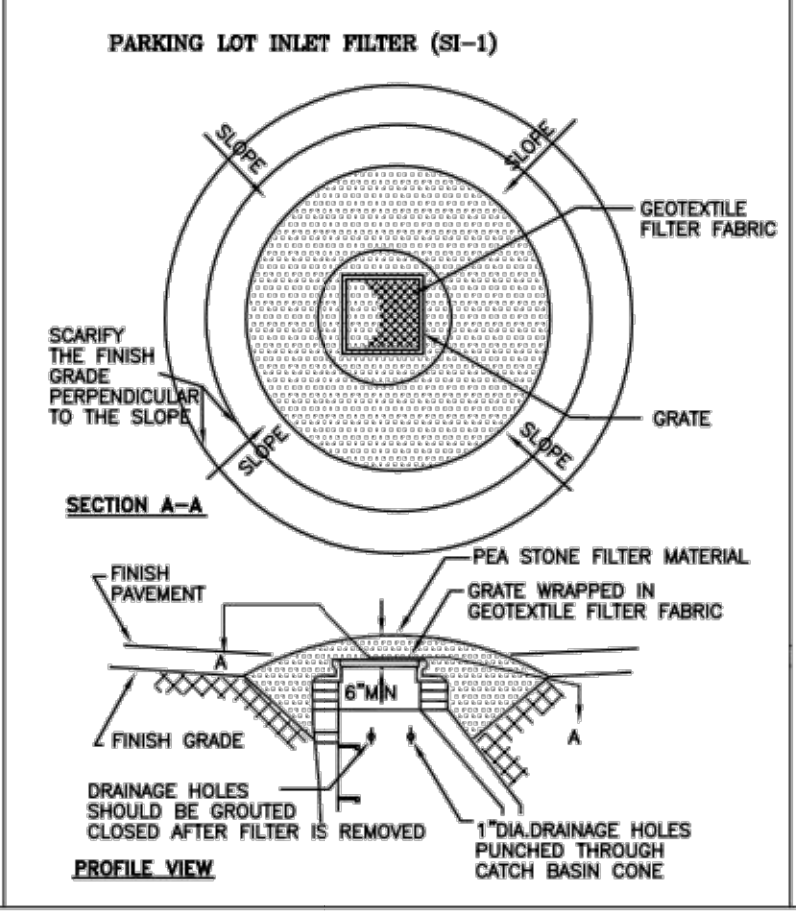
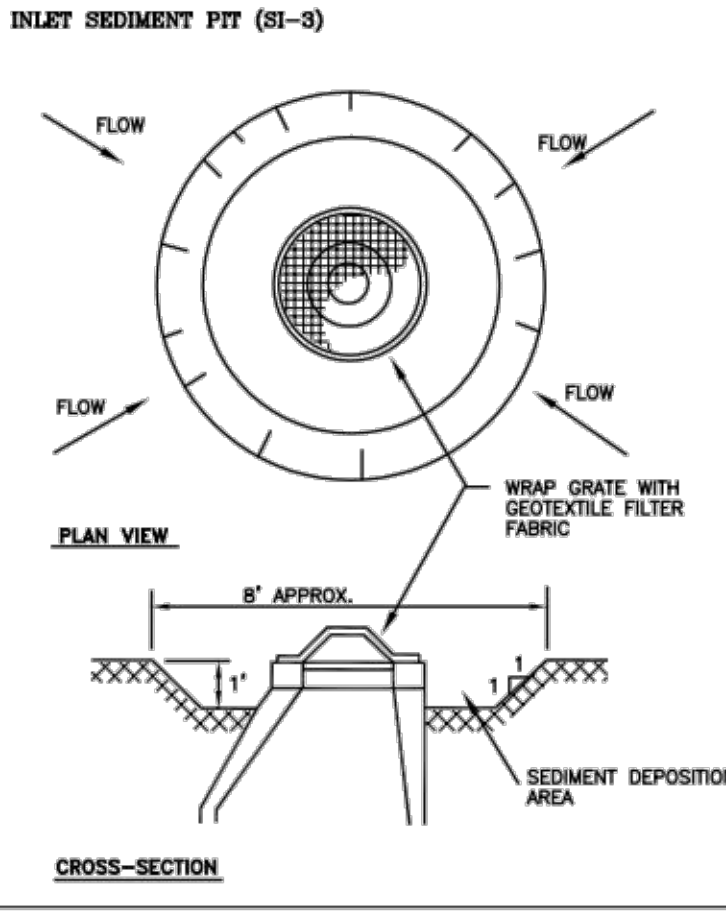
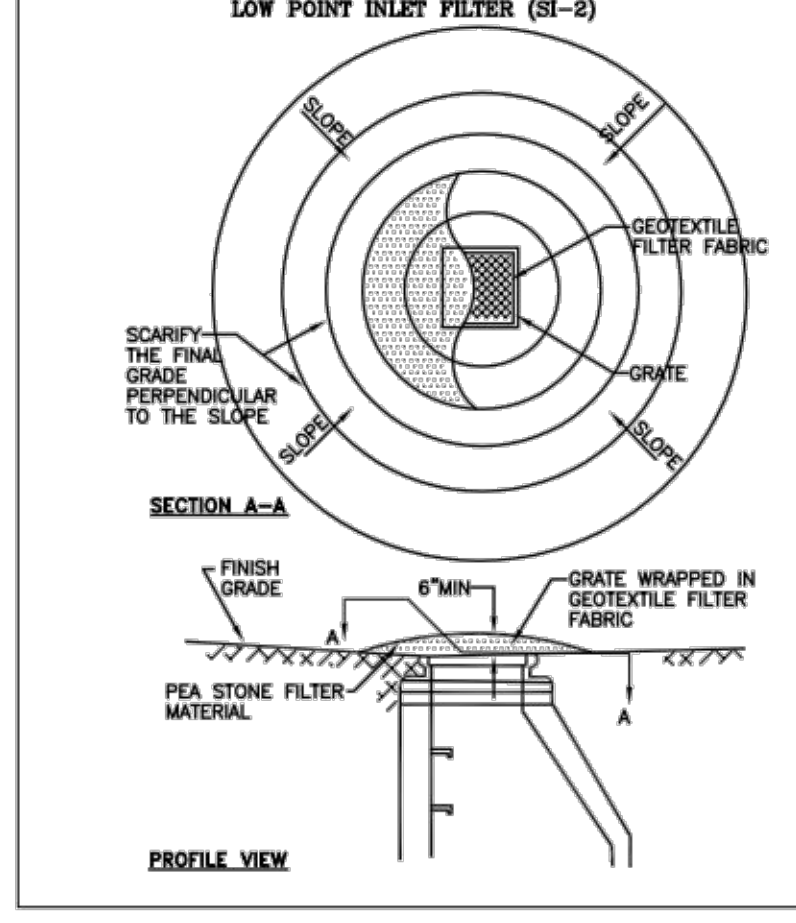
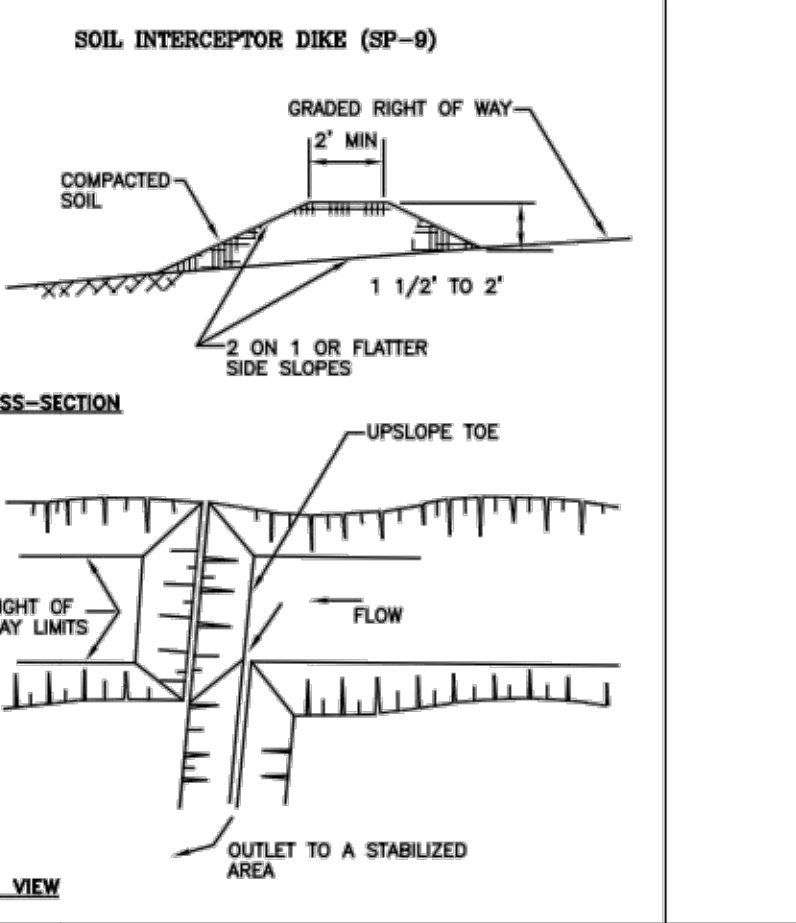
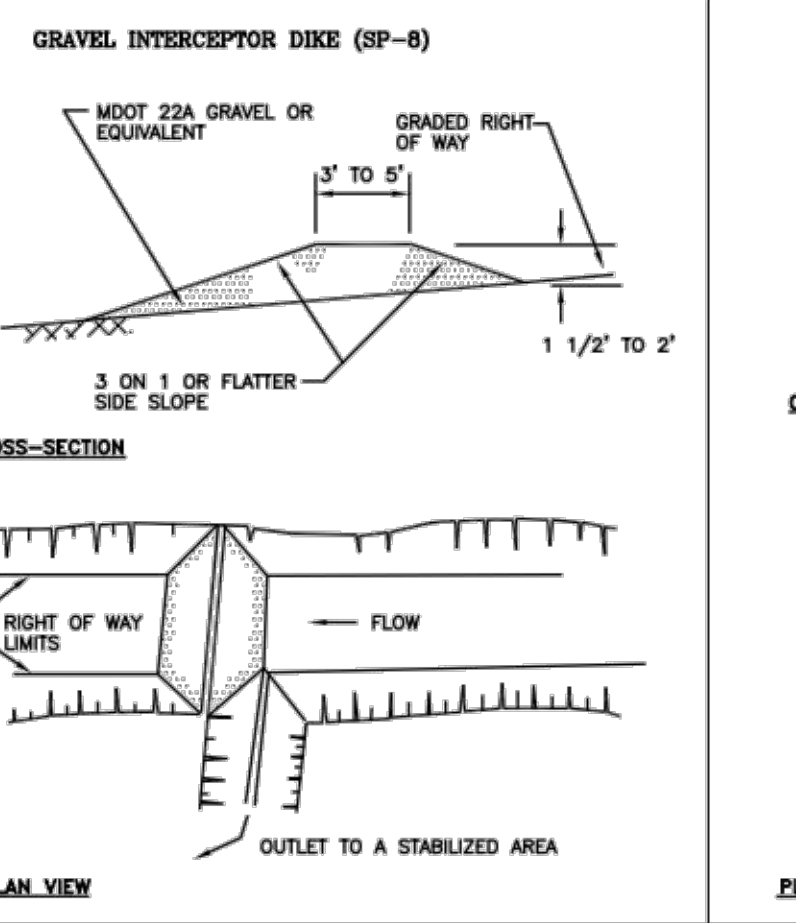
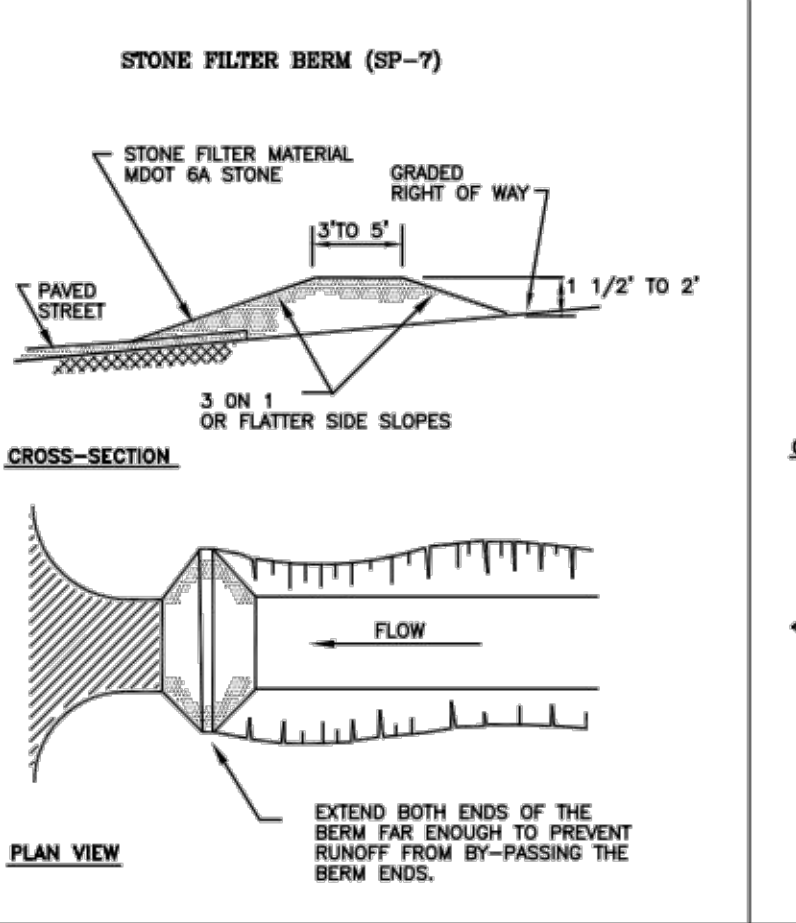
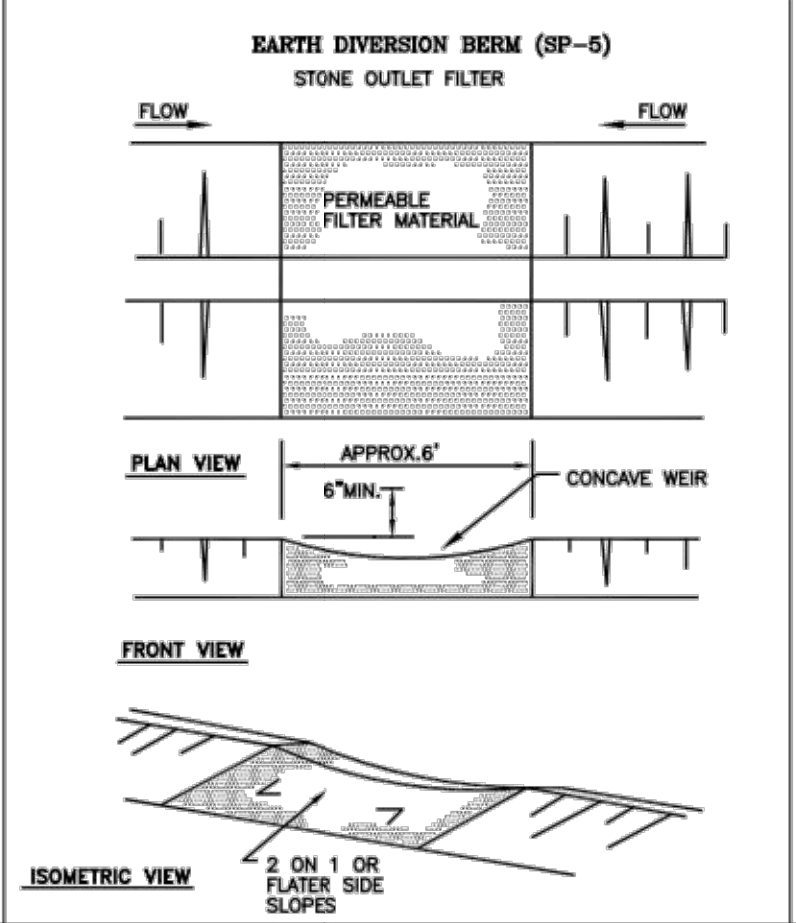
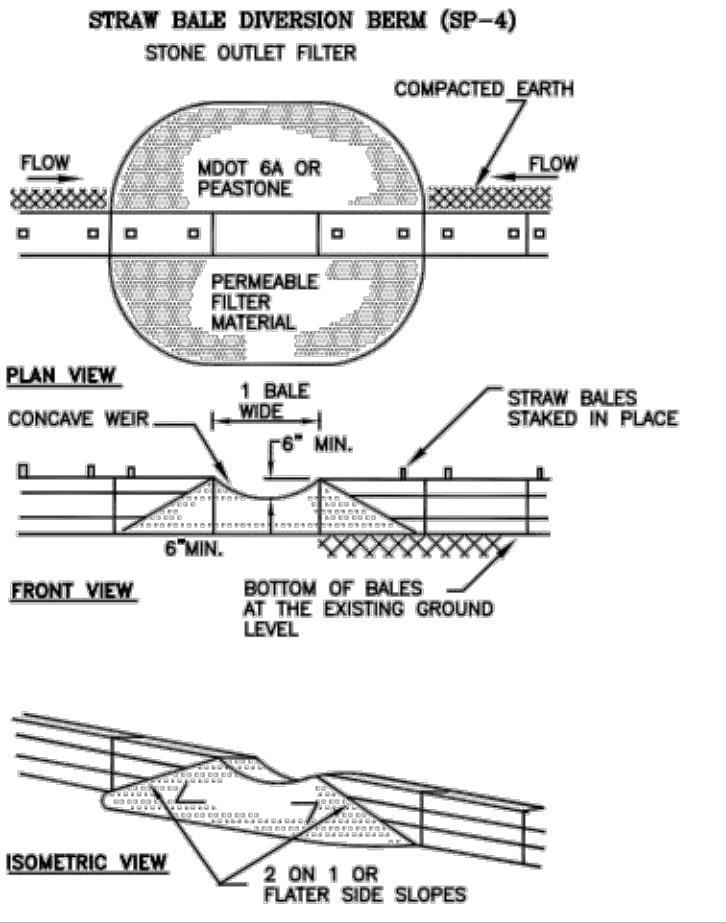
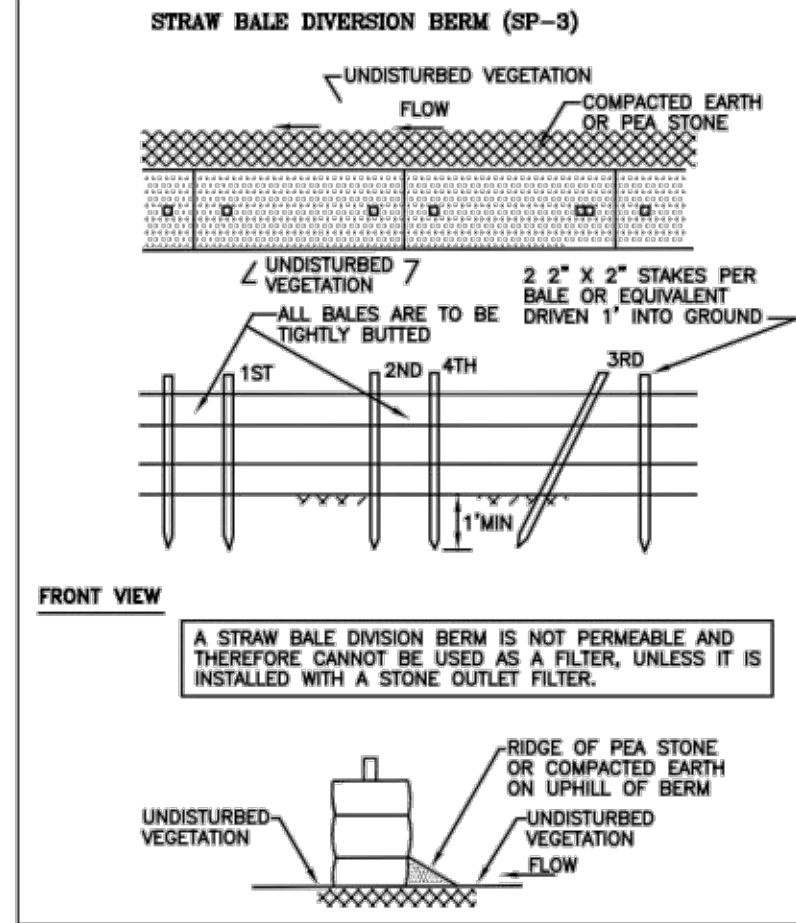
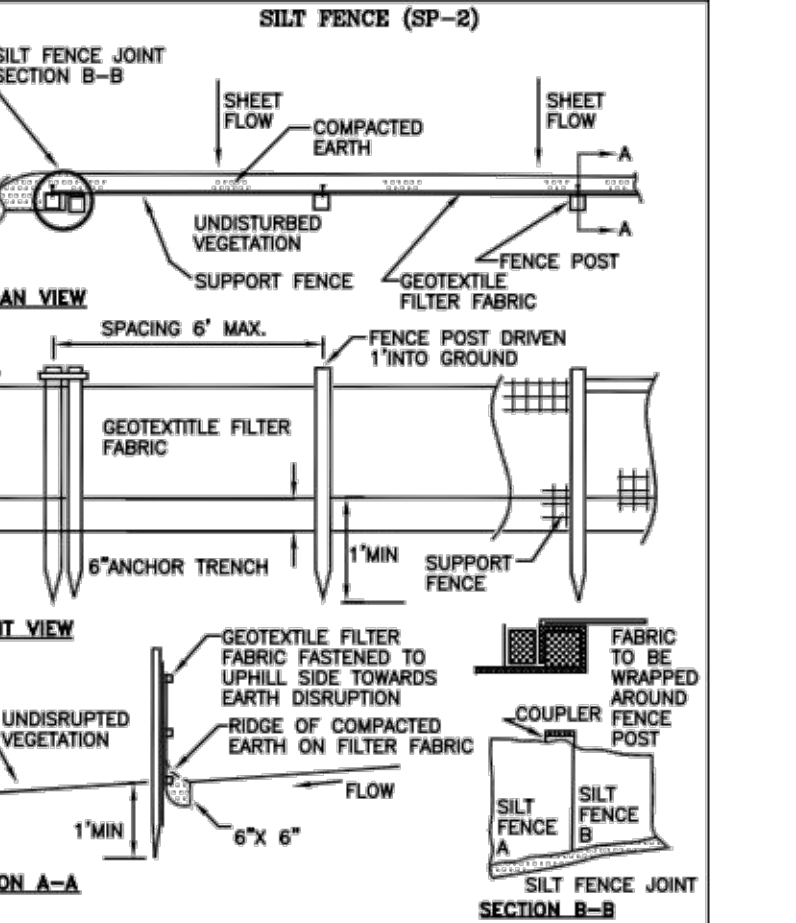
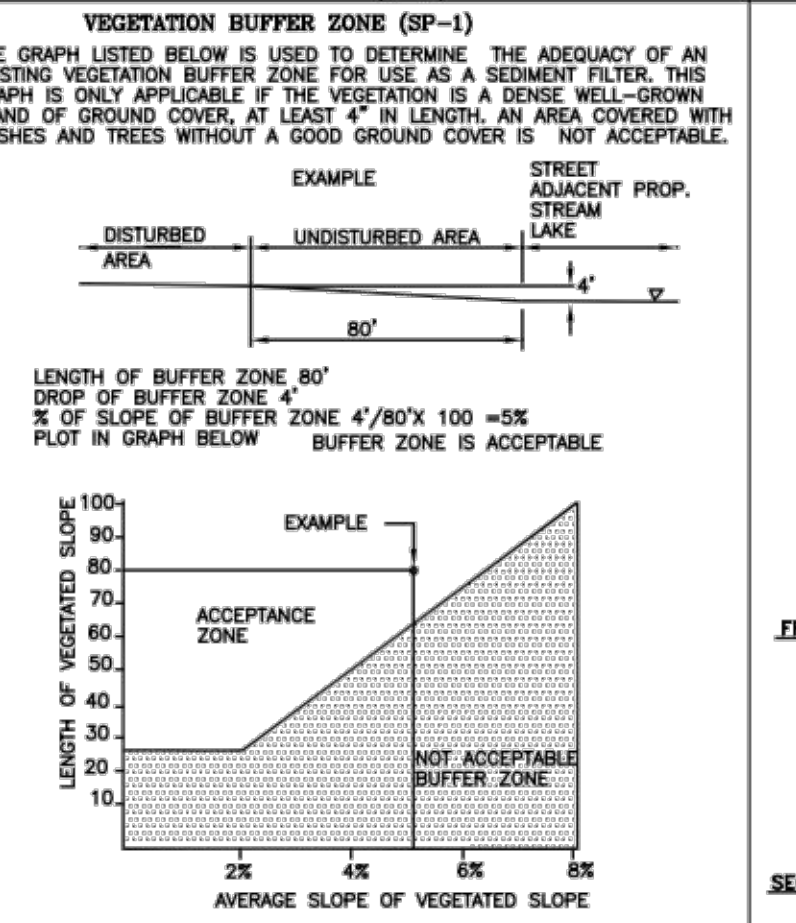
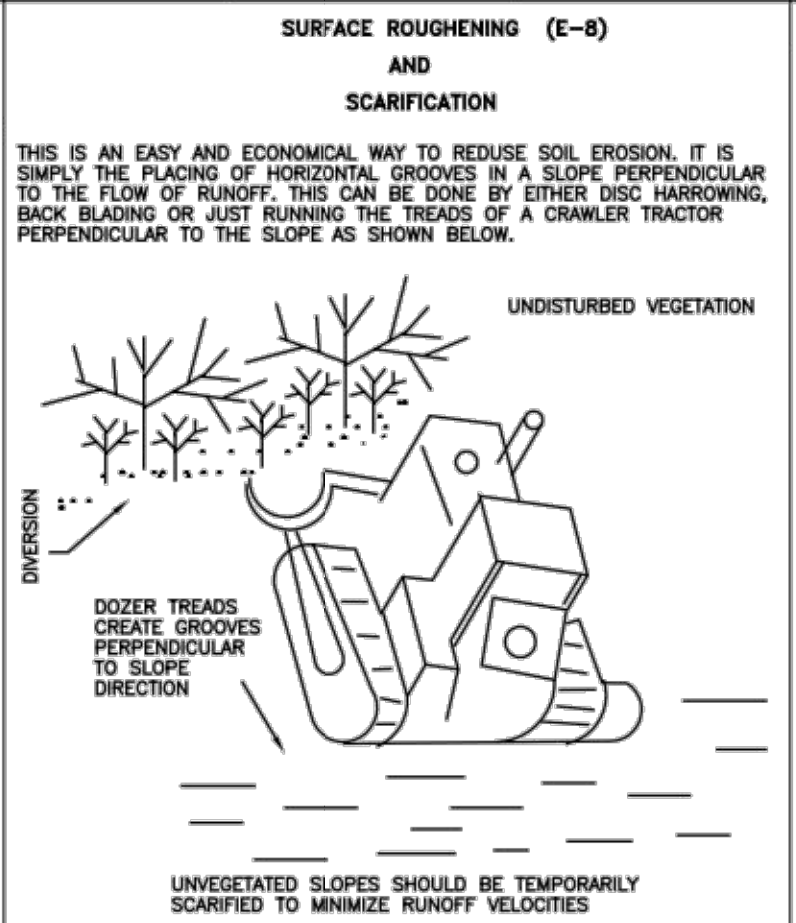
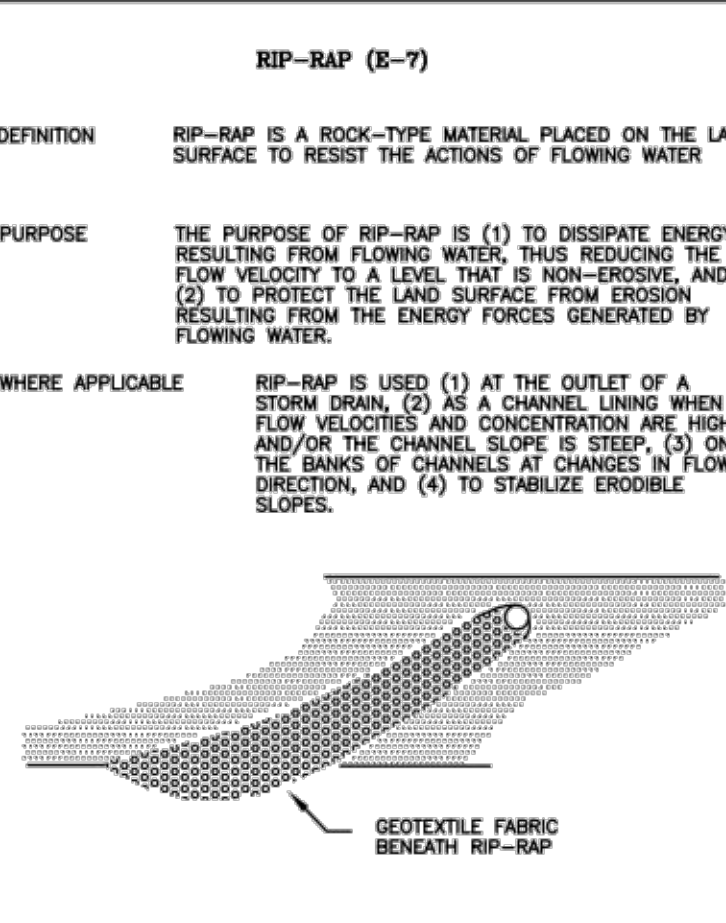
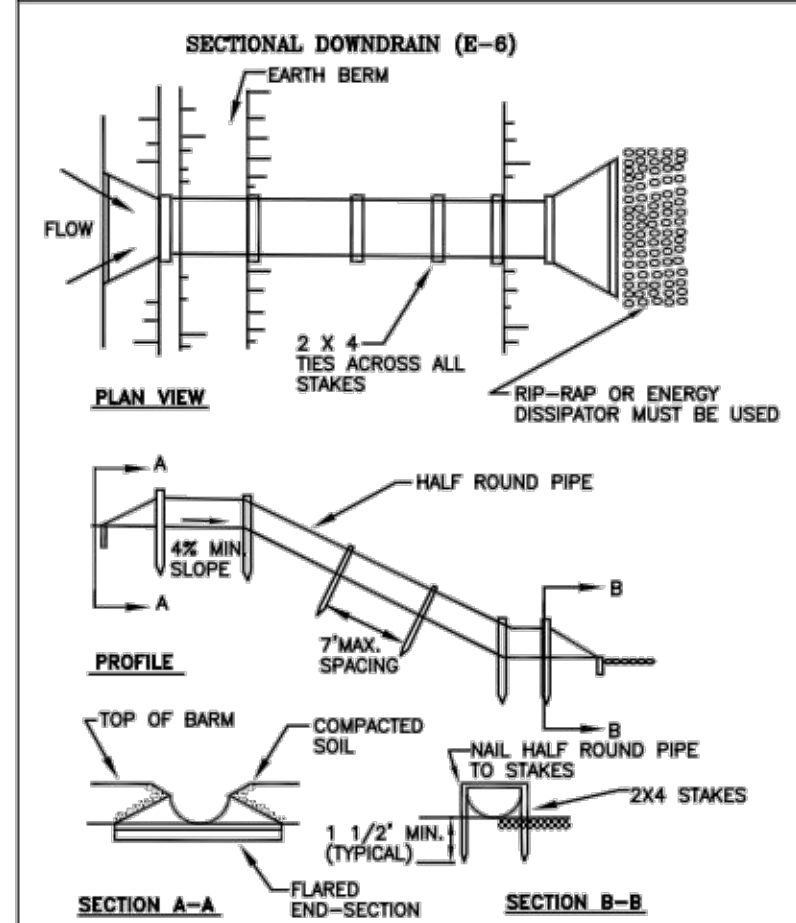
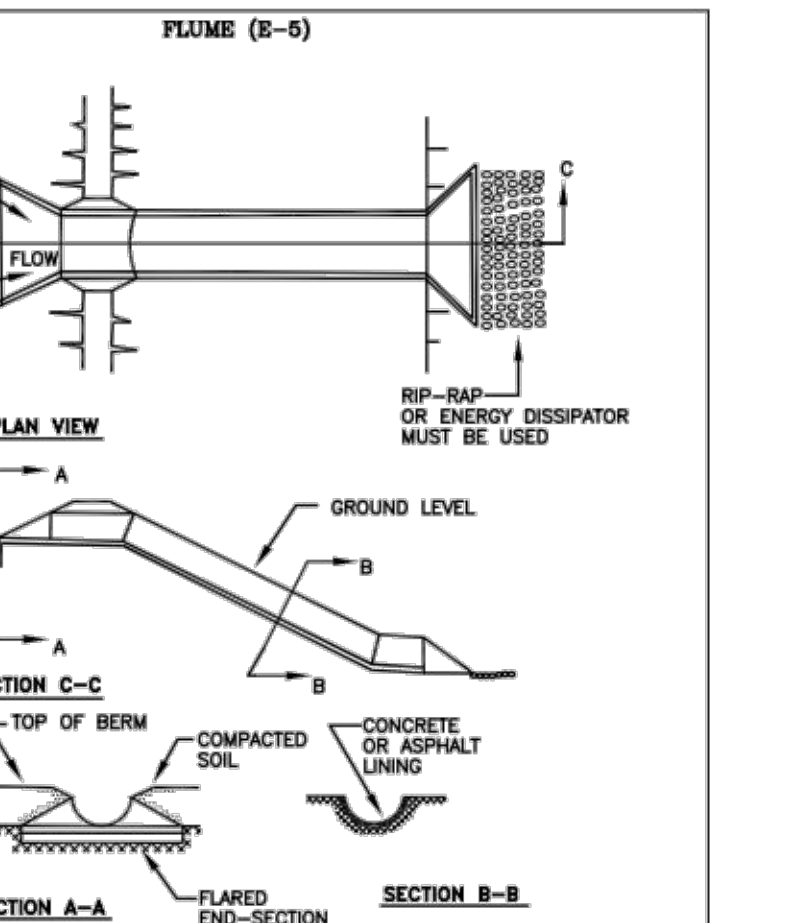
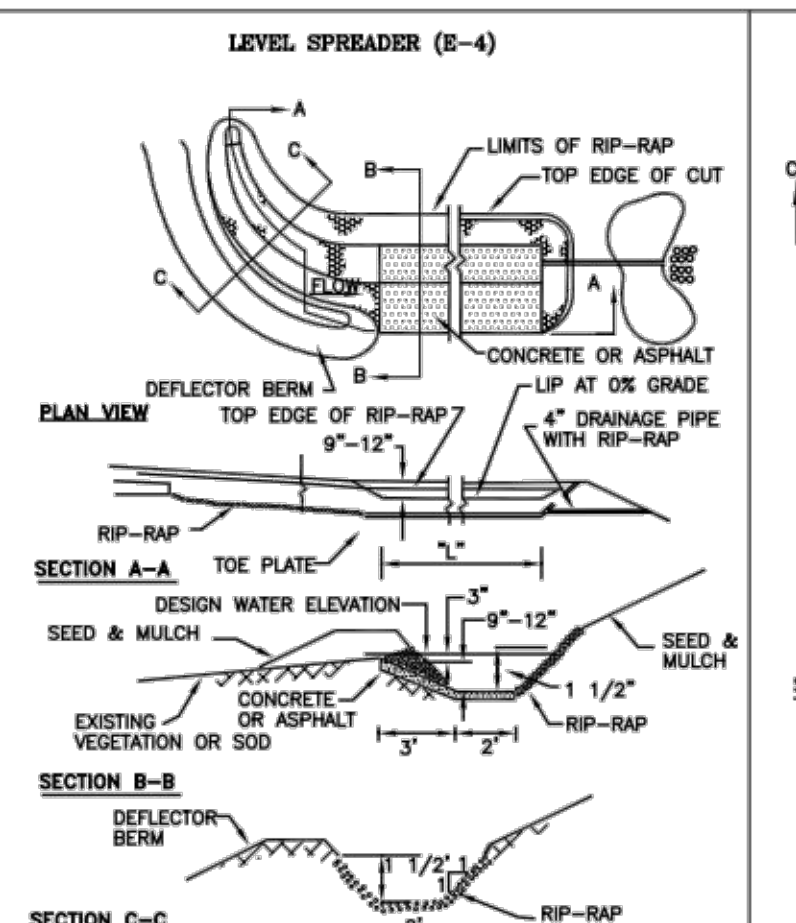
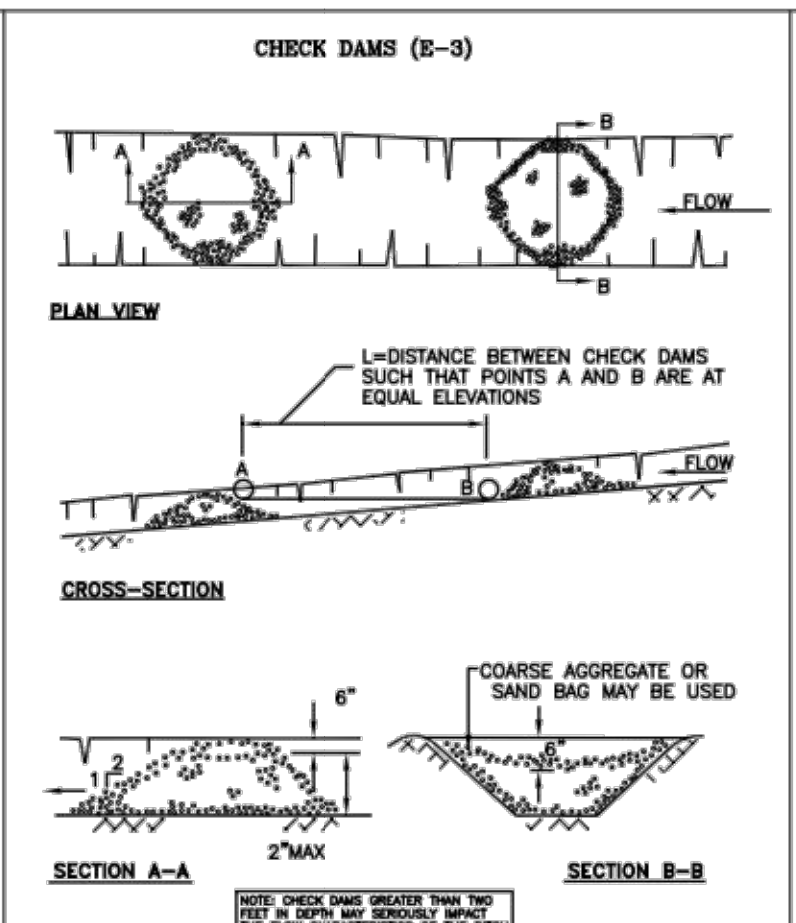
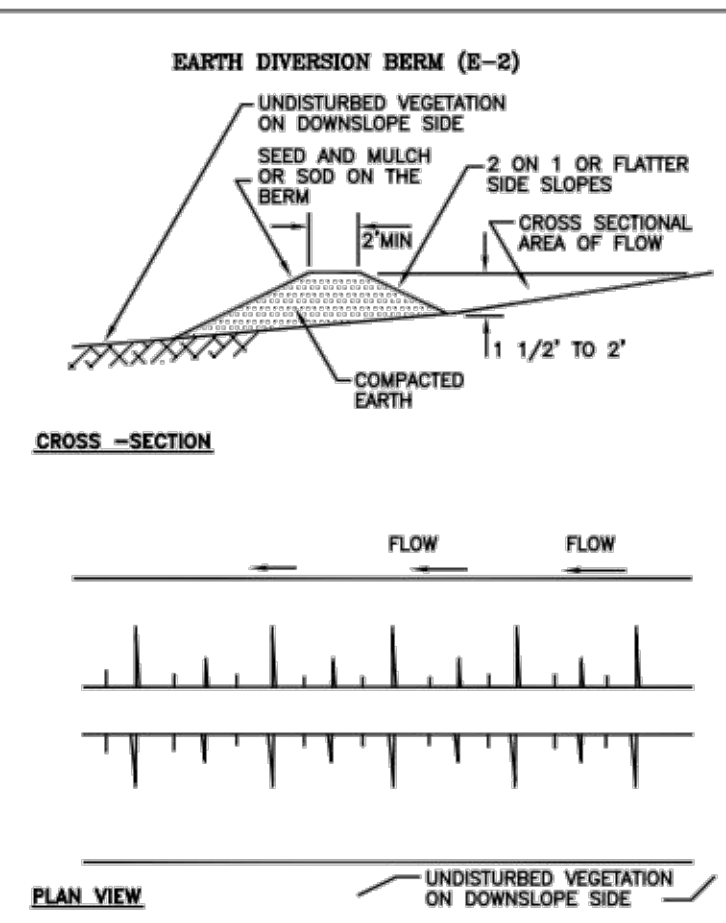
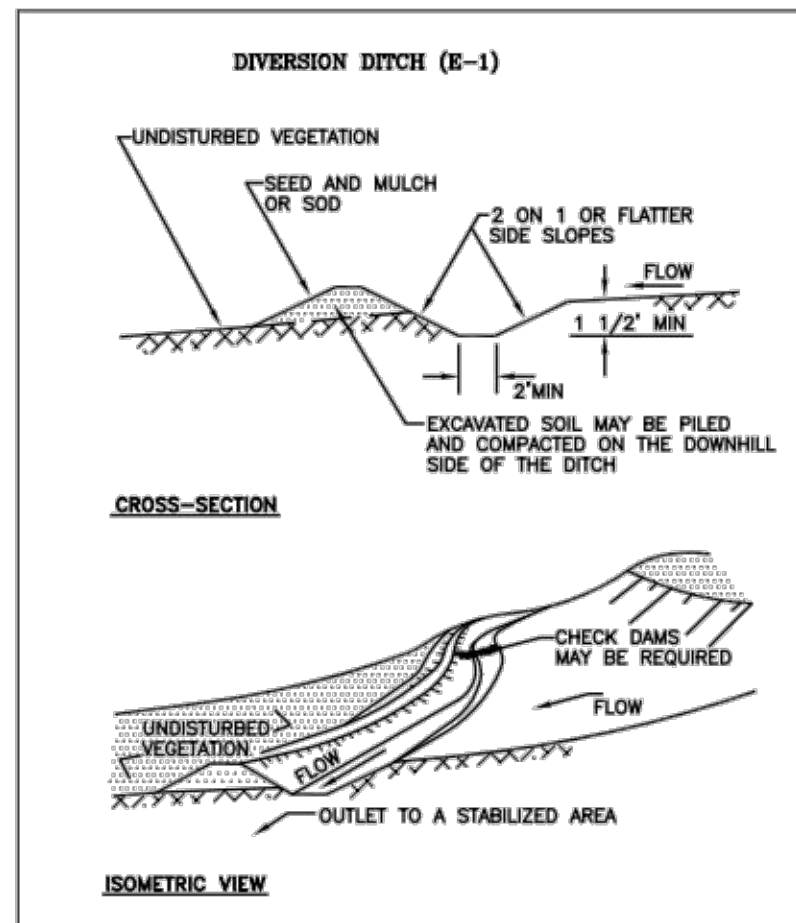
SECTION 25 TOWN 3 SOUTH RANGE 7 EAST  
 YPSILANTI TOWNSHIP  
 WASHTEANAW COUNTY MICHIGAN  
 DATE 05-04-2023 JOB NO. 32962  
 DWS NO. 32962-entrance  
 FIELD BOOK -  
 FILE NO. 10766

