



REGULAR MEETING AGENDA

**Tuesday, September 12, 2023
6:30 P.M.**

If you need any assistance due to a disability, please contact the Planning Department at least 48 hours in advance of the meeting at planning@ypsitownship.org or 734-544-4000 ext. 1.

1. CALL TO ORDER
2. ROLL CALL
3. APPROVAL OF THE JULY 25, 2023, REGULAR MEETING MINUTES
4. APPROVAL OF AGENDA
5. PUBLIC HEARINGS
 - A. **3120 ELLSWORTH ROAD – K-11-07-300-004** – TO CONSIDER THE SPECIAL LAND USE REVIEW APPLICATION OF TAHANI ABD-ALMAJEEED TO PERMIT A GROUP DAYCARE HOME, PROVIDING CARE FOR UP TO TWELVE (12) CHILDREN, FOR A SITE ZONED R-4 ONE FAMILY RESIDENTIAL.
6. OLD BUSINESS
7. NEW BUSINESS
 - A. **PRELIMINARY SITE PLAN – TYLER ROAD COLD STORAGE – 2901 TYLER ROAD – PARCEL K-11-12-300-006** – TO CONSIDER THE SKETCH PRELIMINARY SITE PLAN APPLICATION OF ARM HOLDINGS, LLC, TO PERMIT THE CONSTRUCTION OF COLD STORAGE AND SHOP BUILDINGS ON A PARCEL ZONED I-C – INDUSTRIAL AND COMMERCIAL LOCATED AT 2901 TYLER ROAD, YPSILANTI, MI 48198.
 - B. **ZONING ORDINANCE TEXT AMENDMENT** – TO CONSIDER THE PROPOSED CHANGES TO THE FOLLOWING ZONING ORDINANCES:
 - 1) ARTICLE 2, SECTION 201. – DEFINITIONS.
 - 2) ARTICLE 4, SECTION 420. – USE TABLE.
 - 3) ARTICLE 5, SECTION 504. – NEIGHBORHOOD CORRIDORS.
 - 4) ARTICLE 5, SECTION 505. – REGIONAL CORRIDORS.
 - 5) ARTICLE 5, SECTION 507. – DESIGN STANDARDS.
 - 6) ARTICLE 11, SECTION 1155. – STATE-LICENSED RESIDENTIAL CHILD AND ADULT CARE FACILITIES.
 - 7) ARTICLE 11, SECTION 1167. – ADAPTIVE REUSE.
8. OPEN DISCUSSION FOR ISSUES NOT ON THE AGENDA
 - A. CORRESPONDENCE RECEIVED
 - B. PLANNING COMMISSION MEMBERS
 - C. MEMBERS OF THE AUDIENCE

Township Supervisor
Brenda L. Stumbo
Township Clerk
Heather Jarrell Roe
Township Treasurer
Stan Eldridge



**YPSILANTI
TOWNSHIP**
— PLANNING & ZONING DEPARTMENT —

Trustees
John Newman II
Gloria Peterson
Debbie Swanson
Ryan Hunter

9. TOWNSHIP BOARD REPRESENTATIVE REPORT
10. ZONING BOARD OF APPEALS REPRESENTATIVE REPORT
11. TOWNSHIP ATTORNEY REPORT
12. PLANNING DEPARTMENT REPORT
13. OTHER BUSINESS
14. ADJOURNMENT

Please Note: This meeting is being recorded.

**CHARTER TOWNSHIP OF YPSILANTI
PLANNING COMMISSION MEETING
Tuesday, July 25, 2023
6:30 pm**

COMMISSIONERS PRESENT

Bill Sinkule, Chair
Elizabeth El-Assadi, Vice-Chair
Gloria Peterson
Larry Doe
Muddasar Tawakkul
Bianca Tyson

Denny McLain

STAFF AND CONSULTANTS

Jason Iacoangeli AICP, Planning Director
Fletcher Reyher, Planning and Development Coordinator

i. CALL TO ORDER/ESTABLISH QUORUM

MOTION: Mr. Sinkule called the meeting to order at 6:30 pm.

ii. APPROVAL OF JUNE 2023 REGULAR MEETING MINUTES

MOTION: Mr. Tawakkul **MOVED** to approve the June 27, 2023, Meeting Minutes. The **MOTION** was **SECONDED** by Mr. Doe and **PASSED** by unanimous consent.

iii. APPROVAL OF AGENDA

MOTION: Mr. Doe **MOVED** to approve the proposed agenda. The **MOTION** was **SECONDED** by Mr. Tawakkul and **PASSED** by unanimous consent.

iv. PUBLIC HEARINGS

A. ZONING ORDINANCE TEXT AMENDMENT – TO CONSIDER THE PROPOSED CHANGES TO THE FOLLOWING ZONING ORDINANCES:

Mr. Iacoangeli gave an overview of the language changes for each proposed change to the Zoning Ordinances.

- 1) ARTICLE 4, SECTION 407. - RESIDENTIAL MULTIPLE-FAMILY: LOW DENSITY

2) ARTICLE 4, SECTION 408. - RESIDENTIAL MULTIPLE-FAMILY: MEDIUM DENSITY

- 2) ARTICLE 4, SECTION 409. - RESIDENTIAL MULTIPLE-FAMILY: HIGH DENSITY – Sections 407, 408, and 409 all receive the same changes. Single-family residential uses are permitted in the three residential multiple-family districts (RM-LD, RM-MD, and RM-HD) but the dimensional requirements do not contemplate setbacks for single-family residential uses, only multiple-family residential uses. Requiring a single-family residential dwelling to comply with the required 60-foot aggregate side yard setback, for example, of the RM-LD district makes most typical platted subdivision lots unbuildable except for variance approval. Mr. Iacangelo read the following language proposed to be added to Sec. 407, 408, and 409, “The expansion or construction of a single-family dwelling or accessory structure shall conform with the applicable minimum yard and setback requirements of the most comparable single-family zoning district.”
- 3) ARTICLE 4, SECTION 420. – INDUSTRIAL USES - There are updates to the code, changes to titles that will modernize and specify uses, and which land uses in specific zoning districts are being eliminated. There isn't a constitutional requirement for junkyards, which may be eliminated, though still allowed as a Conditional Use. There is an overview of green uses and the changes made in all districts to accommodate them, among other changes to the rest of the industrial-use zoning code.
- 4) ARTICLE 5, SECTION 506. – TOWN CENTER – This amendment deals with Use Group 2 which allows uses in group 1, 2, and 3 to be mixed vertically. This zoning ordinance intended to include group 4 to expand the number of uses allowed to be mixed.
- 5) ARTICLE 11 SECTION 1128. – TEMPORARY SIDEWALK, OUTDOOR AND TENT SALES FOR PRINCIPAL USE. – This amendment deals with the parking that needs to be provided. If someone has an outdoor sale and provides a large circus type tent, then the planning department must use the off-street parking standards to determine if they have enough parking. Usually, this is not an issue for a more significant shopping center.
- 6) ARTICLE 13, SECTION 1305. - FENCES AND WALLS – The current graphic will be eliminated because it's confusing. There are also changes about "through" lots and how privacy fencing should be allowed in the “rear yard” of through lots with an appropriate setback. Per the ordinance, through lots technically have two front yards which do not allow privacy fencing within the front yard setback.

- 8) ARTICLE 15, SECTION 1509. - SIGNS – This change is only regarding wall signs. The language will be changed from lot to unit to accommodate multiple units on the same lot. An update to prohibited signs is also included but will not affect murals throughout the township. This change is just to prohibit signs painted directly onto walls.

The Chair opened the Public Hearing for these proposed changes at 7:25pm. He asked anyone wishing to speak to approach the microphone and state their name and address for the record. Seeing no public comments, the Public Hearing was closed at 7:26pm eastern standard time.

MOTION: Mr. Tawakkul **MOVED** to accept the proposed changes to the zoning ordinances and recommend approval to the Township Board of Trustees. The **MOTION** was **SECONDED** by Mr. Doe and **PASSED** by unanimous consent.

v. **OLD BUSINESS**

Nothing to report.

vi. **NEW BUSINESS**

Nothing to report.

vii. **OPEN DISCUSSIONS FOR ISSUES NOT ON AGENDA**

A. **Correspondence received.**

Nothing to report.

B. **Planning Commission members**

Nothing to report.

C. **Members of the audience**

Nothing to report.

viii. **TOWNSHIP BOARD REPRESENTATIVE REPORT**

Nothing to report.

ix. **ZONING BOARD OF APPEALS REPRESENTATIVE REPORT**

Nothing to report.

x. **TOWNSHIP ATTORNEY REPORT**

Nothing to report.

xi. **PLANNING DEPARTMENT REPORT**

Mr. Iacoangeli informed the committee that two cases were held at the July 12, 2023, Zoning Board of Appeals meeting. One was an apartment office building, which was approved by the Planning Commission but tabled due to residents' concerns. The applicant will come back to the ZBA to address concerns in September. The second was the Comfort Inn and Suites Variance, which was approved at the July 12, 2023, Zoning Board of Appeals Meeting.

Mr. Iacoangeli also gave updates on projects occurring throughout the Township and was available for questions from the Commission.

xii. **OTHER BUSINESS**

Nothing to report.

xiii. **ADJOURNMENT**

MOTION: Ms. El-Assadi **MOVED** to adjourn at 7:38 pm. The **MOTION** was **SECONDED** by Mr. Doe and **PASSED** by unanimous consent.

Respectively Submitted by Minutes Services.



Staff Report
Group Daycare Home
Special Conditional Use Application
3120 Ellsworth Road, Ypsilanti, MI 48197

September 12, 2023

CASE LOCATION AND SUMMARY

The Office of Community Standards received an application for special conditional use permit for the purpose of allowing a Group Day Care Home, providing care for up to twelve (12) children, for a site zoned R-4 One Family Residential, located at 3120 Ellsworth Road, Ypsilanti, MI 48197, Parcel K-11-07-300-004.

OWNER/APPLICANT

Tahani Abd-Almajeed,
3120 Ellsworth Road, Ypsilanti, MI 48197

CROSS REFERENCES

Zoning Ordinance citations:

- Article 4 – District Regulations: Sec. 420. – Residential Use Table
- Article 10 – Special Land Use: Sec. 1003. – Standards for Special Land Uses
- Article 11 – Specific Provisions: Sec. 1155. – State-Licensed Residential Child and Adult Care Facilities

Michigan Zoning Enabling Act (ZEA) citation:

- MCL 125.3206 Residential use of property; adult foster care facilities; family or group childcare home

SUBJECT SITE USE, ZONING AND COMPREHENSIVE PLAN

The subject site is a 1-acre parcel, zoned R-4 One Family Residential, located adjacent to the Roundtree Apartment complex and Fortis Academy Charter School. The site is a one-story 2,088 square foot single-family residential dwelling with an attached two-car garage. The site is zoned, developed, and used for single-family residential purposes. The front façade faces Ellsworth Road, and the driveway entrance is on Ellsworth Road. The two-car garage faces South.

Township Supervisor
Brenda L. Stumbo
Township Clerk
Heather Jarrell Roe
Township Treasurer
Stan Eldridge



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The applicant currently operates a family day care home (1-6 children) in the Township located at the same address (3120 Ellsworth Road, Ypsilanti, MI 48197) with an active State of Michigan License with an expiration date of 09/28/2023. Both the Township Zoning Ordinance and the State of Michigan define a family day care home as *a private home in which at least one but less than seven children are received for care and supervision for periods of less than 24 hours a day, unattended by a parent or legal guardian, except children related to an adult member of the family by blood, marriage, or adoption. It includes a home that gives care to an unrelated child for more than four weeks during a calendar year.*

If approved, the special conditional use request would permit the applicant to establish a Group Day Care Home with *more than six but no more than 12 children.*

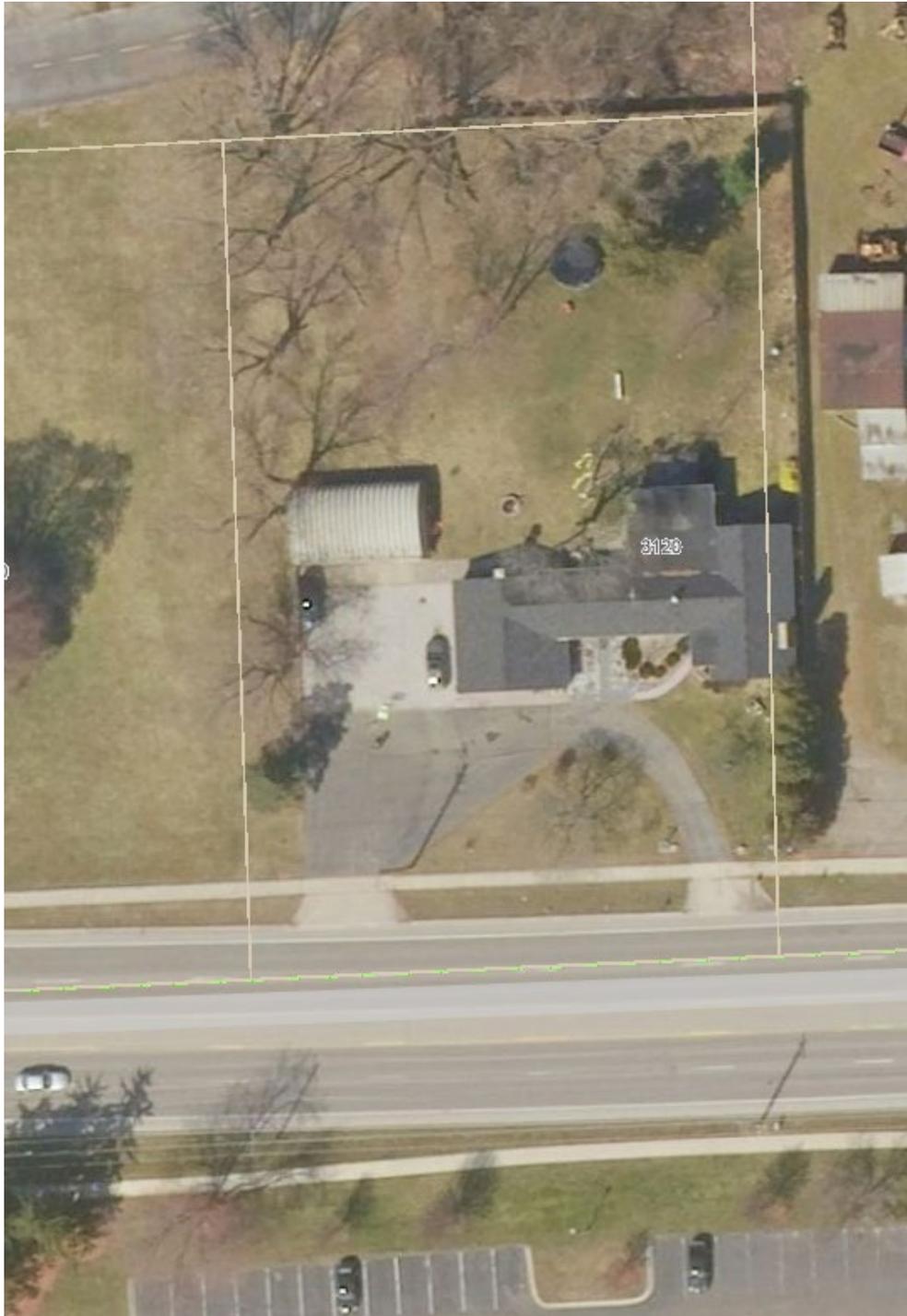
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3120 Ellsworth Road, Ypsilanti, MI 48197 – Aerial Photograph





Staff confirmed August 10, 2023 that site conditions are as depicted in BS&A / Google Street View

Google Street View – April 2023 – View from Ellsworth



Direction	Use	Zoning	Master Plan
North	Residential	R-4	Neighborhood Preservation
South	Residential	RM-MD	Neighborhood Transition
East	Residential	R-4	Neighborhood Preservation
West	Residential	R-4	Neighborhood Preservation

SITE HISTORY

The site is currently used for a family day care home (1-6 children). The applicant is now seeking approval from the Planning Commission for a special use permit to establish a group day care home (7-12 children).

