



REGULAR MEETING AGENDA

Tuesday, June 13, 2023

6:30 P.M.

If you need any assistance due to a disability, please contact the Planning Department at least 48 hours in advance of the meeting at planning@ypsitownship.org or 734-544-4000 ext. 1.

1. CALL TO ORDER
2. ROLL CALL
3. APPROVAL OF THE APRIL 25, 2023, REGULAR MEETING MINUTES
4. APPROVAL OF AGENDA
5. PUBLIC HEARINGS
 - A. **REZONING – 6016 MERRITT ROAD – PARCEL K-11-32-200-034** – TO CONSIDER THE REZONING APPLICATION OF MR. DANIEL JURCA TO REZONE THE 10.010-ACRE PARCEL LOCATED AT 6016 MERRITT ROAD – PARCEL K-11-32-200-034 FROM R1, ONE-FAMILY RESIDENTIAL, TO R-1, ONE-FAMILY RESIDENTIAL WITH AN AGRICULTURAL OVERLAY.
 - B. **SPECIAL LAND USE – CHOICE HOTELS – COMFORT INN & SUITES – 800 S. HEWITT ROAD – PARCEL K-11-18-100-022** – TO CONSIDER THE SPECIAL LAND USE PERMIT APPLICATION TO PERMIT THE CONSTRUCTION OF A 78-ROOM, 4-STORY HOTEL FOR A 2.7-ACRE SITE ZONED RC – REGIONAL CORRIDOR WITH A SITE TYPE C DESIGNATION.
6. OLD BUSINESS
7. NEW BUSINESS
 - A. **PRELIMINARY SITE PLAN – CHOICE HOTELS – COMFORT INN & SUITES – 800 S. HEWITT ROAD – PARCEL K-11-18-100-022** – TO CONSIDER THE PRELIMINARY SITE PLAN APPLICATION TO PERMIT THE CONSTRUCTION OF A 78-ROOM, 4-STORY HOTEL FOR A 2.7-ACRE SITE ZONED RC – REGIONAL CORRIDOR WITH A SITE TYPE C DESIGNATION.
8. OPEN DISCUSSION FOR ISSUES NOT ON THE AGENDA
 - A. CORRESPONDENCE RECEIVED
 - B. PLANNING COMMISSION MEMBERS
 - C. MEMBERS OF THE AUDIENCE
9. TOWNSHIP BOARD REPRESENTATIVE REPORT
10. ZONING BOARD OF APPEALS REPRESENTATIVE REPORT

Township Supervisor
Brenda L. Stumbo
Township Clerk
Heather Jarrell Roe
Township Treasurer
Stan Eldridge



**YPSILANTI
TOWNSHIP**
— PLANNING & ZONING DEPARTMENT —

Trustees
John Newman II
Gloria Peterson
Debbie Swanson
Ryan Hunter

11. TOWNSHIP ATTORNEY REPORT
12. PLANNING DEPARTMENT REPORT
13. OTHER BUSINESS
14. ADJOURNMENT

Please Note: This meeting is being recorded.

**CHARTER TOWNSHIP OF YPSILANTI
PLANNING COMMISSION MEETING
Tuesday, April 25, 2023
6:30 pm**

COMMISSIONERS PRESENT

Bill Sinkule, Chair
Elizabeth El-Assadi, Vice-Chair
Larry Doe
Gloria Peterson
Muddasar Tawakkul
Caleb Copeland

Bianca Tyson

STAFF AND CONSULTANTS

Jason Iacoangeli, Planning Director
Megan Masson Minock, Carlisle Wortman Associates

i. CALL TO ORDER/ESTABLISH QUORUM

MOTION: Mr. Sinkule called the meeting to order at 6:30 pm.

ii. APPROVAL OF FEBRUARY 28, 2023, REGULAR MEETING MINUTES

MOTION: Mr. Doe **MOVED** to approve the February 28, 2023, Meeting Minutes. The **MOTION** was **SECONDED** by Ms. Peterson and **PASSED** by unanimous consent.

iii. APPROVAL OF AGENDA

MOTION: Mr. Doe **MOVED** to approve the proposed agenda. The **MOTION** was **SECONDED** by Mr. Sinkule and **PASSED** by unanimous consent.

iv. PUBLIC HEARINGS

SPECIAL LAND USE – ALDI, INC. – 1420 HURON STREET – PARCEL K-11-38-280-011 – TO

CONSIDER THE SPECIAL LAND USE PERMIT APPLICATION OF MR. ANDREW SHAW IN

ORDER TO PERMIT THE CONSTRUCTION OF A RETAIL BUILDING GREATER THAN 10,000 SQ. FT. ON A PARCEL ZONED TC – TOWN CENTER WITH A SITE TYPE DESIGNATION D LOCATED AT 1420 S. HURON STREET, YPSILANTI, MI 48197.

Christian Cullege (Design Engineer) went through the site layout. Location of the Building is on the northeast corner of the property, pushed closer to Huron Street, and the main parking lot is toward South, and the sub parking would be to the West. The proposal is for 101 parking spaces. The third prototypical standard is 95 spaces which comes through the experience of operating Aldi. There are over 90 stores in the state of Michigan and 2000 stores in the United States. And through the nationwide operation, Aldi has determined the amount of parking they would need for their store. The reason for proposing 101 spaces is to take the 95 customer spaces, three curbside pickup spaces along the east side and three electric vehicle charging stations. Mr. Cullege presented the building façade and explained the masonry materials that is been used on the building. Everything used on the building is designed to withstand weather and at the same time to give an attractive look.

The main feature is the entry vestibule which is located at that southeast corner of the building. All windows / doors are transparent glass, the doors would be facing out towards the parking area and the windows would face east towards Huron Street. All carts would be stored in the cart enclosure, there won't be any cart storage in the parking area. Everything will be uptight to the building; the carts can be accessed by using a quarter. There is a canopy provided for a covered entrance. The canopy wraps around the corner and then becomes the roof for the cart enclosure and provides coverage for the front exit (emergency exit and for E-commerce usage. Two wall signs proposed right above the entrance, one on the south side, one on the east side, both 47 square feet with Aldi logo sign. There is a parking and service area for trucks on the west side of the building.

There would be significant utility work at the site. This would be designed to extend to the north in the future for any future development in that Seaver farm development. The plan is to bring in the public sanitary, that's located at Seaver and Brinker. The shared driveway will be constructed to the northwest corner of the site and provide temporary gravel for any emergency vehicles.

All mechanicals would be rooftop mounted. The tower over the entry vestibule at the southeast corner, would face the intersection where the traffic light is. The tower would provide screening from that intersection of the rooftops mechanical. The plan is to propose a monument sign (six foot tall, 32 square foot) and a significant amount of landscaping. The landscape architect went through and planted, due to a shortage of five interior trees the architect went ahead and brought in additional shrubs to offset the shortage.

Ms. El-Assadi inquired about the placement of the window and shrubs; Mr. Cullege stated that there would be shrubs and plantings along the front of the wall and the window is higher than the cart area so that the customers would not be looking at the shopping carts but can see through the store. The emergency exit door was changed to glass to provide transparency.

Ms. Peterson extended her appreciation for making the bypass convenient for bikers to the grocery store.

PUBLIC HEARING OPENED AT 7:15 PM

PUBLIC HEARING CLOSED AT 7:16 PM

MOTION: Mr. Tawakkul **MOVED** to approve the special land use permit approval for the construction of 220, 664 square feet grocery store for the site zone TC town center with the site type designation D located at 1420 South Huron Street, **PARCEL K-11-38-280-011**. With the following conditions:

1. The applicant shall obtain the required variances from the Zoning Board of Appeals to allow for the building placement on the parcel and the preliminary site plan.
2. The applicant shall address all outstanding comments for reviewing agencies prior to the final site plan approval.
3. Applicant shall obtain all applicable internal outside agency permits prior to construction.
4. The applicant will enter into a development agreement with the township that will address items set but not limited maintenance of the private commercial drive.
5. Stormwater traffic migration and easement of utilities and any other conditions based upon Planning Commission discussion.

The **MOTION** was **SECONDED** by Mr. Doe.

Roll Call Vote: Mr. Tawakkul (Yes), Ms. El-Assadi (Yes), Mr. Doe (Yes), Mr. Sinkule (Yes), Caleb Copeland (Yes), Bianca Tyson (Yes), Gloria Peterson (Yes).

MOTION PASSED.

v. **OLD BUSINESS**

None to report.

vi. **NEW BUSINESS**

- A. PRELIMINARY SITE PLAN – ALDI, INC. – 1420 S. HURON STREET – PARCEL K-11-38-280-011** – TO CONSIDER THE PRELIMINARY SITE PLAN APPLICATION OF MR. ANDREW SHAW TO PERMIT THE CONSTRUCT OF A 20,664 SQ. FT. GROCERY STORE ON A PARCEL ZONED TC – TOWN CENTER WITH A SITE TYPE DESIGNATION D LOCATED AT 1420 S. HURON STREET, YPSILANTI, MI 48197.

Ms. El-Assadi shared her opinion with the commission on adding to the motion the sufficiency of the tree and shrubbery on the site.

MOTION: Mr. Tawakkul **MOVED** to approve 20,664 SQ FT grocery store on a parcel zoned TC – Town Center with site type designation D located at 1420 South Huron Street, **Parcel K-11-38-280- 011**. With the following conditions:

1. To allow for the deviations of the trees.
2. The applicant shall obtain required variances from Zoning Board of Appeals to allow for the building placement on the parcel as depicted on the preliminary site plan.
3. The applicant shall address all outstanding comments from reviewing agencies prior to the final site plan approval.
4. The applicant shall obtain all applicable internal and outside agency permits prior to construction any other conditions based upon Planning Commission discussion.

The **MOTION** was **SECONDED** by Ms. El-Assadi.

Ms. El-Assadi made a **MOTION** for a friendly amendment to change the parking conditions to 44% versus the 22% as listed; The **MOTION** of Amendment was accepted by Mr. Sinkule.

Roll Call Vote: Mr. Tawakkul (Yes), Ms. El-Assadi (Yes), Mr. Doe (Yes), Mr. Sinkule (Yes), Caleb Copeland (Yes), Bianca Tyson (Yes), Gloria Peterson (Yes).

MOTION PASSED.

- B. PRELIMINARY SITE PLAN – FROST DISPENSARY – 1250 WATSON STREET – PARCEL K11-13-255-002** – TO CONSIDER THE PRELIMINARY SITE PLAN APPLICATION OF MR. MICHAEL LUDTKE TO PERMIT THE CONSTRUCTION OF A 10,400 SQ. FT. MARIJUANA DISPENSARY AND GROWING FACILITY ON A PARCEL ZONED I-C – INDUSTRIAL AND COMMERCIAL, LOCATED AT 1250 WATSON STREET, YPSILANTI, MI 48198.

Mr. Iacoangeli addressed the Planning Commission and explained the request for a new construction for frost dispensary, which will be 10,400 square foot building for the use of a marijuana dispensary and growing facility in a site that's zoned IC. The Township is part of the zoning ordinance overhaul that was adopted in March 2022. The township made a conscious decision to allow for marijuana uses in all other facets under the state law in the industrial district that is out near the historic Willow Run airport, which is commonly referred to as the IC or the industrial commercial district of the township.

The idea for allowing the usage was, rather than the township trying to compete with the city of Ypsilanti and the city of Ann Arbor to a degree with the retail dispensaries that would allow all of the marijuana uses in the industrial district with the hope that someone would come along and want to build a large facility not only for the sale of marijuana but also for the growing/ laboratory testing of marijuana that the state of Michigan would allow for the new developments that would establish a development in that neighborhood of town. The project would be located at the corner of State and Watson Street, which is near the headquarters for YCUA (Ypsilanti Community Utility Authority).

Following are the Consulting Reports:

- Carlisle Wortman: All the zoning nearby and congruent to this parcel is industrial commercial. Some of them are vacant. There are some single-family homes in and around the neighborhood with a warehouse nearby. Not much topography, a tree survey was provided with 47 trees that were surveyed as part of the woodland ordinance, and there are no wetlands. There is a significant gas transmission line that runs through the parcel (part of the Enbridge Pipeline Corporation). This development will be staying out of the gas utility easement. The buildings comply with the IC district standards.

Section 416 (5) outlines the specific use regulations for marijuana use; Regulations include odor emissions control, licensing requirements, visibility, control location regulations and marijuana waste disposal and permits. The dispensary would have to meet the regulations and it would be codified in the development agreement.

With regards to parking, there is a request for a deviation from the planning commission for the number of spaces. The retail based on the retail square footage and the industrial square footage, the requirement would only be for 23 spaces, the request is for 37 spaces. The requirements for barrier fee and loading spaces have been met. The truck and loading zone have been provided, but

there is no allowance for bicycle parking. The Planning Commission can consider the allowance for the deviation from bicycle parking if there are no pedestrian amenities in that neighborhood. It would be difficult for someone to use Bicycle Transportation to visit that site currently. Trash enclosure with screening has been provided.

Development agreement has not been completed since it is in the preliminary stages. The plan is to enter into a development agreement for this project and pertaining any other conditions that the planning commission might discuss. The dispensary should have the security provisions required to operate a business of this nature.

- OHM (Engineering) recommendation has consented to the preliminary approval.
- YCUA: Currently working with the applicant on some of their watermain designs.
- Fire Marshal: Letter of approval from the fire marshal, all pages were reviewed, and he commented on the requirement of a Knox box.
- Mr. Iacoangeli informed the Commission that even with YCUA in the neighborhood, there are large sections of area that are missing water main and sanitary sewer. It would be an effort on behalf of the township to revitalize this area and to work with people who want to do development and help them achieve their goals by extending water and sewer utilities throughout the rest of the area. As the ACM gets more developed there will be opportunities for the development of new factories/ R&D. Having utilities in place would be beneficial.
- The review by the road Commission stated the access be off Watson Street and not the State, since the project is happening on the north side of the property, which is more adjacent to Watson than State. The attestation by Gary is in the Board packet.
- The Water Resources Commission is being completed.
- Mr. Iacoangeli informed the Commission that to his understanding that the proprietor would also like to do some other things with this property at some point, applying for a consumption license for people to use marijuana on the property in the future and provide an entertainment space.

Ms. Peterson inquired with Mr. Iacoangeli about the time frame for the proposal for future use of the site as an entertainment space; Mr. Iacoangeli stated that the process for splitting the property has been initiated and there was a request by the assessing department to go through with the parcel split (Southern portion of the property). The

other portion of the property is owned by the same owner, and they've already gone through the exercise of getting the parcel split. The reason behind that is the state of Michigan will not grant consumption licenses to the same address where there is recreational or retail component. This would have a separate bill, separate parcel tax and a separate address. This license and approval are for retail sale and the growing portion of the facility.

Andrew Danaher (Stucky Vitale Architects) shared with the Commission that the project underwent a new branding with Michael Ludtke. Putting the buildings together helped in creating a bigger building that complements each other, and this allowed the project to stay out of the pipeline setbacks and several other things on site. With regards to parking, a requirement of 25- 30 spaces would be required for retail purposes. The industry uses 13 or more spaces currently and these two facilities will operate at the same hours. The building is structured with a good balance of masonry materials versus paneling, metal paneling and natural woods.

Ms. El-Assadi inquired about the hours of operation; Andrew Danaher stated the plan is to have from 10:00 am until 9:00 pm (Seven days a week), depending on any ordinances by the Commission.

The Commission inquired with Michael Ludtke (Owner) if he had other facilities; Michael Ludtke stated that this was his first recreational project. Michael Ludtke informed that he has operated over different medical growth facilities but not recreational/retail outlet.

Ms. Peterson inquired about security; Andrew Danaher stated that security requirements at the state level are strict and stringent. There is a requirement to hold video on site for many days (State Requirement; 60 days) and sharing it with police officers/ enforcement as needed. The space internally and externally will be fully covered with security camera 24/7. The plan is to have a full-time security guard on site as well (evaluated as space grows).

Mr. Copeland inquired about what set Frost Dispensary apart from other dispensaries; Michael Ludtke (Owner) stated that his goal is to vertically integrate the production and selling of cannabis grown in Ypsilanti to the people from the Ypsilanti Community and the future to having a consumption lounge for people to experience and consume in a safe area. It is very similar to a brewery where people must have a designated driver/uber for safety.

MOTION: Mr. Tawakkul **MOVED** to approve the request for preliminary site plan approval for the construction of a 10,400 square foot marijuana dispensary and growing facility on parcel zoned IC - industrial and commercial located at 1250 Watson Street, **PARCEL K11-13-255-002**. With the following conditions:

1. The variance for the parking and the inclusion of a bike rack along with the applicant shall provide trash enclosure screening.
2. The township and applicant shall prepare and develop an agreement that ensures that the specific use regulations are met.
3. The applicant shall address all outstanding comments from reviewing agencies prior to final site plan approval.
4. Applicant shall obtain applicable Washington County Water Resource commission, Washington County Road commission, Michigan Department of Environment, Great Lakes and energy and Ypsilanti Township and community standards and permits and any other condition based upon Planning Commission discussions.

The **MOTION** was **SECONDED** by Ms. El-Assadi.

Roll Call Vote: Mr. Tawakkul (Yes), Ms. El-Assadi (Yes), Mr. Doe (Yes), Mr. Sinkule (Yes), Caleb Copeland (Yes), Bianca Tyson (Yes), Gloria Peterson (Yes).

MOTION PASSED.

vii. OPEN DISCUSSIONS FOR ISSUES NOT ON AGENDA

A. Correspondence received.

None to Report.

B. Planning Commission members

Mr. Tawakkul inquired about who manages the Energy Step Drive; Mr. Iacoangeli stated Demko 29, who owns the Washtenaw Business Park controls it. A notice of violation was sent.

Mr. Iacoangeli stated that the Roundhouse construction would be arriving on site any day. They are still waiting for an eagle permit and will be starting underground work in the next few weeks. The building permit has been approved by the building department.

C. Members of the audience

None to Report.

viii. TOWNSHIP BOARD REPRESENTATIVE REPORT

Ms. Peterson extended her appreciation towards the two attorneys for working so hard on the golf village project.

ix. ZONING BOARD OF APPEALS REPRESENTATIVE REPORT

None to Report.

x. **TOWNSHIP ATTORNEY REPORT**

None to Report.

xi. **PLANNING DEPARTMENT REPORT**

Mr. Iacoangeli shared with the Commission the projects that would be eligible to come through and some that are under review. The Children's Healing Center has been issued the pre- construction meeting requirements letter so that development should be kicking off their construction here shortly. The EMU golf facility continues to make great strides. Range USA is doing well in business. RNL carriers are working on completing the project. Minion Street needs to be completed once the construction is over.

Amendments to the ordinance have been stalled due to the demand at the office, the amended ordinance should be ready for review in June.

The plan is to schedule a training session with Michigan Association of Planning.

xii. **OTHER BUSINESS**

None to Report.

xiii. **ADJOURNMENT**

MOTION: Mr. Sinkule **MOVED** to adjourn at 7:58pm. The **MOTION** was **PASSED** by unanimous consent.

Respectfully Submitted by: Minutes Services



**Staff Report
6016 Merritt Road
Rezoning Request**

June 13, 2023

CASE LOCATION AND SUMMARY

The Office of Community Standards is in receipt of an application to rezone a 10-acre parcel from R-1, One-Family Residential to R-1, One-Family Residential with an Agricultural Overlay, located at 6016 Merritt Road (K-11-32-200-034)

APPLICANT

Mr. Daniel Jurca
6016 Merritt Road
Ypsilanti, MI 48197

CROSS REFERENCES

Zoning Ordinance citations:

- Article 4 – Sec. 406. – R-1 to R-5 One-Family Residential Districts
- Article 4 – Sec. 411. – Agricultural Overlay District:
- Article 18 – Changes and Amendments

SUBJECT SITE USE, ZONING AND COMPREHENSIVE PLAN

The subject site is a 10-acre parcel with a single-family home. The Ypsilanti Township 2040 Master Plan designates this site for agricultural preservation, a designation intended to preserve agricultural lands and prime agricultural soils for farming. Farms are an appropriate land use for this area.

NATURAL FEATURES

- Topography:** The subject parcel is relatively flat.
- Woodlands:** The site does not have any woodlands.
- Wetlands:** Based on the Michigan EGLE wetlands map viewer, there are no wetlands on the subject property.
- Soils:** Unknown



6016 Merritt Road, Ypsilanti, MI 48197 – Aerial Photograph 2020



ADJACENT USES, ZONING AND COMPREHENSIVE PLAN

Direction	Use	Zoning	Master Plan
North	Residential and Agricultural	R-1 / AG	Agricultural Preservation
South	Residential	R-1	Agricultural Preservation
East	Residential	R-1	Agricultural Preservation
West	County Park	R-1 / AG	Agricultural Preservation

ANALYSIS

The plan has been reviewed by Township Staff and consultants in accordance with our usual procedures. We offer the following comments for your consideration.



Planning Department – The applicant would like to establish an orchard, garden, honeybees, and animals on the subject property. If approved, the rezoning would apply the agricultural overlay to this property and would permit the use of the property for the above referenced uses. Township Staff wants to applicant to explain what type of farm animals he intends to have and how many. The attached review letter from Carlisle Wortman Associates provides a detailed explanation of the overlay district, uses in the district, and the standards for review.

Engineering Department (OHM) – N/A for the rezoning application.

Fire Department – N/A

YCUA – N/A

Road Commission – N/A

Water Resources Commission – N/A

Suggested motions: *The following suggested motions and conditions are provided to assist the Planning Commission in making the most appropriate motion for this application. The Commission may utilize, add, or reject any conditions suggested herein, as they deem appropriate.*

Motion to table:

“I move to table the rezoning request of a 10-acre parcel from R-1, One-Family Residential, to R-1, One-Family Residential with an Agricultural Overlay, located at 6016 Merritt Road (K-11-32-200-034) in order to further consider the comments made during this meeting.”

Motion to approve:

“I move to approve the rezoning request of a 10-acre parcel from R-1, One-Family Residential, to R-1, One-Family Residential with an Agricultural Overlay, located at 6016 Merritt Road (K-11-32-200-034) for the following reasons:

Motion to deny:

“I move to deny the rezoning request of a 10-acre parcel from R-1, One-Family Residential, to R-1, One-Family Residential with an Agricultural Overlay, located at 6016 Merritt Road (K-11-32-200-034) for the following reasons:

Respectfully submitted,

Fletcher Reyher, Planning and Development Coordinator
Charter Township of Ypsilanti Planning Department



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: June 8, 2023

**Rezoning Application
For
Ypsilanti Charter Township, Michigan**

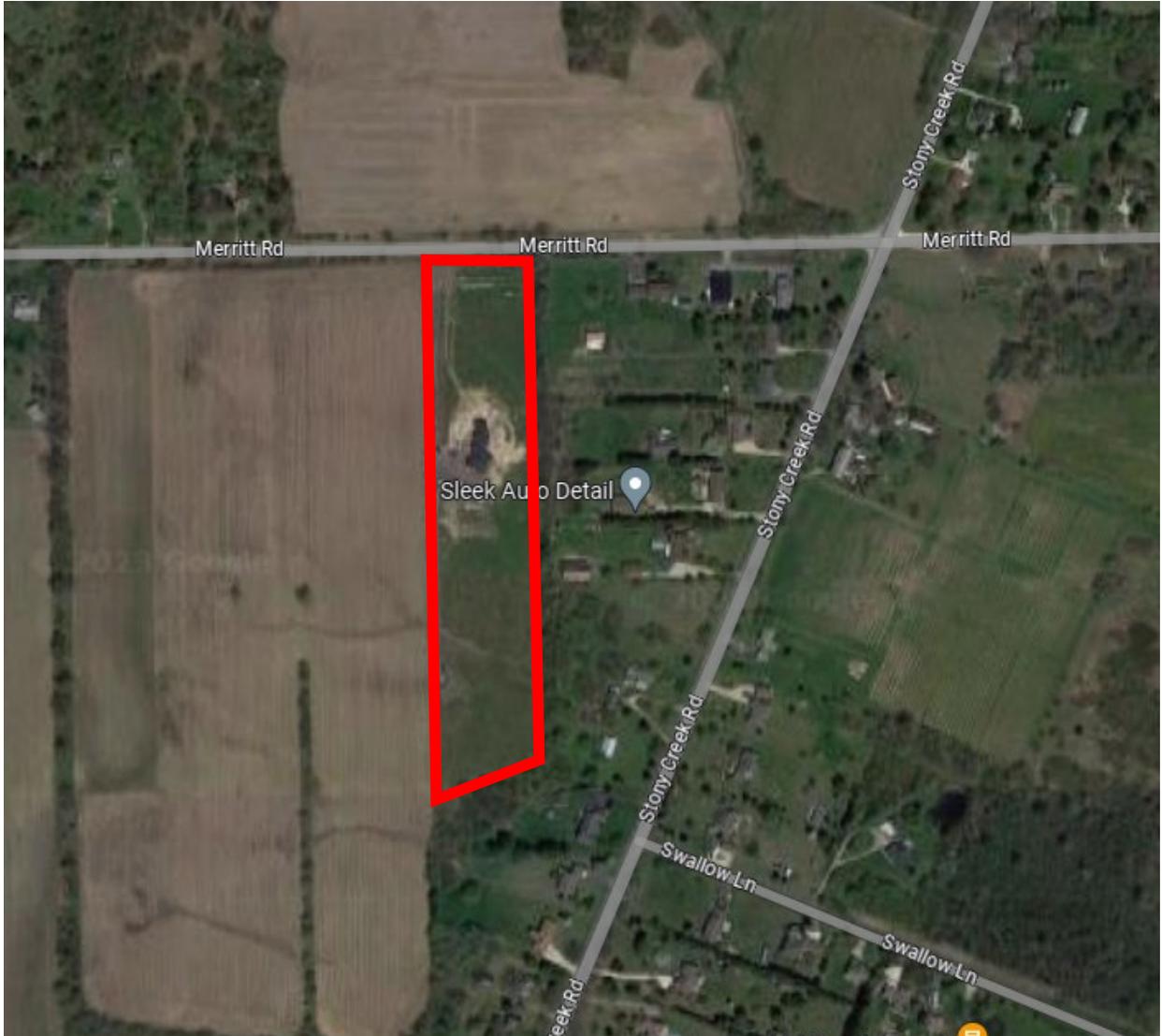
Applicant:	Daniel Jurca
Project Name:	6016 Merritt Rezoning
Plan Date:	May 24, 2023
Location:	6016 Merritt
Zoning:	R-1, One Family Residential
Action Requested:	Rezoning from R-1, One-Family Residential to R-1, One Family Residential with Agriculture Overlay

PROJECT AND SITE DESCRIPTION

The owner of 6016 Merritt Road is seeking to rezone their property from R-1, One-Family Residential to R-1, One Family Residential with Agriculture Overlay. The rationale for the rezoning is the property owner would like to use their property for agriculture purposes including fruit trees, gardens, honeybees, and animals, which is not allowed on the underlying R-1, One Family Residential zoned property. The property is bounded by Rolling Hills County Park to the west and rural single-family homes to the east and south.

Part of the site has recently been improved with a single-family home.

Location of Subject Property:



Surrounding Property Details:

Surrounding uses and zoning to the entire property include:

Direction	Zoning	Use
North	R-1, One Family Residential with Agriculture Overlay	Agriculture
South	R-1, One Family Residential	Agriculture / Vacant
East	R-1, One Family Residential	Single-family residential / Vacant
West	R-1, One Family Residential with Agriculture Overlay	Agriculture

Size of Site:

The total area of the subject site is +/-10.0 acres

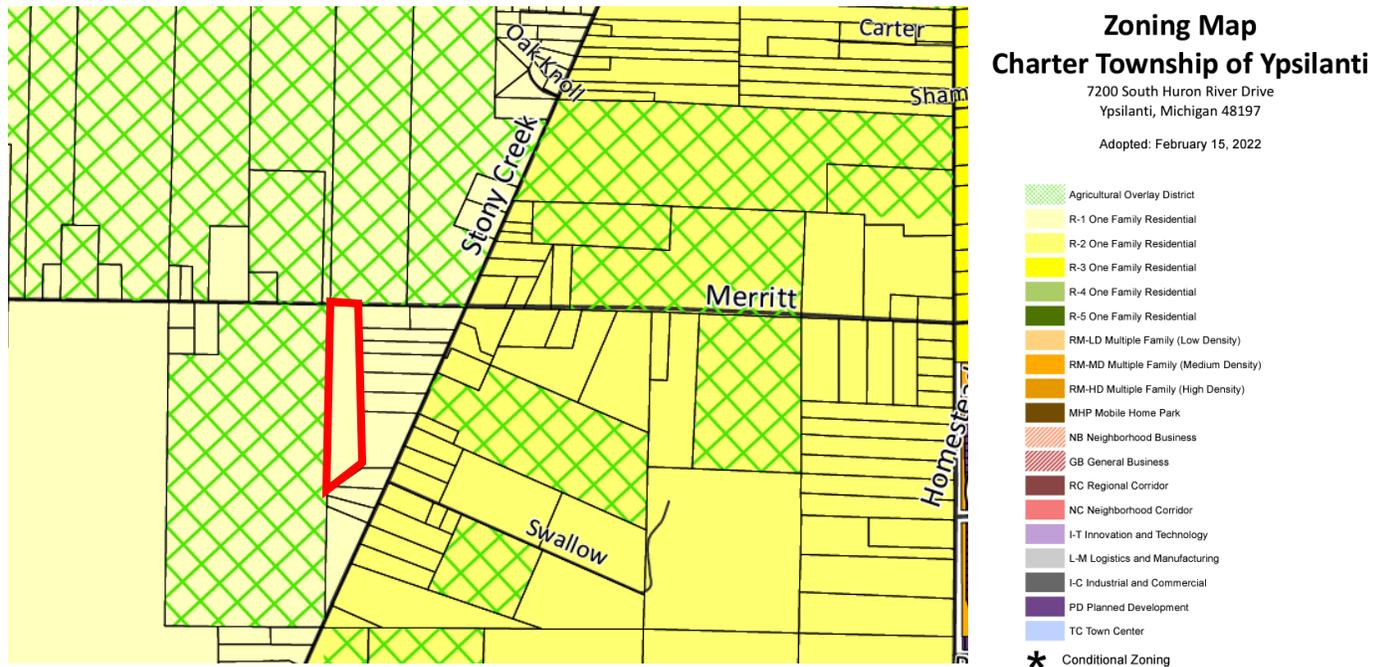
Current Use of Site:

The site is currently used as single-family residential

Proposed Use of Site:

Fruit trees, gardens, honey bees and animals

ZONING



The site is currently zoned R-1, One Family Residential, and surrounded by R-1, One Family Residential and R-1, One Family Residential with Agriculture Overlay.

MASTER PLAN

**GOAL 2:
PRESERVE THE SOUTHERN
PORTION OF THE TOWNSHIP AS
THE AGRICULTURAL AND OPEN
SPACE CORE OF THE TOWNSHIP**

Why

- Agriculture has a long valued history in the township.
- Farmland is a finite natural resource.
- Agriculture and open space are community valued assets.
- Just over 2,000 acres remain in agricultural production in Ypsilanti Township.
- Without a shift in land use policy, agriculture and open space land are in jeopardy due to past development patterns.

How

- Encourage development in areas already served with water and sewer utilities.
- Preserve farmland in the southern part of the township via partnerships and County, State and federal funding.
- Support the agricultural economy.

Ypsilanti Township
2045 Master Plan

**FUTURE LAND USE MAP
Ypsilanti Township, Washtenaw County**

NEIGHBORHOOD PRESERVATION: Neighborhood Preservation areas are established residential neighborhoods primarily north of Ford Lake and 94. The intent is to preserve and strengthen the neighborhoods through investment, rehabilitation and infill.

INNOVATION & EMPLOYMENT DISTRICT: The Innovation and Employment District is intended to be the major employment area of the township. The area is targeted for companies at the cutting edge of innovation with a combination of technology, office, craft manufacturing or light industrial uses.

OPEN SPACE, NEIGHBORHOOD PRESERVATION, & CLUSTER DEVELOPMENT: Open Space, Neighborhood Preservation, and Cluster Neighborhood areas are in the southern part of the township. These areas can accommodate smaller scale specialized agricultural uses and low density/cluster single-family residential while preserving open spaces, natural features and existing neighborhoods.

AGRICULTURAL PRESERVATION: Agriculture Preservation is clustered in the south-central portion of the township, where farming operations are active. The category conserves agricultural lands for small, medium and larger farms, and provides stability for the agricultural economy while creating a sense of place.

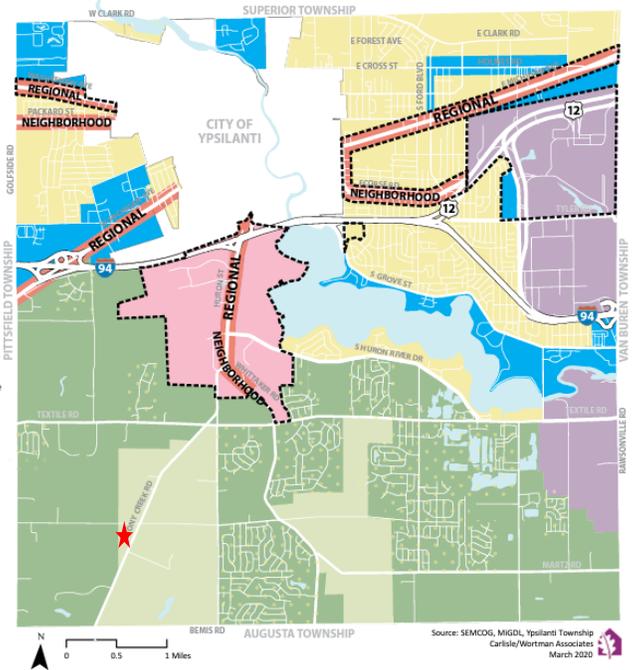
NEIGHBORHOOD TRANSITION DISTRICTS: Neighborhood transition districts are multiple family housing, commercial and office uses, but can include single-family homes and institutional/civic uses and spaces. Uses shall be compatible with the existing areas and respect adjacent neighborhoods. The district is intended to serve as a sensible transition from Neighborhood Preservation Areas to more intense uses.

TOWNSHIP CORE: The Township Core is intended to be the central core of the township. It includes the governmental center of the township with the Civic Center, County Courthouse, and the district library. Huron Street and the immediately surrounding area is meant to host a mix of uses from multiple-family residential to commercial to light industrial.

MIXED USE CORRIDORS: Mixed Use Corridors are developed transportation arteries, with a mixture of residential, commercial, office and employment uses. The intent is to improve the function, investment value and aesthetics of corridor. There are two types of Mixed Use Corridors: Neighborhood and Regional.

SPECIAL AREA PLANS: These areas have special area plans either in this document or recently adopted by Ypsilanti Township.

EXISTING NEIGHBORHOODS: The intent is to preserve and strengthen these neighborhoods through investment, maintenance and preservation of surrounding open space.



50 Future Land Use Plan - ADOPTED MARCH 2020

The site is located in the area designated for “agricultural preservation.” This area is clustered in the south-central portion of the township, where farming operations are active. The category conserves agricultural lands for small, medium and larger farms, and provides stability for the agricultural economy while creating a sense of place. The Agriculture Preservation area is intended to preserve agricultural lands and prime agricultural soils for farming and provide stability to the farming economy. Any future development shall promote agricultural activity or be uses complementary to the agricultural character. Production farms and nurseries is a recognized appropriate land use.

To further the goal of agricultural and open space preservation the Plan calls for preserving farmland and supporting the agricultural economy.

The proposed rezoning of this parcel to add the Agricultural Overlay is consistent with the intent of the Master Plan.

AGRICULTURE OVERLAY DISTRICT

An overlay district is a special kind of zoning district placed over existing base zones (such as residential or commercial) that adds additional standards in those areas. The intent is to preserve agricultural lands and prime agricultural soils for farming and provide stability for the farming economy. This overlay zoning district is intended only for existing farm operations at the time of the adoption of this Zoning Ordinance or areas designated for farmland or open space preservation by the Master Plan.

The Agricultural Overlay District is an overlay district where the uses in the underlying zoning district are allowed as well as the uses in the Agricultural Overlay District. Principle uses in the include various agricultural uses such as farm operations, seasonal sales, public riding and boarding stables, and greenhouses. Special uses include farms with agricultural commercial and tourism, commercial kennel/pet day care, artisan food and beverage, tasting rooms, large solar generation facility on a farm operation, and farmers markets.

The proposed use of the property for fruit trees, gardens, honey bees and animals is permitted, if the rezoning is approved. There are few items for the Planning Commission to consider:

1. If the property is rezoned to the Agriculture Overlay, under the Right-to-farm act the applicant would be permitted any farming use as permitted if the use meets the Generally Accepted Agricultural and Management Practices (GAAMPs). If rezoned to the agriculture overlay, the only way to limit the future use of the property for farming and animal use purposes is if the applicant were to **voluntarily** place conditions on the future use of the property; however,
2. The size of the property, 10 acres, does not meet many GAAMP requirements for impactful uses, such as livestock farms.

Items to be Addressed: *Applicant shall describe the overall type of farming use of the property and the type, purpose, and number of animals they intend to have on the property.*

STANDARDS

As set forth in Section 1804, the township shall utilize the following standards to review the application for rezoning:

1. *Consistency with the goals, policies, and future land use map of the Charter Township of Ypsilanti Master Plan, including any sub-area or corridor plans. If conditions have changed since the master plan was adopted, the rezoning may be found to be consistent with recent development trends in the area.*
2. *Compatibility of the site's physical, geological, hydrological, and other environmental features with all uses permitted in the proposed zoning district compared to uses permitted under current zoning.*

3. *The compatibility of all uses permitted in the proposed zoning district with surrounding uses and zoning in terms of land suitability, impacts on the environment, density, nature of use, traffic impacts, aesthetics, infrastructure, and potential influence on property values compared to uses permitted under current zoning.*
4. *The capacity of Township utilities and services sufficient to accommodate all the uses permitted in the requested district without compromising the health, safety, and welfare of the Township.*
5. *The capacity of the street system to safely and efficiently accommodate the expected traffic generated by uses permitted in the requested zoning district.*
6. *The apparent demand for the types of uses permitted in the requested zoning district in the Township, and surrounding area, in relation to the amount of land in the Township, and surrounding area, currently zoned and available to accommodate the demand.*
7. *The boundaries of the requested zoning district are sufficient to meet the dimensional regulations for the zoning district listed in Article IV, schedule of regulations.*
8. *The requested zoning district shall be more appropriate from the Township's perspective than another zoning district.*
9. *The requested rezoning will not create an isolated and unplanned spot zone.*
10. *The request has not previously been submitted within the past one (1) year, unless conditions have changed, or new information has been provided.*
11. *Other criteria as determined by the Planning Commission or Township Board which would protect the health and safety of the public, protect public and private investment in the Township, and enhance the overall quality of life in Charter Township of Ypsilanti.*

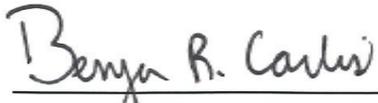
Overall we generally find that the standards have been met. However, since the property abuts rural single-family residential these findings are based on a limited non-impactful farming and use of the property for animal purposes.

We recommend that the applicant describe the overall type of farming use of the property and the type, purpose, and number of animals they intend to have on the property. The Planning Commission should consider the farming and animal use on the property to determine potential impacts and if the standards have been met.

RECOMMENDATIONS

If the Planning Commission finds that potential farming and animal use on the property is limited and shall not negatively impact adjacent properties, we recommend rezoning the parcel from R-1, One-Family Residential to R-1, One Family Residential with Agriculture Overlay

6016 Merritt Road Rezoning
June 8, 2023

Handwritten signature of Benjamin R. Carlisle in black ink.

CARLISLE/WORTMAN ASSOC., INC
Benjamin R. Carlisle, AICP, LEED AP
President

Charter Township of Ypsilanti
Office of Community Standards
7200 S. Huron Drive, Ypsilanti, MI 48197
Phone: (734) 485-3943
Website: <https://ytown.org>

REZONING/ CONDITIONAL REZONING/ ORDINANCE TEXT/ MASTER PLAN AMENDMENT APPLICATION

I. APPLICATION TYPE

Rezoning*

Ordinance Text Amendment

Conditional Rezoning*

Master Plan/Future Land Use Map Amendment

II. PROJECT LOCATION (if applicable)

Address: _____, Ypsilanti, MI, _____

Parcel ID #: K-11- 32-200-034

Current Zoning: RESIDENTIAL-IMPROVED Proposed Zoning (if rezoning): R1 with Agricultural overlay

Lot Number: _____ Subdivision: _____

Legal description (including tax code) is attached to this application

III. APPLICANT INFORMATION

Applicant Name: DANIEL JURCA. Phone: 734-730-0145

Applicant address: 6016 MERRITT Rd City: Ypsilanti State: MI Zip: 48197

Fax: _____ Email: dannyanca@comcast.net

Is applicant the property owner?

YES

NO**

**If applicant is not the owner of the property, please attach a letter of interest, written authorization from the property owner, and purchase agreement to this application

Applicant has attached a letter of interest and written authorization

IV. FEES

Total: \$3,000

Breakdown of fee:

Non-refundable: \$1,500

Refundable: \$1,500

V. APPLICANT SIGNATURE



Applicant Signature

DANIEL JURCA.

Print Name

04/17/23

Date

*For rezoning applications only:

Applicant agrees to post signage for public notice, adhering to the requirements detailed on the following page:



Applicant Signature

DANIEL JURCA

Print Name

04/17/23

Date

PLOT PLAN

DESCRIPTION (K -11-32-300-034)

A PARCEL OF LAND IN THE N.W. 1/4 OF SECTION 32, T.3S., R.7E., YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN, DESCRIBED AS:

BEGINNING AT THE N.W. CORNER OF SAID SECTION 32; THENCE S88°06'15"E, ALONG THE NORTH LINE OF SAID SECTION 32 AND THE CENTERLINE OF MERRITT ROAD, 66 FEET WIDE, 269.64 FEET; THENCE S00°15'40"W, 1355.68 FEET; THENCE S59°19'15"W, 387.37 FEET TO THE WEST LINE OF SAID SECTION 32; THENCE N02°22'35"E, ALONG SAID WEST LINE, 1563.80 FEET TO THE POINT OF BEGINNING.

CONTAINING 10.010 ACRES OF LAND MORE OR LESS.

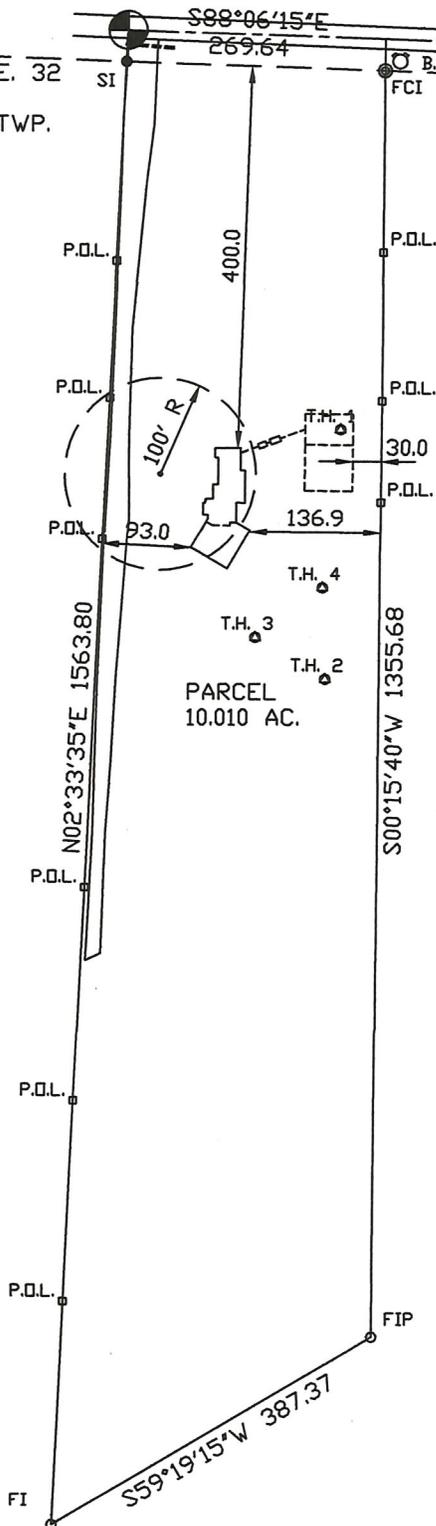
SUBJECT TO THE RIGHTS OF THE PUBLIC OVER THE NORTHERLY 33 FEET FOR MERRITT ROAD, AND TO ANY EASEMENTS OR RESTRICTIONS OF RECORD.

MERRITT RD, 66' WD.
24' WD. ASPH. PAVE.

N.W. COR. SE. 32
T.3S., R.7E.,
YPSILANTI TWP.

NORTH LINE SEC. 32

N. 1/4 COR. SE. 32
T.3S., R.7E.,
YPSILANTI TWP.



0 50 100 200

1"=200'

NOTE: SITE IS SERVED
BY ON-SITE WATER
AND WASTE DISPOSAL.

B.M. ARROW ON
HYDRANT NEAR N.E.
CORNER OF PARCEL
ELEV. 100.00 (ASSUMED)

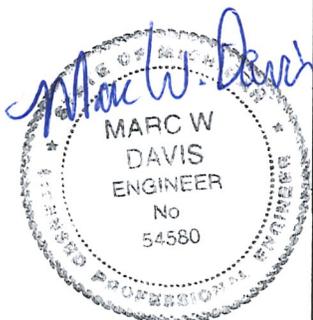
LEGEND

FI = Found Iron
SI = Set Iron
Fence // // //
x 92.5 = EX. GRADE
x P93.6 = PROP. GRADE

734-755-9035

MARC W. DAVIS P.E. #54580

CLIENT: D. JURCA



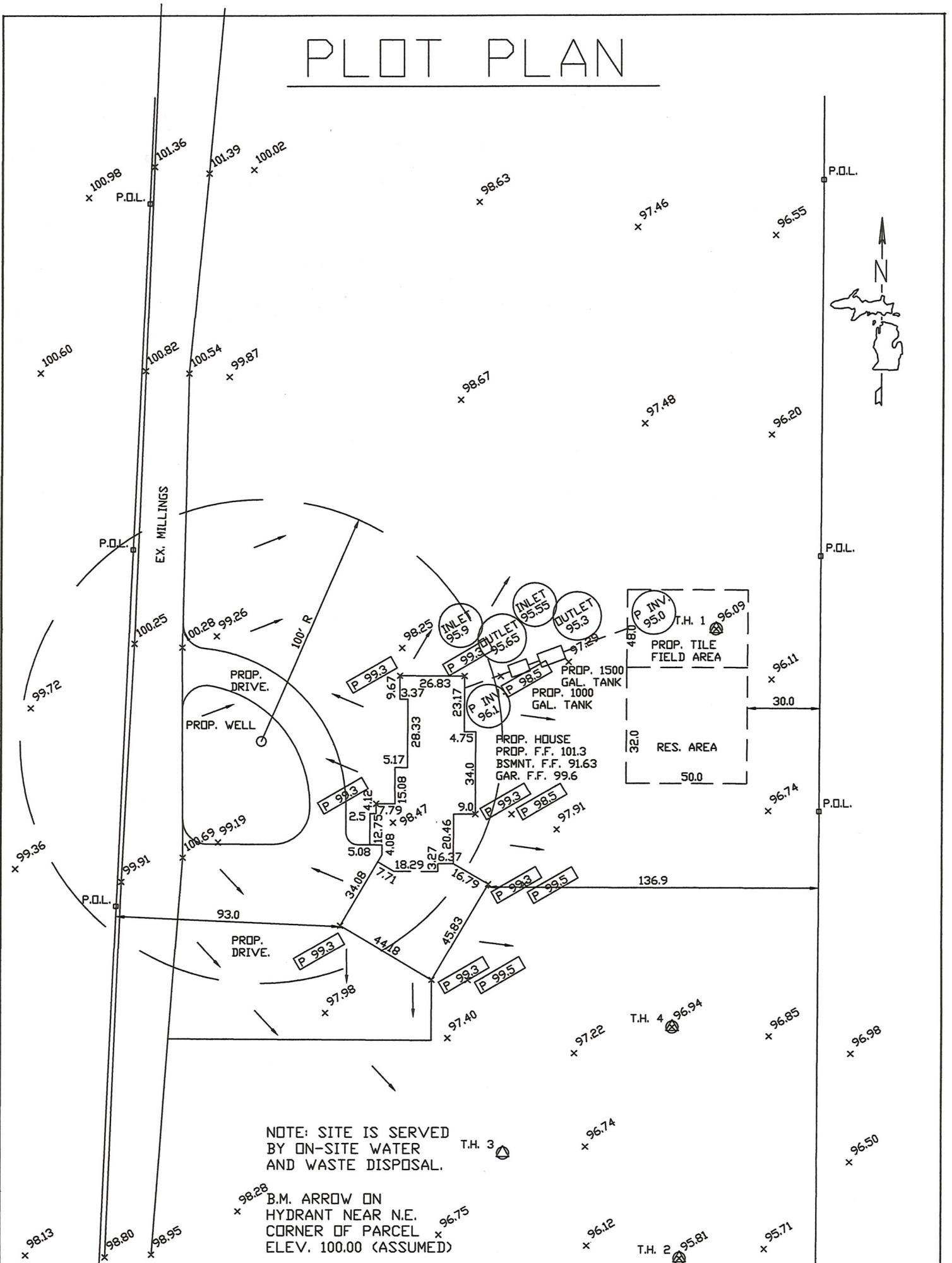
APEX SURVEY

20960 MILWAUKEE RD.
BRITTON, MICHIGAN 49229
LAND SURVEYOR # 27446
(734) 634-3591
email: mwdavispe07@yahoo.com

JOB #17-126-20	1"=200'
DATE 1-7-21	SCALE
DWG. BY MWD	BK PG

SHEET 1 OF 2

PLOT PLAN



NOTE: SITE IS SERVED BY ON-SITE WATER AND WASTE DISPOSAL.

x 98.28 B.M. ARROW ON HYDRANT NEAR N.E. CORNER OF PARCEL ELEV. 100.00 (ASSUMED)

LEGEND

- FI = Found Iron
- SI = Set Iron
- Fence — // — // —
- x 92.5 = EX. GRADE
- x [P93.6] = PROP. GRADE

734-755-9035

MARC W. DAVIS P.E. #54580

CLIENT: D. JURCA

APEX SURVEY

20960 MILWAUKEE RD.
BRITTON, MICHIGAN 49229
LAND SURVEYOR # 27446
(734) 634-3591
email: mwdavispe07@yahoo.com

JOB #17-126-20	1"=50'
DATE 1-7-21	SCALE
DWG. BY MWD	BK PG

SHEET 2 OF 2



PLOT PLAN

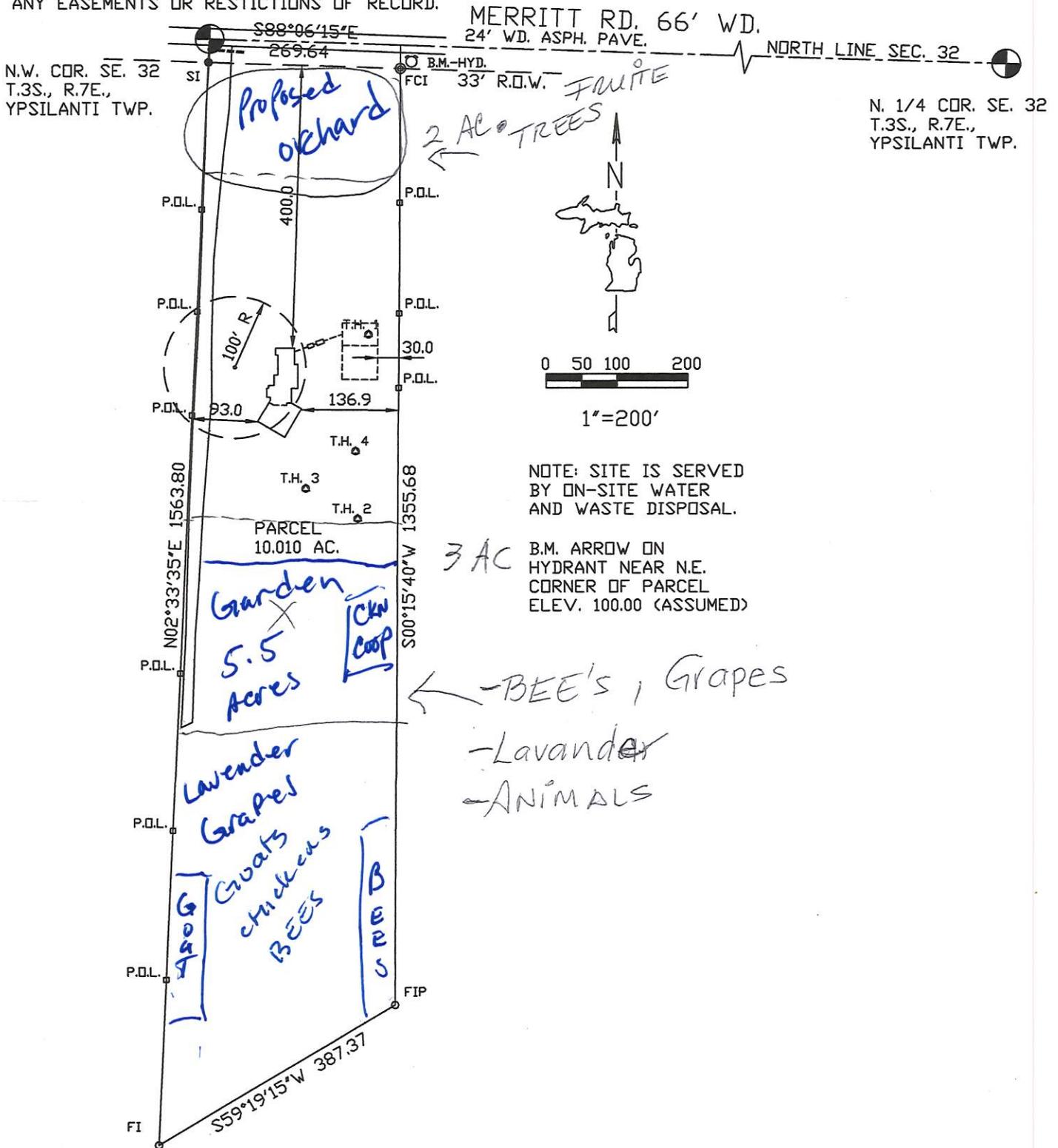
DESCRIPTION (K -11-32-300-034)

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x 92.5 = EX. GRADE
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734-755-9035

MARC W. DAVIS P.E. #54580

CLIENT: D. JURCA



APEX SURVEY

20960 MILWAUKEE RD.
BRITTON, MICHIGAN 49229
LAND SURVEYOR # 27446
(734) 634-3591
email: mwdavispe07@yahoo.com

JOB # 17-126-20	1"=200'
DATE 1-7-21	SCALE
DWG. BY MWD	BK PG

SHEET 1 OF 2



THIS PROPERTY IS
PETITIONED FOR
RE-ZONING.
IF YOU HAVE ANY
QUESTIONS CALL THE
CHARTER TOWNSHIP
OF YPSILANTI
PLANNING DEPT.
734-544-4000



May 24, 2023

Charter Township of Ypsilanti
7200 S. Huron River Drive,
Ypsilanti, MI 48197

Re: Rezoning Application – 6016 Merritt Road

To whom it may concern,

I, Daniel Jurca, am proposing the rezoning of my property. The property is located at 6016 Merritt Road, Ypsilanti, MI 48197 Parcel K-11-32-200-034. The property is 10.010 acres and is currently zoned R-1 One-Family Residential. I am proposing the rezoning of my property from R-1 One-Family Residential to R-1 One-Family Residential with an Agricultural Overlay.