10 SHEET

**RULE 323.1703  
SOIL EROSION AND SEDIMENTATION CONTROL PLAN REQUIREMENTS.**

A PERSON SHALL PREPARE A SOIL EROSION AND SEDIMENTATION CONTROL PLAN FOR ANY EARTH CHANGE IDENTIFIED IN R 323.1704. A PERSON SHALL DESIGN THE PLAN TO EFFECTIVELY REDUCE ACCELERATED SOIL EROSION AND SEDIMENTATION AND SHALL IDENTIFY FACTORS THAT MAY CONTRIBUTE TO SOIL EROSION OR SEDIMENTATION, OR BOTH. THE PLAN SHALL INCLUDE, BUT NOT BE LIMITED TO, ALL OF THE FOLLOWING:

- (A) A MAP OR MAPS AT A SCALE OF NOT MORE THAN 200 FEET TO THE INCH OR AS OTHERWISE DETERMINED BY THE COUNTY OR LOCAL ENFORCING AGENCY. A MAP SHALL INCLUDE A LEGAL DESCRIPTION AND SITE LOCATION SKETCH THAT INCLUDES THE PROXIMITY OF ANY PROPOSED EARTH CHANGE TO LAKES OR STREAMS, OR BOTH; PREDOMINANT LAND FEATURES; AND CONTOUR INTERVALS OR SLOPE DESCRIPTION.
- (B) A SOILS SURVEY OR A WRITTEN DESCRIPTION OF THE SOIL TYPES OF THE EXPOSED LAND AREA CONTEMPLATED FOR THE EARTH CHANGES.
- (C) DETAILS FOR PROPOSED EARTH CHANGES, INCLUDING ALL OF THE FOLLOWING:
  - (i) A DESCRIPTION AND THE LOCATION OF THE PHYSICAL LIMITS OF EACH PROPOSED EARTH CHANGE.
  - (ii) A DESCRIPTION AND THE LOCATION OF ALL EXISTING AND PROPOSED ON-SITE DRAINAGE AND DEWATERING FACILITIES.
  - (iii) THE TIMING SEQUENCE OF EACH PROPOSED EARTH CHANGE.
  - (iv) THE LOCATION AND DESCRIPTION FOR INSTALLING AND REMOVING ALL PROPOSED TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES.
  - (v) A DESCRIPTION AND THE LOCATION OF ALL PROPOSED PERMANENT SOIL EROSION AND SEDIMENTATION MEASURES.
  - (v) A PROGRAM PROPOSAL FOR THE CONTINUED MAINTENANCE OF ALL PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES THAT REMAIN AFTER PROJECT COMPLETION, INCLUDING THE DESIGNATION OF THE PERSON RESPONSIBLE FOR THE MAINTENANCE. MAINTENANCE RESPONSIBILITIES SHALL BECOME A PART OF ANY SALES OR EXCHANGE AGREEMENT FOR THE LAND ON WHICH THE PERMANENT SOIL EROSION CONTROL MEASURES ARE LOCATED.