NATURAL FEATURES

No natural features will be impacted by this proposed project.



PROJECT ANALYSIS

The plan has been reviewed by Township staff. We offer the following comment for your consideration.

Per Sec. 420 of the township's zoning ordinance, prior to the establishment of a group daycare home (7-12 children), the applicant must apply for and obtain the necessary special conditional use permit. The applicant must meet or exceed the requirements noted within Sec. 1155 in addition to any other applicable State regulations.

Section 125.3206(4) of the ZEA stipulates that a group childcare home **shall** be issued a special use permit, conditional use permit, or other similar permit if the group childcare home meets all of the following standards:

- (4) For a county or township, a group childcare home shall be issued a special use permit, conditional use permit, or other similar permit if the group childcare home meets all of the following standards:
 - (a) Is located not closer than 1,500 feet to any of the following:
 - (i) Another licensed group childcare home.
 - (ii) An adult foster care small group home or large group home licensed under the adult foster care facility licensing act, 1979 PA 218, MCL 400.701 to 400.737.
 - (iii) A facility offering substance use disorder services to 7 or more people that is licensed under part 62 of the public health code, 1978 PA 368, MCL 333.6230 to 333.6251.
 - (iv) A community correction center, resident home, halfway house, or other similar facility that houses an inmate population under the jurisdiction of the department of corrections.

Staff comment:

The applicant meets all the standards above. The closest licensed group daycare home is 2,740 ft. away located at 3541 Cloverlawn Ave, Pittsfield Township (Amys Home Daycare).

- (b) Has appropriate fencing for the safety of the children in the group child care home as determined by the local unit of government.



Staff comment: State regulations do not require the applicant to have an outdoor play structure on the property. Per the application submitted by Tahani Abd-Almajeed, the rear yard is fenced in with a 6' tall wooden privacy fence and a play structure is available for children to use.

Mich. Admin. Code R. 400.1920: (1) A childcare home shall provide a clean, safe, and hazard-free outdoor play area on the premises or within a reasonable walking distance of the home.

(2) The Play area size must be 1 of the following:

(a) Not less than 400 square feet for a family childcare home.

(b) Not less than 600 square feet for a group childcare home.

The applicant will utilize the rear yard for a play area. The rear yard is approximately 16,552 sq. ft.

- (c) Maintains the property consistent with the visible characteristics of the neighborhood.

Staff comment: The standard is met. The applicant has not proposed any changes to the exterior of the home and is consistent with the characteristics of the neighborhood.

- (d) Does not exceed 16 hours of operation during a 24-hour period. The local unit of government may limit but not prohibit the operation of a group childcare home between the hours of 10 p.m. and 6 a.m.

Staff comment: The standard is met. The applicant proposes operating five (5) days a week from 7:00 a.m. to 6:00 p.m. (11 hours).

- (e) Meets regulations, if any, governing signs used by a group childcare home to identify itself.

Staff comment: The standard is met. No signs are proposed. Any proposed sign would need to meet Ordinance requirements found in Article 15 – Signs.

- (f) Meets regulations, if any, requiring a group childcare home operator to provide off-street parking accommodations for his or her employees.



Staff comment: The standard is met. Sec. 1205 of the township's zoning ordinance requires that one (1) space be provided per six (6) clients; plus one (1) space per employee at time of peak shift.

The applicant will have two (2) assistant caregivers. The subject property complies with a one-car garage, and two (3) off-street parking spaces in the driveway for a total of four (4) off-street parking spaces.

The township's zoning ordinance Sec. 1155 provides for additional requirements for state-licensed residential child and adult care facilities. Such uses shall meet the following regulations:

- a. These facilities, except for adult/child family day care homes, shall be registered with the Ypsilanti Township Community Development Department and shall continually have on file with the township documentation of a valid license as required by the state.

Staff comment: If approved, the group day care home shall register with the Ypsilanti Township Community Development Department and shall continually have on file with the Township documentation of a valid license as required by the state.

- b. Since the state law preempts in this area, these facilities shall be brought into compliance with all state building and fire codes pursuant to State Licensing Rules R400.1131—R400.1135. Documentation of such compliance with state requirements shall be provided.

Staff comment: If approved, the group day care home shall be brought into compliance with all state building and fire codes pursuant to State Licensing Rules R400.1831—R400.1835. Documentation of such compliance with state requirements shall be provided to the Office of Community Standards.

- c. The site shall comply with the sign provisions of sec. 1509.

Staff comment: No signs are proposed.



- d. Off-street parking shall be provided for the number of employees on site at any one time.

Staff comment: Township zoning ordinance requires that two (2) parking spaces be provided for the dwelling unit and one (1) addition space for each caregiver. The applicant will have two (2) assistant caregivers. The subject property complies with a one-car garage and two (3) off-street parking spaces in the driveway for a total of four (4) off-street parking spaces.

- e. If located in a single-family residential district, the building shall have an appearance which is nonintrusive and consistent in color, materials, roof-line and architecture, as determined by the planning commission.

Staff comment: The applicant has not proposed any changes to the exterior of the home. The subject property is consistent in appearance with other single-family homes in the neighborhood.

- f. Documentation of sufficient indoor classroom, crib or play area meeting state requirements shall be provided. Documentation of approved areas, as licensed by the state, shall be provided.

Staff comment: The applicant provided documentation of the layout of the home. The documentation of the approved areas shall be licensed by the State.

- g. There shall be sufficient outdoor play area to meet state regulations. All required outdoor play areas shall be fenced with a four-foot tall fence, provided that no fence shall be located in a front yard.

Staff comment: There is an enclosed rear yard. The allocated area meets state size requirements.

Township Zoning Ordinance Section 1003. – Standards for Special land uses:

The Planning Commission shall review the particular circumstances and facts of each proposed use in terms of the following standards and required findings, and with respect to any additional standards set forth in the ordinance. The Planning Commission shall



find and report adequate data, information, and evidence showing that the proposed use meets all required standards and:

- a. Will be harmonious, and in accordance with the objectives, intent, and purpose of this ordinance; and

Staff comment: The subject property is harmonious with the objectives, intent, and purpose of this ordinance and the proposed special conditional use is not proposing to be contrary to the ordinance.

- b. Will be compatible with a natural environment and existing and future land uses in the vicinity; and

Staff comment: The subject property is compatible with the natural environment and existing and future land uses and the proposed special conditional use is not proposing to be contrary to the ordinance.

- c. Will be compatible with the township master plans; and

Staff comment: The subject property and proposed use would be compatible with the Township Master Plans. The property is zoned R-4, Residential, and the future land use designation is Neighborhood Preservation.

- d. Will be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage ways and structures, refuse disposal, or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately for such services; and

Staff comment: The subject property is an existing home and is served by essential public services.

- e. Will not be detrimental, hazardous, or disturbing to existing or future neighboring uses, persons, property, or the public welfare; and

Staff comment: The location of the proposed Group Day Care Home is a safe environment for this type of use. The location of the daycare is on Ellsworth Road, it is a high traffic road with different residential and commercial uses. It should be



noted that the play area is located away from the road. This use will not be detrimental to the neighborhood, future uses, or public welfare. The applicant is providing an essential service to working parents in the community.

- f. Will not create additional requirements at public costs for public facilities and services that will be detrimental to the economic welfare of the community.

Staff comment: The proposed use would likely not create additional requirements at public costs for public facilities and services that will be detrimental to the economic welfare of the community.

SUGGESTED MOTIONS

The following suggested motions are provided to assist the Commission in making the desired motion of their choice. The Commission may use, add, or reject any conditions suggested herein as they deem appropriate.

Motion to approve:

I move to approve the special conditional use permit request of Tahani Abd-Almajeed for the purpose of allowing a Group Daycare Home, providing care for up to twelve (12) children, for a site zoned R-4, Residential, located at 3120 Ellsworth RD, parcel, K-11-07-300-004 with the following conditions:

1. The applicant shall agree to enter into a special conditional use agreement outlining the following conditions:
 - a. The applicant shall supply, prior to operation of a group day care home, to the Office of Community Standards a daycare application and all documentation as required by the daycare application, including but not limited to, scaled and accurate survey drawing, correlated with a legal description and showing all existing buildings, drives, and other improvements; copy of state license; copy of inspection reports, drawings or pictures of the house layout, showing the rooms that will be utilized for the daycare.
 - b. Subject site shall be brought into compliance with all state building and fire codes pursuant to state licensing rules.
 - c. Use shall comply with township sign ordinance.
 - d. Required off-street parking shall be provided during hours of operation.
 - e. An outdoor play area shall be provided pursuant to state licensing rules.

Township Supervisor
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— PLANNING & ZONING DEPARTMENT —

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2. For the safety of all occupants and upon sufficient notice, the applicant shall permit, prior to operation of a group day care home, the dwelling to be inspected by the Township Building official and/or Fire Marshal to ensure compliance with the adopted property maintenance code.

Motion to table:

I move to table the special conditional use permit request of Tahani Abd-Almajeed for the purpose of allowing a Group Daycare Home, providing care for up to twelve (12) children, for a site zoned R-4, Residential, located at 3120 Ellsworth RD, parcel, K-11-07-300-004 in order to consider the comments presented during this public hearing and to further allow the applicant to resolve the issues noted during this public hearing.

Motion to deny:

I move to deny the special conditional use permit request of Tahani Abd-Almajeed for the purpose of allowing a Group Daycare Home, providing care for up to twelve (12) children, for a site zoned R-4, Residential, located at 3120 Ellsworth RD, parcel, K-11-07-300-004 following reasons (Commissioner to insert reasons for denial):

Respectfully Submitted,

Fletcher Reyher

Planning and Development Coordinator



**MICHIGAN ZONING ENABLING ACT (EXCERPT)
Act 110 of 2006**

125.3206 Residential use of property; adult foster care facilities; family or group child care homes.

Sec. 206.

(1) Except as provided in subsection (2), each of the following is a residential use of property for the purposes of zoning and a permitted use in all residential zones and is not subject to a special use or conditional use permit or procedure different from those required for other dwellings of similar density in the same zone:

(i) A state licensed residential facility.

(ii) A facility in use as described in section 3(4) (k) of the adult foster care facility licensing act, 1979 PA 218, MCL 400.703.

(2) Subsection (1) does not apply to adult foster care facilities licensed by a state agency for care and treatment of persons released from or assigned to adult correctional institutions.

(3) For a county or township, a family child care home is a residential use of property for the purposes of zoning and a permitted use in all residential zones and is not subject to a special use or conditional use permit or procedure different from those required for other dwellings of similar density in the same zone.

(4) For a county or township, a group child care home shall be issued a special use permit, conditional use permit, or other similar permit if the group child care home meets all of the following standards:

(a) Is located not closer than 1,500 feet to any of the following:

(i) Another licensed group child care home.

(ii) An adult foster care small group home or large group home licensed under the adult foster care facility licensing act, 1979 PA 218, MCL 400.701 to 400.737.

(iii) A facility offering substance use disorder services to 7 or more people that is licensed under part 62 of the public health code, 1978 PA 368, MCL 333.6230 to 333.6251.

(iv) A community correction center, resident home, halfway house, or other similar facility that houses an inmate population under the jurisdiction of the department of corrections.

(b) Has appropriate fencing for the safety of the children in the group child care home as determined by the local unit of government.

(c) Maintains the property consistent with the visible characteristics of the neighborhood.

(d) Does not exceed 16 hours of operation during a 24-hour period. The local unit of government may limit but not prohibit the operation of a group child care home between the hours of 10 p.m. and 6 a.m.

(e) Meets regulations, if any, governing signs used by a group child care home to identify itself.



(f) Meets regulations, if any, requiring a group child care home operator to provide off-street parking accommodations for his or her employees.

(5) For a city or village, a group child care home may be issued a special use permit, conditional use permit, or other similar permit.

(6) A licensed or registered family or group child care home that operated before March 30, 1989 is not required to comply with this section.

(7) This section does not prohibit a local unit of government from inspecting a family or group child care home for the home's compliance with and enforcing the local unit of government's zoning ordinance. For a county or township, an ordinance shall not be more restrictive for a family or group child care home than 1973 PA 116, MCL 722.111 to 722.128.

(8) The establishment of any of the facilities listed under subsection (4)(a) after issuance of a special use permit, conditional use permit, or other similar permit pertaining to the group child care home does not affect renewal of that permit.

(9) This section does not prohibit a local unit of government from issuing a special use permit, conditional use permit, or other similar permit to a licensed group child care home that does not meet the standards listed under subsection (4).

(10) The distances required under subsection (4)(a) shall be measured along a road, street, or place maintained by this state or a local unit of government and generally open to the public as a matter of right for the purpose of vehicular traffic, not including an alley.

RECEIVED

BY _____

AUG 07 2023

Charter Township of Ypsilanti
Office of Community Standards
7200 S. Huron Drive, Ypsilanti, MI 48197
Phone: (734) 485-3943
Website: <https://vtown.org>

YPSILANTI TOWNSHIP
OCS

DAYCARE APPLICATION

I. PROJECT LOCATION

Address: 3120 Ellsworth rd Parcel ID #: K-11-07-300-004 zoning _____

Lot Number: _____ Subdivision: _____

Describe proposed use: Living and business home day care

If you are using the basement, note the size of the windows: _____

Names and ages of the helpers: 15, 16

Days and hours of operation: 7 Am 6 pm

Is the backyard fenced? (Requirement of the Township is that, at a minimum, the play area must be fenced).

Yes
 No

II. APPLICANT/PROPERTY OWNER

Applicant: Tahani Abd Almajeed Phone: 7346781239

Address: 3120 Ellsworth rd City: Ypsilanti State: _____ Zip: 48197

Property Owner (if different than applicant): _____ Phone: _____

Address: _____ City: _____ State: MI Zip: 48197

III. FEES

Total: \$ _____ Breakdown of fee: _____ Group day care home: \$100

IV. APPLICANT SIGNATURE

The following are attached to this application:

- Name(s) and address(es) of all record owner(s) and proof of ownership.
 - If applicant is not the fee-simple owner, the owner's signed authorization for application must be attached to this application.
- Scaled and accurate survey drawing, correlated with a legal description and showing all existing buildings, drives and other improvements.
- Section of Zoning Ordinance involved in this request 2122.(1): _____
- Copy of State license.
- Copy of inspection reports.
- Drawing or pictures of the house layout, showing the rooms that you will utilize for the daycare.

