



REGULAR MEETING AGENDA

**Tuesday, April 25, 2023
6:30 P.M.**

If you need any assistance due to a disability please contact the Planning Department at least 48 hours in advance of the meeting at planning@ypsitownship.org or 734-544-4000 ext. 1.

1. CALL TO ORDER
2. ROLL CALL
3. APPROVAL OF THE FEBRUARY 28, 2023 REGULAR MEETING MINUTES
4. APPROVAL OF AGENDA
5. PUBLIC HEARINGS
 - A. **SPECIAL LAND USE – ALDI, INC. – 1420 HURON STREET – PARCEL K-11-38-280-011 – TO CONSIDER THE SPECIAL LAND USE PERMIT APPLICATION OF MR. ANDREW SHAW IN ORDER TO PERMIT THE CONSTRUCTION OF A RETAIL BUILDING GREATER THAN 10,000 SQ. FT. ON A PARCEL ZONED TC – TOWN CENTER WITH A SITE TYPE DESIGNATION D LOCATED AT 1420 S. HURON STREET, YPSILANTI, MI 48197.**
6. OLD BUSINESS
7. NEW BUSINESS
 - A. **PRELIMINARY SITE PLAN – ALDI, INC. – 1420 S. HURON STREET – PARCEL K-11-38-280-011 – TO CONSIDER THE PRELIMINARY SITE PLAN APPLICATION OF MR. ANDREW SHAW TO PERMIT THE CONSTRUCT OF A 20,664 SQ. FT. GROCERY STORE ON A PARCEL ZONED TC – TOWN CENTER WITH A SITE TYPE DESIGNATION D LOCATED AT 1420 S. HURON STEET, YPSILANTI, MI 48197.**
 - B. **PRELIMINARY SITE PLAN – FROST DISPENSARY – 1250 WATSON STREET – PARCEL K-11-13-255-002 – TO CONSIDER THE PRELIMINARY SITE PLAN APPLICATION OF MR. MICHAEL LUDTKE TO PERMIT THE CONSTRUCTION OF A 10,400 SQ. FT. MARIJUANA DISPENSARY AND GROWING FACILITY ON A PARCEL ZONED I-C – INDUSTRIAL AND COMMERCIAL, LOCATED AT 1250 WATSON STREET, YPSILANTI, MI 48198.**
8. OPEN DISCUSSION FOR ISSUES NOT ON THE AGENDA
 - A. CORRESPONDENCE RECEIVED
 - B. PLANNING COMMISSION MEMBERS
 - C. MEMBERS OF THE AUDIENCE

Township Supervisor
Brenda L. Stumbo
Township Clerk
Heather Jarrell Roe
Township Treasurer
Stan Eldridge



**YPSILANTI
TOWNSHIP**
— PLANNING & ZONING DEPARTMENT —

Trustees
John Newman II
Gloria Peterson
Debbie Swanson
Ryan Hunter

9. TOWNSHIP BOARD REPRESENTATIVE REPORT
10. ZONING BOARD OF APPEALS REPRESENTATIVE REPORT
11. TOWNSHIP ATTORNEY REPORT
12. PLANNING DEPARTMENT REPORT
13. OTHER BUSINESS
14. ADJOURNMENT

Please Note: This meeting is being recorded

**CHARTER TOWNSHIP OF YPSILANTI
PLANNING COMMISSION MEETING
Tuesday, February 28, 2023
6:30 pm**

COMMISSIONERS PRESENT

Bill Sinkule, Vice-Chair
Elizabeth El-Assadi
Larry Doe
Muddasar Tawakkul

STAFF AND CONSULTANTS

Jason Iacoangeli, Planning Director
Megan Masson Minock, Carlisle Wortman Associates

i. CALL TO ORDER/ESTABLISH QUORUM

MOTION: Mr. Sinkule called the meeting to order at 6:30 pm.

ii. APPROVAL OF JANUARY 2023 REGULAR MEETING MINUTES

MOTION: Mr. Tawakkul **MOVED** to approve the January 10, 2023 Meeting Minutes. The **MOTION** was **SECONDED** by Mr. Doe and **PASSED** by unanimous consent.

iii. APPROVAL OF AGENDA

MOTION: Mr. Doe **MOVED** to approve the proposed agenda. The **MOTION** was **SECONDED** by Mr. Tawakkul and **PASSED** by unanimous consent.

iv. PUBLIC HEARINGS

None to report.

v. OLD BUSINESS

None to report.

vi. **NEW BUSINESS**

- a. **7130 Rawsonville Road – Parcel K-11-36-100-033** – Sketch Plan Review – Snider Electric – Consider request to construct a 1,950 sq. ft. building expansion, construct a new 6,000 sq. ft. building, and the construction of the associated parking areas, driveways, utilities, storm water management system, and Landscaping.

Mr. Iacoangeli addressed the Planning Commission and explained the request for a sketch plan approval preliminary site plan for a new business with an interest to locate in the township Snider Electric. This site is currently zoned for Innovation & Technology District, a designation intended to be the major employment area of the Township. This would permit the use of the property for electrical contracting business. Two of the buildings already existed on the property, the single-family home has been used historically as an office. Snider Electric has expressed their interest to move into this site, they would also like to make an addition to the existing pole barn and utilize the existing office. As part of their proposal, Snider Electric is looking at closing down the northernmost driveway that's closest to the railroad tracks and utilizing the driveway that's located to the south on the property, and then they would be using that as their primary means.

Snider Electric intends to pave and install the required parking for the office building on Rawsonville Road, and their plan for the future building is to have the additional proposed 60 by 100 building. In addition, it is believed that Snider Electric intends to move forward relatively soon with the proposed 30 by 65 additions to the existing barn or outbuilding. They have also illustrated and demonstrated their preliminary engineering plan and the use of a retention pond for stormwater.

There will be additional lighting on the building to help illuminate the area at night and additional landscaping along the fence as the need to screen the view of the rear yard for the business. In addition, Snider Electric would be making some needed improvements and installation of an ADA, handicap parking space in the pay parking and also making sure that the front office is barrier free.

Mr. George Snider (Owner of Snider Electric), shared with the Board that the business was started in 2006. Currently the company has 15 employees and nine trucks. The company was leased out of Pittsfield Township over the last 10 years. The company has grown and the Rawsonville Location was perfect for the expansion.

MOTION: Mr. Tawakkul **MOVED** to approve the Preliminary Site Plan of Mr. Snider representing Snider Electric to permit the construction of a 6,000 sq. ft. building, 1,950 sq. ft. building addition, and referenced site improvements located at 7130 Rawsonville

Road, Belleville, MI 48111 Parcel #K-11-36-100-033. This motion is further made with the following conditions:

1. Applicant shall address all outstanding comments from reviewing agencies prior to Final Site Plan approval.
2. Applicant shall obtain all applicable internal and outside agency permits prior to construction.

The **MOTION** was **SECONDED** by Mr. Doe.

Roll Call Vote: Mr. Tawakkul (Yes), Ms. El-Assadi (Yes), Mr. Doe (Yes), Mr. Sinkule (Yes).
MOTION PASSED.

vii. **OPEN DISCUSSIONS FOR ISSUES NOT ON AGENDA**

A. **Correspondence received**

Mr. Iacoangeli informed the Planning Commission on the correspondence received from the Michigan Association of planning.

B. **Planning Commission members**

None to Report.

C. **Members of the audience**

None to Report.

viii. **TOWNSHIP BOARD REPRESENTATIVE REPORT**

None to Report

ix. **ZONING BOARD OF APPEALS REPRESENTATIVE REPORT**

None to Report

x. **TOWNSHIP ATTORNEY REPORT**

None to Report

xi. **PLANNING DEPARTMENT REPORT**

Mr. Iacoangeli informed the Planning Commission on the proposed amendments to the zoning ordinance. Due to the influx of new projects and the resignation of Amy Steffens, the ordinance amendment was passed across to Carlisle Wortman Associates to work on them. The latest update from Ben Carlisle, is that half of the work is done. These would be ready in March and one of the two March meetings will be the work session for reviewing the ordinance amendments. A public hearing date would be set during the March meeting, to hold a public hearing at the April meeting, with the idea being that the Planning Commission would make a recommendation to the Board, which would go in May.

The Aldi Store would be submitting their site plan, this would take about two or three weeks to go through all of the staff reviews and would be presented to the Planning Commission in the month of April. The hotel that is located on US 12, next to the Wendy's Tim Hortons, have finished their first-round of review and they have couple of things to rectify. The Children's Healing center contacted the office and they are moving forward with their detailed engineering and final site plan, they plan to start construction in spring. The other hotel on Joe Hall Drive (Comfort Inn and Suites) has already resubmitted a new traffic impact study to the county and will submit site plans to the planning department for review in the following weeks.

Mr. Tawakkul inquired if Zippy auto wash would be interested in coming back to the Township; Mr. Iacoangeli stated that the planning department would try to talk to them.

xii. **OTHER BUSINESS**

None to Report.

xiii. **ADJOURNMENT**

MOTION: Ms. El-Assadi **MOVED** to adjourn at 6:49 pm. The **MOTION** was **SECONDED** by Mr. Doe and **PASSED** by unanimous consent.

Respectfully Submitted by: Minutes Services

Township Supervisor
Brenda L. Stumbo
Township Clerk
Heather Jarrell Roe
Township Treasurer
Stan Eldridge



**YPSILANTI
TOWNSHIP**
— PLANNING & ZONING DEPARTMENT —

Trustees
John Newman II
Gloria Peterson
Debbie Swanson
Ryan Hunter

Staff Report
ALDI, Inc. – Grocery Store
1420 S. Huron Street
Preliminary Site Plan and Special Land Use Review

April 25, 2023

Case Location and Summary

The Office of Community Standards is in receipt of a Preliminary Site Plan Application from ALDI, Inc. representative, Andrew Shaw for a proposed grocery store to be located at 1420 S. Huron Street Parcel #K-11-38-280-014. The Applicant is seeking special use and Preliminary Site Plan approval to construct a 20,664 sq. ft. building, with a possible 1,904 sq. ft. future expansion, and a 101 space parking lot.

Owner/Applicant

Charter Township of Ypsilanti – Owner
7200 S. Huron River Drive, Ypsilanti, MI 48197

Andrew Shaw – Applicant
2625 N. Stockbridge Road, Webberville, MI 48892

Cross References

Zoning Ordinance citations:

- Article 5 – Form Based Districts
- Article 9 – Site Plan Review
- Article 10 – Special Land Use
- Article 12 – Access, Parking, and Loading
- Article 13 – Site Design Standards
- Article 17 – Zoning Board of Appeals

Analysis

The Plans have been reviewed by Township Staff and consultants in accordance with our procedures.

Planning Consultants (Carlisle/Wortman Associates):

CWA reviewed the Preliminary Site Plan and has recommended approval in their letter dated March 28, 2023. CWA lists six (6) conditions of approval as listed in their letter.

Engineering Consultants (OHM):

The Township Engineer recommended approval for this stage of the process in their March 24, 2023 review letter. OHM has provided preliminary detailed engineering comments that will be addressed at the time of Final Site Plan and Detailed Engineering.

Ypsilanti Community Utilities Authority (YCUA):

YCUA reviewing agent Scott Westover has recommended preliminary site plan approval in a letter dated March 28, 2023.

Ypsilanti Township Fire Department:

YTFD Fire Marshall Steve Wallgren has conditionally recommended preliminary site plan approval in a letter dated March 24, 2023.

Washtenaw County Water Resources Commission:

No comments at this time.

Washtenaw County Road Commission:

WCRC Senior Project Manager Mark H. McCulloch shared comments with the Planning Department on March 13, 2023, and April 6, 2023.

SUGGESTED MOTIONS:

Special Land Use

Suggested motions: *The following suggested motions and conditions are provided to assist the Planning Commission in making the most appropriate motion for this application. The Commission may utilize, add or reject any conditions suggested herein, as they deem appropriate.*

Motion to table:

*“I move to table the request for **special land use permit** approval for construction of a 20,664 sq. ft. grocery store for a site zoned TC – Town Center with a Site Type Designation D, located at 1420 S. Huron Street, parcel K-11-38-280-014, to consider the comments presented by the Planning Commission during discussion of the project.”*

Motion to approve:

*“I move to approve the **special land use permit** approval for construction of a 20,664 sq. ft. grocery store for a site zoned TC – Town Center with a Site Type Designation D, located at 1420 S. Huron Street, parcel K-11-38-280-014, with the following conditions:*

- 1. The applicant shall obtain required variances from Zoning Board of Appeals to allow for the building placement on the parcel as depicted on the preliminary site plan.*
- 2. Applicant shall address all outstanding comments from reviewing agencies prior to Final Site Plan approval.*
- 3. Applicant shall obtain all applicable internal and outside agency permits prior to construction.*
- 4. Applicant will enter into a development agreement with the Township that will address items such but not limited to maintenance of the private commercial drive, storm water, traffic signalization, and easements for utilities.*
- 5. Any other conditions based upon Planning Commission Discussion.*

Motion to deny:

*“I move to deny the **special land use permit** approval for construction of a 20,664 sq. ft. grocery store for a site zoned TC – Town Center with a Site Type Designation D, located at 1420 S. Huron Street, parcel K-11-38-280-014 due to the following reasons:”*

Preliminary Site Plan

Suggested motions: *The following suggested motions and conditions are provided to assist the Planning Commission in making the most appropriate motion for this application. The Commission may utilize, add or reject any conditions suggested herein, as they deem appropriate.*

Motion to table:

*"I move to table the request for **preliminary site plan** approval for construction of a 20,664 sq. ft. grocery store for a site zoned TC – Town Center with a Site Type Designation D, located at 1420 S. Huron Street, parcel K-11-38-280-014, to consider the comments presented by the Planning Commission during discussion of the project."*

Motion to approve.

*"I move to approve the **preliminary site plan** approval for construction of a 20,664 sq. ft. grocery store for a site zoned TC – Town Center with a Site Type Designation D, located at 1420 S. Huron Street, parcel K-11-38-280-014, with the following conditions:*

- 1. The applicant shall obtain required variances from Zoning Board of Appeals to allow for the building placement on the parcel as depicted on the preliminary site plan.*
- 2. Applicant shall address all outstanding comments from reviewing agencies prior to Final Site Plan approval.*
- 3. Applicant shall obtain all applicable internal and outside agency permits prior to construction.*
- 4. Any other conditions based upon Planning Commission Discussion.*

Motion to deny:

*"I move to deny the **preliminary site plan** approval for construction of a 20,664 sq. ft. grocery store for a site zoned TC – Town Center with a Site Type Designation D, located at 1420 S. Huron Street, parcel K-11-38-280-014 due to the following reasons:"*

Planning Director's Report

Project Name: ALDI, Inc. #62

Location: 1420 S. Huron Street, Ypsilanti, MI 48197

Date: 03.29.2023

- | | |
|--|---|
| <input checked="" type="checkbox"/> Full Preliminary Site Plan Review # 1
<input type="checkbox"/> Sketch Preliminary Site Plan Review #
<input type="checkbox"/> Administrative Preliminary Site Plan Review #
<input type="checkbox"/> Detailed Engineering/Final Site Plan Review #
<input checked="" type="checkbox"/> Special Use Permit
<input type="checkbox"/> Public Hearing | <input type="checkbox"/> Rezoning
<input type="checkbox"/> Tentative Preliminary Plat
<input type="checkbox"/> Final Preliminary Plat
<input type="checkbox"/> Final Plat Process
<input type="checkbox"/> Planned Development Stage I
<input type="checkbox"/> Planned Development Stage II |
|--|---|

Contact / Reviewer	Consultants, Departments, & Agencies	Approved	Approved with Conditions	Denied	N/A	See email/letter attached or comments below
Jason Iacoangeli, Planning Director	Township Planning Department	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See comments below
Carlisle/Wortman Associates	Planning Consultant	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 03-28-2023
OHM / Stantec	Engineering Consultant	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 03-24-2023
Steven Wallgren, Fire Marshal	Township Fire Department	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 03-24-2023
Dave Bellers, Building Official	Township Building Department	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Brian McCleery, Deputy Assessor	Township Assessing Department	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Scott Westover, Engineering Manager	Ypsilanti Community Utilities Authority	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 03-28-2023
Gary Streight, Project Manager	Washtenaw County Road Commission	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 03-13-2023
Theresa Marsik, Stormwater Engineer	Washtenaw County Water Resources Commission	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
James Drury, Permit Agent	Michigan Department of Transportation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Planning Director's Recommended Action:

At this time ALDI, Inc. is eligible for Special Land Use and Preliminary Site Plan consideration by the Planning Commission. This project is being placed on the Planning Commission agenda for Tuesday, April 25, 2023 for the required Public Hearing and Preliminary Site Plan consideration. It would be the Planning Department's recommendation that the Planning Commission grant Preliminary Site Plan approval and special land use approval as this project meets the conditions of the Township Zoning Ordinance for a commercial development of this type. The approval should be contingent on the applicant addressing the remaining engineering and outside agency comments required as part of the Final Site Plan / Detailed Engineering Design. Furthermore, approval should be contingent on the applicant seeking a variance from the Zoning Board of Appeals to deviate from the Form-Based design requirements for a Building Type B.