REVISIONS:	ISSUE NO.	BID DATE
	B.G. DRN.	DATE
	TOPO DRN.	DESIGN
	PROFILE DRN.	ENG. DRN.
	APPROVED	SCALE
	V:	H: NTS

**YPSILANTI TOWNSHIP  
TOWNSHIP STANDARD  
SOIL EROSION CONTROL DETAILS**

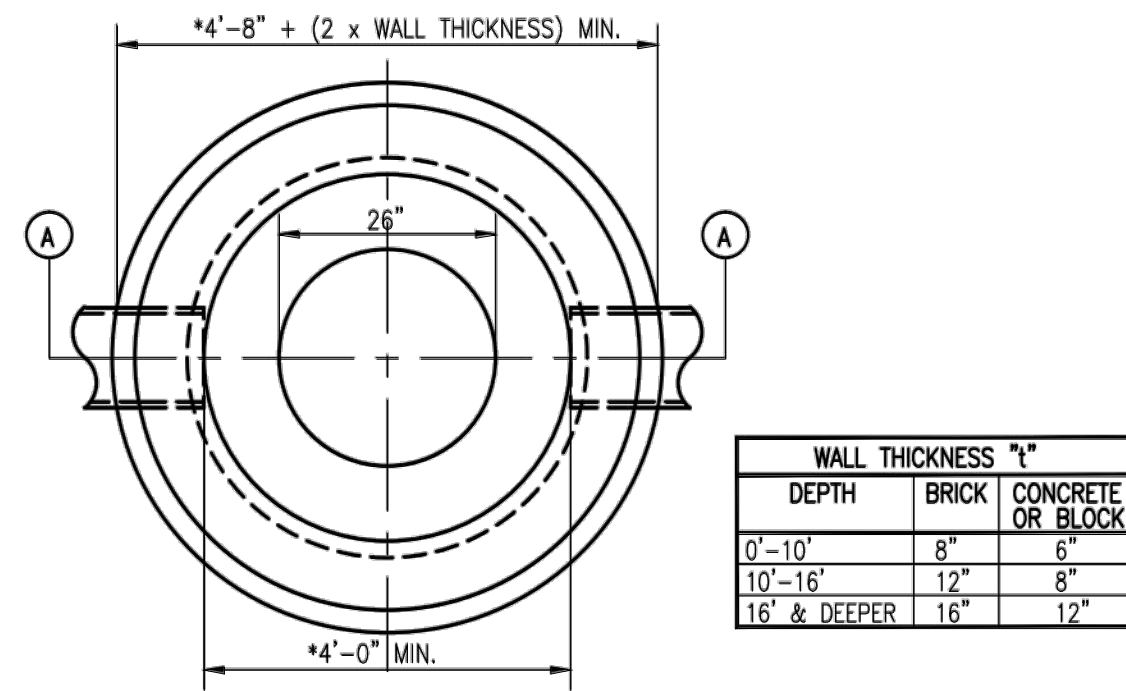
**ORCHARD, HILTZ & McCLIMENT, INC.**

3400 Plymouth Road  
Livonia, MI 48150  
(734) 522-6711  
(734) 522-6427 FAX

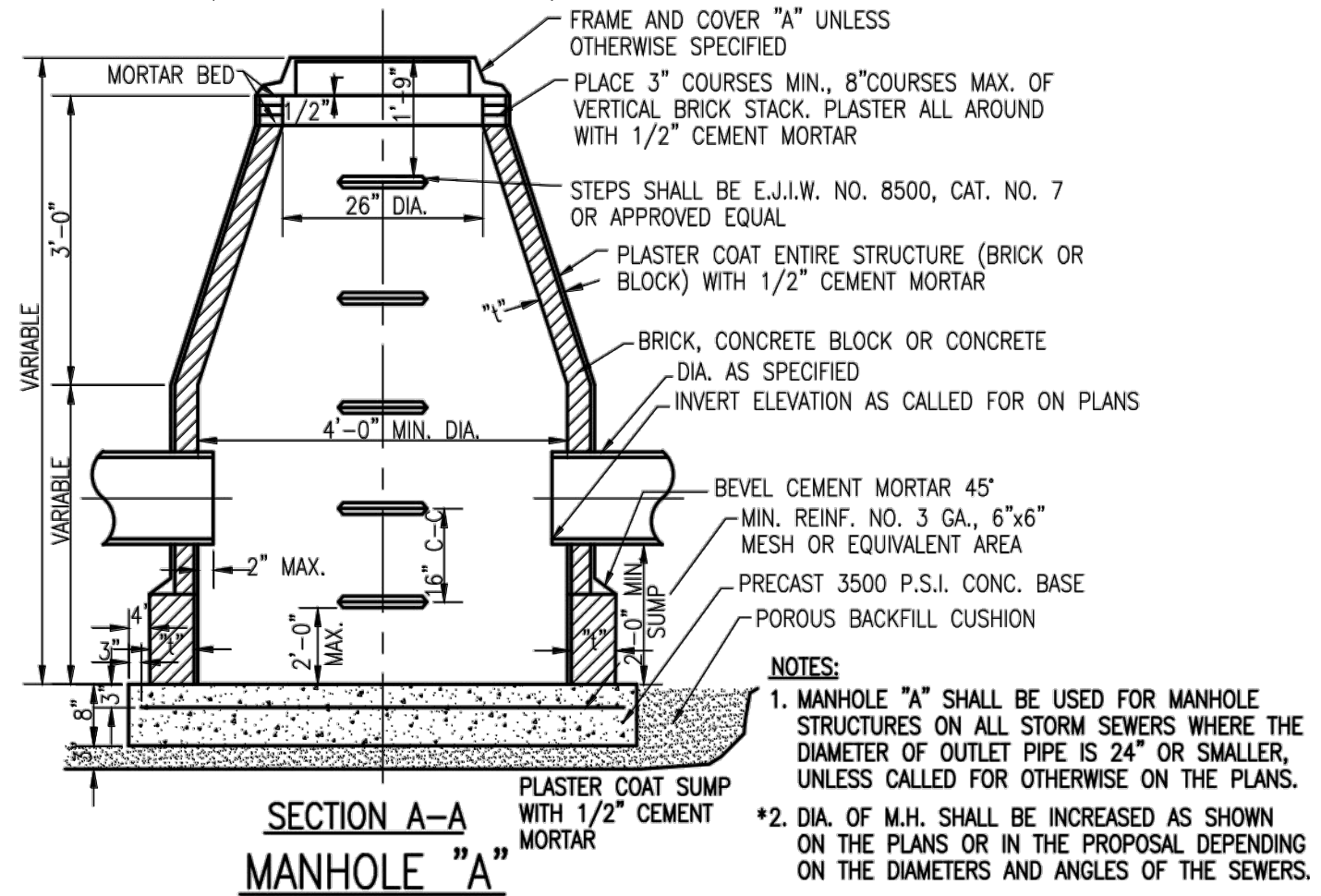
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LAYOUT: SESC

SHEET  
**11**

JOB NO.

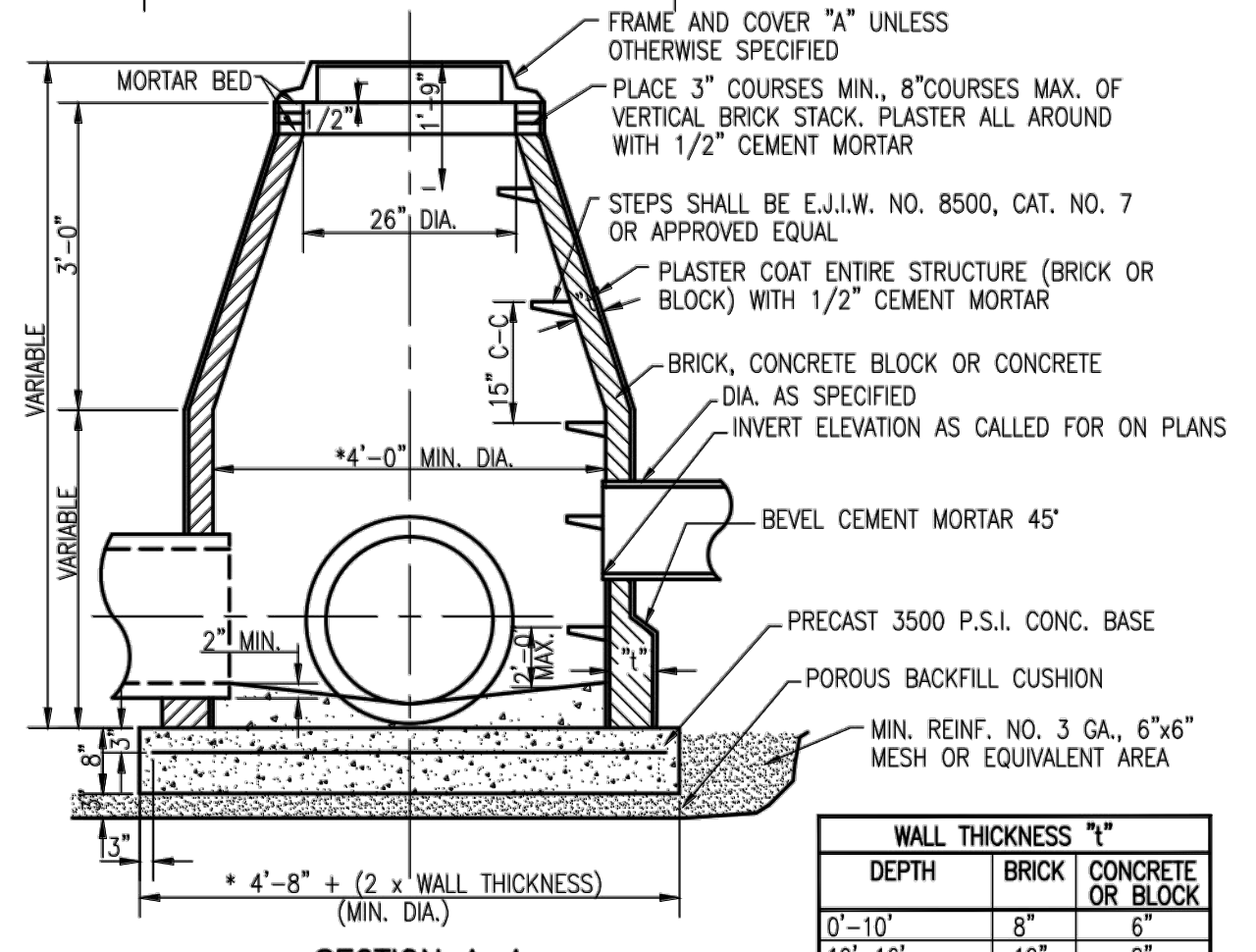
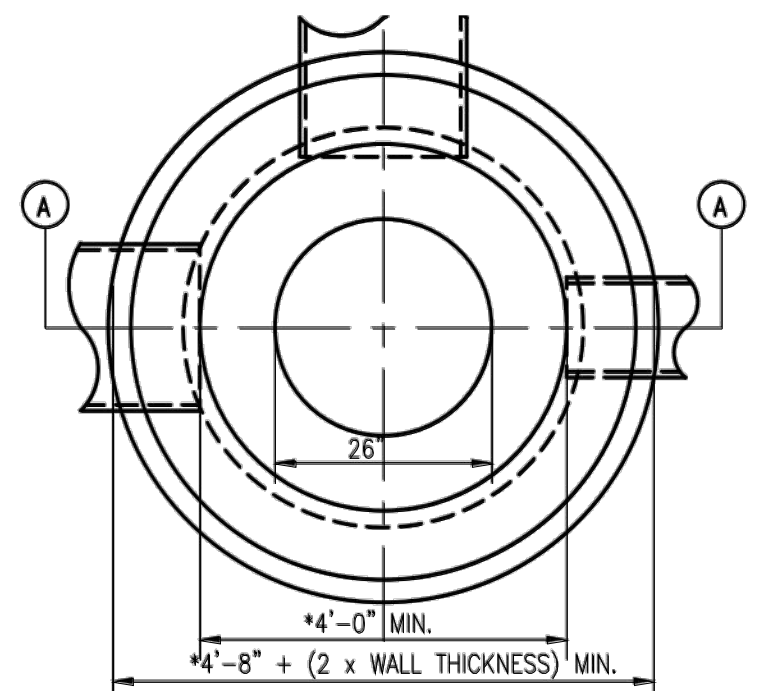


DEPTH	BRICK	CONCRETE OR BLOCK
0'-10"	8"	6"
10'-16"	12"	8"
16' & DEEPER	16"	12"



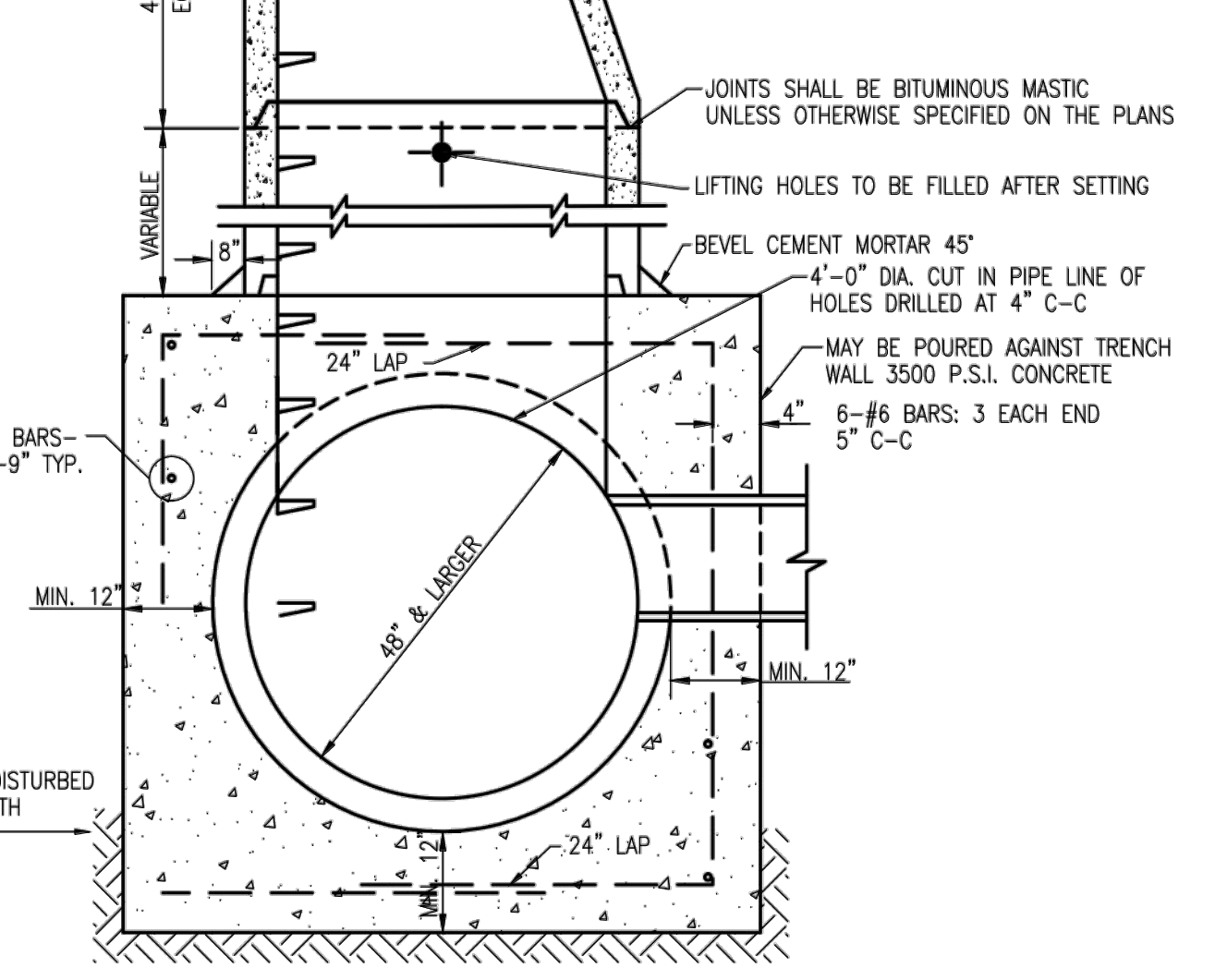
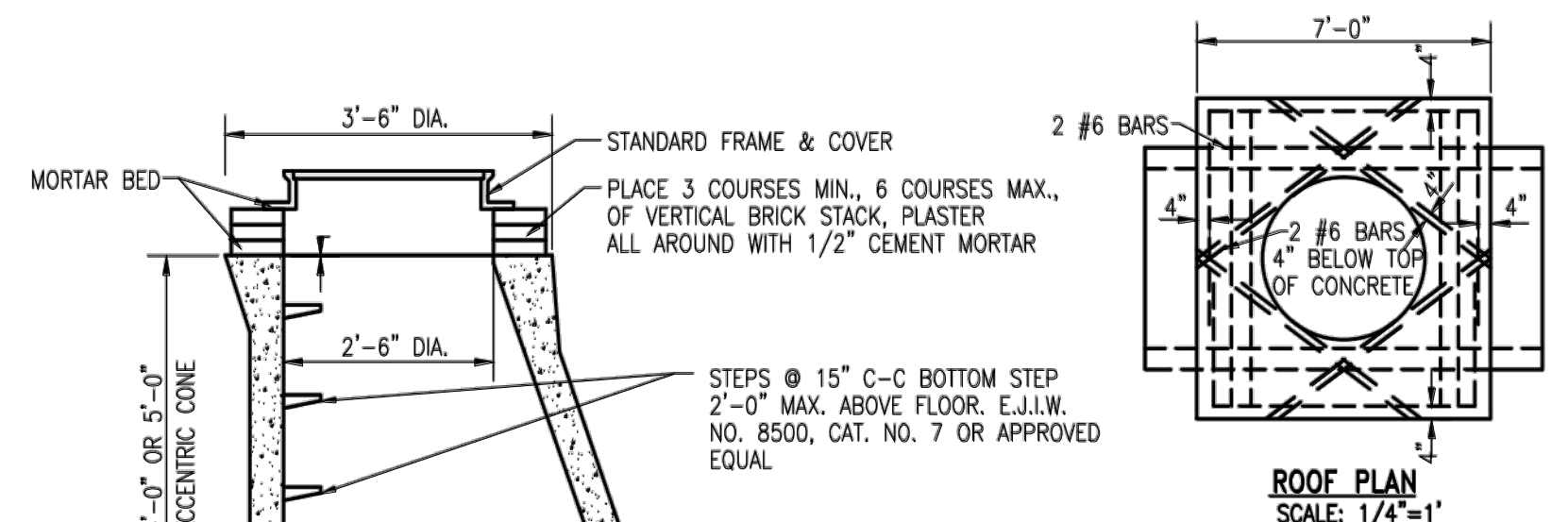
SECTION A-A  
MANHOLE "A"

- NOTES:
- MANHOLE "A" SHALL BE USED FOR MANHOLE STRUCTURES ON ALL STORM SEWERS WHERE THE DIAMETER OF OUTLET PIPE IS 24" OR SMALLER, UNLESS CALLED FOR OTHERWISE ON THE PLANS.
  - DIA. OF M.H. SHALL BE INCREASED AS SHOWN ON THE PLANS OR IN THE PROPOSAL DEPENDING ON THE DIAMETERS AND ANGLES OF THE SEWERS.



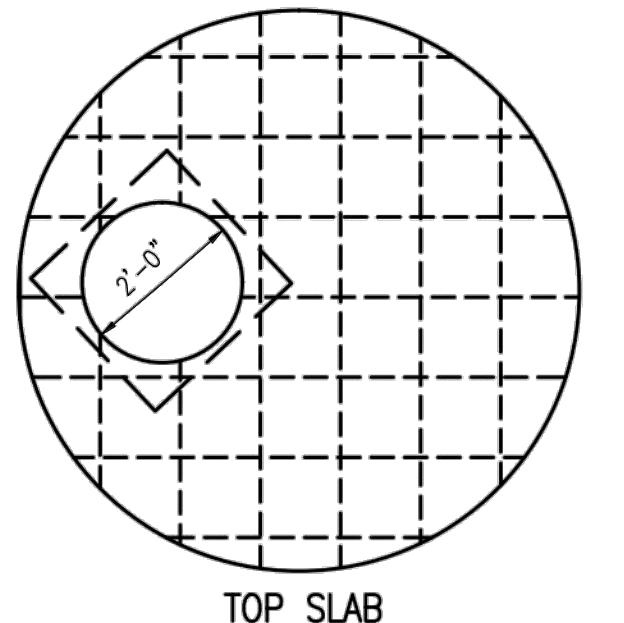
SECTION A-A  
MANHOLE "B"

- NOTES:
- MANHOLE "B" SHALL BE USED FOR MANHOLE STRUCTURES ON ALL STORM SEWERS WHERE THE DIAMETER OF OUTLET PIPE IS 24" OR SMALLER, UNLESS CALLED FOR OTHERWISE ON THE PLANS.
  - DIA. OF M.H. SHALL BE INCREASED AS SHOWN ON THE PLANS OR IN THE PROPOSAL DEPENDING ON THE DIAMETERS AND ANGLES OF THE SEWERS.

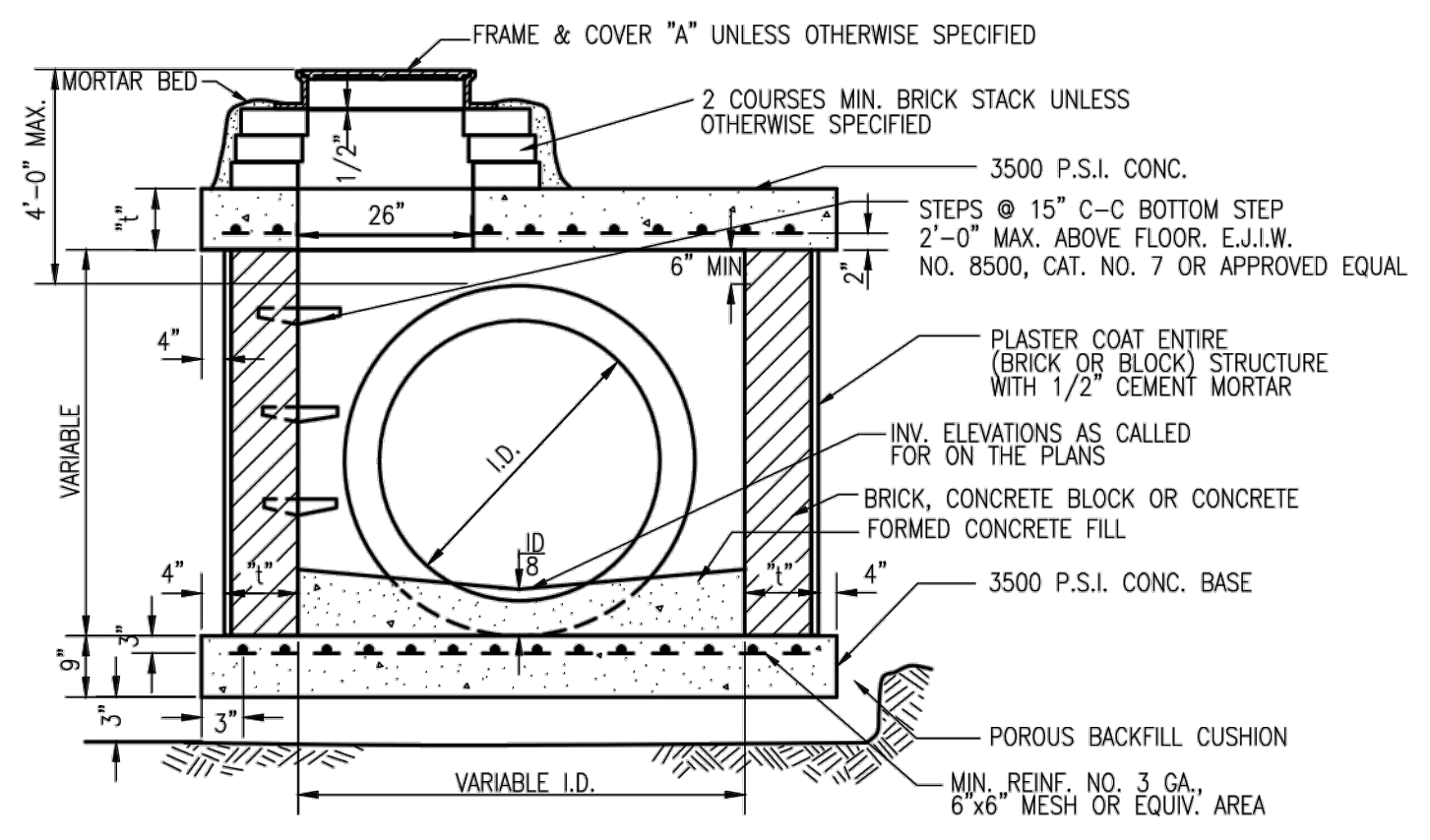


TYPICAL SECTION  
PRECAST MANHOLE "C"

- NOTES:
- MANHOLE "C" SHALL BE USED FOR MANHOLE STRUCTURES ON ALL STORM SEWERS WHERE 48" OR LARGER DIA. PIPES INTERSECT.
  - PRECAST UNITS SHALL MEET THE REQUIREMENTS SPECIFIED BY A.S.T.M. C-478-68.