Tahani
Applicant Signature

Tahani Abd Alrazaq Abd Almajeed
Print Name

Aug 5 / 23
Date

Approved
 Denied

Zoning Administrator Signature Print Name Date

Please note: Application cannot be appealed to the Board of Appeals. If denied by the Planning Commission, re-application can be made to the Planning Commission after 365 days, after the date of this application, except on the grounds of new evidence or proof of changed conditions found by the Planning Commission to be valid.

All daycare applications	
<ul style="list-style-type: none"> <input type="checkbox"/> The application is filled out in its entirety and includes the signature of the applicant and, if different than the applicant, the property owner. <input type="checkbox"/> Name(s) and address(es) of all record owner(s) and proof of ownership. If the applicant is not the property owner, written and signed permission from the property owner is required <input type="checkbox"/> A detailed description of the proposed use. <input type="checkbox"/> Fees <input type="checkbox"/> Section of Zoning Ordinance involved in this request 2122.(1) <input type="checkbox"/> Copy of State license. <input type="checkbox"/> Copy of inspection reports. <input type="checkbox"/> Description of proposed use, including: <input type="checkbox"/> Size of basement windows, if applicable <input type="checkbox"/> Names and ages of the helpers. <input type="checkbox"/> Days and hours of operation. <input type="checkbox"/> Indication if the backyard is fenced or not (requirement of the Township is that, at a minimum, the play area must be fenced). 	<ul style="list-style-type: none"> <input type="checkbox"/> Scaled and accurate survey drawing, correlated with a legal description and showing: <ul style="list-style-type: none"> <input type="checkbox"/> All property lines and dimensions <input type="checkbox"/> All existing and proposed structures and dimensions <input type="checkbox"/> Locations of drives, sidewalks, and other paved areas on the property and on the adjacent streets <input type="checkbox"/> Location and dimensions of the nearest structures on adjacent properties <input type="checkbox"/> Easements and dimensions, if applicable <input type="checkbox"/> Drawing or pictures of the house layout, showing the rooms that you will utilize for the daycare. <input type="checkbox"/> A site plan, if requested by the planning commission

MECHANICAL SAFETY INSPECTIO

AMERICAN HOME SERVICES

10140 Stony Creek Rd. Milan Mi 48160 (734) 646-4474

DATE 6/16/11

Customer name: Tahar Abdalmonem

Address: 3120 Ellsworth Rd. Ypsilanti, Mi. 48197

Furnace Name: Lennox

Model#: 623Q3-100-G Serial#: 59993 27543

Door Safety Switch Passed Failed

Test for gas leak: Furnace, Passed Failed

Water Heater, Passed Failed

Observed Performance:

Light up: Good Delayed Roll-out

Burner Performance: Blue flames with yellow

Blower Performance: Good Hard-start Failed

Test For Carbon Monoxide: Passed 0 ppm. Failed

Flu Draft: Smoke test Furnace OK Water Heater OK

Note any concerns or problems below.

Is the furnace performing as designed Yes No

Mechanical Contractor, License:

GRETCHEN WHITMER
GOVERNOR

STATE OF MICHIGAN
MICHIGAN DEPARTMENT OF LICENSING AND REGULATORY AFFAIRS
License for the Care of Children

Q559547

Facility Name:
Lili's Daycare
3120 Ellsworth Rd.
Ypsilanti, MI 48197

Licensee:
Tahani Abd-Almajeed
3120 Ellsworth Rd.
Ypsilanti, MI 48197

LICENSE NUMBER
DF810412870
EFFECTIVE DATE
03/29/2023

CAPACITY
6
EXPIRATION DATE
09/28/2023

STATUS
ORIGINAL

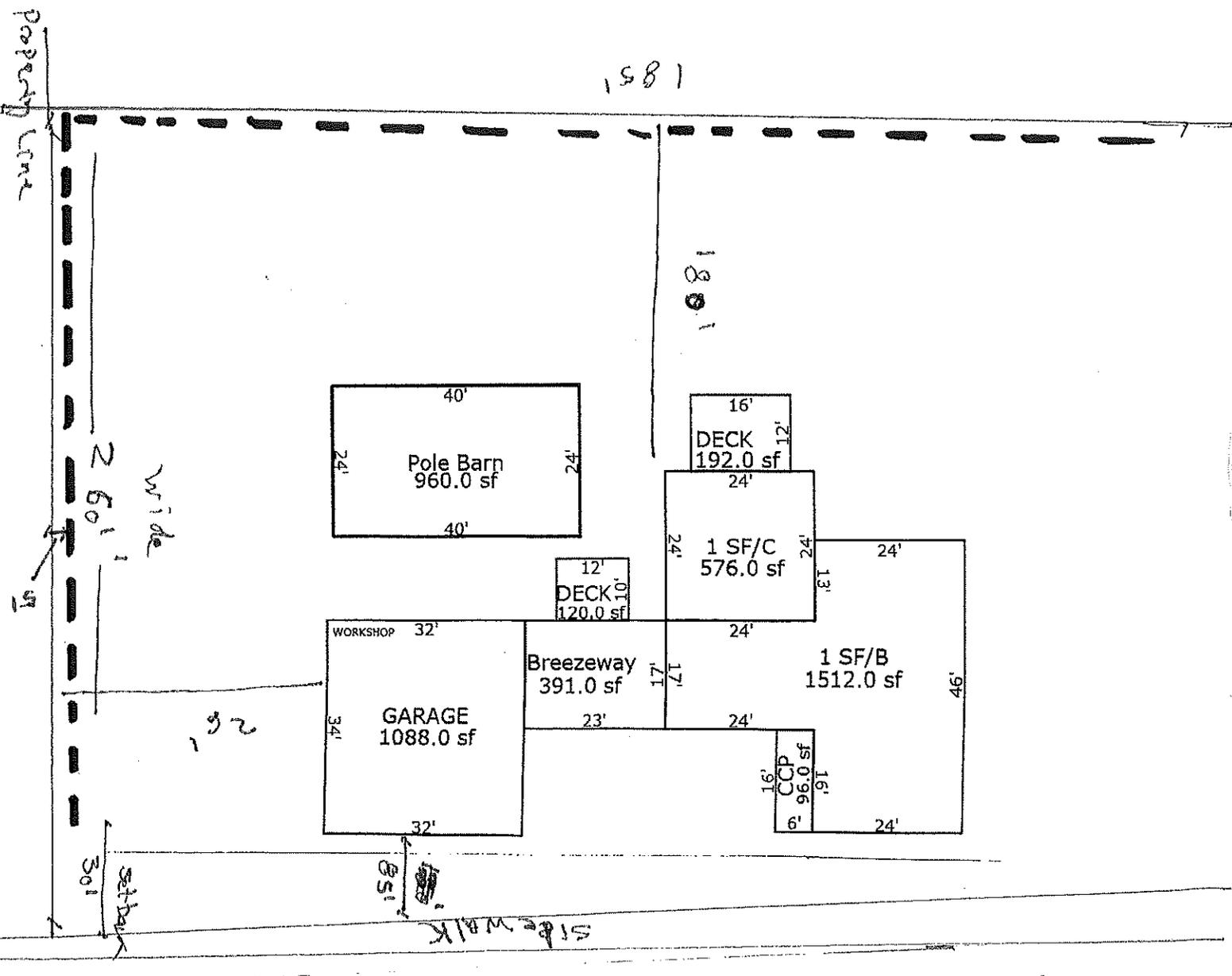
Issued in accordance with Act 116, Public Acts of 1973, as amended,
being the Child Care Organizations Act.

RECEIVED
BY _____

AUG 29 2022

YPSILANTI TOWNSHIP
OCS

New fence
6' High
Post 42" in ground
30' setback
from sidewalk
5' setback
from property
line West



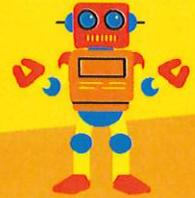
Bill Swarth

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**We provide
high-quality child care.**



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7 AM - 5 PM**

*** Ages: 0-12**



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contact@lilisdaycare.com

**3120 Ellsworth Road
Ypsilanti**















**Staff Report
Tyler Road Cold Storage
2901 Tyler Road, Ypsilanti, MI 48198
Site Plan**

September 12th, 2023

Applicant: International Turbine Industries

Project Name: Tyler Road Cold Storage

Plan Date: 10-22-2022

Location: 2901 Tyler Road, Ypsilanti, MI 48198 Parcel #K-11-12-300-006

Zoning: I-C – Industrial and Commercial

Action Requested: Preliminary Site Plan Consideration

Case Location and Summary

The Office of Community Standards is in receipt of an Administrative Site Plan Application from Jason Fleis representing International Turbine Industries requesting administrative site plan approval to construct a 7,900 sqft. Storage building, 2,100 sqft. storage building (future), 10,000 sqft. storage building (future), 45,000 sqft. storage building (future), water main extension, and entrance replacement at Tyler Road

Cross References

- Article 4, District Regulations
- Article 9, Site Plan Review
- Article 12, Access, Parking, Loading
- Article 13, Site Design Standards

Subject Site Use, Zoning and Comprehensive Plan

The Charter Township of Ypsilanti 2040 Master Plan designates this site for Industrial and Commercial, a designation for established industrial neighborhoods primarily north of Ford Lake and I-94. The intent is to preserve and strengthen the neighborhoods through investment, rehabilitation, and infill. The site is currently zoned I-C, Industrial and Commercial which follows the Master Plan designation.

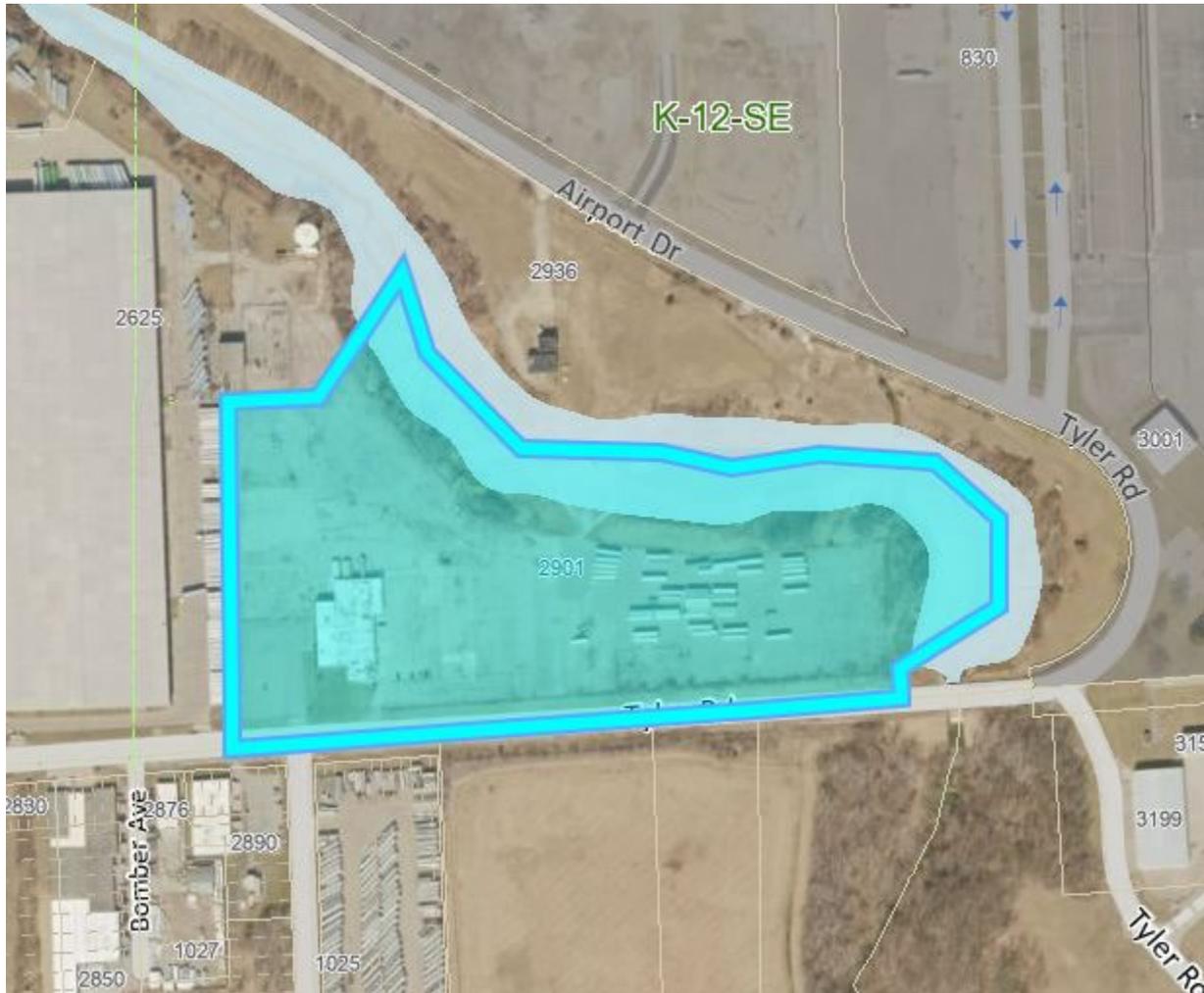
Township Supervisor
Brenda L. Stumbo
Township Clerk
Heather Jarrell Roe
Township Treasurer
Stan Eldridge



**YPSILANTI
TOWNSHIP**
— PLANNING & ZONING DEPARTMENT —

Trustees
John Newman II
Gloria Peterson
Debbie Swanson
Ryan Hunter

Aerial Photograph – 2020



Size of Subject Site:

Approximately 4.5 out of the 22 acres

Current Use of Subject Site:

Vacant

Current Zoning:

I-C. Industrial and Commercial District

Proposed use of Subject Property:

Cold Storage of airplane engine parts and tools



Adjacent Uses, Zoning and Comprehensive Plan

<i>Direction</i>	<i>Use</i>	<i>Zoning</i>	<i>Master Plan</i>
North	Airport	I-C Industrial and Commercial	Innovation and Employment District
South	Vacant/Storage	I-C Industrial and Commercial	Innovation and Employment District
East	Airport	I-C Industrial and Commercial	Innovation and Employment District
West	Warehouse	I-C Industrial and Commercial	Innovation and Employment District

Natural Features

Topography: The subject parcel is relatively flat.

Woodlands: The site does not have woodlands present. The applicant is willing to keep as many existing mature trees as possible for a landscape buffer.

Wetlands: There are no wetlands on the subject property. According to FEMA MAP 26161C0430E, Dated April 3, 2012, the site is in an area of minimal flood hazard.

Analysis

Setbacks: Sec 416. Industrial and Commercial district setbacks

There are no minimum lot size or max lot coverage. The max building height is 50 feet, with setbacks of:

- Front: 20 feet
- Side: 40 feet
- Rear 50 feet

The proposed buildings meet all setback requirements for the I-C district.

Parking and Loading:

Sec 1205. – Parking Requirements requires the following:

	Required	Provided
Industrial	21	21
Loading	1 per building	3



Cold Storage

It is required within the ordinance to provide parking even for warehouse uses. For building A1 and A2, there would need to be 6 spaces with one of the spaces being ADA accessible. Building B would need 6 spaces with one being ADA accessible. Finally, being C would need 10 spaces with one being ADA accessible.