I intend to use my property for agriculture purposes including fruit trees, gardens, honey bees and animals. This would cover more than half the property and I request that the Township rezone our property to allow for it.

Sincerely,
Daniel Jurca

A handwritten signature in black ink, appearing to read 'D. Jurca', with a horizontal line underneath the name.



**Staff Report
Comfort Inn & Suites – Hotel
800 S. Hewitt Road
Preliminary Site Plan and Special Land Use Review**

June 13, 2023

Case Location and Summary

The Office of Community Standards is in receipt of a Preliminary Site Plan Application from Wolverine Eagle Hospitality for a proposed hotel to be located at 800 S. Hewitt Road Parcel K-11-18-100-022. The Applicant is seeking special use and Preliminary Site Plan approval to construct a 78-room, 4-story Comfort Inn & Suites Hotel.

Owner/Applicant

Wolverine Eagle Hospitality
3241 Carleton Road, Hillsdale, MI 49242

Cross References

Zoning Ordinance citations:

- Article 5 – Form Based Districts
- Article 9 – Site Plan Review
- Article 10 – Special Land Use
- Article 12 – Access, Parking, and Loading
- Article 13 – Site Design Standards
- Article 17 – Zoning Board of Appeals

SUBJECT SITE USE, ZONING AND COMPREHENSIVE PLAN

The subject site is a 2.7-acre parcel that is currently vacant. The site is currently zoned RC, Regional Corridor with a Site Type C Designation. The Ypsilanti Township 2040 Master Plan designates this site as Mixed-Use Corridors, a designation for developed transportation arteries, with a mixture of residential, commercial, office, and employment uses. The intent is to improve the function, investment value and aesthetics of corridor.



800 S. Hewitt Road, Ypsilanti, MI 48197 – Aerial Photograph 2020



ADJACENT USES, ZONING AND COMPREHENSIVE PLAN

Direction	Use	Zoning	Master Plan
North	Commercial	RC	Mixed Use Corridors
South	Commercial Vacant	RC	Mixed Use Corridors
East	Commercial	RC	Mixed Use Corridors
West	Commercial	RC	Mixed Use Corridors

NATURAL FEATURES

Topography: The subject parcel is relatively flat.

Woodlands: Applicant submitted a tree survey and plans on removing 51 regulated trees on site.



Wetlands: Based on the Michigan EGLE wetlands map viewer, there are no wetlands on the subject property.

Soils: Unknown

Analysis

The Plans have been reviewed by Township Staff and consultants in accordance with our procedures.

Planning Consultants (Carlisle/Wortman Associates):

CWA reviewed the Preliminary Site Plan and has recommended approval in their letter dated May 17, 2023. CWA lists the following items need to be addressed by the Planning Commission and Applicant prior to making a motion:

1. Planning Commission to consider the applicants request to pay the equivalent replacement of 48 trees into the tree fund.
2. Reduce building height or submit a variance application to the Zoning Board of Appeals.
3. Planning Commission to consider a loading space waiver.
4. Increase transparency to 30% along the buildings western elevation or seek a variance from the Zoning Board of Appeals.

Engineering Consultants (OHM):

The Township Engineer recommended approval for this stage of the process in their May 11, 2023, review letter. OHM has provided preliminary detailed engineering comments that will be addressed at the time of Final Site Plan and Detailed Engineering.

Ypsilanti Community Utilities Authority (YCUA):

YCUA reviewing agent Scott Westover has recommended preliminary site plan approval in a letter dated May 16, 2023.

Ypsilanti Township Fire Department:

YTFD Fire Marshall Steve Wallgren has recommended preliminary site plan approval in a letter dated May 08, 2023.

Washtenaw County Water Resources Commission:

The WCWRC offered comments in their letter dated February 14, 2023.

Washtenaw County Road Commission:

No comments at this time.



SUGGESTED MOTIONS:

Special Land Use

Suggested motions: *The following suggested motions and conditions are provided to assist the Planning Commission in making the most appropriate motion for this application. The Commission may utilize, add, or reject any conditions suggested herein, as they deem appropriate.*

Motion to table:

*“I move to table the request for **special land use permit** approval for construction of a 78-room, 4 story Comfort Inn and Suites for a site zoned RC – Regional Corridor with a Site Type C Designation, located at 800 S. Hewitt Road, Parcel K-11-18-100-022, to consider the comments presented by the Planning Commission during discussion of the project.”*

Motion to approve:

*“I move to approve the **special land use permit** approval for construction of a of a 78-room, 4 story Comfort Inn and Suites for a site zoned RC – Regional Corridor with a Site Type C Designation, located at 800 S. Hewitt Road, Parcel K-11-18-100-022, with the following conditions:*

- 1. The applicant shall obtain required variances from Zoning Board of Appeals.*
- 2. Applicant shall address all outstanding comments from reviewing agencies prior to Final Site Plan approval.*
- 3. Applicant shall obtain all applicable internal and outside agency permits prior to construction.*
- 4. Any other conditions based upon Planning Commission Discussion.*

Motion to deny:

*“I move to deny the **special land use permit** approval for construction of a of a 78-room, 4 story Comfort Inn and Suites for a site zoned RC – Regional Corridor with a Site Type C Designation, located at 800 S. Hewitt Road, Parcel K-11-18-100-022, due to the following reasons:”*



Preliminary Site Plan

Suggested motions: *The following suggested motions and conditions are provided to assist the Planning Commission in making the most appropriate motion for this application. The Commission may utilize, add, or reject any conditions suggested herein, as they deem appropriate.*

Motion to table:

*"I move to table the request for **preliminary site plan** approval for construction of a 78-room, 4 story Comfort Inn and Suites for a site zoned RC – Regional Corridor with a Site Type C Designation, located at 800 S. Hewitt Road, Parcel K-11-18-100-022, to consider the comments presented by the Planning Commission during discussion of the project."*

Motion to approve.

*"I move to approve the **preliminary site plan** approval for construction of a 78-room, 4 story Comfort Inn and Suites for a site zoned RC – Regional Corridor with a Site Type C Designation, located at 800 S. Hewitt Road, Parcel K-11-18-100-022, with the following conditions:*

- 1. The applicant shall obtain required variances from Zoning Board of Appeals.*
- 2. Applicant shall address all outstanding comments from reviewing agencies prior to Final Site Plan approval.*
- 3. Applicant shall obtain all applicable internal and outside agency permits prior to construction.*
- 4. Any other conditions based upon Planning Commission Discussion.*

Motion to deny:

*"I move to deny the **preliminary site plan** approval for construction of a 78-room, 4 story Comfort Inn and Suites for a site zoned RC – Regional Corridor with a Site Type C Designation, located at 800 S. Hewitt Road, Parcel K-11-18-100-022 for the following reasons:"*

Respectfully submitted,

Fletcher Reyher, Planning and Development Coordinator
Charter Township of Ypsilanti Planning Department

Planning Director's Report

Project Name: Comfort Inn & Suites

Location: 800 S. Hewitt Road, Ypsilanti, MI 48197

Date: 05-23-2023

- | | |
|---|---|
| <input checked="" type="checkbox"/> Full Preliminary Site Plan Review # 2
<input type="checkbox"/> Sketch Preliminary Site Plan Review #
<input type="checkbox"/> Administrative Preliminary Site Plan Review #
<input type="checkbox"/> Detailed Engineering/Final Site Plan Review #
<input type="checkbox"/> Special Use Permit
<input type="checkbox"/> Public Hearing | <input type="checkbox"/> Rezoning
<input type="checkbox"/> Tentative Preliminary Plat
<input type="checkbox"/> Final Preliminary Plat
<input type="checkbox"/> Final Plat Process
<input type="checkbox"/> Planned Development Stage I
<input type="checkbox"/> Planned Development Stage II |
|---|---|

Contact / Reviewer	Consultants, Departments, & Agencies	Approved	Approved with Conditions	Denied	N/A	See email/letter attached or comments below
Jason Iacoangeli, Planning Director	Township Planning Department	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See comments below
Carlisle/Wortman Associates	Planning Consultant	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 05-17-2023
OHM / Stantec	Engineering Consultant	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 05-11-2023
Steven Wallgren, Fire Marshal	Township Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 05-08-2023
Dave Bellers, Building Official	Township Building Department	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Brian McCleery, Deputy Assessor	Township Assessing Department	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Scott Westover, Engineering Manager	Ypsilanti Community Utilities Authority	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 05-16-2023
Gary Streight, Project Manager	Washtenaw County Road Commission	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Theresa Marsik, Stormwater Engineer	Washtenaw County Water Resources Commission	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See letter dated 02-14-2023
James Drury, Permit Agent	Michigan Department of Transportation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Planning Director's Recommended Action:

At this time, the Comfort Inn & Suites is eligible for Preliminary Site Plan and Special Land Use consideration by the Planning Commission. This project is being placed on the Planning Commission agenda for Tuesday, June 13, 2023, at the regularly scheduled meeting. It would be the Planning Departments recommendation that the Planning Commission grant Preliminary Site Plan approval and Special Land Use approval as this project meets the conditions of the Township Zoning Ordinance for a new development of this type. The approval should be contingent on the applicant obtaining necessary variances from the Zoning Board of Appeals, addressing the remaining engineering comments and outside agency comments as a part of the Final Site Plan / Detailed Engineering Design. In addition, the approval should be contingent on the applicant addressing the conditions of approval presented in the Planning Departments Staff Report.



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: May 17, 2023

**Preliminary Site Plan Review
For
Ypsilanti Charter Township, Michigan**

GENERAL INFORMATION

Applicant:	Wolverine Eagle Hospitality
Project Name:	Comfort Inn and Suites
Plan Date:	April 27, 2023
Location:	Southside of Michigan Avenue, just west of Hewitt (access off Hewitt)
Zoning:	RC, Regional Corridor
Action Requested:	Preliminary Approval

PROJECT AND SITE DESCRIPTION

An application has been submitted for a 78-room, 4-story Comfort Inn and Suites. The 2.7-acre site is currently vacant. The site is on the south side of Michigan Avenue, in between the Wendy's to the east and the former Ford UAW building to the west. There will be one point of access to the site off the shared drive to the former Ford UAW facility, which is accessed off S. Hewitt Road. The hotel will be served with 86 parking spaces. The hotel will not include a restaurant use.

The site is currently zoned RC, Regional Commercial. The proposed use is a special use in the RC, Regional Commercial district.

Location of Subject Property:
 800 S. Hewitt Road



Surrounding Property Details:

Direction	Master Plan	Zoning	Use
North	General Commercial	RC, Regional Corridor	Office / Light Industrial
South	General Commercial	I-94	Vacant
East	Industrial	RC, Regional Corridor	Commercial
West	General Commercial	RC, Regional Corridor	Office

Size of Site:

The total area of the subject site is 2.7 acres.

Current Use of Site:

The site is currently vacant.

Proposed Use of Site:

An application has been submitted for 78-room, 4-story Comfort Inn and Suites.

MASTER PLAN

The future land use plan for the subject parcel is designated as Mixed-Use Corridors. Mixed Use Corridors are developed transportation arteries, with a mixture of residential, commercial, office, and employment uses. The intent is to improve the function, investment value, and aesthetics of the corridor.

Regional mixed use corridor areas are located along the busiest corridors, with support for a high volume of both local and regional traffic. This area may include large national chains, regional retailers, and auto-oriented uses that draw customers both regionally and locally. Compared to neighborhood mixed use corridors areas they are high intensity and feature the largest scale of commercial development. Provided the site plan issues are addressed we find that the use complies with the Master Plan.

Items to be Addressed: None

NATURAL RESOURCES

Topography: The subject parcel is level

Woodlands: The applicant has submitted a tree survey. The applicant is removing all 51 regulated trees on site.

Tree Preservation Summary	
Total number of trees surveyed	54
Number of dead/poor trees	3
Net Trees on Site	51
Number of trees removed	51
Number of trees to remain	0
Total Replacement required	51
Total replacement provided on site	3

The applicant proposes to remove all 51 regulated trees and replace them with 3 trees on site. The applicant desires to pay for the remaining 48 trees into the Tree Fund. We asked the applicant to justify the woodland tree removal and replacement. The applicant's response:

One additional woodland replacement has been provided. Most tree removals on-site are located in the parking lot and drive aisles at the south end of the site which is where the site access is proposed. The rest of the tree removals are occurring in the detention basin which needs to be regraded and enlarged to accommodate the site storm water discharge. Replacement is severely hampered by the utilities on-site and the requirements precluding planting within those easements.

Wetlands: There are no onsite wetlands.

Items to be Addressed: Planning Commission to consider the applicants request to pay the equivalent replacement of 48 trees into the tree fund.

HEIGHT, BULK, DENSITY AND AREA

Height, bulk, density, and area requirements are set forth in Section 5.0.4. This is being reviewed as a building from C.

		Required / Allowed	Provided	Complies with Ordinance
Setback	Front	60 feet, with PC approval	51.5 feet	Complies
	Side (east)	0 Feet	33.5 feet	Complies
	Side (west)	0 Feet	47 feet	Complies
	Rear	30 Feet	+100 Feet	Complies
Building Height (Feet)		38 Feet	46.4 feet	Does not comply
Building Height (Stories)		3	4	Does not comply
Parking Location (section sec 5.03.4)		Allowed in front yard but screened via 30-inch screen wall,	N/A	Complies

Items to be Addressed: Reduce building height or submit a variance application to the Zoning Board of Appeals

SITE ACCESS, CIRCULATION, AND TRAFFIC IMPACTS

The site is accessed via a shared private drive off S. Hewitt Road. The private drive is shared with the former Ford UAW building. Primary circulation includes full access around the building. There is a hotel drop off area in the southern end of the building. The required drive-aisle widths are provided.

Because the access is off the private drive, the applicant will need to confirm if they need a permit from the Washtenaw County Road Commission.

Circulation will be reviewed and approved by the Township Fire Marshal.

Items to be Addressed: None

NON-MOTORIZED ACCESS

As requested, the applicant is installing a sidewalk along Michigan Avenue, and a connection from the hotel to the new sidewalk. The Township may consider working with the Road Commission to install a sidewalk in front of Wendy’s to complete the sidewalk connection.

Items to be Addressed: None

PARKING and LOADING

Section 13.06.G of the Zoning Ordinance requires:

	Required	Provided
Hotel: 1 space per each unit plus one space per employee plus space required for accessory uses such as a bar, restaurant, meeting rooms, etc.	78 rooms + 7 employees: 85 spaces	86 spaces
Barrier Free	4	4
Loading	1	0
Bicycle facility	2	2
Total	85 spaces	86 spaces

Loading

The applicant does not provide a loading space on site. The Planning Commission may waiver loading space requirement.

Items to be Addressed: *Planning Commission to consider loading space waiver.*

EXTERIOR LIGHTING

The site plan indicates ten (10) proposed parking lot lights mounted on poles at 25-feet in height. Additionally, there are two (2) light fixtures under the canopy. The fixtures and photometrics meet ordinance requirements.

All exterior lighting fixtures in non-residential districts shall be turned off between the hours of 11:00 p.m. and sunrise, except where used for security purposes or where the use of the property continues after 11:00 p.m. The applicant has added a note to the plans that indicate lights will be turned off after hours or can be dimmed.

Items to be Addressed: *None*

LANDSCAPE REQUIREMENTS

	Required	Provided	Compliance
Street Yard Landscaping: 1 large dec tree per 40 lf of frontage, 1 orn tree per 100 lf of frontage, 1 shrub per 10 lf of frontage	239 L.F. / 40 L.F. = 6 trees 239 L.F. / 100 L.F. = 3 ornamental trees 239 L.F. / 10 = 24 shrubs	6 dec trees, 3 orn trees, 24 shrubs	Complies

General Landscaping: 1 tree per 1,000 sq/ft 1 shrub per 500 sq/ft	2,000 S.F = 2 trees and 4 shrubs	2 trees and 4 shrubs	Complies
Parking Lot: 1 large dec tree per 2000 sf of pavement and 1 per 40 feet of lineal	39,639.89 S.F. / 2,000 S.F. = 20 375 L.F = 9 trees 172 L.F = 4 trees 33 trees	33 trees	Complies
Stormwater: 1 tree per 45 feet and 1 shrub 5 feet of lineal	10 trees and 103 shrubs	10 trees and 103 shrubs	Complies
Mitigation	51 trees	3 trees	Does not comply

Items to be Addressed: None

ELEVATIONS

The applicant has submitted colored elevations. The elevations include a mix of hardie board siding, and Coronado stone. The proposed color scheme is tan, brown, and blue.

The applicant meets the transparency requirements along the north and south elevation; however, they are deficient along the western elevation. Along the western elevation 30% transparency is required and the applicant is providing only 11%. The applicant shall either increase transparency or seek variance from the Zoning Board of Appeals.

Items to be Addressed: Either increase transparency or seek variance from the Zoning Board of Appeals.

DUMPSTER ENCLOSURE

The applicant has relocated the trash enclosure/compactor to a less visible location on the site. Trash enclosure is screened with a masonry wall.

Items to be Addressed: None

SPECIAL USE

Hotel use requires a Special Use. Standards for Special Use review are set forth in Section 1003. The Planning Commission, and the Board of Trustees when required, shall review the circumstances and facts of each proposed use in terms of the following standards and required findings, and with respect to any additional standards set forth in this Ordinance. The Planning Commission, either as part of its final decision or in its recommendation, shall find and report adequate data, information, and evidence showing that the proposed use meets all required standards and:

1. Will be harmonious, and in accordance with the objectives, intent, and purpose of this Ordinance.
2. Will be compatible with the natural environment and existing and future land uses in the vicinity.
3. Will be compatible with the Township master plans.
4. Will be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage ways and structures, refuse disposal, or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately for such services.
5. Will not be detrimental, hazardous, or disturbing to existing or future neighboring uses, persons, property, or the public welfare.
6. Will not create additional requirements at public costs for public facilities and services that will be detrimental to the economic welfare of the community.

Provided that the applicant can obtain the necessary variances from the Zoning Board of Appeals, we find that the special use standards have been met:

1. W. Michigan Avenue includes a varied mix of uses including commercial, office, and institutional uses.
2. The use is complementary to the surrounding uses including the abutting Wendy's.
3. The location off I-94 is appropriate for the use.
4. Regional mixed use corridor areas are located along the busiest corridors, with support for a high volume of both local and regional traffic. This area may include large national chains, regional retailers, and auto-oriented uses that draw customers both regionally and locally. Compared to neighborhood mixed use corridors areas they are high intensity and feature the largest scale of commercial development. Provided the site plan issues are addressed we find that the use complies with the Master Plan. The use is compatible with both the proposed future land uses in the vicinity and the Township master plan.
5. The use can be adequately served by essential public facilities and services, such as highways, streets, police and fire protection, drainage ways and structures, refuse disposal.
6. The use is not detrimental, hazardous, or disturbing to existing or future neighboring uses, persons, property, or the public welfare.
7. The use will not create additional requirements at public costs for public facilities and services that will be detrimental to the economic welfare of the community.

RECOMMENDATION

We note that this is a difficult site to develop due to access and narrowness of site. Fundamentally, we strongly support the use of the site as a hotel. Its proximity next to automobile-oriented uses and location adjacent to I-94, makes this a highly viable site for a hotel.

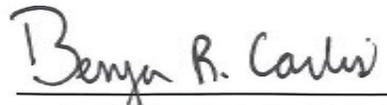
As part of the deliberation, the Planning Commission shall discuss:

1. Waiver of loading space
2. Applicants request to pay the equivalent replacement of 48 trees into the tree fund.

We recommend Planning Commission approve the Special Conditional Land Use and Preliminary Site Plan for Comfort Inn and Suites with the following conditions:

1. Obtain necessary variances.
2. Any additional conditions as discussed by the Planning Commission, specifically tree replacement and loading space waiver

Comfort Inn
May 18, 2023



CARLISLE WORTMAN ASSOC., INC
Benjamin R. Carlisle, AICP, LEED AP
President

May 11, 2023

Mr. Jason Iacoangeli
Township Planning Director
Charter Township of Ypsilanti
7200 S. Huron River Drive
Ypsilanti, MI 48197

RE: Comfort Inn & Suites
Site Plan Review #2

Dear Mr. Iacoangeli:

We have completed the second site plan review of the plans dated October 11, 2022, with a latest revision date of April 27, 2023, and stamped received by OHM Advisors on May 3, 2023.

At this time, the plans are recommended for approval for the Planning Commission's consideration, contingent on the following comment being addressed. Preliminary detailed engineering comments have been provided to the applicant as a courtesy and shall be addressed prior to submitting detailed engineering plans for review.

A brief description of the project has been provided below (Section A), followed by our comments (Section B and C) and a list of anticipated required permits and approvals (Section D). Comments in Section C are detailed in nature, do not influence the overall site layout, and can be addressed during the detailed engineering drawing submittal.

A. PROJECT AND SITE DESCRIPTION

The applicant is proposing a 10,925 square-foot hotel to be located on an existing private drive at the southwest corner of Michigan Avenue and Hewitt Road. Associated parking lot and landscaping improvements are also being proposed. The site will be serviced by connection to the existing nearby water main and sanitary sewer. The applicant is proposing to rehabilitate the existing detention basin, as well as a proposed underground detention basin and conveyance storm sewer system, to capture the proposed stormwater runoff.

B. SITE PLAN COMMENTS

Site Layout

1. The applicant shall provide a garbage truck turning template to verify sufficient accessibility is provided.

C. PRELIMINARY DETAILED ENGINEERING PLAN COMMENTS

The following comments shall be addressed by the applicant during the detailed engineering drawing submittal, and do not affect the recommendation for approval to the Township of Ypsilanti Planning Commission. It should be noted that this is not an all-inclusive list and additional comments may be generated as new information is presented.

1. The applicant shall provide utility pipe profiles, including pipe diameter, material, length, slope, crossings, and hydraulic grade line (where applicable) for all proposed utilities (water, sanitary, storm) on the plans.



2. The applicant shall clarify the location of the proposed retaining wall on the south end of the parcel as it currently appears to be located within the detention basin. The applicant shall provide details of the proposed retaining wall, as well as the detention basin, to clarify how water behind the wall and within the detention basin will be managed.
3. The applicant shall clarify the height of the proposed retaining walls. The applicant shall note that structural calculations are required for all retaining walls greater than two (2) feet in height, per Township Standards.
4. The applicant shall provide spot elevations at all four (4) corners of all ramps, level landings, barrier-free parking spaces, and access aisles. The applicant shall note that the cross-slope shall not exceed 2%, per ADA Standards.
5. The applicant shall provide stormwater management calculations for the proposed underground detention basin on the plans. The applicant shall also provide calculations for the existing detention basin that is proposed to be re-shaped to verify sufficient capacity will be maintained for the proposed runoff, as well as the adjacent parcel.
6. The applicant shall provide a detailed drainage area map that provides drainage areas corresponding to each catch basin, including their acreages, C-factors, and C-factor calculations.
7. The applicant shall provide conveyance calculations for the proposed stormwater management system on the plans.
8. The applicant shall provide a stormwater narrative on the plans clarifying how the existing and proposed stormwater runoff will be managed. The narrative shall also include a description of what the existing detention pond was originally designed to handle, as well as a description of any proposed BMPs.
9. The applicant shall provide a soil erosion and sedimentation control (SESC) sheet within the plan set. The applicant shall also provide the Ypsilanti Township SESC Standard Detail Sheet within the plan set.
10. The applicant shall provide a maintenance schedule for all proposed permanent soil erosion and stormwater management activities both during and after construction. The schedule shall include the frequency of activities as well as the party responsible.
11. The applicant shall provide a Certificate of Outlet, signed and sealed by a registered engineer in the State of Michigan, on the plans.
12. The applicant shall clarify if soil borings have been performed on-site. If so, their logs and locations shall be provided on the plans and a copy of the geotechnical report shall be provided to this office.
13. The applicant shall note that the water main easement shall have a minimum width of 15 feet, per Ypsilanti Township Standards. The applicant shall review and revise accordingly.
14. The applicant shall provide details of the proposed underground detention basin, as well as show access points, on the plans.
15. The applicant shall provide the size and material of all proposed utilities (water, sanitary, storm) on the plans.
16. The applicant shall clarify if any existing utilities are proposed to be removed. The applicant shall note that the linework for all utilities being removed shall be removed from all applicable plan sheets for clarity.
17. The applicant shall provide a quantity table on the Cover Sheet for all proposed utilities, delineated by existing or proposed road ROW or easement.



18. The applicant shall provide a brief project narrative on the Cover Sheet, specifically addressing the private road access and clarify if a maintenance agreement is in place regarding the private road.
19. The applicant shall provide the applicable Ypsilanti Township and/or YCUA Standard Detail Sheets within the plan set. The detail sheets can be obtained by emailing stacie.monte@ohm-advisors.com.

D. REQUIRED PERMITS & APPROVALS

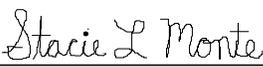
The following outside agency reviews and permits will be required for the project. Copies of any correspondence between the applicant and the review agencies, as well as the permit or waiver, shall be sent to both the Township and OHM Advisors (email: stacie.monte@ohm-advisors.com).

- ▶ **Ypsilanti Community Utilities Authority (YCUA):** Review and approval is required for all proposed water main and sanitary sewer, including services.
- ▶ **Ypsilanti Township Fire Department:** Review and approval is required.
- ▶ **Washtenaw County Water Resources Commissioner's Office (WCWRC):** Review and approval is required.
- ▶ **Washtenaw County Road Commission (WCRC):** Review and approval is required for all work proposed within the Michigan Avenue ROW.
- ▶ **Michigan Department of Environment, Great Lakes & Energy (EGLE):** An EGLE Act 399 and Part 41 permit will be required for construction of all public water main and sanitary sewer systems improvements.
- ▶ **Michigan Department of Environment, Great Lakes & Energy (EGLE):** An EGLE permit will be required for any work and/or stormwater discharge into the wetlands.
- ▶ **Ypsilanti Township Office of Community Standards:** A Soil Erosion and Sedimentation Control permit shall be secured from the Ypsilanti Township Office of Community Standards.
- ▶ The Township's Planner will inspect the landscaping for this site.
- ▶ If dewatering should be needed, the contractor/applicant shall be responsible for obtaining necessary approvals from the Township and the Township Engineer, permission from all impacted adjacent properties and/or permits from MDOT, WCWRC's Office, or the WCRC.
- ▶ Record plans shall be provided to the Township Engineer following the completion of construction.

Should you have any questions regarding this matter, please contact this office at (734) 466-4580.

Sincerely,
OHM Advisors


Matthew D. Parks, P.E.


Stacie L. Monte

MDP/SLM

cc: Fletcher Reyher, Township Staff Planner
Doug Winters, Township Attorney
Steven Wallgren, Township Fire Marshall
File

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CHARTER TOWNSHIP OF YPSILANTI FIRE DEPARTMENT

BUREAU OF FIRE PREVENTION

222 South Ford Boulevard, Ypsilanti, MI 48198



May 8, 2023

Jason Iacoangeli, Planning Director
Charter Township of Ypsilanti
7200 S. Huron River Drive
Ypsilanti, MI 48197

RE: Preliminary (non-residential) Site Plan Review #2

Project Name:	Choice Hotels - Comfort Inn & Suites – MI502
Project Location:	800 S. Hewitt Road Ypsilanti, MI 48197
Plan Date:	4/27/2023
Applicable Codes:	IFC 2018
Engineer:	Nowak & Fraus Engineers
Engineer Address:	46777 Woodward Ave. Pontiac, MI 48342-5032

Status of Review

Status of review: Approved as Submitted

All pages were reviewed

Suppression / Hydrants

Comments: Per my conversation with NF Engineers A. Eizember the FDC is Located roughly within 60' of its supplying Hydrant which is acceptable.

Sincerely,

A handwritten signature in black ink that reads "Steve Wallgren". The signature is written in a cursive, flowing style.

Steve Wallgren, Fire Marshal
Charter Township of Ypsilanti Fire Department
CFPS, CFI I



YPSILANTI COMMUNITY UTILITIES AUTHORITY

2777 STATE ROAD
YPSILANTI, MICHIGAN 48198-9112
TELEPHONE: 734-484-4600
WEBSITE: www.ycua.org

May 16, 2023

VIA ELECTRONIC MAIL

Mr. Jason Iacoangeli, Planning Director
Office of Community Standards
CHARTER TOWNSHIP OF YPSILANTI
7200 S. Huron River Drive
Ypsilanti, MI 48197

Re: Preliminary (non-residential) Site Plan Review #2
Comfort Inn and Suites
Charter Township of Ypsilanti (Plan Date: 04-27-2023)

Dear Mr. Iacoangeli:

In response to the electronic mail message from your office dated May 2, 2023, we have reviewed the referenced plans with regards to water supply and wastewater system design. The plans are acceptable to YCUA for this stage of review. However, the following comments need to be addressed by the Applicant and/or the Applicant's design engineer prior to Detailed Engineering plans being deemed acceptable to YCUA.

1. The diameter of all proposed water services and sanitary laterals must be shown on the plans.
2. The proposed fire hydrant service pipe alignments are unacceptable as they are excessively long. A marked-up copy of plan sheet SP-3 showing acceptable alignments is enclosed.

As noted in the February 14, 2023, letter from this office, connection fees apply for the proposed building. Please note that the total cash price for connection fees, **\$23,293.49 plus the construction phase escrow deposit, YCUA administration fee, and record plan guarantee**, must be paid to YCUA by the Applicant, with a receipt delivered to the Township, before either the building or soil and grading permit is issued. The construction phase escrow deposit and associated fees and deposits and the entity responsible for maintaining those accounts will be determined during the Detailed Engineering phase of the project in conjunction with your office and the Township Engineer. Should there be any questions please contact this office.

Sincerely,

SCOTT D. WESTOVER, P.E., Engineering Manager
Ypsilanti Community Utilities Authority

Mr. Jason Iacoangeli
CHARTER TOWNSHIP OF YPSILANTI
May 16, 2023
Page 2

Enclosure as noted

cc: Mr. Luke Blackburn, Mr. Sean Knapp, File, YCUA
Mr. Fletcher Reyher, Charter Township of Ypsilanti
Mr. Eric Copeland, Mr. Steve Wallgren, Township Fire Department
Mr. Matt Parks, P.E., Ms. Stacie Monte, Township Engineer
Mr. Gary Streight, P.E., WCRC
Ms. Theresa Marsik, P.E., WCWRC
TAP Resources, Applicant
Mr. Patrick Williams, P.E., Applicant's design engineer

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EVAN N. PRATT, P.E.

Water Resources Commissioner

705 N Zeeb Road
Ann Arbor, MI 48103
734-222-6860

Drains@washtenaw.org

Harry Sheehan
Chief Deputy Water Resources Commissioner

Scott Miller P.E.
Deputy Water Resources Commissioner

Theo Eggermont
Public Works Director

February 14, 2023

Mr. Patrick Williams, P.E.
Nowak & Fraus Engineers
46777 Woodward Avenue
Pontiac, Michigan 48342

RE: Comfort Inn & Suites 2023
Michigan Avenue and Hewitt
Ypsilanti Township, Michigan
WCWRC Project No. 9624

Dear Mr. Williams:

This office has received site plans for the above referenced project to be located in Ypsilanti Township. The plans were provided by Ypsilanti Township and have a job number of C447-03, a date of January 18, 2023, and were received on January 31, 2023. As a result of our review, we would like to offer the following comments:

1. The submitted plans do not contain enough information for our office to perform a review of the stormwater management plan.
2. The last submittal for this proposed development was provided by a different engineering company in March of 2020. An initial review fee of \$500.00 must be submitted to our office in order to restart this project and schedule the plans for review. Please submit the initial review fee with your next plan submittal.

If you have any questions, please contact our office.

Sincerely,

A handwritten signature in blue ink that reads 'Theresa M. Marsik'.

Theresa M. Marsik, P.E.
Stormwater Engineer
(approval\Comfort Inn & Suites rev1)

cc: Tapan Patel, Wolverine Eagle Hospitality
Jason Iacoangeli, Ypsilanti Township Planning Director
Belinda Kingsley, Ypsilanti Township Planning & Zoning Coordinator
Doug Winters, McLain and Winters
Matt Parks, P.E., Ypsilanti Township Engineer (OHM)
Stacie Monte, Ypsilanti Township Engineer (OHM)

SITE PLAN REVIEW APPLICATION

I. APPLICATION/DEVELOPMENT TYPE

Development:

- Subdivision
- Multi-family/Condominium
- Site Condominium
- Planned Development
- Non-residential

Application:

- Administrative Site Plan Review
- Sketch Site Plan Review
- Full Site Plan Review
- Revisions to approved plan
- Tentative Preliminary Plat
- Final Preliminary Plat
- Final Plat Process
- Stage I (for Planned Development)
- Stage II (for Planned Development)

II. PROJECT LOCATION

Address: 800 SOUTH HEWITT ROAD City: YPSILANTI TOWNSHIP State: MI Zip: 48197
Parcel ID #: K-11- 18-100-002 Zoning RC-REGIONAL CORRIDOR
Lot Number: _____ Subdivision: _____
Property dimensions: SEE ATTACHED PLAN SET Acreage: 2.72 GROSS, 2.24 NET
Name of project/Proposed development: CHOICE HOTELS - COMFORT INN & SUITES HOTEL
Legal description of Property: _____

SEE LEGAL DESCRIPTION ON NOWAK & FRAUS SHEET # SP-1

Describe Proposed Project (including buildings/ structures/ # units):

NEW CONSTRUCTION - 78 GUESTROOM CHOICE HOTELS: COMFORT INN & SUITES

III. APPLICANT INFORMATION

Applicant: Wolverine Eagle Hospitality Phone: 517-610-2417
Address: 3241 Carleton Rd City: Hillsdale State: MI Zip: 49242
Fax: _____ Email: tapan.patel@tapresources.net
Property owner (if different than applicant): _____ Phone: _____
Address: _____ City: _____ State: _____ Zip: _____
Fax: _____ Email: _____
Engineer: NOWAK & FRAUS Phone: 248-332-7931
Address: 46777 WOODWARD AVE. City: PONTIAC State: MI Zip: 48342-5032
Fax: 248-332-8257 Email: aelzember@nfe-engr.com

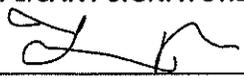
**SITE PLAN REVIEW
 APPLICATION**

VI. SCHEDULE OF FEES

Preliminary Site Plan Review		
	Non-refundable fee	Refundable deposit
Full	\$500	Less than one (1) acre: \$2,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres
Sketch	\$500	Less than one (1) acre: \$1,500 One (1) acre to five acres: \$2,000 Over five (5) acres to ten (10) acres: \$2,500 Greater than ten (10) acres: 25,500 + \$50 per acre over ten (10) acres
Administrative	\$100	Less than one (1) acre: \$1,000 One (1) acre to five acres: \$1,200 Over five (5) acres to ten (10) acres: \$1,500 Greater than ten (10) acres: \$1,500 + \$50 per acre over ten (10) acres
Planned Development Stage I and Rezoning	\$1,500 + \$20 per acre	Less than one (1) acre: \$3,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres
Final Site Plan Review		
	Non-refundable fee	Refundable deposit
Full	\$500	Less than one (1) acre: \$3,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres
Sketch	\$500	Less than one (1) acre: \$1,500 One (1) acre to five acres: \$2,000 Over five (5) acres to ten (10) acres: \$2,500 Greater than ten (10) acres: \$2,500 + \$50 per acre over ten (10) acres
Administrative	\$100	Less than one (1) acre: \$1,000 One (1) acre to five acres: \$1,200 Over five (5) acres to ten (10) acres: \$1,500 Greater than ten (10) acres: \$1,500 + \$50 per acre over ten (10) acres
Planned Development Stage I and Rezoning	\$1,500 + \$20 per acre	Less than one (1) acre: \$3,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres

\$4500 FEE TOTAL

V. APPLICANT SIGNATURE


 Applicant Signature

Tapan Patel
 Print Name

04/27/2023
 Date



Peggy M Haines, Washtenaw ERS 8471838

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DECLARATION OF EASEMENTS

This Declaration of Easements (hereinafter the "Declaration") is made and entered into this 26th day of June, 2003, by and between YPSILANTI FREE METHODIST CHURCH, INC. (hereinafter referred to as "Grantor"), whose mailing address is 1800 Packard Road, Ypsilanti, Michigan 48197 and TIM DONUT U.S. LIMITED, INC., an Florida corporation (hereinafter referred to as "Grantee"), whose mailing address is 4150 Tuller Rd., Suite 236, Dublin, Ohio 43017.

WITNESSETH:

WHEREAS, Grantor is the owner of that certain real property located in the State of Michigan County of Washlenan and Township of Ypsilanti as more particularly described in Exhibit A and depicted as Parcel B on Exhibit A-1 which are attached hereto and made a part hereof (which real property is hereinafter referred to as "Grantor's Parcel"); and

WHEREAS, Grantee is the owner of that certain real property located in the State of Michigan, County of Washlenan and Township of Ypsilanti as more particularly described in Exhibit B and depicted as Parcel A on Exhibit A-1 which are attached hereto and made a part hereof (which real property is hereinafter referred to as "Grantee's Parcel"); and

WHEREAS Grantor and Grantee desire to establish certain restrictions, easements and covenants in connection with the use of their respective parcels.

NOW, THEREFORE, in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged by Grantor, Grantor and Grantee agree as follows:

1. Non-Exclusive Easement for Water Detention System. Grantor hereby grants, conveys and delivers to the Grantee for the use and the benefit of the Grantee, its successors and assigns, a non-exclusive, perpetual easement, for the purpose of the construction, maintenance, use, operation and inspection of Storm Water Detention System to service both the Grantee's Parcel and the Grantor's Parcel. The Easement shall be over that portion of Grantor's Parcel which is labelled "Water Detention System" on Exhibit C attached hereto and made a part hereof. Upon full execution and registration of this Agreement, the Grantor shall pay to the Grantee the sum of Fifty-Five Thousand Dollars (\$55,000.00) as a contribution to the construction costs of the Storm Water Detention System. Once paid, the Grantor, or any successor in title may connect to, and have the benefit of, the Storm Water Detention System.
2. Exclusive Easement for Piping Connection to Storm Water Detention System. Grantor also hereby grants, conveys and delivers to Grantee, for the use and benefit of the Grantee, its successors and assigns an exclusive, perpetual easement between the Grantee's Parcel and the Storm Water Detention System for the purpose of installation, use, operation, maintainance, and inspection of storm water piping, over, that portion of Grantor's Parcel which is labelled "Storm Water Piping" on Exhibit C attached hereto and made a part hereof.
3. Maintenance of Storm Water Detention System. Subject to the above noted contribution by the Grantor, the construction of the Storm Water Detention System shall be the responsibility of the Grantee. The Grantee shall be responsible for all costs of said maintenance until such time as the Grantor, or any successor in title makes a connection to the Storm Water Detention Area for for its use and following the commencement of such use, the Grantor or its successor in title shall reimburse the Grantee for fifty percent (50%) of all annual charges for maintenance, repair, use, operation, and/or inspection of the System. Any costs incurred for the connection to the Storm Water Detention System shall be paid solely by the Grantor or its successor in title.

119309 ✓ First time in title



4. Access Easement. Grantor hereby grants, conveys and delivers to Grantee, for the use and benefit of Grantee, its successors, assigns, licensees, suppliers, customers and employees, a non-exclusive, perpetual easement, appurtenant to Grantee's Parcel, for the purpose of vehicular and pedestrian ingress, egress and access to and from Grantee's Parcel and Hewitt Road, over, upon, across and through that portion of Grantor's Parcel described on Exhibit D, attached hereto and made a part hereof. Grantee covenants and agrees to adequately maintain and repair said easement area in a level, evenly-paved condition and at a grade level compatible to Grantee's Parcel. This easement shall include the right of Grantee to enter upon such other portions of Grantor's Parcel as are necessary for the purpose of maintaining and/or repairing said easement area.

TO HAVE AND TO HOLD the easements and rights unto Grantee, its successors and assigns forever. Grantor, for Grantor and Grantor's heirs, successors and assigns, hereby warrants and covenants with Grantee, its successors and assigns, that Grantor is the true and lawful owner in fee simple of Grantor's Parcel and has the right and full power to grant and convey the easement and rights herein granted, and that Grantor will warrant and defend the easement and rights herein granted against all claims of all persons whomsoever.

The above-described easements, restrictions and covenants shall be for the use and benefit of Grantee's Parcel and the owners from time to time of all or any part thereof. All provisions of this Declaration, including the covenants, benefits and burdens, shall run with the land and be binding upon and inure to the heirs, executors, administrators, personal and/or legal representatives, successors, assigns and tenants of Grantee and Grantor. The rule of strict construction shall not apply to this grant. This grant shall be given a reasonable construction so that the intention of the parties to confer a commercially usable right of enjoyment on Grantee is carried out.

IN WITNESS WHEREOF, this Declaration is executed as of the day and year first above written.

Witnesses:

**YPSILANTI FREE METHODIST
CHURCH, INC.**

Kimberly Strickland
Witness

By: David Bets
David Bets, Treasurer

TIM DONUT U.S. LIMITED, INC.

Gail Woolley
Witness

By: Alfred Lane
Title: EVP

Gail Woolley
Witness

By: Bill Morv
Title: EVP

Law Dept. [Signature]



Peggy R Haines, Washtenaw ESE 5471638

STATE OF Michigan
COUNTY OF Washtenaw SS:

The undersigned, a Notary Public in and for the above state and county, hereby certifies that on the 26th day of June, 2003, before me personally appeared David Betz, the Treasurer of YPSILANTI FREE METHODIST CHURCH, INC., who was known to me as the person and officer described in and who executed the foregoing instrument on behalf of said corporation, and who acknowledged that he held the position or title set forth in the instrument and certificate, he signed the instrument on behalf of the corporation by proper authority, and the instrument was the act of the corporation for the purpose therein stated.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal on the day and year last aforesaid.

(SEAL)

Kimberly C Maclean
Notary Public





PROVINCE OF ONTARIO

REGIONAL MUNICIPALITY OF HALTON

The undersigned, a Notary Public in and for the above Province and County, hereby certifies that on the 20 day of June, 2003, before me personally appeared Bill Morley the E.V.P. of TIM DONUT U.S. LIMITED, INC., a Florida corporation, who is known to me as the person and officer described in and who executed the foregoing instrument on behalf of said corporation, and who acknowledges that he held the position or title set forth in the instrument and certificate, that he signed the instrument on behalf of the corporation by proper authority, and that the instrument was the act of the corporation for the purposes therein stated.

x and Alfred Lane

IN WITNES WHEREOF, I have hereunto set my hand and affixed my official seal on the day and year last aforesaid.

DR Thompson
Notary Public
(seal)
David Ross Thompson
exp date - death.



EXHIBIT A
GRANTOR PARCEL

LEGAL DESCRIPTION-PARCEL 'B'

A PARCEL OF LAND SITUATED IN TOWN 3 SOUTH, RANGE 7 EAST, YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN; MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE NORTHWEST CORNER OF FRENCH CLAIM 890, T.3S.,R.7E, YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN S54°56'45"W 165.68 FEET AND 103.45 FEET ALONG A CURVE TO THE LEFT (RADIUS 13484.27 FEET, CHORD S.56°17'53"W., 103.45 FEET) TO THE POINT OF BEGINNING; THENCE S.16°04'20"E., 440.25 FEET; THENCE 142.10 FEET ALONG A CURVE TO THE RIGHT (RADIUS 372.00 FEET, CHORD N.81°34'38"E., 141.24 FEET); THENCE S.87°28'47"E. 18.67 FEET; THENCE S02°24'30"W 189.98 FEET; THENCE 23.56 FEET ALONG A CURVE TO THE LEFT (RADIUS 15.00 FEET, CHORD N42°35'30"W 21.21 FEET); THENCE N87°35'30"W 4.40 FEET; THENCE 121.75 FEET ALONG A CURVE TO THE LEFT (RADIUS 197.00 FEET, CHORD S74°42'15"W 119.82 FEET; THENCE S57°00'00"W 37.23 FEET; THENCE N33°00'00"W 579.24 FEET TO THE CENTERLINE OF MICHIGAN AVENUE; THENCE ALONG SAID CENTERLINE OF MICHIGAN AVENUE 253.19 FEET ALONG A CURVE TO THE RIGHT (RADIUS 13484.27 FEET, CHORD N55°32'26"E 253.19 FEET) TO THE POINT OF BEGINNING.

SUBJECT TO A ACCESS EASEMENT AGREEMENT AS RECORDED IN LIBER 4016, P. 85, WASHTENAW COUNTY RECORDS AND AN EASEMENT DEDICATION FOR RIGHT-OF-WAY FOR MICHIGAN AVENUE AS RECORDED IN LIBER 4184, PAGE 712, WASHTENAW COUNTY RECORDS.

CONTAINING 118,512.45 SQUARE FEET OR 2.72 ACRES (GROSS) AND 97,742.91 SQUARE FEET OR 2.24 ACRES (NET)

NF NOWAK & FRAUS

Consulting Engineers • Land Surveyors • Land Planners

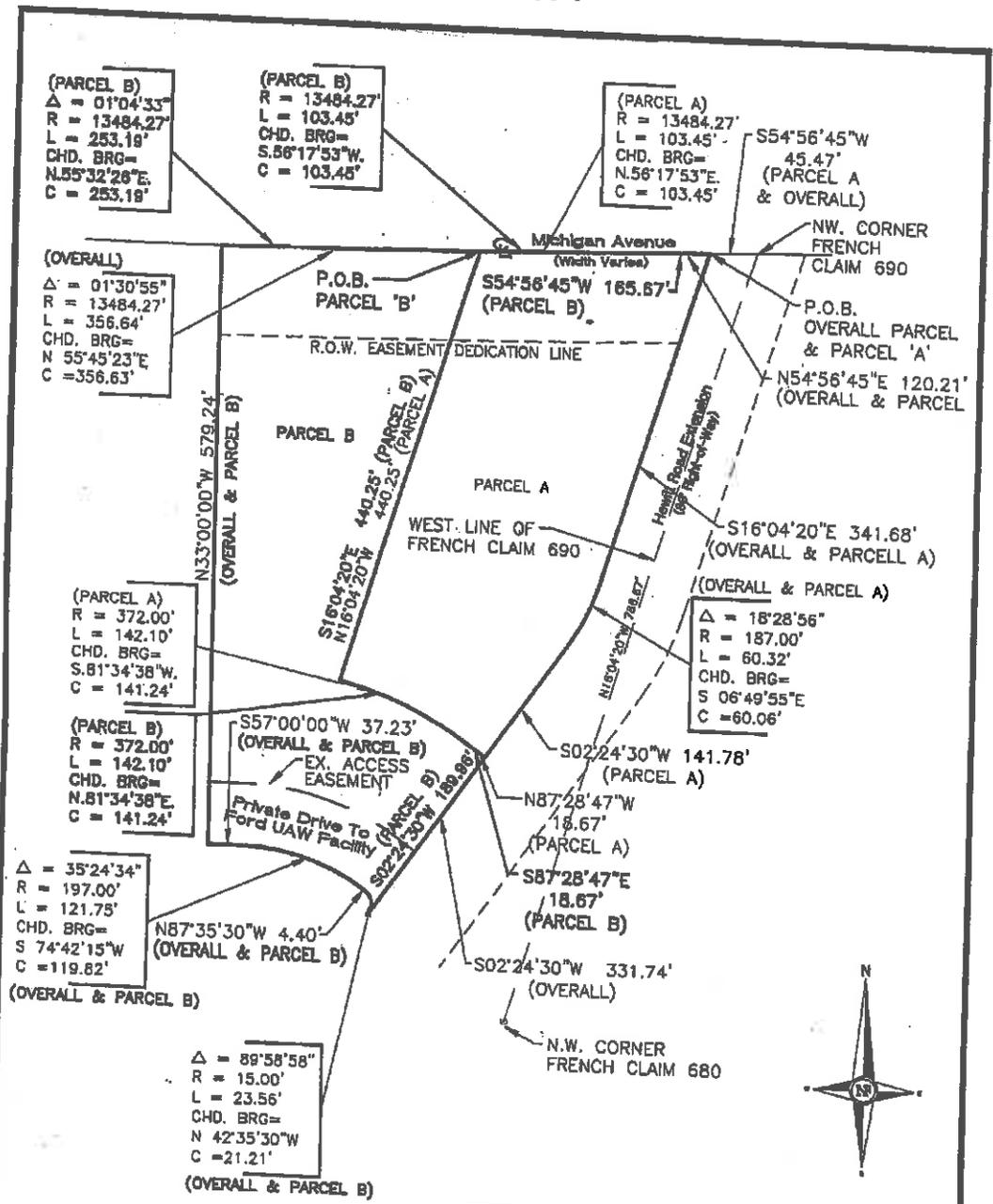
1910 N. Stephenson Highway
Royal Oak, Michigan 48067-1508

Tel. (248) 399-0886
Fax. (248) 399-0805

Prepared For:
Ypsilanti Free Methodist Church
1800 Packard Rd.
Ypsilanti, MI 48197

SCALE DATE REVISED DRAWN JOB No. SHEET
NO SCALE 02-24-03 07-03-03 RJJ 3-C447-01 2 of 3

EXHIBIT A-1



NF NOWAK & FRAUS

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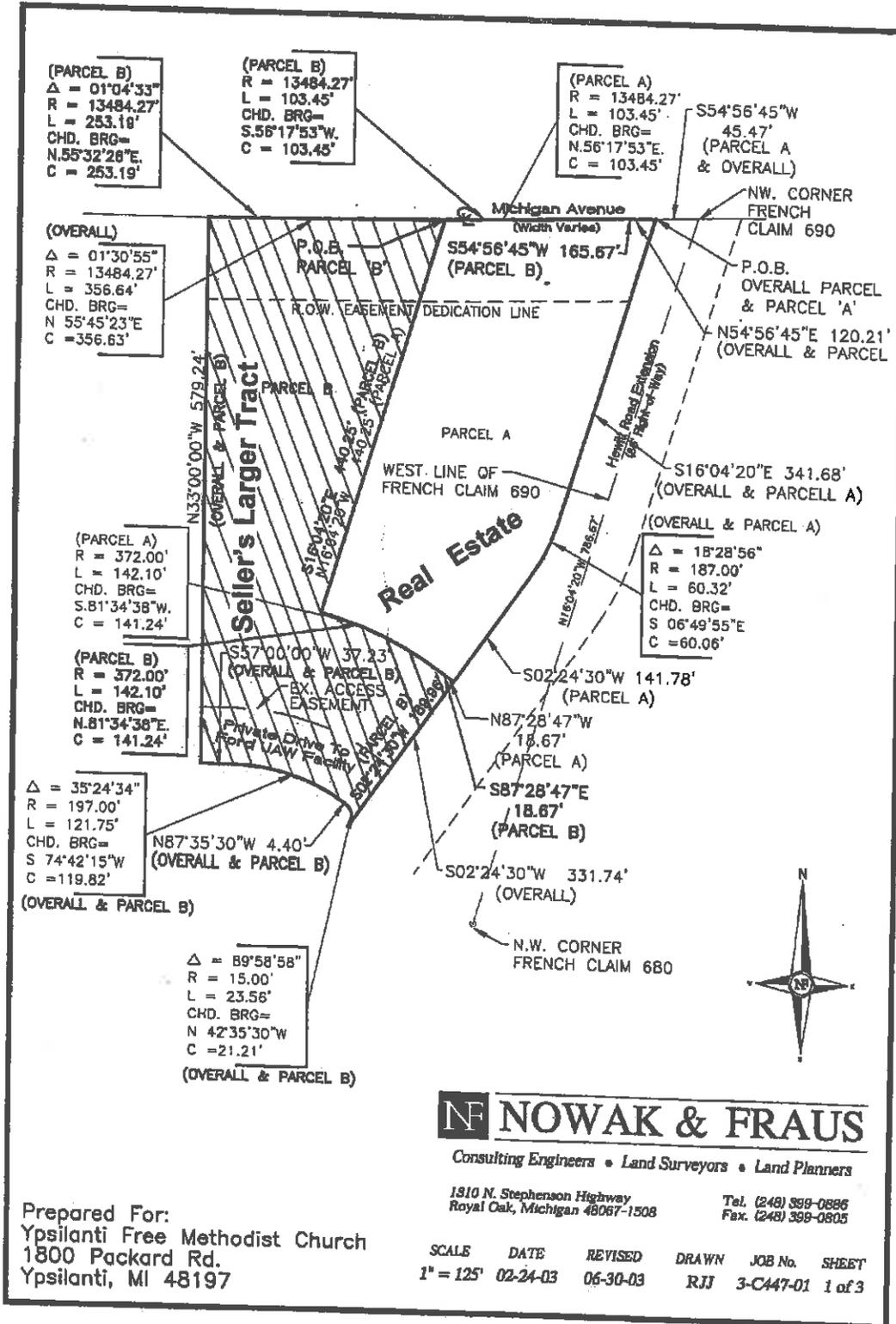
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Prepared For:
 Ypsilanti Free Methodist Church
 1800 Packard Rd.
 Ypsilanti, MI 48197

SCALE	DATE	REVISED	DRAWN	JOB No.	SHEET
1" = 125'	02-24-03	06-30-03	RJJ	3-C447-01	1 of 3



EXHIBIT B





Peggy M Haines, Washtenaw 608 6471836

EXHIBIT B GRANTEE PARCEL

LEGAL DESCRIPTION-PARCEL 'A'

A PARCEL OF LAND SITUATED IN TOWN 3 SOUTH, RANGE 7 EAST, YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN; MORE PARTICULARLY DESCRIBED AS: BEGINNING AT A POINT DISTANT S54°56'45"W, 45.47 FEET FROM THE NORTHWEST CORNER OF FRENCH CLAIM 890, T.3S.,R.7E, YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN; THENCE S18°04'20"E 341.68 FEET; THENCE 60.32 FEET ALONG A CURVE TO THE RIGHT (RADIUS 187.00 FEET, CHORD S06°49'55"E, 60.06 FEET); THENCE S02°24'30"W 141.78 FEET; THENCE N.87°28'47"W, 18.67 FEET; THENCE 142.10 FEET ALONG A CURVE TO THE LEFT (RADIUS 372.00 FEET, CHORD S.81°34'38"W., 141.24 FEET); THENCE N18°04'20"W, 440.25 FEET; THENCE 103.45 FEET ALONG A CURVE TO THE RIGHT (RADIUS 13,484.27 FEET, CHORD N.56°17'53"E 103.45 FEET); THENCE N54°56'45"E, 120.21 FEET TO THE POINT OF BEGINNING.