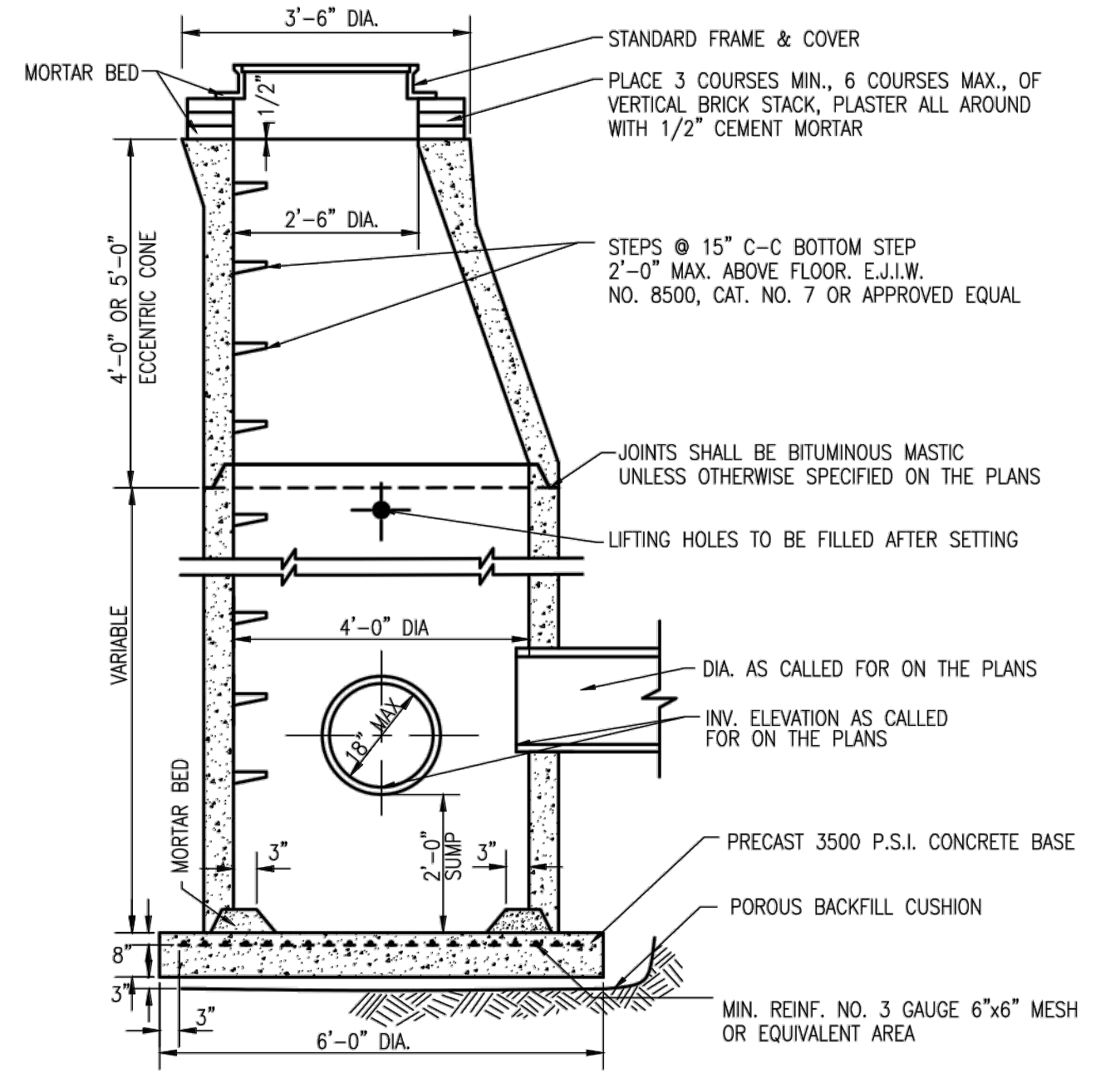
TOP SLAB



TYPICAL SECTION  
MANHOLE "D"

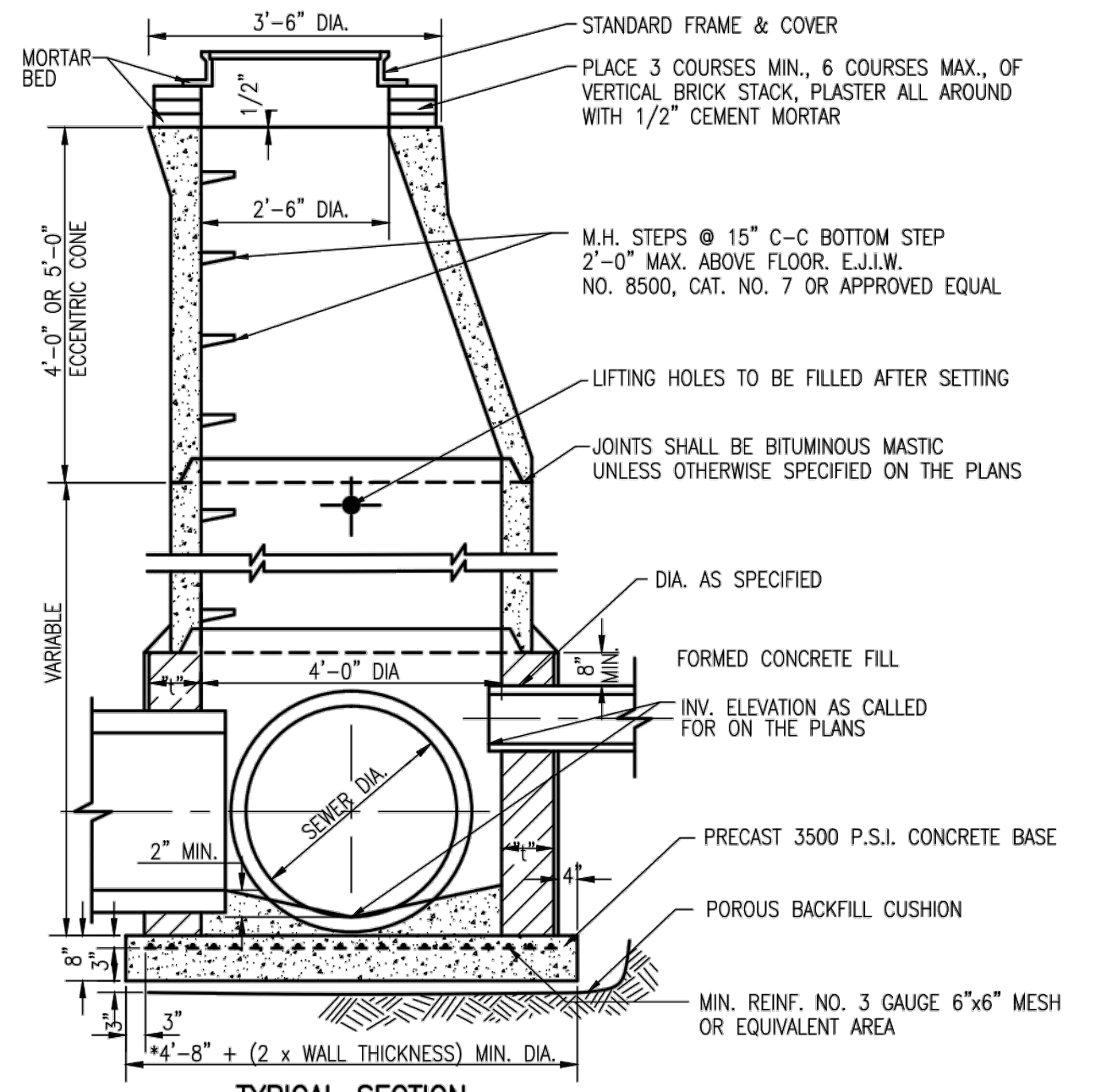
OUTLET I.D.	M.H. D	TOP SLAB "T"	WALLS "W"	REINFORCING STEEL (SLAB)
24" OR LESS	4'-0"	9"	8"	3/4" @ 9" EACH WAY
30"	4'-0"	9"	8"	3/4" @ 9" EACH WAY
36"	4'-0"	9"	12"	3/4" @ 9" EACH WAY
42"	4'-0"	10"	12"	3/4" @ 9" EACH WAY
48"	4'-0"	10"	12"	7/8" @ 9" EACH WAY
54"	6'-0"	11"	12"	7/8" @ 9" EACH WAY

- NOTES:
- DIA. SHALL BE INCREASED AS SHOWN ON PLANS OR IN THE PROPOSAL DEPENDING ON THE ANGLE OF THE SEWERS.
  - M.H. "D" SHALL BE USED WHERE THE DEPTH OF COVER FROM THE TOP OF CASTING TO THE TOP OF SEWER IS LESS THAN 4'-0". M.H. "D" SHALL BE CONSTRUCTED WITH A 2' SUMP WHERE DIAMETER OF OUTLET SEWER IS 24" OR LESS.



TYPICAL SECTION  
PRECAST MANHOLE "E"

- NOTES:
- THIS MANHOLE SHALL BE USED ONLY WHEN MEETING CONDITIONS STATED IN THE "GENERAL MANHOLE NOTES", ITEM NO. 2A
  - PRECAST UNITS SHALL MEET THE REQUIREMENTS SPECIFIED BY A.S.T.M. C-478-68.



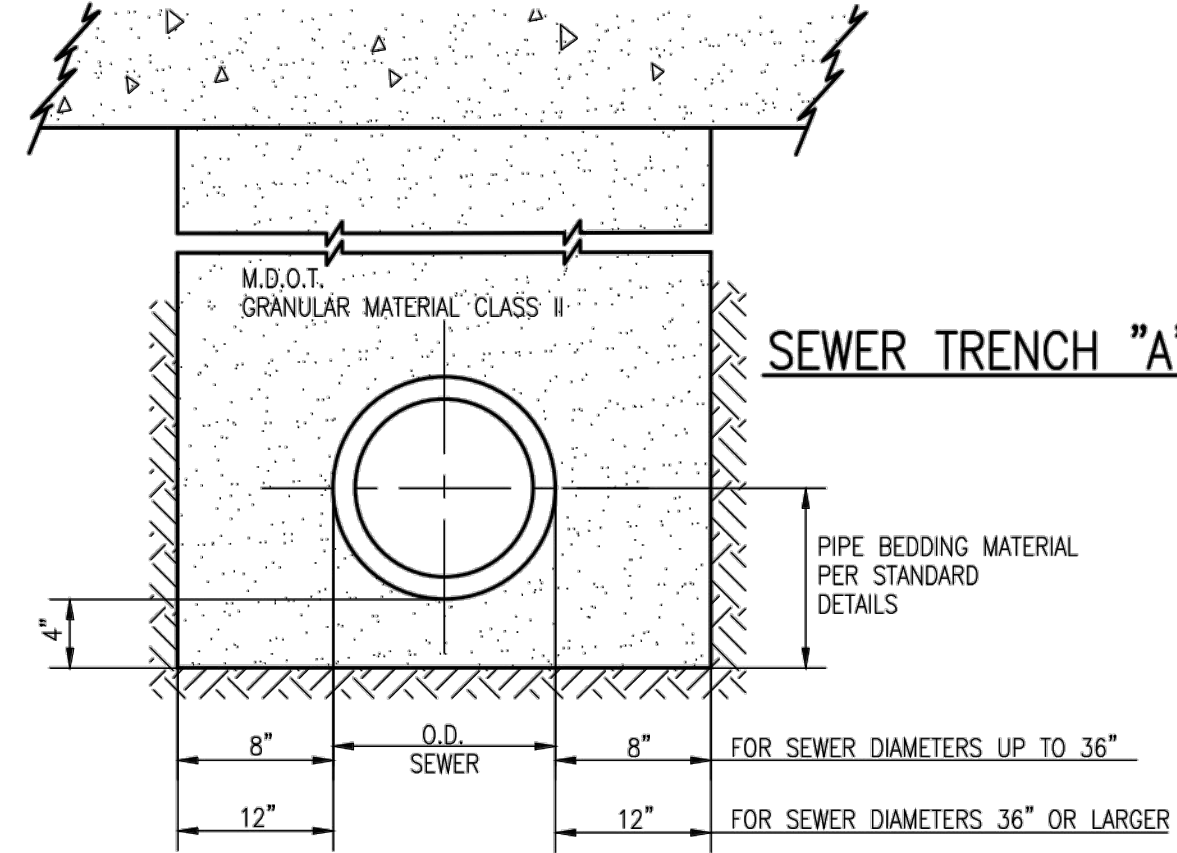
TYPICAL SECTION  
PRECAST MANHOLE "F"

- NOTES:
- THIS MANHOLE SHALL BE USED ONLY WHEN MEETING CONDITIONS STATED IN THE "GENERAL MANHOLE NOTES", ITEM NO. 2A
  - PRECAST UNITS SHALL MEET THE REQUIREMENTS SPECIFIED BY A.S.T.M. C-478-68.
  - DIAMETER OF MANHOLE SHALL BE INCREASED AS SHOWN ON PLANS OR IN THE PROPOSAL, DEPENDING ON THE DIAMETERS AND ANGLES OF THE SEWERS.

DEPTH	BRICK	CONCRETE OR BLOCK
0'-10"	8"	6"
10'-16"	12"	8"
16' & DEEPER	16"	12"

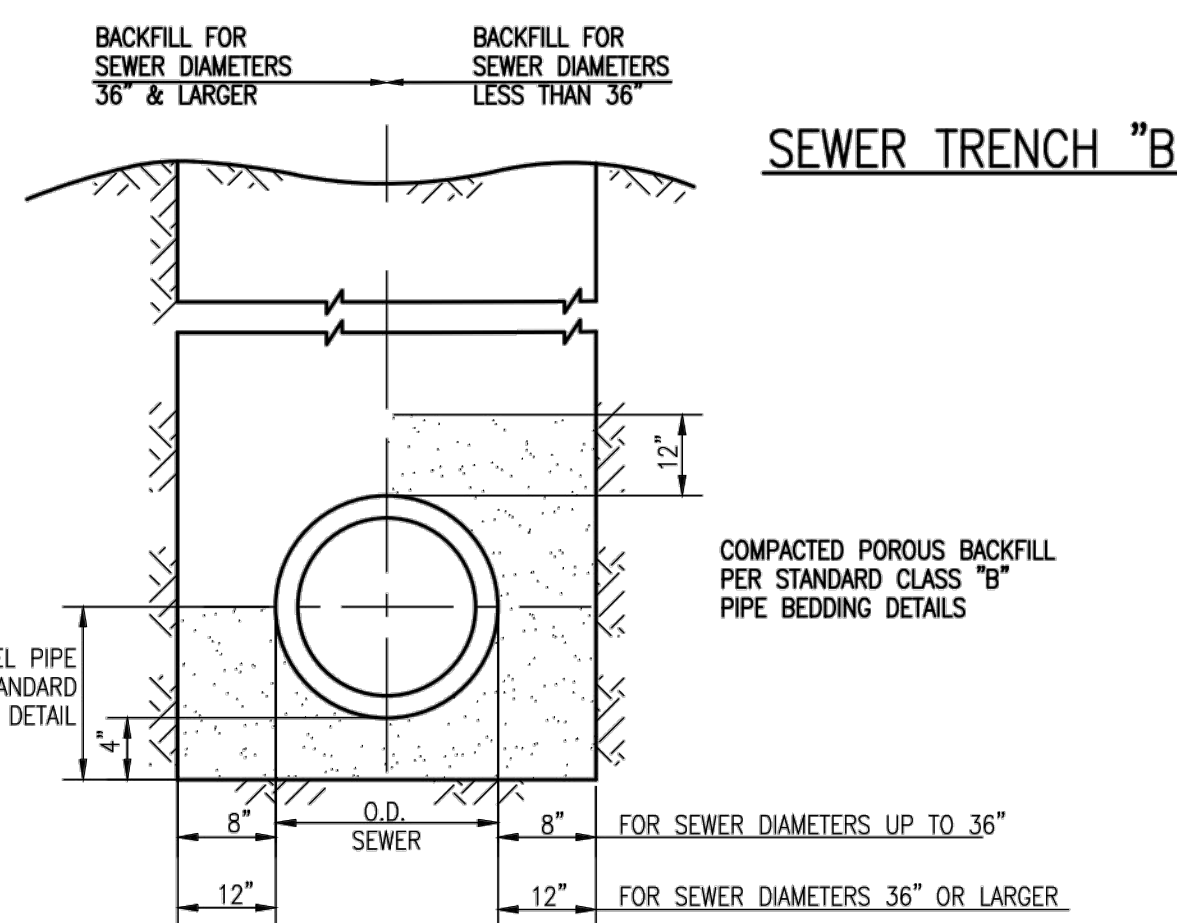
GENERAL NOTES FOR  
STORM SEWER MANHOLES

- ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE TOWNSHIP OF YPSILANTI AND YCUA.
- CONTRACTOR SHALL CONSTRUCT MANHOLES WITH PRECAST REINFORCED CONCRETE UNITS ("E", "F", AND "I") IN LIEU OF CONCRETE, BRICK AND BLOCK MANHOLES ("A" AND "B") IN ACCORDANCE WITH THE FOLLOWING CONDITIONS:
  - MAXIMUM DIAMETER OF SEWER OUTLET IN ANY PRECAST UNIT SHALL BE 18" (MANHOLE "E" ONLY).
  - NO OPENINGS SHALL BE MADE IN PRECAST UNITS WHICH WOULD LEAVE LESS THAN 24" OF UNDISTURBED PRECAST PIPE OR WOULD REMOVE MORE THAN 30% OF THE CIRCUMFERENCE ALONG ANY HORIZONTAL PLANE.
  - STRUCTURES FOR SEWERS LARGER THAN 18", OR THOSE NOT MEETING THE OPENING REQUIREMENTS, SHALL BE BUILT OF BLOCK OR BRICK UP TO A MINIMUM OF 8" ABOVE THE TOP OF SEWER, WITH PRECAST UNITS BEING USED ABOVE THIS POINT, WHERE PRECAST UNITS REST ON THE BLOCK OR BRICK, THE GROOVE IN THE PRECAST UNIT SHALL BE FILLED WITH MORTAR.
  - OPENINGS FOR THE OUTLET SEWER SHALL BE PRECAST WITH A DIAMETER OF 3 INCHES LARGER THAN THE OUTSIDE DIAMETER OF THE OUTLET PIPE. ALL OTHER OPENINGS SHALL BE MADE IN THE FIELD AFTER MANHOLE HAS BEEN CONSTRUCTED.
- ALL VERTICAL OPENINGS IN CONCRETE BLOCK STRUCTURE WALLS SHALL BE COMPLETELY FILLED WITH MORTAR. ALL VERTICAL WALL JOINTS SHALL BE CEMENT POINTED.
- A "POURED 3500 P.S.I. CONCRETE BASE" WITHOUT STEEL REINFORCEMENT MAY BE SUBSTITUTED FOR PRECAST BASE WHEN APPROVED BY THE TOWNSHIP ENGINEER. A POROUS BACKFILL CUSHION WILL NOT BE REQUIRED UNDER THE POURED BASE UNLESS CONTRACTOR HAS EXCAVATED BELOW THE REQUIRED ELEVATION, AT WHICH TIME THE ENGINEER WILL DECIDE AS TO THE MERITS OF INCREASING THE THICKNESS OF THE CONCRETE BASE OR THE USE OF A POROUS BACKFILL CUSHION.
- WHERE UNSTABLE GROUND CONDITIONS ARE ENCOUNTERED, SLAG OR STONE BEDDING SHALL BE USED AS DIRECTED BY THE ENGINEER IN ORDER TO PROVIDE A STABLE FOUNDATION FOR PIPE AND MANHOLES.
- ALL PIPES ENTERING OR LEAVING A MANHOLE SHALL BE ADEQUATELY SUPPORTED BY POURING 2500 P.S.I. CONCRETE FILL FROM UNDISTURBED EARTH TO SPRINGLINE.
- WHEREVER EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL HOLES AT 4" CENTER TO CENTER AROUND PERIPHERY OR OPENING TO CREATE A PLANE OF WEAKNESS BEFORE BREAKING SECTION OUT.



SEWER TRENCH "A"

- NOTES:
- TRENCH "A" SHALL BE USED UNDER ROAD SURFACES, PAVEMENT, SIDEWALK, CURB, AGGREGATE & PAVED DRIVES AND WHERE THE EDGE OF TRENCH IS WITHIN 3 FEET OF THE PAVEMENT
  - GRANULAR MATERIAL SHALL BE PLACED BY THE "CONTROLLED DENSITY METHOD" OR OTHER MEANS HAVING APPROVAL OF THE ENGINEER AND IS TO BE COMPACTED TO 95% OF MAXIMUM UNIT WEIGHT



SEWER TRENCH "B"

- NOTES:
- SUITABLE EXCAVATED BACKFILL MATERIAL SHALL BE PLACED IN ONE FOOT LAYERS AND COMPACTED BY MECHANICAL TAMING OR OTHER EFFECTIVE MEANS HAVING APPROVAL OF THE ENGINEER, TO A DENSITY EQUIVALENT TO THE UNDISTURBED ADJACENT SOIL.
  - TRENCH "B" SHALL BE USED UNDER CONDITIONS OTHER THAN SPECIFIED FOR TRENCH "A"



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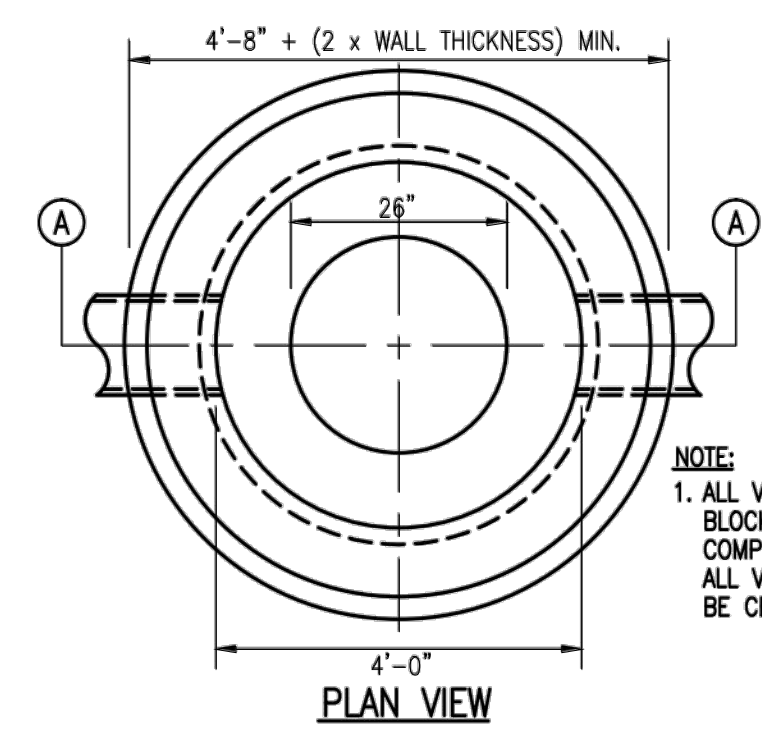
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YPSILANTI TOWNSHIP / Y.C.U.A.  
STANDARD STORM SEWER DETAILS

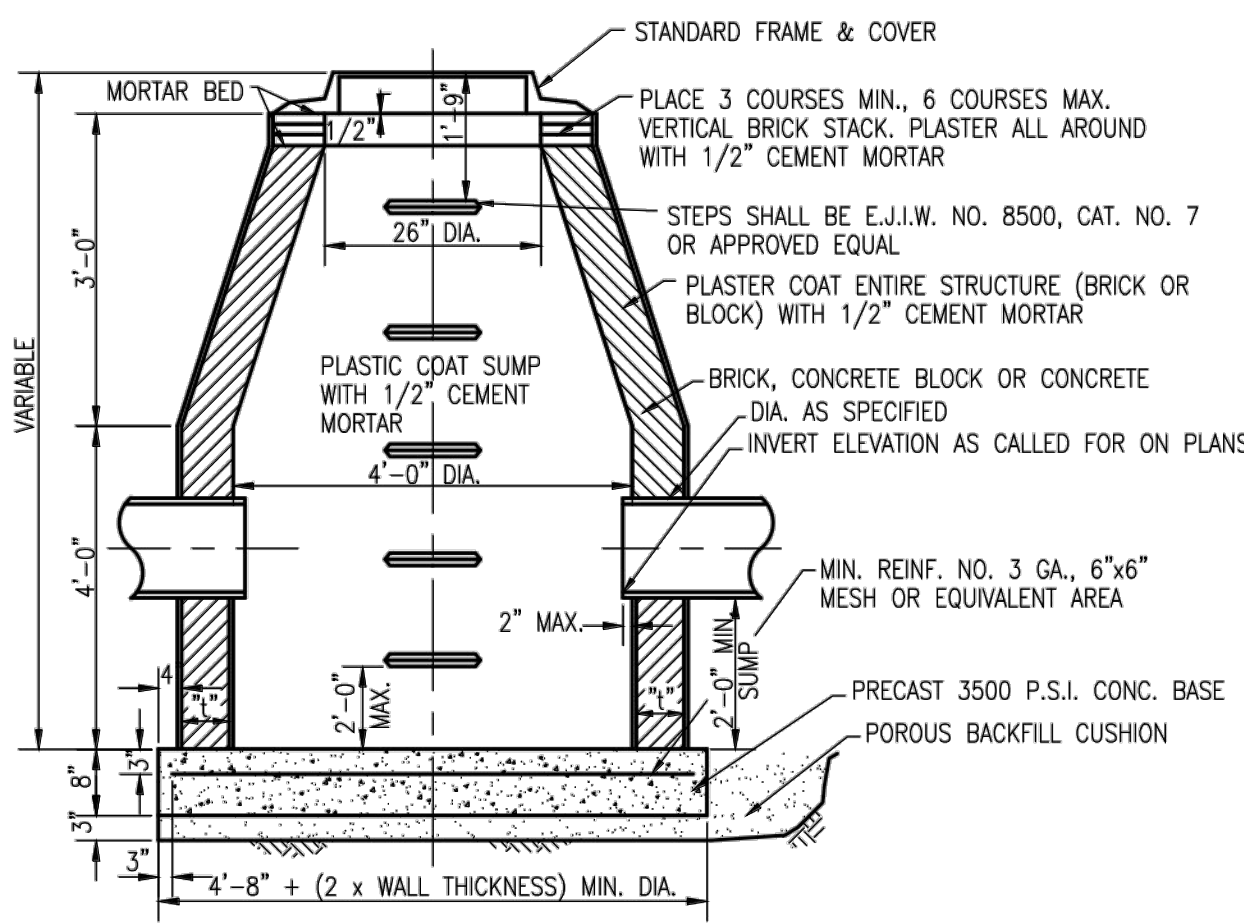
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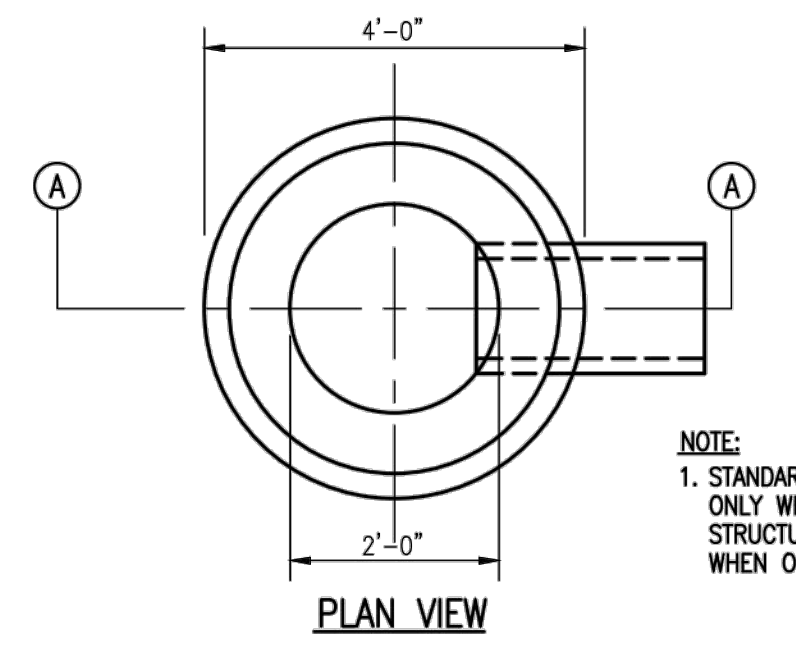
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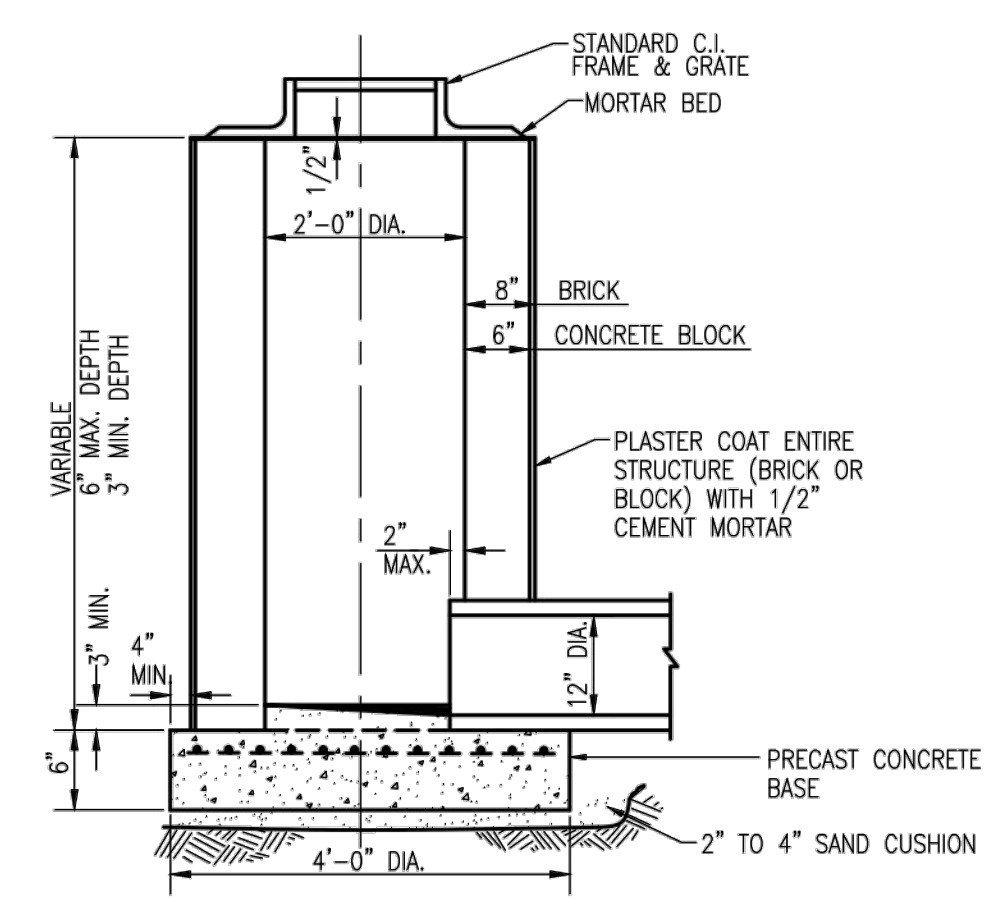
**NOTE:**  
1. ALL VERTICAL HOLES IN CONCRETE BLOCK STRUCTURE WALL SHALL BE COMPLETELY FILLED WITH MORTAR. ALL VERTICAL WALL JOINTS SHALL BE CEMENT POINTED.