Another option for parking is to have all spaces combined into one area, creating a total of a 21-space parking lot, which would still only require one ADA accessible parking spot.

When it comes to loading spaces for the proposed buildings, there needs to be 1 loading spot per building, with the required sized of those loading spaces being:

Sec 1207.2 “In any commercial or industrial district, a *loading* unloading space shall not be less than ten (10) feet in width and fifty-five (55) feet in length and, if a roofed space, not less than fifteen (15) feet in height.”

Parking Lot Patching / Asphalt Replacement:

Sec 903.3 – Completion of site design in accordance with approved final site plan:

It shall be the responsibility of the owner of a property for which final site plan approval has been granted to maintain the property in accordance with the approved site design on a continuing basis until the property is razed, or until new zoning regulations supersede the regulations upon which site approval was based, or until a new site design approval is sought. Such maintenance shall include all building and site elements depicted on the site plan including parking configuration, lighting, and landscaping. Any property owner who fails to maintain a site as approved shall be deemed in violation of the applicable use provisions of this Section and shall be subject to penalties.

Landscaping:

Sec 1301. – Landscaping Requirements

Street yard landscaping along Tyler Road must be maintained, with the removal of invasive brush and weeds, at the minimum.



Suggested motions: *The following suggested motions and conditions are provided to assist the Planning Commission in making the most appropriate motion for this application. The Commission may utilize, add, or reject any conditions suggested herein, as they deem appropriate.*

Motion to Table:

“I move to table the construction of a 7,900 sqft. Storage building, 2,100 sqft. storage building (future), 10,000 sqft. storage building (future), 45,000 sqft. storage building (future), water main extension, and entrance replacement located at 2901 Tyler Road, Ypsilanti, MI 48198 Parcel #K-11-12-300-006 to further consider the comments made during this meeting.”

Motion to Approve:

“I move to approve the construction of a 7,900 sqft. Storage building, 2,100 sqft. storage building (future), 10,000 sqft. storage building (future), 45,000 sqft. storage building (future), water main extension, and entrance replacement located at 2901 Tyler Road, Ypsilanti, MI 48198 Parcel #K-11-12-300-006. This motion is further made with the following conditions:

- 1. The applicant shall address all outstanding comments from reviewing agencies prior to Final Site Plan approval.*
- 2. The applicant shall obtain all applicable internal and outside agency permits prior to construction.*

Motion to Deny:

“I move to deny the construction of a 7,900 sqft. Storage building, 2,100 sqft. storage building (future), 10,000 sqft. storage building (future), 45,000 sqft. storage building (future), water main extension, and entrance replacement located at 2901 Tyler Road, Ypsilanti, MI 48198 Parcel #K-11-12-300-006 due to the following reasons:”

Respectfully submitted,

Lauren Doppke
Staff Planner

Planning Director's Report

Project Name: Tyler Road - Cold Storage Building

Location: 2901 Tyler Road, Ypsilanti, MI 48198

Date: 08-31-2023

- | | |
|---|---|
| <input type="checkbox"/> Full Preliminary Site Plan Review #
<input checked="" type="checkbox"/> Sketch Preliminary Site Plan Review # 2
<input type="checkbox"/> Administrative Preliminary Site Plan Review #
<input type="checkbox"/> Detailed Engineering/Final Site Plan Review #
<input type="checkbox"/> Special Use Permit
<input type="checkbox"/> Public Hearing | <input type="checkbox"/> Rezoning
<input type="checkbox"/> Tentative Preliminary Plat
<input type="checkbox"/> Final Preliminary Plat
<input type="checkbox"/> Final Plat Process
<input type="checkbox"/> Planned Development Stage I
<input type="checkbox"/> Planned Development Stage II |
|---|---|

Contact / Reviewer	Consultants, Departments, & Agencies	Approved	Approved with Conditions	Denied	N/A	See email/letter attached or comments below
Jason Iacoangeli, Planning Director	Township Planning Department	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Se letter dated 08-31-2023
Carlisle/Wortman Associates	Planning Consultant	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
OHM / Stantec	Engineering Consultant	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 08-25-2023
Steven Wallgren, Fire Marshal	Township Fire Department	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 08-30-2023
Dave Bellers, Building Official	Township Building Department	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Brian McCleery, Deputy Assessor	Township Assessing Department	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Scott Westover, Engineering Manager	Ypsilanti Community Utilities Authority	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 08-30-2023
Gary Streight, Project Manager	Washtenaw County Road Commission	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Theresa Marsik, Stormwater Engineer	Washtenaw County Water Resources Commission	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
James Drury, Permit Agent	Michigan Department of Transportation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Planning Director's Recommended Action:

At this time, the Tyler Road - Cold Storage Building project is eligible for Sketch Preliminary Site Plan consideration by the Planning Commission. This project is being placed on the Planning Commission Agenda for September 12, 2023 at the regularly scheduled meeting. It would be the Planning Department's recommendation that the Planning Commission grant Preliminary Site Plan approval as this project meets the conditions of the Township Zoning Ordinance for a development of this type. The approval should be contingent on the applicant addressing the remaining comments in the attached review letters. In addition, the applicant must seek approval approval from all outside agencies as required as part of the Final Site Plan / Detailed Engineering review. Lastly, the approval should be contingent on the applicant addressing the conditions of approval presented in the Planning Department's Staff Report / Planning Commission Meeting.

August 25, 2023

Mr. Jason Iacoangeli
Township Planning Director
Charter Township of Ypsilanti
7200 S. Huron River Drive
Ypsilanti, MI 48197

RE: Tyler Road Cold Storage
Preliminary Site Plan Review #2

Dear Mr. Iacoangeli:

We have completed the second preliminary site plan review of the plans dated October 5, 2022, with a latest revision date of July 28, 2023, and stamped received by OHM Advisors on August 15, 2023.

At this time, the plans are recommended for approval for the Planning Commission's consideration, contingent on the following comments being addressed. Preliminary detailed engineering comments have been provided to the applicant as a courtesy and shall be addressed prior to submitting detailed engineering plans for review.

A brief description of the project has been provided below (Section A), followed by our preliminary detailed engineering comments (Section B) and a list of anticipated required permits and approvals (Section C). Comments in Section D are detailed in nature, do not influence the overall site layout, and can be addressed during the detailed engineering drawing submittal.

A. PROJECT AND SITE DESCRIPTION

The applicant is proposing a 7,900 square-foot cold storage building at the existing site located at 2901 Tyler Road. A 45,000 square-foot shop building, a second 10,000 square-foot cold storage building, and a 2,100 square-foot cold storage building addition are also being proposed and will be constructed at a future date. All proposed buildings will be located on the eastern half of the site.

There is an existing building on-site that is currently serviced by connection to the existing 24-inch water main on the west side of the site. An 8-inch water main will be extended along the south side of the site to provide hydrant coverage to the proposed buildings. The water main will be looped and two (2) additional hydrants will be provided with the construction of the future shop building and the second cold storage building. The existing stormwater runoff is managed by a traditional underground conveyance system and ultimately outlets to the nearby Willow Run Creek. It is noted that no additional impervious surfaces are being proposed so changes to the stormwater management system are not required. No sanitary sewer improvements are proposed at this time.



B. PRELIMINARY DETAILED ENGINEERING PLAN COMMENTS

The following comments shall be addressed by the applicant during the detailed engineering drawing submittal, and do not affect the recommendation for approval to the Township of Ypsilanti Planning Commission. It should be noted that this is not an all-inclusive list and additional comments may be generated as new information is presented.

1. The applicant shall provide utility pipe profiles, including pipe diameter, material, length, slope, and hydraulic grade line (where applicable) for all proposed utilities (water, storm) on the plans.
2. The applicant shall provide spot elevations at all four (4) corners of the barrier-free parking space and access aisle. The applicant shall note that the cross-slope shall not exceed 2%, per ADA Standards.
3. The applicant shall provide a landscape plan within the plan set.
4. The applicant shall provide the applicable Ypsilanti Township/YCUA Standard Detail Sheets in the plan set. These can be obtained by emailing stacie.monte@ohm-advisors.com.

C. REQUIRED PERMITS & APPROVALS

The following outside agency reviews and permits will be required for the project. Copies of any correspondence between the applicant and the review agencies, as well as the permit or waiver, shall be sent to both the Township and OHM Advisors (email: stacie.monte@ohm-advisors.com).

- ▶ **Ypsilanti Community Utilities Authority (YCUA):** Review and approval of all water main improvements will be required.
- ▶ **Ypsilanti Township Fire Department:** Review and approval is required.
- ▶ **Washtenaw County Road Commission (WCRC):** Review and approval of all proposed work within the Tyler Road ROW is required.
- ▶ **Michigan Department of Environment, Great Lakes & Energy (EGLE):** An EGLE Act 399 permit will be required for construction of all public water main improvements.
- ▶ **Ypsilanti Township Office of Community Standards:** A Soil Erosion and Sedimentation Control permit shall be secured from the Ypsilanti Township Office of Community Standards.
- ▶ The Township's Planner will inspect the landscaping for this site.
- ▶ If dewatering should be needed, the contractor/applicant shall be responsible for obtaining necessary approvals from the Township and the Township Engineer, permission from all impacted adjacent properties and/or permits from MDOT, WCWRC's Office, or the WCRC.
- ▶ Record plans shall be provided to the Township Engineer following the completion of construction.

Should you have any questions regarding this matter, please contact this office at (734) 466-4580.

Sincerely,
OHM Advisors

Stacie L. Monte

Matthew D. Parks, P.E.

SLM/MDP

cc: Fletcher Reyher, Township Staff Planner
Doug Winters, Township Attorney
Steven Wallgren, Township Fire Marshall
File

CHARTER TOWNSHIP OF YPSILANTI FIRE DEPARTMENT

BUREAU OF FIRE PREVENTION

222 South Ford Boulevard, Ypsilanti, MI 48198



August 30, 2023

Jason Iacoangeli, Planning Director
Charter Township of Ypsilanti
7200 S. Huron River Drive
Ypsilanti, MI 48197

RE: Preliminary (non-residential) Site Plan Review #2
Project Name: Tyler Road Cold Storage
Project Location: 2901 Tyler Rd. Ypsilanti, MI 48198
Plan Date: 10/5/2022
Revised Plan Date: 4/10/2023
Job Number: 220618
Applicable Codes: IFC 2018
Engineer: The UMLOR Group
Engineer Address: 49287 West Road Wixom, MI 48393

Status of Review

Status of review: Approved as Submitted

Pages C1-C5 were reviewed.

Site Coverage - Hydrants

Comments: All future structures must comply with hydrant coverage of 250' when they are built. Future suppressed buildings must also have a standalone hydrant dedicated to the Fire Department Connection 40' from the FDC and no further than 100'.

Site Coverage - Access

Comments: A Knox box is required. Placement can be discussed at a future date.

Sincerely,

A handwritten signature in black ink that reads "Steve Wallgren".

Steve Wallgren, Fire Marshal
Charter Township of Ypsilanti Fire Department
CFPS, CFI I



YPSILANTI COMMUNITY UTILITIES AUTHORITY

2777 STATE ROAD
YPSILANTI, MICHIGAN 48198-9112
TELEPHONE: 734-484-4600
WEBSITE: www.ycua.org

August 30, 2023

VIA ELECTRONIC MAIL

Mr. Jason Iacoangeli, Planning Director
Office of Community Standards
CHARTER TOWNSHIP OF YPSILANTI
7200 S. Huron River Drive
Ypsilanti, MI 48197

Re: Preliminary (non-residential) Site Plan Review #2
2901 Tyler Road Cold Storage
Charter Township of Ypsilanti (Plan Date: 07-28-2023)

Dear Mr. Iacoangeli:

In response to the electronic mail message from your office dated August 15, 2023, we have reviewed the referenced plans with regards to water supply and wastewater system design. The plans are acceptable to YCUA for this stage of review.

As there are no water or sanitary uses proposed as part of the project, connection fees do not apply. Please note that the **the construction phase escrow deposit, Authority administration fee, and record plan guarantee**, must be paid to YCUA by the Applicant, with a receipt delivered to the Township, before either the building or soil and grading permit is issued. The construction phase escrow deposit and associated fees and deposits and the entity responsible for maintaining those accounts will be determined during the Detailed Engineering phase of the project in conjunction with your office and the Township Engineer. Should there be any questions please contact this office.

Sincerely,

SCOTT D. WESTOVER, P.E., Engineering Manager
Ypsilanti Community Utilities Authority

cc: Mr. Luke Blackburn, Mr. Sean Knapp, File, YCUA
Mr. Fletcher Reyer, Charter Township of Ypsilanti
Mr. Eric Copeland, Mr. Steve Wallgren, Township Fire Department
Mr. Matt Parks, P.E., Ms. Stacie Monte, Township Engineer
Mr. William Andrews, Applicant
Mr. Jason Fleis, P.E., Applicant's design engineer

July 28, 2023

Mr. Jason Iacoangeli
Township Planning Director
Charter Township of Ypsilanti
7200 S. Huron River Drive
Ypsilanti, MI 48197

RE: Tyler Road Cold Storage Preliminary Site Plan Review #1

Dear Mr. Iacoangeli

Attached please find revised plans for the above referenced Tyler Road Cold Storage project. We are in receipt of review comments from OHM comments dated July 11, 2023, Ypsilanti Charter Township Fire Department comments dated July 13, 2023, YCUA comments dated July 17, 2023, and Ypsilanti Charter Township Planning & Zoning Department comments dated July 25, 2023.

Below are the comments from the review letters as well as our responses and any corrective actions taken shown in **red** as necessary.

OHM Comments Dated July 11, 2023.

A. SITE PLAN COMMENTS

General

1. The applicant has provided some information on contamination and areas where pavement will be left in place and areas where it will be impacted. Due to various standards regarding pavement quality, stormwater management, and other green areas, the applicant shall provide additional detail and a narrative on the plans explaining what must be left in place and what needs to be done when handling contaminated soil. The narrative shall also address stormwater quality and the proposed ADS units. It is also recommended that anywhere where hard surface can be removed is considered for green space.

Contaminated soils handling notes and ADS filter performance information have been added to the plan set. Areas where hard surface can be removed have been revised accordingly resulting in an increase in green space along Tyler Road for the project.

Site Utilities

2. It is noted that the water main will be looped and two (2) additional hydrants will be provided with the construction of Buildings 2 and 3. The applicant shall show the proposed water main and watermain easement alignment on the plans for

preliminary review. It is recommended the proposed water main and water main loop surround the proposed buildings rather than cut in between buildings as shown. The water main alignment should also not interfere with proposed storage or parking of vehicles and, if possible, it should stay along the perimeter of site area. The applicant shall also provide valves to facilitate the future extension and they should be spaced approximately every 800 feet.

Noted. See response to YCUA comments included in this response.

3. The applicant shall note that all water main placed within the contaminated zone will require special EGLE approved gaskets and will need additional detail prior to submitting for the Act 399 Permit.

Note added to the plan set regarding EGLE approved gaskets within the contaminated zone.

Paving and Grading

4. The applicant shall show the pavement removal limits for construction of the proposed water main. The applicant shall also note if a trenchless method is being considered.

Pavement removal limits for construction are shown on the plan set. Trenchless method is not being considered on this project.