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: March 28, 2023

**Preliminary Site Plan and Special Use Review
For
Ypsilanti Township, Michigan**

Applicant:	ALDI, Inc. – David Kapusansky
Project Name:	ALDI-Huron Drive
Plan Date:	March 8, 2023
Location:	Northwest corner of South Huron Street and Brinker Way
Zoning:	FB, Form Based District – Town Center
Action Requested:	Preliminary Site Plan and Special Use Approval

PROJECT AND SITE DESCRIPTION

The applicant is proposing to develop an ALDI Food Market at the southwest corner of South Huron Street and Brinker Way. The property was purchased from the Township by Aldi. Aldi proposes to construct a 20,664 sq/ft building, with a possible 1,904 sq/ft future expansion, and 101 space parking lot. We have reviewed this plan based on the future expansion being constructed. Other site improvements include sidewalk installation, landscaping, lighting, and an area for public art.

The applicant is purchasing a portion of the site from the Township. The remaining portions of the site will remain vacant for now but will continue to be marketed for future development. All access will be off Brinker Way.

The subject site is zoned FB, Form Based Mixed Use – Town Center, and is categorized as a Site Type D. Retail greater than 10,000 sq . /ft is a permitted via special use. Single tenant buildings (Building Type B) are permitted.

Location of Subject Site:

Aerial Image of Subject Site and Vicinity



Source: MapWashtenaw

Size of Subject Site:

2.9 acres

Current Use of Subject Site:

Vacant

Current Zoning:

FB, Form Based – Carpenter Road District

Proposed Use of Subject Property:

ALDI Food Market (retail)

Adjacent zoning and land uses are as follows:

Direction	Zoning	Use
North	FB, Form Based Mixed Use- Town Center	Vacant
South	FB, Form Based Mixed Use- Town Center	Vacant
East	FB, Form Based Mixed Use- Town Center	Vacant
West	FB, Form Based Mixed Use- Town Center	Vacant

MASTER PLAN

The site is designated as Township Core. The Township Core is intended to be the central core of the township. It includes the governmental center of the township with the Civic Center, County Courthouse, and the district library. Huron Street and the immediate surrounding area is meant to host a mix of uses from multiple-family residential to commercial to light industrial. Day-to-day neighborhood scale retail and services such as grocery stores, convenience stores, dry cleaners, pharmacies and beauty services, are encouraged in this district.

Applicable design concepts included the Master Plan include:

- *Architectural design must create an interesting visual experience for both sidewalk users at close range and for those viewing the skyline from a distance.*
- *Design creativity with regard to materials will be encouraged, although low quality materials or building designs that inhibit activity on the corridor will not be permitted.*

We find these design considerations are addressed in the site plan and submitted architecture. See our site plan review section for more detail.

We find that the proposed use of the site as neighborhood scaled grocery store that can both serve the regional market but also local neighborhoods is consistent with the Master Plan.

NATURAL FEATURES

Topography:

The site has significant topography, sloping down from the corner of Brinker and Huron Drive to the northwest. The northwest corner of the site is approximately 17-feet lower than the southeast (Brinker and Huron Drive) corner of the site.

Woodlands/Wetlands:

In 2006, when the property was purchased by the Township, they completed a woodland and wetland delineation. According to Township records, the Township addressed all environmental requirements to prepare the site for development.

Items to be Addressed: None

AREA, WIDTH, HEIGHT, SETBACKS

The proposed development is being constructed under Building Type B.

Table	Required / Allowed	Provided	Complies with Ordinance
Front (Huron Drive)	10-foot to 30-foot build-to-line	Building located 40 feet from the Huron Drive ROW.	Requires Variance
Front (Brinker Way)	10-foot to 30-foot build-to-line	Building located 154 feet from the Brinker Way ROW.	Requires Variance
Side Setback	No minimum side setback / if provided, minimum of 5 feet	25 feet (north)	Complies
Rear Setback	10 feet	95 feet to building	Complies
Impervious Surface	80% maximum	18.8%	Complies
Building Height (Feet)	Minimum: 14 feet Maximum: 38 feet	28 feet	Complies
Building Height (Stories)	Minimum: 1 story Maximum: 3 stories	1 story	Complies
Parking	Located in side or rear yard; screened with a minimum 30-inch masonry wall on the required building line, or within 5 feet of the required building line.	Parking located in side yard. Screen wall is proposed at the build-to-line	Complies

The applicant has worked diligently with the Planning staff to try and meet the form-based requirements. However, they note that due to significant site topography and required utility improvements they seek a variance for both the Huron Drive and Brinker Way frontage. The variances are to be considered by the Zoning Board of Appeals.

Items to be Addressed: Applicant to obtain required variances.

PARKING, LOADING

Section 12.05 G. requires retail uses to provide one parking space for each 250 square feet of gross floor area.

Parking Requirements	Number of Spaces Required	Number of Spaces Provided	Compliance
Retail	1 sp. for each 325 sq.ft. (22,568) sq.ft.) = 70 spaces	101	Exceeds. Deviation must be granted by Planning Commission

Barrier-Free Spaces	5 spaces	5 spaces	Compliant
Loading spaces	1 spaces	1 spaces	Compliant
Bicycle parking	2 spaces	2 spaces	Compliant

The applicant is providing 44% more parking than required by ordinance. Parking that exceeds 20% of the required parking requires approval from the Planning Commission. The applicant shall provide information as to why additional parking is proposed.

A truck well/loading zone is located along the southern building elevation.

Items to be Addressed: Provide information as to why additional parking is proposed.

SITE ACCESS, CIRCULATION, and TRAFFIC

The applicant is constructing a new private road off Brinker Way. Access to the Aldi's site will be accessed off the new private road. The newly constructed private road extends and is stubbed to allow for future development.

Fire truck and delivery turning templates are not provided. The applicant shall apply the proper turning templates.

Internal pedestrian connections from the newly constructed public sidewalk and throughout the site are proposed.

Items to be Addressed: Apply the proper delivery truck and fire truck tuning templates.

SCREENING & LANDSCAPING

	Required	Provided	Compliance
Street Yard Landscaping: 1 large dec tree per 40 lf of frontage, 1 orn tree per 100 lf of frontage, 1 shrub per 10 lf of frontage	300 L.F. / 40 L.F. = 8 trees 300 L.F. / 100 L.F. = 3 ornamental trees 300 L.F. / 10 = 30 shrubs	8 dec trees, 3 orn trees, 30 shrubs	Complies
General Landscaping: 1 tree per 1,000 sq/ft 1 shrub per 500 sq/ft	18,400 S.F. = 19 trees and 46 shrubs	19 trees and 46 shrubs	Complies
Parking Lot: 1 large dec tree per 2000 sf of pavement and 1 per 40 feet of lineal	39,272 S.F. / 2,000 S.F. = 20 interior and 20 exterior	15 trees interior 20 trees exterior	Interior trees do not comply.

Stormwater: 1 tree per 45 feet and 1 shrub 5 feet of lineal	10 trees and 103 shrubs	10 trees and 103 shrubs	Complies
Mitigation	Information not provided	Information not provided	Unknown

Trash and Recycling Containers:

The dumpster is located within the recessed loading area and screened with a gate.

Equipment Screening:

At-grade equipment does not appear to be screened.

Public Art:

The applicant has provided a public art plaza at the corner of Brinker Way and Huron Street. The applicant should confirm if they are installing the public art or if the Township is expected to install.

Items to be Addressed: 1). Provide additional interior parking lot trees; 2). Provide equipment screening; and 3). Confirm who is installing the public art.

LIGHTING

The applicant is proposing five (5) parking lot pole lights and seventeen (17) building/canopy lights. The photometrics and fixtures comply with ordinance requirements.

Items to be Addressed: None.

ELEVATIONS AND FLOORPLANS

Floorplans and elevations have been provided.

Façade Variation:

Façade variation is provided on all building elevations through the use of varying colors and materials.

Transparency:

First floors of buildings facing a ROW are required to provide 50% transparency, and 30% along facades facing a side street or parking area. The applicant is providing over 50% along the Huron Street elevation. The parking lot elevation (southern) has 15% clear glass and over 33% in wall area enhancements. The wall area enhancement allowance is a recent text amendment that the Planning Commission is considering. If the Planning Commission adopts the text amendment to allow for wall enhancement, the elevation along the parking lot is compliant.

Materials:

The building includes a mix of varied materials. The primary material is CMU base and brick, with accent materials of glass, and metal panels.

Items to be Addressed: None

SPECIAL USE

In the Town Center a retail building great than 10,000 sq/ft requires a special use. Standards for Special Use review are set forth in Section 1003. The Planning Commission, and the Board of Trustees when required, shall review the particular circumstances and facts of each proposed use in terms of the following standards and required findings, and with respect to any additional standards set forth in this Ordinance. The Planning Commission, either as part of its final decision or in its recommendation, shall find and report adequate data, information, and evidence showing that the proposed use meets all required standards and:

1. Will be harmonious, and in accordance with the objectives, intent, and purpose of this Ordinance.
2. Will be compatible with a natural environment and existing and future land uses in the vicinity.
3. Will be compatible with the Township master plans.
4. Will be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage ways and structures, refuse disposal, or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately for such services
5. Will not be detrimental, hazardous, or disturbing to existing or future neighboring uses, persons, property, or the public welfare.
6. Will not create additional requirements at public costs for public facilities and services that will be detrimental to the economic welfare of the community.

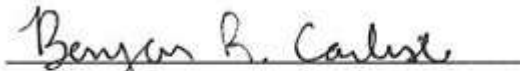
We find that the standards have been met:

- S. Huron Drive includes a varied use of commercial and other uses. The addition of a neighborhood scaled grocery store is consistent with the surrounding and future planned land uses.
- While variances are required, the applicant has worked with the township to meet the form-base zoning requirements.
- The proposed use of the site as neighborhood scaled grocery store that can both serve the regional market but also local neighborhoods is consistent with the Master Plan.
- The applicant is making a significant investment to improve the site including sidewalk installation, landscaping, lighting, and public art provision.
- With utility and other improvements, the site can adequately be served with public facilities and services
- The development of this site will not be detrimental to the future use and development of the corridor.

RECOMMENDATIONS

We are encouraged and strongly support the investment that ALDI proposes to make on Huron Street and Brinker Way. We recommend approval the ALDI Food Market Preliminary Site Plan with the following items to be conditions of approval to be submitted as part of the final site plan:

1. *Obtain variances from the ZBA*
2. *Provide information as to why additional parking is proposed.*
3. *Apply the proper delivery truck and fire truck tuning templates.*
4. *Provide additional interior parking lot trees.*
5. *Provide equipment screening.*
6. *Confirm who is installing the public art.*



CARLISLE/WORTMAN ASSOC., INC.

Benjamin R. Carlisle, AICP, LEED AP

Principal

March 24, 2023

Mr. Jason Iacoangeli
Township Planning Director
Charter Township of Ypsilanti
7200 S. Huron River Drive
Ypsilanti, MI 48197

RE: Aldi (1420 S Huron St)
Site Plan Review #1

Dear Mr. Iacoangeli:

We have completed the first site plan review of the plans dated March 8, 2023 and stamped received by OHM Advisors on March 14, 2023.

At this time, the plans are recommended for approval for the Planning Commission's consideration, contingent on the following comments being addressed prior to the next plan submittal. Preliminary detailed engineering comments have been provided to the applicant as a courtesy and shall be addressed prior to submitting detailed engineering plans for review.

A brief description of the project has been provided below (Section A), followed by our comments (Section B and C) and a list of anticipated required permits and approvals (Section D). Comments in Section C are detailed in nature, do not influence the overall site layout, and can be addressed during the detailed engineering drawing submittal.

A. PROJECT AND SITE DESCRIPTION

The applicant is proposing to construct a 20,664 square-foot Aldi store at the northwest corner of S Huron Street and Brinker Way, within the Seaver Farm development. The vacant site includes 2.52 acres and is currently zoned Town Center. 101 parking spaces and associated infrastructure, including a future 1,904 square-foot future expansion area, are also being proposed.

The site will be serviced by connection to the existing 10-inch sanitary sewer along the east side of Seaver Way and to the existing 12-inch water main along the north side of Brinker Way. Stormwater runoff will be captured by existing detention Area A of the Seaver Farm development and pre-treatment will be provided on-site.

B. SITE PLAN COMMENTS

Stormwater Management

1. The applicant shall provide stormwater calculations that follow the current Washtenaw County Water Resource Commissioner's (WCWRC) Standards. The applicant shall also verify that the proposed future expansion area is included in the stormwater management calculations. It is recommended that a meeting with our office, WCWRC, the Township, and the applicant be held during the detailed engineering review phase to review the stormwater management plan and calculations.



Paving/Grading/Site Layout

2. The applicant shall provide a truck turning template for a fire truck, garbage truck, and delivery truck. The applicant shall also provide a turning template for the northwestern parking spaces as it currently appears inadequate turnaround space may have been provided.
3. The applicant shall provide a sidewalk connection from the site to the sidewalk along the east side of the proposed entrance drive. The applicant shall also provide crosswalks (i.e. pavement marking) at the proposed boulevard, the entrance to the parking lot, and across the truck bay.

C. PRELIMINARY DETAILED ENGINEERING PLAN COMMENTS

The following comments shall be addressed by the applicant during the detailed engineering drawing submittal, and do not affect the recommendation for approval to the Township of Ypsilanti Planning Commission. It should be noted that this is not an all-inclusive list and additional comments may be generated as new information is presented.

1. It is noted that this development will impact traffic operations on Huron Street and will trigger a traffic signal at Huron Street and Brinker Way. The applicant shall note the anticipated traffic improvements on the plans for review.
2. The applicant shall provide spot elevations at all four (4) corners of all barrier-free parking spaces and access aisles. The applicant shall note that the cross-slope shall not exceed 2% per ADA Standards.
3. The applicant shall provide utility pipe profiles, including pipe diameter, material, length, slope, and hydraulic grade line (where applicable) for all proposed utilities (water, sanitary, storm) on the plans.
4. The applicant shall delineate the drainage area map (Sheet WS1) and provide the drainage areas that correspond to each catch basin.
5. The applicant shall provide a maintenance schedule for all proposed permanent soil erosion and stormwater management activities both during and after construction. The schedule shall include the frequency of activities as well as the party responsible.
6. The applicant shall provide a Certificate of Outlet, signed and sealed by a registered engineer in the State of Michigan, on the plans.
7. The applicant shall provide a stormwater narrative clarifying the existing and proposed stormwater management, including the ultimate outlet.
8. The applicant shall clarify if soil borings were performed. If so, their logs and locations shall be included on the plans and a copy of the geotechnical report shall be provided to this office for the project file.
9. The applicant shall verify the cover over the storm sewer between Structures 130 and 131 as it currently appears to be insufficient.
10. The applicant shall clarify the height of the proposed masonry screen wall near the truck dock. The applicant shall note that structural calculations may be required for the proposed screen wall by our office and the Township Building Department.
11. It is noted that the applicant is proposing a temporary, gravel t-turnaround at the end of the proposed entrance drive. The applicant shall note that if nearby development(s) don't progress within two (2) years of construction, the gravel t-turnaround shall be paved by the applicant.