SUBJECT TO A EASEMENT DEDICATION FOR RIGHT-OF-WAY FOR MICHIGAN AVENUE AS RECORDED IN LIBER 4184, PAGE 712, WASHTENAW COUNTY RECORDS.

CONTAINING 98,891.04 SQUARE FEET OR 2.28 ACRES (GROSS) AND 79,240.82 SQUARE FEET OR 1.82 ACRES (NET).

NF NOWAK & FRAUS

Consulting Engineers • Land Surveyors • Land Planners

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Fax. (248) 399-0805

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Ypsilanti Free Methodist Church
1800 Packard Rd.
Ypsilanti, MI 48197

SCALE DATE REVISED DRAWN JOB No. SHEET
NO SCALE 02-24-03 06-30-03 RJJ 3-C447-01 3 of 3

EXHIBIT C

STORM/DETENTION EASEMENT



Page: 9 of 12
08/29/2003 10:36A
L-4305 P-374

Peggy M. Haines, Washtenaw ERS 6471838

LEGAL DESCRIPTION-STORM/DETENTION EASEMENT

AN EASEMENT FOR STORM SEWER/DETENTION DESCRIBED AS BEGINNING AT A POINT DISTANT S54°56'45"W, 75.57 FEET AND S00°06'40"W, 521.32 FEET FROM THE NORTHWEST CORNER OF FRENCH CLAIM 690, T.3S., R.7E, YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN; THENCE S.16°04'20"E., 34.04 FEET; THENCE 111.30 FEET ALONG A CURVE TO THE RIGHT (RADIUS 338.01, CHORD BEARING N.86°15'55"E., 110.80 FEET); THENCE S.02°24'30"W., 80.44 FEET; THENCE N.87°35'30"W., 19.40 FEET; THENCE 158.83 FEET ALONG A CURVE TO THE LEFT (RADIUS 257.01 FEET, CHORD BEARING S.74°42'15"W., 156.31 FEET); THENCE S.57°00'00"W., 37.23 FEET; THENCE N.33°00'00"W., 78.94 FEET; THENCE 142.29 FEET ALONG A CURVE TO THE RIGHT (RADIUS 338.01 FEET, CHORD BEARING N.62°44'11"E., 141.25 FEET); THENCE N.16°04'20"W., 34.00 FEET; THENCE 12.01 FEET ALONG A CURVE TO THE RIGHT (RADIUS 372.00 FEET, CHORD BEARING N.75°38'30"E., 12.01 FEET BACK TO THE POINT OF BEGINNING.



EXHIBIT D

INGRESS/EGRESS EASEMENT

LEGAL DESCRIPTION-PARCEL 'A'

A PARCEL OF LAND SITUATED IN TOWN 3 SOUTH, RANGE 7 EAST, YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN; MORE PARTICULARLY DESCRIBED AS: BEGINNING AT A POINT DISTANT S54°56'45"W, 45.47 FEET FROM THE NORTHWEST CORNER OF FRENCH CLAIM 890, T.3S.,R7E, YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN; THENCE S18°04'20"E 341.68 FEET; THENCE 60.32 FEET ALONG A CURVE TO THE RIGHT (RADIUS 187.00 FEET, CHORD S06°49'55"E, 80.08 FEET); THENCE S02°24'30"W 141.78 FEET; THENCE N.87°28'47"W, 18.67 FEET; THENCE 142.10 FEET ALONG A CURVE TO THE LEFT (RADIUS 372.00 FEET, CHORD S.81°34'38"W., 141.24 FEET); THENCE N18°04'20"W, 440.25 FEET; THENCE 103.45 FEET ALONG A CURVE TO THE RIGHT (RADIUS 13,484.27 FEET, CHORD N.58°17'53"E 103.45 FEET); THENCE N54°56'45"E, 120.21 FEET TO THE POINT OF BEGINNING.

SUBJECT TO A EASEMENT DEDICATION FOR RIGHT-OF-WAY FOR MICHIGAN AVENUE AS RECORDED IN LIBER 4184, PAGE 712, WASHTENAW COUNTY RECORDS.

CONTAINING 98,691.04 SQUARE FEET OR 2.26 ACRES (GROSS) AND 79,240.82 SQUARE FEET OR 1.82 ACRES (NET).

LEGAL DESCRIPTION-INGRESS/EGRESS EASEMENT

AN EASEMENT FOR INGRESS AND EGRESS DESCRIBED AS BEGINNING AT A POINT DISTANT S54°56'45"W, 45.47 FEET AND S18°04'20"E, 341.68 AND 60.32 FEET ALONG A CURVE TO THE RIGHT (RADIUS 187.00 FEET, CHORD BEARING & DISTANCE S.06°49'55"E., 80.08 FEET) AND S. 02°24'30"W., 146.89 FEET FROM THE NORTHWEST CORNER OF FRENCH CLAIM 890, T.3S.,R7E, YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN; THENCE S.02°24'30"W., 24.18 FEET; THENCE 2.12 FEET ALONG A CURVE TO THE LEFT (RADIUS 25.00 FEET, CHORD BEARING & DISTANCE N.85°02'44"W., 2.12 FEET); THENCE N.87°28'47"W., 18.61 FEET; THENCE 56.93 FEET ALONG A CURVE TO THE LEFT (RADIUS 343.00 FEET, CHORD BEARING & DISTANCE S.87°45'55"W., 56.87 FEET); THENCE N.06°59'23"W., 24.00 FEET; THENCE 14.11 FEET ALONG A CURVE TO THE LEFT (RADIUS 20.00 FEET, CHORD BEARING & DISTANCE N.62°47'59"E., 13.82 FEET); THENCE 41.53 FEET ALONG A CURVE TO THE RIGHT (RADIUS 372.00 FEET, CHORD BEARING AND DISTANCE N.88°12'24"E., 41.51 FEET); THENCE 14.35 FEET ALONG A CURVE TO THE LEFT (RADIUS 20.00 FEET, CHORD BEARING & DISTANCE S.66°55'40"E., 14.04 FEET); THENCE S.87°28'47"E., 10.63 FEET; THENCE 2.14 FEET ALONG A CURVE TO THE LEFT (RADIUS 25.00 FEET, CHORD BEARING & DISTANCE S.89°56'18"E., 2.14 FEET) TO THE POINT OF BEGINNING.

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Tel. (248) 399-0886
Fax. (248) 399-0805

Prepared For:
Tim Hortons/ Wendy's

SCALE DATE REVISED DRAWN JOB No. SHEET
1" = 125' 06-09-03 06-30-03 RJJ 3-C447-01 2 of 2



EXHIBIT D INGRESS/EGRESS EASEMENT



R = 13484.27'
L = 103.45'
CHD. BRG=
N.56°17'53"E.
C = 103.45'

S54°56'45"W
45.47'
NW CORNER
FRENCH CLAIM 690

Michigan Avenue
(Width Varies)

R.O.W. EASEMENT
DEDICATION LINE

P.O.B.
PARCEL

Δ = 08°23'50"
R = 372.00'
L = 41.53'
CHD. BRG=
N.88°12'24"E.
C = 41.51'

Δ = 18°28'56"
R = 187.00'
L = 60.32'
CHD. BRG=
S 06°49'55"E
C = 60.06'

S.15°04'20"E.
341.69'

S16°04'20"E 341.68'

Δ = 40°25'16"
R = 20.00'
L = 14.11'
CHD. BRG=
N.62°47'59"E.
C = 13.82'

Δ = 41°06'13"
R = 20.00'
L = 14.35'
CHD. BRG=
S 66°55'40"E
C = 14.04'

(PARCEL A)
R = 372.00'
L = 142.10'
CHD. BRG=
S.81°34'38"W.
C = 141.24'

S02°24'30"W
146.89'

Δ = 18°28'56"
R = 187.00'
L = 60.32'
CHD. BRG=
S 06°49'55"E
C = 60.06'

S87°28'47"E
10.63'

S02°24'30"W 141.78'
(PARCEL A)

Δ = 04°55'02"
R = 25.00'
L = 2.14'
CHD. BRG=
S 89°56'18"E
C = 2.14'

N06°59'23"W
24.00'

N87°28'47"W
P.O.B. 18.67'
(PARCEL A)

S02°24'30"W
24.18'

WEST LINE OF
FRENCH CLAIM 690

Δ = 09°30'36"
R = 343.00'
L = 56.93'
CHD. BRG=
S.87°45'55"W.
C = 56.87'

N87°28'47"W
16.61'

Δ = 04°52'05"
R = 25.00'
L = 2.12'
CHD. BRG=
N 85°02'44"W
C = 2.12'

Private Drive To
Ford UAW Facility

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SCALE DATE REVISED DRAWN JOB No. SHEET
1" = 125' 06-09-03 06-30-03 RJJ 3-C447-01 1 of 2



**Residential
Commercial
Industrial**

Architectural Design / Planners

May 1, 2023

Jason Iacoangeli
Planning Director
Township Planning Department
Ypsilanti Township, Michigan

RE: **SITE PLAN REVIEW: Comfort Inn & Suites**
800 South Hewitt Road
Ypsilanti, Michigan 48197

Dear Mr. Iacoangeli:

Please see the submitted, revised drawings for the above referenced project.

Carlisle Wortman Associates, Inc.

(Benjamin R. Carisle, AICEP, LEED AP Principal)

- Item #1) Applicant shall justify the tree removal and lack of onsite mitigation. Planning Commission to consider the applicants request to pay the equivalent replacement of 49 trees into the tree fund.
One additional woodland replacement has been provided. Most tree removals on-site are located in the parking lot and drive aisles at the south end of the site which is where the site access is proposed. The rest of the tree removals are occurring in the detention basin which needs to be regraded and enlarged to accommodate the site storm water discharge. Replacement is severely hampered by the utilities on-site and the requirements precluding planting within those easements.
- Item #2) Provide screening wall to screen parking fronting Michigan Avenue.
The parking lot has been reconfigured to provide area along Michigan Avenue, and as such a hedge has been provided to screen the parking lot from the road.
- Item #3) Provide a sidewalk along Michigan Avenue.
A sidewalk has been added along the front of the parcel, with a connection to the interior sidewalk (Sheet SP-2).
- Item #4) Provide connection from hotel to Michigan Avenue sidewalk.
A sidewalk has been added along the front of the parcel, with a connection to the interior sidewalk (Sheet SP-2).
- Item #5) Provide pedestrian connection from the southern parking area to the building.
The southern road (Hewitt Road is an access road for the proposed hotel and the existing structure to the west. As this is the case, at the current time, there is currently no sidewalk access along this road and with the proposed hotel development there is no foreseeable purpose for a sidewalk on this street considering there

24001 Orchard Lake Road, Suite 180A
Farmington, Michigan 48336
Phone 248-985-9101

Email: DAVEG@GAVASSOCIATES.COM

is not street parking on Hewitt Road. As far as hotel guests wanting a walkable area, having the sidewalk on the north side of the hotel with access to Michigan Avenue makes great sense and will bring pedestrians onto Michigan Avenue. Money could be set aside in lieu of having a sidewalk on the south side (Hewitt Road) in a sidewalk fund, similar to a tree fund when it is impartible to plant new trees.

- Item #6) Provide bicycle parking.
Bicycle parking has been added. Noted on Sheet SP-2.
- Item #7) Add a note to the plans that indicate lights will be turned off after hours or can be dimmed.
A note has been added to the photometric plan and Sheet SP-2.
- Item #8) Work with Road Commission/MDOT to determine what planting they may allow in ROW.
The parking lot has been redesigned as much as can be to create more space along the Michigan Ave frontage. The plan now complies with the required planting.
- Item #9) Consider parking lot reconfiguration to add internal landscaping.
The parking lot was revised to include two additional parking lot end islands in the area south of the building drop off. All the required zoning ordinance trees have been provided for.
- Item #10) If a landscape waiver is sought, the applicant shall address the standards for relief set forth in Section 1301.3.M.
The only waiver needed would be for placement of the parking lot interior trees along the north and south ends of the west property line.
- Item #11) Confirm if transparency requirements are met.
As stated on sheets A.201 and A.202, the north elevation (Michigan Ave) now meets the 50% minimum transparency requirement and the east elevation now meets the required 30% minimum elevation. Due to Choice Hotel design constraints and prototype floor plans, the South and West elevations have the maximum available transparency. The South elevation is at 24% due to the fact it is the entry point for guests to the hotel and the hotel branding depicts a tower in the center of the wall. The main public area has transparency while the stair tower does not as that would detract form the central Comfort Inn & Suites tower in the middle of that elevation. As a result of the management area and back of house design of the hotel, the west elevation has 11% transparency. The actual location of the transparency is at the guestroom areas, that said, guests in those rooms would have views to the outside.
- Item #12) Obtain outside agency approvals.
Noted

OHM Advisors

(Matthew D. Parks, P.E.

Stacie L. Monte)

B. SITE PLAN COMMENTS

Site Layout

- 1) The applicant shall provide sidewalk along the frontage of the parcel, either along the existing UAW Private Road and Hewitt Road or along Michigan Avenue, ultimately connecting to the existing sidewalk at the intersection of Hewitt Road and Michigan Avenue, per Township Standards. The applicant shall also provide a sidewalk connection from the sidewalk along the frontage to the proposed hotel.

A sidewalk has been added along the front of the parcel, with a connection to the interior sidewalk (Sheet SP-2).

- 2) The applicant shall provide a draft access easement for the proposed entrance drive from the UAW Private Road to this office for review.

Easement exists. Copy of document has been provided.

- 3) The applicant shall provide truck turning templates for the largest vehicle proposed to access the site (i.e., fire truck, garbage truck, etc.). This office defers to the Ypsilanti Township Fire Department on the review and approval of site accessibility.

Truck turning plan has been added as Sheet SP-2a.

- 4) The applicant shall note that the proposed sidewalk in front of the parking spaces along the eastern side of the building shall have a minimum width of 7 feet, or bumper blocks provided, to account for vehicle overhang, per ADA Standards. The applicant shall review and revise accordingly.

Sidewalks have been revised to 7' wide adjacent to parking stalls (Sheet SP-2).

- 5) The applicant shall clarify if a loading zone will be provided. If so, its location shall be shown on the plans and a truck turning template shall be provided.

No loading zone to be provided.

Stormwater Management

- 6) The applicant shall provide preliminary stormwater management calculations for the proposed underground detention basin on the plans. The applicant shall also provide calculations for the existing detention basin that is proposed to be re-shaped to verify sufficient capacity will be maintained for the proposed runoff, as well as the adjacent parcel.

Preliminary storm water calculations have been added to Sheet SP-3. All county standards will be followed during construction plans.

Site Utilities

- 7) The applicant shall provide the location of all proposed utilities, including water main, if any, the water and sanitary sewer services, and all existing or proposed hydrants, on the plans. This office defers to the Ypsilanti Township Fire Department on the review and approval of hydrant coverage.

Water services, hydrants, and sanitary services have been added to the plans (Sheet SP-3).

- 8) The applicant shall provide the location of all existing and proposed easement limits on the plans.

All existing and proposed easements have been added; locations are subject to change during construction plans.

FIRE DEPARTMENT COMMENTS

(Steve Wallgren, Fire Marshal)

- 1) Please provide a truck turning template for a 47'- 5" Tower Apparatus with a wheelbase of 22'- 6".

Truck turning plan has been added as Sheet SP-2a.

- 2) The FDC for this structure will need its own dedicated hydrant no closer than 40' and no further than 100'.

Hydrant has been added to Sheet SP-3, within 100' of the proposed FDC (56.4' as shown).

- 3) All other hydrants have a coverage of 250' and must cover the entire building.

Two hydrants have been added to Sheet SP-3 to meet the required coverage.

YUCA COMMENTS

(Scott D. Westover, P.E., Engineering Manager)

- 1) The sanitary sewer relocation is unacceptable as there is inadequate horizontal separation between the proposed alignment, including the existing manhole, and the northwest portion of the proposed building.

The sanitary realignment has been adjusted to provide additional horizontal separation between the pipe and building (Sheet SP-3).

- 2) All proposed water services and sanitary laterals must be shown on the plans.

Water and sanitary services have been added to the plans (Sheet SP-3).

- 3) Fire suppression service pipe, if required, shall be separate from either domestic or irrigation water services.

Fire suppression line has been added to Sheet SP-3 and is separate from the domestic service.



**Residential
Commercial
Industrial**

4) Fire hydrants shall be located per the requirements of the Ypsilanti Township Fire Department and the current version of the International Fire Code. Based on previously approved designs for this project, it is anticipated that a water main loop across the Michigan Avenue frontage will be needed.

Two hydrants have been added to Sheet SP-3. It is proposed to tap the existing 12" water main that runs along the neighbor's east property line.

WRC COMMENTS

(Theresa M Marsik, P.E., Stormwater Engineer)

1. The submitted plans do not contain enough information for our office to perform a review of the stormwater management plan.

Preliminary storm water calculations have been added to Sheet SP-3. All county standards will be followed during construction plans.

2. The last submittal for this proposed development was provided by a different engineering company in March of 2020. An initial review fee of \$500.00 must be submitted to our office in order to restart this project and schedule the plans for review. Please submit the initial review fee with your next plan submittal.

The applicant has paid the \$500 water resources review fee.

Sincerely,

David Ganezer
Project Manager
GAV Associates
248-985-9101
daveg@gavassociates.com

NEW HOTEL FOR: CHOICE HOTELS - COMFORT INN & SUITES - MI502

800 SOUTH HEWITT ROAD
YPSILANTI, MICHIGAN



OWNER



TAP RESOURCES
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ARCHITECTURAL



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DESIGN
COMMERCIAL
INDUSTRIAL
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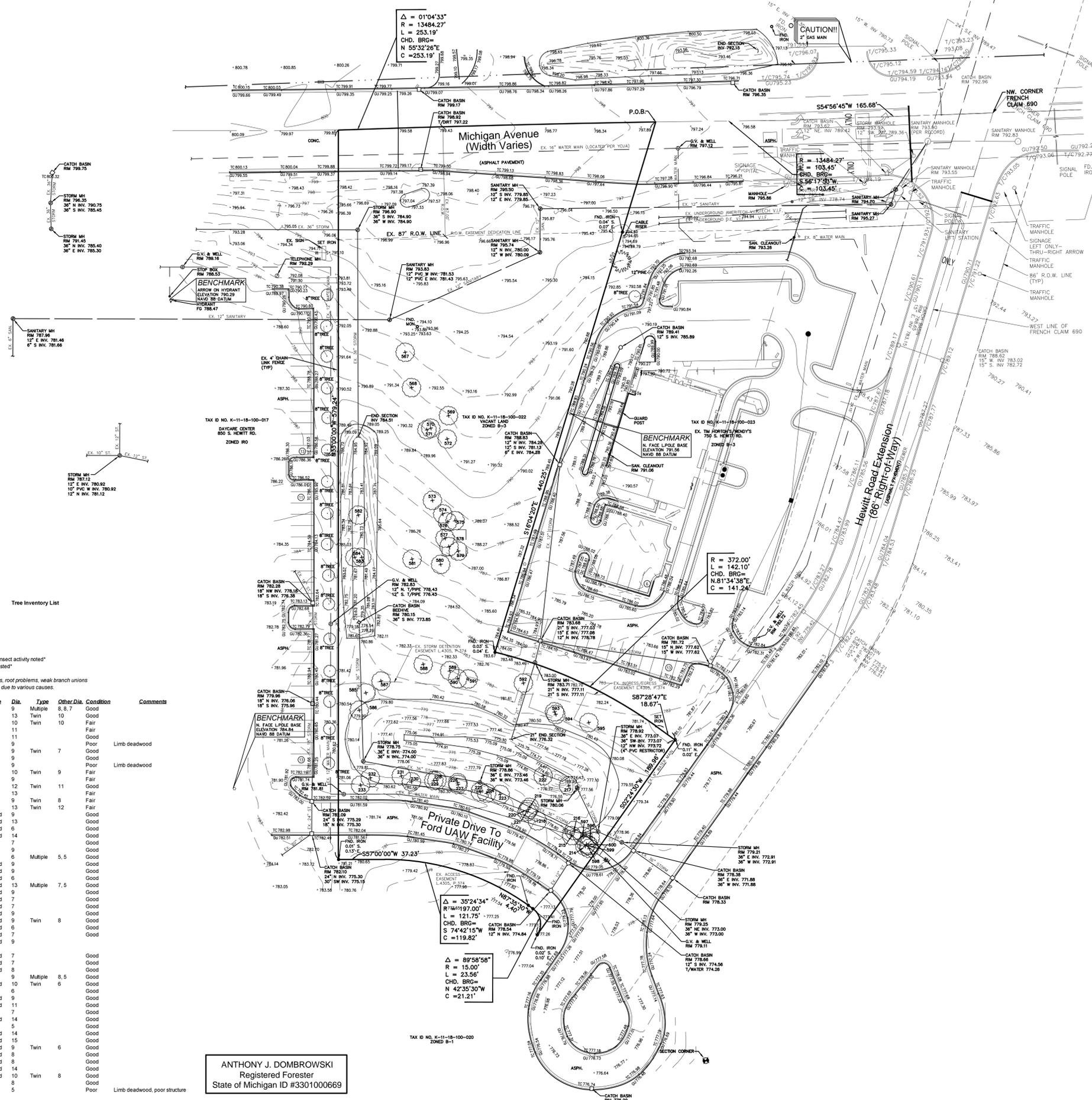
CIVIL



**CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS**

NOWAK & FRAUS ENGINEERS
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Fax. (248) 332-8257

PROJECT INFORMATION	LOCATION MAP	SHEET INDEX	SHEET INDEX	SHEET INDEX	SHEET INDEX	ISSUED FOR
<p>PROJECT NUMBER: 22060 PROJECT LOCATION: 800 SOUTH HEWITT ROAD YPSILANTI, MICHIGAN ARCHITECT: GAV & ASSOCIATES, INC. 24001 ORCHARD LAKE RD. STE. #180A FARMINGTON, MI 48336 PHONE: (248) 985-9101</p> <p>1. THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE: SAMIR M KARIM, MI ARCH LIC.#1301038452</p> <p>2. THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR YPSILANTI TOWNSHIP CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.</p>		<p>T.001 TITLE SHEET, LOCATION MAP & SHEET INDEX</p> <p>SP-1 BOUNDARY / TOPOGRAPHIC / TREE SURVEY SP-2 DIMENSIONAL SITE PLAN SP-2a FIRE APPARATUS MANEUVERING PLAN SP-3 ENGINEERING SITE PLAN SP-3a SITE NOTES AND DETAILS LI TREE PRESERVATION PLAN L2 LANDSCAPE PLAN L3 LANDSCAPE NOTES AND DETAILS</p> <p>LIGHT SITE PHOTOMETRIC PLAN</p> <p>SP.101 PROPOSED ARCHITECTURAL SITE PLAN SP.102 PROPOSED SITE PLAN DETAILS</p> <p>A.101 PROPOSED FIRST FLOOR PLAN A.102 PROPOSED SECOND FLOOR PLAN A.103 PROPOSED THIRD FLOOR PLAN A.104 PROPOSED FOURTH FLOOR PLAN</p> <p>A.201 PROPOSED SOUTH & EAST ELEVATIONS A.202 PROPOSED NORTH & WEST ELEVATIONS A.203 PROPOSED COLOR EXTERIOR ELEVATIONS</p> <p>A.501 KING GUESTROOM PLANS & ELEVATIONS A.502 DOUBLE QUEEN GUESTROOM PLANS & ELEVATIONS A.503 ACCESSIBLE KING SUITE PLANS & ELEVATIONS A.504 KING SUITE PLANS & ELEVATIONS A.505 ACCESSIBLE WIDE KING SUITE PLANS & ELEVATIONS A.506 ACCESSIBLE DOUBLE QUEEN GUESTROOM PLANS & ELEVATIONS A.507 KING SUITE COMMUNICATING PLANS & ELEVATIONS A.508 DOUBLE QUEEN COMMUNICATING GUESTROOM PLANS & ELEVATIONS A.551 PUBLIC SPACE - ENLARGED FLOOR PLAN A.552 PUBLIC SPACE - ENLARGED REFLECTED CEILING PLAN A.553 PUBLIC SPACE - ENLARGED FF&E PLAN A.554 PUBLIC SPACE - FITNESS ROOM UPPER FLOOR ELEVATOR LOBBY</p>		<p>CODE NARRATIVE:</p> <ol style="list-style-type: none"> THESE BUILDING PLANS ARE BEING SUBMITTED FOR A PROPOSED CHOICE HOTELS, COMFORT INN & SUITES BRAND FOUR STORY HOTEL. THE BUILDING WILL HAVE A FULL FIRE PROTECTION SYSTEM THROUGHOUT. FIRE PROTECTION SPRINKLER SYSTEM IS NOT SHOWN ON THESE DRAWINGS AND IS BY CONTRACTOR TO SUBMIT TO A.H.J. FOR REVIEW AND APPROVAL. <p>CODES & STANDARDS REFERENCES:</p> <p>GENERAL CONTRACTOR TO COMPLY WITH ALL FEDERAL, STATE, CITY AND LOCAL CODES WHERE APPLICABLE. ALL NEW CONSTRUCTION SHALL COMPLY TO THE FOLLOWING:</p> <ul style="list-style-type: none"> 2015 MICHIGAN BUILDING CODE (MBC). 2015 MICHIGAN MECHANICAL CODE (MMC). 2018 MICHIGAN PLUMBING CODE (MPC). 2017 NATIONAL ELECTRICAL CODE (NEC) PART 8 OF THE STATE CONSTRUCTION CODE 2009 ICC/ANSI A117.1 AND MICHIGAN BARRIER FREE DESIGN LAW P.A. 1 OF 1986 AS AMENDED. 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) WITH 2013 ASHRAE STANDARD 90.1 STANDARD INCLUDING AMENDMENTS. 2015 MICHIGAN UNIFORM ENERGY CODE, PART 10A (MEC) 2010 FIRE SUPPRESSION NFPA 13 2013 FIRE ALARM CODE NFPA 72 2012 INTERNATIONAL FIRE CODE (IFC) 2015 INTERNATIONAL FUEL GAS CODE (IFGC) PROJECT SHALL COMPLY WITH MEG 2015 CHAPTER 35 REFERENCE STANDARDS. YPSILANTI TOWNSHIP ZONING ORDINANCE AND CODES MICHIGAN ELEVATOR CODE 	<p style="text-align: center; border: 1px solid black; padding: 10px;">PRELIMINARY NOT FOR CONSTRUCTION</p>	<p>PRE-PLANNING REVIEW 10-11-2022 CHOICE HOTELS REVIEW 11-18-2022 REVIEW 12-19-2022 PLANNING REVIEW 1-18-2023 PLANNING REVIEW 4-27-2023</p> <p style="text-align: center;">SEAL</p>



NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257

LEGAL DESCRIPTION

A PARCEL OF LAND SITUATED IN TOWN 3 SOUTH, RANGE 7 EAST, YPSILANTI TOWNSHIP, WASHTEWAW COUNTY, MICHIGAN; MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE NORTHWEST CORNER OF FRENCH CLAIM 690, 135.87', YPSILANTI TOWNSHIP, WASHTEWAW COUNTY, MICHIGAN 55°56'45" W 165.68' FEET AND 103.45 FEET ALONG A CURVE TO THE LEFT (RADIUS 13484.27 FEET, CHORD 5.5617°35' W, 103.45 FEET) TO THE POINT OF BEGINNING; THENCE S.16°04'20"E, 440.25 FEET; THENCE 142.10 FEET ALONG A CURVE TO THE RIGHT (RADIUS 372.00 FEET, CHORD N.81°34'38"E, 141.24 FEET); THENCE S.87°28'47"E, 18.67 FEET; THENCE S02°24'30"W 189.96 FEET; THENCE 23.56 FEET ALONG A CURVE TO THE LEFT (RADIUS 15.00 FEET, CHORD N42°35'30"W 21.21 FEET); THENCE N87°35'30"W 4.40 FEET; THENCE 121.75 FEET ALONG A CURVE TO THE LEFT (RADIUS 197.00 FEET, CHORD S74°42'15"W 119.82 FEET); THENCE S57°00'00"W 37.23 FEET; THENCE N33°00'00"W 579.24 FEET TO THE CENTERLINE OF MICHIGAN AVENUE; THENCE ALONG SAID CENTERLINE OF MICHIGAN AVENUE 253.19 FEET ALONG A CURVE TO THE RIGHT (RADIUS 13484.27 FEET, CHORD N55°32'26"E 253.19 FEET) TO THE POINT OF BEGINNING.

SUBJECT TO AN ACCESS EASEMENT AGREEMENT AS RECORDED IN LIBER 4016, P. 96, WASHTEWAW COUNTY RECORDS AND AN EASEMENT DEDICATION FOR RIGHT-OF-WAY FOR MICHIGAN AVENUE AS RECORDED IN LIBER 4184, PAGE 712, WASHTEWAW COUNTY RECORDS.

CONTAINING 118,512.45 SQUARE FEET OR 2.72 ACRES (GROSS) AND 97,742.91 SQUARE FEET OR 2.24 ACRES (NET)
S.D.WELL NO. K-11-18-100-022

MISS DIG / UNDERGROUND ELECTRIC DISCLAIMER NOTE

THE LOCATION OF THE UNDERGROUND ELECTRIC SHOWN ON THE RECORDS PROVIDED BY DTE ENERGY COULD NOT BE ACCURATELY PLOTTED DUE TO A LACK OF DIMENSIONS AND/OR SCALE. CLIENT SHALL CONTACT DTE ENERGY TO DETERMINE THE LOCATION OF THE UNDERGROUND UTILITY.

MISS DIG / UNDERGROUND CABLE DISCLAIMER NOTE

THE LOCATION OF THE UNDERGROUND CABLE SHOWN ON THE RECORDS PROVIDED BY AT&T COULD NOT BE ACCURATELY PLOTTED DUE TO A LACK OF DIMENSIONS AND/OR SCALE. CLIENT SHALL CONTACT AT&T TO DETERMINE THE LOCATION OF THE UNDERGROUND UTILITY.

MISS DIG / UNDERGROUND CABLE DISCLAIMER NOTE

THE LOCATION OF THE UNDERGROUND CABLE SHOWN ON THE RECORDS PROVIDED BY COMCAST COULD NOT BE ACCURATELY PLOTTED DUE TO A LACK OF DIMENSIONS AND/OR SCALE. CLIENT SHALL CONTACT COMCAST TO DETERMINE THE LOCATION OF THE UNDERGROUND UTILITY.

MISS DIG / UTILITY DISCLAIMER NOTE

A MISS DIG TICKET NUMBER A70970528, PURSUANT TO MICHIGAN PUBLIC ACT 174 WAS ENTERED FOR THE SURVEYED PROPERTY, DUE TO THE EXTENDED REPORTING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS, THE SURVEY MAY NOT REFLECT ALL THE UTILITIES AT THE TIME THIS SURVEY WAS ISSUED ON 5-9-2017. THE SURVEY ONLY REFLECTS THOSE UTILITIES WHICH COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR AS DEPICTED BY THE UTILITY COMPANY RECORDS FURNISH PRIOR TO THE DATE THIS SURVEY WAS ISSUED. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE FACILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.

FLOOD HAZARD NOTE

THIS PROPERTY IS NOT LOCATED WITHIN THE FLOOD HAZARD AREA INDICATED BY FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 26181C0407E DATED: APRIL 3, 2012

TOPOGRAPHIC SURVEY NOTES

ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.

UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.

THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

CERTIFICATE OF SURVEY

WE HEREBY CERTIFY THAT WE HAVE SURVEYED THE PROPERTY HEREIN DESCRIBED AND THAT WE HAVE PLACED MARKER IRONS AT THE CORNERS OF THE PARCEL OR AS INDICATED IN THE ABOVE SKETCH:

KEVIN NAVAROLI, PLS DATE: 05-09-17
NO.: 53503

LEGEND
MANHOLE, EXISTING SANITARY SEWER, HYDRANT, GATE VALVE, EXISTING SAN. CLEAN OUT, EXISTING WATER MAIN, MANHOLE, CATCH BASIN, EXISTING STORM SEWER, EX. R.Y. CATCH BASIN, EXISTING BURIED CABLES, UTILITY POLE, GUY POLE, OVERHEAD LINES, GUY WIRE, LIGHT POLE, SIGN, EXISTING GAS MAIN

SEAL



PROJECT
Hotel Development
Michigan Avenue at
Hewitt Road Extension

CLIENT
GAV Associates

Contact: David Ganezer
Ph: (248) 985-9101 x1006

PROJECT LOCATION
Part of the N.E. 1/4
of Section 18
T.3S., R.7E.
Ypsilanti Twp.,
Washtenaw County, MI

SHEET
Boundary / Topographic /
Tree Survey



REVISIONS
01-18-2023 Preliminary Review
04-27-2023 Planning Review

DRAWN BY:
C. Ellison
DESIGNED BY:
K. Navaroli
APPROVED BY:
K. Navaroli
DATE:
January 18, 2023
SCALE: 1" = 40'
40 20 0 20 40 60
NFE JOB NO. C447-03 **SHEET NO.** SP-1

Tree Inventory List

Tree #	Botanical Name	Common Name	Dia.	Type	Other Dia.	Condition	Comments
567	Ulmus pumila	Siberian Elm	9	Multiple	8, 6, 7	Good	
568	Ulmus pumila	Siberian Elm	13	Twin	10	Good	
569	Ulmus pumila	Siberian Elm	10	Twin	10	Fair	
570	Ulmus pumila	Siberian Elm	11			Fair	
571	Ulmus pumila	Siberian Elm	11			Good	
572	Acer negundo	Boxelder	9			Poor	Limb deadwood
573	Ulmus pumila	Siberian Elm	9	Twin	7	Good	
574	Ulmus pumila	Siberian Elm	9			Good	
575	Ulmus pumila	Siberian Elm	9			Fair	Limb deadwood
576	Ulmus pumila	Siberian Elm	10	Twin	9	Fair	
577	Ulmus pumila	Siberian Elm	9			Fair	
578	Ulmus pumila	Siberian Elm	12	Twin	11	Good	
579	Ulmus pumila	Siberian Elm	13			Fair	
580	Ulmus pumila	Siberian Elm	9	Twin	8	Fair	
581	Ulmus pumila	Siberian Elm	13	Twin	12	Fair	
582	Populus deltoides	Eastern Cottonwood	7			Good	
583	Populus deltoides	Eastern Cottonwood	13			Good	
584	Populus deltoides	Eastern Cottonwood	6			Good	
585	Populus deltoides	Eastern Cottonwood	14			Good	
586	Catalpa speciosa	Catalpa	7			Good	
587	Ulmus pumila	Siberian Elm	9			Good	
588	Ulmus pumila	Siberian Elm	6	Multiple	5, 5	Good	
589	Populus deltoides	Eastern Cottonwood	9			Good	
590	Populus deltoides	Eastern Cottonwood	9			Good	
591	Populus deltoides	Eastern Cottonwood	6			Good	
592	Populus deltoides	Eastern Cottonwood	13	Multiple	7, 5	Good	
593	Populus deltoides	Eastern Cottonwood	9			Good	
594	Populus deltoides	Eastern Cottonwood	7			Good	
595	Populus deltoides	Eastern Cottonwood	7			Good	
596	Populus deltoides	Eastern Cottonwood	9			Good	
597	Populus deltoides	Eastern Cottonwood	9	Twin	8	Good	
598	Populus deltoides	Eastern Cottonwood	6			Good	
599	Populus deltoides	Eastern Cottonwood	7			Good	
600	Populus deltoides	Eastern Cottonwood	9			Good	
214	Populus deltoides	Eastern Cottonwood	7			Good	
215	Populus deltoides	Eastern Cottonwood	7			Good	
216	Populus deltoides	Eastern Cottonwood	8			Good	
217	Ulmus pumila	Siberian Elm	9	Multiple	8, 5	Good	
218	Populus deltoides	Eastern Cottonwood	10	Twin	6	Good	
219	Populus balsamifera	Balsam Fir	6			Good	
220	Populus deltoides	Eastern Cottonwood	9			Good	
221	Populus deltoides	Eastern Cottonwood	11			Good	
222	Ulmus pumila	Siberian Elm	7			Good	
223	Populus deltoides	Eastern Cottonwood	14			Good	
224	Pyrus calleryana	Bradford Pear	5			Good	
225	Populus deltoides	Eastern Cottonwood	14			Good	
226	Populus deltoides	Eastern Cottonwood	15			Good	
227	Populus deltoides	Eastern Cottonwood	6	Twin	6	Good	
228	Populus deltoides	Eastern Cottonwood	8			Good	
229	Populus deltoides	Eastern Cottonwood	8			Good	
230	Populus deltoides	Eastern Cottonwood	14			Good	
231	Populus deltoides	Eastern Cottonwood	10	Twin	8	Good	
232	Picea abies	Norway Spruce	10			Good	
233	Populus balsamifera	Balsam Fir	5			Poor	Limb deadwood, poor structure

ANTHONY J. DOMBROWSKI
Registered Forester
State of Michigan ID #3301000669

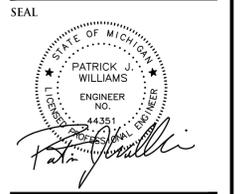
$\Delta = 01^{\circ}04'33''$
 $R = 13484.27'$
 $L = 253.19'$
 $CHD. BRG =$
 $N 55^{\circ}32'26''E$
 $C = 253.19'$

$R = 13484.27'$
 $L = 103.45'$
 $CHD. BRG =$
 $S 56^{\circ}17'53''W$
 $C = 103.45'$

$R = 372.00'$
 $L = 142.10'$
 $CHD. BRG =$
 $N 81^{\circ}34'38''E$
 $C = 141.24'$



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 46777 WOODWARD AVE.
 PONTIAC, MI 48342-5032
 TEL. (248) 332-7931
 FAX. (248) 332-8257



PROJECT
 Hotel Development
 Michigan Avenue at
 Hewitt Road Extension

CLIENT
 GAV Associates

Contact: David Ganezer
 Ph: (248) 985-9101 x1006

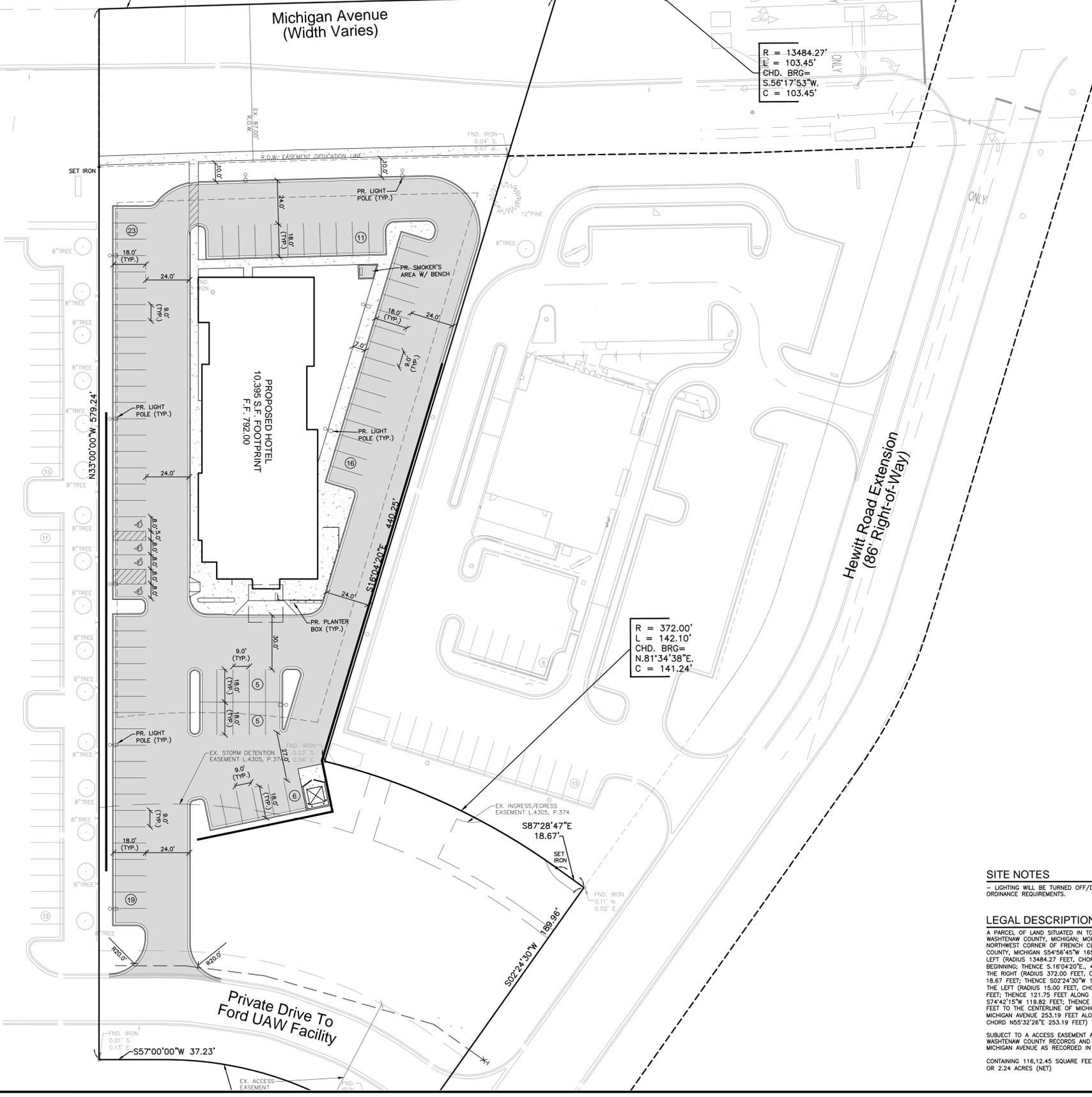
PROJECT LOCATION
 Part of the N.E. 1/4
 of Section 18
 T.3S., R.7E.
 Ypsilanti Twp.,
 Washtenaw County, MI

SHEET
 Dimensional Site Plan



REVISIONS
 01-18-2023 Preliminary Review
 04-27-2023 Planning Review

DRAWN BY:
 A. Eizember
DESIGNED BY:
 A. Eizember
APPROVED BY:
 P. Williams
DATE:
 January 18, 2023
SCALE: 1" = 30'
 NEE JOB NO. **C447-03** SHEET NO. **SP-2**



PAVING LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

LEGEND

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		SAN. CLEAN OUT
	MANHOLE CATCH BASIN		EXISTING WATERMAIN
	UTILITY POLE		EX. R. Y. CATCH BASIN
	GUY WIRE		EXISTING BURIED CABLES
	LIGHT POLE		OVERHEAD LINES
	SIGN		EXISTING GAS MAIN
	C.O. MANHOLE		PR. SANITARY SEWER
	HYDRANT GATE VALVE		PR. WATER MAIN
	INLET C.B. MANHOLE		PR. STORM SEWER
	PR. R. Y. CATCH BASIN		PROPOSED LIGHT POLE
	TC 600.00		PR. TOP OF CURB ELEVATION
	GU 600.00		PR. GUTTER ELEVATION
	TW 600.00		PR. TOP OF WALK ELEVATION
	TP 600.00		PR. TOP OF P.V.M.T. ELEVATION
	FG 600.00		FINISH GRADE ELEVATION

SITE NOTES
 - LIGHTING WILL BE TURNED OFF/DIMMED BETWEEN 11:00 PM AND SUNRISE, PER ORDINANCE REQUIREMENTS.

LEGAL DESCRIPTION
 A PARCEL OF LAND SITUATED IN TOWN 3 SOUTH, RANGE 7 EAST, YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN; MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE NORTHWEST CORNER OF FRENCH CLAIM 690, T.3S., R.7E., YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN S54°56'45"W 165.68' FEET AND 103.45' FEET ALONG A CURVE TO THE LEFT (RADIUS 13484.27 FEET, CHORD S.56°17'53"W, 103.45 FEET) TO THE POINT OF BEGINNING; THENCE S.16°04'20"E, 440.25 FEET; THENCE 142.10 FEET ALONG A CURVE TO THE RIGHT (RADIUS 372.00 FEET, CHORD N.81°34'38"E, 141.24 FEET); THENCE S.87°28'47"E, 18.67 FEET; THENCE S02°24'30"W 189.96 FEET; THENCE 23.56 FEET ALONG A CURVE TO THE LEFT (RADIUS 15.00 FEET, CHORD N42°35'30"W 21.21 FEET); THENCE N87°35'30"W 4.40 FEET; THENCE 121.75 FEET ALONG A CURVE TO THE LEFT (RADIUS 197.00 FEET, CHORD S74°42'15"W 119.82 FEET; THENCE S57°00'00"W 37.23 FEET; THENCE N33°00'00"W 579.24 FEET TO THE CENTERLINE OF MICHIGAN AVENUE; THENCE ALONG SAID CENTERLINE OF MICHIGAN AVENUE 253.19 FEET ALONG A CURVE TO THE RIGHT (RADIUS 13484.27 FEET, CHORD N55°32'26"E, 253.19 FEET) TO THE POINT OF BEGINNING.