5. It is noted that the existing asphalt on-site is failing. It is recommended the applicant resurface the parking lot within the construction area. The applicant shall also provide a pavement repair detail for full depth and capping of existing asphalt on the plans, as well as where it will be applied.

The full depth replacement areas are shown on the plans and an asphalt detail has been provided. Mill and fill areas are shown with different hatching for clarity. Mill and fill is called for in the areas truck will be driving on per the Planning & Zoning Department comments. See response to Planning & Zoning Department comments included in this response.

6. The applicant shall provide notes referencing any fence line cleanup or additional landscaping along Tyler Road on all applicable plan sheets.

Fence line removal and replacement along with additional landscaping are now shown on the plan set.

Site Accessibility

7. The applicant shall review and revise the truck turning template (Sheet C3) as there currently appears to be a conflict with the truck turning movement and the proposed hydrant.

The truck turning has been revised and there is no longer a conflict with the proposed hydrant.

8. The applicant shall clarify if there is any existing or proposed parking, loading or unloading and outside storage.

Parking is now provided as required. Loading and unloading zones are now provided as required. Outside storage is not proposed for this project.

9. The applicant shall clarify if additional lighting is being proposed. If so, its location(s) shall be shown on the plans, including the electrical.

Exterior lighting is not being proposed for this project.

B. PRELIMINARY DETAILED ENGINEERING PLAN COMMENTS

The following comments shall be addressed by the applicant during the detailed engineering drawing submittal, and do not affect the recommendation for approval to the Township of Ypsilanti Planning Commission. It should be noted that this is not an all-inclusive list and additional comments may be generated as new information is presented.

1. The applicant shall provide utility pipe profiles, including pipe diameter, material, length, slope, and hydraulic grade line (where applicable) for all proposed utilities (water, storm) on the plans.

Noted.

2. The applicant shall label the proposed storm sewer under the east entrance drive, including its size, length, and material.

The storm sewer is under the east entrance drive has been labeled as requested.

3. The applicant shall clarify if any existing storm sewer is being removed. If so, the limits and a backfill detail shall be provided.

No storm sewer is proposed to be removed for this project.

4. The applicant shall provide additional detail on the proposed ADS units.

Noted. Filter performance is now included on the Site Plan. Unit specific details will be provided on the Engineering Plans.

5. The applicant shall provide a landscape plan within the plan set.

Noted.

6. The applicant shall provide the applicable Ypsilanti Township/YCUA Standard

Detail Sheets in the plan set. These can be obtained by emailing stacie.monte@ohm-advisors.com.

Noted.

C. REQUIRED PERMITS & APPROVALS

The following outside agency reviews and permits will be required for the project. Copies of any correspondence between the applicant and the review agencies, as well as the permit or waiver, shall be sent to both the Township and OHM Advisors (email: stacie.monte@ohm-advisors.com).

Ypsilanti Community Utilities Authority (YCUA): Review and approval of all water main improvements will be required.

Noted.

Ypsilanti Township Fire Department: Review and approval is required.

Noted.

Washtenaw County Road Commission (WCRC): Review and approval of all proposed work within the Tyler Road ROW is required.

Noted.

Michigan Department of Environment, Great Lakes & Energy (EGLE): An EGLE Act 399 permit will be required for construction of all public water main improvements.

Noted.

Michigan Department of Environment, Great Lakes & Energy (EGLE): An EGLE permit will be required for any work and/or stormwater discharge into the wetlands.

There are no wetlands impacted by this project, buildings are proposed in existing paved areas. There is not a proposed outlet to the wetland or changes to storm system.

Ypsilanti Township Office of Community Standards: A Soil Erosion and Sedimentation Control permit shall be secured from the Ypsilanti Township Office of Community Standards.

Noted.

The Township's Planner will inspect the landscaping for this site.

Note added to the Cover Sheet.

If dewatering should be needed, the contractor/applicant shall be responsible for obtaining necessary approvals from the Township and the Township Engineer, permission from all impacted adjacent properties and/or permits from MDOT, WCWRC's Office, or the WCRC.

Note added to the Cover Sheet.

Record plans shall be provided to the Township Engineer following the completion of construction.

Note added to the Cover Sheet.

Charter Township of Ypsilanti Fire Department Comments Dated July 13, 2023.

Status of Review: Approved as Submitted

Pages C1-C5 were reviewed.

Noted.

Site Coverage – Hydrants

Comments: All future structures must comply with hydrant coverage of 250' when they are built. Future suppressed buildings must also have a standalone hydrant dedicated to the Fire Department Connection 40' from the FDC and no further than 100'.

Noted.

Site Coverage – Access

Comments: A Knox box is required. Placement can be discussed at a future date.

Noted.

YCUA Comments Dated July 17, 2023.

In response to the electronic mail message from your office dated June 28, 2023, we have reviewed the referenced plans with regards to water supply and wastewater system design. The plans are acceptable to YCUA for this stage of review. However, the following comments need to be addressed by the Applicant and/or the Applicant's design engineer prior to Detailed Engineering plans being deemed acceptable to YCUA.

1. It is understood that a single hydrant is acceptable to the Township Fire Department for proposed buildings A and B but that additional hydrants and redundant source of water supply will be required when building C is constructed. This is acceptable to YCUA provided proposed hydrant H1 is the only

appurtenance installed on this main – no water services of any type will be allowed until the redundant source of supply is completed and in operation. In addition, the future water main required to provide the redundant source of supply to support additional hydrants should be shown on the plans and identified as such. It is anticipated that the future water main alignment will be very similar to that as presented on the draft site plan presented to YCUA and the Township Fire Department via electronic mail March 2, 2023, a copy of which is enclosed.

Noted.

2. Proposed hydrant H1 shall be installed perpendicular to the north-south alignment of the 8” diameter water main north of proposed building A with an 8” by 6” tee and proposed gate valve and box G1 north of the tee with an 8” diameter water main capped north of the gate valve and box for the future extension.

Proposed H1 is now proposed to be installed perpendicular to the 8” water main. An addition gate valve has been added per the Planning & Zoning Department comments. See response to Planning & Zoning Department comments included in this response.

As there are no water or sanitary uses proposed as part of the project, connection fees do not apply. Please note that **the construction phase escrow deposit, Authority administration fee, and record plan guarantee**, must be paid to YCUA by the Applicant, with a receipt delivered to the Township, before either the building or soil and grading permit is issued. The construction phase escrow deposit and associated fees and deposits and the entity responsible for maintaining those accounts will be determined during the Detailed Engineering phase of the project in conjunction with your office and the Township Engineer. Should there be any questions please contact this office.

Noted.

Ypsilanti Charter Township Planning & Zoning Department Comments Dated July 25, 2023.

Cold Storage:

It is required within the ordinance to provide parking even for warehouse uses. For building A1 and A2, there would need to be 6 spaces with one of the spaces being ADA accessible. Building B would need 6 spaces with one being ADA accessible. Finally, being C would need 10 spaces with one being ADA accessible.

Another option for parking is to have all spaces combined into one area, creating a total of a 21-space parking lot, which would still only require one ADA accessible parking spot.

When it comes to loading spaces for the proposed buildings, there needs to be 1 loading spot per building, with the required sized of those loading spaces being:

Sec 1207.2 “In any commercial or industrial district, a loading unloading space shall not be less than ten (10) feet in width and fifty-five (55) feet in length and, if a roofed space, not less than fifteen (15) feet in height.”

One area for parking provided, consisting of 21 parking stalls with one ADA accessible stall, is now shown on the plans. Three (3) 10’ width and 55’ length unloading spaces are now shown on the plans.

Parking Lot Patching / Asphalt Replacement:

Sec 903.3 – Completion of site design in accordance with approved final site plan:

It shall be the responsibility of the owner of a property for which final site plan approval has been granted to maintain the property in accordance with the approved site design on a continuing basis until the property is razed, or until new zoning regulations supersede the regulations upon which site approval was based, or until a new site design approval is sought. Such maintenance shall include all building and site elements depicted on the site plan including parking configuration, lighting, and landscaping. Any property owner who fails to maintain a site as approved shall be deemed in violation of the applicable use provisions of this Section and shall be subject to penalties.

Noted.

The proposed existing asphalt sections are not adequate. The lot is in a state of disrepair and has outlived its life. Please revise plans to show a complete mill & fill of where trucks will be driving on. The Township will not accept patch work for this lot.

Noted. A complete mill and fill where trucks will be driving on is now shown on the plans.

Exterior Lighting:

Sec 1303. – Exterior Lighting:

The applicant must provide Township with exterior lighting cut sheet and must comply with the requirements for exterior lighting if there are any plans to add lighting to the proposed buildings.

Exterior lighting is not being proposed for this project.

Landscaping:

Sec 1301. – Landscaping Requirements

Street yard landscaping along Tyler Road must be maintained, with the removal of invasive brush and weeds, at the minimum.

Noted.

Summary:

Applicant must revise and resubmit plans and provide the following:

- Applicants must provide a parking and loading plan that meets the requirements of Sec 12 of the Township Zoning Ordinance.

Noted and addressed.

- Applicant must resurface the entire parking lot. Patch work will not be approved by the Charter Township of Ypsilanti Planning Department as the parking lot has outlived its usefulness. Revised plans must indicate this.

Pavement replaced as discussed at the pre-application meeting and additional pavement resurface provided for truck turning limits.

- The applicant must submit a lighting plan with the revised plans. The lighting plan must adhere to standards listed in Sec. 1303 of the Township Zoning Ordinance.

No exterior lighting proposed.

- Applicants are required to clean the greenspace along Tyler Road. A landscaping plan including trees / shrubs along Tyler would be beneficial.

Landscaping at entrance along Tyler Road provided per pre-application meeting. See entrance plan for landscaping.

We hope you find the revised plans sufficient and respectfully request your approval at the earliest possible time.

If you have questions or require anything further, please do not hesitate to contact our office.

Sincerely,

THE UMLOR GROUP

A handwritten signature in black ink that reads "Jason Fleis".

Jason Fleis, PE
Engineering Manager

Enclosure as noted

cc: Mr. Luke Blackburn, Mr. Sean Knapp, YCUA
Mr. Fletcher Reyer, Charter Township of Ypsilanti
Mr. Eric Copeland, Mr. Steve Wallgren, Township Fire Department
Mr. Matt Parks, P.E., Ms. Stacie Monte, Township Engineer
Mr. William Andrews, Applicant

ENGINEER/SURVEYOR



LAND DEVELOPMENT SERVICES

THE UMLOR GROUP
49287 WEST ROAD
WIXOM, MI 48393
FAX: (866) 690-4307
WEB: www.umlorgroup.com

WES LEE O. UMLOR, P.E., P.S.
PHONE: (248) 773-7656
EMAIL: wumlor@umlorgroup.com

JASON M. FLEIS, P.E.
PHONE: (248) 981-4281
EMAIL: jfleis@umlorgroup.com

OWNER

INTERNATIONAL TURBINE INDUSTRIES
WILLIAM ANDREWS
3099 TYLER ROAD (BUILDING 2602)
YPSILANTI, MI
william@iturbines.com
PHONE: (734) 485-1276

DEVELOPER

ALL PHAZE CONSTRUCTION
1111 TELEGRAPH RD
CARLETON, MI 48117
ERIC BLAZ
PHONE: (734) 558-5000

CONTACT INFORMATION

YPSILANTI TOWNSHIP
7200 S HURON RIVER DR
YPSILANTI MICHIGAN 48197

PLANNING & ZONING
JASON IACOANGELI, AICP
PHONE: (734) 544-3667

WASHTENAW COUNTY ROAD COMMISSION
GARY STREIGHT, PE
PHONE: (734) 222-3590

FIRE DEPARTMENT
STEVE WALLGREN
PHONE: (734) 544-4225

YPSILANTI COMMUNITY UTILITIES AUTHORITY
SCOTT WESTOVER, PE
PHONE: (734) 484-4600

REQUIRED PERMITS

EGLE WATER SUPPLY SYSTEMS
WASHTENAW COUNTY ROAD COMMISSION RIGHT-OF-WAY PERMIT

SITE PLAN

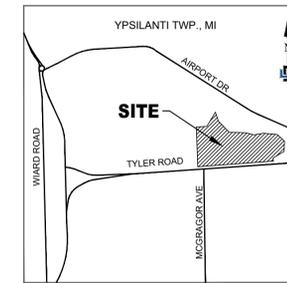
TYLER ROAD COLD STORAGE

2901 TYLER ROAD

SECTION 12, TOWN 3 SOUTH, RANGE 7 EAST
YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN



SITE MAP
SCALE: 1"=150'



VICINITY MAP
SCALE: 1" = 5000' ±

SHEET INDEX

- C1 COVER
- C2 EXISTING CONDITIONS
- C3 SITE PLAN
- C4 UTILITY & GRADING PLAN
- C5 ENTRANCE IMPROVEMENT

NOTES:

1. THE TOWNSHIP PLANNER WILL INSPECT THE LANDSCAPING FOR THIS SITE.
2. IF DEWATERING SHOULD BE NEEDED THE CONTRACTOR/APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY APPROVALS FROM THE TOWNSHIP AND THE TOWNSHIP ENGINEER, PERMISSION FROM ALL IMPACTED ADJACENT PROPERTIES AND/OR PERMITS FROM MDOT, WCNWC'S OFFICE OR WCRC.
3. RECORD PLANS SHALL BE PROVIDED TO THE TOWNSHIP ENGINEER FOLLOWING COMPLETION OF THIS PROJECT.

PROPERTY DESCRIPTION
PER TAX ROLLS

PART OF SE 1/2, SEC 12, T3S, R7E, YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MI, COM AT SE COR OF SEC 12, TH S 87 46 46 W ALONG S LINE OF SEC 935.33 FT TO POB; TH CONT S 87 46 46 W ALONG S LINE OF SEC WHICH IS ALSO THE C/L OF TYLER RD (PROPOSED 120 FT WD) 1397.50 FT; TH N 00 00 25 W 732.97 FT; TH N 89 53 01 E 192.96 FT; TH N 33 03 21 E 305.54 FT TO POINT THAT APPROXIMATELY THE C/L OF WILLOW RUN CREEK; TH ALG C/L IN A SOUTHERLY DIRECTION IN THE WILLOW RUN CREEK THE FOLLOWING COURSES & DISTANCE: S 16 47 55 E 173.21 FT; TH S 42 09 05 E 284.61 FT; TH S 86 11 10 E 300.66 FT; TH S 74 06 15 E 157 FT; TH N 83 10 55 E 185.31 FT; TH S 82 54 10 E 250.92 FT; TH S 45 40 10 E 181.74 FT; TH S 04 51 50 W 188.68 FT; TH LEAVING THE APPROXIMATE CENTERLINE OF THE WILLOW RUN CREEK ON COURSE OF S 61 16 45 W 232.01 FT TO A POINT THAT IS ON THE N/L OF TYLER RD; TH S 01 16 17 E 60.01 FT TO POB, CONTAINING 20.14 +/- NET ACRES AND 22.06 +/- TOTAL ACRES OF LAND. (07/15/98) PARCEL NO. K-11-12-300-006. ZONING I-C.