12. The applicant shall provide a utility crossing table to ensure sufficient clearance between existing and proposed utilities is provided.
13. The applicant shall revise the reference to Allendale (Sheet SE2).
14. The applicant shall provide a quantity list for all proposed utilities (water, sanitary, storm) on the Cover Sheet, delineated by existing or proposed road right-of-way or easement, per Township Standards.
15. The applicant shall provide the applicable Ypsilanti Township Standard Detail Sheets within the plan set. These Sheets can be obtained by emailing stacie.serदार@ohm-advisors.com. The applicant shall also provide the Ypsilanti Township SESC Standard Detail Sheet and revise the details on Sheet SE2.

D. REQUIRED PERMITS & APPROVALS

The following outside agency reviews and permits will be required for the project. Copies of any correspondence between the applicant and the review agencies, as well as the permit or waiver, shall be sent to both the Township and OHM Advisors (email: stacie.monte@ohm-advisors.com).

- ▶ **Ypsilanti Community Utilities Authority (YCUA):** Review and approval of the proposed water main and sanitary sewer improvements are required.
- ▶ **Ypsilanti Township Fire Department:** Review and approval is required.
- ▶ **Washtenaw County Water Resources Commissioner's Office (WCWRC):** Review and approval is required.
- ▶ **Washtenaw County Road Commission (WCRC):** Review and approval is required.
- ▶ **Michigan Department of Environment, Great Lakes & Energy (EGLE):** An EGLE Act 399 and Part 41 permit will be required for construction of all public water main and sanitary sewer improvements.
- ▶ **Ypsilanti Township Office of Community Standards:** A Soil Erosion and Sedimentation Control permit shall be secured from the Ypsilanti Township Office of Community Standards.
- ▶ The Township's Planner will inspect the landscaping for this site.
- ▶ If dewatering should be needed, the contractor/applicant shall be responsible for obtaining necessary approvals from the Township and the Township Engineer, permission from all impacted adjacent properties and/or permits from MDOT, WCWRC's Office, or the WCRC.
- ▶ Record plans shall be provided to the Township Engineer following the completion of construction.

Should you have any questions regarding this matter, please contact this office at (734) 466-4580.

Sincerely,
OHM Advisors

Matthew D. Parks, P.E.

Stacie L. Monte

MDP/SLM

cc: Fletcher Reyher, Township Staff Planner
Doug Winters, Township Attorney
Steven Wallgren, Township Fire Marshall
File

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CHARTER TOWNSHIP OF YPSILANTI FIRE DEPARTMENT

BUREAU OF FIRE PREVENTION

222 South Ford Boulevard, Ypsilanti, MI 48198



March 24, 2023

Jason Iacoangeli, Planning Director
Charter Township of Ypsilanti
7200 S. Huron River Drive
Ypsilanti, MI 48197

RE: Preliminary (non-residential) Site Plan Review #1

Project Name:	ALDI #62
Project Location:	1420 Huron St. Ypsilanti, MI 48197
Plan Date:	3/8/2023
Plan Number:	9224256
Applicable Codes:	IFC 2018
Engineer:	Design Inc.
Engineer Address:	2183 Press Drive Brighton, MI 48114

Status of Review

Status of review: Approved Conditionally (see comments)

All pages were reviewed.

Site Coverage - Access

Comments: The proposed FDC site on the north wall doesn't provide adequate access.

Per IFC 2018; 912.2.1 it needs to be in a location that is facing an approved fire apparatus access road.

All other fire department access considerations comply.

Sincerely,

A handwritten signature in black ink that reads "Steve Wallgren".

Steve Wallgren, Fire Marshal
Charter Township of Ypsilanti Fire Department
CFPS, CFI I



YPSILANTI COMMUNITY UTILITIES AUTHORITY

2777 STATE ROAD
YPSILANTI, MICHIGAN 48198-9112
TELEPHONE: 734-484-4600
WEBSITE: www.ycua.org

March 28, 2023

VIA ELECTRONIC MAIL

Mr. Jason Iacoangeli, Planning Director
Office of Community Standards
CHARTER TOWNSHIP OF YPSILANTI
7200 S. Huron River Drive
Ypsilanti, MI 48197

Re: Preliminary (non-residential) Site Plan Review #1
ALDI
Charter Township of Ypsilanti (Plan Date: 03-08-2023)

Dear Mr. Iacoangeli:

In response to the electronic mail message from your office dated March 13, 2023, we have reviewed the referenced plans with regards to water supply and wastewater system design. The plans are acceptable to YCUA for this stage of review. However, the following comments need to be addressed by the Applicant and/or the Applicant's design engineer prior to Detailed Engineering plans being deemed acceptable to YCUA.

1. Connection of the proposed 8" diameter water main to the existing 12" diameter water main at the intersection of Brinker Way and the east side of the proposed ingress/egress road shall be accomplished using a cut-in tee and gate valve as the existing pipe can be isolated without disrupting water service to any current customers.
2. Gate valves on the proposed water mains shall be located as follows:
 - a. Only one gate valve is needed on the proposed 8" diameter water main parallel to the north property line.
 - b. The proposed gate valves on the proposed north-south water mains currently shown immediately south of the proposed 8" diameter water main parallel to the north property line shall be located north of each proposed hydrant tee near the terminus of the proposed water main.
3. Both the curb stop and box on the domestic water service and isolation gate valve on the fire suppression water service shall be located where each service pipe leaves the public water main easement. Both the curb stop and box on the domestic water service and isolation gate valve on the fire suppression water service shall be located where each service pipe leaves the public water main easement.
4. The proposed sanitary sewer along the west side of the ingress/egress road exceeds the maximum allowable length of 300' between manholes.

Enclosed is an Estimate of Costs – Application for Services, with a revision date of March 27, 2023, indicating connection fees for the proposed building addition. Please note that the total cash price for connection fees, **\$22,821.47 plus the construction phase escrow deposit, Authority administration fee, and record plan guarantee**, must be paid to YCUA by the Applicant, with a receipt delivered to the Township, before either the building or soil and grading

Mr. Jason Iacoangeli
CHARTER TOWNSHIP OF YPSILANTI
March 28, 2023
Page 2

permit is issued. The construction phase escrow deposit and associated fees and deposits and the entity responsible for maintaining those accounts will be determined during the Detailed Engineering phase of the project in conjunction with your office and the Township Engineer. Should there be any questions please contact this office.

Sincerely,



SDW Digital Signature

SCOTT D. WESTOVER, P.E., Engineering Manager
Ypsilanti Community Utilities Authority

Enclosure as noted

cc: Mr. Luke Blackburn, Mr. Sean Knapp, File, YCUA
Mr. Fletcher Reyer, Charter Township of Ypsilanti
Mr. Eric Copeland, Mr. Steve Wallgren, Township Fire Department
Mr. Matt Parks, P.E., Ms. Stacie Monte, Township Engineer
Mr. Andrew Shaw, Applicant
Mr. Chris Grzenkowicz, P.E., Applicant's design engineer

COMMISSIONERS
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CHAIR

RODRICK K. GREEN
VICE CHAIR

GLORIA LLAMAS
MEMBER

JO ANN McCOLLUM
MEMBER

**WASHTENAW COUNTY
BOARD OF COUNTY ROAD COMMISSIONERS**

555 NORTH ZEEB ROAD
ANN ARBOR, MICHIGAN 48103
WCROADS.ORG
TELEPHONE (734) 761-1500
FAX (734) 761-3737

SHERYL SODERHOLM SIDDALL, P.E.
MANAGING DIRECTOR

MATTHEW F. MACDONELL, P.E.
DIRECTOR OF ENGINEERING
COUNTY HIGHWAY ENGINEER

ADAM L. LAPE
DIRECTOR OF OPERATIONS

DANIEL D. ACKERMAN
DIRECTOR OF FINANCE & IT

March 13, 2023

Mr. Jacob Swanson
Fleis & Vanderbrink
27725 Stansbury Blvd
Suite 195
Farmington Hills, MI 48334

RE: Permit Application 19293
Aldi Site – Brinker Way

Dear Mr. Swanson,

The Washtenaw County Road Commission (WCRC) has reviewed your traffic impact study (TIS) submittal dated January 26, 2023. WCRC agrees with the data and conclusions in the study. The study is approved.

The next step for your client to secure permits from WCRC is twofold:

- 1) Aldi will need to enter into a road improvement agreement (RIA) with WCRC. The RIA will define details and terms to perform the mitigation measures identified in the approved TIS. WCRC will draft the RIA and submit the document to your client for review.
- 2) Please submit detailed engineering plans for the mitigation measures identified in the approved TIS and ingress/egress approach for Brinker Way. The construction plans and cost estimated should be submitted to permits@wcroads.org.

I can be reached at 734-327-6679 or mccullochm@wcroads.org should you have questions.

Sincerely,



Mark H. McCulloch
Senior Project Manager – Permits

Cc: Sheryl Siddall / Matt MacDonell / Brent Schlack / Elena Yadykina /
Gary Streight / Callie Lawrence - WCRC
Brenda Stumbo / Heather Jarrell Roe / Stan Eldridge / Doug Winters /
Jason Iacoangeli / Fletcher Reyher – Ypsilanti Township
Matt Parks – OHM
Ben Carlisle – Carlisle / Wortman & Associates
Amanda Barbour – Children's Healing Center

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MANAGING DIRECTOR

MATTHEW F. MACDONELL, P.E.
DIRECTOR OF ENGINEERING
COUNTY HIGHWAY ENGINEER

ADAM L. LAPE
DIRECTOR OF OPERATIONS

DANIEL D. ACKERMAN
DIRECTOR OF FINANCE & IT

April 6, 2023

Mr. Christopher Grzenkowicz
Desine, Inc.
2183 Pless Drive
Brighton, MI 48114

RE: Permit Application 19293
Aldi Site #62
Huron Street – Ypsilanti Township

Mr. Grzenkowicz,

The Washtenaw County Road Commission (WCRC) is in receipt of your plan submittal, project number 9224256, dated March 8, 2023. WCRC has the following comments to offer:

- 1) Please label the new curb and gutter on Sheet GR 1 as MDOT F4.
- 2) Please provide a pavement profile of the private driveway connecting with Brinker Way.
- 3) To meet MDOT detail R-289-J, please add a catch basin just north of the pedestrian ramp on the northwest corner of the intersection.
- 4) For sheet DT1, please label the cross section for the right of way, which is assumed to be the 'Heavy Duty Bituminous'.
- 5) The total pavement thickness in the ROW needs to add up to 5 inches. The top course shall be LVSP or 4E1 (2 inches). The leveling course shall be 4E3 (3 inches). Marshall mixes will not be permitted in the ROW. Please update the plan notes accordingly.
- 6) Prior to issuing a driveway permit to Aldi, the following administrative items need to be approved by WCRC:
 - A road improvement agreement (RIA) needs to be executed between Aldi, WCRC and other applicable parties.
 - A cash payment per the terms of the approved RIA must be submitted to WCRC.
 - A cost estimate must be approved for work occurring in the ROW. The estimate does not need to include the mitigation measures in the approved traffic impact study.
 - An irrevocable letter of credit or cash bond needs to be submitted to WCRC equaling 100% of the approved cost estimate.
 - A cash deposit equal to 3% of the approved cost estimate must be submitted to WCRC.
 - Please provide the name of the contractor performing the work in the road right of way. The contractor will also need to submit a liability insurance certificate meeting the thresholds referenced in the attachment.

Please have the revised plans and applicable administrative items submitted to WCRC via email to permits@wcroads.org for further review. I can be reached at 734-327-6679 or mccullochm@wcroads.org should you have questions.

Sincerely,



Mark H. McCulloch
Senior Project Manager – Permits

Cc: Matt MacDonell / Brent Schlack / Gary Streight / Callie Lawrence – WCRC
Jason Iacoangeli / Fletcher Reyher – Ypsilanti Township
Ben Carlisle – Carlisle / Wortman

Attachments: Liability Insurance Requirements

SITE PLAN REVIEW APPLICATION

I. APPLICATION/DEVELOPMENT TYPE

Development:

- Subdivision
- Multi-family/Condominium
- Site Condominium
- Planned Development
- Non-residential

Application:

- Administrative Site Plan Review
- Sketch Site Plan Review
- Full Site Plan Review
- Revisions to approved plan
- Tentative Preliminary Plat
- Final Preliminary Plat
- Final Plat Process
- Stage I (for Planned Development)
- Stage II (for Planned Development)

II. PROJECT LOCATION

Address: 1420 S. Huron Street City: Ypsilanti State: MI Zip: 48197
Parcel ID #: K-11- 38-280-014 Zoning TC-2
Lot Number: A-1 Subdivision: _____
Property dimensions: 301.51' x 347.01' Acreage: 2.524
Name of project/Proposed development: ALDI #62
Legal description of Property: _____

Attached

Describe Proposed Project (including buildings/ structures/ # units):

Construct 20,664 SF single story commercial building with 100 space parking area for use as a limited assortment grocery store.

III. APPLICANT INFORMATION

Applicant: ALDI Inc. / Andrew Shaw Phone: (517) 521-3907
Address: 2625 N. Stockbridge Road City: Webberville State: MI Zip: 48892
Fax: (517) 521-3953 Email: Andrew.Shaw@aldi.us
Property owner (if different than applicant): Charter Township of Ypsilanti Phone: (734) 544-4000
Address: 7200 S. Huron River Drive City: Ypsilanti State: MI Zip: 48197
Fax: _____ Email: jjacoangeli@ypsitownship.org
Engineer: DESINE Inc. / Christopher A. Grzenkowicz, P.E. Phone: (810) 227-9533
Address: 2183 Pless Drive City: Brighton State: MI Zip: 48114
Fax: (810) 227-9460 Email: chriscg@desineinc.com

SITE PLAN REVIEW APPLICATION

VI. SCHEDULE OF FEES

Preliminary Site Plan Review		
	Non-refundable fee	Refundable deposit
Full	\$500	Less than one (1) acre: \$2,000
		One (1) acre to five acres: \$4,000
		Over five (5) acres to ten (10) acres: \$5,500
		Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres
Sketch	\$500	Less than one (1) acre: \$1,500
		One (1) acre to five acres: \$2,000
		Over five (5) acres to ten (10) acres: \$2,500
		Greater than ten (10) acres: 25,500 + \$50 per acre over ten (10) acres
Administrative	\$100	Less than one (1) acre: \$1,000
		One (1) acre to five acres: \$1,200
		Over five (5) acres to ten (10) acres: \$1,500
		Greater than ten (10) acres: \$1,500 + \$50 per acre over ten (10) acres
Planned Development Stage I and Rezoning	\$1,500 + \$20 per acre	Less than one (1) acre: \$3,000
		One (1) acre to five acres: \$4,000
		Over five (5) acres to ten (10) acres: \$5,500
		Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres
Final Site Plan Review		
	Non-refundable fee	Refundable deposit
Full	\$500	Less than one (1) acre: \$3,000
		One (1) acre to five acres: \$4,000
		Over five (5) acres to ten (10) acres: \$5,500
		Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres
Sketch	\$500	Less than one (1) acre: \$1,500
		One (1) acre to five acres: \$2,000
		Over five (5) acres to ten (10) acres: \$2,500
		Greater than ten (10) acres: \$2,500 + \$50 per acre over ten (10) acres
Administrative	\$100	Less than one (1) acre: \$1,000
		One (1) acre to five acres: \$1,200
		Over five (5) acres to ten (10) acres: \$1,500
		Greater than ten (10) acres: \$1,500 + \$50 per acre over ten (10) acres
Planned Development Stage I and Rezoning	\$1,500 + \$20 per acre	Less than one (1) acre: \$3,000
		One (1) acre to five acres: \$4,000
		Over five (5) acres to ten (10) acres: \$5,500
		Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres

\$ 4,500 FEE TOTAL

V. APPLICANT SIGNATURE


 Applicant Signature

Andrew Shaw
 Print Name

3/7/23
 Date

SITE PLAN REVIEW APPLICATION

Site Plan Review applications	
<input checked="" type="checkbox"/> The application is filled out in its entirety and includes the signature of the applicant and, if different than the applicant, the property owner.	<input checked="" type="checkbox"/> Proposed Plans
<input checked="" type="checkbox"/> Fees	<input checked="" type="checkbox"/> One (1) signed and sealed copies (24"x36") of the proposed plan
<input checked="" type="checkbox"/> Check made out to Ypsilanti Township with appropriate fees. <i>Please note: The same preliminary site plan review fee will be charged for each subsequent submittal</i>	<input checked="" type="checkbox"/> One (1) copy (11"x17") of the proposed plan
<input checked="" type="checkbox"/> Fees paid separately to Ypsilanti Community Utilities Authority	<input checked="" type="checkbox"/> One (1) PDF digital copy of the proposed plan
<input checked="" type="checkbox"/> Fees paid separately to Washtenaw County Road Commission and Water Resources Commissioner's Office	<input checked="" type="checkbox"/> All contents detailed on the next pages for administrative, sketch, and full site plans.
<input checked="" type="checkbox"/> Additional Documents:	
<input checked="" type="checkbox"/> Woodland Protection application or the No Tree Affidavit, if applicable	
<input checked="" type="checkbox"/> Traffic Impact Questionnaire <i>N/A</i>	
<input checked="" type="checkbox"/> Appropriate application and plans submitted to the Washtenaw County Road Commission and Water Resources Commissioner's Office	

PARCEL "A-1" 2.524± Acres

Land situated in the Township of Ypsilanti, County of Washtenaw, Michigan, more particularly described as:

Commencing at the Southeast Corner of Lot 10 of "Washtenaw Business Park," part of French Claim 680 & 681, Town 3 South, Range 7 East, Ypsilanti Township, Washtenaw County, Michigan, according to the plat thereof, as recorded in Liber 33 of Plats, Pages 19 through 27, inclusive, Washtenaw County Records;

thence N72°40'20"E 820.92 feet along the South line of said "Washtenaw Business Park" to the West line of Whittaker Road a.k.a. South Huron Street (60-foot wide 1/2 Right-of-Way);

thence S05°16'09"W 507.79 feet along the West line of said Whittaker Road a.k.a. Huron Street to the **PLACE OF BEGINNING**;

thence continuing the following two courses along the West line of said Huron Street:

- 1) S05°16'09"W 169.41 feet and
- 2) S08°19'20"W 132.10 feet to the North line of Brinker Way (86-foot wide Right-of-Way);

thence the following three courses along the North line of said Brinker Way:

- 1) N81°19'20"W 40.85 feet (*recorded as 40.78 feet*),
- 2) Westerly 98.49 feet along the arc of a 293.00-foot radius curve to the left, through a central angle of 19°15'34" and having a chord bearing S89°02'53"W 98.03 feet and
- 3) S79°25'06"W 180.71 feet;

thence N10°34'54"W 78.66 feet;

thence Northerly 46.75 feet along the arc of a 169.00-foot radius curve to the right, through a central angle of 15°51'03" and having a chord bearing N02°39'23"W 46.60 feet;

thence N05°16'09"E 237.04 feet;

thence S84°43'51"E 347.01 feet to a point on West line of said Whittaker Road a.k.a. Huron Street and the Place of Beginning.

Being a part of the French Claim 681 Town 3 South, Range 7 East, Washtenaw County, Michigan. Containing 2.524 acres of land, more or less. Subject to and together with all easements and restrictions of record affecting title to the described above premises.



March 9, 2023

Mr. Jason Iacoangeli, AICP
Planning Director
Charter Township of Ypsilanti
Office of Community Standards
7200 S. Huron Drive
Ypsilanti, Michigan 48197

Re: **ALDI #62**
 Preliminary Site Plan

Dear Mr. Iacoangeli,

Please find enclosed the following documentation for the above referenced project:

- One (1) Site Plan Review Application
- One (1) Woodlands Protection Use Application
- One (1) check in the amount of \$500 for preliminary site plan review application fees
- One (1) check in the amount of \$4,000 for establishment of an escrow account
- One (1) check in the amount of \$1,000 and one (1) check in the amount of \$100 for woodlands protection use application fees
- One (1) copy of the Project Narrative
- One (1) 11x17 copy of the Preliminary Site Plan
- One (1) full size copy of the Preliminary Site Plan
- One (1) flash drive with electronic copies of the Preliminary Site Plan and Project Narrative

ALDI Inc. is proposing to develop an ALDI grocery store on parcel K-11-38-280-017 located at 1420 S. Huron Street within Section 16 of Ypsilanti Township. We are submitting the enclosed documents for Preliminary Site Plan review. Please note that the Preliminary Site Plan and necessary fees have been submitted to the Washtenaw County Water Resources Commission and the Washtenaw County Road Commission. Review fees will be paid to the Ypsilanti Community Utilities Authority upon receipt of the amount due. If you have any questions or should you require additional information, documentation and/or plan sets, please contact us at your convenience.

Respectfully,

DESINE Inc.



Christopher A. Grzenkowicz, P.E.

cc: Mr. Andrew Shaw / ALDI Inc.

Charter Township of Ypsilanti

Office of Community Standards

7200 S. Huron Drive, Ypsilanti, MI 48197

Phone: (734) 485-3943

Website: <https://yptown.org>

**WOODLANDS PROTECTION
USE APPLICATION**

I. PROJECT LOCATION

Address: 1420 S. Huron Street City: Ypsilanti State: MI Zip: 48197

Parcel ID #: K-11- 38-280-014 Zoning TC-2

Name of Project/Proposed Development: ALDI #62

Project description: Construct 20,664 SF single story commercial building with 100 space parking area for use as a limited assortment grocery store.

Statement of purpose: To remove existing trees as necessary for development of property intended for commercial development.

II. APPLICANT INFORMATION

Applicant: ALDI Inc. / Andrew Shaw Phone: (517) 521-3907

Address: 2625 N. Stockbridge Road City: Webberville State: MI Zip: 48892

Fax: (517) 521-3953 Email: Andrew.Shaw@aldi.us

Property Owner (if different than applicant): Charter Township of Ypsilanti Phone: (734) 544-4000

Address: 7200 S. Huron River Drive City: Ypsilanti State: MI Zip: 48197

Fax: _____ Email: jiacoangeli@ypsitownship.org

Engineer/Architect: Firm: DESINE Inc. Individual: Christopher A. Grzenkowicz, P.E.

Address: 2183 Pless Drive City: Brighton State: MI Zip: 48892

Phone: (810) 227-9533 Fax: (810) 227-9460 Email: chrisg@desineinc.com

III. FEES

Total: \$ 1,100

Breakdown of fee:

Non-refundable Fee: \$100

Refundable Deposit: \$1,000

IV. APPLICANT SIGNATURE

Woodlands Protection Use Application Checklist:

- The applicant has read Article III: Woodlands Protection Ordinance (attached)
- Name(s) and address(es) of all record owner(s) and proof of ownership are included. If applicant is not the fee-simple owner, the owner's signed authorization for application must be attached to this application.
- Scaled and accurate survey drawing, correlated with a legal description and showing all existing buildings, drives and other improvements.
- Description/Statement of purpose included.



Applicant Signature

Andrew Shaw

Print Name

02/11/23

Date

ALDI #62
Project Narrative
March 8, 2023

ALDI Inc. is proposing to develop an ALDI grocery store on Parcel K-11-38-280-014 located at 1420 S. Huron Street in Section 16 of Ypsilanti Township. The project site is located at the northwest corner of South Huron Street and Brinker Way within the Seaver Farm development. The project site consists of 2.52 acres of vacant property that is zoned Town Center. There is approximately 19 feet of fall across the project site from east to west. There is an existing woodland located on the subject property. Due to the amount of earthwork necessary to balance the site and create a building pad, it is not feasible to preserve any of the existing trees on this site.

The proposed development project consists of a 20,664 SF single story commercial building, 101 space parking area and associated infrastructure. The proposed infrastructure has been designed to accommodate a future expansion area of 1,904 SF. Access to the site will be provided via a shared commercial drive way off of Brinker Way on the west side of the site which will allow for future extension and connection to by the adjacent properties to the north and west. The project site does have access to public water and sanitary sewer service, which will be extended past the site to allow for future connection by the adjacent properties to the north and west. Storm water detention is provided within existing detention area A of the Seaver Farm development. Pre-treatment of storm water runoff will be provided on site.

The project site is located within the Town Center corridor of the Form Based Zoning District. The proposed development project is Site Type D, Building Form B and Use Group 4. A series of deviations are being requested as a part of this development project. The proposed deviations are outlined below:

Parking Count:

The Township Zoning Ordinance requires a minimum of one parking space per 325 SF of gross floor area for the proposed grocery use. The minimum required parking for this development is $(20,664 \text{ SF} + 1,904 \text{ SF}) / 325 \text{ SF per space} = 69 \text{ spaces}$. The Zoning Ordinance requires Planning Commission approval for parking areas that exceed 120% of the minimum required parking. The maximum allowable parking without Planning Commission approval is $69 \text{ spaces} \times 120\% = 83 \text{ spaces}$. ALDI requires a minimum of 95 on-site parking spaces for new development to ensure proper operation of their facilities. This requirement is based on ALDI's experience of operating 90+ stores in the state of Michigan and 2,000+ stores nationwide. The proposed parking area for this facility includes 95 standard parking spaces + 3 curbside pickup parking spaces + 3 future electric vehicle charging spaces for a total of 101 parking spaces. The Applicant is requesting Planning Commission approval of the proposed 101 space parking area to provide sufficient parking and allow for proper operation of the proposed facility.

Front Build-To Line:

The Township Zoning Ordinance requires a 10-foot build-to line for a proposed development based on building form B. As a part of this development, the existing water main will need to be extended north across the site's Huron Street frontage. The proposed water main will be located on-site within a 15-foot-wide easement. It is our understanding that in cases like this, the build-to line is measured from the edge of the easement as opposed to the road right of way. The proposed build-to line for this development is

22.5' to the edge of the proposed water main easement. The proposed building location and build-to line was set specifically to provide efficient pedestrian circulation between the proposed parking area, cart enclosure and front entrance to the store. Per the Zoning Ordinance, the Planning Commission can approve an increase in the build-to line up to a maximum of 30 feet for projects that incorporate a permanent space for an outdoor café, public space, or a cross connection access drive with an adjacent parcel. This project incorporates two of these items. A public art display pad is proposed at the southeast corner of the property near the intersection of Huron Street and Brinker Way. A cross-connection drive is proposed along the west side of the development that provides access to adjacent properties to the north and west. The Applicant is requesting Planning Commission approval of the proposed 22.5' build-to line to allow for proper and efficient pedestrian circulation for the proposed facility.

Transparency:

The Township Zoning Ordinance requires 30% transparency for building walls facing a parking area. This requirement applies to the south and west facades for this development. For buildings where transparency is not feasible, the Zoning Ordinance allows the Planning Commission to approve exterior facade material enhancements. For the south elevation, the maximum feasible amount of transparency has been proposed at 15.22% which includes the glass entry vestibule and the glass emergency exit door. The remainder of the south wall between the entry vestibule and emergency exit backs up to multideck cooler units and product shelving and cannot support additional transparency. Therefore, exterior material enhancements have been proposed for 33.33% of the south elevation between 2' and 8' above finish floor to offset the 14.78% of required transparency. For the west elevation, it is not feasible to provide any transparency between 2' and 8' above finish floor. The north 40 feet of this façade is adjacent to storage area and the south 80 feet backs up to multideck cooler units. Therefore exterior material enhancements have been proposed for 43.39% of the south façade and 38.66% of the loading dock screen wall. The Applicant is requesting Planning Commission approval of the use of exterior façade material enhancements in lieu of transparency as outlined herein.

Tree Mitigation:

105 existing trees are to be removed as a part of this development. 14 of these existing trees are dead. Therefore 91 replacement trees are required. 9 replacement trees are proposed as a part of the Landscape Plan. There is not sufficient area available on this site for the remaining 82 replacement trees. The Applicant is therefore requesting approval to pay into the Township Tree Fund for the remaining 82 replacement trees.

PRELIMINARY SITE PLAN

FOR

ALDI #62

1420 S. HURON STREET YPSILANTI, MICHIGAN 48197
 A PART OF SW 1/4 OF SECTION 16, T3S, R7E
 YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

LEGAL DESCRIPTIONS:

PARCEL "A-1" 2.524± Acres

Land situated in the Township of Ypsilanti, County of Washtenaw, Michigan, more particularly described as:
 Commencing at the Southeast Corner of Lot 10 of "Washtenaw Business Park," part of French Claim 680 & 681, Town 3 South, Range 7 East, Ypsilanti Township, Washtenaw County, Michigan, according to the plat thereof, as recorded in Liber 33 of Plats, Pages 19 through 27, inclusive, Washtenaw County Records;
 thence N72°40'20"E 820.92 feet along the South line of said "Washtenaw Business Park" to the West line of Whittaker Road a.k.a. South Huron Street (60-foot wide 1/2 Right-of-Way);
 thence S05°16'09"W 507.79 feet along the West line of said Whittaker Road a.k.a. Huron Street to the **PLACE OF BEGINNING**;
 thence continuing the following two courses along the West line of said Huron Street:

- 1) S05°16'09"W 169.41 feet and
- 2) S08°19'20"W 132.10 feet to the North line of Brinker Way (86-foot wide Right-of-Way);

thence the following three courses along the North line of said Brinker Way:

- 1) N81°19'20"W 40.85 feet (recorded as 40.78 feet),
- 2) Westerly 98.49 feet along the arc of a 293.00-foot radius curve to the left, through a central angle of 19°15'34" and having a chord bearing S89°02'53"W 98.03 feet and
- 3) S79°25'06"W 180.71 feet;

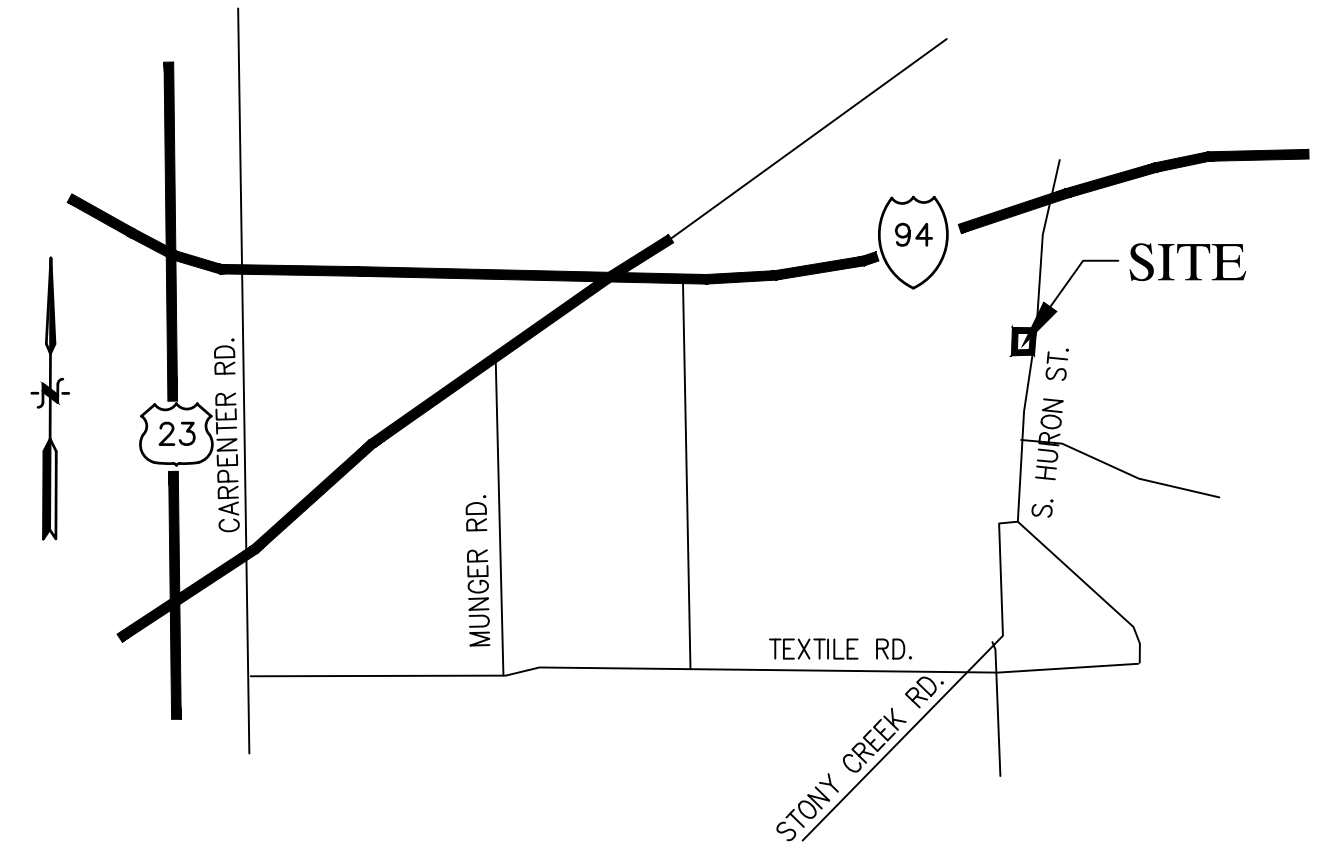
thence N10°34'54"W 78.66 feet;

thence Northerly 46.75 feet along the arc of a 169.00-foot radius curve to the right, through a central angle of 15°51'03" and having a chord bearing N02°39'23"W 46.60 feet;

thence N05°16'09"E 237.04 feet;

thence S84°43'51"E 347.01 feet to a point on West line of said Whittaker Road a.k.a. Huron Street and the Place of Beginning. Being a part of the French Claim 681 Town 3 South, Range 7 East, Washtenaw County, Michigan. Containing 2.524 acres of land, more or less. Subject to and together with all easements and restrictions of record affecting title to the described above premises.