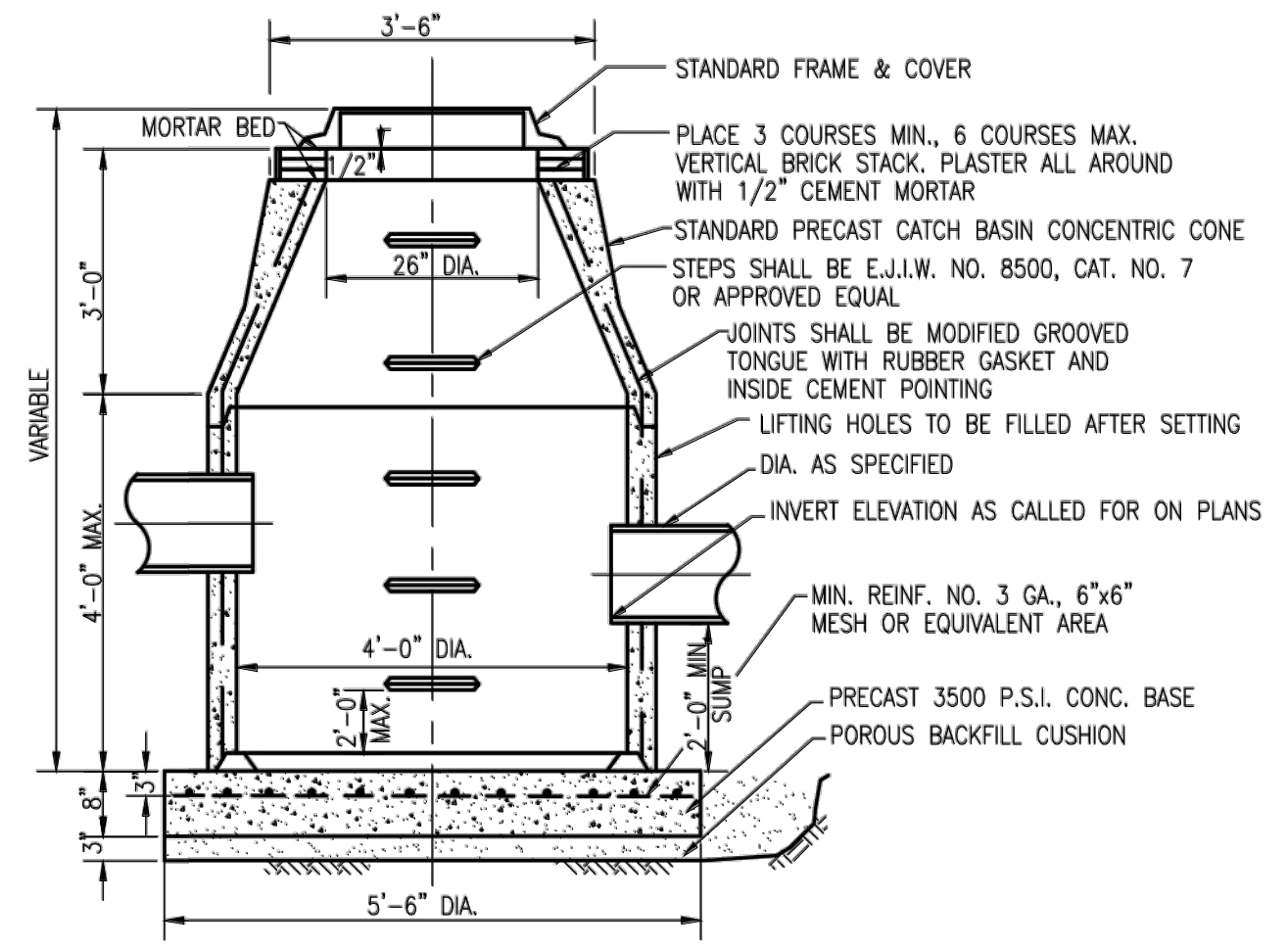
SECTION A-A  
CATCH BASIN "A"



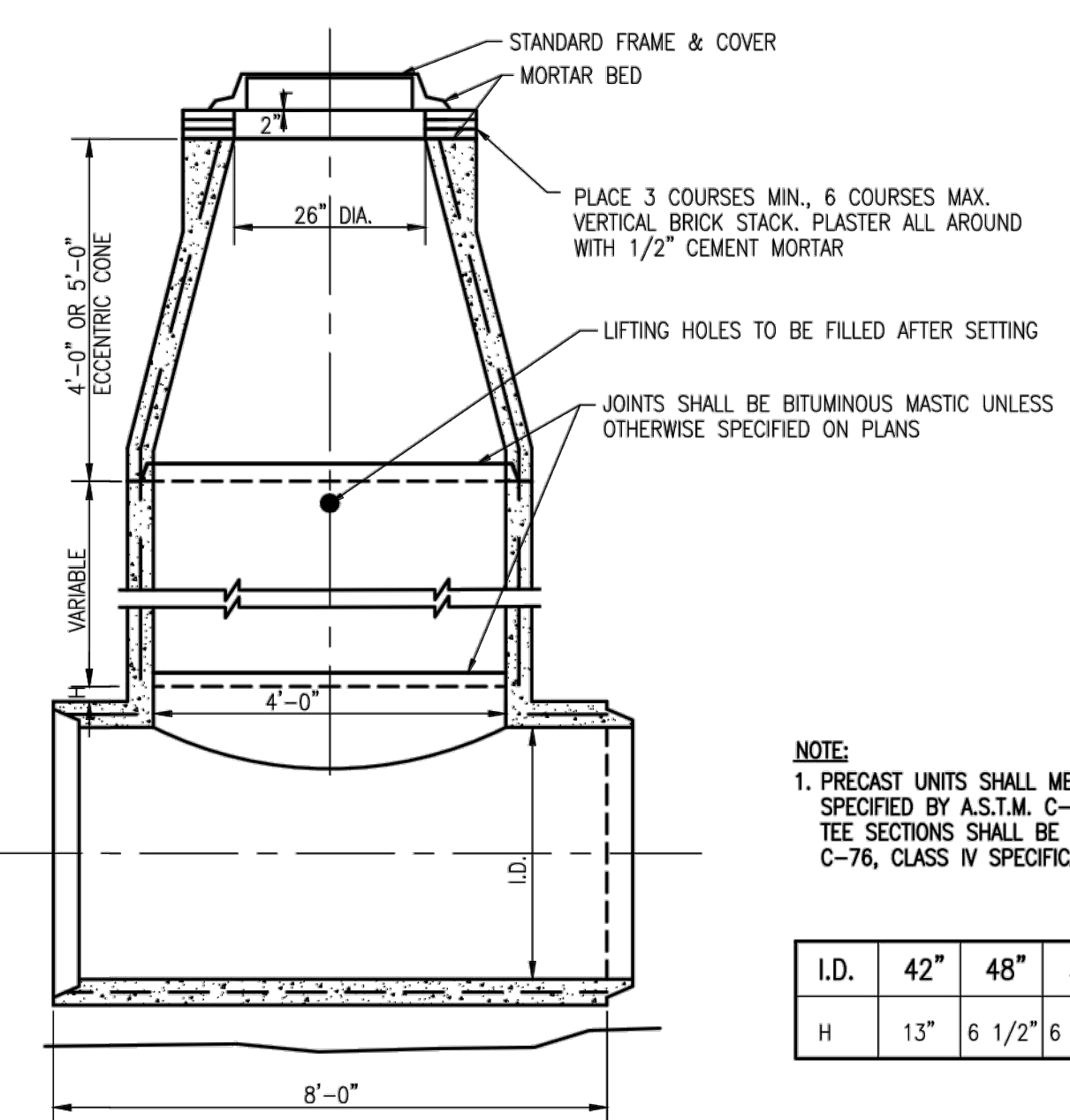
**NOTE:**  
1. STANDARD INLET WILL BE USED ONLY WHEN OUTLETTING TO A STRUCTURE HAVING A SLUMP OR WHEN OUTLETTING TO A DITCH



SECTION A-A  
STANDARD INLET



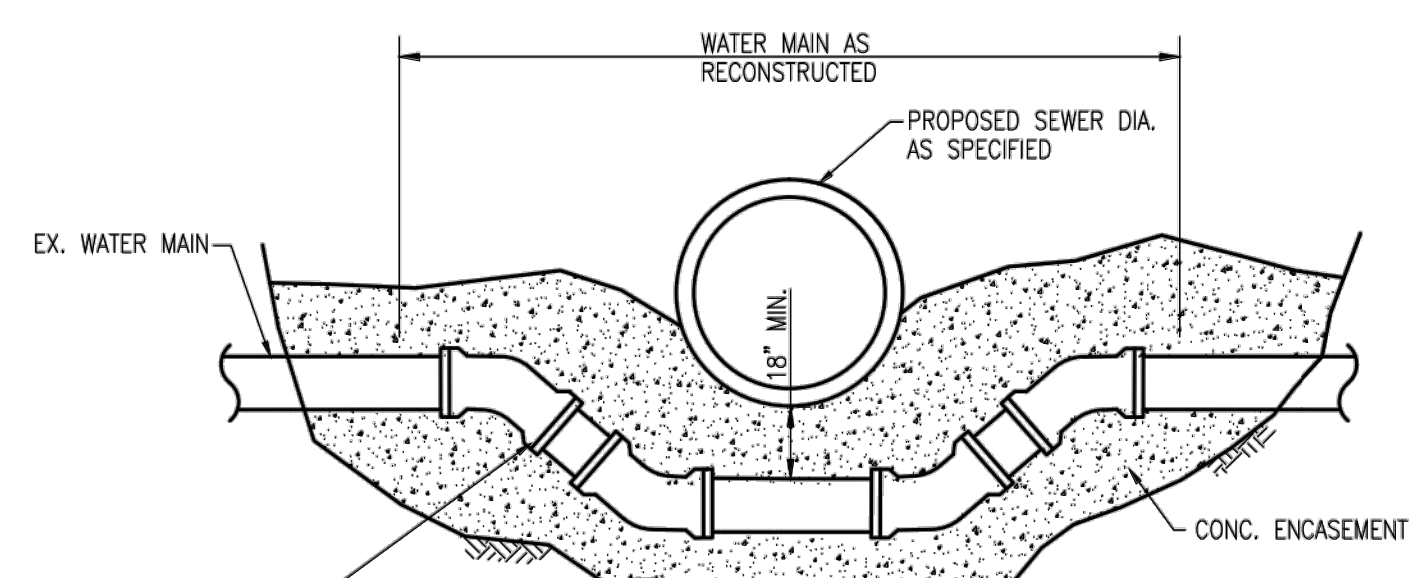
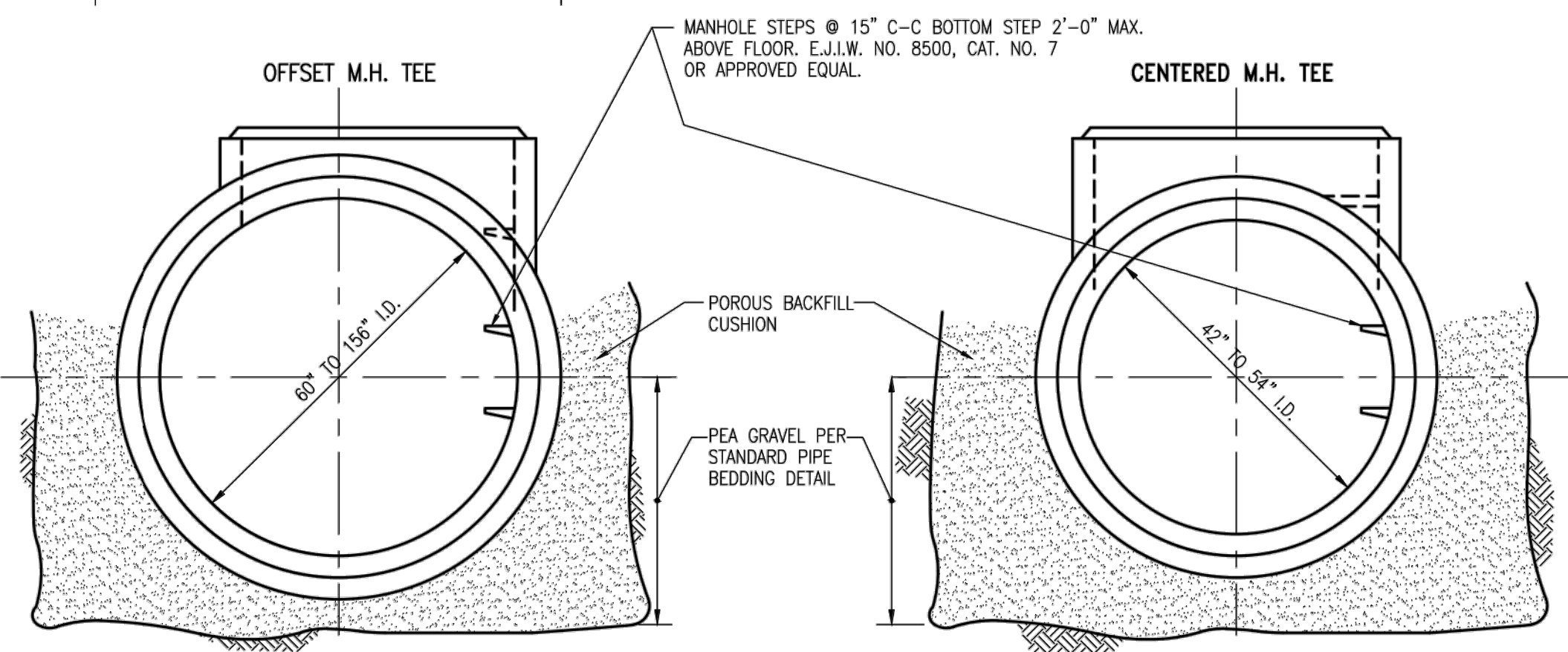
CROSS-SECTION  
CATCH BASIN "B"



PRECAST MANHOLE "T"

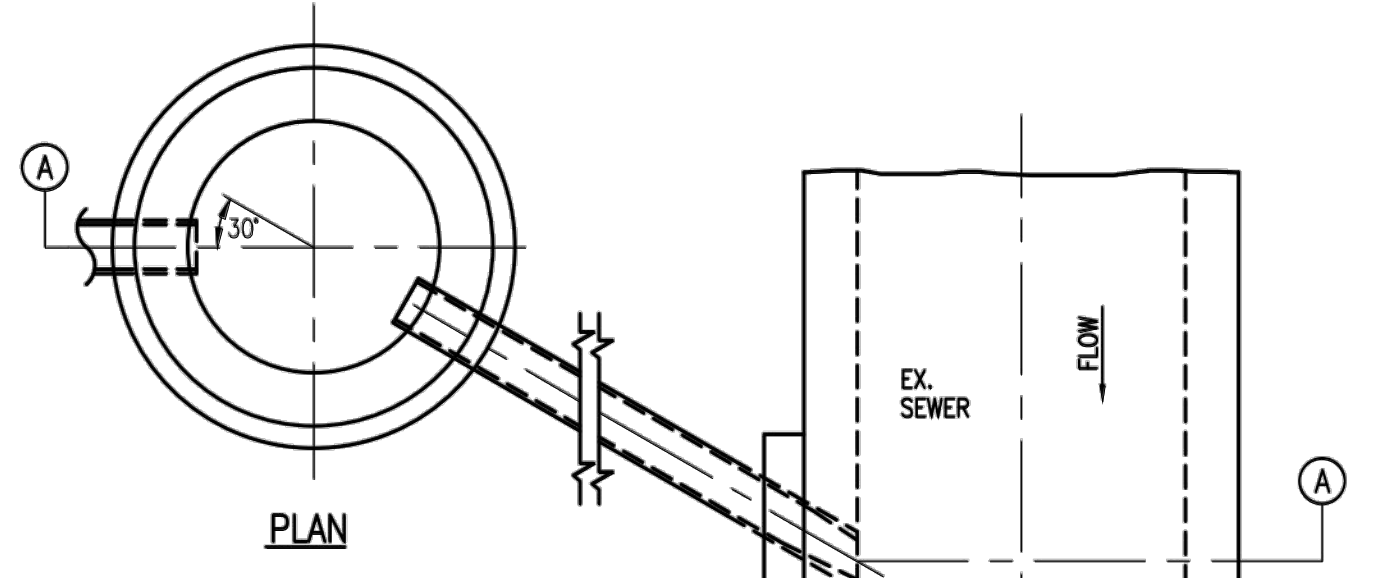
**NOTE:**  
1. PRECAST UNITS SHALL MEET THE REQUIREMENTS SPECIFIED BY A.S.T.M. C-478-88. ALL MANHOLE TEE SECTIONS SHALL BE REINFORCED TO A.S.T.M. C-76, CLASS IV SPECIFICATIONS

H DIMENSION	
I.D.	42" 48" 54" 60" 66" 72" 78" 84" OVER 84"
H	13" 6 1/2" 6 1/2" 1" 1 3/4" 2 1/2" 4" 6" 7"

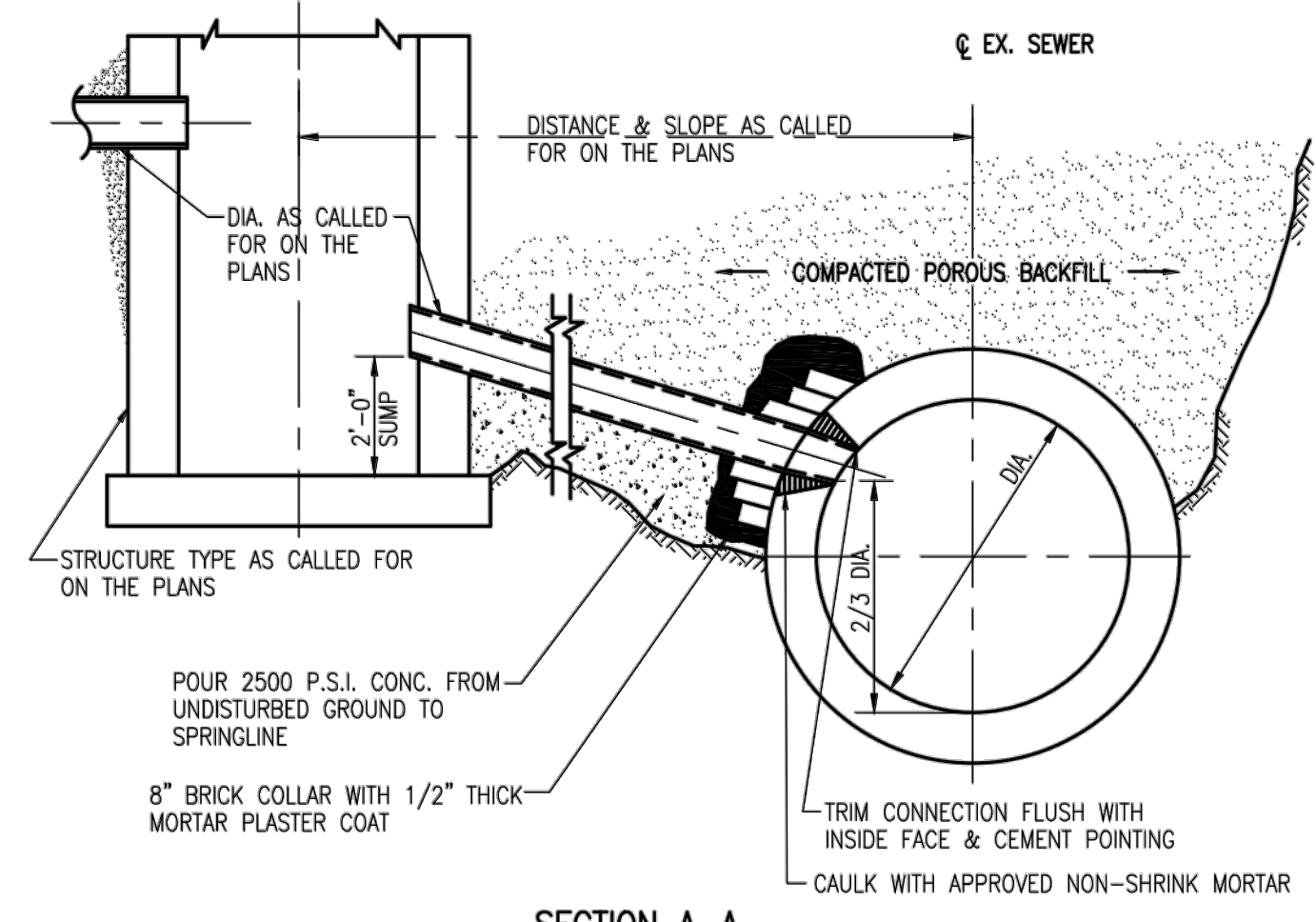


WATER MAIN CROSSING

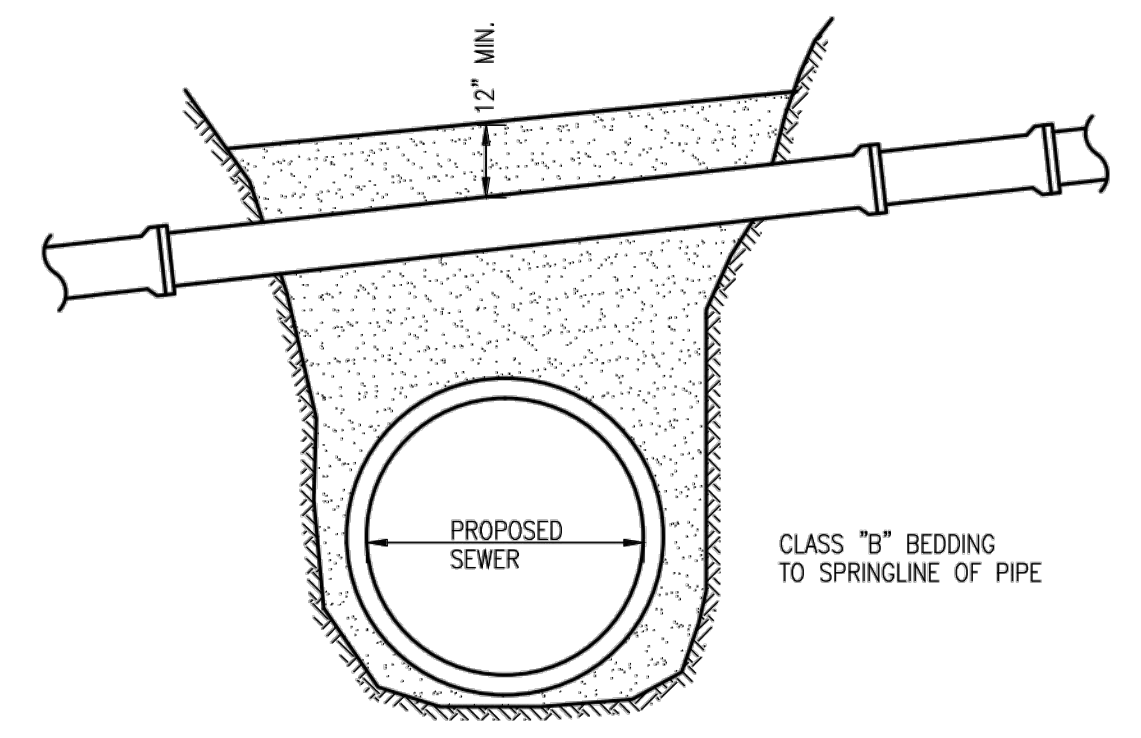
**NOTE:**  
ALL JOINTS TO BE PUSH-ON JOINTS RESTRAINED WITH FIELD-LOK GASKET OR APPROVED EQUAL