SUBJECT TO AN ACCESS EASEMENT AGREEMENT AS RECORDED IN LIBER 4016, P. 96, WASHTENAW COUNTY RECORDS AND AN EASEMENT DEDICATION FOR RIGHT-OF-WAY FOR MICHIGAN AVENUE AS RECORDED IN LIBER 4184, PAGE 712, WASHTENAW COUNTY RECORDS. CONTAINING 116,124.45 SQUARE FEET OR 2.72 ACRES (GROSS) AND 97,742.91 SQUARE FEET OR 2.24 ACRES (NET)

$\Delta = 01^{\circ}04'33''$
 $R = 13484.27'$
 $L = 253.19'$
 $CHD. BRG =$
 $N 55^{\circ}32'26''E$
 $C = 253.19'$

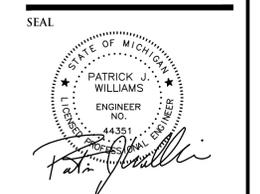
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$R = 372.00'$
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NF
ENGINEERS
 CIVIL ENGINEERS
 LAND SURVEYORS
 LAND PLANNERS

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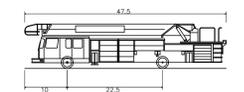
PROJECT
 Hotel Development
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CLIENT
 GAV Associates

Contact: David Ganezer
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PROJECT LOCATION
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 of Section 18
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 Ypsilanti Twp.,
 Washtenaw County, MI

SHEET
 Fire Apparatus
 Maneuvering Plan



Ypsi Fire Truck
 Overall Length 47.500ft
 Overall Width 10.000ft
 Overall Body Height 22.500ft
 Min. Body Ground Clearance 8.862ft
 Track Width 8.000ft
 Lock-to-Lock time 4.000s
 Max Wheel Angle 45.00°

PAVING LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

LEGEND

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		SAN. CLEAN OUT
	MANHOLE CATCH BASIN		EXISTING WATERMAIN
	UTILITY POLE		EXISTING STORM SEWER
	GUY WIRE		EX. R. Y. CATCH BASIN
	LIGHT POLE		EXISTING BURIED CABLES
	SIGN		OVERHEAD LINES
	EXISTING GAS MAIN		PR. SANITARY SEWER
	PR. MANHOLE		PR. WATER MAIN
	PR. HYDRANT		PR. STORM SEWER
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	TC 600.00		PR. TOP OF CURB ELEVATION
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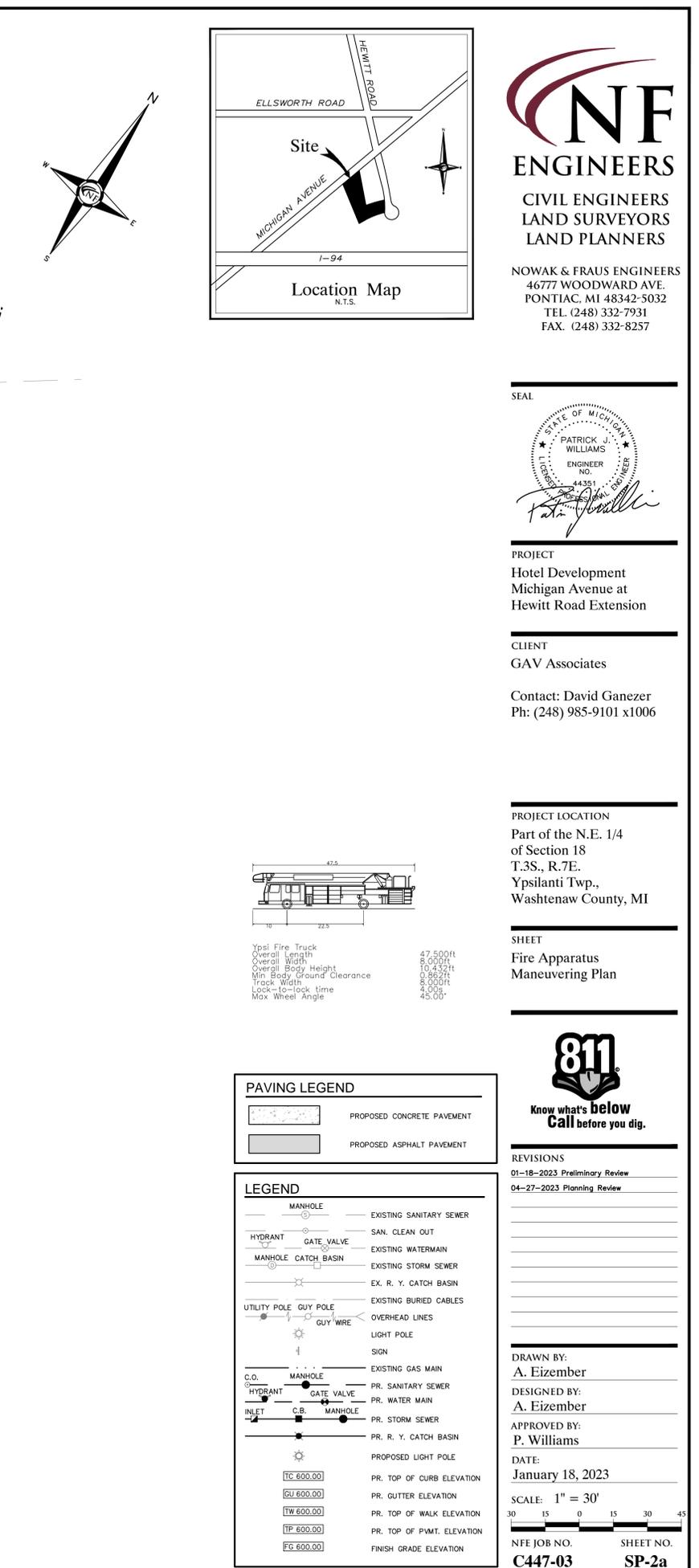
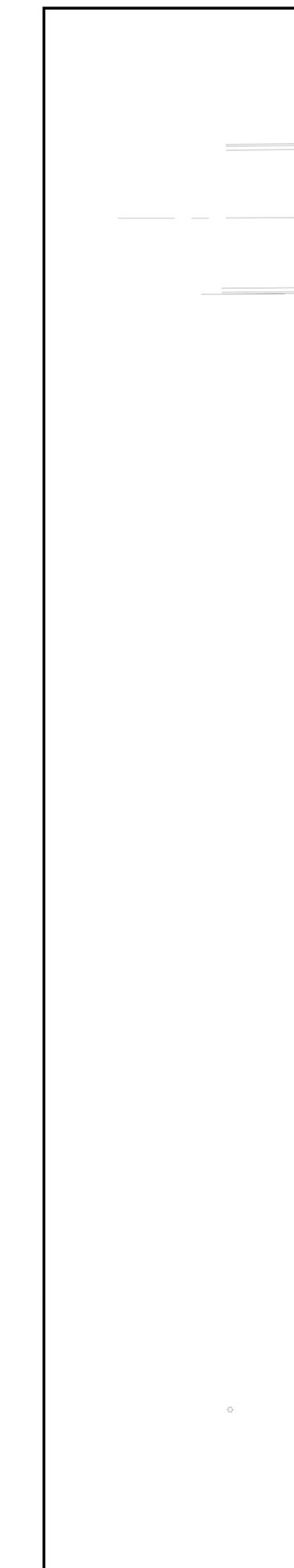
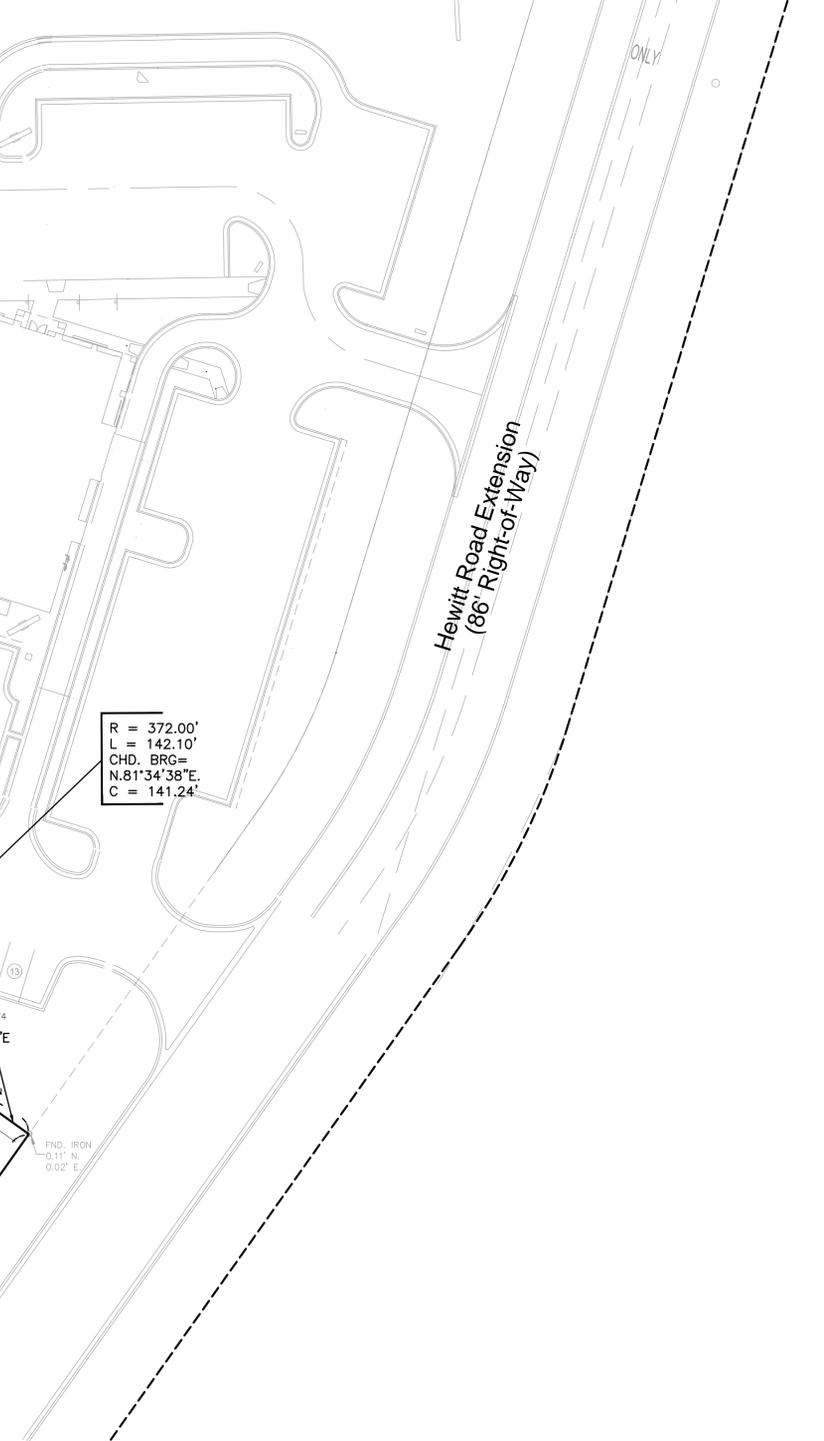
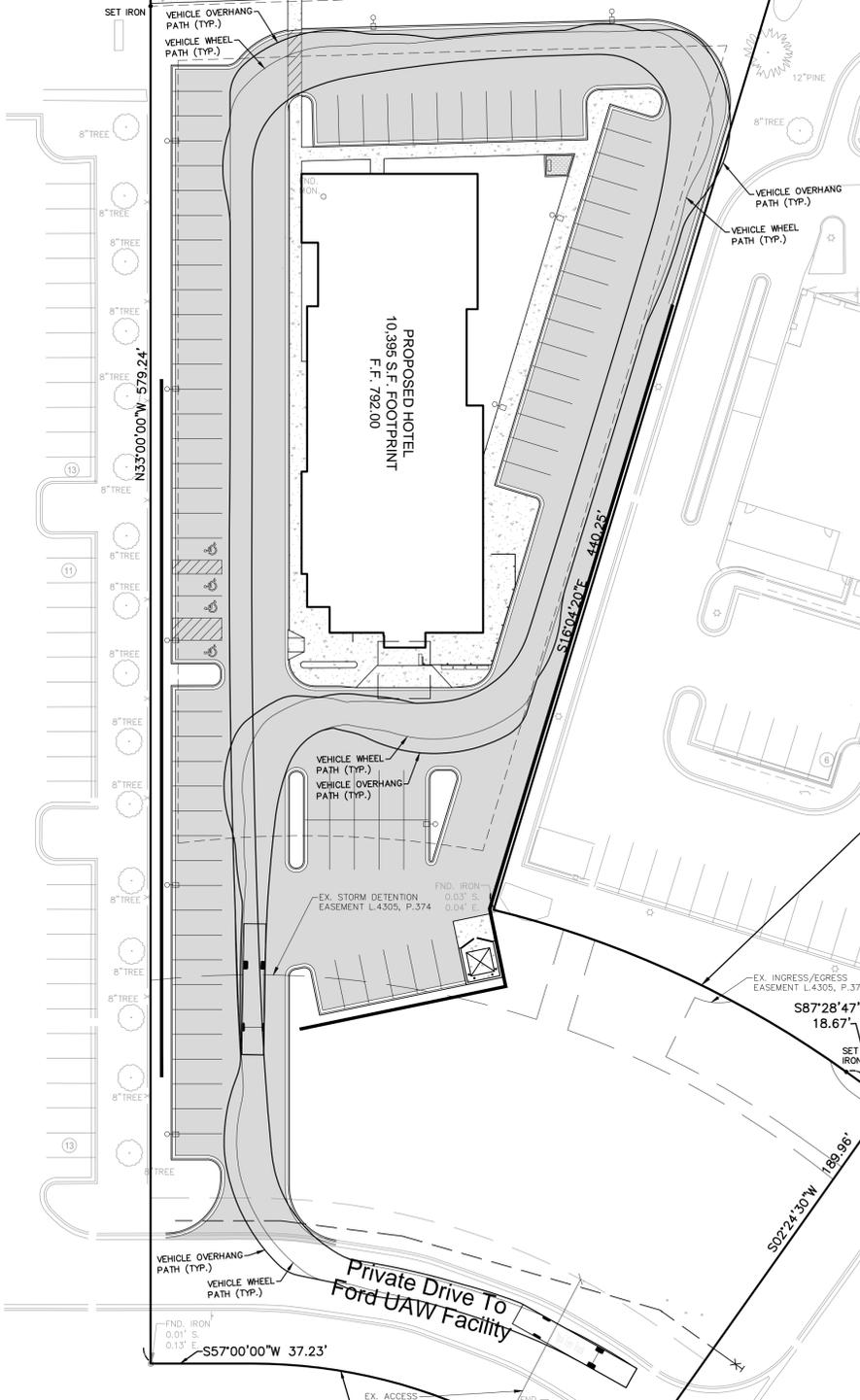
REVISIONS
 01-18-2023 Preliminary Review
 04-27-2023 Planning Review

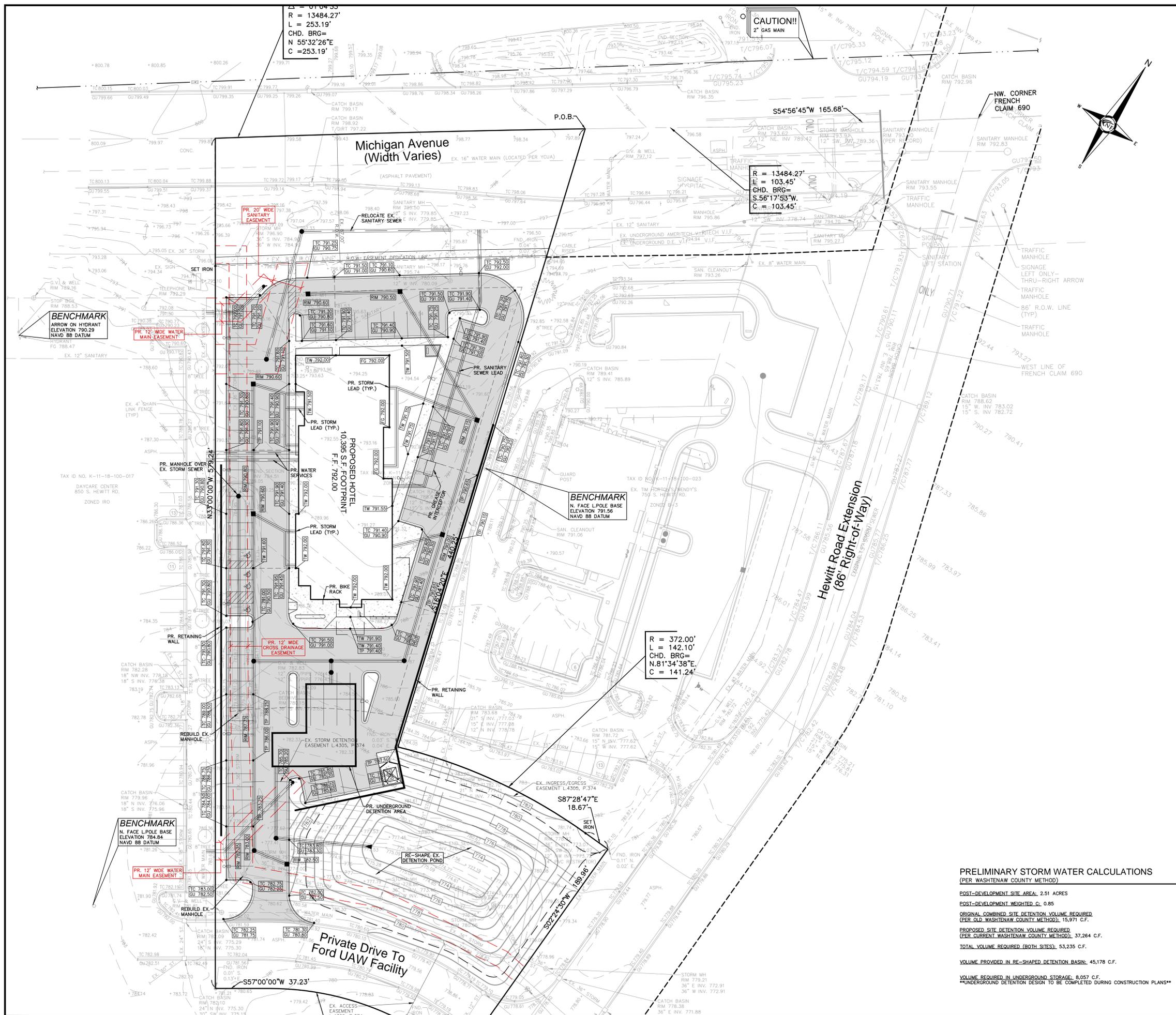
DRAWN BY:
 A. Eizember
DESIGNED BY:
 A. Eizember
APPROVED BY:
 P. Williams

DATE:
 January 18, 2023

SCALE: 1" = 30'

NFE JOB NO. C447-03 **SHEET NO. SP-2a**





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 of Section 18
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 Washtenaw County, MI

SHEET
 Engineering Site Plan



REVISIONS
 01-18-2023 Preliminary Review
 04-27-2023 Planning Review

DRAWN BY:
 A. Eizember
DESIGNED BY:
 A. Eizember
APPROVED BY:
 P. Williams

DATE:
 January 18, 2023

SCALE: 1" = 30'
 30 15 0 15 30 45

NFE JOB NO. SHEET NO.
C447-03 SP-3

PAVING LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

LEGEND

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		SAN. CLEAN OUT
	MANHOLE CATCH BASIN		EXISTING WATERMAIN
	UTILITY POLE		EXISTING STORM SEWER
	GUY WIRE		EX. R. Y. CATCH BASIN
	LIGHT POLE		EXISTING BURIED CABLES
	SIGN		OVERHEAD LINES
	EXISTING GAS MAIN		PROPOSED LIGHT POLE
	PR. SANITARY SEWER		PR. TOP OF CURB ELEVATION
	PR. WATER MAIN		PR. GUTTER ELEVATION
	PR. STORM SEWER		PR. TOP OF WALK ELEVATION
	PR. R. Y. CATCH BASIN		PR. TOP OF P.V.M.T. ELEVATION
	PR. CATCH BASIN		FINISH GRADE ELEVATION

PRELIMINARY STORM WATER CALCULATIONS
 (PER WASHTENAW COUNTY METHOD)

POST-DEVELOPMENT SITE AREA: 2.51 ACRES
 POST-DEVELOPMENT WEIGHTED C: 0.85

ORIGINAL COMBINED SITE DETENTION VOLUME REQUIRED
 (PER OLD WASHTENAW COUNTY METHOD): 15,971 C.F.

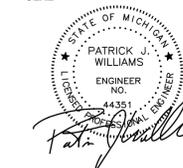
PROPOSED SITE DETENTION VOLUME REQUIRED
 (PER CURRENT WASHTENAW COUNTY METHOD): 37,264 C.F.

TOTAL VOLUME REQUIRED (BOTH SITES): 53,235 C.F.

VOLUME PROVIDED IN RE-SHAPED DETENTION BASIN: 45,178 C.F.

VOLUME REQUIRED IN UNDERGROUND STORAGE: 8,057 C.F.
 UNDERGROUND DETENTION DESIGN TO BE COMPLETED DURING CONSTRUCTION PLANS

SEAL



PROJECT
 Hotel Development
 Michigan Avenue at
 Hewitt Road Extension

CLIENT
 GAV Associates

Contact: David Ganezer
 Ph: (248) 985-9101 x1006

PROJECT LOCATION
 Part of the N.E. 1/4
 of Section 18
 T.3S., R.7E.
 Ypsilanti Twp.,
 Washtenaw County, MI

SHEET
 Site Notes and Details



Know what's **Below**
 Call before you dig.

REVISIONS
 01-18-2023 Preliminary Review
 04-27-2023 Planning Review

DRAWN BY:
 A. Eizember
 DESIGNED BY:
 A. Eizember
 APPROVED BY:
 P. Williams

DATE:
 January 18, 2023

SCALE: 1" = 30'

NEE JOB NO. SHEET NO.
C447-03 SP-3a

GENERAL PAVING NOTES

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

ASPHALT: BASE COURSE - MDT BITUMINOUS MIXTURE NO. 1100L, 20AA; SURFACE COURSE - MDT BITUMINOUS MIXTURE NO. 1100T, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.

PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.

ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.

ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-5164.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.

ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.

FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION.

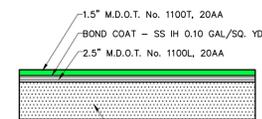
EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.

EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.

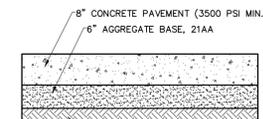
SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.

ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.

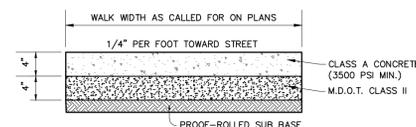
FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.



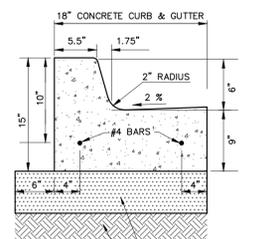
ASPHALT PAVEMENT SECTION
 (DRIVE AND PARKING)



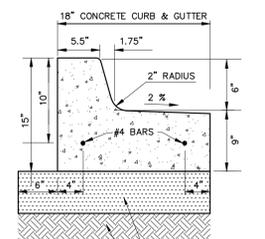
CONCRETE PAVEMENT SECTION
 N.T.S.



CONCRETE SIDEWALK SECTION
 N.T.S.



CONCRETE CURB DETAIL 'A'
 N.T.S.



CONCRETE CURB DETAIL 'B'
 N.T.S.

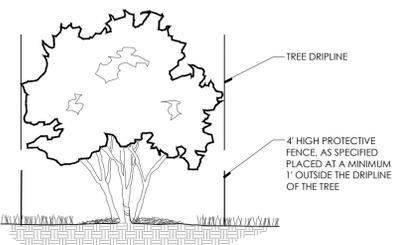
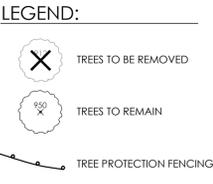
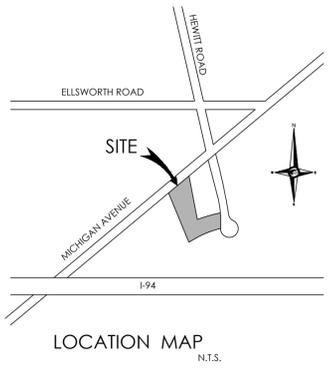
$\Delta = 01.04.33$
 $R = 13484.27'$
 $L = 253.19'$
 $CHD. BRG =$
 $N 55^{\circ}32'26"E$
 $C = 253.19'$

CAUTION!
2" GAS MAIN

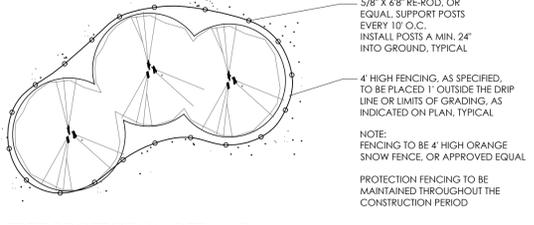
$R = 13484.27'$
 $L = 103.45'$
 $CHD. BRG =$
 $S 56^{\circ}17'53"W$
 $C = 103.45'$

TREE REMOVAL JUSTIFICATION NOTE:
80% OF THE EXISTING TREES ON-SITE ARE COMPRISED OF SPECIES COTTONWOOD (20 TREES) AND SIBERIAN ELM (18 TREES), WHICH ARE CONSIDERED PIONEER SPECIES. THESE OPPORTUNISTIC, SHORT-LIVED, WEAK-WOODDED TREES ARE MOST ASSOCIATED WITH DISTURBED SITES AND ARE PRONE TO DISEASE. THE LOCATION OF THESE TREES PRIMARILY FALL IN THE DETENTION BASIN WHICH NEEDS TO BE RE-GRADED TO ACCOMMODATE THE NEW SITE DEVELOPMENT, AND THE BUILDING FOOTPRINT AND PARKING LOT. THE AVAILABLE SPACE FOR MITIGATION IS LIMITED, HAMPED BY THE ODD PARCEL CONFIGURATION AS WELL AS THE FUTURE RIGHT-OF-WAY AND REQUIRED UTILITY SEPARATION. THE APPLICANT PROPOSES TO PAY INTO THE TOWNSHIP TREE FUND FOR THE 48 TREES WHICH CANNOT BE ACCOMMODATED ON-SITE.

$R = 372.00'$
 $L = 142.10'$
 $CHD. BRG =$
 $N 81^{\circ}34'38"E$
 $C = 141.24'$



TREE PROTECTION DETAIL-SECTION NTS



TREE PROTECTION DETAIL-PLAN NTS

GENERAL TREE PROTECTION NOTES

- APPROVED TREE PROTECTION SHALL BE ERECTED PRIOR TO THE START OF CONSTRUCTION ACTIVITIES AND SHALL REMAIN IN PLACE UNTIL THE IN PLACE UNTIL CONSTRUCTION IS COMPLETE.
- ALL UNDERSTORY VEGETATION WITHIN THE LIMITS OF PROTECTIVE FENCING SHALL BE PRESERVED.
- NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN, INCLUDING BUT NOT LIMITED TO, PLACING SOLVENTS, BUILDING MATERIALS, CONSTRUCTION EQUIPMENT, OR SOIL DEPOSITS WITHIN THE DRIP LINE.
- WHERE CIRCUMFERENCE OF TREES ARE TO REMAIN, TREE FENCING SHALL BE PLACED AT THE LIMITS OF GRADING LINE.
- DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR WIRE TO ANY TREE SCHEDULED TO REMAIN.
- ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING.
- SWALES SHALL BE ROUTED TO AVOID THE AREA WITHIN THE DRIP LINES OF PROTECTED TREES.
- TREES LOCATED ON ADJACENT PROPERTIES THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES MUST BE PROTECTED.
- ROOT ZONES OF PROTECTED TREES SHOULD BE SURROUNDED WITH RIGIDLY STAKED FENCING.
- THE PARKING OF IDE AND RUNNING EQUIPMENT SHALL BE PROHIBITED UNDER THE DRIP LINE OF PROTECTED TREES.
- THE STRIPPING OF TOPSOIL FROM AROUND PROTECTED TREES SHALL BE PROHIBITED.
- ALL TREES TO BE REMOVED SHALL BE CUT AWAY FROM TREES TO REMAIN.
- THE GRUBBING OF UNDERSTORY VEGETATION WITHIN CONSTRUCTION AREAS SHOULD BE CLEARED BY CUTTING VEGETATION AT THE GROUND WITH A CHAIN SAW OR MANUALLY WITH A HYDRO-AXE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REPLACEMENT PER ORDINANCE GUIDELINES, FOR THE DAMAGE OR REMOVAL OF ANY TREE DESIGNATED TO REMAIN.
- TREES TO BE REMOVED SHALL BE FIELD VERIFIED, EVALUATED AND FLAGGED FOR REMOVAL BY THE LANDSCAPE ARCHITECT OR FORESTER, ONLY AS DIRECTED BY THE OWNER OR OWNERS REPRESENTATIVE.

TREE PRESERVATION SUMMARY:

TOTAL NUMBER OF TREES SURVEYED:	54
TOTAL NUMBER OF DEAD/POOR TREES:	3
NET TREES ON-SITE:	51
TOTAL NUMBER OF TREES TO BE REMOVED:	51
TOTAL NUMBER OF TREES TO REMAIN:	0
TOTAL REPLACEMENT TREES REQUIRED:	51 TREES
TOTAL REPLACEMENT TREES PROVIDED:	3 TREES
MONEY FOR 48 TREES WILL BE PAID INTO THE TREE FUND, AS SPACE IS LIMITED DUE TO EXISTING AND PROPOSED UTILITIES AND R.O.W. DEDICATION	



NOWAK & FRAUS ENGINEERS
 46777 WOODWARD AVE.
 PONTIAC, MI 48342-5032
 TEL. (248) 332-7931
 FAX. (248) 332-8257



PROJECT
 Hotel Development
 Michigan Avenue at
 Hewitt Road Extension
 CLIENT
 GAV Associates

Contact: David Ganezer
 Ph: (248) 985-9101 x1006

PROJECT LOCATION
 Part of the N.E. 1/4
 of Section 18
 T.3S., R.7E.
 City of Ypsilanti,
 Wayne County, Michigan

SHEET
 Tree Preservation Plan



REVISIONS

01/18/23	PRELIMINARY REVIEW
04/27/23	REVISED PER PLANNING REVIEW

DRAWN BY:
 G. Ostrowski
 DESIGNED BY:
 G. Ostrowski
 APPROVED BY:
 G. Ostrowski
 DATE:
 12-14-2022
 SCALE: 1" = 30'
 NFE JOB NO. C447-03 SHEET NO. L1

W:\New\Oak Jobs - The 65000\2020 FILES\C447-03\06\Site\Landscaping\C447-03_L1.dwg, 4/25/2023, 12:54 PM



LANDSCAPE REQUIREMENTS

EXISTING SITE ZONING: RC, REGIONAL CORRIDOR DISTRICT
EXISTING SITE AREA: 118,588.34 S.F. OR 2.72 ACRES

STREETYARD LANDSCAPE (S)
1 CANOPY TREE PER 40 L.F., 1 ORNAMENTAL TREE PER 100 L.F., 1 SHRUB PER 10 L.F.
REQUIRED: MICHIGAN AVE. 239 L.F.
239 L.F. / 40 L.F. = 5.97 OR 6 TREES
239 L.F. / 100 L.F. = 2.39 OR 2 ORNAMENTAL TREES
239 L.F. / 10 = 23.9 OR 24 SHRUBS
PROVIDED: 6 CANOPY TREES, 2 ORNAMENTAL TREES AND 66 SHRUBS

PARKING LOT LANDSCAPE REQUIREMENTS (P)
INTERIOR (I)
1 TREE PER 2,000 S.F. OF PAVED AREA
39,949.18 S.F. / 2,000 S.F. = 19.97 OR 20 TREES REQUIRED
PROVIDED: 20 TREES

PERIMETER (P)
1 TREE PER 40 L.F.
W. PROPERTY LINE: 375 L.F. / 40 L.F. = 9.38 OR 9 TREES
N. PROPERTY LINE: 172 L.F. / 40 L.F. = 4.3 OR 4 TREES
PROVIDED: 13 TREES TOTAL

DETENTION BASIN LANDSCAPE (D)
1 TREE AND 10 SHRUBS PER 50 L.F. OF POND PERIMETER
REQUIRED:
POND: 514.81 L.F. / 50 L.F. = 10.29 OR 10 TREES
514.81 L.F. / 50 L.F. X 10 = 102.96 OR 103 SHRUBS
PROVIDED: 10 TREES AND 103 SHRUBS

GENERAL LANDSCAPE (G)
1 TREE PER 1,000 S.F. AND 1 SHRUB PER 500 S.F.
REQUIRED: 2,047.37 S.F.
TREES: 2,047.37 S.F. / 1,000 = 2 TREES
SHRUBS: 2,047.37 S.F. / 500 S.F. = 4 SHRUBS
PROVIDED: 2 TREES AND 41 SHRUBS

TREE REPLACEMENTS (R)
51 TREE REPLACEMENTS ARE REQUIRED
3 TREE REPLACEMENTS ARE PROVIDED. MONEY FOR 48 TREES WILL BE PAID INTO THE TREE FUND FOR TREES THAT CANNOT BE PLACED ON-SITE

SEDGE BANK SEED MIX
*CONTAINS 10 NATIVE GRASSES AND 2 TEMPORARY GRASSES
30% NATIVE GRASSES 70% TEMPORARY GRASSES
CORMUS SEDGE SEED OATS AMERICAN SLOUGH GRASS
LIND SEDGE ANNUAL RYE
FOWL MANNA GRASS
CREEPING SPIRE RUSH
COMMON RUSH
HARDSTEM BLUEGRASS
GREEN BLUEGRASS
WOOD GRASS
SOFT STEM BLUEGRASS
GIANT BUR REED
RECOMMENDED SEEDING RATE: 40 LBS/ACRE
SEED MIX AVAILABLE:
NATIVESCAPE, LLC
PO BOX 107
MANCHESTER, MI 48158
1.517.456.9996

GENERAL LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, THE PLANT LIST SHALL GOVERN QUANTITIES. CONTACT THE LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION OR HEAVY PHASE OF WORK. ANY DAMAGE OR INTERFERENCE OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES AND SHALL REPORT ANY UNACCEPTABLE SITE CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT.
- PLANTS SHALL BE FULLY WELL-BRANCHED, AND IN HEALTHY VIGOROUS GROWING CONDITION.
- ALL TREES MUST BE STAKED, FERTILIZED AND MULCHED AND SHALL BE GUARANTEED TO EXHIBIT A NORMAL GROWTH RATE OF AT LEAST ONE (1) YEAR FOLLOWING PLANTING.
- ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED IN THE MOST RECENT EDITION OF THE "AMERICAN STANDARDS FOR NURSERY STOCK".
- CONTRACTOR SHALL SUPPLY FINISHED GRADE AND LOCATE AS NECESSARY TO SUPPLY PLANT MIX DEPTH IN ALL PLANTING BEDS AS INDICATED IN PLANT DETAILS AND A DEPTH OF 4" IN ALL LAWN AREAS.
- PROVIDE CLEAN BACKFILL SOIL, USING MATERIAL STOCKPILED ON-SITE. SOIL SHALL BE SCREENED AND FREE OF BRICKS, FOREIGN MATERIAL, AND STONE. SLOW RELEASE FERTILIZER SHALL BE ADDED TO THE PLANT PITS BEFORE BEING BACKFILLED. APPROVED MULCH SHALL BE AS THE MANUFACTURER'S RECOMMENDED RATE.
- AMENDED PLANT MIX (PREPARED TOPSOIL) SHALL CONSIST OF 1/3 SCREENED TOPSOIL, 1/3 SAND, AND 1/3 "DIRTY DOG" COMPOST, MIXED WELL AND SPREAD TO A DEPTH AS INDICATED IN PLANTING DETAILS.
- ALL PLANTINGS SHALL BE MULCHED WITH SHREDED HARDWOOD BARK, SPREAD TO A DEPTH OF 2" FOR TREES AND SHRUBS AND 2" ON ANNUALS, PERENNIALS, AND GROUND COVER PLANTINGS. MULCH SHALL BE FREE FROM DEBRIS AND FOREIGN MATERIAL, AND PEECS ON INCORPORATED.
- NO SUBSTITUTIONS OR CHANGES OF LOCATION, OR PLANT TYPE SHALL BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS PRIOR TO INSTALLATION.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN A VERTICAL CONDITION THROUGHOUT THE GUARANTEED PERIOD.
- THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHALL HAVE THE RIGHT TO OBJECT ANY WORK OR MATERIAL THAT DOES NOT MEET THE REQUIREMENTS OF THE PLANS AND/OR SPECIFICATIONS.
- THE LANDSCAPE CONTRACTOR SHALL SEED AND MULCH OR SOIL AS INDICATED ON PLANS. ALL AREAS DESIGNATED AS SUCH ON THE PLANS, THROUGHOUT THE CONTRACT PERIOD. FURTHER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING AREAS DISTURBED DURING CONSTRUCTION, NOT IN THE CONTRACT LIMITS, TO EQUAL OR GREATER CONDITION.
- ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESSIVE WATER FROM PONDING ON LAWN AREAS OR AROUND TREES AND SHRUBS.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND SYSTEM.

GENERAL SEED NOTE:

ALL LAWN AREAS DESIGNATED TO BE SEEDED, SHALL BE HYDRO-SEEDED WITH SPECIFIED BLENDS, AND STABILIZED WITH WOOD CELLULOSE FIBER MULCH (2,000 LBS PER ACRE). IN AREAS SUBJECT TO EROSION, SEEDED LAWN SHALL BE FURTHER STABILIZED WHERE NECESSARY WITH BIODEGRADABLE EROSION BLANKET AND STAKED UNTIL ESTABLISHED. ALL SEED SHALL BE APPLIED OVER A MINIMUM 3" PREPARED TOPSOIL, AND SHALL BE KEPT MOIST AND WATERED DAILY UNTIL ESTABLISHED.
SEEDING INSTALLATION SHALL OCCUR ONLY:
SPRING: APRIL TO JUNE
FALL: AUGUST 15 TO OCTOBER 15

TYPICAL SEEDED LAWN MIX:

ALL LAWN AREAS DESIGNATED TO BE SEEDED, SHALL BE HYDROSEEDED WITH TYPICAL DROUGHT TOLERANT, DURABLE BLENDED SEED MIX AT A RATE OF 220 LBS PER ACRE
MIX IS COMPRISED OF:
30% NITE HAWK PERENNIAL RYE
30% KENTUCKY BLUEGRASS
20% CREEPING RED FESCUE
10% MERIT KENTUCKY BLUEGRASS
10% NEWPORT KENTUCKY BLUEGRASS

SEDGE BANK SEED MIX

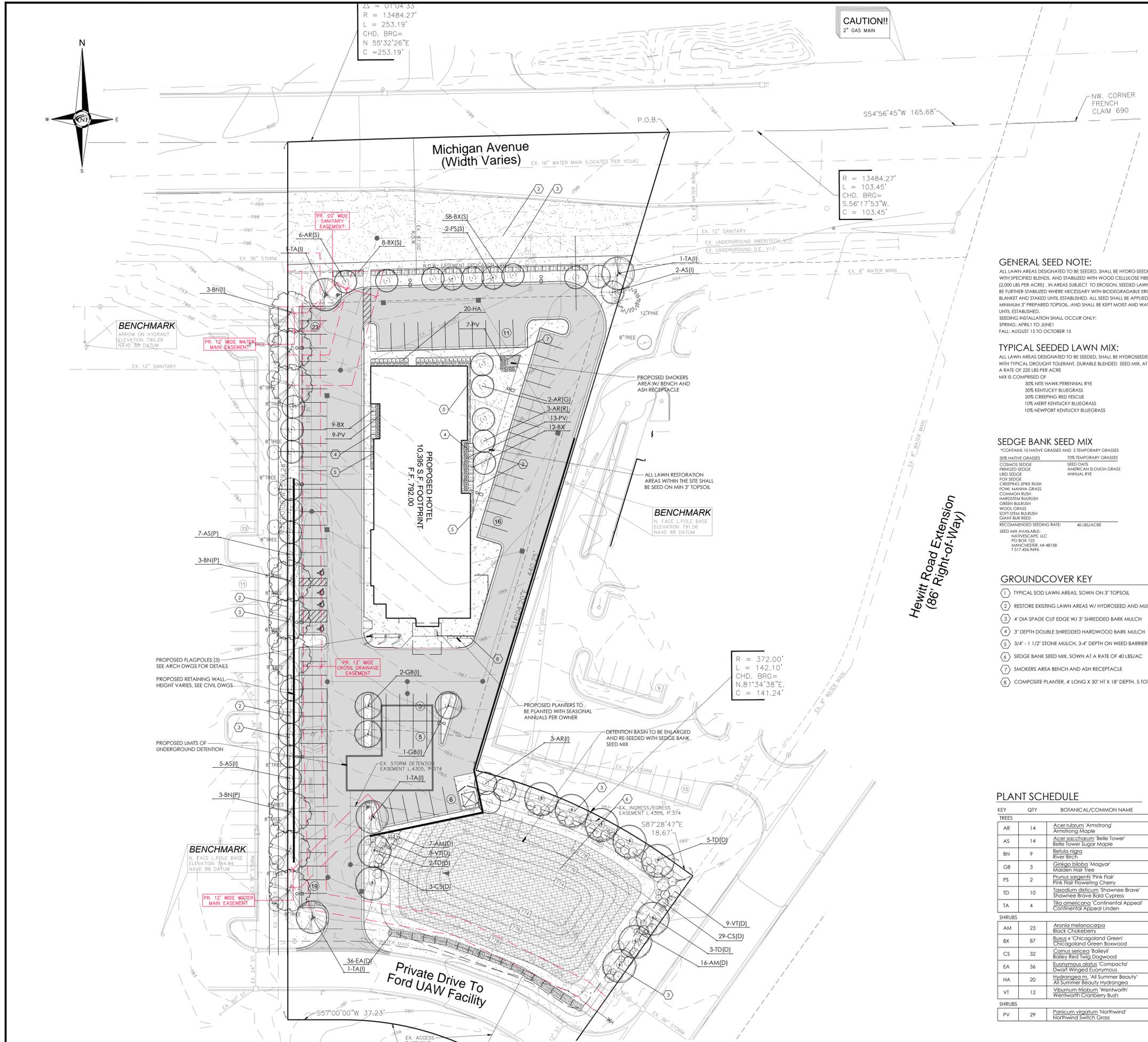
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WOOD GRASS
SOFT STEM BLUEGRASS
GIANT BUR REED
RECOMMENDED SEEDING RATE: 40 LBS/ACRE
SEED MIX AVAILABLE:
NATIVESCAPE, LLC
PO BOX 107
MANCHESTER, MI 48158
1.517.456.9996

GROUND COVER KEY

- TYPICAL SOD LAWN AREAS, SOWN ON 3" TOPSOIL
- RESTORE EXISTING LAWN AREAS W/ HYDROSEED AND MULCH
- 4" DIA SPADE CUT EDGE W/ 3" SHREDED BARK MULCH
- 3" DEPTH DOUBLE SHREDED HARDWOOD BARK MULCH
- 3/4" - 1 1/2" STONE MULCH, 3-4" DEPTH ON WEED BARRIER
- SEDGE BANK SEED MIX, SOWN AT A RATE OF 40 LBS/AC
- SMOKERS AREA BENCH AND ASH RECEPTACLE
- COMPOSITE PLANTER, 4' LONG X 30" HT X 18" DEPTH, 5 TOTAL

PLANT SCHEDULE

KEY	QTY	BOTANICAL/COMMON NAME	SIZE	SPACING	ROOT	COMMENT
TREES						
AR	14	Acer rubrum 'Armstrong' Armstrong Maple	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS
AS	14	Acer saccharum 'Belle Tower' Belle Tower Sugar Maple	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS
BN	9	Betula nigra River Birch	14" HT	SEE PLAN	B&B	CLUMP FORM, 3 CANES
GB	3	Ginkgo biloba 'Magyar' Maiden Hair Tree	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS
PS	2	Prunus sargentii 'Pink Flair' Pink Flair Flowering Cherry	2" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS
TD	10	Taxodium disticum 'Shawnee Brave' Shawnee Brave Bald Cypress	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS
TA	4	Tilia americana 'Confidential Appeal' Confidential Appeal Linden	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS
SHRUBS						
AM	23	Aronia melanocarpa Black Chokeberry	30" HT	36" OC	B&B	
BX	87	Buxus x 'Chicagoland Green' Chicagoland Green Boxwood	30" HT	30" OC	B&B	
CS	32	Cornus sericea Bowley Red Twig Dogwood	36" HT	SEE PLAN	B&B	
EA	36	Euonymus alatus 'Compacta' Dwarf Winged Euonymous	30" HT	30" OC	B&B	
HA	20	Hydrangea m. 'All Summer Beauty' All Summer Beauty Hydrangea	30" HT	36" OC	B&B	
VT	12	Viburnum trilobum 'Wentworth' Wentworth Cranberry Bush	48" HT	SEE PLAN	B&B	
SHRUBS						
PV	29	Panicum virgatum 'Northwind' Northwind Switch Grass	3 GAL	30" OC	CONT	



REVISIONS

01/18/23 PRELIMINARY REVIEW
04/27/23 REVISED PER PLANNING REVIEW

PROJECT LOCATION

Part of the N.E. 1/4 of Section 18
T.3S., R.7E.
City of Ypsilanti,
Wayne County, Michigan

PROJECT

Hotel Development
Michigan Avenue at
Hewitt Road Extension

CLIENT

GAV Associates
Contact: David Ganezer
Ph: (248) 985-9101 x1006

PROJECT LOCATION

Part of the N.E. 1/4 of Section 18
T.3S., R.7E.
City of Ypsilanti,
Wayne County, Michigan

SHEET

Landscape Plan



REVISIONS

01/18/23 PRELIMINARY REVIEW
04/27/23 REVISED PER PLANNING REVIEW

DRAWN BY:

G. Ostrowski

DESIGNED BY:

G. Ostrowski

APPROVED BY:

G. Ostrowski

DATE:
12-14-2022

SCALE: 1" = 30'
NFE JOB NO. C447-03 SHEET NO. L2

CODE REVIEW & BLDG ANALYSIS:

THE BUILDING PLANS ARE BEING SUBMITTED FOR A PROPOSED FOUR STORY HOTEL. THE HOTEL WILL HAVE 78 GUEST ROOMS, NO POOL AND A GROUND FLOOR PUBLIC AREA FOR HOTEL GUESTS. PARKING WILL BE 86 SPACES.

- I. GENERAL CONTR. TO COMPLY W/ ALL FEDERAL, STATE, CITY AND LOCAL CODES WHERE APPLICABLE
- * MICHIGAN BUILDING CODE 2015
 - * ICC/ANSI A117.1 2009 AND MICHIGAN BARRIER FREE DESIGN LAW P.A. 1 OF 1966 AS AMENDED
 - * MICHIGAN MECHANICAL CODE 2015 (M.M.C.)
 - * MICHIGAN PLUMBING CODE 2018 (M.P.C.)
 - * FIRE SUPPRESSION NFPA 13-2013
 - * FIRE ALARM NFPA 72-2013
 - * INTERNATIONAL FUEL GAS CODE 2015 (I.F.G.C.)
 - * MICHIGAN UNIFORM ENERGY CODE, PART 10a (M.E.C.)
 - * ANSI/ASHRAE/IESNA STANDARD 90.1 1999 EDITION
 - * MICHIGAN ELECTRICAL CODE BASED ON 2017 N.E.C. W/ PART 8 AMENDMENTS
 - * INTERNATIONAL FIRE CODE 2012 (I.F.C.)
 - * PROJECT SHALL COMPLY W/ MBC 2015 CHP. 35 REFERENCE STANDARDS

PROJECT DATA:

ZONING	RC, REGIONAL CORRIDOR SITE TYPE: 'C' PERMITTED BUILDING FORMS: A2, B, C PERMITTED USES: 2, 3, 4 PERMITTED SPECIAL USES: 5, 6 SPECIAL USE 5 - HOTEL BUILDING FORM 'C' - HOTEL
PROJECT USE:	A-2 / B / R-1 5-2 LOW HAZARD VA: SPRINKLERED
SITE DATA	AREA
TOTAL SITE AREA:	116,612.45 SF = 2.72 ACRES
BUILDING AREA:	10,280 GROSS S.F.
BUILDING COVERAGE PERCENTAGE:	10,280/116,612.45 = 8.67%
BUILDING HEIGHT:	54'-6" TOP OF TOWER 46'-4" TOP OF 4 STORY PARAPET
SITE TYPE: 'C'	
BUILDING FORM 'C' - HOTEL	
SPECIAL USE 5 - HOTEL	
SETBACKS AND BUILDING PLACEMENT	
FRONT YARD:	MAXIMUM REQUIRED 60'-0" BUILD-TO LINE
SIDE YARD:	NO MINIMUM, IF PROVIDED, 5'-0" MINIMUM
REAR YARD:	MINIMUM 30'-0"
PARKING SETBACK:	10'-0" MINIMUM (ALL SIDES)
LOT CHARACTERISTICS	
IMPERVIOUS SURFACE:	MAXIMUM 80%
ACCESS & CIRCULATION:	DRIVEWAY ACCESS FROM ANY SIDE OF LOT PEDESTRIAN ACCESS FROM RIGHT OF WAY
PARKING LOCATION:	LOCATED IN ANY YARD
TOTAL BUILDINGS GROSS FLOOR AREA:	40,805 GROSS S.F.
FIRST FLOOR:	10,280 GROSS S.F.
SECOND FLOOR:	10,175 GROSS S.F.
THIRD FLOOR:	10,175 GROSS S.F.
FOURTH FLOOR:	10,175 GROSS S.F.
AREA PER KEY:	523 GROSS S.F.

BUILDING PROGRAM	
BUILDING AREA	QTY/TOTAL NET SF
GUESTROOMS	
KING	20 5,140 SF
DOUBLE QUEEN	27 8,154 SF
KING SUITE	24 7,800 SF
WIDE KING SUITE 2	3 1,716 SF
ACC KING SUITE	1 483 SF
ACC DOUBLE QUEEN	3 1,823 SF
SUBTOTAL	24,616 SF
GUESTROOM SUPPORT	
GUEST SUPPORT	
ELEVATOR	1 104 SF
ELEVATOR LOBBY (UPPER FLOORS)	3 346 SF
ICE / VENDING	3 246 SF
HOUSEKEEPING	3 552 SF
HOUSEKEEPING	1 12 SF
LINEN CHUTE	
BUILDING SERVICES	
ELECTRICAL ROOM	3 174 SF
MECHANICAL CLOSET	3 30 SF
CIRCULATION SUPPORT	
CORRIDOR A & B (UPPER LEVELS)	3 2,842 SF
STAIR 1	4 639 SF
STAIR 2	4 632 SF
SUBTOTAL	5,601 SF
PUBLIC SPACE	
VESTIBULE	1 116 SF
RECEPTION	1 105 SF
LOBBY / LOUNGE	1 703 SF
BREAKFAST ROOM	1 544 SF
FLEX ROOM	1 304 SF
FLEX ROOM CLOSET	1 25 SF
MARKETPLACE	1 180 SF
FITNESS	1 576 SF
GUEST LAUNDRY	1 107 SF
ELEVATOR LOBBY (FIRST FLOOR)	1 134 SF
SUBTOTAL	2,794 SF
PUBLIC SUPPORT	
LOBBY SUPPORT & CIRCULATION	
CIRCULATION	1 596 SF
ICE VENDING	1 24 SF
RESTROOM / GUEST LAUNDRY CORRIDOR	1 78 SF
TOILET ROOMS	2 111 SF
ADMINISTRATION	
OFFICE 1	1 88 SF
OFFICE 2	1 41 SF
WORK ROOM	1 157 SF
PBX	1 34 SF
LAUNDRY	1 585 SF
LINEN STORAGE	1 43 SF
BREAK ROOM	1 114 SF
BREAKFAST SERVING AREA	1 275 SF
FOOD PREP	1 186 SF
BUILDING SERVICES	
ELEVATOR EQUIPMENT ROOM / STORAGE	1 117 SF
ELECTRICAL ROOM	1 120 SF
MECHANICAL ROOM	1 243 SF
MECHANICAL CLOSET 172	1 28 SF
CLOSET 173	1 24 SF
MECHANICAL CLOSET 174	1 17 SF
MECHANICAL CLOSET 175	1 8 SF
MECHANICAL CLOSET 176	1 4 SF
SUBTOTAL	2,423 SF
TOTAL NET SF	36,019 SF

PARKING REQUIREMENTS	
1 SPACE PER 1 EMPLOYEES = 7 EMPLOYEES	
1 SPACE PER 1 GUESTROOM = 78 ROOMS	
78 * 7 = 85 SPACES REQUIRED; 86 SPACES PROVIDED	

PROVIDED:	86 TOTAL SPACES PROVIDED
4 BARRIER FREE PARKING SPACES REQUIRED	4 PROVIDED
1 OF 4 VAN ACCESSIBLE	

BUILDING DATA:

GUESTROOM TYPE COUNT & INDEX			
ROOM TYPE	AREA RANGE	COUNT	MIX RATIO
KING	257 SF	20	26%
DOUBLE QUEEN	302 SF	27	34%
KING SUITE	325 SF	24	31%
ACC WIDE KING SUITE 2	572 SF	3	4%
ACC KING SUITE	483 SF	1	1%
ACC DOUBLE QUEEN	441 SF	3	4%

BUILDING DATA:

GUESTROOM COUNT	
ROOM TYPE	COUNT
1ST FLOOR	
KNIG	5
DOUBLE QUEEN	5
KING SUITE	0
ACC WIDE KING SUITE 2	0
ACC KING SUITE	1
ACC DOUBLE QUEEN	0
2ND FLOOR	
KNIG	5
DOUBLE QUEEN	8
KING SUITE	8
ACC WIDE KING SUITE 2	1
ACC KING SUITE	0
ACC DOUBLE QUEEN	1
3RD FLOOR	
KNIG	5
DOUBLE QUEEN	8
KING SUITE	8
ACC WIDE KING SUITE 2	1
ACC KING SUITE	0
ACC DOUBLE QUEEN	1
4TH FLOOR	
KNIG	5
DOUBLE QUEEN	8
KING SUITE	8
ACC WIDE KING SUITE 2	1
ACC KING SUITE	0
ACC DOUBLE QUEEN	1
GUESTROOM TOTAL	78

ACCESSIBILITY MATRIX

REQUIREMENTS	PROVIDED
COMMUNICATION FEATURES	
GUESTROOM W/ COMMUNICATION FEATURES	10
MOBILITY FEATURES	
GUESTROOM - TUB	6
GUESTROOM - ROLL-IN SHOWER	1
ROOM FEATURES BY ROOM COMMUNICATION ROOMS	
FIRST FLOOR	#104
SECOND FLOOR	#205, #208, #219
THIRD FLOOR	#305, #308, #319
FOURTH FLOOR	#405, #408, #419
MOBILITY FEATURES BY ROOM	
FIRST FLOOR	
TUB	
ROLL-IN SHOWER	#104
SECOND FLOOR	
TUB	#204, #225
THIRD FLOOR	
TUB	#304, #325
FOURTH FLOOR	
TUB	#402, #425

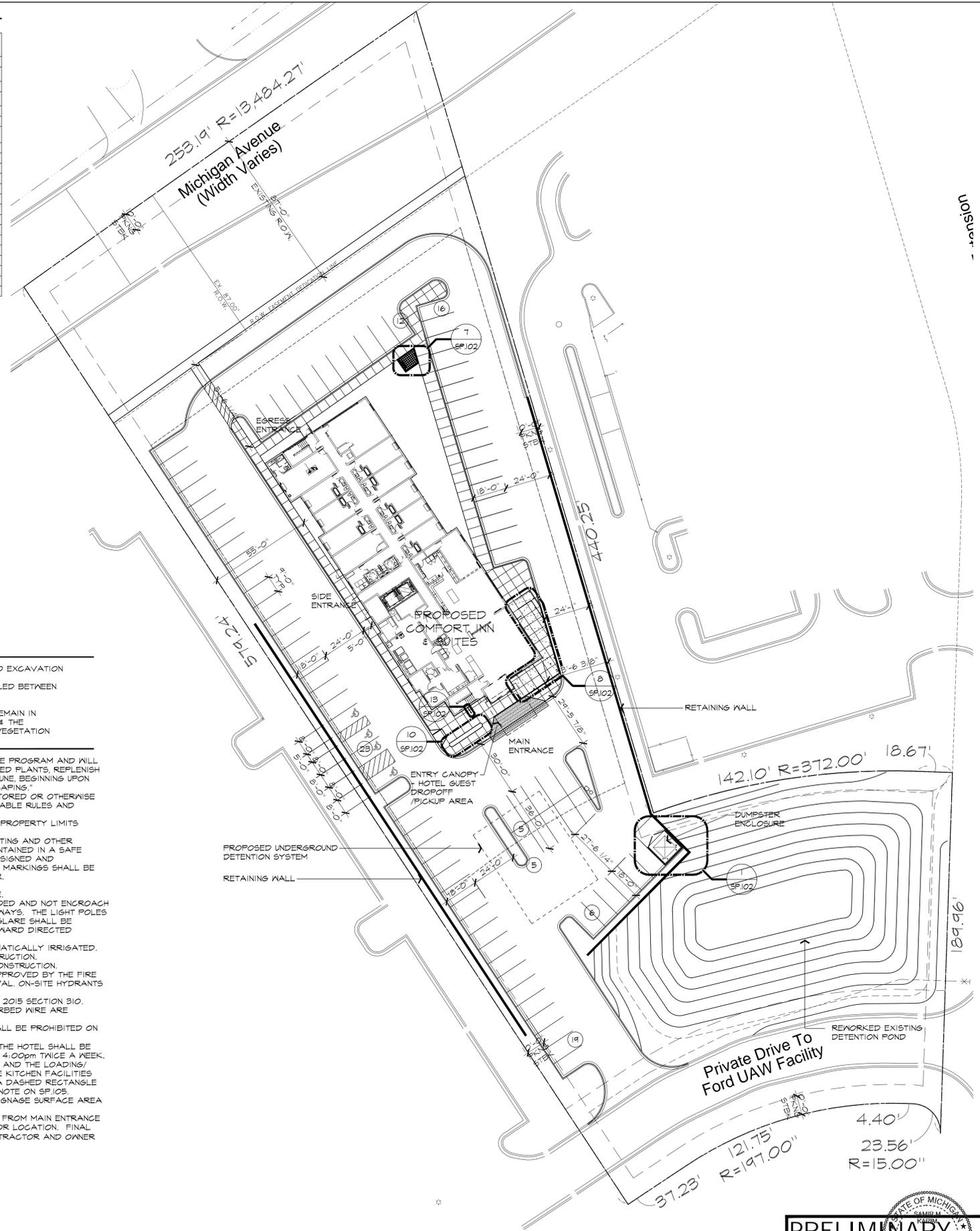
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MECHANICAL CLOSET 176	1 4 SF
SUBTOTAL	2,423 SF
TOTAL NET SF	36,019 SF

WORK SEQUENCE

- SILT FENCE SHALL BE INSTALLED PRIOR TO EXCAVATION
- EXCAVATED MATERIALS WILL BE STOCKPILED BETWEEN THE EXCAVATING AND SILT FENCE
- THE SEDIMENT CONTROL MEASURES WILL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE & THE DISTURBED AREAS ARE STABILIZED WITH VEGETATION

GENERAL NOTES

- OWNER AGREES TO SEASONAL MAINTENANCE PROGRAM AND WILL REPLACE ALL DISEASED, DEAD OR DAMAGED PLANTS, REPLENISH MULCH, CONTROL WEEDS, FERTILIZE AND PRUNE, BEGINNING UPON COMPLETION OF CONSTRUCTION OF LANDSCAPING.
- ANY HAZARDOUS MATERIALS PRODUCED, STORED OR OTHERWISE ON PREMISE WILL BE HANDLED PER APPLICABLE RULES AND REGULATIONS.
- OWNER AGREES TO PICK-UP DEBRIS WITHIN PROPERTY LIMITS WEEKLY OR AS NEEDED.
- PAVED SURFACES, WALKWAYS, SIGNS, LIGHTING AND OTHER STRUCTURES AND SURFACES SHALL BE MAINTAINED IN A SAFE ATTRACTIVE CONDITION AS ORIGINALLY DESIGNED AND CONSTRUCTED. PARKING LOT STRIPING AND MARKINGS SHALL BE MAINTAINED IN A CLEARLY VISIBLE MANNER.
- THERE WILL BE NO OUTDOOR STORAGE
- THERE ARE NO EXISTING WETLANDS ON-SITE.
- ALL LIGHTING ON THE SITE SHALL BE SHIELDED AND NOT ENCROUGH UPON ADJUTING PROPERTIES OR RIGHT-OF-WAYS. THE LIGHT POLES SHALL BE NO HIGHER THAT 20 FEET. ALL GLARE SHALL BE ELIMINATED FROM ALL LIGHT FIXTURES. UPWARD DIRECTED LIGHTING SHALL NOT BE PERMITTED.
- ALL LANDSCAPED AREAS SHALL BE AUTOMATICALLY IRRIGATED. DEVELOPMENT TO BE SINGLE PHASE CONSTRUCTION.
- FIRE ACCESS TO BE MAINTAINED DURING CONSTRUCTION
- ON-SITE HYDRANT LOCATIONS SHALL BE APPROVED BY THE FIRE MARSHALL PRIOR TO ENGINEERING APPROVAL. ON-SITE HYDRANTS MAY BE REQUIRED.
- PROPOSED BUILDING TO COMPLY WITH MBC 2015 SECTION 510.
- ALL BARBED WIRE AND SUPPORTS FOR BARBED WIRE ARE PROHIBITED ON THE SITE.
- ALL OUTDOOR RETAIL SALES OF ITEMS SHALL BE PROHIBITED ON THE SITE.
- ALL DELIVERIES (LOADING/UNLOADING) TO THE HOTEL SHALL BE DONE BETWEEN THE HOURS OF 9:00am AND 4:00pm TWICE A WEEK. THE DELIVERY TRUCKS WILL BE 18'-0" LONG AND THE LOADING/ UNLOADING AREA WILL BE LOCATED AT THE KITCHEN FACILITIES AREA AS DEMARCATED ON THE SP101 BY A DASHED RECTANGLE WITH DASHED 'X' AND NOTE. SEE SIGNAGE NOTE ON SP105.
- EXISTING POLE SIGN TO BE RE-SKINNED. SIGNAGE SURFACE AREA NOT TO INCREASE IN SIZE
- BIKE RACK TO BE NOT LESS THAN 50 FEET FROM MAIN ENTRANCE TO HOTEL LOBBY. SEE DETAIL 13/SP102 FOR LOCATION, FINAL LOCATION AND SIZE (MIN. 2 BIKES) BY CONTRACTOR AND OWNER FOR FINAL TOWNSHIP APPROVAL.