SITE BENCHMARK INFORMATION

(DATUM - NAVD 88)
SITE BENCHMARK #1
SET 'X' ON TOP SW COR
LIGHT POLE BASE
ELEV=721.10
SITE BENCHMARK #2
RR SPIKE IN N FACE
UTILITY POLE
ELEV=717.55
SITE BENCHMARK #3
NAIL IN W FACE
UTILITY POLE
ELEV=714.57



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



Know what's below. Call before you dig.

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The UMLOR Group
LAND DEVELOPMENT SERVICES
19287 WEST ROAD WIXOM, MI 48393
TEL 248.773.7656 - FAX 866.690.4307

SECTION 12	TOWN 3 SOUTH, RANGE 7 EAST	YPSILANTI TOWNSHIP	WASHTENAW COUNTY, MICHIGAN
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DATE: 10-05-2022

REVISIONS

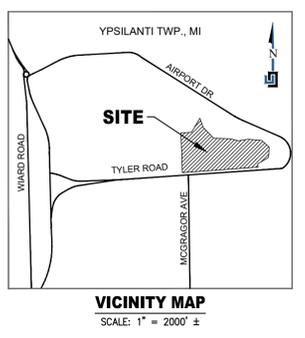
10-14-22 REV BLDG LOCATIONS
04-10-2023 SITE PLAN
7-28-2023 PER OHM

TYLER ROAD COLD STORAGE
CLIENT: ALL PHAZE CONSTRUCTION
1111 TELEGRAPH ROAD
CARLETON, MI 48117
COVER

DR BY: GC/SE
CK BY: JF
P.M. JF
SCALE: 0 75 150
1" = 150 FEET
JOB NO. 220618
SHEET NO. C
SHEET C1 OF C5

M:\UMLOR GROUP PROJECT FOLDERS\ALL PHASE CONSTRUCTION\220618 - TYLER ROAD COLD STORAGE\DESIGN FILES & PLAN SETS\BASE AUTOCAD FILES\220618 - TYLER RD COLD STORAGE - TOPO BASE.DWG

SYMBOL		DESCRIPTION		SYMBOL		DESCRIPTION	
(Symbol)	EX. SPOT ELEVATION	(Symbol)	EX. GAS MARKER	(Symbol)	EX. TELE. MARKER	(Symbol)	EX. MEDIA MARKER
(Symbol)	EX. CONTOUR	(Symbol)	EX. UNDERGROUND FIBER	(Symbol)	EX. OVERHEAD ELECTRIC	(Symbol)	EX. UTILITY POLE
(Symbol)	EX. & DITCH	(Symbol)	EX. GUY ANCHOR	(Symbol)	EX. LIGHT POLE	(Symbol)	EX. SIGN
(Symbol)	EX. WATER MAIN	(Symbol)	EX. MAILBOX	(Symbol)	EX. MONITORING WELL	(Symbol)	EX. SECTION LINE
(Symbol)	EX. WATER METER	(Symbol)	EX. MONITORING WELL	(Symbol)	EX. PARCELS	(Symbol)	EX. EASEMENT
(Symbol)	EX. WATER VALVE	(Symbol)	EX. CENTERLINE	(Symbol)	EX. CURB/PAVEMENT	(Symbol)	EX. FENCE
(Symbol)	EX. HYDRANT	(Symbol)	EX. FOUND IRON	(Symbol)	EX. FOUND PK NAIL	(Symbol)	EX. FOUND CONC. MONUMENT
(Symbol)	EX. WATER MANHOLE	(Symbol)	EX. FOUND CONC. MONUMENT	(Symbol)	EX. SET IRON ROD	(Symbol)	EX. SECTION CORNER
(Symbol)	EX. FRESHWATER WELL	(Symbol)	EX. POST	(Symbol)	EX. BOLLARD	(Symbol)	EX. RECORDED BEARING
(Symbol)	EX. GATE VALVE IN WELL	(Symbol)	EX. BOLLARD	(Symbol)	EX. RECORDED BEARING	(Symbol)	EX. MEASURED BEARING
(Symbol)	EX. STORM SEWER	(Symbol)	EX. MEASURED BEARING	(Symbol)	EX. ASPHALT	(Symbol)	EX. CONCRETE
(Symbol)	EX. STORM INLET/CATCH BASIN	(Symbol)	EX. ASPHALT	(Symbol)	EX. CONCRETE		
(Symbol)	EX. ROUND STORM CATCH BASIN						
(Symbol)	EX. STORM MANHOLE						
(Symbol)	EX. SANITARY SEWER						
(Symbol)	EX. COMBINED SEWER						
(Symbol)	EX. SANITARY MANHOLE						
(Symbol)	EX. COMBINED MANHOLE						
(Symbol)	EX. CLEAN OUT						
(Symbol)	EX. SANITARY VENT						
(Symbol)	EX. UNDERGROUND GAS						
(Symbol)	EX. GAS VALVE						
(Symbol)	EX. GAS METER						
(Symbol)	EX. GAS MANHOLE						
(Symbol)	EX. UNDERGROUND TELEPHONE						
(Symbol)	EX. TELEPHONE MANHOLE						
(Symbol)	EX. TELEPHONE RISER						
(Symbol)	EX. UNDERGROUND ELECTRIC						
(Symbol)	EX. ELECTRIC MANHOLE						
(Symbol)	EX. ELECTRIC RISER						
(Symbol)	EX. ELECTRIC TRANSFORMER						
(Symbol)	EX. ELECTRIC METER						
(Symbol)	EX. AIR CONDITIONER						



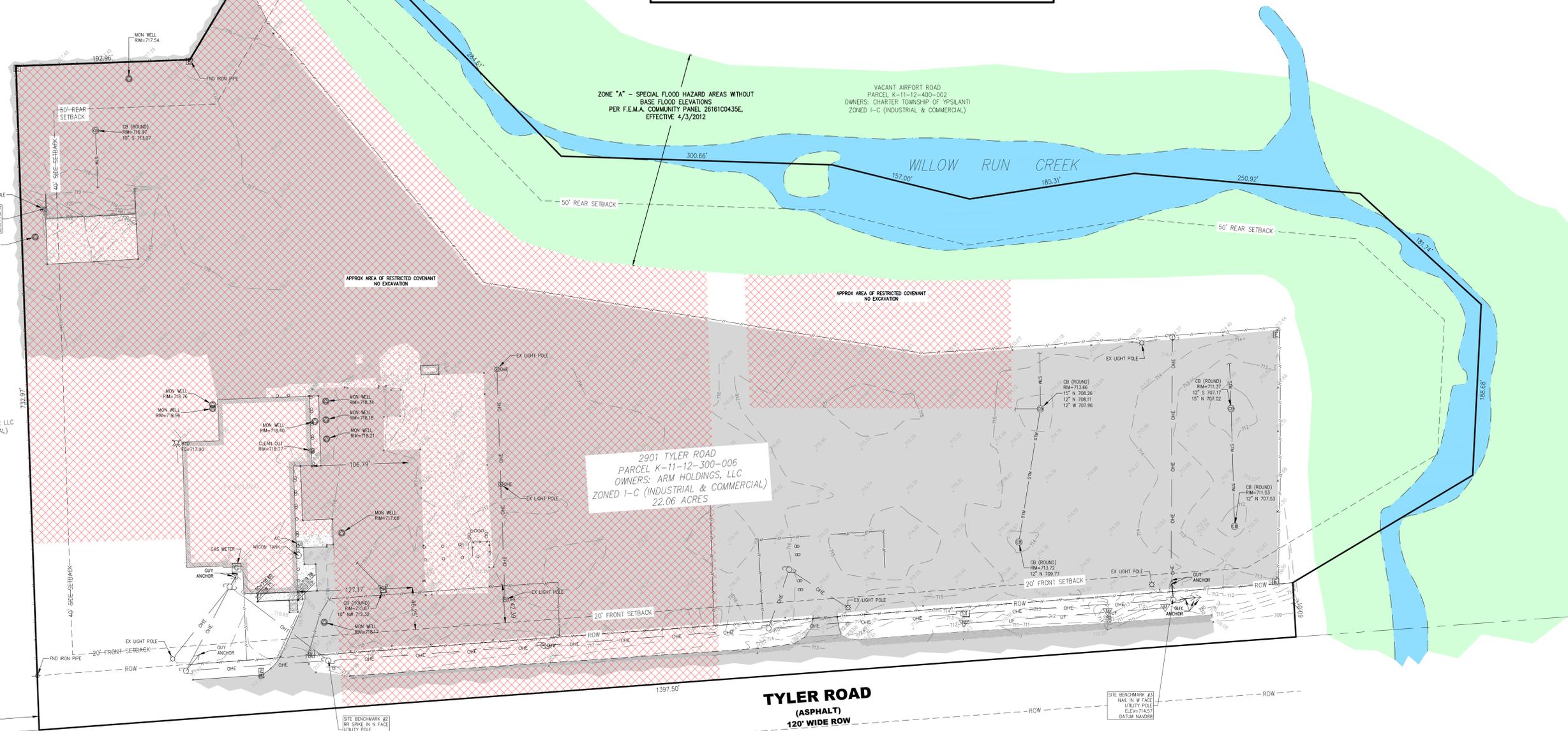
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2625 TYLER ROAD (B)
PARCEL K-11-12-300-007
OWNERS: WILLOW RUN BUSINESS CENTER LLC
ZONED I-C (INDUSTRIAL & COMMERCIAL)



2901 TYLER ROAD
PARCEL K-11-12-300-006
OWNERS: ARM HOLDINGS, LLC
ZONED I-C (INDUSTRIAL & COMMERCIAL)
22.06 ACRES

PROPERTY DESCRIPTION
PER TAX ROLLS

PART OF SE 1/2, SEC 12, T3S, R7E, YPSILANTI TOWNSHIP, WASHTEW COUNTY, MI, COM AT SE COR OF SEC 12, TH S 87 46 46 W ALONG S LINE OF SEC 935.33 FT TO POB; TH CONT S 87 46 46 W ALONG S LINE OF SEC WHICH IS ALSO THE C/L OF TYLER RD (PROPOSED 120 FT WD) 1397.50 FT; TH N 00 00 25 W 732.97 FT; TH N 89 53 01 E 192.96 FT; TH N 33 03 21 E 305.54 FT TO POINT THAT APPROXIMATELY THE C/L OF WILLOW RUN CREEK; TH ALG C/L IN A SOUTHERLY DIRECTION IN THE WILLOW RUN CREEK THE FOLLOWING COURSES & DISTANCE: S 16 47 55 E 173.21 FT; TH S 42 09 05 E 284.61 FT; TH S 86 11 10 E 300.66 FT; TH S 74 06 15 E 157 FT; TH N 83 10 55 E 185.31 FT; TH S 82 54 10 E 250.92 FT; TH S 45 40 10 E 181.74 FT; TH S 04 51 50 W 188.68 FT; TH LEAVING THE APPROXIMATE CENTERLINE OF THE WILLOW RUN CREEK ON COURSE OF S 61 16 45 W 232.01 FT TO A POINT THAT IS ON THE N/L OF TYLER RD; TH S 01 16 17 E 60.01 FT TO POB, CONTAINING 20.14 +/- NET ACRES AND 22.06 +/- TOTAL ACRES OF LAND. (07/15/98) PARCEL NO. K-11-12-300-006. ZONING I-C.

SITE BENCHMARK INFORMATION

(DATUM - NAVD 88)

SITE BENCHMARK #1
SET 'X' ON TOP SW COR
LIGHT POLE BASE
ELEV=721.10

SITE BENCHMARK #2
RR SPIKE IN N FACE
UTILITY POLE
ELEV=717.55

SITE BENCHMARK #3
NAIL IN W FACE
UTILITY POLE
ELEV=714.57



The UMLOR Group
LAND DEVELOPMENT SERVICES
10987 WEST ROAD WIXOM, MI 48393
TEL: 248.774.7656 - FAX: 866.696.4507

SECTION 12
TOWN 3 SOUTH, RANGE 7 EAST
YPSILANTI TOWNSHIP
WASHTEW COUNTY, MICHIGAN

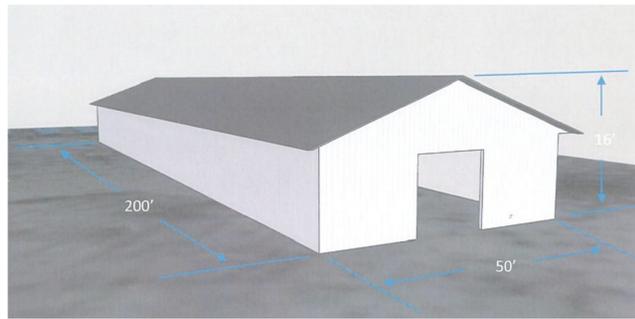
DATE: 10-05-2022

REVISIONS
10-14-22 REV BLDG LOCATIONS
04-10-2023 SITE PLAN
7-28-2023 PER OHM

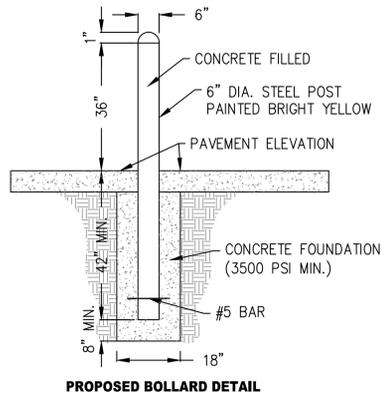
TYLER ROAD COLD STORAGE
ALL PHAZE CONSTRUCTION
11111 TELEGRAPH ROAD
CARLETON, MI 48117

EXISTING CONDITIONS

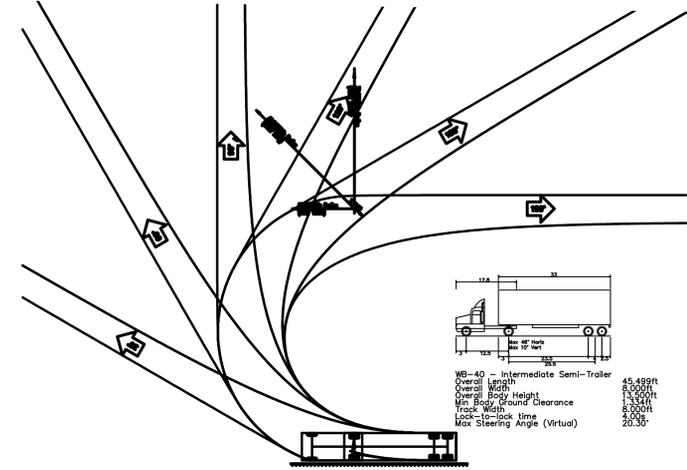
DR BY: GC/SF
CK BY: JF
P.M. JF
SCALE: 0 30 60
1" = 60 FEET
JOB NO. 220618
SHEET NO. C2
SHEET C2 OF C5



**PROPOSED/FUTURE COLD STORAGE BUILDING
(TYP - N.T.S.)**



PROPOSED BOLLARD DETAIL



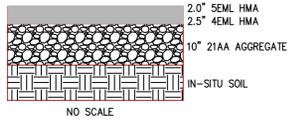
TRUCK DETAIL

LEGEND

- PROPERTY LINE/RIGHT OF WAY
- EXISTING ASPHALT
- EXISTING GRAVEL
- PROPOSED ASPHALT REPLACEMENT
- PROPOSED MILL AND FILL
- PROPOSED ASPHALT APPROACH
- FUTURE MILL AND FILL
- PROPOSED TURF AREA
- PROPOSED GRAVEL
- AREA OF RESTRICTED COVENANT
- PROPOSED BOLLARD
- PROPOSED GATE VALVE
- PROPOSED HYDRANT
- FUTURE GATE VALVE
- FUTURE HYDRANT
- PROPOSED STORM STRUCTURE
- EXISTING STORM STRUCTURE
- EXISTING CONTOURS
- EXISTING FENCE
- PROPOSED TREE