PLAN

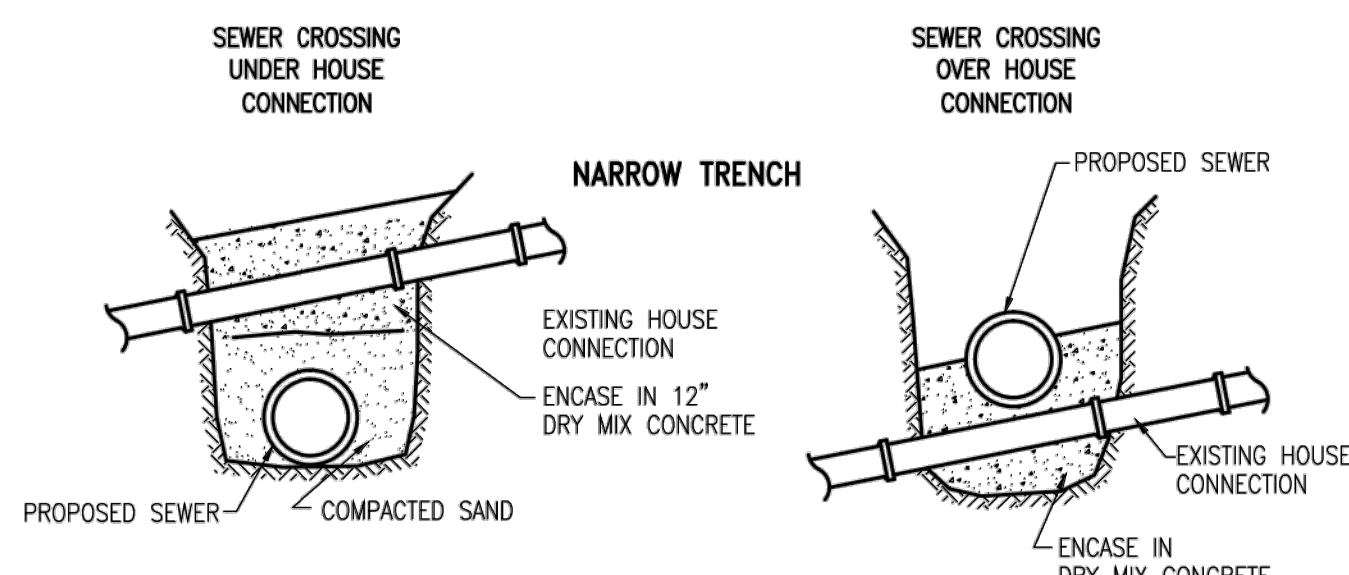


SECTION A-A  
TYPICAL CONNECTIONS TO EXISTING SEWERS



HOUSE CONNECTION CROSSING

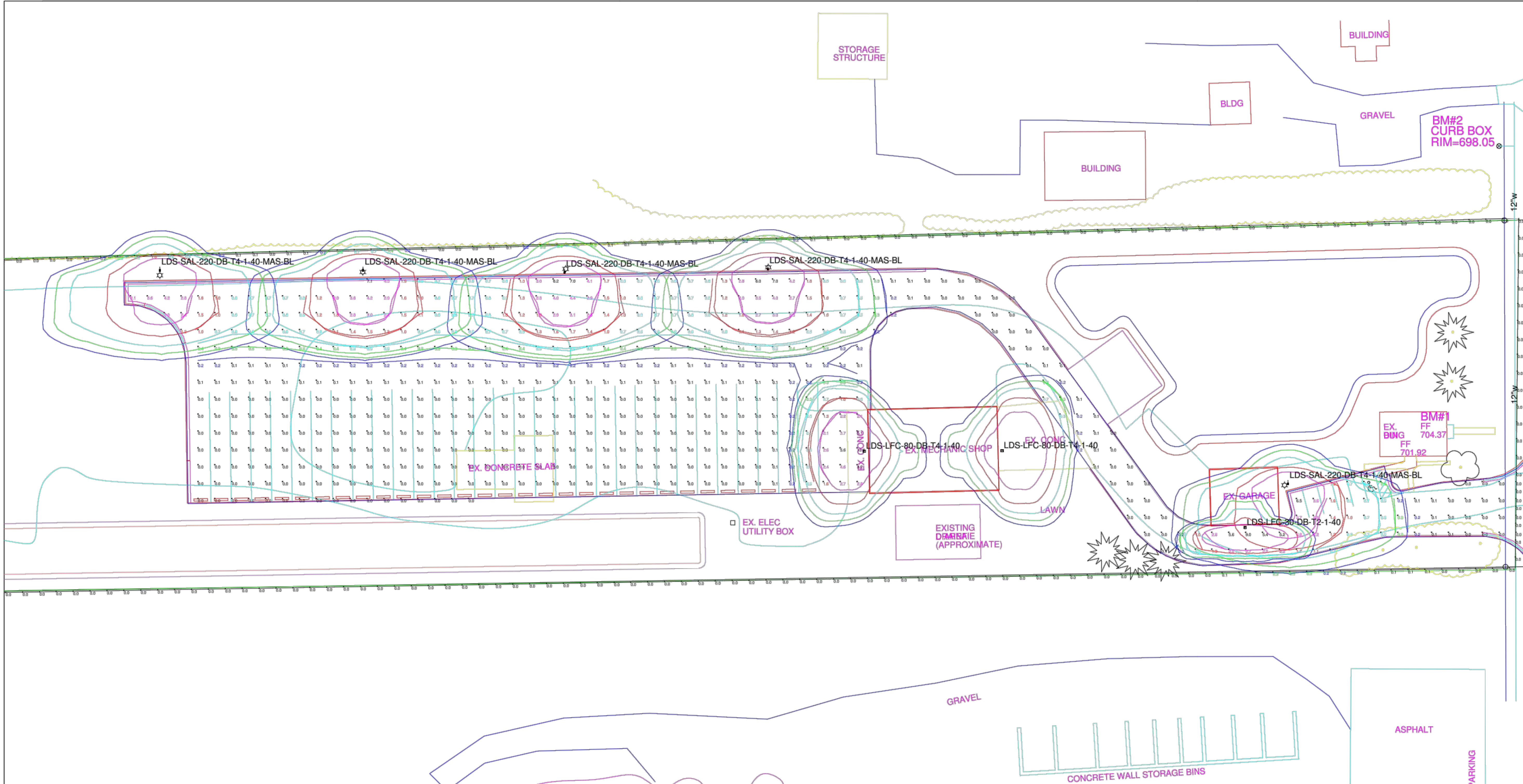
**NOTE:**  
1. M.D.O.T. GRANULAR MATERIAL CLASS II PLACED IN 6" LAYERS AND COMPACTED TO A MINIMUM OF 95% OF ITS MAXIMUM UNIT WEIGHT TO A HEIGHT OF 12" ABOVE THE TOP OF THE SEWER LEAD.



CROSSING DETAILS

**NOTE:**  
1. WHEN UNSTABLE GROUND CONDITIONS ARE ENCOUNTERED STONE, SLAG OR DRY MIX CONCRETE SHALL BE USED TO BACKFILL THE TRENCH TO A HEIGHT 12" ABOVE THE TOP OF THE SEWER LEAD.





Date	Comments

Revisions

Drawn By: M. Wozniacki, LC
Checked By:
Date: 6/22/2023
Scale:

Luminaire Schedule							
Symbol	Qty	Label	LLF	Description	Mounting Height	Luminaire Lumens	Luminaire Watts
☐	1	LDS-LFC-30-DB-T2-1-40	0.890	LDS-LFC-30-DB-T2-1-40	12	4480	29.83
☐	2	LDS-LFC-80-DB-T4-1-40	0.890	LDS-LFC-80-DB-T4-1-40	12	10364	80.8
—☐	5	LDS-SAL-220-DB-T4-1-40-MAS-BL	0.890	LDS-SAL-220-DB-T4-1-40-MAS-BS	20	11366	220

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
AsphaltLOT 1 Planar	Illuminance	Fc	0.64	13.4	0.0	N.A.	N.A.
PropertyLine	Illuminance	Fc	0.04	1.0	0.0	N.A.	N.A.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE THE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP. THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

**Illuminance Values**

Blue	0.2 - 0.29 fc
Green	0.3 - 0.49 fc
Cyan	0.5 - 0.99 fc
Red	1.0 - 1.99 fc
Magenta	2.0 - 5.0 fc

**Truck Terminal**

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THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING RECORDS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR DOES CERTAINLY NOT GUARANTEE THAT THEY ARE ACCURATE AND COMPLETE. NO RESPONSIBILITY FOR DAMAGE TO ANY UTILITIES NOT PHYSICALLY LOCATED BY THE UNDERGROUND UTILITIES.

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LDS - SAL  
LED Small Area Light

**Description**  
The LDS-SAL small area light is the first of its kind in Lumecon's LED Detrol Series. Combining a sleek fixture design with energy efficient performance allows this fixture to be used in parking lots, roadways, walkways and general area lighting applications replacing existing fixtures up to 4000K HID one-for-one.

**Technical Specifications**  
Input Voltage: 120-277V or 347-480V  
Housing: Die-cast aluminum housing with 60% glass polyester powder coat finishes for maximum durability. The base aluminum material is prepared using an environmentally-friendly non-toxic Zn-Ni surface plating and passivation process. The process results in a more durable conversion layer than traditional chromate conversion coatings and allows maximum adhesion of the powder coating to the aluminum substrate. Housing features an integrated heat sink and driver compartment built into the fixture design.  
Mounting: Mounting arm designed for a square / round pole (standard). Additional mounting options include a pole mounting arm adaptor.

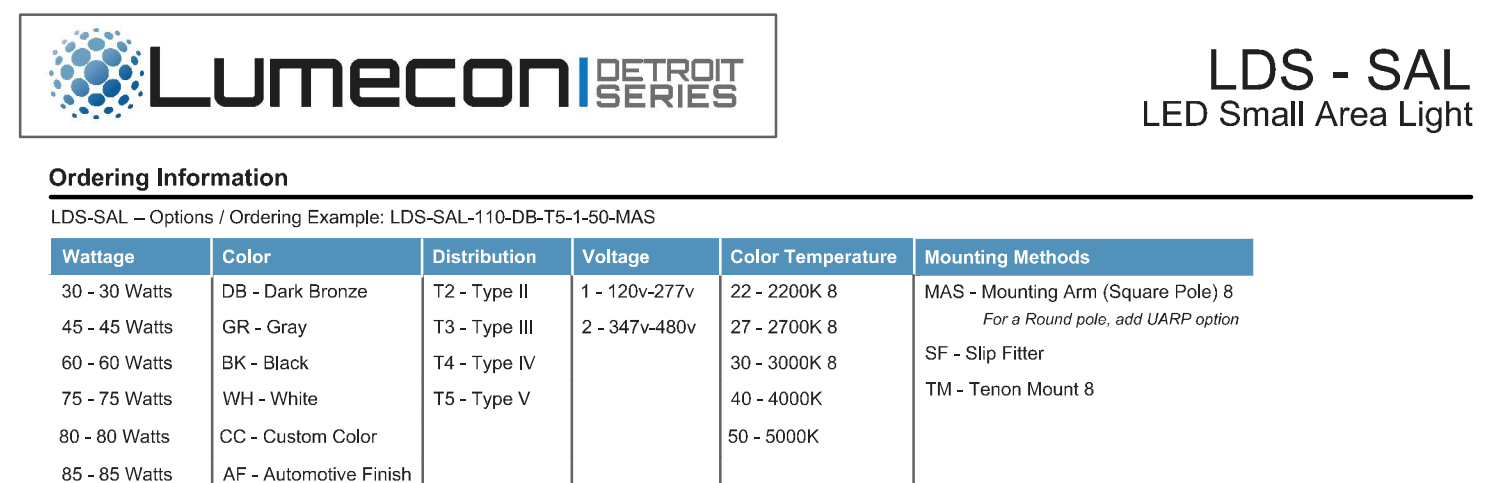
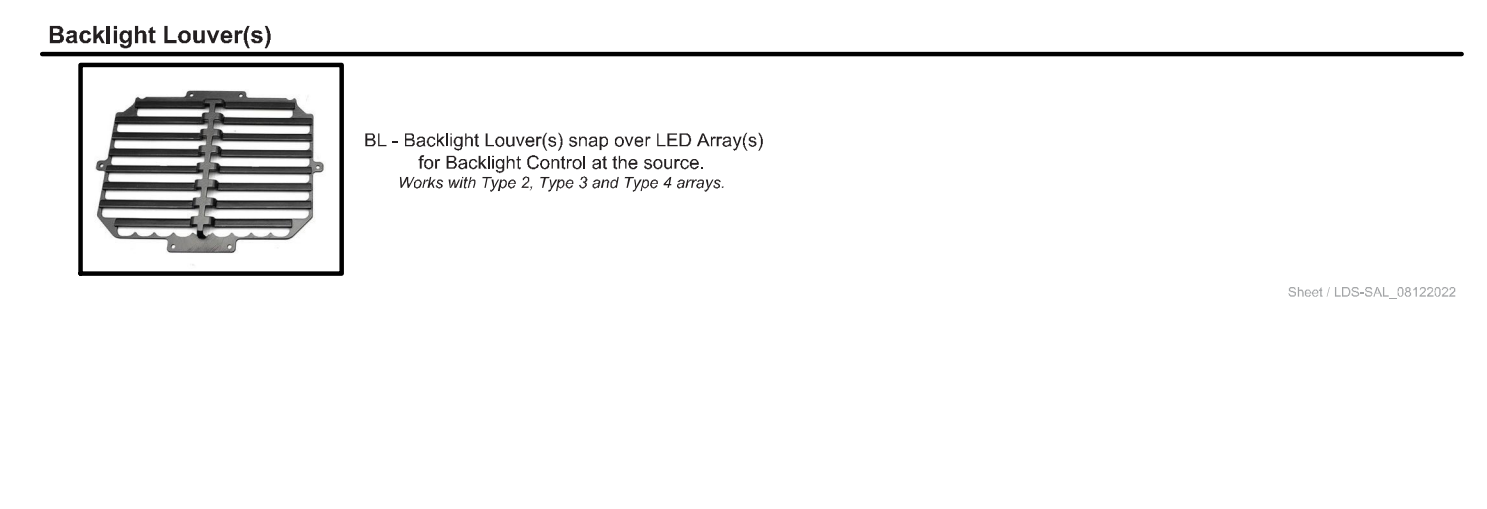
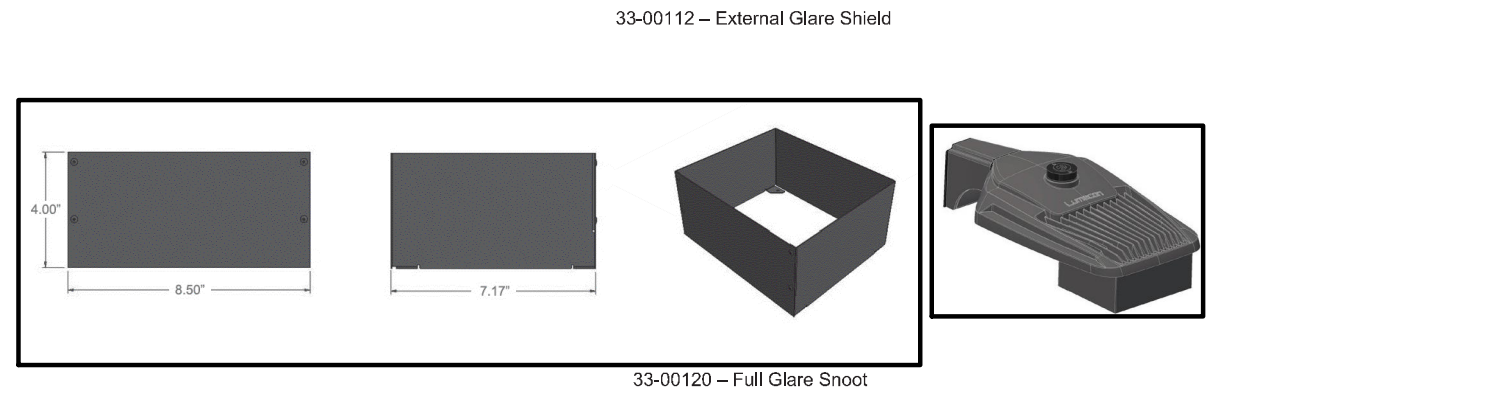
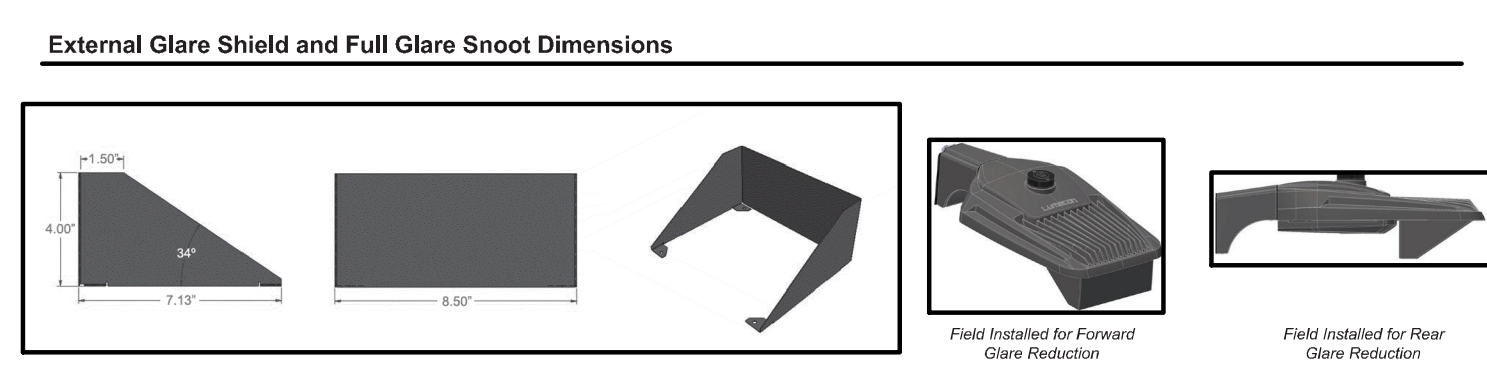
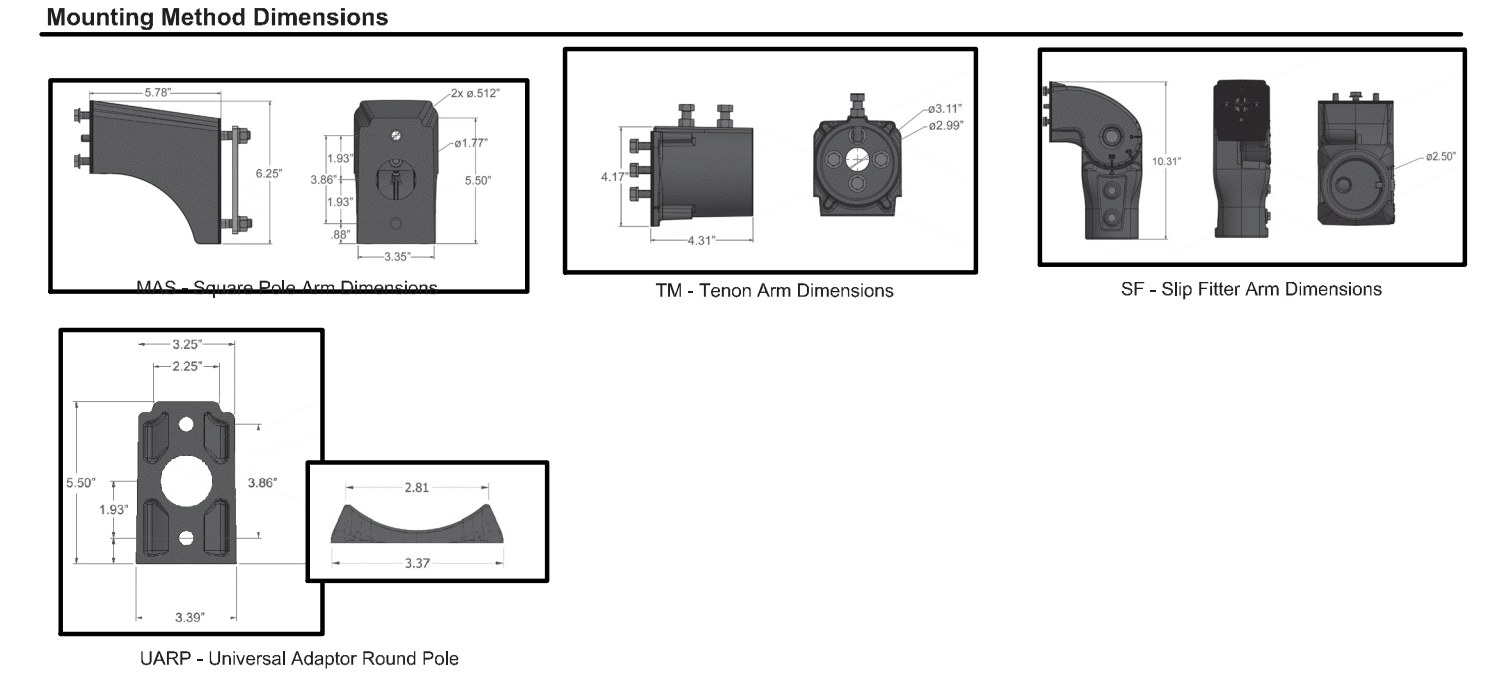
**Light Circuit: Optional**  
Effective Projected Area (EPA): 8.8 ft<sup>2</sup>  
Color Temperature: 2200K, 2700K, 3000K, 4000K (standard), 5000K  
LED Lifetime: All LEDs are rated for a minimum of 100,000 hours of continuous operation at ambient temperatures from -40°F to 100°F (4°C to 37.7°C).  
Color Rendering Index (CRI): Minimum of 80 or higher. CRI 90+ available upon request. CRI 90+ not available in 2200K.  
Dimming: 0-10V standard dimming capability.  
Custom Optics: Lumecon meticulously engineered premium acrylic optical lenses to maximize the distribution and uniformity of light while minimizing cost. Our arrays distribute light at least 5% further and with 25% more uniformity than leading competitors. Lumecon custom lenses create a uniform, well-lit environment that mitigates "hot spots" and uses less wattage than typical LED area lights.  
Vandal Resistant: Our lens is also resistant to vandalism with a low compact design making the lens material dense and impact resistant. We build to withstand high abuse lighting environments.