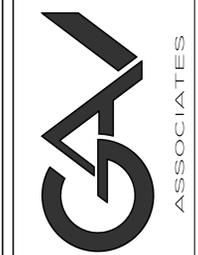
PROPOSED SITE PLAN - 86 ROOM COMFORT INN & SUITES
SCALE: 1" = 30'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

ISSUED FOR	DATE
SITE DESIGN - OWNER REVIEW	8-31-2022
PRE-PLANNING REVIEW	10-11-2022
POST-PLANNING REVIEW	11-14-2022
CHOICE HOTELS REVIEW	11-18-2022
REVIEW	12-18-2022
PLANNING REVIEW	1-18-2023
PLANNING REVIEW	4-21-2023

ARCHITECTURAL DESIGN
RESIDENTIAL
COMMERCIAL
INDUSTRIAL

G.A.V. ASSOCIATES, INC
2401 ORCHARD LANE, SUITE 100A
FARMINGTON, MICHIGAN 48338
PH: (248) 985-9101
WEB: WWW.GAVASSOCIATES.COM



TAP RESOURCES
3241 CARLETON ROAD
HILLSPALE, MICHIGAN 49242
MR. TAPAN PATEL
phone: 517-610-2417

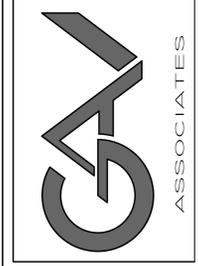
PROPOSED NEW HOTEL FOR CHOICE HOTELS:
COMFORT INN & SUITES - M1502
800 SOUTH HEWITT ROAD
YPSILANTI TOWNSHIP, MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
DS	DS	GA
SCALE: 1" = 30'-0"		
FILE NAME: 22060_SP101		
JOB #: 22060		
SHEET TITLE PROPOSED SITE PLAN		
SHEET # SP.101		

ISSUED FOR	DATE
REVIEW	12-19-2022
PLANNING REVIEW	1-18-2023
PLANNING REVIEW	4-21-2023

ARCHITECTURAL DESIGN
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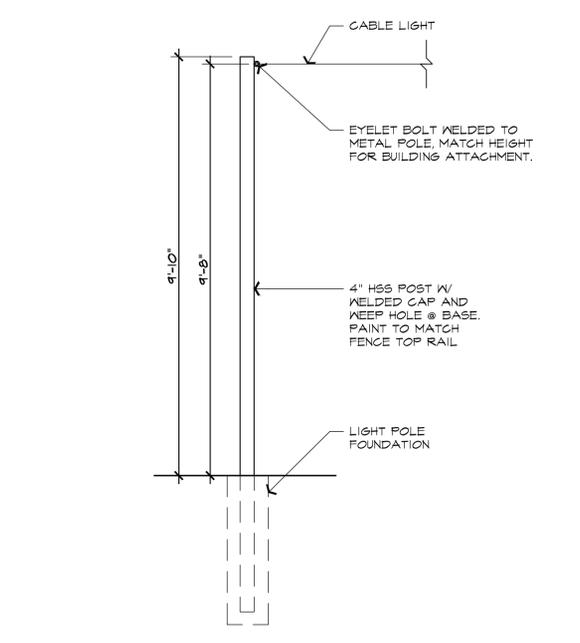


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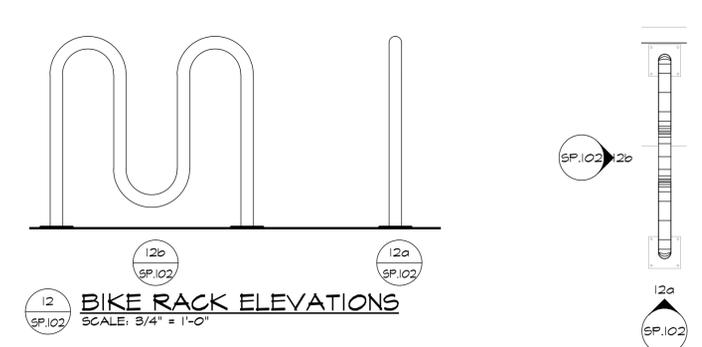
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 800 SOUTH HEWITT ROAD
 YPSILANTI TOWNSHIP, MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
DS	DS	GA
SCALE: 1" = 30'-0"		
FILE NAME: 22060_SP.102		
JOB #: 22060		
SHEET TITLE		
PROPOSED SITE PLAN DETAILS		
SHEET #		

SP.102

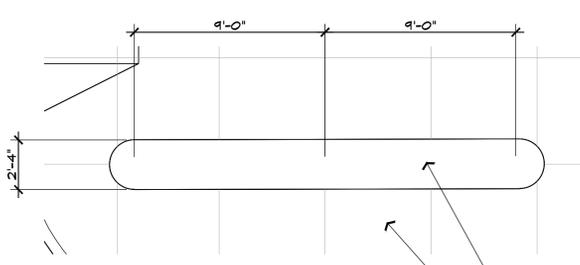


11 CABLE LIGHT POLE ELEVATION
 SCALE: 1/2" = 1'-0"

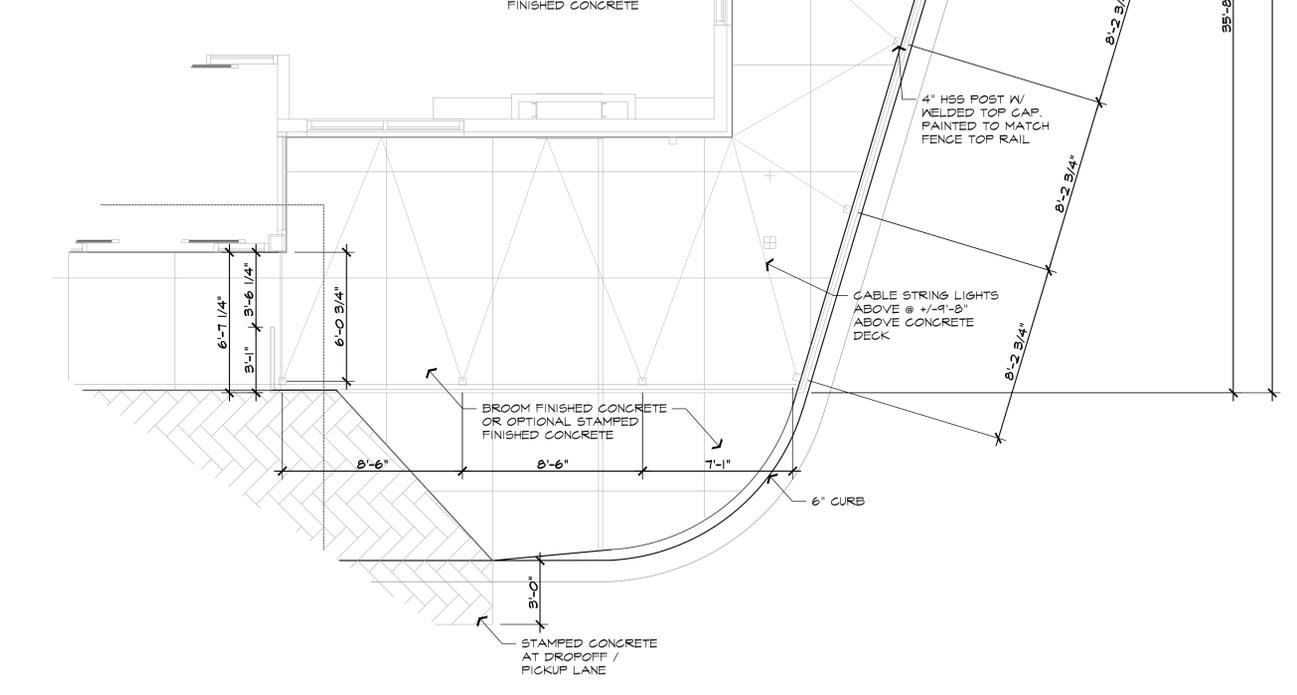


12 BIKE RACK ELEVATIONS
 SCALE: 3/4" = 1'-0"

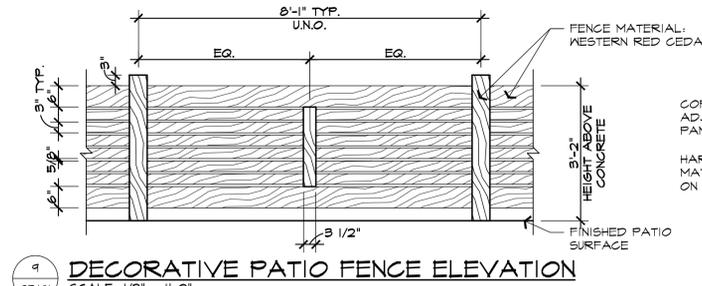
13 BIKE RACK PLAN
 SCALE: 3/4" = 1'-0"



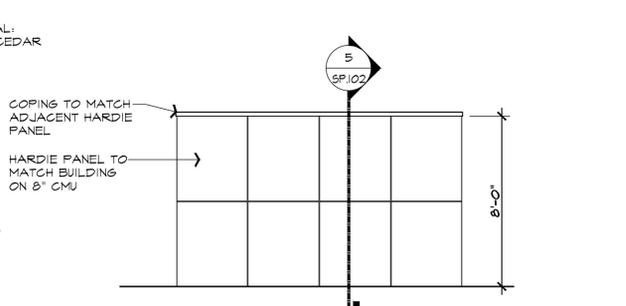
10 FLAG POLE PLAN
 SCALE: 1/4" = 1'-0"



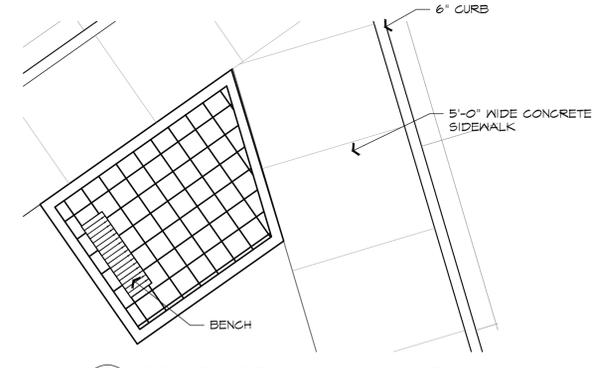
8 ENLARGED PATIO PLAN
 SCALE: 1/4" = 1'-0"



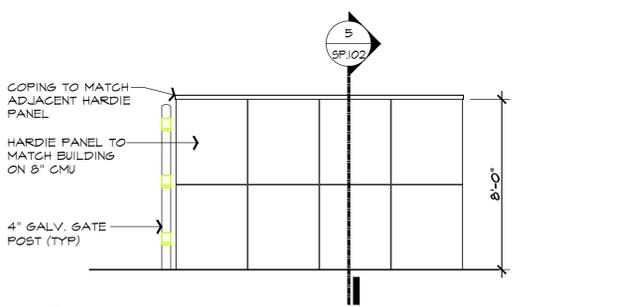
9 DECORATIVE PATIO FENCE ELEVATION
 SCALE: 1/2" = 1'-0"



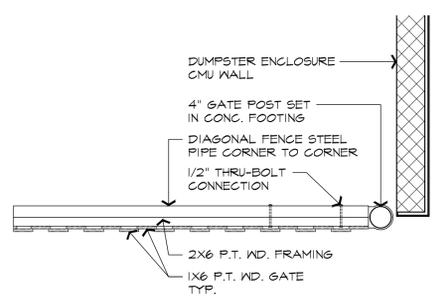
4 DUMPSTER ENCLOSURE REAR ELEVATION
 SCALE: 1/4" = 1'-0"



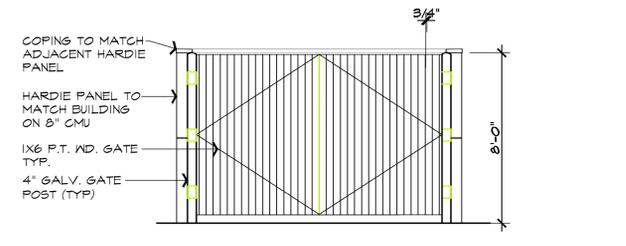
7 PROPOSED SMOKING PATIO
 SCALE: 1/4" = 1'-0"



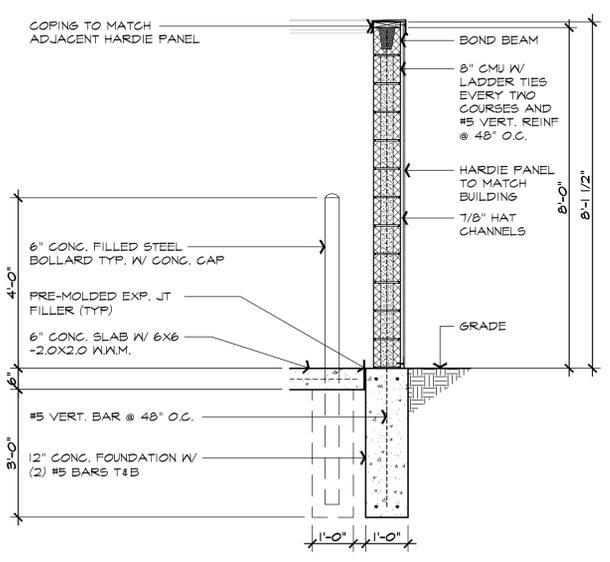
3 DUMPSTER ENCLOSURE SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



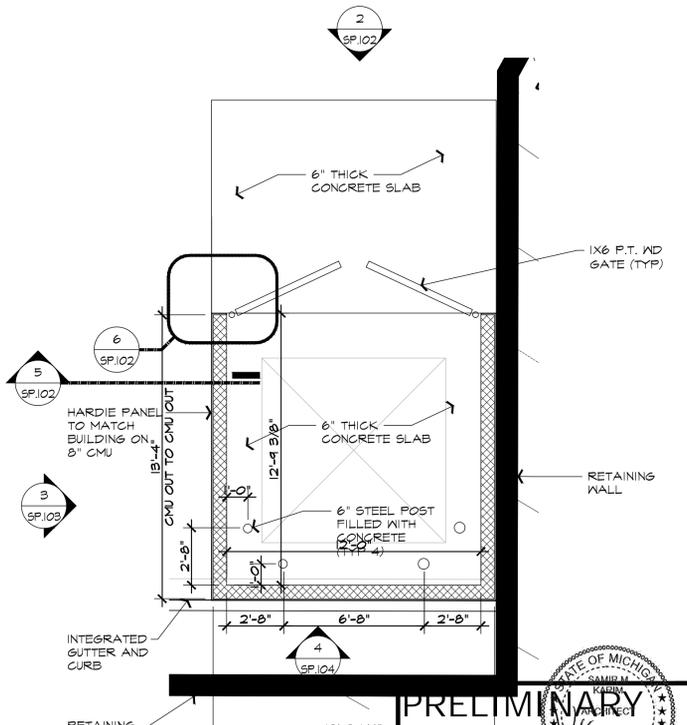
6 DUMPSTER GATE DETAIL
 SCALE: 1/2" = 1'-0"



2 DUMPSTER ENCLOSURE GATE ELEVATION
 SCALE: 1/4" = 1'-0"



5 DUMPSTER ENCLOSURE WALL SECTION
 SCALE: 1/2" = 1'-0"



1 PROPOSED DUMPSTER ENCLOSURE PLAN
 SCALE: 1/4" = 1'-0"

PRELIMINARY
 NOT FOR CONSTRUCTION

Level	Occupancy Type	Sq.Ft.	Sq.Ft./Occ.	Occupants	No. of Exits	Reqd. Exit Width, Horiz. Inches.	Provid. Exit Width, Horiz. Inches.	Reqd. Exit Width, Vert. Inches.	Provid. Exit Width, Vert. Inches.	Fixt. Unit rate	Water Closets, Male	Water Closets, Female	Water Closets, Staff	Fixt. Unit rate	Lavatories, Male	Lavatories, Female	Bathrooms, Unisex	Bathrooms, per unit	Fixt. Unit rate	Drinking Fountains/Sinks	Service Sinks
Level 1	R1 Residential, Hotel - 9 units	2,494	200	14.97						NA	0.56	0.56		200	0.22	0.22	NR	NR	500	0.99	
	A2 Breakfast/Lounge/Serving	1,247	15	83.0							0.09	0.09		200	0.03	0.03	NR	NR	500	0.083	
	B Fitness	576	15	11.52							0.17	0.17		200	0.03	0.03	NR	NR	500	0.048	
	B Flex	324	15	21.93							0.05	0.05	0.19	200	0.03	0.04	0.12	NR	500	0.023	
	B Break Room	119	15	7.93							0.05	0.05		200	0.03	0.03	NR	NR	500	0.023	
	B Business Office	400	100	4.0							0.05	0.05		200	0.03	0.03	NR	NR	500	0.023	
	B Business Mark Room 12'x11.5'	157	100	1.57							0.05	0.05		200	0.03	0.03	NR	NR	500	0.023	
	S1 Laundry/Linen/Guest Laundry	785	300	2.6							0.05	0.05		200	0.03	0.03	NR	NR	500	0.023	
	S1 Mechanical Room/Closet	302	300	1.01							0.05	0.05		200	0.03	0.03	NR	NR	500	0.023	
	S1 Electrical Room	120	300	0.4							0.05	0.05		200	0.03	0.03	NR	NR	500	0.023	
	S1 Elevator Electrical Room	117	300	0.39							0.05	0.05		200	0.03	0.03	NR	NR	500	0.023	
	A2 incidental used total, max 10%	17	47								0.05	0.05		200	0.03	0.03	NR	NR	500	0.023	
	B incidental used total, max 10%	6,910									0.05	0.05		200	0.03	0.03	NR	NR	500	0.023	
	Total Req/Prov.			149.32	5	29.86	208	Exit at Grade	Exit at Grade		ADA	ADA	0.00	ADA	ADA	0.00	ADA	ADA		0.205	
Level 2	R1 Residential, Hotel - 23 units	7,384	200	36.92	2	7.38	68	11.08	96		per Unit	N/A		per Unit	N/A		per Unit	N/A		NR	
Level 3	R1 Residential, Hotel - 23 units	7,384	200	36.92	2	7.38	68	11.08	96		per Unit	N/A		per Unit	N/A		per Unit	N/A		NR	
Level 4	R1 Residential, Hotel - 23 units	7,384	200	36.92	2	7.38	68	11.08	96		per Unit	N/A		per Unit	N/A		per Unit	N/A		NR	

Level	Qty.	Type
1	6	King Queen
2	14	King Queen
3	14	King Queen
4	14	King Queen
48	TOTAL KING ROOMS	
30	TOTAL QUEEN ROOMS	
78	TOTAL ROOMS	

Level	Qty.	Type
1	5	King Double Queen
	1	King Suite
	0	Wide King Suite 2
	0	ACC King Suite
	0	ACC Double Queen
2	5	King Double Queen
	1	King Suite
	0	Wide King Suite 2
	0	ACC King Suite
	0	ACC Double Queen
3	5	King Double Queen
	1	King Suite
	0	Wide King Suite 2
	0	ACC King Suite
	0	ACC Double Queen
4	5	King Double Queen
	1	King Suite
	0	Wide King Suite 2
	0	ACC King Suite
	0	ACC Double Queen

Vertical Room Chart																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
x01	x03	x05	x07	x09	x11	x13	x15	x17	x19	x21	x23	x25	x27	x29	x31	x33	x35	x37	x39	x41	x43	x45	x47	x49	x51	x53	x55	x57	x59	x61	x63	x65	x67	x69	x71	x73	x75	x77	x79	x81	x83	x85	x87	x89	x91	x93	x95	x97	x99	x101	x103	x105	x107	x109	x111	x113	x115	x117	x119	x121	x123	x125	x127	x129	x131	x133	x135	x137	x139	x141	x143	x145	x147	x149	x151	x153	x155	x157	x159	x161	x163	x165	x167	x169	x171	x173	x175	x177	x179	x181	x183	x185	x187	x189	x191	x193	x195	x197	x199	x201	x203	x205	x207	x209	x211	x213	x215	x217	x219	x221	x223	x225	x227	x229	x231	x233	x235	x237	x239	x241	x243	x245	x247	x249	x251	x253	x255	x257	x259	x261	x263	x265	x267	x269	x271	x273	x275	x277	x279	x281	x283	x285	x287	x289	x291	x293	x295	x297	x299	x301	x303	x305	x307	x309	x311	x313	x315	x317	x319	x321	x323	x325	x327	x329	x331	x333	x335	x337	x339	x341	x343	x345	x347	x349	x351	x353	x355	x357	x359	x361	x363	x365	x367	x369	x371	x373	x375	x377	x379	x381	x383	x385	x387	x389	x391	x393	x395	x397	x399	x401	x403	x405	x407	x409	x411	x413	x415	x417	x419	x421	x423	x425	x427	x429	x431	x433	x435	x437	x439	x441	x443	x445	x447	x449	x451	x453	x455	x457	x459	x461	x463	x465	x467	x469	x471	x473	x475	x477	x479	x481	x483	x485	x487	x489	x491	x493	x495	x497	x499	x501	x503	x505	x507	x509	x511	x513	x515	x517	x519	x521	x523	x525	x527	x529	x531	x533	x535	x537	x539	x541	x543	x545	x547	x549	x551	x553	x555	x557	x559	x561	x563	x565	x567	x569	x571	x573	x575	x577	x579	x581	x583	x585	x587	x589	x591	x593	x595	x597	x599	x601	x603	x605	x607	x609	x611	x613	x615	x617	x619	x621	x623	x625	x627	x629	x631	x633	x635	x637	x639	x641	x643	x645	x647	x649	x651	x653	x655	x657	x659	x661	x663	x665	x667	x669	x671	x673	x675	x677	x679	x681	x683	x685	x687	x689	x691	x693	x695	x697	x699	x701	x703	x705	x707	x709	x711	x713	x715	x717	x719	x721	x723	x725	x727	x729	x731	x733	x735	x737	x739	x741	x743	x745	x747	x749	x751	x753	x755	x757	x759	x761	x763	x765	x767	x769	x771	x773	x775	x777	x779	x781	x783	x785	x787	x789	x791	x793	x795	x797	x799	x801	x803	x805	x807	x809	x811	x813	x815	x817	x819	x821	x823	x825	x827	x829	x831	x833	x835	x837	x839	x841	x843	x845	x847	x849	x851	x853	x855	x857	x859	x861	x863	x865	x867	x869	x871	x873	x875	x877	x879	x881	x883	x885	x887	x889	x891	x893	x895	x897	x899	x901	x903	x905	x907	x909	x911	x913	x915	x917	x919	x921	x923	x925	x927	x929	x931	x933	x935	x937	x939	x941	x943	x945	x947	x949	x951	x953	x955	x957	x959	x961	x963	x965	x967	x969	x971	x973	x975	x977	x979	x981	x983	x985	x987	x989	x991	x993	x995	x997	x999

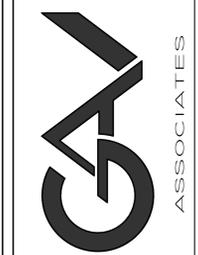
ACCESSIBILITY MATRIX *	
REQUIREMENTS	PROVIDED
COMMUNICATION FEATURES	
GUESTROOM w/ COMMUNICATION FEATURES	10
MOBILITY FEATURES	
GUESTROOM - TUB	6
GUESTROOM - ROLL-IN SHOWER	1
ROOM FEATURES BY ROOM	
COMMUNICATION ROOMS	
FIRST FLOOR	#104
SECOND FLOOR	#205, #208, #214
THIRD FLOOR	#305, #308, #314
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MOBILITY FEATURES BY ROOM	
FIRST FLOOR	
TUB	
ROLL-IN SHOWER	#104
SECOND FLOOR	
TUB	#204, #225
THIRD FLOOR	
TUB	#304, #325
FOURTH FLOOR	
TUB	#404, #425

- GENERAL NOTES - FLOOR PLANS:
- WOOD BEARING WALLS ARE ASSUMED TO BE 2X6, UNO.
 - DIMENSIONS ARE FROM GRIDLINES AND FROM FACE OF STRUCTURE, UNO.
 - DEMISING WALLS AND LOAD BEARING WALLS ARE CENTERED ON GRIDLINES UNLESS OTHERWISE DIMENSIONED.
 - WHEN NOTED WITH "FOF" DIMENSIONS ARE FROM FACE OF FINISH.
 - DOOR AND WINDOW DIMENSIONS WHERE OCCUR ARE FROM FACE OF STUD TO CENTERLINE OF OPENING.
 - FOR FINISH MATERIAL DESIGNATIONS SEE 1/4" ENLARGED FINISH PLANS.
 - HINGES SIDE OF DOOR TO BE LOCATED 4" FROM ADJACENT WALL, UNO. SWING DOORS & FRAMES SHALL BE INSTALLED AS SHOWN BELOW UNO.

4" STD
 - REFERENCE DOOR AND WINDOW MANUFACTURERS' SPECIFICATIONS FOR ACTUAL ROUGH OPENING SIZE. REFER TO THE A600 SERIES SHEETS FOR DOOR AND WINDOW TYPES.
 - FOR SPECIFIC WALL ASSEMBLY INFORMATION, SEE SHEET T004.
 - DOOR IN PATH OF EGRESS SHALL BE EQUIPPED WITH HARDWARE COMPLYING WITH CHAPTER 10 OF THE 2021 INTERNATIONAL BUILDING CODE AND ANY APPLICABLE CODES.
 - DOOR REQUIRED TO BE ACCESSIBLE SHALL BE EQUIPPED WITH HARDWARE COMPLYING WITH ICC/ANSI STANDARD 117.1a AND ANY APPLICABLE CODES.
 - TO THE MAXIMUM EXTENT POSSIBLE, FLOOR CLEAN OUTS ARE TO BE LOCATED IN INCONSPICUOUS PLACES AND NOT IN GUESTROOMS. ALL FLOOR CLEAN OUTS LOCATED IN CARPETED AREAS ARE TO BE FITTED WITH CARPET INSERTS. ALL CLEANOUTS ARE TO BE FLUSH TO FLOOR/WALLS.
 - ALIGN FINISHES WHERE DISSIMILAR WALL TYPES MEET, UNO.
 - REFER TO ENLARGED ARCHITECTURAL AND OVERALL ARCHITECTURAL PLANS FOR ELECTRICAL INFORMATION.
 - PROVIDE WALLS WITH AN STC RATING OF 60 MIN AT CONDITIONS WHERE GUESTROOM HEADBOARD WALL ADJOINS WITH PUBLIC SPACE OR WITH ADJACENT GUESTROOMS TV WALL.
 - PROVIDE ELECTRICAL OUTLETS IN UNIT ENTRY CORRIDOR AT 30" - 0" O.C. SWITCHING WALLS AT EVERY OTHER OUTLET.
 - PROVIDE BLOCKING AT HARDWARE ATTACHMENT POINTS FOR ALL SLIDING DOORS.

ISSUED FOR	DATE
PRE-PLANNING REVIEW	10-11-2022
POST-PLANNING REVIEW	11-14-2022
CHOICE HOTELS REVIEW	11-18-2022
REVIEW	12-19-2022
PLANNING REVIEW	1-18-2023
PLANNING REVIEW	4-21-2023

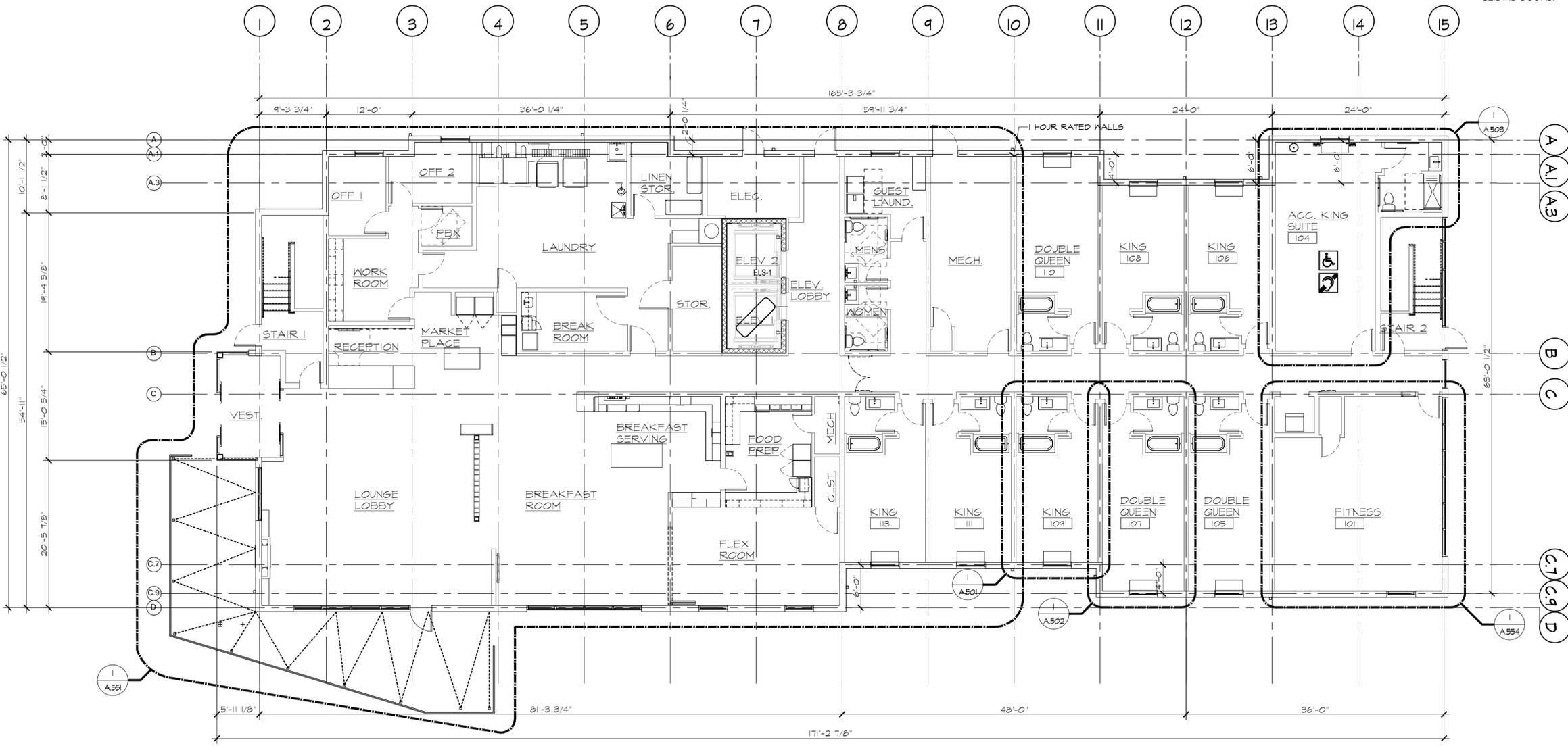
ARCHITECTURAL DESIGN
RESIDENTIAL COMMERCIAL INDUSTRIAL
G.A.V. ASSOCIATES, INC.
2401 ORCHARD LAKE RD, STE 100A
FARMINGTON, MICHIGAN 48338
PH: (248) 985-9101
WEB: WWW.GAVASSOCIATES.COM



TAP RESOURCES
3241 CARLETON ROAD
HILLSDALE, MICHIGAN 49242
MR. TAPAN PATEL
phone: 517-610-2417

PROPOSED NEW HOTEL FOR CHOICE HOTELS:
COMFORT INN & SUITES - M1502
800 SOUTH HEWITT ROAD
YPSILANTI TOWNSHIP, MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
DS	DS	GA
SCALE: 1/8" = 1'-0"		
FILE NAME: 22060_A.101		
JOB #: 22060		
SHEET TITLE		
PROPOSED FIRST FLOOR PLAN		
SHEET #		
A.101		



PROPOSED FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"
NORTH



Level	Occupancy Type	Sq.Ft.	Sq.Ft./Occ.	Occupants	No. of Exits	Reqd. Exit Width, Horiz. Inches.	Provid. Exit Width, Horiz. Inches.	Reqd. Exit Width, Vert. Inches.	Provid. Exit Width, Vert. Inches.	Fixt. Unit rate	Water Closets, Male	Water Closets, Female	Water Closets, Combined	Fixt. Unit rate	Lavatories, Male	Lavatories, Female	Lavatories, Combined	Bathtubs/Showers, NR	Fixt. Unit rate	Drinking Fountains, NR	Service Sinks, NR
Level 1	R1 Residential, Hotel - 9 units	2,494	200	14.97						NA	0.56	0.56	0.00	200	0.22	0.22	0.00	NR	500	0.99	
	A2 Breakfast/Lounge/Serving	1,247	15	83.0							0.09	0.09	0.00	200	0.03	0.03	0.00	NR	500	0.083	
	B3 Flex	576	15	11.52							0.17	0.17	0.00	200	0.03	0.03	0.00	NR	500	0.048	
	B Break Room	324	15	21.93							0.05	0.05	0.19	200	0.03	0.04	0.12	NR	500	0.023	
	B Business Office	400	100	4.0							0.05	0.05	0.00	40							
	B Business Work Room 12'x15'	157	100	1.57							0.05	0.05	0.00								
	S1 Laundry/Linen/Guest Laundry	785	300	2.6																	
	S1 Mechanical Room/Closet	302	300	1.01																	
	S1 Electrical Room	120	300	0.4																	
	S1 Elevator Electrical Room	117	300	0.39																	
	A2 incidental used total, max 10%	17	47																		
	B incidental used total, max 10%	6,910																			
	Total Req./Prov.			149.32	5	29.86	208	Exit at Grade	Exit at Grade		ADA	ADA	ADA	0.28	0.28	0.00	ADA			0.205	
Level 2	R1 Residential, Hotel - 23 units	7,384	200	36.92	2	7.38	68	11.08	96		per Unit	N/A	N/A	per Unit	N/A	N/A	N/A	per Unit	NR		
Level 3	R1 Residential, Hotel - 23 units	7,384	200	36.92	2	7.38	68	11.08	96		per Unit	N/A	N/A	per Unit	N/A	N/A	N/A	per Unit	NR		
Level 4	R1 Residential, Hotel - 23 units	7,384	200	36.92	2	7.38	68	11.08	96		per Unit	N/A	N/A	per Unit	N/A	N/A	N/A	per Unit	NR		

Level	Qty.	Type
1	6	King Queen
2	14	King Queen
3	14	King Queen
4	14	King Queen
48		TOTAL KING ROOMS
30		TOTAL QUEEN ROOMS
78		TOTAL ROOMS

Level	Qty.	Type
1	5	King Double Queen King Suite
2	0	Wide King Suite 2 ACC King Suite ACC Double Queen
3	5	King Double Queen King Suite ACC Wide King Suite 2 ACC King Suite ACC Double Queen
4	5	King Double Queen King Suite ACC Wide King Suite 2 ACC King Suite ACC Double Queen

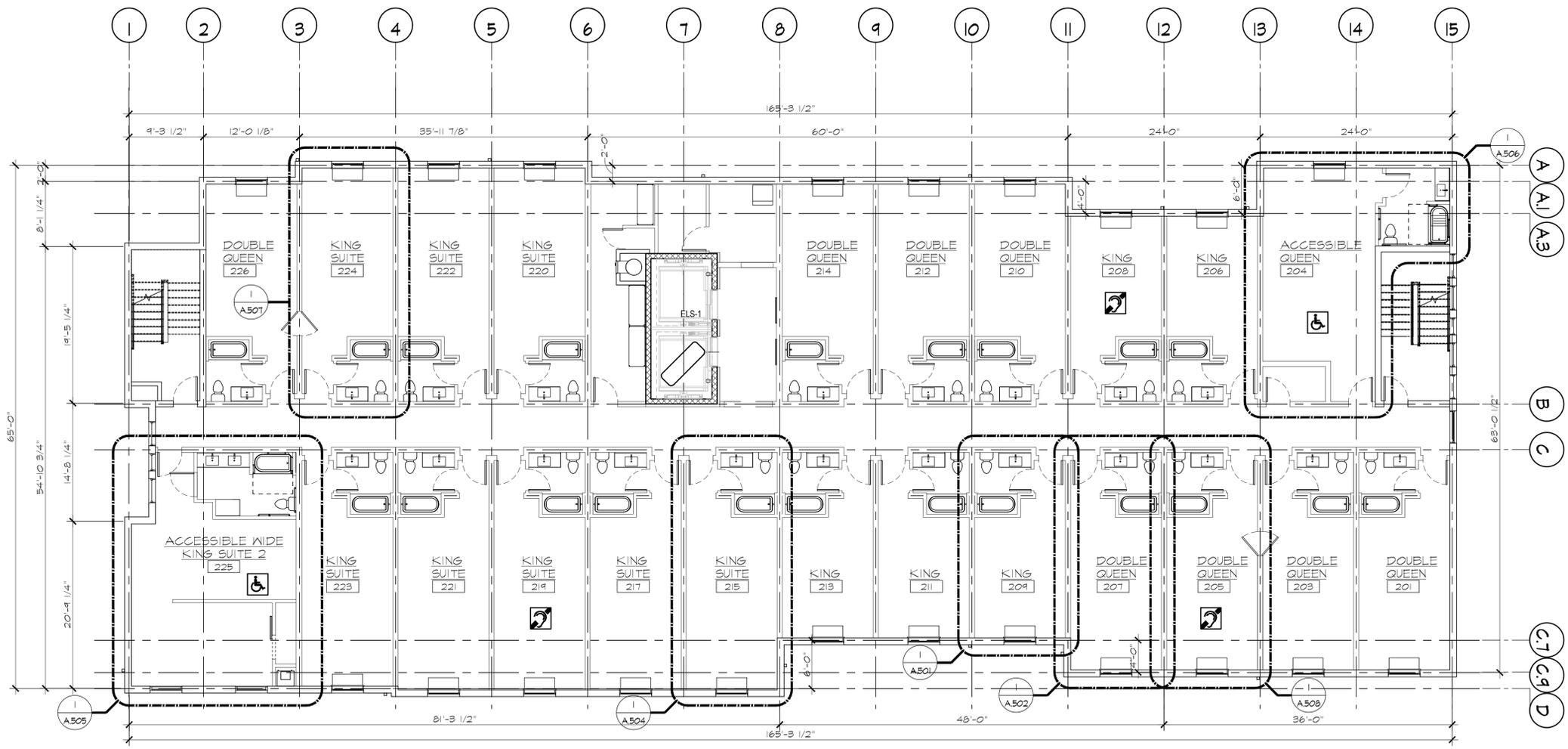
Vertical Room Chart																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
x01	x03	x05	x07	x09	x11	x13	x15	x17	x19	x21	x23	x25	x27	x29	x31	x33	x35	x37	x39	x41	x43	x45	x47	x49	x51	x53	x55	x57	x59	x61	x63	x65	x67	x69	x71	x73	x75	x77	x79	x81	x83	x85	x87	x89	x91	x93	x95	x97	x99	x101	x103	x105	x107	x109	x111	x113	x115	x117	x119	x121	x123	x125	x127	x129	x131	x133	x135	x137	x139	x141	x143	x145	x147	x149	x151	x153	x155	x157	x159	x161	x163	x165	x167	x169	x171	x173	x175	x177	x179	x181	x183	x185	x187	x189	x191	x193	x195	x197	x199	x201	x203	x205	x207	x209	x211	x213	x215	x217	x219	x221	x223	x225	x227	x229	x231	x233	x235	x237	x239	x241	x243	x245	x247	x249	x251	x253	x255	x257	x259	x261	x263	x265	x267	x269	x271	x273	x275	x277	x279	x281	x283	x285	x287	x289	x291	x293	x295	x297	x299	x301	x303	x305	x307	x309	x311	x313	x315	x317	x319	x321	x323	x325	x327	x329	x331	x333	x335	x337	x339	x341	x343	x345	x347	x349	x351	x353	x355	x357	x359	x361	x363	x365	x367	x369	x371	x373	x375	x377	x379	x381	x383	x385	x387	x389	x391	x393	x395	x397	x399	x401	x403	x405	x407	x409	x411	x413	x415	x417	x419	x421	x423	x425	x427	x429	x431	x433	x435	x437	x439	x441	x443	x445	x447	x449	x451	x453	x455	x457	x459	x461	x463	x465	x467	x469	x471	x473	x475	x477	x479	x481	x483	x485	x487	x489	x491	x493	x495	x497	x499	x501	x503	x505	x507	x509	x511	x513	x515	x517	x519	x521	x523	x525	x527	x529	x531	x533	x535	x537	x539	x541	x543	x545	x547	x549	x551	x553	x555	x557	x559	x561	x563	x565	x567	x569	x571	x573	x575	x577	x579	x581	x583	x585	x587	x589	x591	x593	x595	x597	x599	x601	x603	x605	x607	x609	x611	x613	x615	x617	x619	x621	x623	x625	x627	x629	x631	x633	x635	x637	x639	x641	x643	x645	x647	x649	x651	x653	x655	x657	x659	x661	x663	x665	x667	x669	x671	x673	x675	x677	x679	x681	x683	x685	x687	x689	x691	x693	x695	x697	x699	x701	x703	x705	x707	x709	x711	x713	x715	x717	x719	x721	x723	x725	x727	x729	x731	x733	x735	x737	x739	x741	x743	x745	x747	x749	x751	x753	x755	x757	x759	x761	x763	x765	x767	x769	x771	x773	x775	x777	x779	x781	x783	x785	x787	x789	x791	x793	x795	x797	x799	x801	x803	x805	x807	x809	x811	x813	x815	x817	x819	x821	x823	x825	x827	x829	x831	x833	x835	x837	x839	x841	x843	x845	x847	x849	x851	x853	x855	x857	x859	x861	x863	x865	x867	x869	x871	x873	x875	x877	x879	x881	x883	x885	x887	x889	x891	x893	x895	x897	x899	x901	x903	x905	x907	x909	x911	x913	x915	x917	x919	x921	x923	x925	x927	x929	x931	x933	x935	x937	x939	x941	x943	x945	x947	x949	x951	x953	x955	x957	x959	x961	x963	x965	x967	x969	x971	x973	x975	x977	x979	x981	x983	x985	x987	x989	x991	x993	x995	x997	x999

ACCESSIBILITY MATRIX *	
REQUIREMENTS	PROVIDED
COMMUNICATION FEATURES	
GUESTROOM w/ COMMUNICATION FEATURES	10
MOBILITY FEATURES	
GUESTROOM - TUB	6
GUESTROOM - ROLL-IN SHOWER	1
ROOM FEATURES BY ROOM	
COMMUNICATION ROOMS	
FIRST FLOOR	#104
SECOND FLOOR	#205, #208, #214
THIRD FLOOR	#305, #308, #314
FOURTH FLOOR	#405, #408, #414
MOBILITY FEATURES BY ROOM	
FIRST FLOOR	
TUB	
ROLL-IN SHOWER	#104
SECOND FLOOR	
TUB	#204, #225
THIRD FLOOR	
TUB	#304, #325
FOURTH FLOOR	
TUB	#404, #425

- GENERAL NOTES - FLOOR PLANS:
- WOOD BEARING WALLS ARE ASSUMED TO BE 2X6.
 - DIMENSIONS ARE FROM GRIDLINES AND FROM FACE OF STRUCTURE UNO.
 - DEMISING WALLS AND LOAD BEARING WALLS ARE CENTERED ON GRIDLINES UNLESS OTHERWISE DIMENSIONED.
 - WHEN NOTED WITH "FOF" DIMENSIONS ARE FROM FACE OF FINISH.
 - DOOR AND WINDOW DIMENSIONS WHERE OCCUR ARE FROM FACE OF STUD TO CENTERLINE OF OPENING.
 - FOR FINISH MATERIAL DESIGNATIONS SEE 1/4" ENLARGED FINISH PLANS.
 - HINGES SIDE OF DOOR TO BE LOCATED 4" FROM ADJACENT WALL UNO. SWING DOORS & FRAMES SHALL BE INSTALLED AS SHOWN BELOW UNO.

4" STD

1" MIN
 - REFERENCE DOOR AND WINDOW MANUFACTURERS' SPECIFICATIONS FOR ACTUAL ROUGH OPENING SIZE. REFER TO THE A600 SERIES SHEETS FOR DOOR AND WINDOW TYPES.
 - FOR SPECIFIC WALL ASSEMBLY INFORMATION, SEE SHEET T004.
 - DOOR IN PATH OF EGRESS SHALL BE EQUIPPED WITH HARDWARE COMPLYING WITH CHAPTER 10 OF THE 2021 INTERNATIONAL BUILDING CODE AND ANY APPLICABLE CODES.
 - DOOR REQUIRED TO BE ACCESSIBLE SHALL BE EQUIPPED WITH HARDWARE COMPLYING WITH ICC/ANSI STANDARD I17.1a AND ANY APPLICABLE CODES.
 - TO THE MAXIMUM EXTENT POSSIBLE, FLOOR CLEAN OUTS ARE TO BE LOCATED IN INCONSPICUOUS PLACES AND NOT IN GUESTROOMS. ALL FLOOR CLEAN OUTS LOCATED IN CARPETED AREAS ARE TO BE FITTED WITH CARPET INSERTS. ALL CLEANOUTS ARE TO BE FLUSH TO FLOOR/WALLS.
 - ALIGN FINISHES WHERE DISSIMILAR WALL TYPES MEET UNO.
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 - PROVIDE WALLS WITH AN STC RATING OF 60 MIN AT CONDITIONS WHERE GUESTROOM HEADBOARD WALL ADJOINS WITH PUBLIC SPACE OR WITH ADJACENT GUESTROOMS TV WALL.
 - PROVIDE ELECTRICAL OUTLETS IN UNIT ENTRY CORRIDOR AT 30" - 0" O.C. SWITCHING WALLS AT EVERY OTHER OUTLET.
 - PROVIDE BLOCKING AT HARDWARE ATTACHMENT POINTS FOR ALL SLIDING DOORS.