Refer to the current policy for title insurance for proof of ownership and all encumbrances affecting title to the described above parcel.



LOCATION MAP
 SCALE: 1" = 2000'

SHEET INDEX

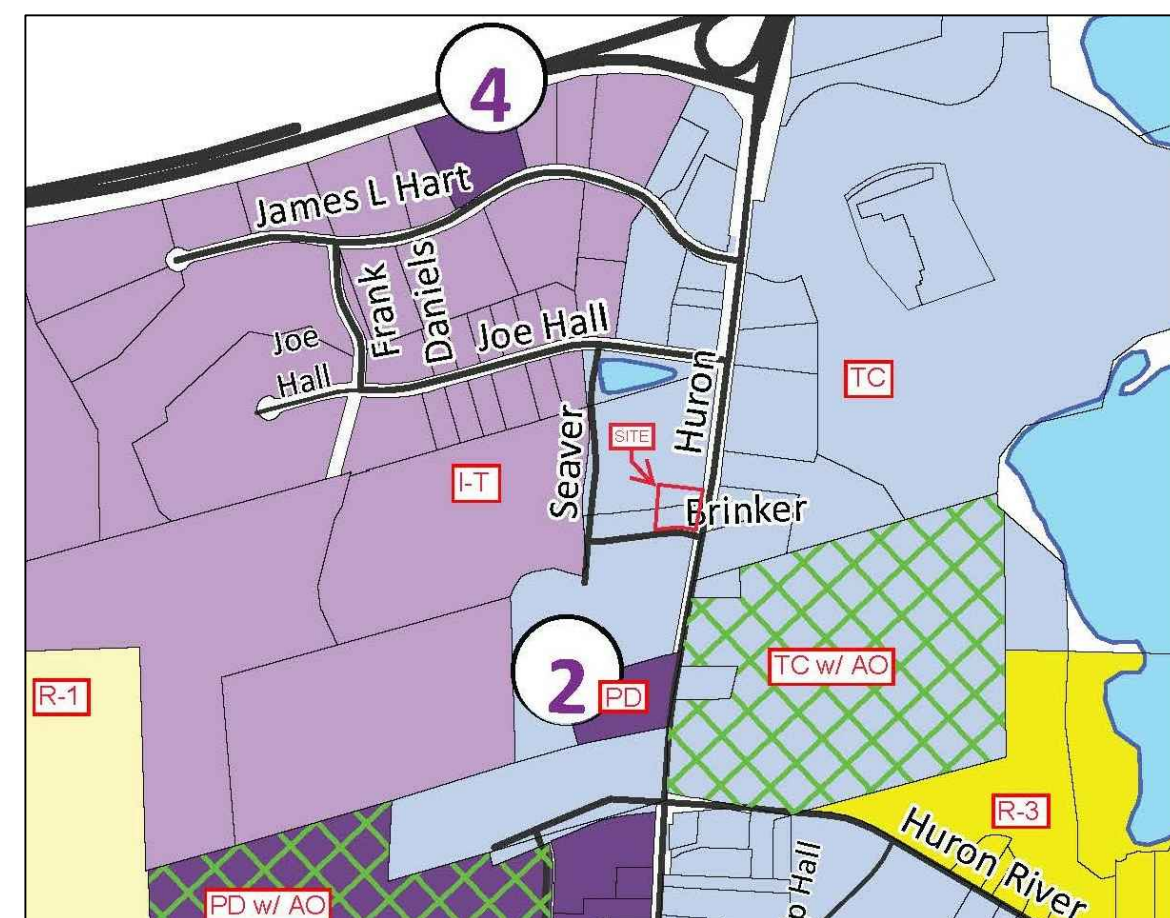
- SA1 SITE ANALYSIS PLAN
- EX1 EXISTING CONDITIONS & DEMOLITION PLAN
- EX2 EXISTING SITE DATA & DEMOLITION NOTES
- SP1 SITE PLAN
- UT1 UTILITY PLAN
- GR1 GRADING & PAVING PLAN (SOUTH)
- GR2 GRADING & PAVING PLAN (NORTH)
- SE1 SOIL EROSION & SEDIMENTATION CONTROL PLAN
- SE2 SOIL EROSION & SEDIMENTATION NOTES & DETAILS
- WS1 WATERSHED PLAN
- WS2 STORM WATER MANAGEMENT CALCULATIONS
- L-1 LANDSCAPE PLAN
- LT1 SITE LIGHTING PLAN
- LT2 SITE LIGHTING DETAILS
- DT1 SITE PAVEMENT NOTES & DETAILS
- DT2 SIGNAGE & PAVEMENT MARKING PLAN
- DT3 SIGNAGE DETAILS
- A-131 BUILDING FLOOR PLAN / OPERATIONS PLAN
- A-201 EXTERIOR ELEVATIONS
- A-507 EXTERIOR DETAILS



AERIAL PHOTOGRAPH
 NOT TO SCALE

AERIAL PHOTOGRAPHY BY:
 Google maps

Aerial photographic underlay is an unrectified image and is oriented to the engineering line work within reasonable accuracy and precision, and may not accurately depict current site conditions.



ZONING MAP
 NOT TO SCALE

BENCHMARK

DATUM BASED ON NGS OPUS SOLUTION REPORT, DATED OCTOBER 31, 2022 AT 10:48 AM

BENCHMARK #200
 NORTHERLY RIM OF A WATER MANHOLE, LOCATE WITHIN THE SOUTHWEST QUAD OF THE INTERSECTION OF BRINKER ST AND HURON ROAD.
 ELEVATION = 761.22 (NAVD 88)

BENCHMARK #201
 NORTHERLY RIM OF A SANITARY MANHOLE, LOCATED WITHIN THE SOUTHWEST QUAD OF THE INTERSECTION OF BRINKER ST AND SEAWAY WAY.
 ELEVATION = 748.26 (NAVD 88)

BENCHMARK #202
 NORTHEAST RIM/CORNER OF CATCH BASIN #21, LOCATED ON THE WEST SIDE OF SEAWAY WAY.
 ELEVATION = 745.22 (NAVD 88)

ENGINEER/SURVEYOR

DESINE INC.
 2183 PLESS DRIVE
 BRIGHTON, MICHIGAN 48114
 PHONE: (810) 227-9533

DEVELOPER / APPLICANT

ALDI Inc.
 2625 N. STOCKBRIDGE ROAD
 WEBBERVILLE, MICHIGAN 48892
 PHONE: (517) 521-3907

ARCHITECT

MOSURE L.L.C.
 2221 SCHROCK ROAD
 COLUMBUS, OH 43229-1547
 PHONE: (614) 898-7100

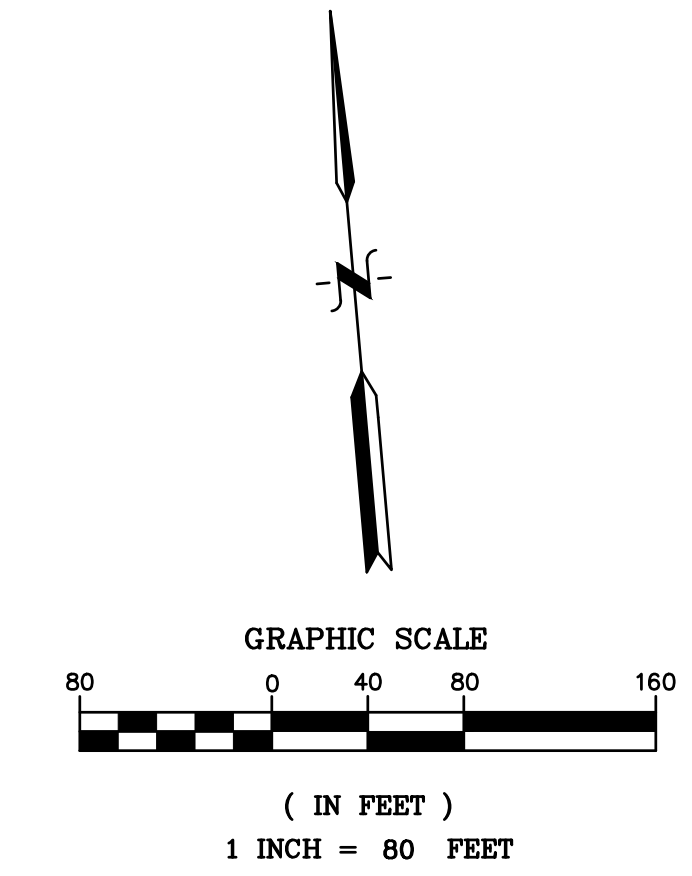


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 OR VISIT CALL811.COM

REVISED	SCALE: N/A
	PROJECT No.: 9224256
	DWG NAME: 4256 COV
	PRINT: MAR. 08, 2023

DESINE INC.
 (810) 227-9533
 CIVIL ENGINEERS
 LAND SURVEYORS
 2183 PLESS DRIVE
 BRIGHTON, MICHIGAN 48114



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(810) 227-9533
CIVIL ENGINEERS
LAND SURVEYORS
2183 PLESS DRIVE
BRIGHTON, MICHIGAN 48114

DESIGN: CAG	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.						
CHECK: CAG						

ALDI #62
YPSILANTI, MICHIGAN

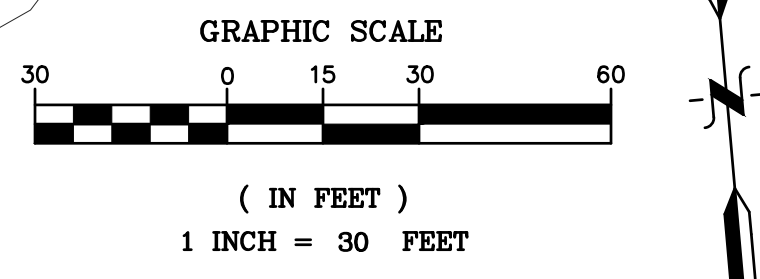
SITE ANALYSIS PLAN

CLIENT:
ALDI, Inc.
2625 N. STOCKBRIDGE ROAD
WEBBERVILLE, MICHIGAN 48892
(517) 521-3907

SCALE: 1"=80'
PROJECT No.: 9224256
DWG NAME: 4256 SA1
ISSUED: MAR. 08, 2023

SA1

PARCEL No. K-11-38-280-016
 ZONED: TC/USE: VACANT
 CHARTER TOWNSHIP OF YPSILANTI
 7200 S. HURON RIVER DRIVE
 YPSILANTI, MI 48197



LEGEND

- = MISC. STRUCTURE (AS LABELED)
- = BOLLARD
- = SIGN
- = LIGHT BASE
- = STREET LIGHT
- = OVERHEAD TRAFFIC SIGNAL
- = UTILITY METERS & BOXES (ELECTRIC METER, GAS METER, WATER METER, PHONE BOX, CATV BOX, MAIL BOX)
- = AIR CONDITIONER UNIT
- = UTILITY MANHOLE (AS LABELED)
- = UTILITY POLE W/GUY WIRE
- = OVERHEAD UTILITY LINES (ELECTRIC/PHONE/CABLE)
- = U/G UTILITY LINES (ELECTRIC/PHONE/CABLE)
- = DECIDUOUS TREE W/IDENTIFIER
- = CONIFEROUS TREE W/IDENTIFIER
- = DECIDUOUS SHRUB
- = EXISTING TREE DRIP LINE
- = FENCE (CHAIN LINK UNLESS OTHERWISE STATED)
- = GUARD RAIL
- = EDGE OF GRAVEL
- = CONCRETE CURB (UNLESS OTHERWISE STATED)
- = SANITARY SEWER MANHOLE W/IDENTIFIER
- = SANITARY SEWER PIPE
- = CLEAN OUT
- = STORM WATER MANHOLE W/IDENTIFIER
- = CATCH BASIN W/IDENTIFIER
- = FLARED END SECTION
- = STORM WATER DRAINAGE PIPE
- = HYDRANT
- = WATER SHUT OFF
- = WATER VALVE
- = WATER VALVE BOX
- = WATER MAIN
- = GAS SHUT OFF
- = U/G GAS
- = SPOT ELEVATION
- = EXISTING 1' CONTOUR
- = EXISTING 5' CONTOUR

PARCEL No. K-11-38-280-017
 ZONED: TC/USE: VACANT

REMOVE ALL EXISTING TREES & UNDERBRUSH WITHIN CLEARING LIMITS

CONCRETE FOUNDATION & CONCRETE SURFACE (TO BE REMOVED)

REMOVE EXISTING TREES (x4)

PARCEL No. K-11-16-360-008
 ZONED: TC/USE: VACANT
 KALITTA LLC
 818 WILLOW RUN AIRPORT
 YPSILANTI, MI 48198

SAW CUT AND REMOVE EXISTING BITUMINOUS WALK

PARCEL No. K-11-38-280-012
 ZONED: I-1/USE: INDUSTRIAL
 1476 SEAWAY WAY LLC
 860 COLLISION RD.
 ANN ARBOR, MI 48105

SEAWAY WAY
 43' WD 1/2 R.O.W.

WHITTAKER ROAD A.K.A. S. HURON STREET
 60' WD 1/2 R.O.W.

BRINKER WAY
 43' WD 1/2 R.O.W.

REMOVE EXISTING TOWNSHIP ORDINANCE SIGN & POST COMPLETE. SALVAGE FOR RE-USE.

SAW CUT & REMOVE EXISTING CONCRETE CURB & GUTTER

EXISTING UTILITY RISER TO BE RELOCATED. COORDINATE WORK WITH THE APPROPRIATE UTILITY PROVIDER.