Lumecon ETD™ System: The enhanced thermal dissipation system engineers are thermally bonded to provide maximum thermal dissipation to the exterior of the fixture to ensure long life. To protect the light engine panel from moisture and corrosion, the LED light engine panel is uniformly coated with a UV-stabilized acrylic polymer resin that meets MIL and ASTM electrostatic standards, UL and IPC standards for flammability, moisture resistance and thermal shock.  
Certification Date: ETL Listed to UL 1586, UL 8750 Wet Locations, \*Full compliance and test documentation is available for TMX1, LM478, LM480, ETL. Listing to UL 1586 and UL 8750. Salt Fog tested for 3,000 hours per ASTM B117-16 / ASTM D610-08. Ingress Protection: IP60 per ANSI/IEC 60529-2004. Passed 50 vibration @ 100K cycles, per ANSI C136.31-2016.  
DesignLights Consortium (DLC) Qualified Product: Lumecon noted, all versions of this product may be DLC qualified. For a complete list of Lumecon DLC qualified Products visit: www.designlights.org.  
Dimulator Photo-Control: Maximize the cost-saving benefits of your outdoor LED light fixture with the stand-alone Dimming solution. All Dimulators (except for CD and DIM 3 versions) have three selectable dimming levels (30%, 50%, 70%) with three different start times (10:00 am, Midnight, or 2:00 am), which are selectable through the ten position selector switch located on the bottom of the base. All dimming schedules will return to full brightness at 5:00 am. The stand-alone unit is made to work with the ANSI C136-41 receptacle and will provide dimming of LED fixtures.  
OC4 - On/Off w/PhotoCell 3  
OC4 - Dim/High 3.4  
OC4 - On/Off w/PhotoCell 3  
OC4 - Dim/High w/PhotoCell 3.4  
SC - Split Circuit 5,6,7  
DIM4 - 105-305 VAC, 50/60 Hz with 10 position field adjustable selector switch  
DIM4-HV - High Voltage 312-530 VAC, 50/60 Hz with 10 position field adjustable selector switch  
DIM4-CD - Constant all-night Dimming  
DIM4-CD-HV - Constant all-night Dimming, 315-530 VAC 50/60Hz  
DIM4-CUL - 120 VAC, 50/60 Hz, cUL certified version with gray cover  
DIM4-ALC - Adaptive Lighting Control with 2% per year incremental increase to compensate for aging fixture  
DIM3-XX - Factory set dimming schedule (10 position selector switch not available)  
BSS - Bird Spikes (Field Installed)  
BL - Backlight Louver(s) snap over LED Arrays for Backlight Control at the source.  
LLC - Limelight by Lutron Radio Module  
LLC-A: Limelight by Lutron Radio Module and PIR Sensor Assembly - Medium Mounting Height  
LLC-L: Limelight by Lutron Radio Module and PIR Sensor Assembly - Low Mounting Height (8-15' mounting height)  
LLC-H: Limelight by Lutron Radio Module and PIR Sensor Assembly - High Mounting Height (15-30' mounting height)

Buy American: Meets Buy American requirements within the AREA.  
Warranty: 3 Year LTR performance based warranty. For full warranty terms, please visit our website: www.lumecon.com



LDS - SAL  
LED Small Area Light



LDS - SAL  
LED Small Area Light

Ordering Information table with columns: Wattage, Color, Distribution, Voltage, Color Temperature, Mounting Methods. Lists various configurations like 30-30 Watts, 45-45 Watts, etc.

**Options & Accessories**  
UARP - Universal Adaptor Round Pole  
R - Receptacle Only  
RS - Receptacle Only with Shorting Cap  
7P - Seven-pin Twist Lock PhotoCell Receptacle Only  
PC1 - 120V-277V Button Eye PhotoCell 2  
PC2 - 347V-480V Button Eye PhotoCell 2  
PC3 - 120V-277V Twist Lock PhotoCell (10 year warranty)  
PC4 - 347V-480V Twist Lock PhotoCell (10 year warranty)  
OC1 - On/Off 3  
OC2 - Dim/High 3.4  
OC3 - On/Off w/PhotoCell 3  
OC4 - Dim/High w/PhotoCell 3.4  
SC - Split Circuit 5,6,7  
DIM4 - 105-305 VAC, 50/60 Hz with 10 position field adjustable selector switch  
DIM4-HV - High Voltage 312-530 VAC, 50/60 Hz with 10 position field adjustable selector switch  
DIM4-CD - Constant all-night Dimming  
DIM4-CD-HV - Constant all-night Dimming, 315-530 VAC 50/60Hz  
DIM4-CUL - 120 VAC, 50/60 Hz, cUL certified version with gray cover  
DIM4-ALC - Adaptive Lighting Control with 2% per year incremental increase to compensate for aging fixture  
DIM3-XX - Factory set dimming schedule (10 position selector switch not available)  
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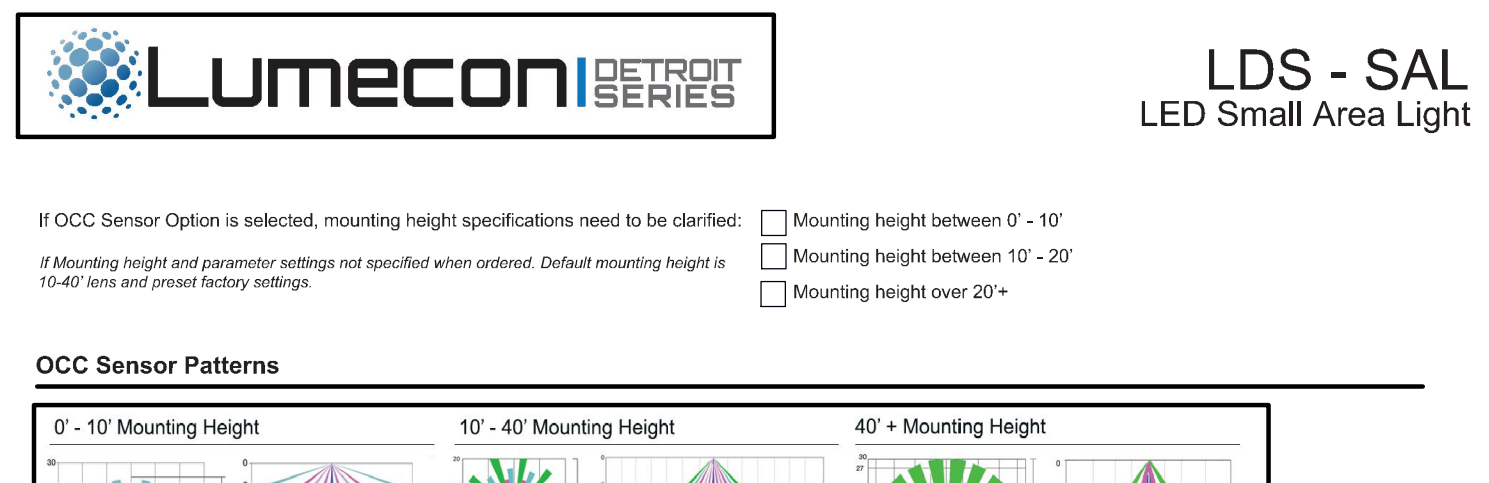
**Performance Data**  
Table with columns: Model, Distribution Type, Wattage, Lumens, Efficacy, Color Temp, Efficacy. Lists performance metrics for various models like LDS-SAL-30, LDS-SAL-45, etc.



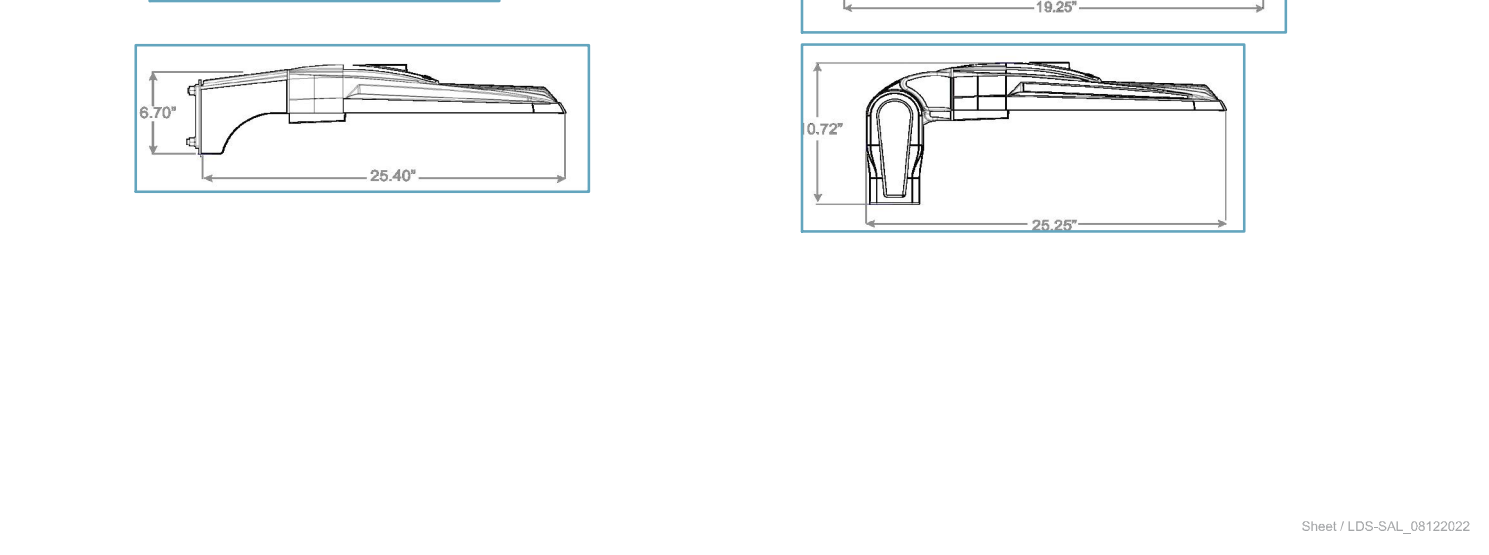
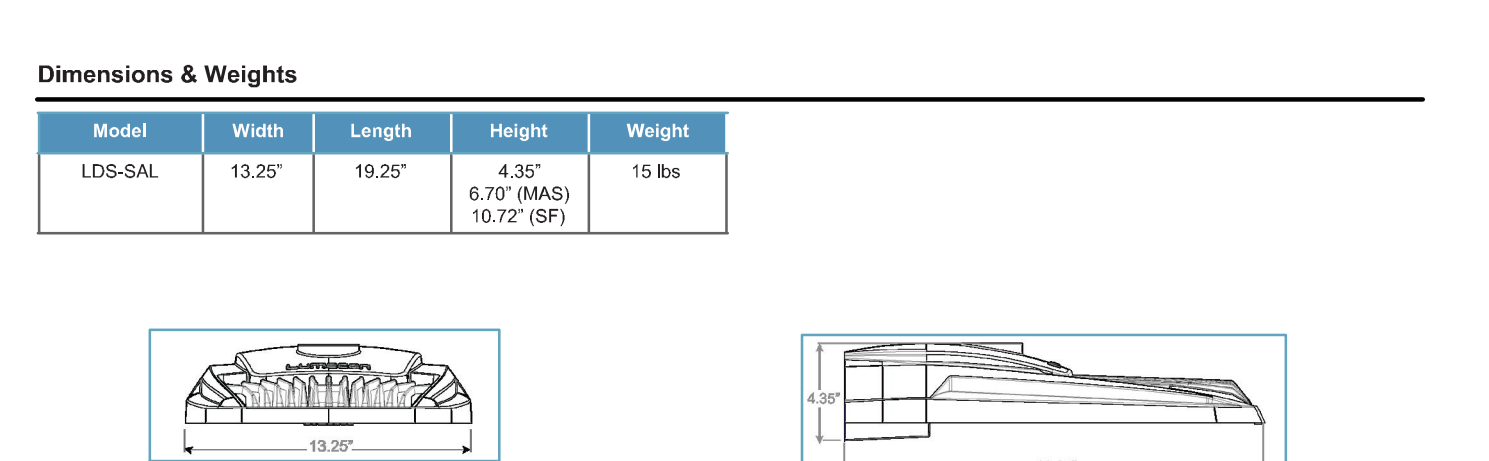
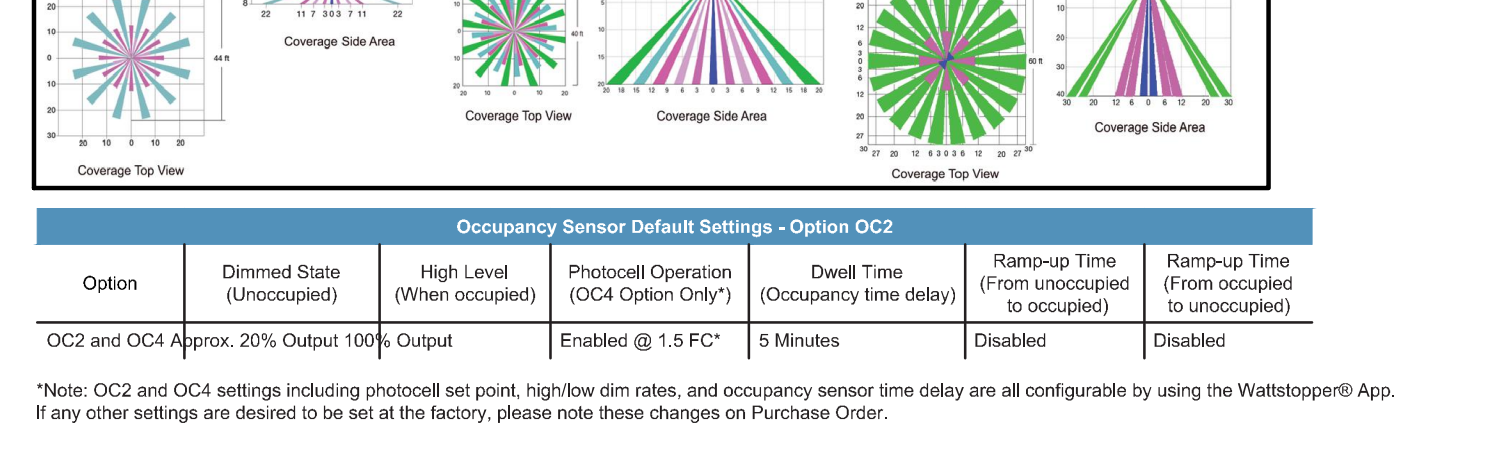
LDS - SAL  
LED Small Area Light

Performance Data table with columns: Model, Distribution Type, Wattage, Lumens, Efficacy, Color Temp, Efficacy. Lists performance metrics for various models like LDS-SAL-30, LDS-SAL-45, etc.

Buy American: Meets Buy American requirements within the AREA.  
Warranty: 3 Year LTR performance based warranty. For full warranty terms, please visit our website: www.lumecon.com



LDS - SAL  
LED Small Area Light



LDS - SAL  
LED Small Area Light

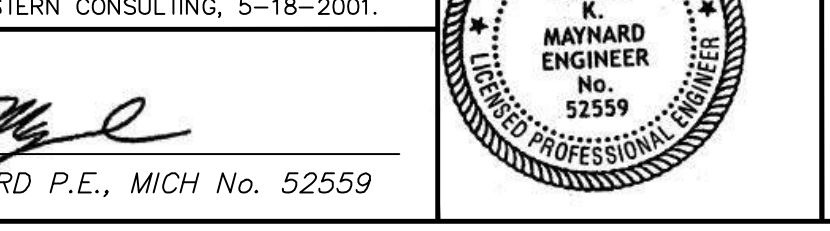
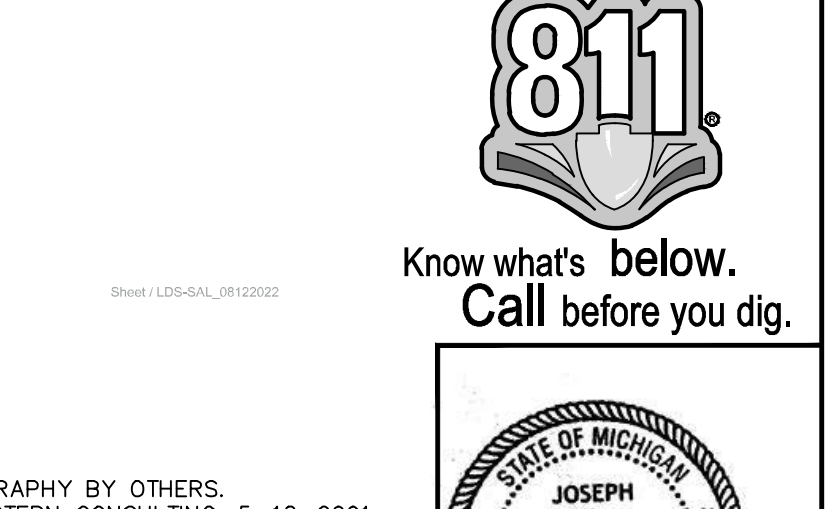
Performance Data table with columns: Model, Distribution Type, Wattage, Lumens, Efficacy, Color Temp, Efficacy. Lists performance metrics for various models like LDS-SAL-30, LDS-SAL-45, etc.

Buy American: Meets Buy American requirements within the AREA.  
Warranty: 3 Year LTR performance based warranty. For full warranty terms, please visit our website: www.lumecon.com

Electrical Load Data table with columns: Fixture Model, Drive Current (mA), System Watts, AC Current Load (A) for 120V, 208V, 240V, 277V, 480V. Lists load data for LDS-SAL-30, LDS-SAL-45, etc.

Lumen Maintenance Factors table with columns: FWP (hr), L, F0.95, F0.9, F0.85, F0.8. Lists maintenance factors for various models like LDS-SAL-30, LDS-SAL-45, etc.

NOTES:  
1. SEE TABLE ON PHOTOMETRIC PLAN, SHEET 14, FOR MOUNTING HEIGHTS.  
2. ALL LIGHTING TO HAVE OCC SENSOR TO DIM 50%.



CLIENT information for MOTOWN HOLDINGS, INC. including address (6630 RAWSONVILLE RD, BELLEVILLE, MI 48111) and phone number (734-931-2313).

PROJECT information including SECTION 25, TOWN 3, RANGE 7, EAST, and PROJECT name K-11-25-400-014 at 6630 RAWSONVILLE RD.

LEGEND information including DATE 05-04-2023, JOB NO. 32962, and FIELD BOOK photo det. Includes a scale bar and scale information (SCALE: 1"=50').

PRINCIPALS  
J.K. MAYNARD, P.E.  
D.J. HOUCK  
D.L. MOORE  
ASSOCIATE  
T.L. SUTHERLAND, P.S.



CIVIL ENGINEERS • PLANNERS • SURVEYORS  
TRANSPORTATION ENGINEERS  
LANDSCAPE ARCHITECTS

TRANSMITTAL MEMORANDUM

---

Date: August 16, 2023

To: Charter Township of Ypsilanti  
Office of Community Standards  
7200 S. Huron River Dr  
Ypsilanti, MI 48197

Attention:

---

Project: 6630 Rawsonville Road, Ypsilanti Township  
Motown Holdings

Enclosed: Eight (8) sets of Site Plans 24x36  
One (1) Set of Site Plans 11x17  
One (1) Flash Drive with PDF of Plan  
Response Letter

Remarks:

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Please review for approval. If you have any questions please contact the undersigned.

From:   
Joseph K. Maynard, P.E.

---

S:\PROJECTS\MOTOWN HOLDING - RAWSONVILLE RD\YpsiTwp230816trans.doc

PRINCIPALS  
J.K. MAYNARD, P.E.  
D.J. HOUCK  
D.L. MOORE

ASSOCIATE  
T.L. SUTHERLAND, P.S.



CIVIL ENGINEERS \* PLANNERS \* SURVEYORS  
TRANSPORTATION ENGINEERS  
LANDSCAPE ARCHITECTS

August 15, 2023

Ypsilanti Township  
7200 S. Huron River Drive  
Ypsilanti, MI 48197

Attn: Jason Iacoangeli

RE: Motown Holdings, Ypsilanti Township

We offer the following comments in response to your Planning Director's Report dated July 25, 2023:

**Carlisle Wortman, July 19, 2023**

**EMPLOYEE AND OPERATIONAL DETAILS**

1. Are trucks picked up daily and returned every night or are trucks gone for extended periods of time?  
***Both daily and extended periods 50/50 at this time. Things change with the market.***
2. Do trucks stored hold any freight in them overnight or is all cargo removed before they return to site?  
***In some cases, they will have pending delivery that will stay overnight.***
3. What is the normal truck pick up and drop off times?  
***Normal times are 7am to 7pm. Though traffic conditions may alter time.***
4. Are goods that are shipped stored in onsite warehouse?  
***No. Only stay in truck. Locked at all times.***
5. Other than trucks, is there any outdoor storage proposed?  
***No.***
6. If only 15 drivers are proposed, why are there so many truck spaces?  
***Empty spaces for trailer to be dropped.***
7. Are there any other truck repairs other than oil change, tire repair, and filter replacement?  
***All items allowed under light maintenance.***

**SITE ACCESS, CIRCULATION, AND TRAFFIC**

1. Access approved by the Road Commission.  
***Acknowledged.***
2. Circulation approved by Township Fire Marshall.  
***Acknowledged.***

3526 W. LIBERTY RD, SUITE 400, PO BOX 1128, ANN ARBOR, MI 48106-1128  
PHONE: 734-761-8800 FAX: 734-761-9530

## SCREENING AND LANDSCAPING

1. Provide compliant landscape plan.  
**Landscape Plan revised.**
2. Provide dumpster location and screening.  
**Dumpster added east of repair shop.**
3. Indicate at grade or rooftop equipment and screen accordingly.  
**No proposed equipment.**

## LIGHTING

1. Provide photometric that show foot candle to the property line.  
**See Photometric Plan.**
2. Indicate pole height.  
**Option for sensor to dim 50% unless motion activated.**
3. Is applicant willing to turn off or dim lights at dusk?  
**Proposed to add OCC sensors to all lighting to 50% dim.**

## ELEVATIONS AND FLOORPLANS

1. Provide elevations for any building that improvements are proposed.  
**None.**

OHM, July 21, 2023

## SITE PLAN COMMENTS

### General

1. The applicant shall clarify if a dumpster enclosure will be provided. If so, its location shall be shown on the plans and a turning template shall be provided. The applicant shall also provide a truck turning template for the proposed hammerhead/turnaround on the west end of the site to verify adequate space will be provided.  
**Added single dumpster enclosure. Garbage and truck turning template updated.**
2. The applicant shall clarify if the public will be accessing the mechanic shop or garage. If so, an ADA accessible route shall be provided. If not, a note shall be added to the plans for clarity. The applicant shall also clarify if a fence/gate will be provided and note that a Knox box may be required.  
**No public accessing shop or garage. Knox box not required but will add.**

## PRELIMINARY DETAILED ENGINEERING COMMENTS

1. The applicant shall provide spot elevations at all four (4) corners of the barrier-free parking space and access aisle, as well as the proposed sidewalk. The applicant shall note that the cross-slope shall not exceed 2%, per ADA Standards.  
**Detail and note added to Sheet 6, Grading, Utility, and Soil Erosion Control Plan.**
2. The applicant shall provide utility pipe profiles, including pipe diameter, material, length, slope, and hydraulic grade line for all proposed storm sewer on the plans.  
**No proposed storm sewer except driveway culvert and detention basin DRN2 outlet. Added profiles to entrance details, Sheet 10.**
3. The applicant shall provide contours and a cross-section/standard detail for the proposed bio-swale on the plans.

**See Sheets 6 and 7.**

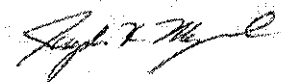
4. The applicant shall clarify if there are any existing water service connections or wells servicing the structures on-site. If so, their locations shall be shown on the plans.  
**There is an existing water service to the existing house. Added to plans.**
5. The applicant shall note that a minimum of 2.5 feet of cover is required for storm sewer, per Township Standards. The applicant shall review and revise accordingly.  
**All storm sewer on site removed.**
6. The applicant shall show the proposed storm sewer on all applicable plan sheets for clarity.  
**All storm sewer on site removed.**
7. The applicant shall provide a quantity list for all proposed utilities (storm) on the Cover Sheet, delineated by existing or proposed road right-of-way or easement, per Township Standards.  
**One driveway culvert added to Cover Sheet.**

Washtenaw County Road Commission, June 27, 2023

1. Move the opening of the drive approach back 12 feet to accommodate a future widening of Rawsonville Road. The curb end shall be offset 12 feet from the current edge of Rawsonville Road.  
**Relocated drive.**
2. The WCRC requests the donation of 27 feet of right of way to meet the 60 foot half width master plan.  
**Not able to do.**
3. Provide a cost estimate for all work within the Rawsonville Road right of way for approval.  
**To be provided once contractor is selected.**
4. An inspection fee equal to 3% of the approved estimate, \$500 minimum, shall be deposited and a deposit equal to the full amount of the approved estimate shall be provided in the form of a letter of credit or cashier's check.  
**To be provided once contractor is selected.**
5. Provide the name, contact info and certificate of insurance for the contractor performing the work.  
**To be provided once contractor is selected.**

If you have any questions please contact the undersigned.