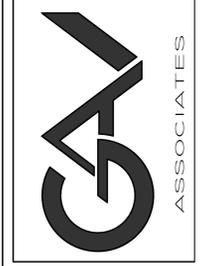


PROPOSED SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

ISSUED FOR	DATE
PRE-PLANNING REVIEW	10-11-2022
POST-PLANNING REVIEW	11-14-2022
CHOICE HOTELS REVIEW	11-18-2022
REVIEW	12-19-2022
PLANNING REVIEW	1-18-2023
PLANNING REVIEW	4-21-2023

ARCHITECTURAL DESIGN
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2401 ORCHARD LAKE RD, STE 100A
FARMINGTON, MICHIGAN 48338
PH: (248) 986-9101
WEB: WWW.GAVASSOCIATES.COM



TAP RESOURCES
3241 CARLETON ROAD
HILLSDALE, MICHIGAN 49242
MR. TAPAN PATEL
phone: 517-610-2417

PROPOSED NEW HOTEL FOR CHOICE HOTELS:
COMFORT INN & SUITES - M1502
800 SOUTH HEWITT ROAD
YPSILANTI TOWNSHIP, MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
DS	DS	GA
SCALE: 1/8" = 1'-0"		
FILE NAME: 22060_A.102		
JOB #: 22060		
SHEET TITLE		
PROPOSED SECOND FLOOR PLAN		
SHEET #		
A.102		

Level	Occupancy Type	Sq.Ft.	Sq.Ft./Occ.	Occupants	No. of Exits	Reqd. Exit Width, Horiz. Inches.	Provid. Exit Width, Horiz. Inches.	Reqd. Exit Width, Vert. Inches.	Provid. Exit Width, Vert. Inches.	Fixt. Unit rate	Water Closets, Male	Water Closets, Female	Water Closets, Staff	Fixt. Unit rate	Lavatories, Male	Lavatories, Female	Bathtubs/Showers, Unisex	Fixt. Unit rate	Drinking Fountains/Sinks
Level 2	R1 Residential, Hotel - 23 units	7,384	200	36.92	2	7.38	68	11.08	96	1	per Unit	N/A	1	per Unit	N/A	1	per Unit	NR	1
Level 3	R1 Residential, Hotel - 23 units	7,384	200	36.92	2	7.38	68	11.08	96	1	per Unit	N/A	1	per Unit	N/A	1	per Unit	NR	1
Level 4	R1 Residential, Hotel - 23 units	7,384	200	36.92	2	7.38	68	11.08	96	1	per Unit	N/A	1	per Unit	N/A	1	per Unit	NR	1

Level	Qty.	Type
1	6	King Queen
2	14	King Queen
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4	14	King Queen
48		TOTAL KING ROOMS
30		TOTAL QUEEN ROOMS
78		TOTAL ROOMS

Level	Qty.	Type
1	5	King Double Queen King Suite
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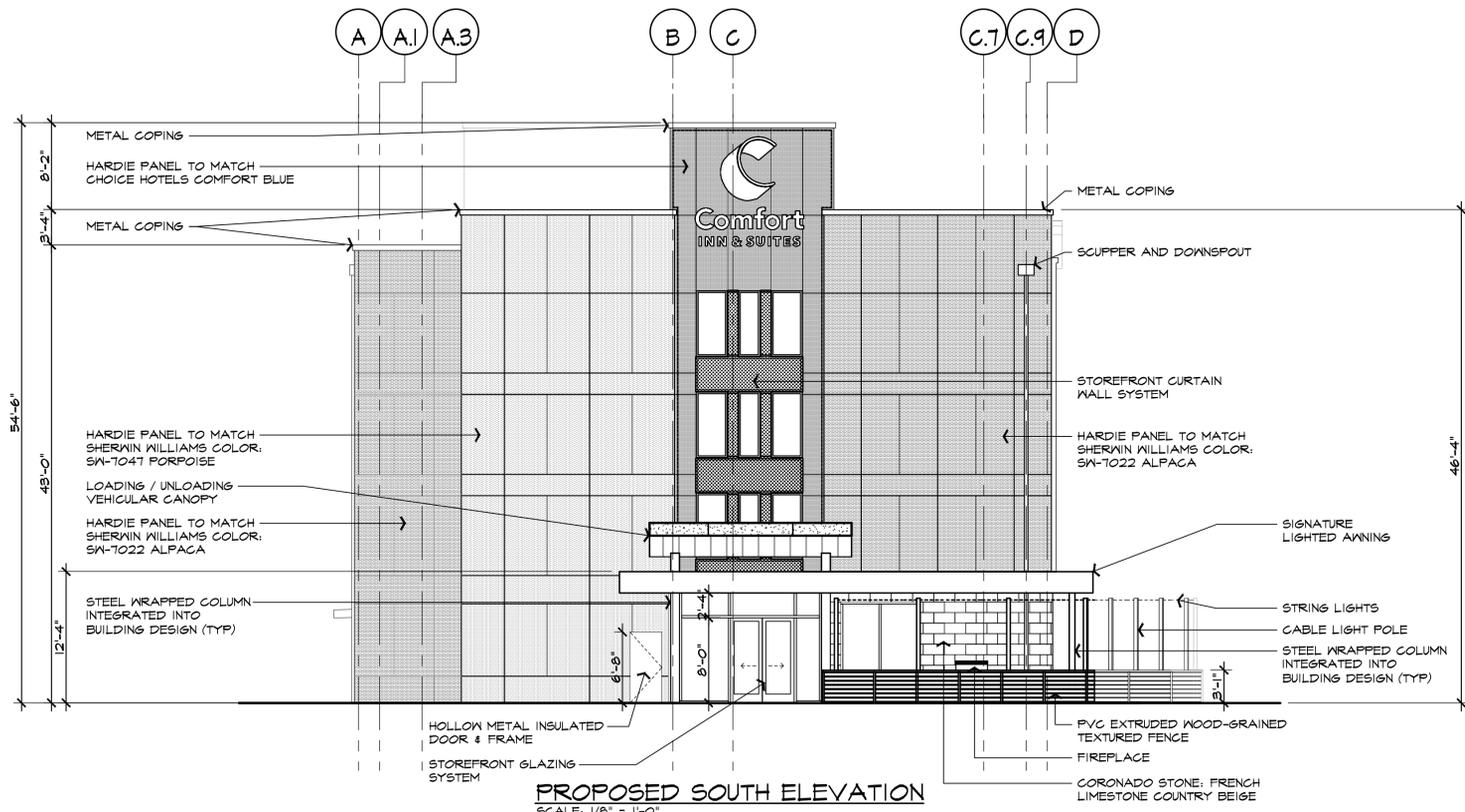
Vertical Room Chart																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																															
x01	x03	x05	x07	x09	x11	x13	x15	x17	x19	x21	x23	x25	x27	x29	x31	x33	x35	x37	x39	x41	x43	x45	x47	x49	x51	x53	x55	x57	x59	x61	x63	x65	x67	x69	x71	x73	x75	x77	x79	x81	x83	x85	x87	x89	x91	x93	x95	x97	x99	x101	x103	x105	x107	x109	x111	x113	x115	x117	x119	x121	x123	x125	x127	x129	x131	x133	x135	x137	x139	x141	x143	x145	x147	x149	x151	x153	x155	x157	x159	x161	x163	x165	x167	x169	x171	x173	x175	x177	x179	x181	x183	x185	x187	x189	x191	x193	x195	x197	x199	x201	x203	x205	x207	x209	x211	x213	x215	x217	x219	x221	x223	x225	x227	x229	x231	x233	x235	x237	x239	x241	x243	x245	x247	x249	x251	x253	x255	x257	x259	x261	x263	x265	x267	x269	x271	x273	x275	x277	x279	x281	x283	x285	x287	x289	x291	x293	x295	x297	x299	x301	x303	x305	x307	x309	x311	x313	x315	x317	x319	x321	x323	x325	x327	x329	x331	x333	x335	x337	x339	x341	x343	x345	x347	x349	x351	x353	x355	x357	x359	x361	x363	x365	x367	x369	x371	x373	x375	x377	x379	x381	x383	x385	x387	x389	x391	x393	x395	x397	x399	x401	x403	x405	x407	x409	x411	x413	x415	x417	x419	x421	x423	x425	x427	x429	x431	x433	x435	x437	x439	x441	x443	x445	x447	x449	x451	x453	x455	x457	x459	x461	x463	x465	x467	x469	x471	x473	x475	x477	x479	x481	x483	x485	x487	x489	x491	x493	x495	x497	x499	x501	x503	x505	x507	x509	x511	x513	x515	x517	x519	x521	x523	x525	x527	x529	x531	x533	x535	x537	x539	x541	x543	x545	x547	x549	x551	x553	x555	x557	x559	x561	x563	x565	x567	x569	x571	x573	x575	x577	x579	x581	x583	x585	x587	x589	x591	x593	x595	x597	x599	x601	x603	x605	x607	x609	x611	x613	x615	x617	x619	x621	x623	x625	x627	x629	x631	x633	x635	x637	x639	x641	x643	x645	x647	x649	x651	x653	x655	x657	x659	x661	x663	x665	x667	x669	x671	x673	x675	x677	x679	x681	x683	x685	x687	x689	x691	x693	x695	x697	x699	x701	x703	x705	x707	x709	x711	x713	x715	x717	x719	x721	x723	x725	x727	x729	x731	x733	x735	x737	x739	x741	x743	x745	x747	x749	x751	x753	x755	x757	x759	x761	x763	x765	x767	x769	x771	x773	x775	x777	x779	x781	x783	x785	x787	x789	x791	x793	x795	x797	x799	x801	x803	x805	x807	x809	x811	x813	x815	x817	x819	x821	x823	x825	x827	x829	x831	x833	x835	x837	x839	x841	x843	x845	x847	x849	x851	x853	x855	x857	x859	x861	x863	x865	x867	x869	x871	x873	x875	x877	x879	x881	x883	x885	x887	x889	x891	x893	x895	x897	x899	x901	x903	x905	x907	x909	x911	x913	x915	x917	x919	x921	x923	x925	x927	x929	x931	x933	x935	x937	x939	x941	x943	x945	x947	x949	x951	x953	x955	x957	x959	x961	x963	x965	x967	x969	x971	x973	x975	x977	x979	x981	x983	x985	x987	x989	x991	x993	x995	x997	x999	x1001	x1003	x1005	x1007	x1009	x1011	x1013	x1015	x1017	x1019	x1021	x1023	x1025	x1027	x1029	x1031	x1033	x1035	x1037	x1039	x1041	x1043	x1045	x1047	x1049	x1051	x1053	x1055	x1057	x1059	x1061	x1063	x1065	x1067	x1069	x1071	x1073	x1075	x1077	x1079	x1081	x1083	x1085	x1087	x1089	x1091	x1093	x1095	x1097	x1099	x1101	x1103	x1105	x1107	x1109	x1111	x1113	x1115	x1117	x1119	x1121	x1123	x1125	x1127	x1129	x1131	x1133	x1135	x1137	x1139	x1141	x1143	x1145	x1147	x1149	x1151	x1153	x1155	x1157	x1159	x1161	x1163	x1165	x1167	x1169	x1171	x1173	x1175	x1177	x1179	x1181	x1183	x1185	x1187	x1189	x1191	x1193	x1195	x1197	x1199	x1201	x1203	x1205	x1207	x1209	x1211	x1213	x1215	x1217	x1219	x1221	x1223	x1225	x1227	x1229	x1231	x1233	x1235	x1237	x1239	x1241	x1243	x1245	x1247	x1249	x1251	x1253	x1255	x1257	x1259	x1261	x1263	x1265	x1267	x1269	x1271	x1273	x1275	x1277	x1279	x1281	x1283	x1285	x1287	x1289	x1291	x1293	x1295	x1297	x1299	x1301	x1303	x1305	x1307	x1309	x1311	x1313	x1315	x1317	x1319	x1321	x1323	x1325	x1327	x1329	x1331	x1333	x1335	x1337	x1339	x1341	x1343	x1345	x1347	x1349	x1351	x1353	x1355	x1357	x1359	x1361	x1363	x1365	x1367	x1369	x1371	x1373	x1375	x1377	x1379	x1381	x1383	x1385	x1387	x1389	x1391	x1393	x1395	x1397	x1399	x1401	x1403	x1405	x1407	x1409	x1411	x1413	x1415	x1417	x1419	x1421	x1423	x1425	x1427	x1429	x1431	x1433	x1435	x1437	x1439	x1441	x1443	x1445	x1447	x1449	x1451	x1453	x1455	x1457	x1459	x1461	x1463	x1465	x1467	x1469	x1471	x1473	x1475	x1477	x1479	x1481	x1483	x1485	x1487	x1489	x1491	x1493	x1495	x1497	x1499	x1501	x1503	x1505	x1507	x1509	x1511	x1513	x1515	x1517	x1519	x1521	x1523	x1525	x1527	x1529	x1531	x1533	x1535	x1537	x1539	x1541	x1543	x1545	x1547	x1549	x1551	x1553	x1555	x1557	x1559	x1561	x1563	x1565	x1567	x1569	x1571	x1573	x1575	x1577	x1579	x1581	x1583	x1585	x1587	x1589	x1591	x1593	x1595	x1597	x1599	x1601	x1603	x1605	x1607	x1609	x1611	x1613	x1615	x1617	x1619	x1621	x1623	x1625	x1627	x1629	x1631	x1633	x1635	x1637	x1639	x1641	x1643	x1645	x1647	x1649	x1651	x1653	x1655	x1657	x1659	x1661	x1663	x1665	x1667	x1669	x1671	x1673	x1675	x1677	x1679	x1681	x1683	x1685	x1687	x1689	x1691	x1693	x1695	x1697	x1699	x1701	x1703	x1705	x1707	x1709	x1711	x1713	x1715	x1717	x1719	x1721	x1723	x1725	x1727	x1729	x1731	x1733	x1735	x1737	x1739	x1741	x1743	x1745	x1747	x1749	x1751	x1753	x1755	x1757	x1759	x1761	x1763	x1765	x1767	x1769	x1771	x1773	x1775	x1777	x1779	x1781	x1783	x1785	x1787	x1789	x1791	x1793	x1795	x1797	x1799	x1801	x1803	x1805	x1807	x1809	x1811	x1813	x1815	x1817	x1819	x1821	x1823	x1825	x1827	x1829	x1831	x1833	x1835	x1837	x1839	x1841	x1843	x1845	x1847	x1849	x1851	x1853	x1855	x1857	x1859	x1861	x1863	x1865	x1867	x1869	x1871	x1873	x1875	x1877	x1879	x1881	x1883	x1885	x1887	x1889	x1891	x1893	x1895	x1897	x1899	x1901	x1903	x1905	x1907	x1909	x1911	x1913	x1915	x1917	x1919	x1921	x1923	x1925	x1927	x1929	x1931	x1933	x1935	x1937	x1939	x1941	x1943	x1945	x1947	x1949	x1951	x1953	x1955	x1957	x1959	x1961	x1963	x1965	x1967	x1969	x1971	x1973	x1975	x1977	x1979	x1981	x1983	x1985	x1987	x1989	x1991	x1993	x1995	x1997	x1999	x2001	x2003	x2005	x2007	x2009	x2011	x2013	x2015	x2017	x2019	x2021	x2023	x2025	x2027	x2029	x2031	x2033	x2035	x2037	x2039	x2041	x2043	x2045	x2047	x2049	x2051	x2053	x2055	x2057	x2059	x2061	x2063	x2065	x2067	x2069	x2071	x2073	x2075	x2077	x2079	x2081	x2083	x2085	x2087	x2089	x2091	x2093	x2095	x2097	x2099	x2101	x2103	x2105	x2107	x2109	x2111	x2113	x2115	x2117	x2119	x2121	x2123	x2125	x2127	x2129	x2131	x2133	x2135	x2137	x2139	x2141	x2143	x2145	x2147	x2149	x2151	x2153	x2155	x2157	x2159	x2161	x2163	x2165	x2167	x2169	x2171	x2173	x2175	x2177	x2179	x2181	x2183	x2185	x2187	x2189	x2191	x2193	x2195	x2197	x2199	x2201	x2203	x2205	x2207	x2209	x2211	x2213	x2215	x2217	x2219	x2221	x2223	x2225	x2227	x2229	x2231	x2233	x2235	x2237	x2239	x2241	x2243	x2245	x2247	x2249	x2251	x2253	x2255	x2257	x2259	x2261	x2263	x2265	x2267	x2269	x2271	x2273	x2275	x2277	x2279	x2281	x2283	x2285	x2287	x2289	x2291	x2293	x2295	x2297	x2299	x2301	x2

Level	Occupancy Type	Sq.Ft.	Sq.Ft./Occ.	Occupants	No. of Exits	Reqd. Exit Width, Horiz. Inches.	Provid. Exit Width, Horiz. Inches.	Reqd. Exit Width, Vert. Inches.	Provid. Exit Width, Vert. Inches.	Fixt. Unit rate	Water Closets, Male	Water Closets, Female	Water Closets, Staff	Fixt. Unit rate	Lavatories, Male	Lavatories, Female	Bathtubs/Showers, Unisex	Fixt. Unit rate	Drinking Fountains/Sinks
Level 1	R1 Residential, Hotel - 9 units	2,494	200	14.97						NA	0.56	0.56		200	0.22	0.22	NR	500	0.99
	A2 Breakfast/Lounge/Serving	1,247	15	83.0							0.09	0.09		200	0.03	0.03	NR	500	0.083
	B3 Fitness	576	15	11.52							0.17	0.17		200	0.03	0.03	NR	500	0.048
	B Flex	324	15	21.93							0.05	0.05	0.19	200	0.03	0.04	0.12	NR	0.023
	B Break Room	400	100	4.0							0.05	0.05		40					
	B Business Office	157	100	1.57							0.05	0.05							
	S1 Laundry/Linen/Guest Laundry	785	300	2.6															
	S1 Mechanical Room/Closet	302	300	1.01															
	S1 Electrical Room	120	300	0.4															
	S1 Elevator Electrical Room	117	300	0.39															
	A2 incidental used total, max 10%	17	47																0.205
	B incidental used total, max 10%	6,910																	
Level 2	R1 Residential, Hotel - 23 units	7,384	200	36.92	2	7.38	68	11.08	96		per Unit	N/A		per Unit	N/A		per Unit	NR	
Level 3	R1 Residential, Hotel - 23 units	7,384	200	36.92	2	7.38	68	11.08	96		per Unit	N/A		per Unit	N/A		per Unit	NR	
Level 4	R1 Residential, Hotel - 23 units	7,384	200	36.92	2	7.38	68	11.08	96		per Unit	N/A		per Unit	N/A		per Unit	NR	

Level	Qty.	Type
1	6	King Queen
2	14	King Queen
3	14	King Queen
4	14	King Queen
48	TOTAL KING ROOMS	
30	TOTAL QUEEN ROOMS	
78	TOTAL ROOMS	

Level	Qty.	Type
1	5	King Double Queen King Suite
2	0	Wide King Suite 2 ACC King Suite ACC Double Queen
3	5	King Double Queen King Suite ACC Wide King Suite 2 ACC King Suite ACC Double Queen
4	5	King Double Queen King Suite ACC Wide King Suite 2 ACC King Suite ACC Double Queen

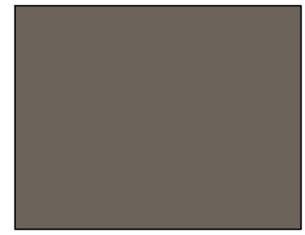
Vertical Room Chart																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																									
x01	x03	x05	x07	x09	x11	x13	x15	x17	x19	x21	x23	x25	x27	x29	x31	x33	x35	x37	x39	x41	x43	x45	x47	x49	x51	x53	x55	x57	x59	x61	x63	x65	x67	x69	x71	x73	x75	x77	x79	x81	x83	x85	x87	x89	x91	x93	x95	x97	x99	x101	x103	x105	x107	x109	x111	x113	x115	x117	x119	x121	x123	x125	x127	x129	x131	x133	x135	x137	x139	x141	x143	x145	x147	x149	x151	x153	x155	x157	x159	x161	x163	x165	x167	x169	x171	x173	x175	x177	x179	x181	x183	x185	x187	x189	x191	x193	x195	x197	x199	x201	x203	x205	x207	x209	x211	x213	x215	x217	x219	x221	x223	x225	x227	x229	x231	x233	x235	x237	x239	x241	x243	x245	x247	x249	x251	x253	x255	x257	x259	x261	x263	x265	x267	x269	x271	x273	x275	x277	x279	x281	x283	x285	x287	x289	x291	x293	x295	x297	x299	x301	x303	x305	x307	x309	x311	x313	x315	x317	x319	x321	x323	x325	x327	x329	x331	x333	x335	x337	x339	x341	x343	x345	x347	x349	x351	x353	x355	x357	x359	x361	x363	x365	x367	x369	x371	x373	x375	x377	x379	x381	x383	x385	x387	x389	x391	x393	x395	x397	x399	x401	x403	x405	x407	x409	x411	x413	x415	x417	x419	x421	x423	x425	x427	x429	x431	x433	x435	x437	x439	x441	x443	x445	x447	x449	x451	x453	x455	x457	x459	x461	x463	x465	x467	x469	x471	x473	x475	x477	x479	x481	x483	x485	x487	x489	x491	x493	x495	x497	x499	x501	x503	x505	x507	x509	x511	x513	x515	x517	x519	x521	x523	x525	x527	x529	x531	x533	x535	x537	x539	x541	x543	x545	x547	x549	x551	x553	x555	x557	x559	x561	x563	x565	x567	x569	x571	x573	x575	x577	x579	x581	x583	x585	x587	x589	x591	x593	x595	x597	x599	x601	x603	x605	x607	x609	x611	x613	x615	x617	x619	x621	x623	x625	x627	x629	x631	x633	x635	x637	x639	x641	x643	x645	x647	x649	x651	x653	x655	x657	x659	x661	x663	x665	x667	x669	x671	x673	x675	x677	x679	x681	x683	x685	x687	x689	x691	x693	x695	x697	x699	x701	x703	x705	x707	x709	x711	x713	x715	x717	x719	x721	x723	x725	x727	x729	x731	x733	x735	x737	x739	x741	x743	x745	x747	x749	x751	x753	x755	x757	x759	x761	x763	x765	x767	x769	x771	x773	x775	x777	x779	x781	x783	x785	x787	x789	x791	x793	x795	x797	x799	x801	x803	x805	x807	x809	x811	x813	x815	x817	x819	x821	x823	x825	x827	x829	x831	x833	x835	x837	x839	x841	x843	x845	x847	x849	x851	x853	x855	x857	x859	x861	x863	x865	x867	x869	x871	x873	x875	x877	x879	x881	x883	x885	x887	x889	x891	x893	x895	x897	x899	x901	x903	x905	x907	x909	x911	x913	x915	x917	x919	x921	x923	x925	x927	x929	x931	x933	x935	x937	x939	x941	x943	x945	x947	x949	x951	x953	x955	x957	x959	x961	x963	x965	x967	x969	x971	x973	x975	x977	x979	x981	x983	x985	x987	x989	x991	x993	x995	x997	x999	x1001	x1003	x1005	x1007	x1009	x1011	x1013	x1015	x1017	x1019	x1021	x1023	x1025	x1027	x1029	x1031	x1033	x1035	x1037	x1039	x1041	x1043	x1045	x1047	x1049	x1051	x1053	x1055	x1057	x1059	x1061	x1063	x1065	x1067	x1069	x1071	x1073	x1075	x1077	x1079	x1081	x1083	x1085	x1087	x1089	x1091	x1093	x1095	x1097	x1099	x1101	x1103	x1105	x1107	x1109	x1111	x1113	x1115	x1117	x1119	x1121	x1123	x1125	x1127	x1129	x1131	x1133	x1135	x1137	x1139	x1141	x1143	x1145	x1147	x1149	x1151	x1153	x1155	x1157	x1159	x1161	x1163	x1165	x1167	x1169	x1171	x1173	x1175	x1177	x1179	x1181	x1183	x1185	x1187	x1189	x1191	x1193	x1195	x1197	x1199	x1201	x1203	x1205	x1207	x1209	x1211	x1213	x1215	x1217	x1219	x1221	x1223	x1225	x1227	x1229	x1231	x1233	x1235	x1237	x1239	x1241	x1243	x1245	x1247	x1249	x1251	x1253	x1255	x1257	x1259	x1261	x1263	x1265	x1267	x1269	x1271	x1273	x1275	x1277	x1279	x1281	x1283	x1285	x1287	x1289	x1291	x1293	x1295	x1297	x1299	x1301	x1303	x1305	x1307	x1309	x1311	x1313	x1315	x1317	x1319	x1321	x1323	x1325	x1327	x1329	x1331	x1333	x1335	x1337	x1339	x1341	x1343	x1345	x1347	x1349	x1351	x1353	x1355	x1357	x1359	x1361	x1363	x1365	x1367	x1369	x1371	x1373	x1375	x1377	x1379	x1381	x1383	x1385	x1387	x1389	x1391	x1393	x1395	x1397	x1399	x1401	x1403	x1405	x1407	x1409	x1411	x1413	x1415	x1417	x1419	x1421	x1423	x1425	x1427	x1429	x1431	x1433	x1435	x1437	x1439	x1441	x1443	x1445	x1447	x1449	x1451	x1453	x1455	x1457	x1459	x1461	x1463	x1465	x1467	x1469	x1471	x1473	x1475	x1477	x1479	x1481	x1483	x1485	x1487	x1489	x1491	x1493	x1495	x1497	x1499	x1501	x1503	x1505	x1507	x1509	x1511	x1513	x1515	x1517	x1519	x1521	x1523	x1525	x1527	x1529	x1531	x1533	x1535	x1537	x1539	x1541	x1543	x1545	x1547	x1549	x1551	x1553	x1555	x1557	x1559	x1561	x1563	x1565	x1567	x1569	x1571	x1573	x1575	x1577	x1579	x1581	x1583	x1585	x1587	x1589	x1591	x1593	x1595	x1597	x1599	x1601	x1603	x1605	x1607	x1609	x1611	x1613	x1615	x1617	x1619	x1621	x1623	x1625	x1627	x1629	x1631	x1633	x1635	x1637	x1639	x1641	x1643	x1645	x1647	x1649	x1651	x1653	x1655	x1657	x1659	x1661	x1663	x1665	x1667	x1669	x1671	x1673	x1675	x1677	x1679	x1681	x1683	x1685	x1687	x1689	x1691	x1693	x1695	x1697	x1699	x1701	x1703	x1705	x1707	x1709	x1711	x1713	x1715	x1717	x1719	x1721	x1723	x1725	x1727	x1729	x1731	x1733	x1735	x1737	x1739	x1741	x1743	x1745	x1747	x1749	x1751	x1753	x1755	x1757	x1759	x1761	x1763	x1765	x1767	x1769	x1771	x1773	x1775	x1777	x1779	x1781	x1783	x1785	x1787	x1789	x1791	x1793	x1795	x1797	x1799	x1801	x1803	x1805	x1807	x1809	x1811	x1813	x1815	x1817	x1819	x1821	x1823	x1825	x1827	x1829	x1831	x1833	x1835	x1837	x1839	x1841	x1843	x1845	x1847	x1849	x1851	x1853	x1855	x1857	x1859	x1861	x1863	x1865	x1867	x1869	x1871	x1873	x1875	x1877	x1879	x1881	x1883	x1885	x1887	x1889	x1891	x1893	x1895	x1897	x1899	x1901	x1903	x1905	x1907	x1909	x1911	x1913	x1915	x1917	x1919	x1921	x1923	x1925	x1927	x1929	x1931	x1933	x1935	x1937	x1939	x1941	x1943	x1945	x1947	x1949	x1951	x1953	x1955	x1957	x1959	x1961	x1963	x1965	x1967	x1969	x1971



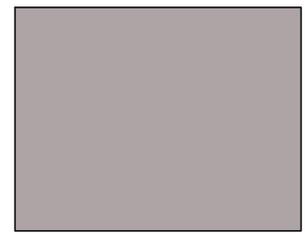
PROPOSED SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



HARDIE - PANEL COLOR:
SW7022 ALPACA



HARDIE - PANEL COLOR:
SW1047 PORPOISE



HARDIE - PANEL COLOR:
SW1080 QUEST GRAY



CORONADO STONE:
STYLE: FRENCH LIMESTONE
COLOR: COUNTRY BEIGE

OPTION 2: COMFORT BLUE		OPTION 1: COMFORT BLUE	
Sherwin Williams - Loxon Self Cleaning 1			
Finish : Flat			
W1 - White	02	32	64 28
L1 - Blue	11	63	1 1
R3	4	59	1 1
Magenta	2		
One Gallon : LX110054			
Ultradeep : 651028926			

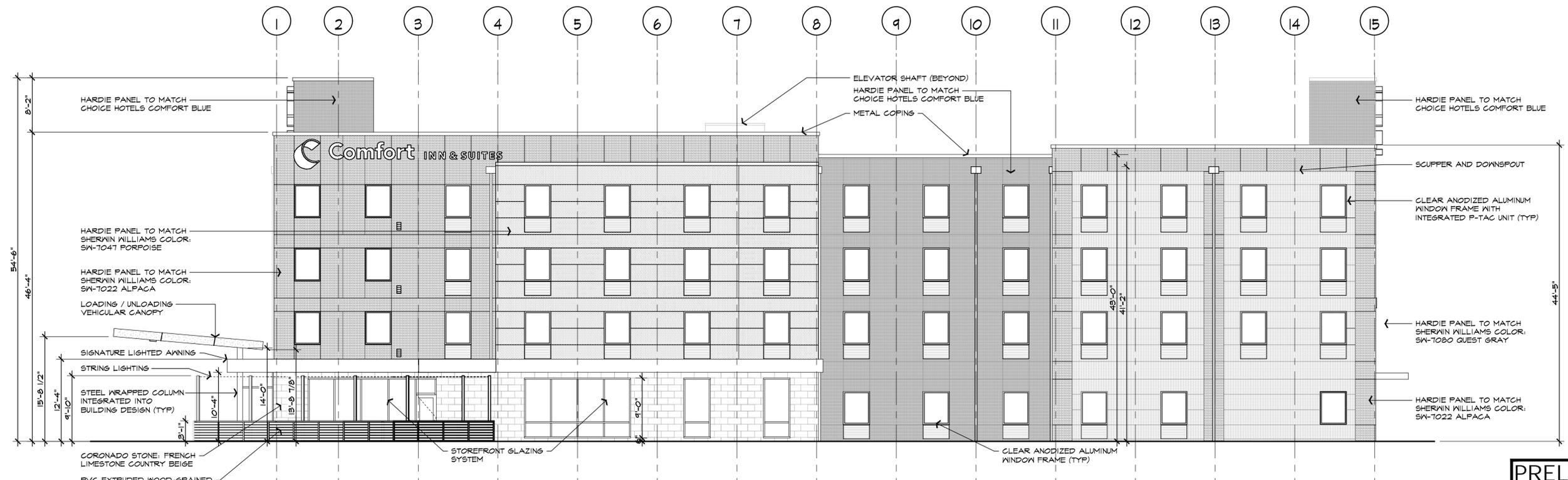
GENERAL NOTES - EXTERIOR ELEVATIONS:

- FOR SPECIFIC WINDOW ELEVATIONS & DETAILS, REFER TO THE A600 SERIES SHEETS.
- WHERE MATERIAL ALTERNATIVES EXIST, USE OF THESE MATERIALS MUST BE CONSISTENT THROUGHOUT THE ENTIRE PROJECT. MIXING AND MATCHING OF MATERIALS AND COLOR SCHEMES ARE PROHIBITED.

TRANSPARENCY PERCENTAGES - EXTERIOR ELEVATIONS:

DIRECTION	WALL MASS BETWEEN 2' - 8' ABOVE FIRST FLOOR	TRANSPARENT GLASS BETWEEN 2' - 8' ABOVE FIRST FLOOR	TRANSPARENCY PERCENTAGE
EAST	1371 SQ.FT.	405 SQ.FT.	29%
SOUTH	527 SQ. FT.	125 SQ.FT.	24%
WEST	1327 SQ. FT.	146 SQ.FT.	11%
NORTH	526 SQ. FT.	264 SQ.FT.	50%

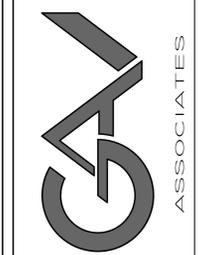
SOUTH AND WEST FIRST FLOOR TRANSPARENCY NOTE:
DUE TO PROTOTYPICAL BRANDING AND INTERIOR USE OF SPACES IT IS NOT POSSIBLE TO MAINTAIN A MINIMUM 30% TRANSPARENCY ALONG THESE ELEVATIONS.
WEST ELEVATION: GLAZING WILL BE NORTH OF THE NEW RETAINING WALL FOR GUESTROOMS.
SOUTH ELEVATION: DUE TO BRANDING AND DESIGN CONSTRAINTS WE HAVE THE MAXIMUM ALLOWABLE GLAZING @ GROUND FLOOR.



PROPOSED EAST ELEVATION
SCALE: 1/8" = 1'-0"

ISSUED FOR	DATE
PRE-PLANNING REVIEW	10-11-2022
POST-PLANNING REVIEW	11-14-2022
CHOICE HOTELS REVIEW	11-18-2022
REVIEW	12-19-2022
PLANNING REVIEW	1-18-2023
PLANNING REVIEW	4-21-2023

ARCHITECTURAL DESIGN
RESIDENTIAL
COMMERCIAL
INDUSTRIAL
G.A.V. ASSOCIATES, INC
2401 ORCHARD LAKE RD, STE 100A
FARMINGTON, MICHIGAN 48338
PH: (248) 985-9101
WEB: WWW.GAVASSOCIATES.COM

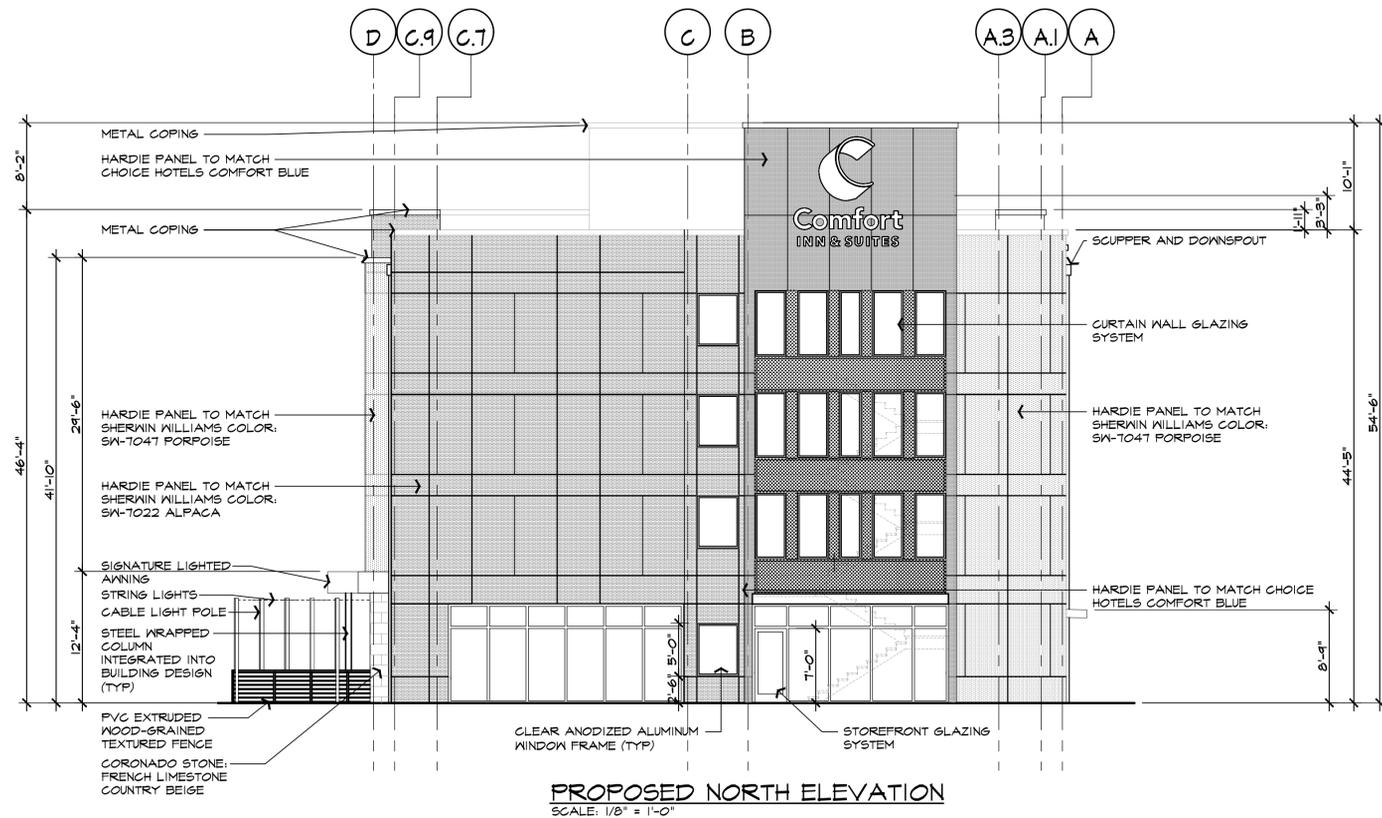


TAP RESOURCES
3241 CARLETON ROAD
HILLSDALE, MICHIGAN 49242
MR. TAPAN PATEL
phone: 517-610-2417

PROPOSED NEW HOTEL FOR CHOICE HOTELS:
COMFORT INN & SUITES - M1502
800 SOUTH HEWITT ROAD
YPSILANTI TOWNSHIP, MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
DG	DG	GA
SCALE: 1/8" = 1'-0"		
FILE NAME : 22060_A.201		
JOB # : 22060		
SHEET TITLE		
PROPOSED SOUTH AND EAST ELEVATIONS		
SHEET #		
A.201		

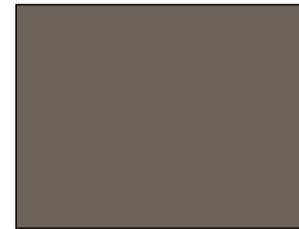




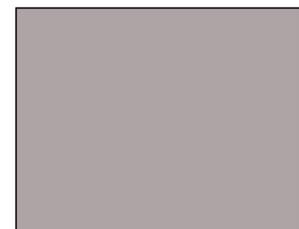
PROPOSED NORTH ELEVATION
SCALE: 1/8" = 1'-0"



HARDIE - PANEL COLOR:
SW7022 ALPACA



HARDIE - PANEL COLOR:
SW7047 PORPOISE



HARDIE - PANEL COLOR:
SW7080 QUEST GRAY



CORONADO STONE:
STYLE: FRENCH LIMESTONE
COLOR: COUNTRY BEIGE

OPTION 2: COMFORT BLUE		OPTION 1: COMFORT BLUE	
Sherwin Williams - Loxon Self Cleaning I Finish: Flat		Sherwin Williams - Loxon XP Exterior I Finish: Flat	
W - White	02 32 64 128	W - White	02 32 64 128
L - Blue	63 1 1	L - Blue	10 1 1
R - Blue	4 59 1 1	R - Blue	6 43 1 1
Magenta	2	Magenta	2
One Gallon: LX100054 Ultra-deep: 651028926		One Gallon: LX100054 Ultra-deep: 65102849	

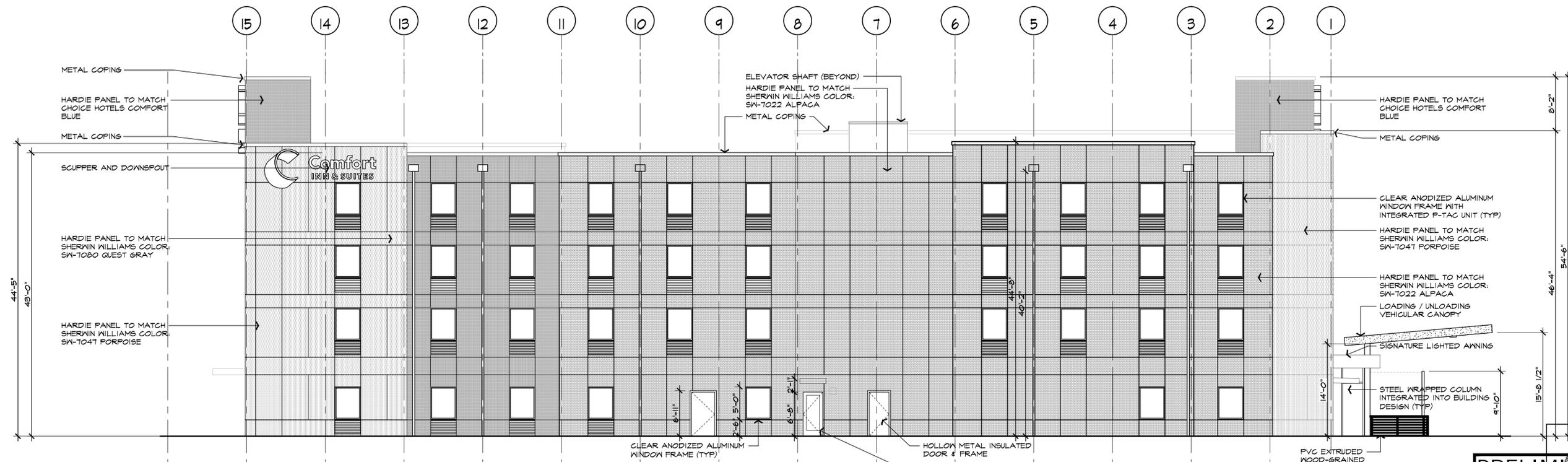
GENERAL NOTES - EXTERIOR ELEVATIONS:

- FOR SPECIFIC WINDOW ELEVATIONS & DETAILS, REFER TO THE A600 SERIES SHEETS.
- WHERE MATERIAL ALTERNATIVES EXIST, USE OF THESE MATERIALS MUST BE CONSISTENT THROUGHOUT THE ENTIRE PROJECT. MIXING AND MATCHING OF MATERIALS AND COLOR SCHEMES ARE PROHIBITED.

TRANSPARENCY PERCENTAGES - EXTERIOR ELEVATIONS:

EAST:	WALL MASS BETWEEN 2' - 8' ABOVE FIRST FLOOR:	1371 SQ.FT.
	TRANSPARENT GLASS BETWEEN 2' - 8' ABOVE FIRST FLOOR:	405 SQ.FT.
	TRANSPARENCY PERCENTAGE:	30%
SOUTH:	WALL MASS BETWEEN 2' - 8' ABOVE FIRST FLOOR:	521 SQ. FT.
	TRANSPARENT GLASS BETWEEN 2' - 8' ABOVE FIRST FLOOR:	125 SQ.FT.
	TRANSPARENCY PERCENTAGE:	24%
WEST:	WALL MASS BETWEEN 2' - 8' ABOVE FIRST FLOOR:	1327 SQ. FT.
	TRANSPARENT GLASS BETWEEN 2' - 8' ABOVE FIRST FLOOR:	146 SQ.FT.
	TRANSPARENCY PERCENTAGE:	11%
NORTH:	WALL MASS BETWEEN 2' - 8' ABOVE FIRST FLOOR:	526 SQ. FT.
	TRANSPARENT GLASS BETWEEN 2' - 8' ABOVE FIRST FLOOR:	264 SQ.FT.
	TRANSPARENCY PERCENTAGE:	50%

SOUTH AND WEST FIRST FLOOR TRANSPARENCY NOTE:
DUE TO PROTOTYPICAL BRANDING AND INTERIOR USE OF SPACES IT IS NOT POSSIBLE TO MAINTAIN A MINIMUM 30% TRANSPARENCY ALONG THESE ELEVATIONS.
WEST ELEVATION: GLAZING WILL BE NORTH OF THE NEW RETAINING WALL FOR GUESTROOMS.
SOUTH ELEVATION: DUE TO BRANDING AND DESIGN CONSTRAINTS WE HAVE THE MAXIMUM ALLOWABLE GLAZING @ GROUND FLOOR.

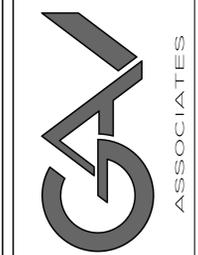


PROPOSED WEST ELEVATION
SCALE: 1/8" = 1'-0"

PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUED FOR	DATE
PRE-PLANNING REVIEW	10-11-2022
POST-PLANNING REVIEW	11-14-2022
CHOICE HOTELS REVIEW	11-18-2022
REVIEW	12-19-2022
PLANNING REVIEW	1-18-2023
PLANNING REVIEW	4-21-2023

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HILLSDALE, MICHIGAN 49242
MR. TAPAN PATEL
phone: 517-610-2417

PROPOSED NEW HOTEL FOR CHOICE HOTELS:
COMFORT INN & SUITES - M1502
800 SOUTH HEWITT ROAD
YPSILANTI TOWNSHIP, MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
DS	DS	GA
SCALE: 1/8" = 1'-0"		
FILE NAME: 22060_A.202		
JOB #: 22060		
SHEET TITLE		
PROPOSED NORTH AND WEST ELEVATIONS		
SHEET #		
A.202		

GENERAL NOTES - GUESTROOMS:

- REFER TO 1/8" BUILDING FLOOR PLANS FOR OVERALL GUESTROOM DIMENSIONS, UNO AND WINDOW OPENING LOCATION ON EXTERIOR WALLS.
- DIMENSIONS ARE FROM GRIDLINES AND FROM FACE OF STRUCTURE, UNO.
- DEMISING WALLS AND LOAD BEARING WALLS ARE CENTERED ON GRIDLINES UNLESS OTHERWISE DIMENSIONED.
- WHEN NOTED WITH "OF" DIMENSIONS ARE FROM FACE OF FINISH.
- DOOR AND WINDOW DIMENSIONS WHERE OCCUR ARE FROM FACE OF STUD TO CENTERLINE OF OPENINGS.
- CENTER SPRINKLER HEADS IN SPACES.
- PROVIDE BLOCKING FOR WALL MOUNTED FIXTURES, ACCESSORIES, EQUIPMENT, AND WINDOW TREATMENTS, INCLUDING BUT NOT LIMITED TO TV, MIRROR, SAFE, & HEADBOARD. MAINTAIN INTEGRITY OF FIRE RATING WHERE ACCESSORIES ARE LOCATED IN RATED WALL.
- FOR TYPICAL MOUNTING HEIGHTS, REFER TO THE T000 AND A100 SERIES SHEETS.
- PLUMBING CHASES SHALL HAVE FIRESTOPS AT EACH FLOOR.
- MAINTAIN, BY CODE, MINIMUM REQUIRED SEPARATION BETWEEN GUESTROOMS AT PLUMBING CHASE WALLS.
- PROVIDE CARPET BASE TOE KICK UNDER PTAC UNITS.
- ALL ACCESSIBLE AND HEARING IMPAIRED UNITS TO HAVE STROBE & SOUND ACTIVATING DOORBELL WITH A 5 SECOND RING. PROVIDE DOORBELL ON/OFF SWITCH WITHIN GUESTROOMS, OR PER APPLICABLE CODE.
- CENTER LIGHT FIXTURES IN CEILING, UNO.
- ACC GUESTROOM ENTRY DOOR CLEARANCE WIDER THAN TYP GUESTROOM. SEE SHEET A601.
- GUESTROOM CEILING HEIGHTS, UNO:

LEVEL	GUESTROOM	BATHROOM
LEVEL 1	10' - 0"	8' - 0"
LEVEL 2+	8' - 0"	7' - 6"
- PROVIDE WALLS WITH AN STC RATINGS OF 60 MIN AT CONDITIONS WHERE GUESTROOM HEADBOARD WALL ADJOINS WITH PUBLIC SPACE OR WITH ADJACENT GUESTROOMS TV WALL.
- REFER TO THE A600 SERIES SHEETS FOR THE FINISH SCHEDULE.
- FOR ALL GUESTROOMS, PROVIDE A MINIMUM OF TWO POWER SOURCE OUTLETS THAT ARE OPEN AND ACCESSIBLE FROM THE BED(S), ADJACENT TO THE BED(S), FREE OF OBSTRUCTION, CLEARLY VISIBLE, AND DEDICATED TO THE GUESTS ON A COMPLIMENTARY BASIS. OUTLETS ALREADY BEING UTILIZED BY THE HOTEL FOR FF&E (LAMPS, RADIOS, ETC.) WHICH ARE NOT AVAILABLE FOR GUESTS USE WILL NOT MEET THIS REQUIREMENT.
- PROVIDE PTAC SLEEVE EXTENDING 16" x 16" TO SHIELD DRAPERY FROM BILLOWING (TYPICAL).
- SEE ID SPECS FOR BED BASE, FRAME, MATTRESS & BEDDING.

GENERAL NOTES - ELECTRICAL:

- OUTLETS TO BE MOUNTED AT 18" AFF, UNO.
- CENTER VANITY FIXTURES OVER MIRRORS WHERE OCCURS.
- PROVIDE HARD-WIRED CONNECTION FOR TV.
- SPACING OF CORRIDOR LIGHTS SHALL BE BASED ON 20 FOOTCANDLES, MINIMUM, MAINTAINED.
- PROVIDE BATTERY BACKED-UP EXIT LIGHTS.
- CIRCUIT EGRESS AND EXIT LIGHTS INDEPENDENT FROM NON-EMERGENCY LIGHTS FOR REDUNDANCY.
- CONTROL ALL EXTERIOR LIGHTS BY PHOTOCELL.
- PROVIDE INTERNET ACCESS AS REQUIRED BY CHOICE HOTELS
- PROVIDE POWER AND PHOTOCELL TO INTERNALLY ILLUMINATED CHANNEL LETTERS AND LOGO PER SIGNAGE MANUFACTURER'S REQUIREMENTS.
- THE FOLLOWING FIXTURES ARE CORDED: DIVIDER SCONE, DIVIDER CABINET, HEADBOARD LIGHT, HEADBOARD SCONES, HEADBOARD POWERPACK, MEDIA PANEL, FLEX STATION, AMENITY TOWER.
- IN PUBLIC SPACE PROVIDE ZONE LIGHTING CONTROLS VIA GREENGATE LITEKEEPER LIGHTING CONTROL RELAY PANEL, LIGHT SWITCH BANK LOCATED IN WORKROOM WITH DIMMABLE FEATURE
- COORDINATE LOBBY ELECTRICAL LAYOUT WITH FF&E FOR PLAN - OPTION C

GENERAL NOTES - FF&E:

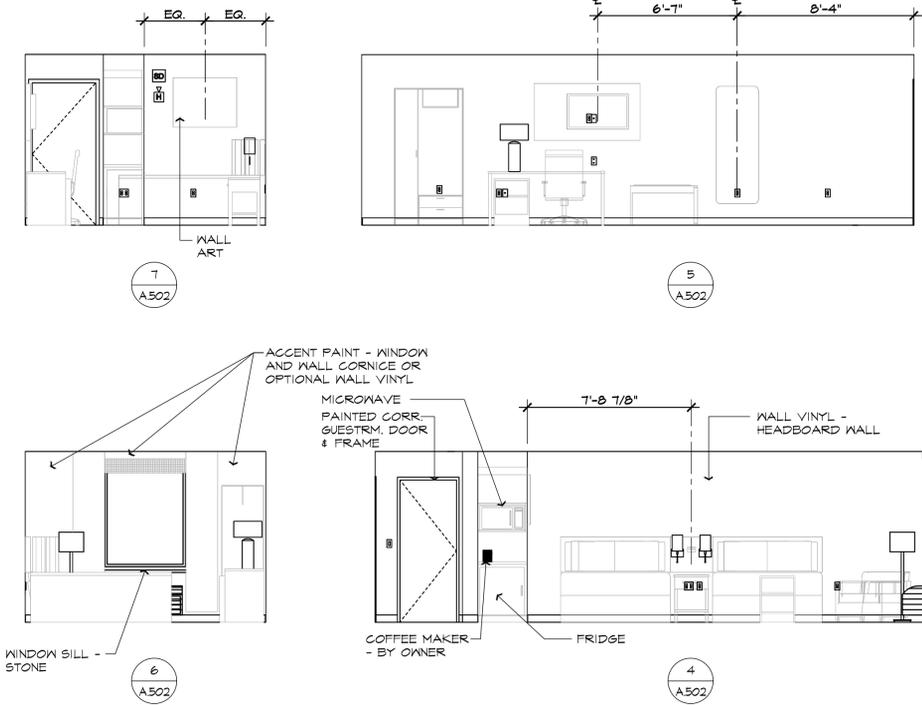
- FOR TYPICAL MOUNTING HEIGHT, REFER TO THE T000 AND A100 SERIES SHEETS.
- PROVIDE BLOCKING FOR WALL MOUNTED FIXTURES, ACCESSORIES & EQUIPMENT.
- REFER TO THE A600 SERIES SHEETS FOR THE FINISH SCHEDULE.
- FOR FINISH PRODUCT DETAILS, REFER TO FF&E SPECIFICATIONS MANUAL.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR OPTIONAL FF&E FURNITURE AND FINISHES.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR RIGHT-HAND AND LEFT-HAND FF&E SPECIFICATIONS.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR LEFT-HAND AND RIGHT-HAND ROOM DEFINITIONS.
- LEFT-HAND ROOMS TYPICALLY RECEIVE LEFT-HAND FF&E ITEMS AND RIGHT-HAND ROOMS TYPICALLY RECEIVE RIGHT-HAND ITEMS, HOWEVER ANOMOLIES TO THIS ASSUMPTION MAY OCCUR. VERIFY EACH ROOM TYPE FOR ANOMOLIES TO THIS ASSUMPTION.