REMOVE & REPLACE EXISTING STORM STRUCTURE CASTING PER SHEET UT1

BENCHMARK
 DATUM BASED ON NGS OPUS SOLUTION REPORT, DATED OCTOBER 31, 2022 AT 10:48 AM
 BENCHMARK #200 NORTHERLY RIM OF A WATER MANHOLE, LOCATE WITHIN THE SOUTHWEST QUAD OF THE INTERSECTION OF BRINKER ST AND SEAWAY WAY. ELEVATION = 761.22 (NAVD 88)
 BENCHMARK #201 NORTHERLY RIM OF A SANITARY MANHOLE, LOCATED WITHIN THE SOUTHWEST QUAD OF THE INTERSECTION OF BRINKER ST AND SEAWAY WAY. ELEVATION = 748.26 (NAVD 88)
 BENCHMARK #202 NORTHEAST RIM/CORNER OF CATCH BASIN #21, LOCATED ON THE WEST SIDE OF SEAWAY WAY. ELEVATION = 745.22 (NAVD 88)

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 CIVIL ENGINEERS
 LAND SURVEYORS
 2183 PLESS DRIVE
 BRIGHTON, MICHIGAN 48114

PARCEL No. K-11-38-280-015
 ZONED: TC/USE: VACANT
 CHARTER TOWNSHIP OF YPSILANTI
 7200 S. HURON RIVER DRIVE
 YPSILANTI, MI 48197

ALDI #62
 YPSILANTI, MICHIGAN

EXISTING CONDITIONS & DEMOLITION PLAN

CLIENT: ALDI, Inc.
 2625 N. STOCKBRIDGE ROAD
 WEBBERVILLE, MICHIGAN 48892
 (517) 521-3907

SCALE: 1"=30'
 PROJECT No.: 9224256
 DWG NAME: 4256 EX
 ISSUED: MAR. 08, 2023

EX1

DESIGN: CAG	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.						
CHECK: CAG						

TREE SCHEDULE

No.	DESCRIPTION
1	BOXELDER 12"
2	COTTONWOOD 11"
3	EASTERLY 8"
4	COTTONWOOD 8"
5	COTTONWOOD 12"
6	BOXELDER 8"
7	COTTONWOOD 30"
8	BOXELDER 10"
9	APPLE 6" MULTI
10	HONEYLOCUST 6" TWIN
11	BOXELDER 12"
12	COTTONWOOD 18"
13	BOXELDER 24" TRI
14	BOXELDER 15" MULTI
15	HONEYLOCUST 10" TWIN
16	BOXELDER 10"
17	BOXELDER 13"
18	BOXELDER 8"
19	BOXELDER 30" TWIN
20	PINE 8"
21	PINE 10"
22	PINE 10"
23	BOXELDER 6"
24	PINE 11"
25	PINE 11"
26	PINE 7"
27	PINE 12"
28	PINE 8" TRI
29	PINE 11"
30	PINE 9"
31	PINE 9"
32	COTTONWOOD 30"
33	COTTONWOOD 16"
34	COTTONWOOD 30" TWIN
35	BOXELDER 10" TWIN
36	BOXELDER 3" TWIN
37	BOXELDER 8"
38	ELM 8"
39	BOXELDER 30"
40	APPLE 10" MULTI
41	CHERRY 12"
42	COTTONWOOD 18" (PREV. MARKED)
43	COTTONWOOD 10"
44	COTTONWOOD 12"
45	COTTONWOOD 9" TWIN
46	COTTONWOOD 18"
47	HICKORY 8"
48	COTTONWOOD 16"
49	MAPLE 15" TWIN
50	BOXELDER 8" TWIN
51	BOXELDER 8" CLUSTER
52	SASSAFRASS 14"
53	CHERRY 14"
54	CHERRY 8"
55	CHERRY 20" TWIN
56	CHERRY 12"
57	CHERRY 18"
58	DEAD 15" TREE 58
59	BOXELDER 15" TWIN
60	BOXELDER 14" TWIN
61	BOXELDER 14" TRI
62	CHERRY 22" TWIN (PREV. MARKED)
63	BOXELDER 16"
64	COTTONWOOD 11"
65	CHERRY 16" (PREV. MARKED)
66	COTTONWOOD 8"
67	BOXELDER 8"
68	BOXELDER 8" MULTI
69	DEAD 12" (PREV. MARKED)
70	BOXELDER 10"
71	COTTONWOOD 10" TWIN (PREV. MARKED)
72	BOXELDER 8"
73	BOXELDER 10"
74	CHERRY 14"
75	BOXELDER 8" TWIN
76	BOXELDER 8" TWIN
77	BOXELDER 8"
78	BOXELDER 10"
79	COTTONWOOD 8"
80	COTTONWOOD 8" TWIN
81	BOXELDER 8"
82	BOXELDER 8"
83	CHERRY 11" TWIN
84	COTTONWOOD 14" (PREV. MARKED)
85	COTTONWOOD 12" (PREV. MARKED)
86	COTTONWOOD 15" (PREV. MARKED)
87	COTTONWOOD 18" (PREV. MARKED)
88	COTTONWOOD 16" (PREV. MARKED)
89	BOXELDER 10"
90	COTTONWOOD 18" (PREV. MARKED)
91	BOXELDER 8"
92	COTTONWOOD 26" (PREV. MARKED)
93	BOXELDER 8"
94	DEAD 36" TWIN (PREV. MARKED)
95	BOXELDER 10" TWIN (PREV. MARKED)
96	BOXELDER 8"
97	DEAD 15" TRI (PREV. MARKED)
98	DEAD 12" TWIN
99	BOXELDER 9"
100	BOXELDER 12" TWIN
101	HICKORY 30"
102	APPLE 10" CLUSTER
103	BOXELDER 8"
104	COTTONWOOD 12" TWIN
105	COTTONWOOD 10"
106	COTTONWOOD 11"
107	COTTONWOOD 24" TWIN
108	BOXELDER 18" MULTI
109	BOXELDER 12"
110	DEAD 14" TRI
111	MAPLE 6"
112	BOXELDER 10"
113	BOXELDER 8"
114	BOXELDER 11"
115	BOXELDER 9" TWIN
116	CHERRY 28" TWIN (PREV. MARKED)
117	COTTONWOOD 20" MULTI
118	BOXELDER 18"
119	DEAD 32"
120	DEAD 15" MULTI
121	DEAD 13" TWIN
122	BOXELDER 8"
123	BOXELDER 12"
124	BOXELDER 18" TWIN
125	DEAD 20" TWIN
126	ELM 12"
127	ELM 10"
128	ELM 8"
129	DEAD 24" TWIN (PREV. MARKED)
130	BOXELDER 15"
131	BOXELDER 9"
132	ELM 15"
133	ELM 10"
134	APPLE 8" MULTI
135	COTTONWOOD 11"
136	BOXELDER 20" TWIN
137	COTTONWOOD 18"
138	DEAD 14"
139	DEAD 8"
140	DEAD 24" TWIN
141	BOXELDER 20" MULTI
142	COTTONWOOD 13"
143	APPLE 8" TWIN
144	DEAD 15" MULTI
145	COTTONWOOD 13"
146	BOXELDER 18"
147	BOXELDER 18"
148	DEAD 16"
149	BOXELDER 18" MULTI
150	BOXELDER 12" MULTI
151	APPLE 8" TWIN
152	BOXELDER 11" MULTI
153	COTTONWOOD 8"
154	COTTONWOOD 10" TWIN
155	COTTONWOOD 10" TWIN
156	APPLE 8" TWIN
157	COTTONWOOD 8"
158	BOXELDER 9"
159	BOXELDER 12" TWIN
160	COTTONWOOD 8"
161	APPLE 7" TWIN
162	BOXELDER 8"
163	APPLE 12" MULTI
164	DEAD 8"
165	COTTONWOOD 9"
166	ELM 9"
167	BOXELDER 11"
168	BOXELDER 11" TWIN
169	BOXELDER 11" TRI
170	BOXELDER 10"
171	BOXELDER 10"
172	CHERRY 18"
173	BOXELDER 20" MULTI
174	APPLE 8" MULTI

TBR = TO BE REMOVED

EXISTING STRUCTURE INVENTORY

CATCH BASIN #	DESCRIPTION	COORDINATE
CATCH BASIN #8A	ROADSIDE RM	756.53
INVERTS	NORTHERLY	12" RCP 752.83
	EASTERLY	6" CPP 753.13
	WESTERLY	6" CPP 753.23
CATCH BASIN #7C	ROADSIDE RM	746.54
INVERTS	WESTERLY	12" RCP 743.54
	EASTERLY	6" CPP 743.84
CATCH BASIN #7A	ROADSIDE RM	746.53
INVERTS	NORTHERLY	12" RCP 743.33
	EASTERLY	12" RCP 743.38
	NORTHERLY	4" CPP 744.13
CATCH BASIN #5B	ROAD SIDE RM	747.20
INVERTS	NORTHERLY	18" RCP 742.35
	SOUTHERLY	18" RCP 742.40
	SOUTHERLY	4" CPP 743.20
	NORTHEASTERLY	6" CPP 743.60
SANITARY SEWER MANHOLE #2	WESTERLY RM	747.81
INVERTS	NORTHERLY	10" SDR 730.69
	WESTERLY	10" SDR 730.69
	EASTERLY	10" SDR 730.69
CATCH BASIN #8B	ROADSIDE RM	756.67
INVERTS	WESTERLY	12" RCP 749.37
	SOUTHERLY	12" RCP 752.52
	NORTHEASTERLY	6" CPP 754.17
	EASTERLY	6" CPP 753.17
STORM MANHOLE #5	SOUTHERLY RIM	749.12
INVERTS	EASTERLY	12" RCP 744.62
	WESTERLY	12" RCP 744.52
CATCH BASIN #7D	ROADSIDE RM	746.39
INVERTS	WESTERLY	12" RCP 743.39
	EASTERLY	6" CPP 743.74
CATCH BASIN #7B	ROADSIDE RM	746.41
INVERTS	NORTHEASTERLY	12" RCP 743.06
	EASTERLY	12" RCP 743.16
	SOUTHERLY	12" RCP 743.11
	WESTERLY	6" CPP 744.21
STORM MANHOLE #7	INVERTS	747.04
	WESTERLY	18" RCP 742.74
	EASTERLY	12" RCP 742.84
	SOUTHEASTERLY	12" RCP 742.94
CATCH BASIN #5A	ROAD SIDE RM	747.26
INVERTS	NORTHERLY	24" RCP 742.16
	SOUTHERLY	18" RCP 742.21
	EASTERLY	18" RCP 742.21
SANITARY SEWER MANHOLE #3	WESTERLY RM	747.91
INVERTS	NORTHERLY	10" SDR 731.19
	SOUTHERLY	10" SDR 731.19
CATCH BASIN #4B	ROADSIDE RM	746.90
INVERTS	NORTHEASTERLY	12" RCP 743.30
	WESTERLY	12" RCP 743.40
	NORTHERLY	4" CPP 744.40
STORM MANHOLE #4C	NORTHWESTERLY RIM	747.82
INVERTS	NORTHERLY	24" RCP 741.77
	SOUTHERLY	24" RCP 741.77
	SOUTHWESTERLY	12" RCP 741.77
STORM MANHOLE #4	NORTHWESTERLY RIM	746.24
INVERTS	NORTHERLY	15" RCP 741.39
	SOUTHERLY	24" RCP 741.34
	WESTERLY	24" RCP 741.44
CATCH BASIN #3D	ROADSIDE RM	745.18
INVERTS	NORTHERLY	12" RCP 741.88
	WESTERLY	12" RCP 741.83
	SOUTHERLY	15" RCP 741.78
	SOUTHWESTERLY	4" CPP 742.88
CATCH BASIN #3B	ROADSIDE RM	745.16
INVERTS	NORTHERLY	12" RCP 741.86
	SOUTHERLY	6" CPP 742.21
STORM MANHOLE #19	NORTHERLY RIM	747.63
INVERTS	WESTERLY	RCP
	NORTHEASTERLY	RCP
GATE VALVE MANHOLE #9	WESTERLY RM	746.01
INVERTS	EAST/WEST IRON TOP PIPE	738.81
CATCH BASIN #3A	ROADSIDE RM	745.25
INVERTS	NORTHERLY	6" CPP 742.85
	SOUTHERLY	1" 2" RCP 742.25
CATCH BASIN #3C	ROADSIDE RM	745.34
INVERTS	NORTHERLY	12" RCP 742.09
	EASTERLY	12" RCP 742.04
	SOUTHEASTERLY	6" CPP 743.04
STORM MANHOLE #3	EASTERLY RIM	746.09
INVERTS	EASTERLY	24" RCP 741.24
	WESTERLY	24" RCP 741.29
CATCH BASIN #4A	ROADSIDE RM	746.87
INVERTS	EASTERLY	12" RCP 743.67
	NORTHERLY	6" CPP 744.37
	SOUTHERLY	6" CPP 744.27
SANITARY SEWER MANHOLE #1	SOUTHERLY RIM	748.35
INVERTS	WESTERLY	10" SDR 730.30
	WESTERLY	10" SDR 730.25
GATE VALVE MANHOLE #24	SOUTHERLY RIM	748.40
INVERTS	IRON TOP PIPE	741.40
	WESTERLY	IRON TOP PIPE 741.40
GATE VALVE MANHOLE #6	NORTHERLY RIM	748.54
INVERTS	NORTHERLY	IRON TOP PIPE 741.54
	SOUTHERLY	IRON TOP PIPE 741.54
GATE VALVE MANHOLE #12	WESTERLY RM	748.33
INVERTS	EASTERLY	IRON TOP PIPE 741.58
	WESTERLY	IRON TOP PIPE 741.58
GATE VALVE MANHOLE #18	NORTHERLY RIM	761.31
INVERTS	NLY - SLY IRON TOP PIPE	755.61
GATE VALVE MANHOLE #19	SOUTHERLY RIM	761.13
INVERTS	NLY - SLY IRON TOP PIPE	754.38
CATCH BASIN #10	ROADSIDE RM	760.10
INVERTS	EASTERLY	12" RCP ± 755.90
	NORTHERLY	12" RCP 755.35
STORM MANHOLE #32	NORTHERLY RIM	760.57
INVERTS	WESTERLY	15" RCP 755.32
	EASTERLY	15" RCP 754.12
STORM MANHOLE #33	ROADSIDE RM	760.62
INVERTS	WESTERLY	15" RCP 753.46
	SOUTHERLY	15" RCP 753.42
CATCH BASIN #11	ROADSIDE RM	761.35
INVERTS	SOUTHERLY	12" RCP 757.40
	NORTHERLY	6" CPP 757.85

DEMOLITION NOTES:

- The demolition specifications of the Local Municipality are a part of this work. Refer to the General Notes on the project plans for additional requirements.
- Contractor shall contact the 811 Underground Public Utility Locating System or other appropriate local underground utility locating Agency, a minimum of three (3) working days prior to performing demolition work. Existing utility information on the project plans may be from information disclosed to this firm by the Utility Companies, Local, County or State Agencies, and/or various other sources. No guarantee is given as to the completeness or accuracy thereof. Prior to construction, locations and depths of all existing utilities (in possible conflict with the proposed improvements) shall be verified in the field.
- Contractor shall contact the appropriate Agencies to coordinate disconnect of the electric, gas, phone, cable and other public utilities as necessary prior to performing demolition work.
- Contractor shall contact the appropriate Agencies to coordinate removal and/or relocation of any underground and/or overhead public utility lines as necessary prior to performing demolition work.
- Contractor shall recycle and/or dispose of all demolition material and debris in accordance with the appropriate Local, County, State and Federal regulations.
- All bituminous and concrete pavement that is to be removed shall be saw cut at the limits of removal to provide for a clean straight edge for future abutment.
- All existing irrigation lines to be removed shall be terminated at the limits of demolition or as necessary to allow for construction of the proposed site improvements. Ends of pipe shall be capped and the location of marked for future connection.
- All existing water main and sanitary sewer to be removed shall be terminated at the limits of demolition or as indicated on the project plans. Temporary plugs shall be installed in the ends of pipe in accordance with the appropriate Agency and the locations of marked for future connection. Permanent plugs shall be installed in the ends of pipe in accordance with the appropriate Agency. The Contractor shall record the location of all permanent plugs and provide the location information to the appropriate Agency.
- All existing storm sewer to be removed shall be terminated at the limits of demolition or as indicated on the project plans. Temporary plugs shall be installed in the ends of pipe in accordance with the appropriate Agency and the locations of marked for future connection. Permanent bulkheads shall be installed in the ends of pipe and/or openings in terminating structures in accordance with the appropriate Agency. The Contractor shall record the location of all permanent bulkheads and provide the location information to the appropriate Agency.
- All existing light sources to be removed shall have their power cables removed up to the power source or properly terminated for future connection at the limits of demolition or as necessary to allow for construction of the proposed site improvements. Removal and termination of power cables shall be performed in accordance with local electric codes.
- All existing utility meters to be removed shall be properly removed to allow for reuse. Any existing utility meters that are not to be reused as a part of this project shall be returned to the appropriate Agency.
- All trenches and/or excavations resulting from the demolition of underground utilities, building foundations, etc., that are located within the 1 on 1 influence zone of proposed structures, paved areas and/or other areas subject to vehicular traffic shall be backfilled with MDOT Class II granular material (or better) to the proposed subgrade elevation. Backfill shall be placed using the controlled density method (12" maximum lifts, compacted to 95% maximum unit weight, Modified Proctor).