BUILDING LOCATION TABLE

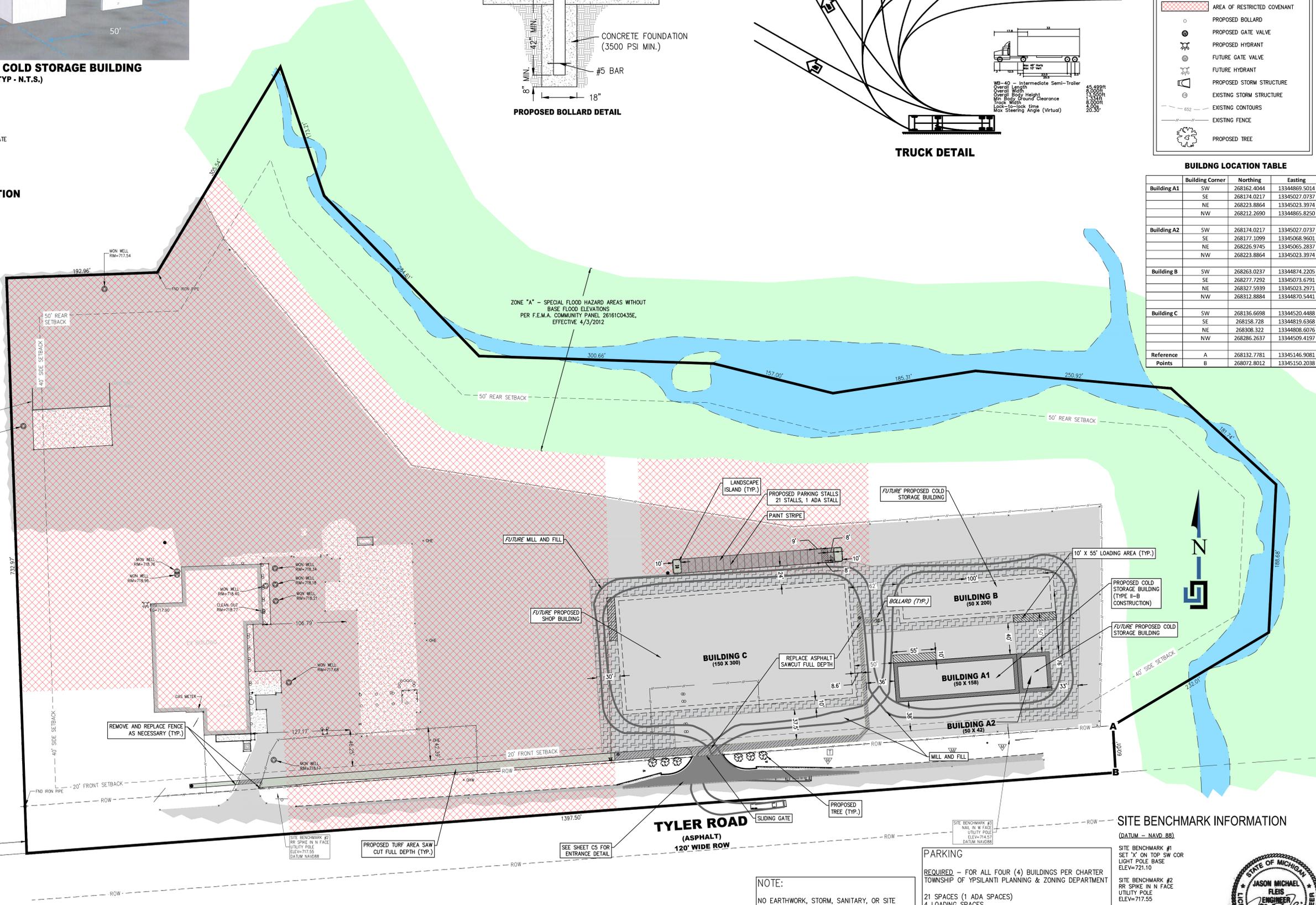
Building	Building Corner	Northing	Easting
Building A1	SW	268162.4044	13344869.5014
	SE	268174.0217	13345027.0737
	NE	268223.8864	13345023.3974
	NW	268212.2690	13344865.8250
Building A2	SW	268174.0217	13345027.0737
	SE	268177.1099	13345068.9601
	NE	268226.9745	13345065.2837
	NW	268223.8864	13345023.3974
Building B	SW	268263.0237	13344874.2205
	SE	268277.7292	13345073.6791
	NE	268327.5939	13345023.2971
	NW	268312.8884	13344870.5441
Building C	SW	268136.6698	13344520.4488
	SE	268158.728	13344819.6368
	NE	268308.322	13344808.6076
	NW	268286.2637	13344509.4197
Reference Points	A	268132.7781	13345146.9081
	B	268072.8012	13345150.2038



HMA PAVEMENT CROSS-SECTION

MILL AND FILL PROCEDURE

1. PULVERIZE EXISTING ASPHALT.
2. MIX WITH EXISTING AGGREGATE BASE.
3. RESHAPE AND COMPACT.



M:\UMLOR GROUP PROJECT FOLDERS\ALL PHASE CONSTRUCTION\220618 - TYLER ROAD COLD STORAGE DESIGN FILES & PLAN SETS\BASE AUTOCAD FILES\220618 - TYLER RD COLD STORAGE - BASE.DWG

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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LAND DEVELOPMENT SERVICES
19287 WEST ROAD WILKOM, MI 48393
TEL 248.773.7656 - FAX 866.690.4307

SECTION 12
TOWN 3 SOUTH, RANGE 7 EAST
YPSILANTI TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

DATE: 10-05-2022

REVISIONS

10-14-22 REV BLDG LOCATIONS
04-10-2023 SITE PLAN
7-28-2023 PER OHM

TYLER ROAD COLD STORAGE
ALL PHASE CONSTRUCTION
1111 TELEGRAPH ROAD
CARLETON, MI 48117

SITE PLAN

CLIENT:
DR BY: GC/SF
CK BY: JF
P.M. JF
SCALE: 0 30 60
1" = 60 FEET
JOB NO. 220618
SHEET NO. 3
SHEET C3 OF C5

STATE OF MICHIGAN
JASON MICHAEL FLEIS
ENGINEER
22467
6201658106
LICENSED PROFESSIONAL ENGINEER

NOTE:
NO EARTHWORK, STORM, SANITARY, OR SITE LIGHTING IS PROPOSED AS PART OF THIS PROJECT. FOUNDATION, MINOR GRADING, PAVING, AND WATER MAIN CONSTRUCTION ARE REQUIRED.

PARKING
REQUIRED - FOR ALL FOUR (4) BUILDINGS PER CHARTER TOWNSHIP OF YPSILANTI PLANNING & ZONING DEPARTMENT
21 SPACES (1 ADA SPACES)
4 LOADING SPACES
PROVIDED
21 SPACES (1 ADA SPACES)
4 LOADING SPACES

SITE BENCHMARK INFORMATION

(DATUM - NAVD 88)

SITE BENCHMARK #1
SET 'X' ON TOP SW COR LIGHT POLE BASE
ELEV=721.10

SITE BENCHMARK #2
RR SPIKE IN N FACE UTILITY POLE
ELEV=717.55

SITE BENCHMARK #3
NAIL IN W FACE UTILITY POLE
ELEV=714.57

CONCRETE CURB AND GUTTER

DETAIL	CONCRETE CYD / LFT	CONCRETE CYD / LFT
B1	0.0900	0.0899
B2	0.0900	0.0899
B3	0.0900	0.0899

APPROVED BY: *R. J. P. [Signature]*
 DIRECTOR, BUREAU OF HIGHWAY DEVELOPMENT

9-30-2014 2-6-2014 R-30-G SHEET 1 OF 2

CONCRETE CURB, CURB AND GUTTER ENDINGS

DETAIL A, B, C, D, E, F

1" FIBER JOINT FILLER

CONTRACTION JOINT

NOTES:

1. CURB AND GUTTER SHALL BE DIMENSIONED TO THE FRONT EDGE OF THE GUTTER PAN OR EDGE OF PAVEMENT.

2. CONCRETE CURB AND GUTTER ENDINGS WILL BE PAID FOR IN LINEAR FEET OF THE ADJACENT CURB DETAIL.

3. JOINTS SHALL BE PLACED AT RIGHT ANGLES TO THE EDGE OF CONCRETE CURB AND GUTTER.

4. JOINTS DETAILED ON THE PLANS SHALL SUPERSEDE THOSE SPECIFIED ON THIS STANDARD PLAN.

5. BOTTOM SLOPE OF CURB AND GUTTER STRUCTURE MAY BE THE SAME SLOPE AS BOTTOM OF PAVEMENT. BACK OF CURB AND VERTICAL CURVE OF GUTTER PAN MAY HAVE A MAXIMUM 1/2" BATTER TO FACILITATE FORMING.

6. WHEN CURB AND GUTTER IS CAST INTEGRALLY, SEE CURRENT STANDARD PLAN R-31-SERIES.

7. ALL JOINTS FOR CURB OR CURB AND GUTTER ARE INCLUDED IN THE PAY ITEM FOR THE CURB OR CURB AND GUTTER.

JOINTS IN CURB OR CURB AND GUTTER NOT TIED TO CONCRETE PAVEMENT ADJACENT TO CONCRETE BASE COURSE OR ADJACENT TO HMA PAVEMENT:

A. PLACE 1" FIBER JOINT FILLER AT 400' MAXIMUM INTERVALS.

B. PLACE 1" FIBER JOINT FILLER AT SPRING POINTS OF INTERSECTING STREETS.

C. PLACE 1/2" ISOLATION JOINT AT CATCH BASINS PER STANDARD PLAN R-31-SERIES.

D. PLACE CONTRACTION JOINTS AT 40' MAXIMUM INTERVALS.

JOINTS IN CURB OR CURB AND GUTTER TIED TO JOINTED PAVEMENT:

A. PLACE 1" FIBER JOINT FILLER OPPOSITE ALL TRANSVERSE EXPANSION JOINTS IN PAVEMENT.

B. PLACE 1/2" ISOLATION JOINT AT CATCH BASINS PER STANDARD PLAN R-31-SERIES.

C. PLACE CONTRACTION JOINTS OPPOSITE ALL TRANSVERSE CONTRACTION JOINTS IN PAVEMENT.

D. A SYMBOL (B) JOINT SHALL BE PLACED BETWEEN CURB OR CURB AND GUTTER AND ADJACENT CONCRETE PAVEMENT AS SPECIFIED ON STANDARD PLAN R-41-SERIES.

MICHIGAN DEPARTMENT OF TRANSPORTATION
 BUREAU OF HIGHWAY DEVELOPMENT STANDARDS PLAN FOR

CONCRETE CURB AND GUTTER

9-30-2014 2-6-2014 R-30-G SHEET 2 OF 2

TYPICAL CORPORATE & COMMERCIAL OFFICE APPROACH ONTO EXISTING PAVED ROAD

WCRS STANDARD ENTRANCE DETAIL

DECELERATION TAPER LENGTHS

POSTED SPEED LIMIT OF EXISTING ROAD	Y (FEET)
25	75
40	100
45	130
50	160
BASIC SPEED LAW	225

LEGEND

- PROPERTY LINE/RIGHT OF WAY
- EXISTING ASPHALT
- EXISTING GRAVEL
- PROPOSED ASPHALT REPLACEMENT
- PROPOSED MILL AND FILL
- PROPOSED ASPHALT APPROACH
- FUTURE MILL AND FILL
- PROPOSED TURF AREA
- PROPOSED GRAVEL
- AREA OF RESTRICTED COVENANT
- PROPOSED BOLLARD
- PROPOSED GATE VALVE
- PROPOSED HYDRANT
- FUTURE GATE VALVE
- FUTURE HYDRANT
- PROPOSED STORM STRUCTURE
- EXISTING STORM STRUCTURE
- EXISTING CONTOURS
- EXISTING FENCE
- PROPOSED TREE
- EXISTING OVERHEAD ELECTRICAL
- EXISTING UNDERGROUND FIBER

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

811

Know what's below. Call before you dig.

CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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The UMLOR Group
 LAND DEVELOPMENT SERVICES
 49287 WEST ROAD WILKOM, MI 48393
 TEL 248.773.7656 - FAX 866.690.1307

TYLER ROAD (ASPHALT) 120' R.O.W

TYLER ROAD ENTRANCE ENLARGEMENT

REMOVE EXISTING DRIVE

PROVIDE SLIDING GATE

CLEAR AND GRUB EXISTING VEGETATION AS REQUIRED FOR PROPOSED LANDSCAPE

EXISTING ASPHALT TO BE REMOVED SAW CUT FULL DEPTH FOR PROPOSED TURF AREA.

MDOT B2 CURB AND GUTTER

PROVIDE CLEAN EDGE SAW CUT FULL DEPTH 1" FROM EDGE OF EXISTING ASPHALT

EVERGREEN TREE PLANTING DETAIL

NOTE: SOIL EVERGREEN TREES ABOVE 12' HEIGHT: STAKE EVERGREEN TREE BELOW 12' HEIGHT.

STAKE TREES AT FIRST BRANCH USING 2" WIDE BELT LINE NYLON OR PLASTIC STRAPS. ALLOW FOR SOME MINIMAL FLEXING OF THE TREE. REMOVE AFTER ONE YEAR.

2" x 2" WINDWOOD STAKES. MIN. 36" ABOVE GROUND FOR UPSTRIKES. 18" ANGLE DRIVE STAKES. MIN. 18" INTO UNDISTURBED GROUND. REMOVE OUTSIDE ROOTBALL. REMOVE AFTER ONE YEAR.

MULCH 4" DEPTH WITH SHREDED HARDWOOD BARK. NATURAL IN COLOR LEAVE 2" CIRCLE OF BARE SOIL AT BASE OF TREE TRUNK.

REMOVE ALL NON-Biodegradable MATERIALS COMPLETELY FROM THE ROOTBALL. CUT DOWN WIRE BASKET AND TIE DOWN BURLAP FROM TOP 1/2 OF THE ROOTBALL.

PLANTING MIXTURE: MIXING SOILS TO SITE CONDITIONS AND REQUIREMENTS OF THE PLANT MATERIAL.

REMOVE ALL TAGS, STRINGS, PLASTICS AND OTHER MATERIALS THAT ARE UNDESIRABLE OR COULD CAUSE GROUNDING.

REMOVE ALL SCARIFF SUBGRADE AND PLANTING PIT BASES. DISCONNECT BASE OF 10" x 10" DEPTH.