Sincerely,



Joseph K. Maynard, P.E.

# SITE PLAN REVIEW APPLICATION

## I. APPLICATION/DEVELOPMENT TYPE

### Development:

- Subdivision
- Multi-family/Condominium
- Site Condominium
- Planned Development
- Non-residential

### Application:

- Administrative Site Plan Review
- Sketch Site Plan Review
- Full Site Plan Review
- Revisions to approved plan
- Tentative Preliminary Plat
- Final Preliminary Plat
- Final Plat Process
- Stage I (for Planned Development)
- Stage II (for Planned Development)

## II. PROJECT LOCATION

Address: 6630 Rawsonville Road City: Belleville (Ypsi Twp) State: MI Zip: 48111  
Parcel ID #: K-11- 25-400-014 Zoning LM  
Lot Number: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Property dimensions: 205' x 1324' Acreage: 6.03  
Name of project/Proposed development: Motown Holdings  
Legal description of Property:  
see attached plan

Describe Proposed Project (including buildings/ structures/ # units):  
truck parking and vehicle maintenance shop

## III. APPLICANT INFORMATION

Applicant: Motown Holdings Inc. Phone: 734-931-2313  
Address: 6630 Rawsonville Road City: Belleville State: MI Zip: 48111  
Fax: \_\_\_\_\_ Email: jaysandhu492@yahoo.com  
Property owner (if different than applicant): Motown Holdings Inc Phone: \_\_\_\_\_  
Address: 50790 Silverton Ct City: Canton State: MI Zip: 48187  
Fax: \_\_\_\_\_ Email: \_\_\_\_\_  
Engineer: Washtenaw Engineering Co. Phone: 734-761-8800  
Address: 3526 W. Liberty Rd, Suite 400 City: Ann Arbor State: MI Zip: 48103  
Fax: \_\_\_\_\_ Email: jkm@wengco.com

**Charter Township of Ypsilanti**

**Office of Community Standards**

7200 S. Huron Drive, Ypsilanti, MI 48197

Phone: (734) 485-3943

Website: <https://ytown.org>

**SITE PLAN REVIEW  
APPLICATION**

**Site Plan Review applications**

- The application is filled out in its entirety and includes the signature of the applicant and, if different than the applicant, the property owner.
- Fees
  - Check made out to Ypsilanti Township with appropriate fees.  
*Please note: The same preliminary site plan review fee will be charged for each subsequent submittal*
  - Fees paid separately to Ypsilanti Community Utilities Authority
  - Fees paid separately to Washtenaw County Road Commission and Water Resources Commissioner's Office
- Additional Documents:
  - Woodland Protection application or the No Tree Affidavit, if applicable
  - Traffic Impact Questionnaire
  - Appropriate application and plans submitted to the Washtenaw County Road Commission and Water Resources Commissioner's Office
- Proposed Plans
  - Eight (8) signed and sealed copies (24"x36") of the proposed plan
  - Two (2) signed and sealed copies (24" x 36") shall be provided to the Washtenaw County Road Commission and Water Resources Commissioner's Office for Review. The applicant is responsible for delivery of the plans, application, and applicable review fees to these agencies. The Township will complete distribution to Ypsilanti Community Utility Authority (YUCA), but separate payment is required.
  - One (1) copy (11"x17") of the proposed plan
  - One (1) PDF digital copy of the proposed plan
  - All contents detailed on the next pages for administrative, sketch, and full site plans.




## SITE PLAN REVIEW APPLICATION

### VI. SCHEDULE OF FEES

Preliminary Site Plan Review		
	Non-refundable fee	Refundable deposit
Full	\$500	Less than one (1) acre: \$2,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres
Sketch	\$500	Less than one (1) acre: \$1,500 One (1) acre to five acres: \$2,000 Over five (5) acres to ten (10) acres: \$2,500 Greater than ten (10) acres: \$2,500 + \$50 per acre over ten (10) acres
Administrative	\$100	Less than one (1) acre: \$1,000 One (1) acre to five acres: \$1,200 Over five (5) acres to ten (10) acres: \$1,500 Greater than ten (10) acres: \$1,500 + \$50 per acre over ten (10) acres
Planned Development Stage I and Rezoning	\$1,500 + \$20 per acre	Less than one (1) acre: \$3,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres
Final Site Plan Review		
	Non-refundable fee	Refundable deposit
Full	\$500	Less than one (1) acre: \$3,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres
Sketch	\$500	Less than one (1) acre: \$1,500 One (1) acre to five acres: \$2,000 Over five (5) acres to ten (10) acres: \$2,500 Greater than ten (10) acres: \$2,500 + \$50 per acre over ten (10) acres
Administrative	\$100	Less than one (1) acre: \$1,000 One (1) acre to five acres: \$1,200 Over five (5) acres to ten (10) acres: \$1,500 Greater than ten (10) acres: \$1,500 + \$50 per acre over ten (10) acres
Planned Development Stage I and Rezoning	\$1,500 + \$20 per acre	Less than one (1) acre: \$3,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres

\$ 4500.00 FEE TOTAL

### V. APPLICANT SIGNATURE

  
 Applicant Signature

JASWINDER S. SANDHU  
 Print Name

05-09-2023  
 Date

**SPECIAL CONDITIONAL USE/  
 USES SUBJECT TO SPECIAL  
 CONDITIONS APPLICATION**

**I. PROJECT LOCATION**

Address: 6630 Rawsonville Road Parcel ID #: K-11-25-400-014 Zoning L-M  
 Lot Number: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
 Describe proposed use: Freight terminal with accessory use for minor repair and maintenance  
of truck with work done in an enclosed building

**II. APPLICANT/PROPERTY OWNER**

Applicant: Motown Holdings Inc Phone: 734-931-2313  
 Address: 6630 Rawsonville Road City: Belleville State: MI Zip: 48111  
 Property Owner (if different than applicant): \_\_\_\_\_ Phone: \_\_\_\_\_  
 Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

**III. FEES**

Total: \$ <u>2,000.00</u>	<b>Breakdown of fee:</b>	<b>Non-refundable:</b>	<b>\$1,000</b>
		<b>Refundable:</b>	<b>\$1,000</b>

**IV. APPLICANT SIGNATURE**

The following are attached to this application:

- Name(s) and address(es) of all record owner(s) and proof of ownership.  
 If applicant is not the fee-simple owner, the owner's signed authorization for application must be attached to this application.
- Scaled and accurate survey drawing, correlated with a legal description and showing all existing buildings, drives and other improvements.
- Section of Zoning Ordinance involved in this request 2122.(1): Article IV Section 420
- [Daycare only]
- Copy of State license.
- Copy of inspection reports.
- Drawing or pictures of the house layout, showing the rooms that you will utilize for the daycare.

[Signature]  
 Applicant Signature

JASWINDER S SANDHU  
 Print Name

05-09-2023  
 Date

Approved  
 Denied

\_\_\_\_\_  
 Zoning Administrator Signature

\_\_\_\_\_  
 Print Name

\_\_\_\_\_  
 Date

*Please note: Application cannot be appealed to the Board of Appeals. If denied by the Planning Commission, re-application can be made to the Planning Commission after 365 days, after the date of this application, except on the grounds of new evidence or proof of changed conditions found by the Planning Commission to be valid.*

**Charter Township of Ypsilanti**

**Office of Community Standards**

7200 S. Huron Drive, Ypsilanti, MI 48197

Phone: (734) 485-3943

Website: <https://ytown.org>

**OFFICE USE ONLY**

**All special conditional use applications**

- |   |  |
|---|--|
| <ul style="list-style-type: none"><li><input type="checkbox"/> The application is filled out in its entirety and includes the signature of the applicant and, if different than the applicant, the property owner.</li><li><input type="checkbox"/> Name(s) and address(es) of all record owner(s) and proof of ownership. If the applicant is not the property owner, written and signed permission from the property owner is required</li><li><input type="checkbox"/> A detailed description of the proposed use.</li><li><input type="checkbox"/> A site plan, if requested by the planning commission</li><li><input type="checkbox"/> Fees</li></ul> | <ul style="list-style-type: none"><li><input type="checkbox"/> Scaled and accurate survey drawing, correlated with a legal description and showing:<ul style="list-style-type: none"><li><input type="checkbox"/> All property lines and dimensions</li><li><input type="checkbox"/> All existing and proposed structures and dimensions</li><li><input type="checkbox"/> Locations of drives, sidewalks, and other paved areas on the property and on the adjacent streets</li><li><input type="checkbox"/> Location and dimensions of the nearest structures on adjacent properties</li><li><input type="checkbox"/> Easements and dimensions, if applicable</li></ul></li></ul> |
|---|--|

Request for special land uses permit:

Motown Holdings Inc. seeks approval from the Planning Commission for S.U.P. at 6630 Rawsonville Road for the proposed and permitted use of a Freight Terminal with a special land use for light vehicle maintenance of vehicles parked at this location.

The Petitioner expresses the following conditions of the S.U.P. are met by the proposed reuse of the property at this location and include;

1. The proposed use will be harmonious, allowable and in accordance with the objectives, intent, and purpose of this ordinance within the L-M Logistics and Manufacturing district for a freight terminal with light vehicle maintenance.
2. The proposal is compatible with a natural environment (local storm drainage) and existing and future land uses in the vicinity, adjacent neighbors currently operate truck dependent businesses.
3. Will be compatible with the Township master plans in that other existing trucking terminals exist throughout the L-M District along Rawsonville Road.
4. The property is currently served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage ways and structures, refuse disposal and in all cases the owner will be responsible for the establishment of the proposed use shall be able to provide adequately for such services already identified as somewhat inadequate e.g. storm-water management by upgrading the storm water system to allow for 100% infiltration back into the ground.
5. The proposed reuse is not detrimental, hazardous, or disturbing to existing or future neighboring uses and/or persons because it is similar to adjacent property and it serves the greater public welfare.
6. The proposed reuse is self-sustaining and will not create additional requirements at public costs for public facilities and services that will be detrimental to the economic welfare of the community.

**Charter Township of Ypsilanti**

**Office of Community Standards**

7200 S. Huron Drive, Ypsilanti, MI 48197

Phone: (734) 485-3943

Website: <https://ytown.org>

**NO TREE AFFIDAVIT  
APPLICATION**

**I. PROJECT LOCATION**

Address: 6630 Rawsonville Road City: Belleville State: MI Zip: 48111

Parcel ID #: K-11-25-400-014 Zoning LM Acres: 6.03

Name of Project/Proposed Development: Motown Holdings

**II. APPLICANT INFORMATION**

Applicant: Motown Holdings Phone: 734-931-2313

Address: 6630 Rawsonville Road City: Belleville State: MI Zip: 48111

Fax: N/A Email: jaysandhu492@yahoo.com

Builder/Contractor (if different than applicant): \_\_\_\_\_ Phone: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Fax: \_\_\_\_\_ Email: \_\_\_\_\_

**III. APPLICANT SIGNATURE**

By signing and dating this affidavit, the applicant hereby swears the following:

- The applicant desires to conduct the following activity: \_\_\_\_\_ with an estimated construction starting date of \_\_\_/\_\_\_/\_\_\_ on property within the Charter Township of Ypsilanti, described in *I. Project Location*
- The Applicant has obtained and examined a copy of the Ypsilanti Township Woodlands Protection Ordinance (attached)
- That said property does not contain any historic trees, specimen trees, endangered species of plant life, or any significant tree over 36" in diameter, measured at chest height.
- That said property does not contain a canopy cover of at least ten thousand (10,000) square feet formed by trees, a majority of which having a diameter of eight (8) inches or greater.
- That said property does not contain any primary or secondary linkage strips.
- That said property does not contain any trees, (at least 8" in diameter) that are located within 20 feet of the edge of a roadway.

Based on checking all the above, the applicant believes that said property does not come with the regulatory provision of the Ypsilanti Township Woodlands Protection Ordinance

Jay Sandhu  
Applicant Signature

JAY SANDHU 05-09-2023  
Print Name Date

STATE OF MICHIGAN )  
) ss.  
COUNTY OF Washtenaw

The foregoing instrument was acknowledged before me this 9 day of May, 2023, by Jay Sandhu of Motown Holdings

Deborah L Moore  
Deborah L Moore, Notary Public  
Washtenaw County, Michigan  
Acting in Washtenaw County, Michigan  
My Commission Expires: 7/22/2027

DEBORAH L. MOORE  
NOTARY PUBLIC - STATE OF MICHIGAN  
COUNTY OF WASHTENAW  
My Commission Expires July 22, 2027  
Acting in the County of Washtenaw



## Staff Report Zoning Ordinance Text Amendments

**September 26, 2023**

**RE: Public Hearing: Zoning Ordinance Text Amendments**

Since the Zoning Ordinance went into effect on **March 4, 2022**, staff has found errors, omissions, and corrections that need to be addressed with zoning text amendments. The proposed ordinance language changes are either indicated in red in the following report or, for the sake of clarity, the entire Article is attached. The following Sections of the Zoning Ordinance are under consideration for Zoning Text Amendments:

- Article 2, Section 201. – Definitions
- Article 4, Section 420. – Use Table
- Article 5, Section 504. – Neighborhood Corridors
- Article 5, Section 505. – Regional Corridors
- Article 5, Section 507. – Design Standards
- Article 11, Section 1155. – State-Licensed Residential Child and Adult Care Facilities
- Article 11, Section 1167. – Adaptive Reuse

**Article 2, Section 201. – Definitions**

*Adaptive Reuse: The development of a new use for an older building or for a building originally designed for a special or specific purpose.*

**Article 4, Section 420. – Use Table**

Business Districts Use Table	NB	GB	Notes
P = Permitted Use    SL-PC = Special Use Planning Commission Approval SL-TB = Special Use Township Board Approval    A = Accessory Use    — = Not permitted			
<b>Retail and Services</b>			
<i>Adaptive Reuse</i>	P / SL-PC	P/ SL-PC	Subject to conditions in Section 1167



**Article 5, Section 504. – Neighborhood Corridors**

<b>Neighborhood Corridors</b>
<b>Use Group 5</b>
<b>Misc. Uses:</b>
Adaptive Reuse, subject to regulations in Section 1167

**Article 5, Section 505. – Regional Corridors**

<b>Regional Corridors</b>
<b>Use Group 5</b>
<b>Misc. Uses:</b>
Adaptive Reuse, subject to regulations in Section 1167

**Article 5, Section 507. – Design Standards**

The location of buildings on corner lots is buried in the parking placement, orientation, and screening section, making it a regulation easy to miss. The requirement that *for a corner lot, the building shall be located in the corner of the lot adjacent to the intersection* should be moved out of the parking section and to the *Building placement orientation* paragraph.

Additionally, Carlisle Wortman Associates has asked that the following transparency standards be included in the design standards:

Transparency alternatives. The following alternatives may be used singularly or in combination for any side or rear facing facade which requires transparency. If used in combination, they may count toward no more than 50% of the transparency requirement. Transparency alternatives may be used but cannot be counted towards the transparency requirements for facades that face on a right-of-way.

- a. Wall design. Wall designs must provide a minimum of three of the following elements, occurring at intervals no greater than 25 feet horizontally and 10 feet vertically:
  - a. Expression of structural system and infill panels through change in plane not less than three inches.
  - b. System of horizontal and vertical scaling elements, such as: belt course, string courses, cornice, pilasters.



- c. System of horizontal and vertical reveals not less than one inch in width/depth.
- d. Variations in material module, pattern, and/or color.
- e. System of integrated architectural ornamentation.
- b. Outdoor dining/seating: inclusion of outdoor dining/seating located between the building and the primary street lot line.
- c. Permanent art: noncommercial art or graphic design of sufficient scale and orientation to be perceived from the public right-of-way and rendered in materials or media appropriate to an exterior, urban environment and permanently integrated into the building wall.

**Article 11, Sec. 1155. - State-licensed residential child and adult care facilities:**

Staff recommends that two amendments be made to Section 1155, State-licensed residential child and adult care facilities. First, under paragraph 1.B., the current zoning ordinance references State Licensing Rules R400.1131 to R400.1135 that presumably applied to building and fire code regulations for state-licensed child and adult care facilities. Staff cannot find these particular rules in the State of Michigan Administrative Code and believes these particular rules have been amended since the language was originally inserted into the township's zoning ordinance. A more efficient way to reference a state law or rule in the zoning ordinance is to simply reference "State of Michigan" law or rule and not referencing a specific rule or law that is likely to change, necessitating a change to the zoning ordinance. "State of Michigan" is currently used throughout the remainder of this section.

Second, paragraph 1.C. references the previous sign ordinance. This paragraph should be amended to reflect the current sign ordinance article.

Sec. 1155. - State-licensed residential child and adult care facilities:

1. State-licensed child and adult care facilities, as defined in Section 201, Definitions, shall meet the following regulations:
  - A. These facilities, except for adult/child family day care homes, shall be registered with Ypsilanti Township and shall continually have on file with the Township documentation of a valid license as required by the state.
  - B. Since the state law preempts in this area, these facilities shall be brought into compliance with all state building and fire codes pursuant to ~~State Licensing Rules R400.1131—R400.1135~~ State of Michigan licensing rules. Documentation of such compliance with state requirements shall be provided.
  - C. The site shall comply with the sign provisions of ~~Section 2109~~ Article 15.
  - D. Off-street parking shall be provided for the number of employees on site at any one time.





Site Development Regulations:

- A. Adult foster care family homes serving six (6) persons or less. A state-licensed adult foster care home, foster family home, or foster family group home serving six (6) persons or less shall be considered a residential use of property and a permitted use in all residential districts.
- B. Adult foster care small group homes serving between seven (7) and twelve (12) persons.
  - (1) A site plan, prepared in accordance with Article 9 shall be required to be submitted.
  - (2) The subject parcel shall meet the minimum lot area requirements for the zoning district in which it is located, provided there is a minimum site area of two thousand (2,000) square feet per adult, excluding employees and/or caregivers.
  - (3) The property is maintained in a manner that is consistent with the character of the neighborhood.
  - (4) One (1) off-street parking space per employee and/or caregiver shall be provided.
  - (5) Appropriate licenses with the State of Michigan shall be maintained.
- C. Adult foster care large group homes serving between thirteen (13) and twenty (20) persons.
  - (1) A separate drop-off and pickup area shall be required adjacent to the main building entrance, located off of a public street and the parking access lane, and shall be of sufficient size so as to not create congestion on the site or within a public roadway.
  - (2) A site plan, prepared in accordance with Article 9 shall be required to be submitted.
  - (3) The subject parcel shall meet the minimum lot area requirements for the zoning district in which it is located, provided there is a minimum site area of two thousand (2,000) square feet per adult, excluding employees and/or caregivers.
  - (4) The property is maintained in a manner that is consistent with the character of the neighborhood.
  - (5) One (1) off-street parking space per employee and/or caregiver and one (1) visitor be provided.
  - (6) Appropriate licenses with the State of Michigan shall be maintained.
- D. Adult foster care congregate facilities serving more than twenty (20) persons.
  - (1) A separate drop-off and pickup area shall be required adjacent to the main building entrance, located off of a public street and the parking access lane, and shall be of sufficient size so as to not create congestion on the site or within a public roadway.
  - (2) A site plan, prepared in accordance with Article 9 shall be required.



- (3) The subject parcel shall meet the minimum lot area requirements for the zoning in which it is located, provided there is a minimum site area of two thousand (2,000) square feet per adult, excluding employees and/or caregivers.
- (4) The property is maintained in a manner that is consistent with the character of the neighborhood.
- (5) One (1) off-street parking space per employee and/or caregiver and one (1) visitor shall be provided.
- (6) Appropriate licenses with the State of Michigan shall be maintained.
- (7) The maximum length of an uninterrupted building façade facing public streets and residentially zoned or used property shall be thirty (30) feet. Façade articulation or architectural design variations for building walls facing the street are required to ensure that the building is not monotonous in appearance. Building wall offsets (projections and recesses), cornices, varying building materials, or pilasters shall be used to break up the mass of a single building.
- (8) Such facilities may include multi-purpose recreational rooms, kitchens, and meeting rooms. Such facilities may also include medical examination rooms and limited space for ancillary services for the residents of the facility, such as barber and beauty facilities.

[\(Ord. No. 2011-476](#), § 20, 2-20-11)

### **Article 11, Section 1167. – Adaptive Reuse**

#### 1. Intent

The intent of this is to facilitate the retention and conversion of older, economically distressed, existing, underutilized, or historically significant buildings to viable uses. Reuse of existing buildings will help to reduce vacant space, create opportunities for new development, and reduce property degradation and blight. Encouraging the reuse of buildings is a sustainable practice to retain much of the energy that went into their initial construction and reduce greenhouse gas emissions. Specifically, the intent of this section is to:

- a. Provide regulations specifically tailored to encourage and promote the rehabilitation of older used and underutilized buildings.
- b. Provide for a mix of uses within said adaptive reuse developments which promote the economic revitalization of Ypsilanti Township.
- c. Promote the retention of older buildings and lands which enhance the image and preserve the heritage of Ypsilanti Township.
- d. Provide reasonable standards for the blending of new construction with existing buildings, so as to allow quality development of older structures within contemporary development and building standards.



2. **Qualifying Criteria.** To encourage and incentivize the adaptive reuse of buildings, this section permits a greater allowance of land uses and allows specific zoning relaxations than the underlying zoning district. The provisions of this section are intended to modify the standards otherwise applied to the site by its underlying zoning district. Unless specifically modified by this chapter, all other standards adopted shall apply.

Projects must meet the following criteria to be an eligible adaptive reuse project:

- a. Project site shall be located in a NB, Neighborhood Commercial, GB, General Commercial, Regional Commercial Form-Based district, Neighborhood Corridor Form-Based district, or the adaptive reuse of a civic building or public-school building in any district.
- b. Applies to any building that is at least 20 years old and that was constructed in accordance with building and zoning codes in effect at the time of construction.
- c. The project results in a change of use in all or a portion of the existing building.
- d. Existing building may not be destroyed by any means to the extent of more than fifty (50) percent of its replacement cost.

3. **Allowances**

- a. **Setbacks.** Existing building setbacks may remain and shall be considered legally nonconforming, but no further encroachments shall be permitted into any nonconforming setback.
- b. **Height.** The height of the structure, if it exceeds the maximum height of the zoning district, may remain and shall be considered legally nonconforming. Any rooftop construction needed for building circulation, drainage, ventilation, utilities, or passive recreation shall be included within the height exemption. This height exemption does not include new residential or commercial floor area.
- c. **Loading Zone.** A new loading zone shall not be required if the existing building does not have an existing loading zone.
- d. **Parking.** New parking spaces shall not be required for any converted use within the existing footprint of the building, but expansions to floor area shall be required to provide parking in accordance with section 610.

4. **Uses**

- i. **Permitted Uses:** Any use that is a permitted use in the in the underlying zoning district.
- ii. **Assembly Uses, Clubs, Banquet Halls and other such uses are not permitted.**
- iii. **The following uses shall be allowed as a Special Use- Planning Commission approval if they are within an adaptive reuse development:**
  1. Any use that is a Special-Use Planning Commission in the in the underlying zoning district
  2. Indoor Climate Controlled Self-Storage for reuse of buildings greater than 50,000 square feet.
  3. Retail greater than 20,000 sq/ft
  4. Commercial kennel/Pet Day Care
  5. Veterinary clinic/veterinary hospital
  6. Fitness, gymnastics, exercise centers, and indoor recreational facility
  7. Theatres
  8. Art Studios
  9. Trade Schools and other educational uses.



10. Offices and Flex Office Space
  11. Daycare
  12. Craft trades such as breweries, coffee roasters, bakeries, or culinary businesses.
- iv. Unless listed in this section, other uses are not permitted.
5. Specific conditions:
- a. The provisions of this zoning overlay are intended to modify the standards otherwise applied to the site by its underlying district. Unless specifically modified by this chapter, all other standards adopted for this site shall apply.
  - b. All adaptive reuse projects require site plan review as provided for in Article 9.
  - c. Adaptive Reuse Projects require a Development Agreement approved by the Township Board of Trustees.
  - d. Expansions to the floor area of an eligible building and new construction on the lot must comply with the dimensional requirements provided in the district in which it is located.
  - e. The following site elements must be brought into compliance:
    - i. Parking lot pavement/repairs
    - ii. Lighting as set forth in Section 1303.
    - iii. Landscaping as set forth in Section 1301.
  - f. Application shall make necessary façade improvements as required by ordinance.
  - g. The adaptive reuse project may include both additions and new construction.
  - h. Application shall include security camera and license plate readers.
  - i. The Planning Commission has the authority to require traffic, environmental, and other reports that aid the site plan review.