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DESIGN-CAG	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.			
CHECK: CAG			

REVISION #	DATE	REVISION-DESCRIPTION

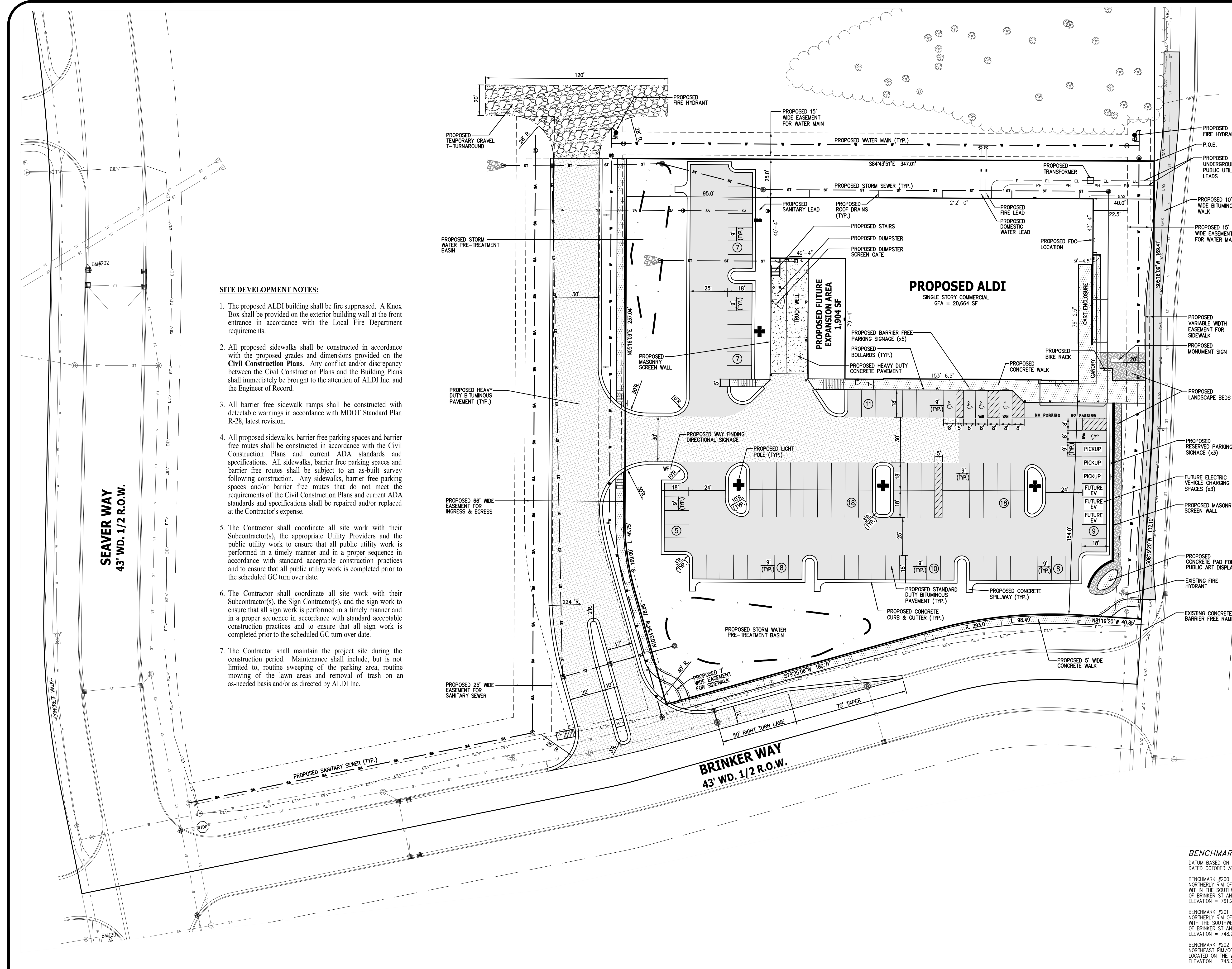
ALDI #62
YPSILANTI, MICHIGAN

EXISTING SITE DATA
& DEMOLITION NOTES

CLIENT:
ALDI, Inc.
2625 N. STOCKBRIDGE ROAD
WEBBERVILLE, MICHIGAN 48892
(517) 521-3907

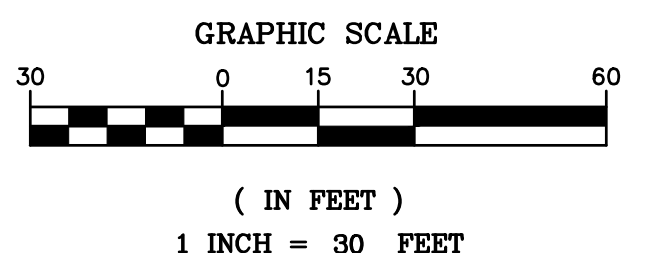
SCALE: 1"=30'
PROJECT No.: 9224256
DWG NAME: 4256 EX
ISSUED: MAR. 08, 2023

EX2



SITE DEVELOPMENT NOTES:

- The proposed ALDI building shall be fire suppressed. A Knox Box shall be provided on the exterior building wall at the front entrance in accordance with the Local Fire Department requirements.
- All proposed sidewalks shall be constructed in accordance with the proposed grades and dimensions provided on the **Civil Construction Plans**. Any conflict and/or discrepancy between the Civil Construction Plans and the Building Plans shall immediately be brought to the attention of ALDI Inc. and the Engineer of Record.
- All barrier free sidewalk ramps shall be constructed with detectable warnings in accordance with MDOT Standard Plan R-28, latest revision.
- All proposed sidewalks, barrier free parking spaces and barrier free routes shall be constructed in accordance with the Civil Construction Plans and current ADA standards and specifications. All sidewalks, barrier free parking spaces and barrier free routes shall be subject to an as-built survey following construction. Any sidewalks, barrier free parking spaces and/or barrier free routes that do not meet the requirements of the Civil Construction Plans and current ADA standards and specifications shall be repaired and/or replaced at the Contractor's expense.
- The Contractor shall coordinate all site work with their Subcontractor(s), the appropriate Utility Providers and the public utility work to ensure that all public utility work is performed in a timely manner and in a proper sequence in accordance with standard acceptable construction practices and to ensure that all public utility work is completed prior to the scheduled GC turn over date.
- The Contractor shall coordinate all site work with their Subcontractor(s), the Sign Contractor(s), and the sign work to ensure that all sign work is performed in a timely manner and in a proper sequence in accordance with standard acceptable construction practices and to ensure that all sign work is completed prior to the scheduled GC turn over date.
- The Contractor shall maintain the project site during the construction period. Maintenance shall include, but is not limited to, routine sweeping of the parking area, routine mowing of the lawn areas and removal of trash on an as-needed basis and/or as directed by ALDI Inc.



LEGEND

- = MISC. STRUCTURE (AS LABELED)
- = BOLLARD
- = SIGN
- = LIGHT BASE
- = STREET LIGHT
- = OVERHEAD TRAFFIC SIGNAL
- = UTILITY METERS & BOXES (ELECTRIC METER, GAS METER, WATER METER, PHONE BOX, CATV BOX, MAIL BOX)
- = AIR CONDITIONER UNIT
- = UTILITY MANHOLE (AS LABELED)
- = UTILITY POLE W/GUY WIRE
- = OVERHEAD UTILITY LINES (ELECTRIC/PHONE/CABLE)
- = U/G UTILITY LINES (ELECTRIC/PHONE/CABLE)
- = DECIDUOUS TREE W/IDENTIFIER
- = CONIFEROUS TREE W/IDENTIFIER
- = DECIDUOUS SHRUB
- = EXISTING TREE DRIP LINE
- = CONCRETE CURB (UNLESS OTHERWISE STATED)
- = SANITARY SEWER MANHOLE W/IDENTIFIER
- = SANITARY SEWER PIPE
- = CLEAN OUT
- = STORM WATER MANHOLE W/IDENTIFIER
- = CATCH BASIN W/IDENTIFIER
- = FLARED END SECTION
- = STORM WATER DRAINAGE PIPE
- = HYDRANT
- = WATER SHUT OFF
- = WATER VALVE
- = WATER VALVE BOX
- = WATER MAIN
- = GAS SHUT OFF
- = U/G GAS
- = PROPOSED LIGHT POLE
- = PROPOSED SANITARY SEWER
- = PROPOSED WATER MAIN
- = PROPOSED STORM SEWER
- = PROPOSED STORM STRUCTURES
- = PROPOSED CURB AND GUTTER
- = PROPOSED CONCRETE WALK
- = PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- = PROPOSED STANDARD DUTY BITUMINOUS PAVEMENT
- = PROPOSED HEAVY DUTY BITUMINOUS PAVEMENT

SITE DATA:
 PARCEL # K-11-38-280-017
 ADDRESS: 1420 S. HURON ST.
 SITE AREA: ±2.52 ACRES
 ZONING: TC-TOWN CENTER
 EXISTING USE: VACANT
 PROPOSED USE: LIMITED ASSORTMENT GROCERY
 PROPOSED LOT COVERAGE: 18.8%
 PAVED PARKING AREA: 39,385 SF
 CONCRETE TRUCK WELL AREA: 1,849 SF
 ALDI PRIVATE CONCRETE SIDEWALK AREA: 2,384 SF
 PUBLIC ROW CONCRETE SIDEWALK AREA: 3,503 SF
 PUBLIC ROW BITUMINOUS SIDEWALK AREA: 3,621 SF

PARKING CALCULATIONS:
 REQUIRED = 1 SPACES PER 325 SF GFA
 = (20,664 SF + 1,904 SF) ÷ 325
 = 69 SPACES
 PROPOSED = 101 SPACES

BENCHMARK
 DATUM BASED ON NCS OPUS SOLUTION REPORT, DATED OCTOBER 31, 2022 AT 10:48 AM
 BENCHMARK #200
 NORTHERLY RIM OF A WATER MANHOLE, LOCATE WITHIN THE SOUTHWEST QUAD OF THE INTERSECTION OF BRINKER ST AND HURON ROAD.
 ELEVATION = 761.22 (NAVD 88)
 BENCHMARK #201
 NORTHERLY RIM OF A SANITARY MANHOLE, LOCATED WITHIN THE SOUTHWEST QUAD OF THE INTERSECTION OF BRINKER ST AND SEAVER WAY.
 ELEVATION = 748.26 (NAVD 88)
 BENCHMARK #202
 NORTHEAST RM/CORNER OF CATCH BASIN #21, LOCATED ON THE WEST SIDE OF SEAVER WAY.
 ELEVATION = 745.22 (NAVD 88)

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DRAFT: L.F.						
CHECK: CAG						

ALDI #62
 YPSILANTI, MICHIGAN

SITE PLAN

CLIENT:
 ALDI, Inc.
 2625 N. STOCKBRIDGE ROAD
 WEBBERVILLE, MICHIGAN 48892
 (517) 521-3907

SCALE: 1"=30'
 PROJECT No.: 9224256
 DWG NAME: 4256 SP
 ISSUED: MAR. 08, 2023

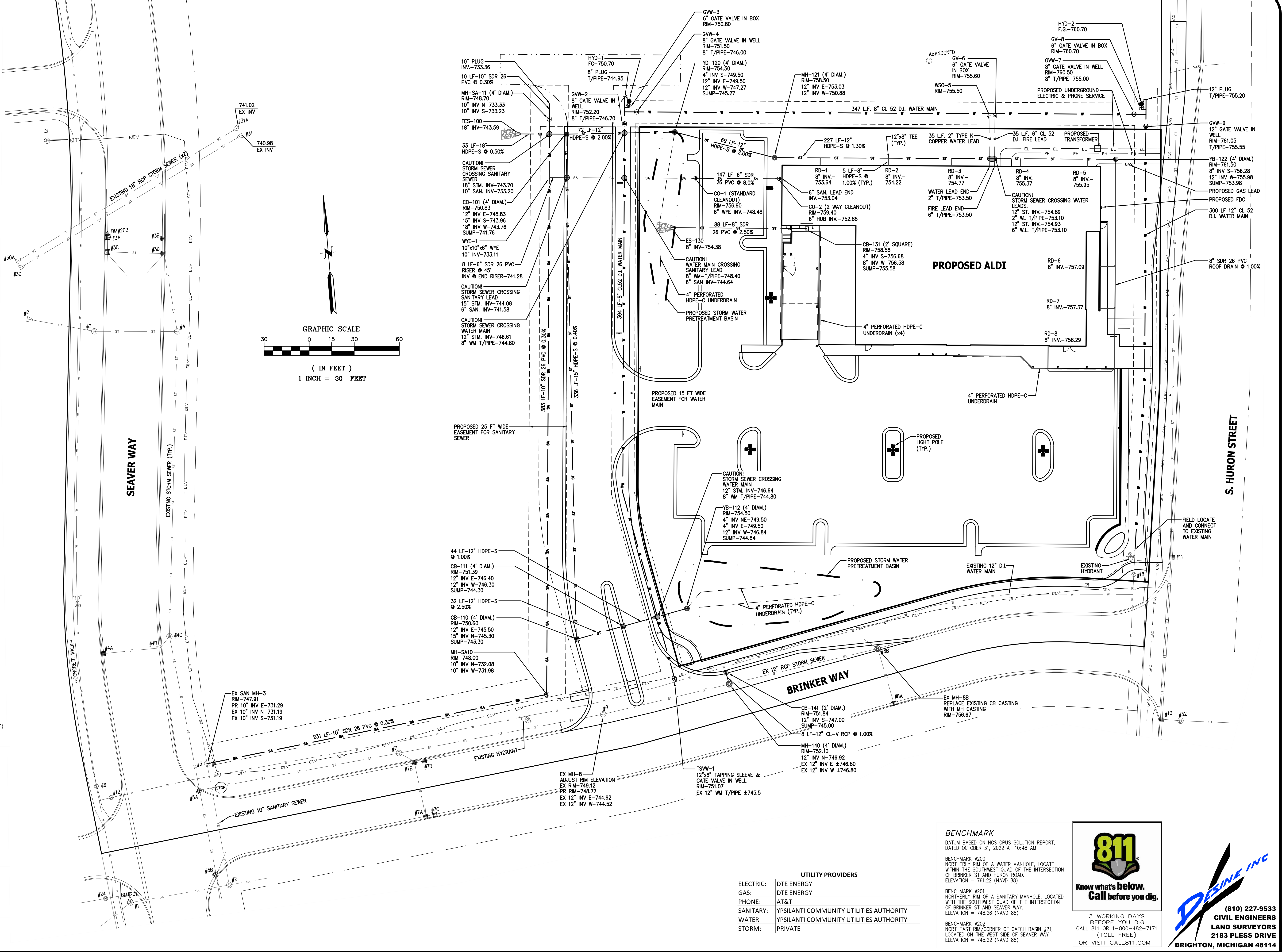
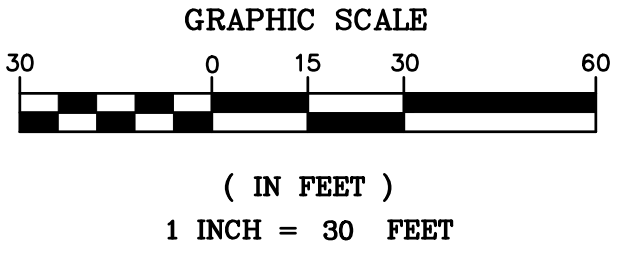
SP1