- LANDSCAPE NOTES
- All plants shall be north Midwestern American region-grown, No. 1 grade plant materials, and shall be true to name, free from physical damage and weed burr.
 - Plants shall be fully established, and in healthy vigorous growing condition.
 - Plants shall be watered before and after planting is complete.
 - All trees must be staked, fertilized and mulched and shall be guaranteed to exhibit a normal growth cycle for at least one (1) full year following Transverse approval.
 - All material shall conform to the guidelines established in the most recent edition of the American Standard for Nursery Stock.
 - Provide clean landscape soil, using mulch established on site. Soil shall be removed and free of any debris, foreign material, and stone.
 - "Agri-Ton" tabs or similar slow-release fertilizer shall be added to the planting site before being backfilled.
 - Planting shall consist of 1.5 diameter round, 1.5 used and 1.5 used round well and agreed to the depth as indicated in planting details.
 - All planting shall be checked per planting details located on this sheet.
 - The Contractor shall be responsible for all work shown on the drawings and specifications.
 - No substitutions or changes of location, or plant types shall be made without prior approval.
 - Contractor shall be responsible for checking plant quantities to ensure quantities on drawings and plant list are the same. In the event of a discrepancy, the quantity on the plant list prevail.

- Plant List
1. All plants shall be north Midwestern American region-grown, No. 1 grade plant materials, and shall be true to name, free from physical damage and weed burr.
 2. Plants shall be fully established, and in healthy vigorous growing condition.
 3. Plants shall be watered before and after planting is complete.
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 11. No substitutions or changes of location, or plant types shall be made without prior approval.
 12. Contractor shall be responsible for checking plant quantities to ensure quantities on drawings and plant list are the same. In the event of a discrepancy, the quantity on the plant list prevail.

SITE BENCHMARK INFORMATION

(DATUM - NAVD 88)

SITE BENCHMARK #1
 SET "X" ON TOP SW COR LIGHT POLE BASE
 ELEV=721.10

SITE BENCHMARK #2
 RR SPIKE IN N FACE UTILITY POLE
 ELEV=717.55

SITE BENCHMARK #3
 NAIL IN W FACE UTILITY POLE
 ELEV=714.57

JASON MICHAEL FLEIS
 ENGINEER
 2014-2018
 6201658106
 LICENSED PROFESSIONAL ENGINEER

SECTION 12

TOWN 3 SOUTH, RANGE 7 EAST

YPSILANTI TOWNSHIP

WASHTENAW COUNTY, MICHIGAN

DATE: 10-05-2022

REVISIONS

10-14-22 REV BLDG LOCATIONS

04-10-2023 SITE PLAN

7-28-2023 PER OHM

TYLER ROAD COLD STORAGE

ALL PHASE CONSTRUCTION

1111 TELEGRAPH ROAD

CARLETON, MI 48117

ENTRANCE IMPROVEMENT

DR BY: GC/SF

CK BY: JF

P.M. JF

SCALE 0 10 20

1" = 20 FEET

JOB NO. 220618

SHEET NO. C5

SHEET C5 OF C5

M:\UMLOR GROUP PROJECT FOLDERS\ALL PHASE CONSTRUCTION\220618 - TYLER ROAD COLD STORAGE DESIGN FILES & PLAN SETS\BASE AUTOCAD FILES\220618 - TYLER RD COLD STORAGE - BASE.DWG



Staff Report Zoning Ordinance Text Amendments

September 12, 2023

RE: Public Hearing: Zoning Ordinance Text Amendments

Since the Zoning Ordinance went into effect on **March 4, 2022**, staff has found errors, omissions, and corrections that need to be addressed with zoning text amendments. There has also been discussion on how to expand the potential uses of older big-box stores and institutional buildings within the Township. The proposed ordinance language changes are either indicated in red in the following report or, for the sake of clarity, the entire Article is attached. The following Sections of the Zoning Ordinance are under consideration for Zoning Text Amendments:

- Article 2, Section 201. – Definitions
- Article 4, Section 420. – Use Table
- Article 5, Section 504. – Neighborhood Corridors
- Article 5, Section 505. – Regional Corridors
- Article 5, Section 507. – Design Standards
- Article 11, Section 1155. – State-Licensed Residential Child and Adult Care Facilities
- Article 11, Section 1167. – Adaptive Reuse

Article 2, Section 201. – Definitions

Adaptive Reuse: The development of a new use for an older building or for a building originally designed for a special or specific purpose.

Article 4, Section 420. – Use Table

Business Districts Use Table	NB	GB	Notes
P = Permitted Use SL-PC = Special Use Planning Commission Approval SL-TB = Special Use Township Board Approval A = Accessory Use — = Not permitted			
Retail and Services			
<i>Adaptive Reuse</i>	P / SL-PC	P/ SL-PC	Subject to conditions in Section 1167



Article 5, Section 504. – Neighborhood Corridors

Neighborhood Corridors
Use Group 5
Misc. Uses:
Adaptive Reuse, subject to regulations in Section 1167

Article 5, Section 505. – Regional Corridors

Regional Corridors
Use Group 5
Misc. Uses:
Adaptive Reuse, subject to regulations in Section 1167

Article 5, Section 507. – Design Standards

The location of buildings on corner lots is buried in the parking placement, orientation, and screening section, making it a regulation easy to miss. The requirement that *for a corner lot, the building shall be located in the corner of the lot adjacent to the intersection* should be moved out of the parking section and to the *Building placement orientation* paragraph.

Additionally, Carlisle Wortman Associates has asked that the following transparency standards be included in the design standards:

Transparency alternatives. The following alternatives may be used singularly or in combination for any side or rear facing facade which requires transparency. If used in combination, they may count toward no more than 50% of the transparency requirement. Transparency alternatives may be used but cannot be counted towards the transparency requirements for facades that face on a right-of-way.

- a. Wall design. Wall designs must provide a minimum of three of the following elements, occurring at intervals no greater than 25 feet horizontally and 10 feet vertically:
 - a. Expression of structural system and infill panels through change in plane not less than three inches.



- b. System of horizontal and vertical scaling elements, such as: belt course, string courses, cornice, pilasters.
 - c. System of horizontal and vertical reveals not less than one inch in width/depth.
 - d. Variations in material module, pattern, and/or color.
 - e. System of integrated architectural ornamentation.
-
- b. Outdoor dining/seating: inclusion of outdoor dining/seating located between the building and the primary street lot line.
 - c. Permanent art: noncommercial art or graphic design of sufficient scale and orientation to be perceived from the public right-of-way and rendered in materials or media appropriate to an exterior, urban environment and permanently integrated into the building wall.

Article 11, Sec. 1155. - State-licensed residential child and adult care facilities:

Staff recommends that two amendments be made to Section 1155, State-licensed residential child, and adult care facilities. First, under paragraph 1.B., the current zoning ordinance references State Licensing Rules R400.1131 to R400.1135 that presumably applied to building and fire code regulations for state-licensed child and adult care facilities. Staff cannot find these rules in the State of Michigan Administrative Code and believe these rules have been amended since the language was originally inserted into the township's zoning ordinance. A more efficient way to reference a state law or rule in the zoning ordinance is to simply reference "State of Michigan" law or rule and not referencing a specific rule or law that is likely to change, necessitating a change to the zoning ordinance. "State of Michigan" is currently used throughout the remainder of this section.

Second, paragraph 1.C. references the previous sign ordinance. This paragraph should be amended to reflect the current sign ordinance article.

Sec. 1155. - State-licensed residential child and adult care facilities:

1. State-licensed child and adult care facilities, as defined in Section 201, Definitions, shall meet the following regulations:
 - A. These facilities, except for adult/child family day care homes, shall be registered with Ypsilanti Township and shall continually have on file with the Township documentation of a valid license as required by the state.
 - B. Since the state law preempts in this area, these facilities shall be brought into compliance with all state building and fire codes pursuant to ~~State Licensing Rules R400.1131 – R400.1135~~ State of Michigan licensing rules. Documentation of such compliance with state requirements shall be provided.



- C. The site shall comply with the sign provisions of [Section 2109 Article 15](#).
- D. Off-street parking shall be provided for the number of employees on site at any one time.

Site Development Regulations:

- A. Adult foster care family homes serving six (6) persons or less. A state-licensed adult foster care home, foster family home, or foster family group home serving six (6) persons or less shall be considered a residential use of property and a permitted use in all residential districts.
- B. Adult foster care small group homes serving between seven (7) and twelve (12) persons.
 - (1) A site plan, prepared in accordance with Article 9 shall be required to be submitted.
 - (2) The subject parcel shall meet the minimum lot area requirements for the zoning district in which it is located, provided there is a minimum site area of two thousand (2,000) square feet per adult, excluding employees and/or caregivers.
 - (3) The property is maintained in a manner that is consistent with the character of the neighborhood.
 - (4) One (1) off-street parking space per employee and/or caregiver shall be provided.
 - (5) Appropriate licenses with the State of Michigan shall be maintained.
- C. Adult foster care large group homes serving between thirteen (13) and twenty (20) persons.
 - (1) A separate drop-off and pickup area shall be required adjacent to the main building entrance, located off of a public street and the parking access lane, and shall be of sufficient size so as to not create congestion on the site or within a public roadway.
 - (2) A site plan, prepared in accordance with Article 9 shall be required to be submitted.
 - (3) The subject parcel shall meet the minimum lot area requirements for the zoning district in which it is located, provided there is a minimum site area of two thousand (2,000) square feet per adult, excluding employees and/or caregivers.
 - (4) The property is maintained in a manner that is consistent with the character of the neighborhood.
 - (5) One (1) off-street parking space per employee and/or caregiver and one (1) visitor be provided.
 - (6) Appropriate licenses with the State of Michigan shall be maintained.
- D. Adult foster care congregate facilities serving more than twenty (20) persons.
 - (1) A separate drop-off and pickup area shall be required adjacent to the main building entrance, located off of a public street and the parking access lane, and shall be of sufficient size so as to not create congestion on the site or within a public roadway.
 - (2) A site plan, prepared in accordance with Article 9 shall be required.



- (3) The subject parcel shall meet the minimum lot area requirements for the zoning in which it is located, provided there is a minimum site area of two thousand (2,000) square feet per adult, excluding employees and/or caregivers.
- (4) The property is maintained in a manner that is consistent with the character of the neighborhood.
- (5) One (1) off-street parking space per employee and/or caregiver and one (1) visitor shall be provided.
- (6) Appropriate licenses with the State of Michigan shall be maintained.
- (7) The maximum length of an uninterrupted building façade facing public streets and residentially zoned or used property shall be thirty (30) feet. Façade articulation or architectural design variations for building walls facing the street are required to ensure that the building is not monotonous in appearance. Building wall offsets (projections and recesses), cornices, varying building materials, or pilasters shall be used to break up the mass of a single building.
- (8) Such facilities may include multi-purpose recreational rooms, kitchens, and meeting rooms. Such facilities may also include medical examination rooms and limited space for ancillary services for the residents of the facility, such as barber and beauty facilities.

[\(Ord. No. 2011-476](#), § 20, 2-20-11)

Article 11, Section 1167. – Adaptive Reuse

1. Intent

The intent of this is to facilitate the retention and conversion of older, economically distressed, existing, underutilized, or historically significant buildings to viable uses. Reuse of existing buildings will help to reduce vacant space, create opportunities for new development, and reduce property degradation and blight. Encouraging the reuse of buildings is a sustainable practice to retain much of the energy that went into their initial construction and reduce greenhouse gas emissions. Specifically, the intent of this section is to:

- a. Provide regulations specifically tailored to encourage and promote the rehabilitation of older used and underutilized buildings.
- b. Provide for a mix of uses within said adaptive reuse developments which promote the economic revitalization of Ypsilanti Township.
- c. Promote the retention of older buildings and lands which enhance the image and preserve the heritage of Ypsilanti Township.
- d. Provide reasonable standards for the blending of new construction with existing buildings, so as to allow quality development of older structures within contemporary development and building standards.



2. **Qualifying Criteria.** To encourage and incentivize the adaptive reuse of buildings, this section permits a greater allowance of land uses and allows specific zoning relaxations than the underlying zoning district. The provisions of this section are intended to modify the standards otherwise applied to the site by its underlying zoning district. Unless specifically modified by this chapter, all other standards adopted shall apply.

Projects must meet the following criteria to be an eligible adaptive reuse project:

- a. Project site shall be located in a NB, Neighborhood Commercial, GB, General Commercial, Regional Commercial Form-Based district, Neighborhood Corridor Form-Based district, or the adaptive reuse of a civic building or public-school building in any district.
- b. Applies to any building that is at least 20 years old and that was constructed in accordance with building and zoning codes in effect at the time of construction.
- c. The project results in a change of use in all or a portion of the existing building.
- d. Existing building may not be destroyed by any means to the extent of more than fifty (50) percent of its replacement cost.

3. **Allowances**

- a. **Setbacks.** Existing building setbacks may remain and shall be considered legally nonconforming, but no further encroachments shall be permitted into any nonconforming setback.
- b. **Height.** The height of the structure, if it exceeds the maximum height of the zoning district, may remain, and shall be considered legally nonconforming. Any rooftop construction needed for building circulation, drainage, ventilation, utilities, or passive recreation shall be included within the height exemption. This height exemption does not include new residential or commercial floor area.
- c. **Loading Zone.** A new loading zone shall not be required if the existing building does not have an existing loading zone.
- d. **Parking.** New parking spaces shall not be required for any converted use within the existing footprint of the building, but expansions to floor area shall be required to provide parking in accordance with section 610.

4. **Uses**

- i. **Permitted Uses:** Any use that is a permitted use in the in the underlying zoning district.
- ii. **Assembly Uses, Clubs, Banquet Halls and other such uses are not permitted.**
- iii. **The following uses shall be allowed as a Special Use- Planning Commission approval if they are within an adaptive reuse development:**
 1. Any use that is a Special-Use Planning Commission in the in the underlying zoning district
 2. Indoor Climate Controlled Self-Storage for reuse of buildings greater than 50,000 square feet.
 3. Retail greater than 20,000 sq/ft
 4. Commercial kennel/Pet Day Care
 5. Veterinary clinic/veterinary hospital
 6. Fitness, gymnastics, exercise centers, and indoor recreational facility
 7. Theatres
 8. House of worship
 9. Art Studios



10. Trade Schools and other educational uses.
 11. Offices and Flex Office Space
 12. Daycare
 13. Craft trades such as breweries, coffee roasters, bakeries, or culinary businesses.
- iv. Unless listed in this section, other uses are not permitted.
5. Specific conditions:
- a. The provisions of this zoning overlay are intended to modify the standards otherwise applied to the site by its underlying district. Unless specifically modified by this chapter, all other standards adopted for this site shall apply.
 - b. All adaptive reuse projects require site plan review as provided for in Article 9.
 - c. Adaptive Reuse Projects require a Development Agreement approved by the Township Board of Trustees.
 - d. Expansions to the floor area of an eligible building and new construction on the lot must comply with the dimensional requirements provided in the district in which it is located.
 - e. The following site elements must be brought into compliance:
 - i. Parking lot pavement/repairs
 - ii. Lighting as set forth in Section 1303.
 - iii. Landscaping as set forth in Section 1301.
 - f. Application shall make necessary façade improvements as required by ordinance.
 - g. The adaptive reuse project may include both additions and new construction.
 - h. Application shall include security camera and license plate readers.
 - i. The Planning Commission has the authority to require traffic, environmental, and other reports that aid the site plan review.

Respectfully Submitted,

Fletcher Reyher

Planning and Development Coordinator