GENERAL NOTES - FINISHES:

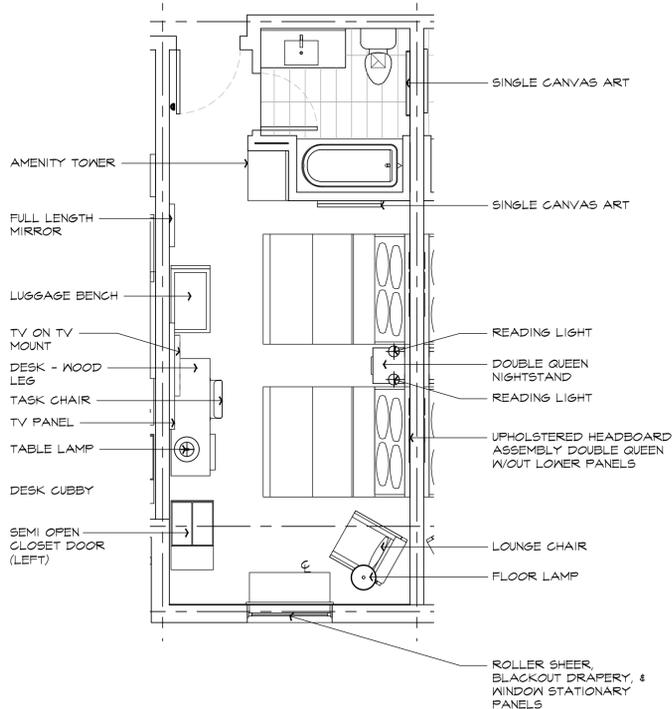
- INSTALL ALL FINISHES PER MANUFACTURERS INSTRUCTIONS.
 - PREPARE ALL FLOOR AND WALL SURFACES FOR NEW FINISHES. PROVIDE FLOOR LEVELING AS REQUIRED TO INSURE PROPER INSTALLATION OF PRODUCTS.
 - ALL FLOORING MATERIALS TRANSITIONS SHALL OCCUR AT THE CENTERLINE OF DOORS SEPARATING ROOMS, UNO. DOOR THRESHOLD REQUIREMENTS TO BE COORDINATED WITH DOOR HARDWARE SPECIFICATIONS.
 - FINISHES IN ACCESSORY SPACES TO MATCH ADJACENT SPACES, UNO.
- NOTE: ALL GUESTROOM**
- WALL PAINT IS PT-001 OR OPTIONAL VYL-001 UNO ON INTERIOR ELEVATIONS.
 - CEILING PAINT IS PT-003 UNO ON ENLARGED RCP.
 - DOOR TRIM PAINT IS PT-002 UNO ON INTERIOR GUESTROOM DOORS.
 - ENTRY DOOR INSIDE STAINED TO MATCH CASEGOODS ST-003.
 - BATH DOOR AND BATH DOOR TRIM PAINT IS PT-002 UNO ON INTERIOR ELEVATIONS.
 - WALL BASE IS RB-001 UNO ON PLANS OR INTERIOR ELEVATIONS.
 - ALL ACCESSIBLE ROOMS TO PROVIDE REMOTELY SWITCHED MECHANIZED WINDOW TREATMENTS.
 - CARPET PAD CPAD-001 TO BE USED IF CPT-001 IS INSTALLED.
- NOTE: ALL GUESTROOM**
- CEILING PAINT IS PT-003 UNO ON ENLARGED RCP.
 - WHERE ADJACENT CEILING ARE AT DIFFERENT HEIGHTS, PAINT THE ADJOINING SOFFIT TO MATCH THE COLOR OF THE LOWER CEILING.
- NOTE: ALL GUESTROOM**
- SEE THE A550 SERIES FOR BATHROOM DIMENSIONS

GUESTROOM FLOORING TRANSITION SCHEDULE:

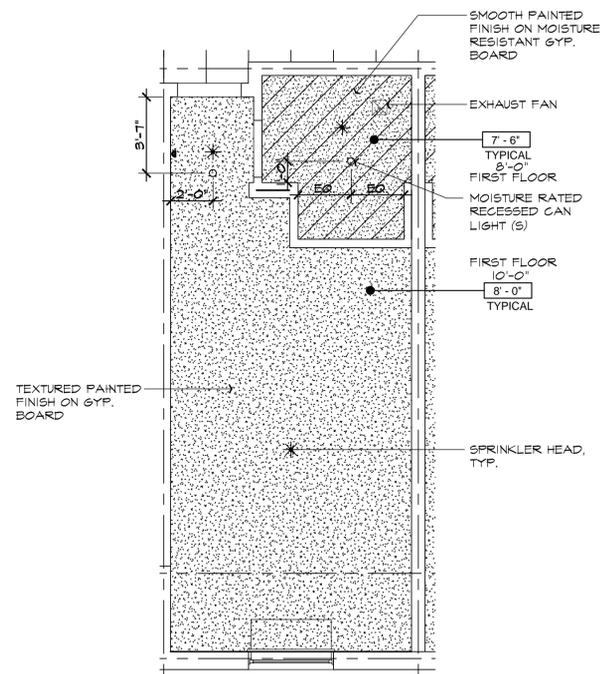
ITEM #	DESCRIPTION	REMARKS
TH-001	LVT TO CARPET (AT ENTRY DOOR TO CORRIDOR)	
TH-001	CARPET TO CARPET (AT ENTRY DOOR TO CORRIDOR)	
TH-002	LVT TO TILE (AT BATHROOM DOOR)	
TH-002	CARPET TO TILE (AT BATHROOM DOOR)	
TH-006	LVT TO CARPET	



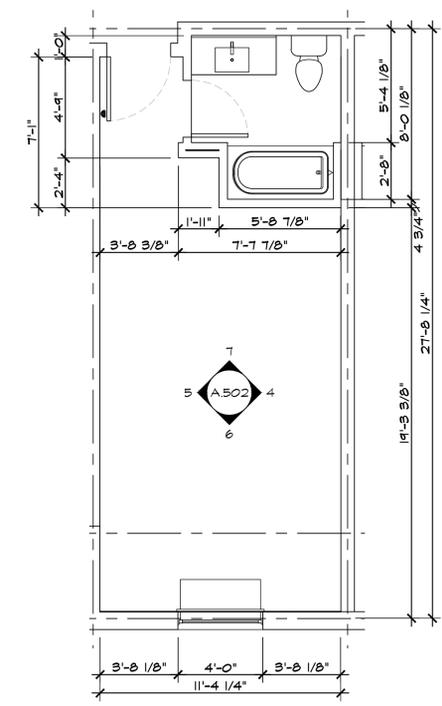
DOUBLE QUEEN - ELEVATIONS
SCALE: 1/4" = 1'-0"



DOUBLE QUEEN - FF&E PLAN
SCALE: 1/4" = 1'-0"



DOUBLE QUEEN - REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



DOUBLE QUEEN - ARCHITECTURAL PLAN
SCALE: 1/4" = 1'-0"

ISSUED FOR	DATE
REVIEW	2-19-2022
PLANNING REVIEW	1-18-2023
PLANNING REVIEW	4-21-2023

ARCHITECTURAL DESIGN

RESIDENTIAL
COMMERCIAL
INDUSTRIAL

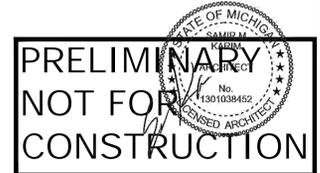
G.A.V. ASSOCIATES, INC
2401 ORCHARD LANE, STE. 100
FARMINGTON, MICHIGAN 48336
PH: (248) 985-9101
WEB: WWW.GAVASSOCIATES.COM

GAV ASSOCIATES

TAP RESOURCES
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phone: 517-610-2417

PROPOSED NEW HOTEL FOR CHOICE HOTELS:
COMFORT INN & SUITES - M1502
800 SOUTH HEWITT ROAD
YPSILANTI TOWNSHIP, MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
SCALE: 1/4" = 1'-0"		
FILE NAME: 22060_A502		
JOB #: 22060		
SHEET TITLE DOUBLE QUEEN GUESTROOM PLANS & ELEVATIONS SHEET # A.502		



GENERAL NOTES - GUESTROOMS:

- REFER TO 1/8" BUILDING FLOOR PLANS FOR OVERALL GUESTROOM DIMENSIONS, UNO AND WINDOW OPENING LOCATION ON EXTERIOR WALLS.
- DIMENSIONS ARE FROM GRIDLINES AND FROM FACE OF STRUCTURE, UNO.
- DEMISING WALLS AND LOAD BEARING WALLS ARE CENTERED ON GRIDLINES UNLESS OTHERWISE DIMENSIONED.
- WHEN NOTED WITH "TO F" DIMENSIONS ARE FROM FACE OF FINISH.
- DOOR AND WINDOW DIMENSIONS WHERE OCCUR ARE FROM FACE OF STUD TO CENTERLINE OF OPENINGS.
- CENTER SPRINKLER HEADS IN SPACES.
- PROVIDE BLOCKING FOR WALL MOUNTED FIXTURES, ACCESSORIES, EQUIPMENT, AND WINDOW TREATMENTS, INCLUDING BUT NOT LIMITED TO TV, MIRROR, SAFE, & HEADBOARD. MAINTAIN INTEGRITY OF FIRE RATING WHERE ACCESSORIES ARE LOCATED IN RATED WALL.
- FOR TYPICAL MOUNTING HEIGHTS, REFER TO THE T000 AND A100 SERIES SHEETS.
- PLUMBING CHASES SHALL HAVE FIRESTOPS AT EACH FLOOR.
- MAINTAIN, BY CODE, MINIMUM REQUIRED SEPARATION BETWEEN GUESTROOMS AT PLUMBING CHASE WALLS.
- PROVIDE CARPET BASE TOE KICK UNDER PTAC UNITS.
- ALL ACCESSIBLE AND HEARING IMPAIRED UNITS TO HAVE STROBE & SOUND ACTIVATING DOORBELL WITH A 5 SECOND RING. PROVIDE DOORBELL ON/OFF SWITCH WITHIN GUESTROOMS, OR PER APPLICABLE CODE.
- CENTER LIGHT FIXTURES IN CEILING, UNO.
- ACC GUESTROOM ENTRY DOOR CLEARANCE WIDER THAN TYP GUESTROOM. SEE SHEET A601.
- GUESTROOM CEILING HEIGHTS, UNO.

LEVEL	GUESTROOM	BATHROOM
LEVEL 1	10' - 0"	8' - 0"
LEVEL 2+	8' - 0"	7' - 6"
- PROVIDE WALLS WITH AN STC RATINGS OF 60 MIN AT CONDITIONS WHERE GUESTROOM HEADBOARD WALL ADJOINS WITH PUBLIC SPACE OR WITH ADJACENT GUESTROOMS TV WALL.
- REFER TO THE A600 SERIES SHEETS FOR THE FINISH SCHEDULE.
- FOR ALL GUESTROOMS, PROVIDE A MINIMUM OF TWO POWER SOURCE OUTLETS THAT ARE OPEN AND ACCESSIBLE FROM THE BED(S), ADJACENT TO THE BED(S), FREE OF OBSTRUCTION, CLEARLY VISIBLE, AND DEDICATED TO THE GUESTS ON A COMPLIMENTARY BASIS. OUTLETS ALREADY BEING UTILIZED BY THE HOTEL FOR FF&E (LAMPS, RADIOS, ETC.) WHICH ARE NOT AVAILABLE FOR GUESTS USE WILL NOT MEET THIS REQUIREMENT.
- PROVIDE PTAC SLEEVE EXTENDING 16"-18" TO SHIELD DRAPERY FROM BILLOWING (TYPICAL).
- SEE ID SPECS FOR BED BASE, FRAME, MATTRESS & BEDDING.

GENERAL NOTES - ELECTRICAL:

- OUTLETS TO BE MOUNTED AT 18" AFF, UNO.
- CENTER VANITY FIXTURES OVER MIRRORS WHERE OCCURS.
- PROVIDE HARD-WIRED CONNECTION FOR TV.
- SPACING OF CORRIDOR LIGHTS SHALL BE BASED ON 20 FOOTCANDLES, MINIMUM, MAINTAINED.
- PROVIDE BATTERY BACKED-UP EXIT LIGHTS.
- CIRCUIT EGRESS AND EXIT LIGHTS INDEPENDENT FROM NON-EMERGENCY LIGHTS FOR REDUNDANCY.
- CONTROL ALL EXTERIOR LIGHTS BY PHOTOCELL.
- PROVIDE INTERNET ACCESS AS REQUIRED BY CHOICE HOTELS
- PROVIDE POWER AND PHOTOCELL TO INTERNALLY ILLUMINATED CHANNEL LETTERS AND LOGO PER SIGNAGE MANUFACTURER'S REQUIREMENTS.
- THE FOLLOWING FIXTURES ARE CORDED: DIVIDER SCENCE, DIVIDER CABINET, HEADBOARD LIGHT, HEADBOARD SCENCES, HEADBOARD POWERPACK, MEDIA PANEL, FLEX STATION, AMENITY TOWER.
- IN PUBLIC SPACE PROVIDE ZONE LIGHTING CONTROLS VIA GREENGATE LITEKEEPER LIGHTING CONTROL RELAY PANEL, LIGHT SWITCH BANK LOCATED IN WORKROOM WITH DIMMABLE FEATURE
- COORDINATE LOBBY ELECTRICAL LAYOUT WITH FF&E FOR PLAN - OPTION C

GENERAL NOTES - FF&E:

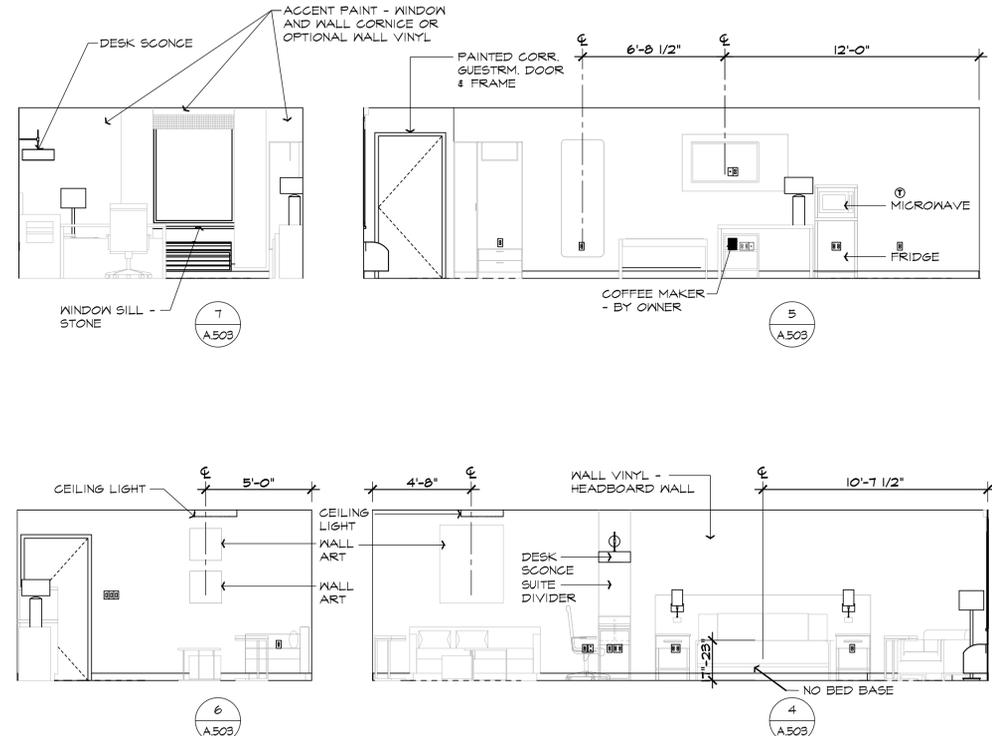
- FOR TYPICAL MOUNTING HEIGHT, REFER TO THE T000 AND A100 SERIES SHEETS.
- PROVIDE BLOCKING FOR WALL MOUNTED FIXTURES, ACCESSORIES & EQUIPMENT.
- REFER TO THE A600 SERIES SHEETS FOR THE FINISH SCHEDULE.
- FOR FINISH PRODUCT DETAILS, REFER TO FF&E SPECIFICATIONS MANUAL.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR OPTIONAL FF&E FURNITURE AND FINISHES.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR RIGHT-HAND AND LEFT-HAND FF&E SPECIFICATIONS.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR LEFT-HAND AND RIGHT-HAND ROOM DEFINITIONS.
- LEFT-HAND ROOMS TYPICALLY RECEIVE LEFT-HAND FF&E ITEMS AND RIGHT-HAND ROOMS TYPICALLY RECEIVE RIGHT-HAND ITEMS, HOWEVER ANOMOLIES TO THIS ASSUMPTION MAY OCCUR. VERIFY EACH ROOM TYPE FOR ANOMOLIES TO THIS ASSUMPTION.

GENERAL NOTES - FINISHES:

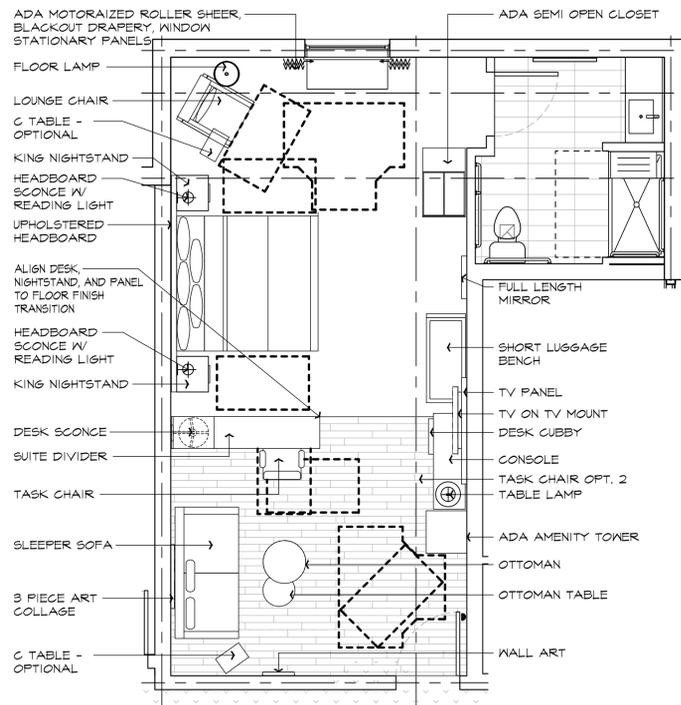
- INSTALL ALL FINISHES PER MANUFACTURERS INSTRUCTIONS.
 - PREPARE ALL FLOOR AND WALL SURFACES FOR NEW FINISHES. PROVIDE FLOOR LEVELING AS REQUIRED TO INSURE PROPER INSTALLATION OF PRODUCTS.
 - ALL FLOORING MATERIALS TRANSITIONS SHALL OCCUR AT THE CENTERLINE OF DOORS SEPARATING ROOMS, UNO. DOOR THRESHOLD REQUIREMENTS TO BE COORDINATED WITH DOOR HARDWARE SPECIFICATIONS.
 - FINISHES IN ACCESSORY SPACES TO MATCH ADJACENT SPACES, UNO.
- NOTE: ALL GUESTROOM**
- WALL PAINT IS PT-001 OR OPTIONAL VYL-001 UNO ON INTERIOR ELEVATIONS.
 - CEILING PAINT IS PT-003 UNO ON ENLARGED RCP.
 - DOOR TRIM PAINT IS PT-002 UNO ON INTERIOR GUESTROOM DOORS.
 - ENTRY DOOR INSIDE STAINED TO MATCH CASEGOODS ST-003.
 - BATH DOOR AND BATH DOOR TRIM PAINT IS PT-002 UNO ON INTERIOR ELEVATIONS.
 - WALL BASE IS RB-001 UNO ON PLANS OR INTERIOR ELEVATIONS.
 - ALL ACCESSIBLE ROOMS TO PROVIDE REMOTELY SWITCHED MECHANIZED WINDOW TREATMENTS
 - CARPET PAD CPAD-001 TO BE USED IF CPT-001 IS INSTALLED.
- NOTE: ALL GUESTROOM**
- CEILING PAINT IS PT-003 UNO ON ENLARGED RCP.
 - WHERE ADJACENT CEILING ARE AT DIFFERENT HEIGHTS, PAINT THE ADJOINING SOFFIT TO MATCH THE COLOR OF THE LOWER CEILING.
- NOTE: ALL GUESTROOM**
- SEE THE A550 SERIES FOR BATHROOM DIMENSIONS

GUESTROOM FLOORING TRANSITION SCHEDULE:

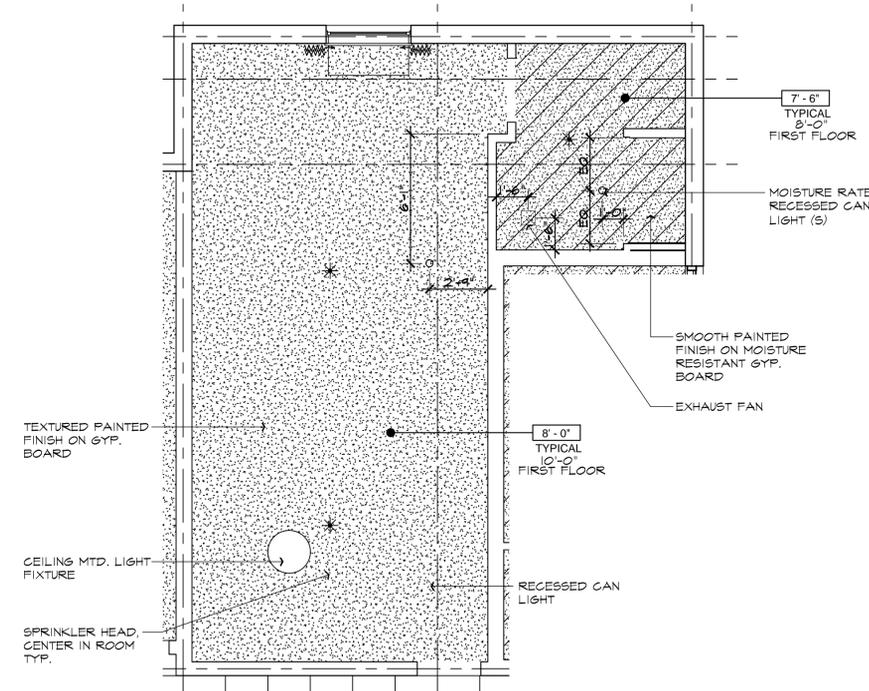
ITEM #	DESCRIPTION	REMARKS
TH-001	LVT TO CARPET (AT ENTRY DOOR TO CORRIDOR)	
TH-001	CARPET TO CARPET (AT ENTRY DOOR TO CORRIDOR)	
TH-002	LVT TO TILE (AT BATHROOM DOOR)	
TH-002	CARPET TO TILE (AT BATHROOM DOOR)	
TH-003	LVT TO CARPET	



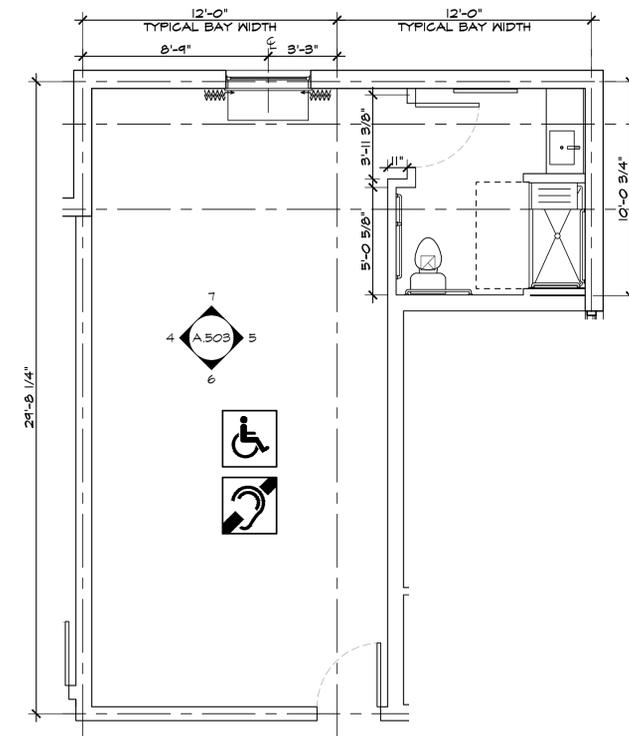
ACCESSIBLE KING SUITE - ELEVATIONS
SCALE: 1/4" = 1'-0"



3 ACCESS. KING SUITE - FF&E PLAN
SCALE: 1/4" = 1'-0"



2 ACCESS KING SUITE- REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



1 ACCESS. KING SUITE - ARCHITECTURAL PLAN
SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

ISSUED FOR	DATE
REVIEW	2-19-2022
PLANNING REVIEW	1-18-2023
PLANNING REVIEW	4-21-2023

ARCHITECTURAL DESIGN
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COMFORT INN & SUITES - M1502
800 SOUTH HEWITT ROAD
YPSILANTI TOWNSHIP, MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
SCALE: 1/4" = 1'-0"		
FILE NAME: 22060_A.503		
JOB #: 22060		
SHEET TITLE		
ACCESSIBLE KING SUITE		
SHEET #		
A.503		

GENERAL NOTES - GUESTROOMS:

- REFER TO 1/8" BUILDING FLOOR PLANS FOR OVERALL GUESTROOM DIMENSIONS, UNO AND WINDOW OPENING LOCATION ON EXTERIOR WALLS.
- DIMENSIONS ARE FROM GRIDLINES AND FROM FACE OF STRUCTURE, UNO.
- DEMISING WALLS AND LOAD BEARING WALLS ARE CENTERED ON GRIDLINES UNLESS OTHERWISE DIMENSIONED.
- WHEN NOTED WITH "FOF" DIMENSIONS ARE FROM FACE OF FINISH.
- DOOR AND WINDOW DIMENSIONS WHERE OCCUR ARE FROM FACE OF STUD TO CENTERLINE OF OPENINGS.
- CENTER SPRINKLER HEADS IN SPACES.
- PROVIDE BLOCKING FOR WALL MOUNTED FIXTURES, ACCESSORIES, EQUIPMENT, AND WINDOW TREATMENTS, INCLUDING BUT NOT LIMITED TO TV, MIRROR, SAFE, & HEADBOARD. MAINTAIN INTEGRITY OF FIRE RATING WHERE ACCESSORIES ARE LOCATED IN RATED WALL.
- FOR TYPICAL MOUNTING HEIGHTS, REFER TO THE 2000 AND A200 SERIES SHEETS.
- PLUMBING CHASES SHALL HAVE FIRESTOPS AT EACH FLOOR.
- MAINTAIN, BY CODE, MINIMUM REQUIRED SEPARATION BETWEEN GUESTROOMS AT PLUMBING CHASE WALLS.
- PROVIDE CARPET BASE TOE KICK UNDER PTAC UNITS.
- ALL ACCESSIBLE AND HEARING IMPAIRED UNITS TO HAVE STROBE & SOUND ACTIVATING DOORBELL WITH A 5 SECOND RING. PROVIDE DOORBELL ON/OFF SWITCH WITHIN GUESTROOMS, OR PER APPLICABLE CODE.
- CENTER LIGHT FIXTURES IN CEILING, UNO.
- ACC GUESTROOM ENTRY DOOR CLEARANCE WIDER THAN TYP GUESTROOM. SEE SHEET A601.
- GUESTROOM CEILING HEIGHTS, UNO.

LEVEL	GUESTROOM	BATHROOM
LEVEL 1	10' - 0"	8' - 0"
LEVEL 2+	8' - 0"	7' - 6"
- PROVIDE WALLS WITH AN STC RATINGS OF 60 MIN AT CONDITIONS WHERE GUESTROOM HEADBOARD WALL ADJOINS WITH PUBLIC SPACE OR WITH ADJACENT GUESTROOMS TV WALL.
- REFER TO THE A600 SERIES SHEETS FOR THE FINISH SCHEDULE.
- FOR ALL GUESTROOMS, PROVIDE A MINIMUM OF TWO POWER SOURCE OUTLETS THAT ARE OPEN AND ACCESSIBLE FROM THE BED(S), ADJACENT TO THE BED(S), FREE OF OBSTRUCTION, CLEARLY VISIBLE, AND DEDICATED TO THE GUESTS ON A COMPLIMENTARY BASIS. OUTLETS ALREADY BEING UTILIZED BY THE HOTEL FOR FF&E (LAMPS, RADIOS, ETC.) WHICH ARE NOT AVAILABLE FOR GUESTS USE WILL NOT MEET THIS REQUIREMENT.
- PROVIDE PTAC SLEEVE EXTENDING 16"-18" TO SHIELD DRAPERY FROM BILLOWING (TYPICAL).
- SEE ID SPECS FOR BED BASE, FRAME, MATTRESS & BEDDING.

GENERAL NOTES - ELECTRICAL:

- OUTLETS TO BE MOUNTED AT 18" AFF, UNO.
- CENTER VANITY FIXTURES OVER MIRRORS WHERE OCCURS.
- PROVIDE HARD-WIRED CONNECTION FOR TV.
- SPACING OF CORRIDOR LIGHTS SHALL BE BASED ON 20 FOOTCANDLES, MINIMUM, MAINTAINED.
- PROVIDE BATTERY BACKED-UP EXIT LIGHTS.
- CIRCUIT EGRESS AND EXIT LIGHTS INDEPENDENT FROM NON-EMERGENCY LIGHTS FOR REDUNDANCY.
- CONTROL ALL EXTERIOR LIGHTS BY PHOTOCELL.
- PROVIDE INTERNET ACCESS AS REQUIRED BY CHOICE HOTELS
- PROVIDE POWER AND PHOTOCELL TO INTERNALLY ILLUMINATED CHANNEL LETTERS AND LOGO PER SIGNAGE MANUFACTURER'S REQUIREMENTS.
- THE FOLLOWING FIXTURES ARE CORDED; DIVIDER SCENCE, DIVIDER CABINET, HEADBOARD LIGHT, HEADBOARD SCENCES, HEADBOARD POWERPACK, MEDIA PANEL, FLEX STATION, AMENITY TOWER.
- IN PUBLIC SPACE PROVIDE ZONE LIGHTING CONTROLS VIA GREENSATE LITEKEEPER LIGHTING CONTROL RELAY PANEL, LIGHT SWITCH BANK LOCATED IN WORKROOM WITH DIMMABLE FEATURE
- COORDINATE LOBBY ELECTRICAL LAYOUT WITH FF&E FOR PLAN - OPTION C

GENERAL NOTES - FF&E:

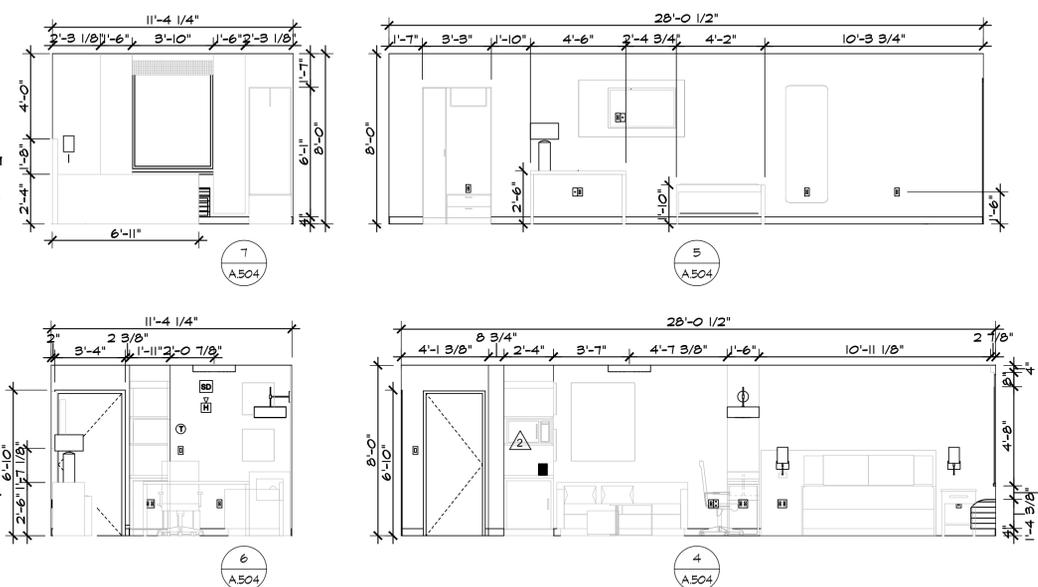
- FOR TYPICAL MOUNTING HEIGHT, REFER TO THE 2000 AND A200 SERIES SHEETS.
- PROVIDE BLOCKING FOR WALL MOUNTED FIXTURES, ACCESSORIES & EQUIPMENT.
- REFER TO THE A600 SERIES SHEETS FOR THE FINISH SCHEDULE.
- FOR FINISH PRODUCT DETAILS, REFER TO FF&E SPECIFICATIONS MANUAL.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR OPTIONAL FF&E FURNITURE AND FINISHES.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR RIGHT-HAND AND LEFT-HAND FF&E SPECIFICATIONS.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR LEFT-HAND AND RIGHT-HAND ROOM DEFINITIONS.
- LEFT-HAND ROOMS TYPICALLY RECEIVE LEFT-HAND FF&E ITEMS AND RIGHT-HAND ROOMS TYPICALLY RECEIVE RIGHT-HAND ITEMS, HOWEVER ANOMOLIES TO THIS ASSUMPTION MAY OCCUR. VERIFY EACH ROOM TYPE FOR ANOMOLIES TO THIS ASSUMPTION.

GENERAL NOTES - FINISHES:

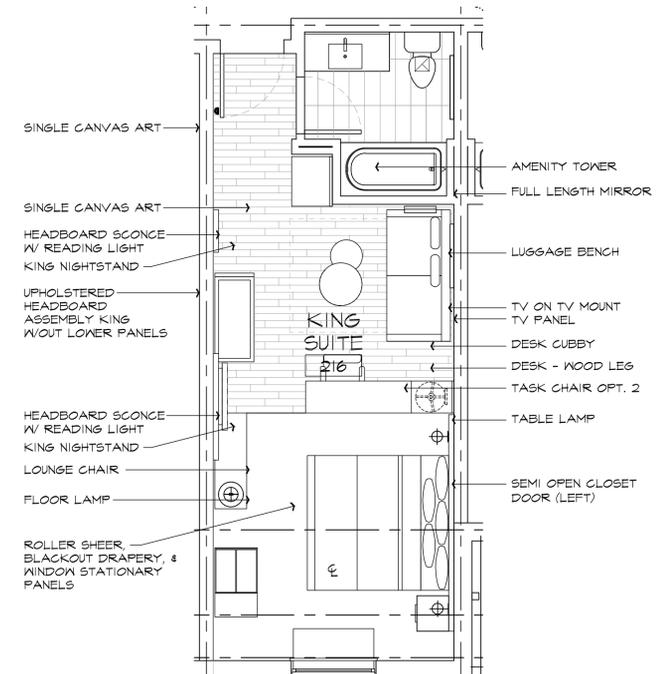
- INSTALL ALL FINISHES PER MANUFACTURERS INSTRUCTIONS.
 - PREPARE ALL FLOOR AND WALL SURFACES FOR NEW FINISHES. PROVIDE FLOOR LEVELING AS REQUIRED TO INSURE PROPER INSTALLATION OF PRODUCTS.
 - ALL FLOORING MATERIALS TRANSITIONS SHALL OCCUR AT THE CENTERLINE OF DOORS SEPARATING ROOMS, UNO. DOOR THRESHOLD REQUIREMENTS TO BE COORDINATED WITH DOOR HARDWARE SPECIFICATIONS.
 - FINISHES IN ACCESSORY SPACES TO MATCH ADJACENT SPACES, UNO.
- NOTE: ALL GUESTROOM**
- WALL PAINT IS PT-001 OR OPTIONAL VYL-001 UNO ON INTERIOR ELEVATIONS.
 - CEILING PAINT IS FT-003 UNO ON ENLARGED RCP.
 - DOOR TRIM PAINT IS FT-002 UNO ON INTERIOR GUESTROOM DOORS.
 - ENTRY DOOR INSIDE STAINED TO MATCH CASEGOODS ST-003.
 - BATH DOOR AND BATH DOOR TRIM PAINT IS FT-002 UNO ON INTERIOR ELEVATIONS.
 - WALL BASE IS RB-001 UNO ON PLANS OR INTERIOR ELEVATIONS.
 - ALL ACCESSIBLE ROOMS TO PROVIDE REMOTELY SWITCHED MECHANIZED WINDOW TREATMENTS.
 - CARPET PAD CPAD-001 TO BE USED IF CPT-001 IS INSTALLED.
- NOTE: ALL GUESTROOM**
- CEILING PAINT IS FT-003 UNO ON ENLARGED RCP.
 - WHERE ADJACENT CEILING ARE AT DIFFERENT HEIGHTS, PAINT THE ADJOINING SOFFIT TO MATCH THE COLOR OF THE LOWER CEILING.
- NOTE: ALL GUESTROOM**
- SEE THE A550 SERIES FOR BATHROOM DIMENSIONS

GUESTROOM FLOORING TRANSITION SCHEDULE:

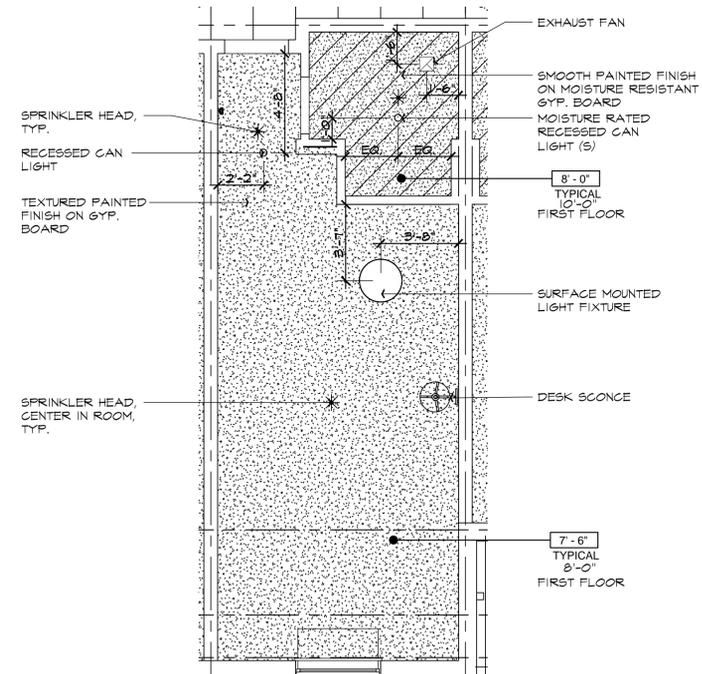
ITEM #	DESCRIPTION	REMARKS
TH-001	LVT TO CARPET (AT ENTRY DOOR TO CORRIDOR)	
TH-001	CARPET TO CARPET (AT ENTRY DOOR TO CORRIDOR)	
TH-002	LVT TO TILE (AT BATHROOM DOOR)	
TH-002	CARPET TO TILE (AT BATHROOM DOOR)	
TH-003	LVT TO CARPET	



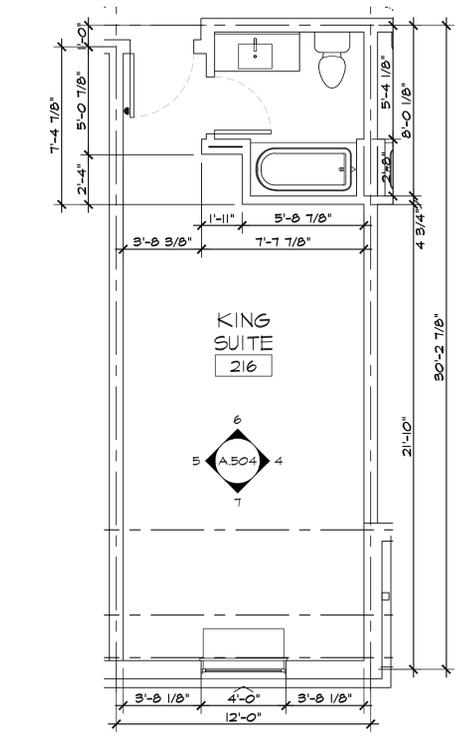
KING SUITE - ELEVATIONS
SCALE: 1/4" = 1'-0"



3 KING SUITE - FF&E PLAN
SCALE: 1/4" = 1'-0"



2 KING SUITE - REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



1 KING SUITE - ARCHITECTURAL PLAN
SCALE: 1/4" = 1'-0"

ISSUED FOR	DATE
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ARCHITECTURAL DESIGN

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COMFORT INN & SUITES - M1502
800 SOUTH HEWITT ROAD
YPSILANTI TOWNSHIP, MICHIGAN

DRAWN:	DESIGNED:	CHECKED:

SCALE: 1/4" = 1'-0"

FILE NAME: 22060_A504

JOB #: 22060

SHEET TITLE
KING SUITE
PLANS & ELEVATIONS
SHEET #
A.504



GENERAL NOTES - GUESTROOMS:

- REFER TO 1/8" BUILDING FLOOR PLANS FOR OVERALL GUESTROOM DIMENSIONS, UNO AND WINDOW OPENING LOCATION ON EXTERIOR WALLS.
- DIMENSIONS ARE FROM GRIDLINES AND FROM FACE OF STRUCTURE, UNO.
- DEMISING WALLS AND LOAD BEARING WALLS ARE CENTERED ON GRIDLINES UNLESS OTHERWISE DIMENSIONED.
- WHEN NOTED WITH "FOF" DIMENSIONS ARE FROM FACE OF FINISH.
- DOOR AND WINDOW DIMENSIONS WHERE OCCUR ARE FROM FACE OF STUD TO CENTERLINE OF OPENINGS.
- CENTER SPRINKLER HEADS IN SPACES.
- PROVIDE BLOCKING FOR WALL MOUNTED FIXTURES, ACCESSORIES, EQUIPMENT, AND WINDOW TREATMENTS, INCLUDING BUT NOT LIMITED TO TV, MIRROR, SAFE, & HEADBOARD. MAINTAIN INTEGRITY OF FIRE RATING WHERE ACCESSORIES ARE LOCATED IN RATED WALL.
- FOR TYPICAL MOUNTING HEIGHTS, REFER TO THE T000 AND A100 SERIES SHEETS.
- PLUMBING CHASES SHALL HAVE FIRESTOPS AT EACH FLOOR.
- MAINTAIN, BY CODE, MINIMUM REQUIRED SEPARATION BETWEEN GUESTROOMS AT PLUMBING CHASE WALLS.
- PROVIDE CARPET BASE TOE KICK UNDER PTAC UNITS.
- ALL ACCESSIBLE AND HEARING IMPAIRED UNITS TO HAVE STROBE & SOUND ACTIVATING DOORBELL WITH A 5 SECOND RING. PROVIDE DOORBELL ON/OFF SWITCH WITHIN GUESTROOMS, OR PER APPLICABLE CODE.
- CENTER LIGHT FIXTURES IN CEILING, UNO.
- ACC GUESTROOM ENTRY DOOR CLEARANCE WIDER THAN TYP GUESTROOM. SEE SHEET A601.
- GUESTROOM CEILING HEIGHTS, UNO.

LEVEL	GUESTROOM	BATHROOM
LEVEL 1	10' - 0"	8' - 0"
LEVEL 2+	8' - 0"	7' - 6"
- PROVIDE WALLS WITH AN STC RATINGS OF 60 MIN AT CONDITIONS WHERE GUESTROOM HEADBOARD WALL ADJOINS WITH PUBLIC SPACE OR WITH ADJACENT GUESTROOMS TV WALL.
- REFER TO THE A600 SERIES SHEETS FOR THE FINISH SCHEDULE.
- FOR ALL GUESTROOMS, PROVIDE A MINIMUM OF TWO POWER SOURCE OUTLETS THAT ARE OPEN AND ACCESSIBLE FROM THE BED(S), ADJACENT TO THE BED(S), FREE OF OBSTRUCTION, CLEARLY VISIBLE, AND DEDICATED TO THE GUESTS ON A COMPLIMENTARY BASIS. OUTLETS ALREADY BEING UTILIZED BY THE HOTEL FOR FF&E (LAMPS, RADIOS, ETC.) WHICH ARE NOT AVAILABLE FOR GUESTS USE WILL NOT MEET THIS REQUIREMENT.
- PROVIDE PTAC SLEEVE EXTENDING 16"-18" TO SHIELD DRAPERY FROM BILLOWING (TYPICAL).
- SEE ID SPECS FOR BED BASE, FRAME, MATTRESS & BEDDING.

GUESTROOM FLOORING TRANSITION SCHEDULE:

ITEM #	DESCRIPTION	REMARKS
TH-001	LVT TO CARPET (AT ENTRY DOOR TO CORRIDOR)	
TH-001	CARPET TO CARPET (AT ENTRY DOOR TO CORRIDOR)	
TH-002	LVT TO TILE (AT BATHROOM DOOR)	
TH-002	CARPET TO TILE (AT BATHROOM DOOR)	
TH-003	LVT TO CARPET	

GENERAL NOTES - ELECTRICAL:

- OUTLETS TO BE MOUNTED AT 18" AFF, UNO.
- CENTER VANITY FIXTURES OVER MIRRORS WHERE OCCURS.
- PROVIDE HARD-WIRED CONNECTION FOR TV.
- SPACING OF CORRIDOR LIGHTS SHALL BE BASED ON 20 FOOTCANDLES, MINIMUM, MAINTAINED.
- PROVIDE BATTERY BACKED-UP EXIT LIGHTS.
- CIRCUIT EGRESS AND EXIT LIGHTS INDEPENDENT FROM NON-EMERGENCY LIGHTS FOR REDUNDANCY.
- CONTROL ALL EXTERIOR LIGHTS BY PHOTOCELL.
- PROVIDE INTERNET ACCESS AS REQUIRED BY CHOICE HOTELS
- PROVIDE POWER AND PHOTOCELL TO INTERNALLY ILLUMINATED CHANNEL LETTERS AND LOGO PER SIGNAGE MANUFACTURER'S REQUIREMENTS.
- THE FOLLOWING FIXTURES ARE CORDED: DIVIDER SCENCE, DIVIDER CABINET, HEADBOARD LIGHT, HEADBOARD SCENCES, HEADBOARD POWERPACK, MEDIA PANEL, FLEX STATION, AMENITY TOWER.
- IN PUBLIC SPACE PROVIDE ZONE LIGHTING CONTROLS VIA GREENEATE LITEKEEPER LIGHTING CONTROL RELAY PANEL, LIGHT SWITCH BANK LOCATED IN WORKROOM WITH DIMMABLE FEATURE
- COORDINATE LOBBY ELECTRICAL LAYOUT WITH FF&E FOR PLAN - OPTION C

GENERAL NOTES - FINISHES:

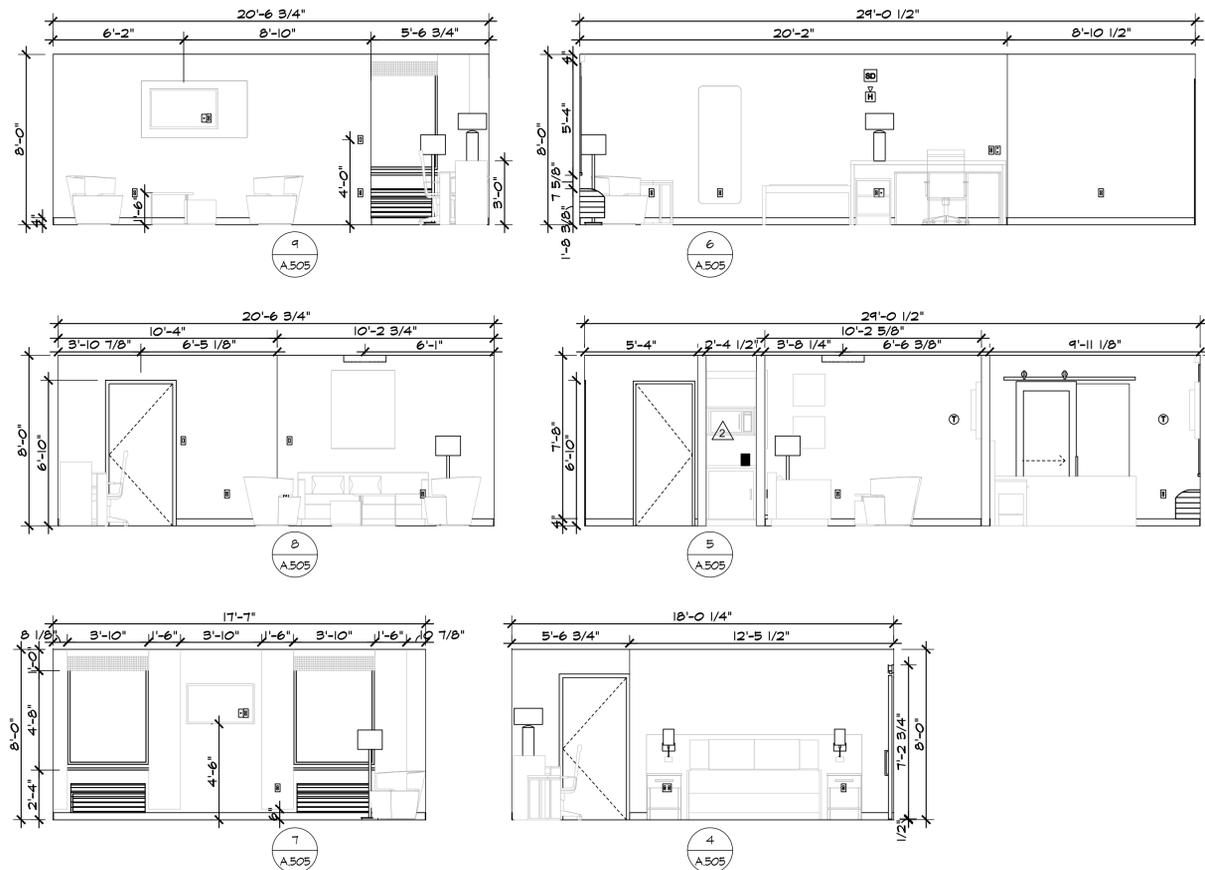
- INSTALL ALL FINISHES PER MANUFACTURERS INSTRUCTIONS.
 - PREPARE ALL FLOOR AND WALL SURFACES FOR NEW FINISHES. PROVIDE FLOOR LEVELING AS REQUIRED TO INSURE PROPER INSTALLATION OF PRODUCT(S).
 - ALL FLOORING MATERIALS TRANSITIONS SHALL OCCUR AT THE CENTERLINE OF DOORS SEPARATING ROOMS, UNO. DOOR THRESHOLD REQUIREMENTS TO BE COORDINATED WITH DOOR HARDWARE SPECIFICATIONS.
 - FINISHES IN ACCESSORY SPACES TO MATCH ADJACENT SPACES, UNO.
- NOTE: ALL GUESTROOM**
- WALL PAINT IS PT-001 OR OPTIONAL VYL-001 UNO ON INTERIOR ELEVATIONS.
 - CEILING PAINT IS PT-003 UNO ON ENLARGED RCP.
 - DOOR TRIM PAINT IS PT-002 UNO ON INTERIOR GUESTROOM DOORS.
 - ENTRY DOOR INSIDE STAINED TO MATCH CASEGOODS ST-003.
 - BATH DOOR AND BATH DOOR TRIM PAINT IS PT-002 UNO ON INTERIOR ELEVATIONS.
 - WALL BASE IS RB-001 UNO ON PLANS OR INTERIOR ELEVATIONS.
 - ALL ACCESSIBLE ROOMS TO PROVIDE REMOTELY SWITCHED MECHANIZED WINDOW TREATMENTS.
 - CARPET PAD CPAD-001 TO BE USED IF GPT-001 IS INSTALLED.

- NOTE: ALL GUESTROOM**
- CEILING PAINT IS PT-003 UNO ON ENLARGED RCP.
 - WHERE ADJACENT CEILINGS ARE AT DIFFERENT HEIGHTS, PAINT THE ADJOINING SOFFIT TO MATCH THE COLOR OF THE LOWER CEILING.

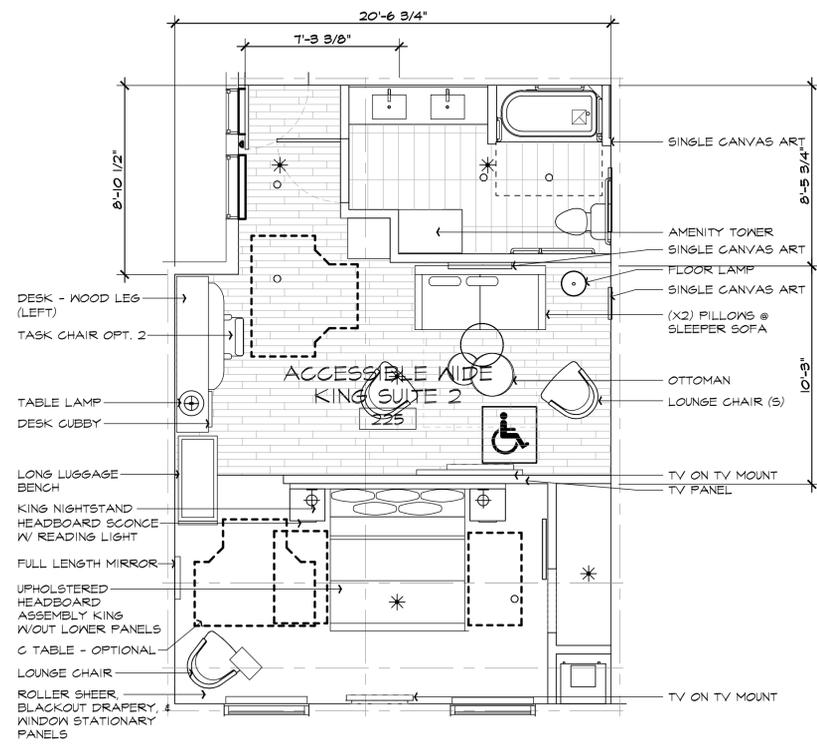
- NOTE: ALL GUESTROOM**
- SEE THE A550 SERIES FOR BATHROOM DIMENSIONS

GENERAL NOTES - FF&E:

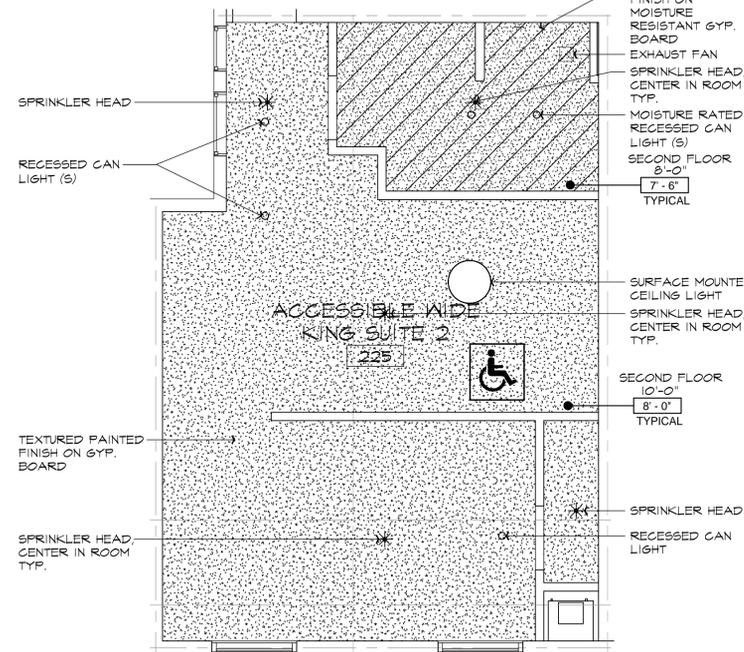
- FOR TYPICAL MOUNTING HEIGHT, REFER TO THE T000 AND A100 SERIES SHEETS.
- PROVIDE BLOCKING FOR WALL MOUNTED FIXTURES, ACCESSORIES & EQUIPMENT.
- REFER TO THE A600 SERIES SHEETS FOR THE FINISH SCHEDULE.
- FOR FINISH PRODUCT DETAILS, REFER TO FF&E SPECIFICATIONS MANUAL.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR OPTIONAL FF&E FURNITURE AND FINISHES.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR LEFT-HAND AND RIGHT-HAND ROOM DEFINITIONS.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR LEFT-HAND AND RIGHT-HAND ROOM DEFINITIONS.
- LEFT-HAND ROOMS TYPICALLY RECEIVE LEFT-HAND FF&E ITEMS AND RIGHT-HAND ROOMS TYPICALLY RECEIVE RIGHT-HAND ITEMS, HOWEVER ANOMOLIES TO THIS ASSUMPTION MAY OCCUR. VERIFY EACH ROOM TYPE FOR ANOMOLIES TO THIS ASSUMPTION.



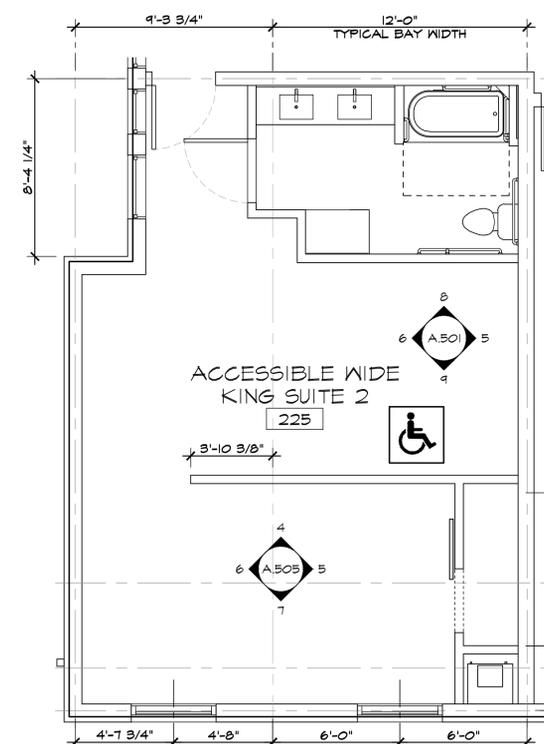
ACC. WIDE KING SUITE - ELEVATIONS
SCALE: 1/4" = 1'-0"



ACC. WIDE KING SUITE - FF&E PLAN
SCALE: 1/4" = 1'-0"



ACC. WIDE KING SUITE - REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



ACC. WIDE KING SUITE - ARCHITECTURAL PLAN
SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

ISSUED FOR	DATE
REVIEW	2-19-2022
PLANNING REVIEW	1-18-2023
PLANNING REVIEW	4-21-2023

ARCHITECTURAL DESIGN

RESIDENTIAL
COMMERCIAL
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G.A.V. ASSOCIATES, INC
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FARMINGTON, MICHIGAN 48338
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PROPOSED NEW HOTEL FOR CHOICE HOTELS:
COMFORT INN & SUITES - M1502
800 SOUTH HEWITT ROAD
YPSILANTI TOWNSHIP, MICHIGAN

DRAWN:	DESIGNED:	CHECKED:

SCALE: 1/4" = 1'-0"
FILE NAME: 22060_A505
JOB #: 22060
SHEET TITLE
ACC. WIDE KING SUITE PLANS & ELEVATIONS
SHEET #
A.505

GENERAL NOTES - GUESTROOMS:

- REFER TO 1/8" BUILDING FLOOR PLANS FOR OVERALL GUESTROOM DIMENSIONS, UNO AND WINDOW OPENING LOCATION ON EXTERIOR WALLS.
- DIMENSIONS ARE FROM GRIDLINES AND FROM FACE OF STRUCTURE, UNO.
- DEMISING WALLS AND LOAD BEARING WALLS ARE CENTERED ON GRIDLINES UNLESS OTHERWISE DIMENSIONED.
- WHEN NOTED WITH "FOF" DIMENSIONS ARE FROM FACE OF FINISH.
- DOOR AND WINDOW DIMENSIONS WHERE OCCUR ARE FROM FACE OF STUD TO CENTERLINE OF OPENINGS.
- CENTER SPRINKLER HEADS IN SPACES.
- PROVIDE BLOCKING FOR WALL MOUNTED FIXTURES, ACCESSORIES, EQUIPMENT, AND WINDOW TREATMENTS, INCLUDING BUT NOT LIMITED TO TV, MIRROR, SAFE, & HEADBOARD. MAINTAIN INTEGRITY OF FIRE RATING WHERE ACCESSORIES ARE LOCATED IN RATED WALL.
- FOR TYPICAL MOUNTING HEIGHTS, REFER TO THE 2000 AND A200 SERIES SHEETS.
- PLUMBING CHASES SHALL HAVE FIRESTOPS AT EACH FLOOR.
- MAINTAIN, BY CODE, MINIMUM REQUIRED SEPARATION BETWEEN GUESTROOMS AT PLUMBING CHASE WALLS.
- PROVIDE CARPET BASE TOE KICK UNDER PTAC UNITS.
- ALL ACCESSIBLE AND HEARING IMPAIRED UNITS TO HAVE STROBE & SOUND ACTIVATING DOORBELL WITH A 5 SECOND RING. PROVIDE DOORBELL ON/OFF SWITCH WITHIN GUESTROOMS, OR PER APPLICABLE CODE.
- CENTER LIGHT FIXTURES IN CEILING, UNO.
- ACC GUESTROOM ENTRY DOOR CLEARANCE WIDER THAN TYP GUESTROOM. SEE SHEET A601.
- GUESTROOM CEILING HEIGHTS, UNO:

LEVEL	GUESTROOM	BATHROOM
LEVEL 1	10' - 0"	8' - 0"
LEVEL 2+	8' - 0"	7' - 6"
- PROVIDE WALLS WITH AN STC RATINGS OF 60 MIN AT CONDITIONS WHERE GUESTROOM HEADBOARD WALL ADJOINS WITH PUBLIC SPACE OR WITH ADJACENT GUESTROOMS TV WALL.
- REFER TO THE A600 SERIES SHEETS FOR THE FINISH SCHEDULE.
- FOR ALL GUESTROOMS, PROVIDE A MINIMUM OF TWO POWER SOURCE OUTLETS THAT ARE OPEN AND ACCESSIBLE FROM THE BED(S), ADJACENT TO THE BED(S), FREE OF OBSTRUCTION, CLEARLY VISIBLE, AND DEDICATED TO THE GUESTS ON A COMPLIMENTARY BASIS. OUTLETS ALREADY BEING UTILIZED BY THE HOTEL FOR FF&E (LAMPS, RADIOS, ETC.) WHICH ARE NOT AVAILABLE FOR GUESTS USE WILL NOT MEET THIS REQUIREMENT.
- PROVIDE PTAC SLEEVE EXTENDING 16"-18" TO SHIELD DRAPERY FROM BILLOWING (TYPICAL).
- SEE ID SPECS FOR BED BASE, FRAME, MATTRESS & BEDDING.

GENERAL NOTES - ELECTRICAL:

- OUTLETS TO BE MOUNTED AT 18" AFF, UNO.
- CENTER VANITY FIXTURES OVER MIRRORS WHERE OCCURS.
- PROVIDE HARD-WIRED CONNECTION FOR TV.
- SPACING OF CORRIDOR LIGHTS SHALL BE BASED ON 20 FOOTCANDLES, MINIMUM, MAINTAINED.
- PROVIDE BATTERY BACKED-UP EXIT LIGHTS.
- CIRCUIT EGRESS AND EXIT LIGHTS INDEPENDENT FROM NON-EMERGENCY LIGHTS FOR REDUNDANCY.
- CONTROL ALL EXTERIOR LIGHTS BY PHOTOCCELL.
- PROVIDE INTERNET ACCESS AS REQUIRED BY CHOICE HOTELS
- PROVIDE POWER AND PHOTOCCELL TO INTERNALLY ILLUMINATED CHANNEL LETTERS AND LOGO PER SIGNAGE MANUFACTURER'S REQUIREMENTS.
- THE FOLLOWING FIXTURES ARE CORDED; DIVIDER SCENCE, DIVIDER CABINET, HEADBOARD LIGHT, HEADBOARD SCENCES, HEADBOARD POWERPACK, MEDIA PANEL, FLEX STATION, AMENITY TOWER.
- IN PUBLIC SPACE PROVIDE ZONE LIGHTING CONTROLS VIA GREENGATE LITEKEEPER LIGHTING CONTROL RELAY PANEL, LIGHT SWITCH BANK LOCATED IN WORKROOM WITH DIMMABLE FEATURE
- COORDINATE LOBBY ELECTRICAL LAYOUT WITH FF&E FOR PLAN - OPTION C

GENERAL NOTES - FF&E:

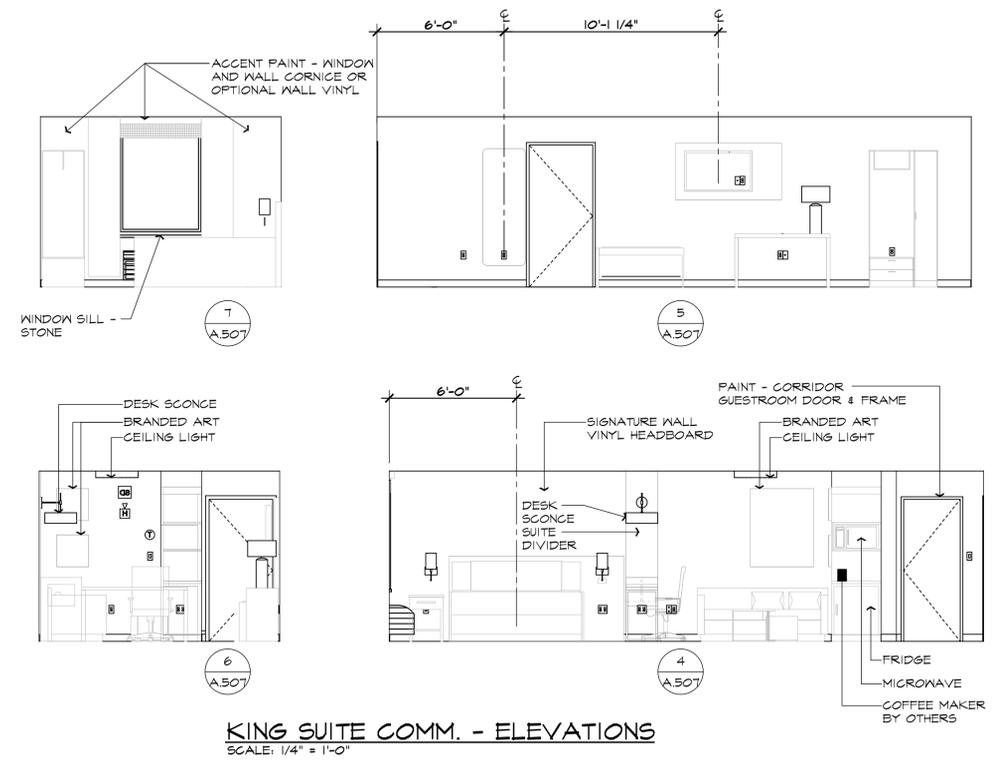
- FOR TYPICAL MOUNTING HEIGHT, REFER TO THE 2000 AND A200 SERIES SHEETS.
- PROVIDE BLOCKING FOR WALL MOUNTED FIXTURES, ACCESSORIES & EQUIPMENT.
- REFER TO THE A600 SERIES SHEETS FOR THE FINISH SCHEDULE.
- FOR FINISH PRODUCT DETAILS, REFER TO FF&E SPECIFICATIONS MANUAL.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR OPTIONAL FF&E FURNITURE AND FINISHES.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR RIGHT-HAND AND LEFT-HAND FF&E SPECIFICATIONS.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR LEFT-HAND AND RIGHT-HAND ROOM DEFINITIONS.
- LEFT-HAND ROOMS TYPICALLY RECEIVE LEFT-HAND FF&E ITEMS AND RIGHT-HAND ROOMS TYPICALLY RECEIVE RIGHT-HAND ITEMS, HOWEVER, ANOMOLIES TO THIS ASSUMPTION MAY OCCUR. VERIFY EACH ROOM TYPE FOR ANOMOLIES TO THIS ASSUMPTION.

GENERAL NOTES - FINISHES:

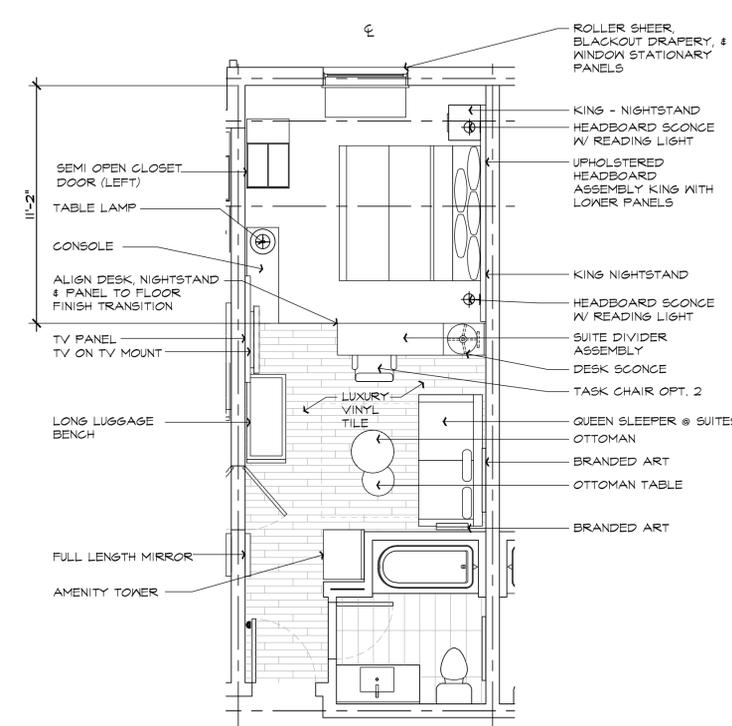
- INSTALL ALL FINISHES PER MANUFACTURERS INSTRUCTIONS.
 - PREPARE ALL FLOOR AND WALL SURFACES FOR NEW FINISHES. PROVIDE FLOOR LEVELING AS REQUIRED TO INSURE PROPER INSTALLATION OF PRODUCT(S).
 - ALL FLOORING MATERIALS TRANSITIONS SHALL OCCUR AT THE CENTERLINE OF DOORS SEPARATING ROOMS, UNO. DOOR THRESHOLD REQUIREMENTS TO BE COORDINATED WITH DOOR HARDWARE SPECIFICATIONS.
 - FINISHES IN ACCESSORY SPACES TO MATCH ADJACENT SPACES, UNO.
- NOTE: ALL GUESTROOM**
- WALL PAINT IS PT-001 OR OPTIONAL VYL-001 UNO ON INTERIOR ELEVATIONS.
 - CEILING PAINT IS FT-003 UNO ON ENLARGED RCP.
 - DOOR TRIM PAINT IS FT-002 UNO ON INTERIOR GUESTROOM DOORS.
 - ENTRY DOOR INSIDE STAINED TO MATCH CASEGOODS ST-003.
 - BATH DOOR AND BATH DOOR TRIM PAINT IS FT-002 UNO ON INTERIOR ELEVATIONS.
 - WALL BASE IS RB-001 UNO ON PLANS OR INTERIOR ELEVATIONS.
 - ALL ACCESSIBLE ROOMS TO PROVIDE REMOTELY SWITCHED MECHANIZED WINDOW TREATMENTS.
 - CARPET PAD CPAD-001 TO BE USED IF CPT-001 IS INSTALLED.
- NOTE: ALL GUESTROOM**
- CEILING PAINT IS FT-003 UNO ON ENLARGED RCP.
 - WHERE ADJACENT CEILINGS ARE AT DIFFERENT HEIGHTS, PAINT THE ADJOINING SOFFIT TO MATCH THE COLOR OF THE LOWER CEILING.
- NOTE: ALL GUESTROOM**
- SEE THE A550 SERIES FOR BATHROOM DIMENSIONS

GUESTROOM FLOORING TRANSITION SCHEDULE:

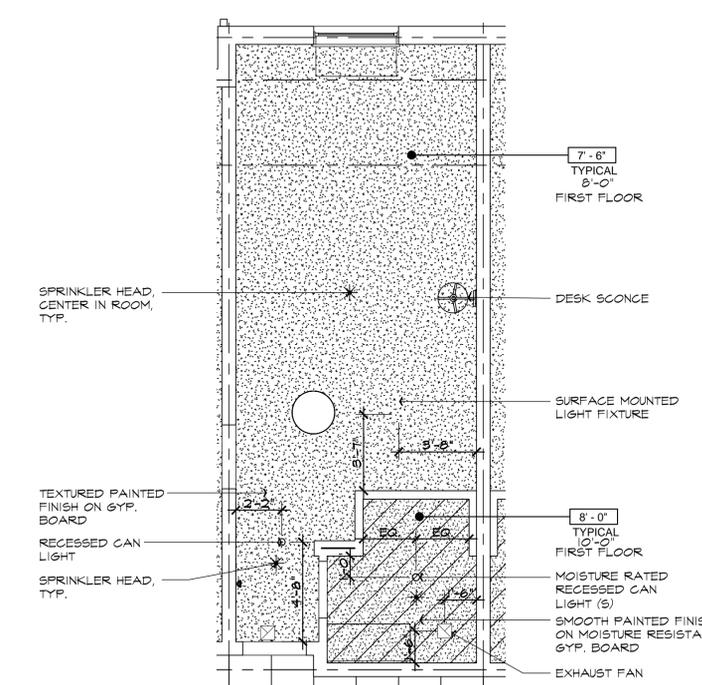
ITEM #	DESCRIPTION	REMARKS
TH-001	LVT TO CARPET (AT ENTRY DOOR TO CORRIDOR)	
TH-001	CARPET TO CARPET (AT ENTRY DOOR TO CORRIDOR)	
TH-002	LVT TO TILE (AT BATHROOM DOOR)	
TH-002	CARPET TO TILE (AT BATHROOM DOOR)	
TH-003	LVT TO CARPET	



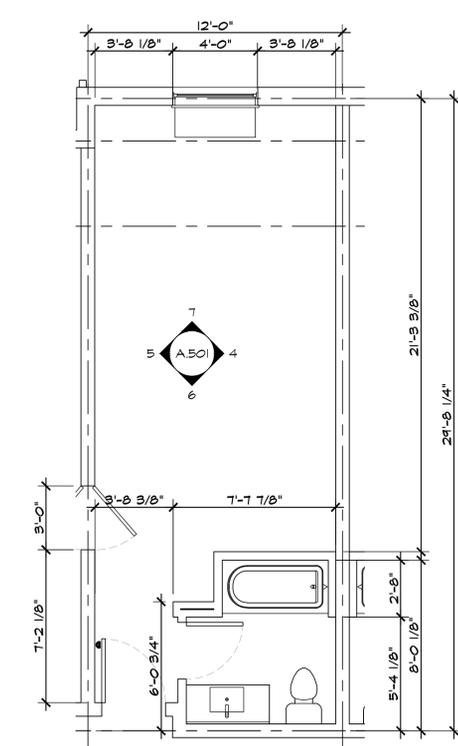
KING SUITE COMM. - ELEVATIONS
SCALE: 1/4" = 1'-0"



3 KING SUITE COMM. - FF&E PLAN
SCALE: 1/4" = 1'-0"



2 KING SUITE COMM. - REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



1 KING SUITE COMM. - ARCHITECTURAL PLAN
SCALE: 1/4" = 1'-0"

ISSUED FOR	DATE
REVIEW	2-19-2022
PLANNING REVIEW	1-18-2023
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ARCHITECTURAL DESIGN

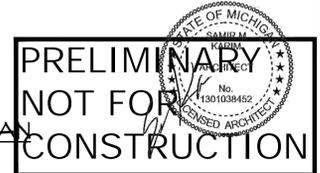
RESIDENTIAL
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PROPOSED NEW HOTEL FOR CHOICE HOTELS:
COMFORT INN & SUITES - M1502
800 SOUTH HEWITT ROAD
YPSILANTI TOWNSHIP, MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
SCALE: 1/4" = 1'-0"		
FILE NAME: 22060_A.501		
JOB #: 22060		
SHEET TITLE		
KING SUITE COMMUNICATING ROOM PLANS & ELEVATIONS		
SHEET #		
A.501		



GENERAL NOTES - GUESTROOMS:

- REFER TO 1/8" BUILDING FLOOR PLANS FOR OVERALL GUESTROOM DIMENSIONS, UNO AND WINDOW OPENING LOCATION ON EXTERIOR WALLS.
- DIMENSIONS ARE FROM GRIDLINES AND FROM FACE OF STRUCTURE, UNO.
- DEMISING WALLS AND LOAD BEARING WALLS ARE CENTERED ON GRIDLINES UNLESS OTHERWISE DIMENSIONED.
- WHEN NOTED WITH "FOF" DIMENSIONS ARE FROM FACE OF FINISH.
- DOOR AND WINDOW DIMENSIONS WHERE OCCUR ARE FROM FACE OF STUD TO CENTERLINE OF OPENINGS.
- CENTER SPRINKLER HEADS IN SPACES.
- PROVIDE BLOCKING FOR WALL MOUNTED FIXTURES, ACCESSORIES, EQUIPMENT, AND WINDOW TREATMENTS, INCLUDING BUT NOT LIMITED TO TV, MIRROR, SAFE, & HEADBOARD. MAINTAIN INTEGRITY OF FIRE RATING WHERE ACCESSORIES ARE LOCATED IN RATED WALL.
- FOR TYPICAL MOUNTING HEIGHTS, REFER TO THE T000 AND A100 SERIES SHEETS.
- PLUMBING CHASES SHALL HAVE FIRESTOPS AT EACH FLOOR.
- MAINTAIN, BY CODE, MINIMUM REQUIRED SEPARATION BETWEEN GUESTROOMS AT PLUMBING CHASE WALLS.
- PROVIDE CARPET BASE TOE KICK UNDER PTAC UNITS.
- ALL ACCESSIBLE AND HEARING IMPAIRED UNITS TO HAVE STROBE & SOUND ACTIVATING DOORBELL WITH A 5 SECOND RING. PROVIDE DOORBELL ON/OFF SWITCH WITHIN GUESTROOMS, OR PER APPLICABLE CODE.
- CENTER LIGHT FIXTURES IN CEILING, UNO.
- ACC GUESTROOM ENTRY DOOR CLEARANCE WIDER THAN TYP GUESTROOM. SEE SHEET A601.
- GUESTROOM CEILING HEIGHTS, UNO:

LEVEL	GUESTROOM	BATHROOM
LEVEL 1	10' - 0"	8' - 0"
LEVEL 2+	8' - 0"	7' - 6"
- PROVIDE WALLS WITH AN STC RATINGS OF 60 MIN AT CONDITIONS WHERE GUESTROOM HEADBOARD WALL ADJOINS WITH PUBLIC SPACE OR WITH ADJACENT GUESTROOMS TV WALL.
- REFER TO THE A600 SERIES SHEETS FOR THE FINISH SCHEDULE.
- FOR ALL GUESTROOMS, PROVIDE A MINIMUM OF TWO POWER SOURCE OUTLETS THAT ARE OPEN AND ACCESSIBLE FROM THE BED(S), ADJACENT TO THE BED(S), FREE OF OBSTRUCTION, CLEARLY VISIBLE, AND DEDICATED TO THE GUESTS ON A COMPLIMENTARY BASIS. OUTLETS ALREADY BEING UTILIZED BY THE HOTEL FOR FF&E (LAMPS, RADIOS, ETC.) WHICH ARE NOT AVAILABLE FOR GUESTS USE WILL NOT MEET THIS REQUIREMENT.
- PROVIDE PTAC SLEEVE EXTENDING 16"x18" TO SHIELD DRAPERY FROM BILLOWING (TYPICAL).
- SEE ID SPECS FOR BED BASE, FRAME, MATTRESS & BEDDING.

GENERAL NOTES - ELECTRICAL:

- OUTLETS TO BE MOUNTED AT 18" AFF, UNO.
- CENTER VANITY FIXTURES OVER MIRRORS WHERE OCCURS.
- PROVIDE HARD-WIRED CONNECTION FOR TV.
- SPACING OF CORRIDOR LIGHTS SHALL BE BASED ON 20 FOOTCANDLES, MINIMUM, MAINTAINED.
- PROVIDE BATTERY BACKED-UP EXIT LIGHTS.
- CIRCUIT EGRESS AND EXIT LIGHTS INDEPENDENT FROM NON-EMERGENCY LIGHTS FOR REDUNDANCY.
- CONTROL ALL EXTERIOR LIGHTS BY PHOTOCCELL.
- PROVIDE INTERNET ACCESS AS REQUIRED BY CHOICE HOTELS
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- THE FOLLOWING FIXTURES ARE CORDED: DIVIDER SCENCE, DIVIDER CABINET, HEADBOARD LIGHT, HEADBOARD SCENCES, HEADBOARD POWERPACK, MEDIA PANEL, FLEX STATION, AMENITY TOWER.
- IN PUBLIC SPACE PROVIDE ZONE LIGHTING CONTROLS VIA GREENSATE LITEKEEPER LIGHTING CONTROL RELAY PANEL, LIGHT SWITCH BANK LOCATED IN WORKROOM WITH DIMMABLE FEATURE
- COORDINATE LOBBY ELECTRICAL LAYOUT WITH FF&E FOR PLAN - OPTION C

GENERAL NOTES - FF&E:

- FOR TYPICAL MOUNTING HEIGHT, REFER TO THE T000 AND A100 SERIES SHEETS.
- PROVIDE BLOCKING FOR WALL MOUNTED FIXTURES, ACCESSORIES & EQUIPMENT.
- REFER TO THE A600 SERIES SHEETS FOR THE FINISH SCHEDULE.
- FOR FINISH PRODUCT DETAILS, REFER TO FF&E SPECIFICATIONS MANUAL.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR OPTIONAL FF&E FURNITURE AND FINISHES.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR RIGHT-HAND AND LEFT-HAND FF&E SPECIFICATIONS.
- REFER TO FF&E SPECIFICATIONS MANUAL FOR LEFT-HAND AND RIGHT-HAND ROOM DEFINITIONS.
- LEFT-HAND ROOMS TYPICALLY RECEIVE LEFT-HAND FF&E ITEMS AND RIGHT-HAND ROOMS TYPICALLY RECEIVE RIGHT-HAND ITEMS, HOWEVER, ANOMOLIES TO THIS ASSUMPTION MAY OCCUR. VERIFY EACH ROOM TYPE FOR ANOMOLIES TO THIS ASSUMPTION.

GENERAL NOTES - FINISHES:

- INSTALL ALL FINISHES PER MANUFACTURERS INSTRUCTIONS.
- PREPARE ALL FLOOR AND WALL SURFACES FOR NEW FINISHES. PROVIDE FLOOR LEVELING AS REQUIRED TO INSURE PROPER INSTALLATION OF PRODUCT(S).
- ALL FLOORING MATERIALS TRANSITIONS SHALL OCCUR AT THE CENTERLINE OF DOORS SEPARATING ROOMS, UNO. DOOR THRESHOLD REQUIREMENTS TO BE COORDINATED WITH DOOR HARDWARE SPECIFICATIONS.
- FINISHES IN ACCESSORY SPACES TO MATCH ADJACENT SPACES, UNO.

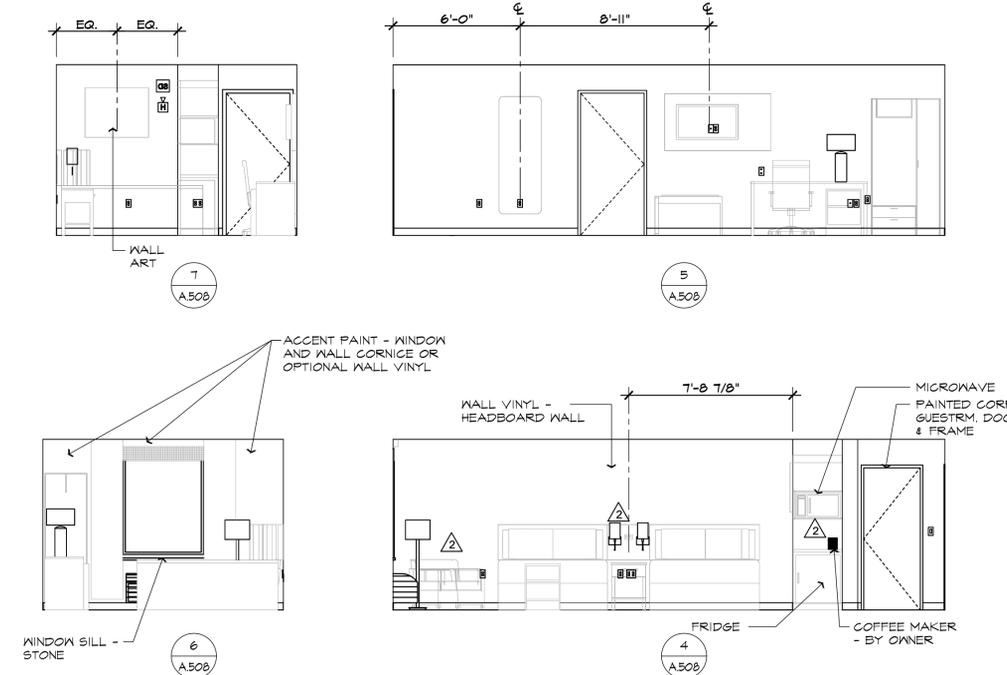
- NOTE: ALL GUESTROOM**
- WALL PAINT IS PT-001 OR OPTIONAL VYL-001 UNO ON INTERIOR ELEVATIONS.
 - CEILING PAINT IS PT-003 UNO ON ENLARGED RCP.
 - DOOR TRIM PAINT IS PT-002 UNO ON INTERIOR GUESTROOM DOORS.
 - ENTRY DOOR INSIDE STAINED TO MATCH CASEGOODS ST-003.
 - BATH DOOR AND BATH DOOR TRIM PAINT IS PT-002 UNO ON INTERIOR ELEVATIONS.
 - WALL BASE IS RB-001 UNO ON PLANS OR INTERIOR ELEVATIONS.
 - ALL ACCESSIBLE ROOMS TO PROVIDE REMOTELY SWITCHED MECHANIZED WINDOW TREATMENTS
 - CARPET PAD CPAD-001 TO BE USED IF CPT-001 IS INSTALLED.

- NOTE: ALL GUESTROOM**
- CEILING PAINT IS PT-003 UNO ON ENLARGED RCP.
 - WHERE ADJACENT CEILING ARE AT DIFFERENT HEIGHTS, PAINT THE ADJOINING SOFFIT TO MATCH THE COLOR OF THE LOWER CEILING.

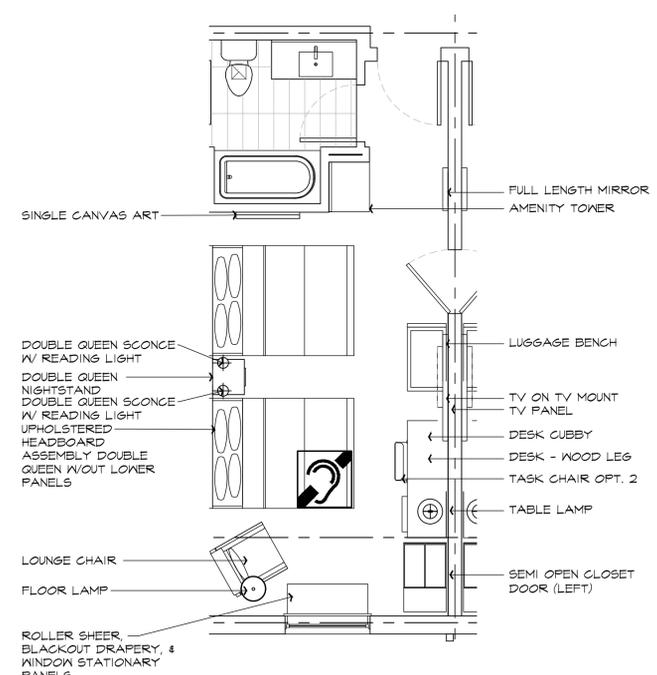
- NOTE: ALL GUESTROOM**
- SEE THE A550 SERIES FOR BATHROOM DIMENSIONS

GUESTROOM FLOORING TRANSITION SCHEDULE:

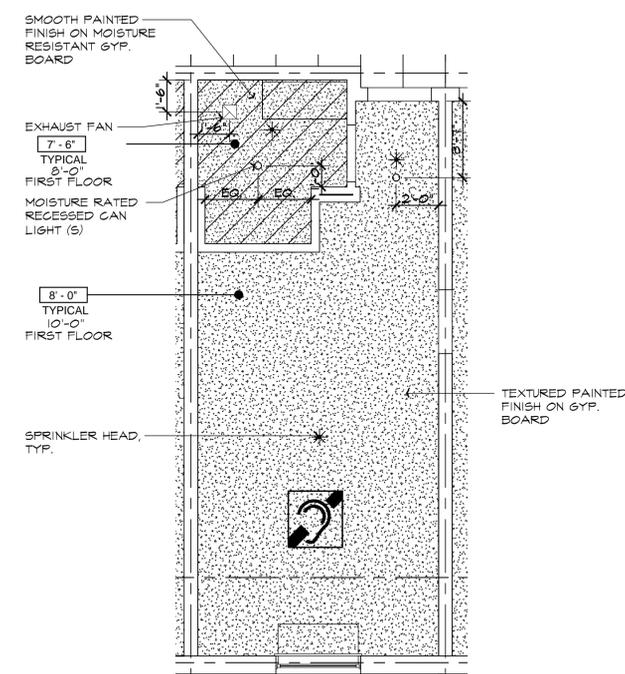
ITEM #	DESCRIPTION	REMARKS
TH-001	LVT TO CARPET (AT ENTRY DOOR TO CORRIDOR)	
TH-001	CARPET TO CARPET (AT ENTRY DOOR TO CORRIDOR)	
TH-002	LVT TO TILE (AT BATHROOM DOOR)	
TH-002	CARPET TO TILE (AT BATHROOM DOOR)	
TH-003	LVT TO CARPET	



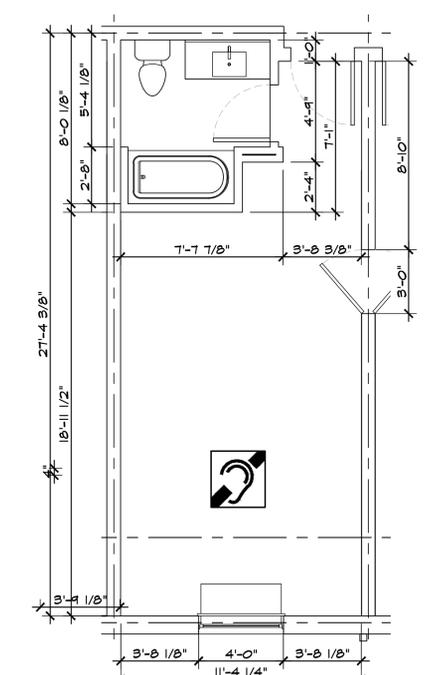
DOUBLE QUEEN COMM. - ELEVATIONS
SCALE: 1/4" = 1'-0"



DOUBLE QUEEN COMM. - FF&E PLAN
SCALE: 1/4" = 1'-0"



DOUBLE QUEEN COMM. - REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



DOUBLE QUEEN COMM. - ARCHITECTURAL PLAN
SCALE: 1/4" = 1'-0"

PRELIMINARY
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ISSUED FOR	DATE
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HILLSDALE, MICHIGAN 49242
MR. TAPAN PATEL
PHONE: 517-610-2417

PROPOSED NEW HOTEL FOR CHOICE HOTELS:
COMFORT INN & SUITES - M1502
800 SOUTH HEWITT ROAD
YPSILANTI TOWNSHIP, MICHIGAN

DRAWN:	DESIGNED:	CHECKED:

SCALE: 1/4" = 1'-0"
FILE NAME: 22060_A.508
JOB #: 22060
SHEET TITLE: DOUBLE QUEEN COMMUNICATING GUESTROOM PLANS & ELEVATIONS SHEET #
A.508

ISSUED FOR	DATE
REVIEW	2-11-2022
PLANNING REVIEW	1-18-2023
PLANNING REVIEW	4-21-2023

ARCHITECTURAL DESIGN

RESIDENTIAL
COMMERCIAL
INDUSTRIAL

G.A.V. ASSOCIATES, INC
2401 ORCHARD LAKE RD. STE. 100
FARMINGTON, MICHIGAN 48338
PH: (248) 985-9101
WEB: WWW.GAVASSOCIATES.COM



TAP RESOURCES
3241 CARLETON ROAD
HILLSDALE, MICHIGAN 49242
MR. TAPAN PATEL
phone: 517-610-2417

PROPOSED NEW HOTEL FOR CHOICE HOTELS:
COMFORT INN & SUITES - M1502
800 SOUTH HEWITT ROAD
YPSILANTI TOWNSHIP, MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
DG	DG	DG

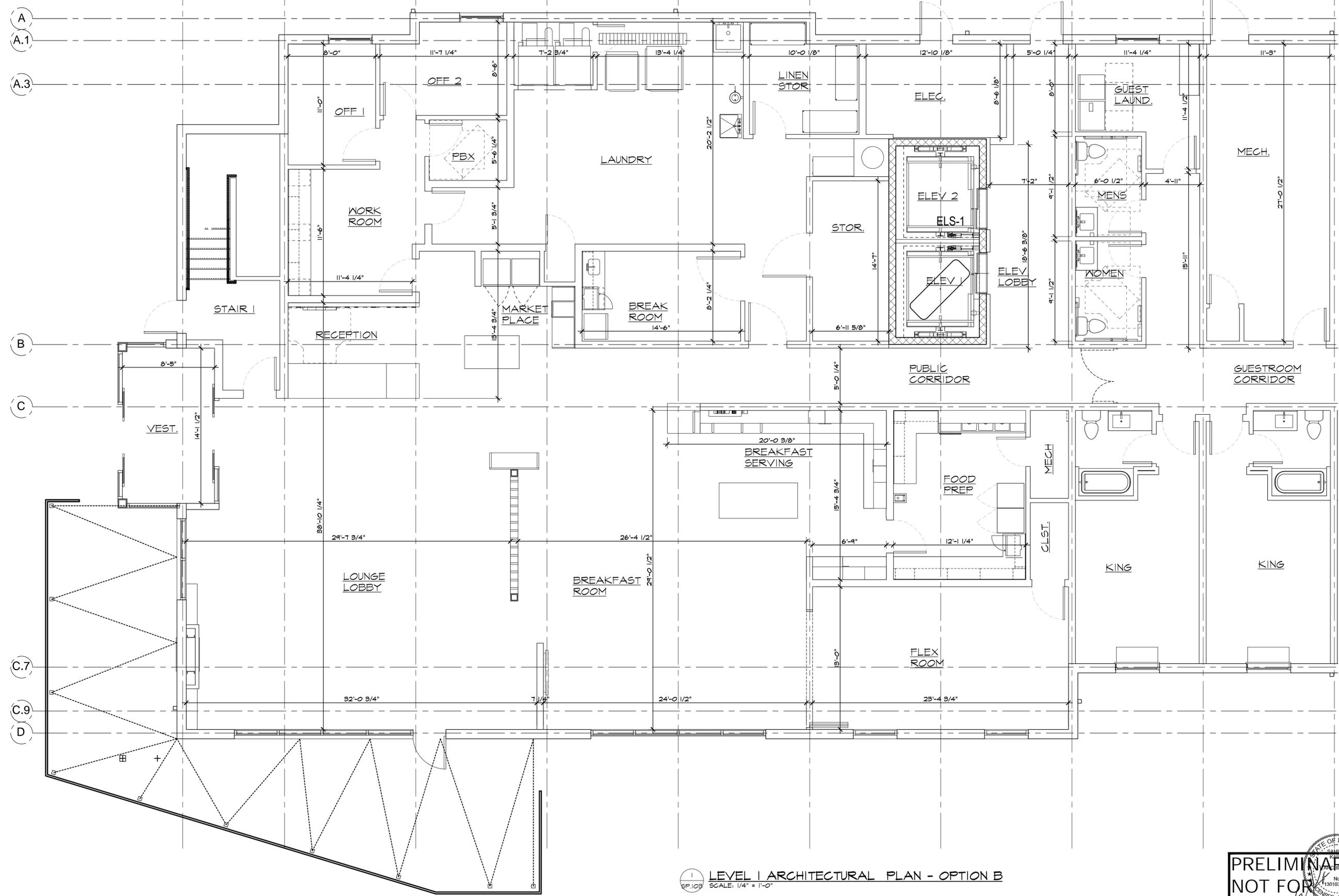
SCALE: 1/4" = 1'-0"

FILE NAME: 22060_A.551

JOB #: 22060

SHEET TITLE
PUBLIC SPACE-
ENLARGED
FLOOR PLAN
SHEET #

A.551



1 LEVEL I ARCHITECTURAL PLAN - OPTION B
SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR
CONSTRUCTION



ISSUED FOR	DATE
PLANNING REVIEW	4-21-2023

ARCHITECTURAL DESIGN

RESIDENTIAL
COMMERCIAL
INDUSTRIAL

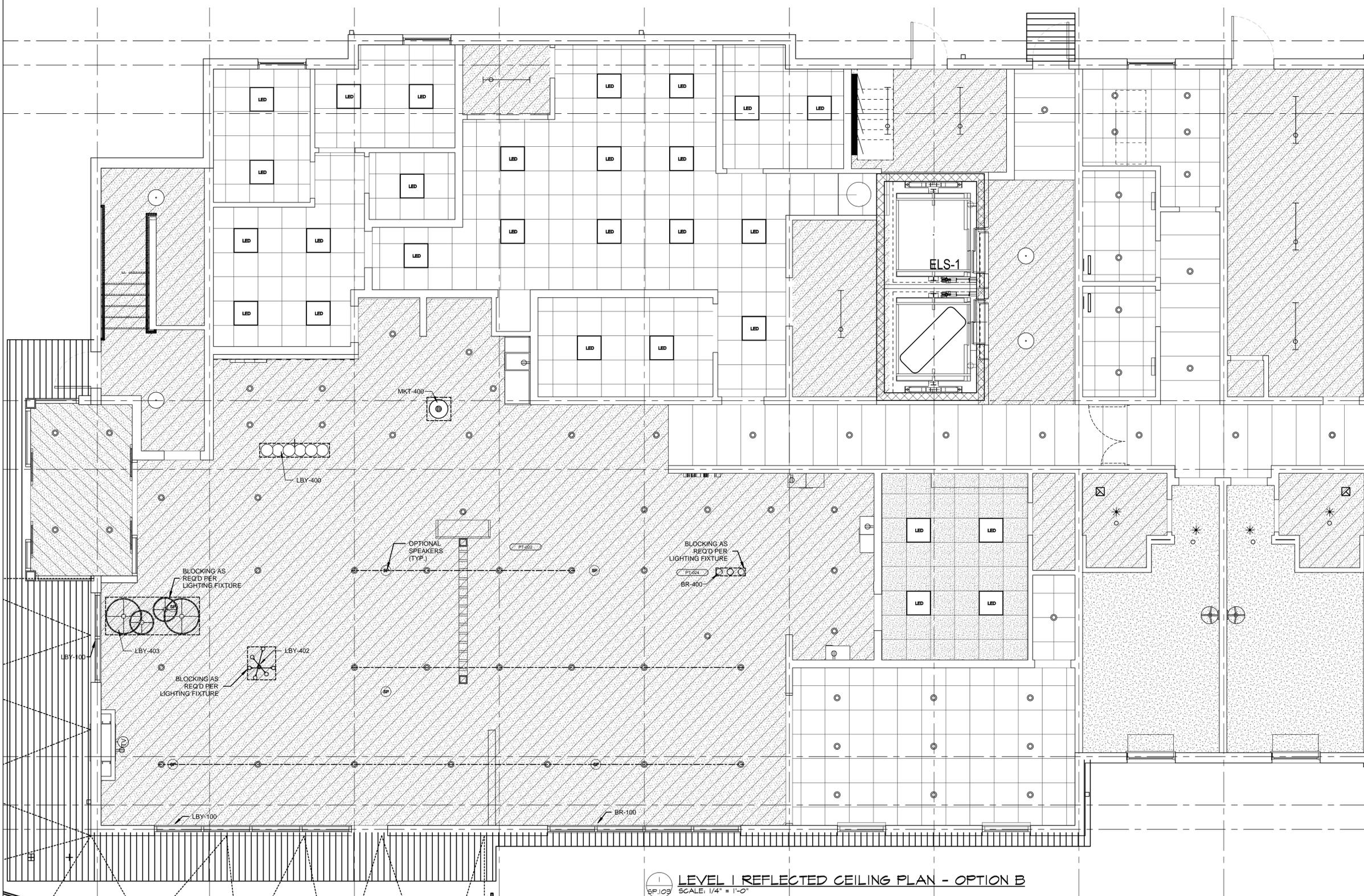
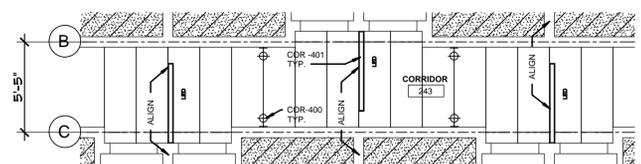
G.A.V. ASSOCIATES, INC
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FARMINGTON, MICHIGAN 48338
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MR. TAPAN PATEL
phone: 517-610-2417

PROPOSED NEW HOTEL FOR CHOICE HOTELS:
COMFORT INN & SUITES - M1502
800 SOUTH HEWITT ROAD
YPSILANTI TOWNSHIP, MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
SCALE: 1/32" = 1'-0"		
FILE NAME: 22060_A.552		
JOB #: 22060		
SHEET TITLE PUBLIC SPACE- ENLARGED RCP		
SHEET # A.552		



RCP LEGEND:

	ACT - 2'-0" x 6'-0" OR 2'-0" x 8'-0" (CORRIDORS - TIBULAR)		RETURN DIFFUSER
	ACT - 2'-0" x 2'-0" (BACK OF HOUSE - SQUARE EDGE)		SUPPLY
	ACT - 2'-0" x 2'-0" (BACK OF HOUSE - SQUARE EDGE)		EXHAUST FAN
	GYPSUM BOARD SMOOTH FINISH		SPRINKLER HEAD CENTER IF LOCATED IN ACT TILE
	GYPSUM BOARD TEXTURED FINISH		SLOT DIFFUSER (S, R INDICATES SUPPLY/RETURN)
	LINEAR METAL CEILING WITH SPALATED WOOD FINISH		

GENERAL NOTES - ENLARGED RCP:

- CENTER LIGHT FIXTURES IN SPACE THAT ARE NOT DIMENSIONED

NOTE: ALL PUBLIC SPACE AND BACK OF HOUSE

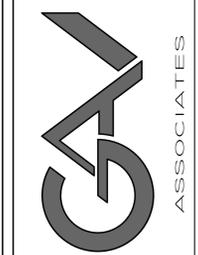
- CEILING PAINT IS PT-021 UNO ON ENLARGED RCP.
- WHERE ADJACENT CEILINGS ARE AT DIFFERENT HEIGHTS, PAINT THE ADJOINING SOFFIT TO MATCH THE COLOR OF THE LOWER CEILING.

LEVEL I REFLECTED CEILING PLAN - OPTION B
SCALE: 1/4" = 1'-0"

**PRELIMINARY
NOT FOR
CONSTRUCTION**

ISSUED FOR	DATE
REVIEW	2-11-2022
PLANNING REVIEW	1-18-2023
PLANNING REVIEW	4-21-2023

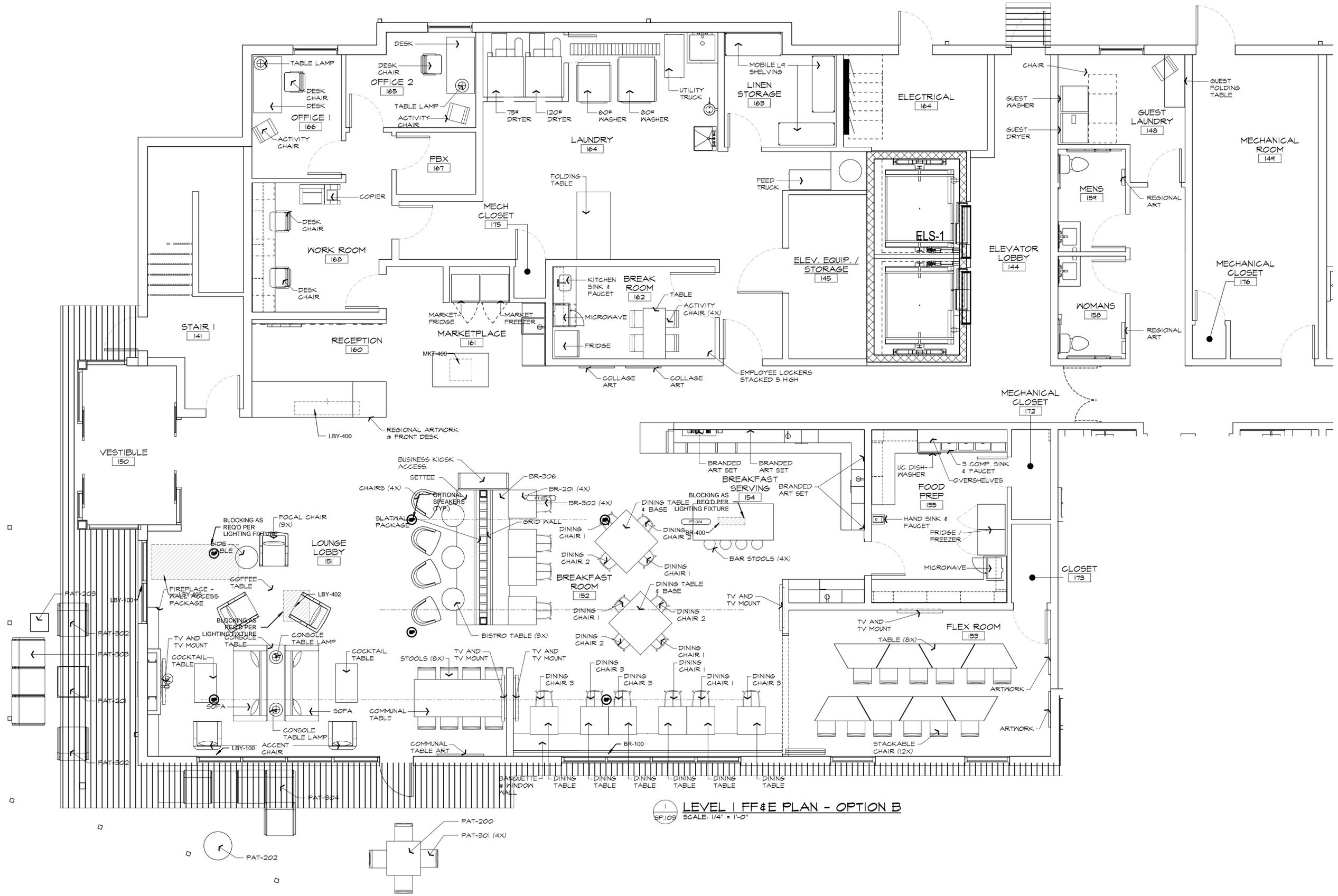
ARCHITECTURAL DESIGN
RESIDENTIAL COMMERCIAL INDUSTRIAL
 G.A.V. ASSOCIATES, INC
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 FARMINGTON, MICHIGAN 48338
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TAP RESOURCES
 9241 CARLETON ROAD
 HILLSDALE, MICHIGAN 49242
 MR. TAPAN PATEL
 phone: 517-610-2417

PROPOSED NEW HOTEL FOR CHOICE HOTELS:
COMFORT INN & SUITES - M1502
800 SOUTH HEWITT ROAD
YPSILANTI TOWNSHIP, MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
SCALE: 1/4" = 1'-0"		
FILE NAME: 22060_A.553		
JOB #: 22060		
SHEET TITLE		
PUBLIC SPACE- ENLARGED FF&E PLAN		
SHEET #		
A.553		



LEVEL I FF&E PLAN - OPTION B
 SCALE: 1/4" = 1'-0"



ISSUED FOR	DATE
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PLANNING REVIEW	1-18-2023
PLANNING REVIEW	4-21-2023

ARCHITECTURAL DESIGN

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COMFORT INN & SUITES - M1502
800 SOUTH HEWITT ROAD
YPSILANTI TOWNSHIP, MICHIGAN

DRAWN: DESIGNED: CHECKED:

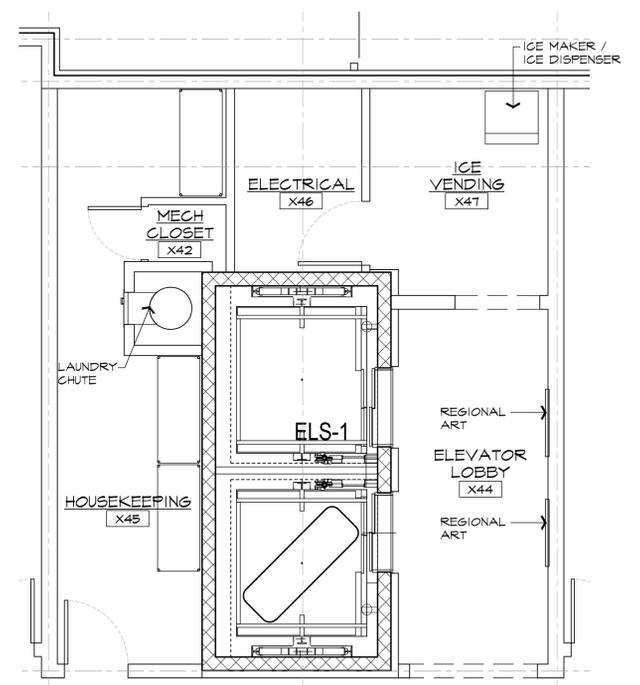
SCALE: 1/4" = 1'-0"

FILE NAME: 22060_A.554

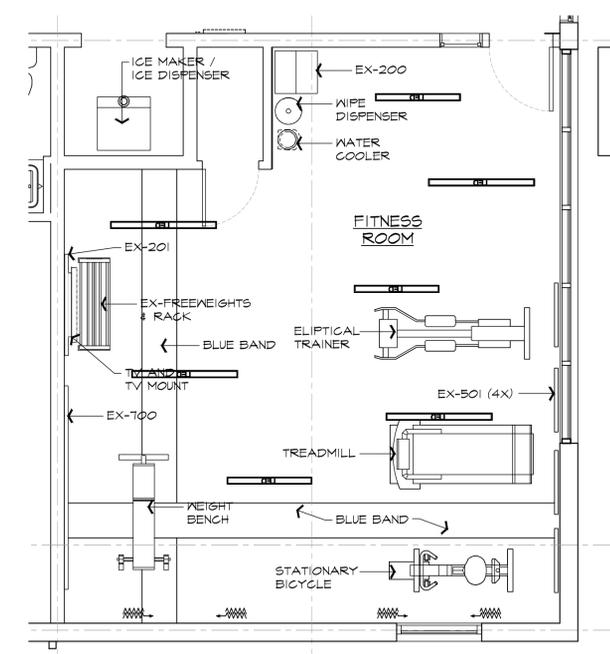
JOB #: 22060

SHEET TITLE
ELEVATOR -
PLANS, SECTIONS,
& DETAILS
SHEET #

A.554



1 UPPER FLOORS - ELEVATOR LOBBY - FF&E PLAN
A.501 SCALE: 1/4" = 1'-0"



1 FITNESS ROOM FF&E PLAN - OPTION B
EP.109 SCALE: 1/4" = 1'-0"