EXISTING STRUCTURE INVENTORY

CATCH BASIN #6A ROADSIDE RIM 756.53 INVERTS NORTHERLY 12" RCP 752.83 EASTERLY 6" CPP 753.13 WESTERLY 6" CPP 753.23	CATCH BASIN #30 ROADSIDE RIM 745.18 INVERTS NORTHERLY 12" RCP 741.88 WESTERLY 12" RCP 741.83 SOUTHERLY 15" RCP 741.78 SOUTHWESTERLY 4" CPP 742.88	CATCH BASIN #31 ROADSIDE RIM 746.54 INVERTS WESTERLY 12" RCP 743.54 EASTERLY 6" CPP 743.84	CATCH BASIN #32 ROADSIDE RIM 745.16 INVERTS SOUTHERLY 12" RCP 741.86 NORTHERLY 6" CPP 742.21	CATCH BASIN #7A ROADSIDE RIM 746.53 INVERTS NORTHERLY 12" RCP 743.33 EASTERLY 12" RCP 743.38 NORTHERLY 4" CPP 744.13	STORM MANHOLE #19 NORTHERLY RIM 747.63 WESTERLY RCP NORTHEASTERLY RCP	CATCH BASIN #5B ROADSIDE RIM 747.20 INVERTS NORTHERLY 18" RCP 742.35 SOUTHERLY 18" RCP 742.40 SOUTHERLY 6" CPP 743.20 NORTHEASTERLY 6" CPP 743.60	GATE VALVE MANHOLE #9 WESTERLY RIM 746.01 EAST/WEST IRON TOP PIPE 738.81	CATCH BASIN #33A ROADSIDE RIM 745.25 INVERTS NORTHERLY 12" RCP 742.85 SOUTHERLY 2" RCP 742.25	CATCH BASIN #33B ROADSIDE RIM 745.34 INVERTS NORTHERLY 12" RCP 742.09 EASTERLY 12" RCP 742.04 SOUTHWESTERLY 6" CPP 743.04	STORM MANHOLE #19 NORTHERLY RIM 747.81 INVERTS NORTHERLY 10" SDR 730.69 WESTERLY 10" SDR 730.69 EASTERLY 6" CPP 730.69	CATCH BASIN #33C ROADSIDE RIM 745.34 INVERTS NORTHERLY 12" RCP 742.09 EASTERLY 12" RCP 742.04 SOUTHWESTERLY 6" CPP 743.04	CATCH BASIN #33D ROADSIDE RIM 746.87 INVERTS WESTERLY 12" RCP 743.67 NORTHERLY 6" CPP 744.37 SOUTHERLY 6" CPP 744.27	SANITARY SEWER MANHOLE #1 WESTERLY RIM 747.81 INVERTS NORTHERLY 10" SDR 730.30 WESTERLY 10" SDR 730.25	CATCH BASIN #33E ROADSIDE RIM 746.87 INVERTS WESTERLY 12" RCP 743.67 NORTHERLY 6" CPP 744.37 SOUTHERLY 6" CPP 744.27	STORM MANHOLE #9 SOUTHERLY RIM 749.12 INVERTS EASTERLY 12" RCP 744.62 WESTERLY 12" RCP 744.52	GATE VALVE MANHOLE #24 SOUTHERLY RIM 748.40 INVERTS IRON TOP PIPE 741.40 WESTERLY IRON TOP PIPE 741.40	CATCH BASIN #7B ROADSIDE RIM 746.39 INVERTS NORTHERLY 12" RCP 743.39 EASTERLY 6" CPP 743.74	CATCH BASIN #7B ROADSIDE RIM 746.41 INVERTS NORTHEASTERLY 12" RCP 743.06 EASTERLY 12" RCP 743.16 SOUTHERLY 12" RCP 743.11 WESTERLY 6" CPP 744.21	STORM MANHOLE #7 SOUTHERLY RIM 747.04 INVERTS WESTERLY 18" RCP 742.74 EASTERLY 12" RCP 742.84 SOUTHEASTERLY 12" RCP 742.94	GATE VALVE MANHOLE #6 NORTHERLY RIM 748.54 INVERTS IRON TOP PIPE 741.54 WESTERLY IRON TOP PIPE 741.54	CATCH BASIN #5A ROADSIDE RIM 747.26 INVERTS NORTHERLY 24" RCP 742.16 SOUTHERLY 18" RCP 742.21 EASTERLY 18" RCP 742.21	GATE VALVE MANHOLE #12 WESTERLY RIM 748.33 INVERTS IRON TOP PIPE 741.58 WESTERLY IRON TOP PIPE 741.58	SANITARY SEWER MANHOLE #3 WESTERLY RIM 747.91 INVERTS NORTHERLY 10" SDR 731.19 SOUTHERLY 10" SDR 731.19	GATE VALVE MANHOLE #9 NLY - SLY IRON TOP PIPE 755.61	CATCH BASIN #4B ROADSIDE RIM 746.90 INVERTS NORTHEASTERLY 12" RCP 743.30 WESTERLY 12" RCP 743.40 NORTHERLY 4" CPP 744.40	GATE VALVE MANHOLE #18 NORTHERLY RIM 761.31 INVERTS NLY - SLY IRON TOP PIPE 754.38	STORM MANHOLE #4C NORTHWESTERLY RIM 747.82 INVERTS NORTHERLY 24" RCP 741.77 SOUTHERLY 24" RCP 741.77 SOUTHWESTERLY 12" RCP	STORM MANHOLE #32 NORTHERLY RIM 760.57 INVERTS WESTERLY 15" RCP 755.32 EASTERLY 15" RCP 754.12	STORM MANHOLE #4 NORTHWESTERLY RIM 746.24 INVERTS NORTHERLY 15" RCP 741.39 SOUTHERLY 24" RCP 741.34 WESTERLY 24" RCP 741.44	CATCH BASIN #11 ROADSIDE RIM 761.35 INVERTS SOUTHERLY 12" RCP 757.40 NORTHERLY 6" CPP 757.85
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LEGEND

- = UTILITY MANHOLE (AS LABELED)
- = UTILITY POLE W/GUY WIRE
- = OVERHEAD UTILITY LINES (ELECTRIC/PHONE/CABLE)
- = U/G UTILITY LINES (ELECTRIC/PHONE/CABLE)
- = SANITARY SEWER MANHOLE W/IDENTIFIER
- = SANITARY SEWER PIPE
- = CLEAN OUT
- = STORM WATER MANHOLE W/IDENTIFIER
- = CATCH BASIN W/IDENTIFIER
- = FLARED END SECTION
- = STORM WATER DRAINAGE PIPE
- = HYDRANT
- = WATER SHUT OFF
- = WATER VALVE
- = WATER VALVE BOX
- = WATER MAIN
- = GAS SHUT OFF
- = U/G GAS
- = PROPOSED LIGHT POLE
- = PROPOSED SANITARY SEWER
- = PROPOSED WATER MAIN
- = PROPOSED STORM SEWER
- = PROPOSED STORM STRUCTURES



UTILITY PROVIDERS	
ELECTRIC:	DTE ENERGY
GAS:	DTE ENERGY
PHONE:	AT&T
SANITARY:	YPSILANTI COMMUNITY UTILITIES AUTHORITY
WATER:	YPSILANTI COMMUNITY UTILITIES AUTHORITY
STORM:	PRIVATE

BENCHMARK
 DATUM BASED ON NGS OPUS SOLUTION REPORT, DATED OCTOBER 31, 2022 AT 10:48 AM
 BENCHMARK #200
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 BENCHMARK #201
 NORTHERLY RIM OF A SANITARY MANHOLE, LOCATED WITHIN THE SOUTHWEST QUAD OF THE INTERSECTION OF BRINKER ST AND SEEVER WAY. ELEVATION = 748.26 (NAVD 88)
 BENCHMARK #202
 NORTHEAST RIM/CORNER OF CATCH BASIN #21, LOCATED ON THE WEST SIDE OF SEEVER WAY. ELEVATION = 745.22 (NAVD 88)

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ALDI #62
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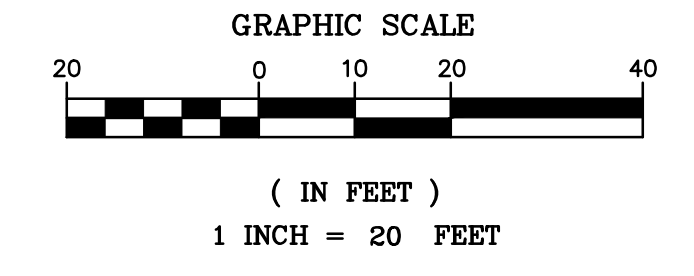
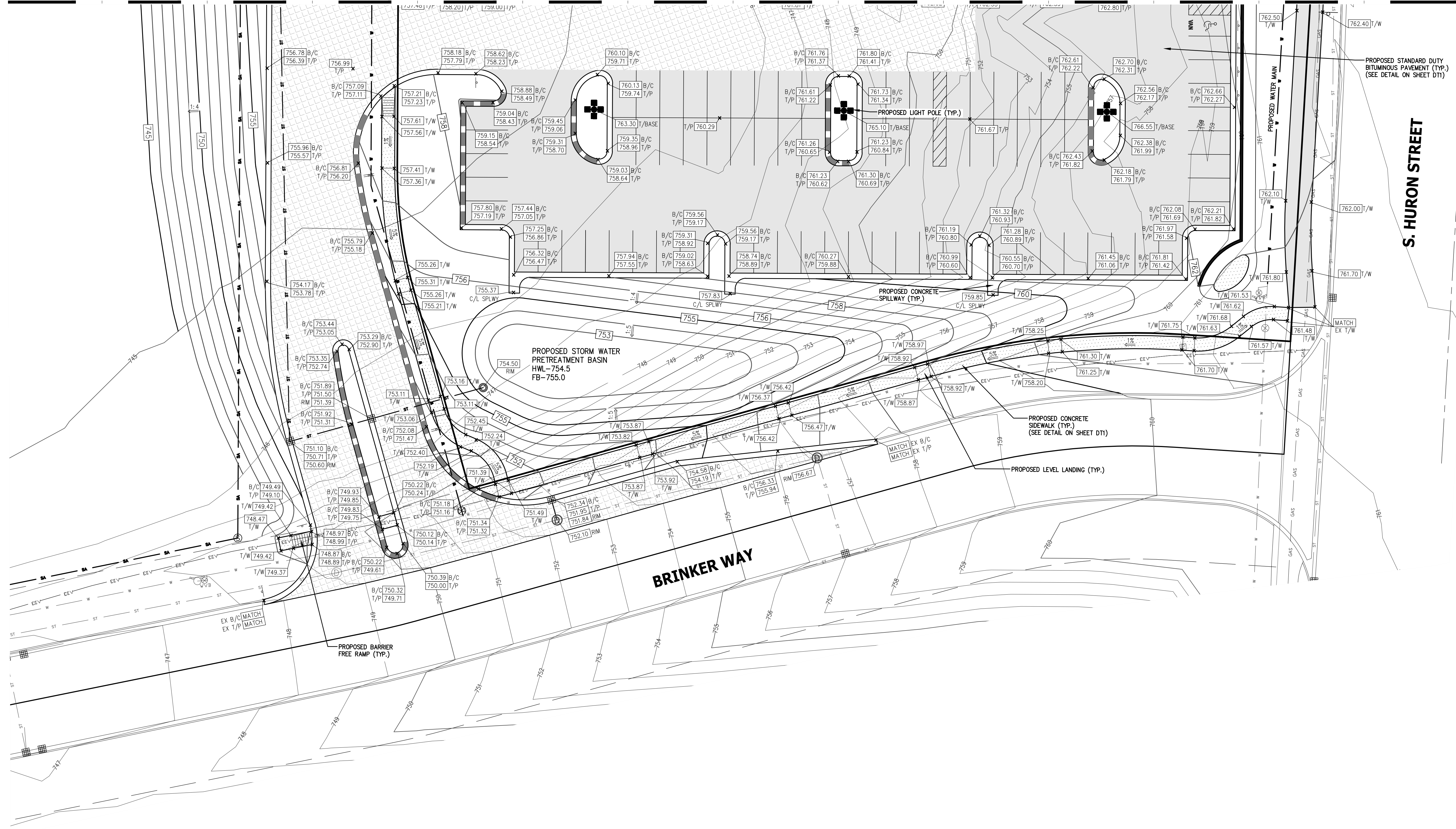
UTILITY PLAN

CLIENT:
 ALDI, Inc.
 2625 N. STOCKBRIDGE ROAD
 WEBBERVILLE, MICHIGAN 48892
 (517) 521-3907

SCALE: 1"=30'
 PROJECT NO.: 9224256
 DWG NAME: 4256 UT1
 ISSUED: MAR. 08, 2023

UT1

MATCH LINE - SEE SHEET GR2 FOR CONTINUATION



LEGEND

- = UTILITY MANHOLE (AS LABELED)
- = UTILITY POLE W/UTILITY WIRE
- = OVERHEAD UTILITY LINES (ELECTRIC/PHONE/CABLE)
- = U/G UTILITY LINES (ELECTRIC/PHONE/CABLE)
- = DECIDUOUS TREE W/IDENTIFIER
- = CONIFEROUS TREE W/IDENTIFIER
- = DECIDUOUS SHRUB
- = EXISTING TREE DRIP LINE
- = GUARD RAIL
- = FENCE (CHAIN LINK UNLESS OTHERWISE STATED)
- = EDGE OF GRAVEL
- = CONCRETE CURB (UNLESS OTHERWISE STATED)
- = SANITARY SEWER MANHOLE W/IDENTIFIER
- = SANITARY SEWER PIPE
- = CLEAN OUT
- = STORM WATER MANHOLE W/IDENTIFIER
- = CATCH BASIN W/IDENTIFIER
- = FLARED END SECTION
- = STORM WATER DRAINAGE PIPE
- = HYDRANT
- = WATER SHUT OFF
- = WATER VALVE
- = WATER VALVE BOX
- = WATER MAIN
- = GAS SHUT OFF
- = U/G GAS
- = SPOT ELEVATION
- = EXISTING 1' CONTOUR
- = EXISTING 5' CONTOUR
- = PROPOSED 1' CONTOUR
- = PROPOSED 5' CONTOUR
- = PROPOSED LIGHT POLE
- = PROPOSED SANITARY SEWER
- = PROPOSED WATER MAIN
- = PROPOSED STORM SEWER
- = PROPOSED STORM STRUCTURES
- = PROPOSED CURB AND GUTTER
- = PROPOSED CONCRETE WALK
- = PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- = PROPOSED STANDARD DUTY BITUMINOUS PAVEMENT
- = PROPOSED HEAVY DUTY BITUMINOUS PAVEMENT
- = PROPOSED DETAIL B BITUMINOUS PAVEMENT
- = PROP. F4 CONCRETE CURB & GUTTER W/STD. PITCH
- = PROP. F4 CONCRETE CURB & GUTTER W/REV. PITCH
- = PROPOSED SPOT ELEVATIONS
- = PROPOSED FLOW ARROW

BENCHMARK
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 ELEVATION = 748.26 (NAVD 88)
 BENCHMARK #202
 NORTHEAST RIM/CORNER OF CATCH BASIN #21, LOCATED ON THE WEST SIDE OF SEAVER WAY.
 ELEVATION = 745.22 (NAVD 88)

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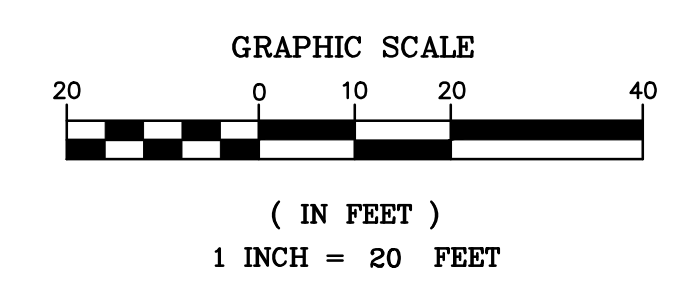
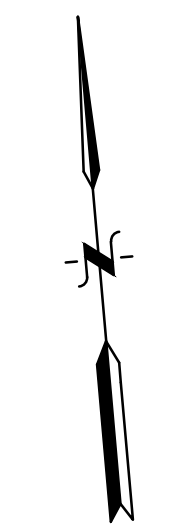
ALDI #62
 YPSILANTI, MICHIGAN

GRADING & PAVING PLAN
 SOUTH

CLIENT:
 ALDI, Inc.
 2625 N. STOCKBRIDGE ROAD
 WEBBERVILLE, MICHIGAN 48892
 (517) 521-3907

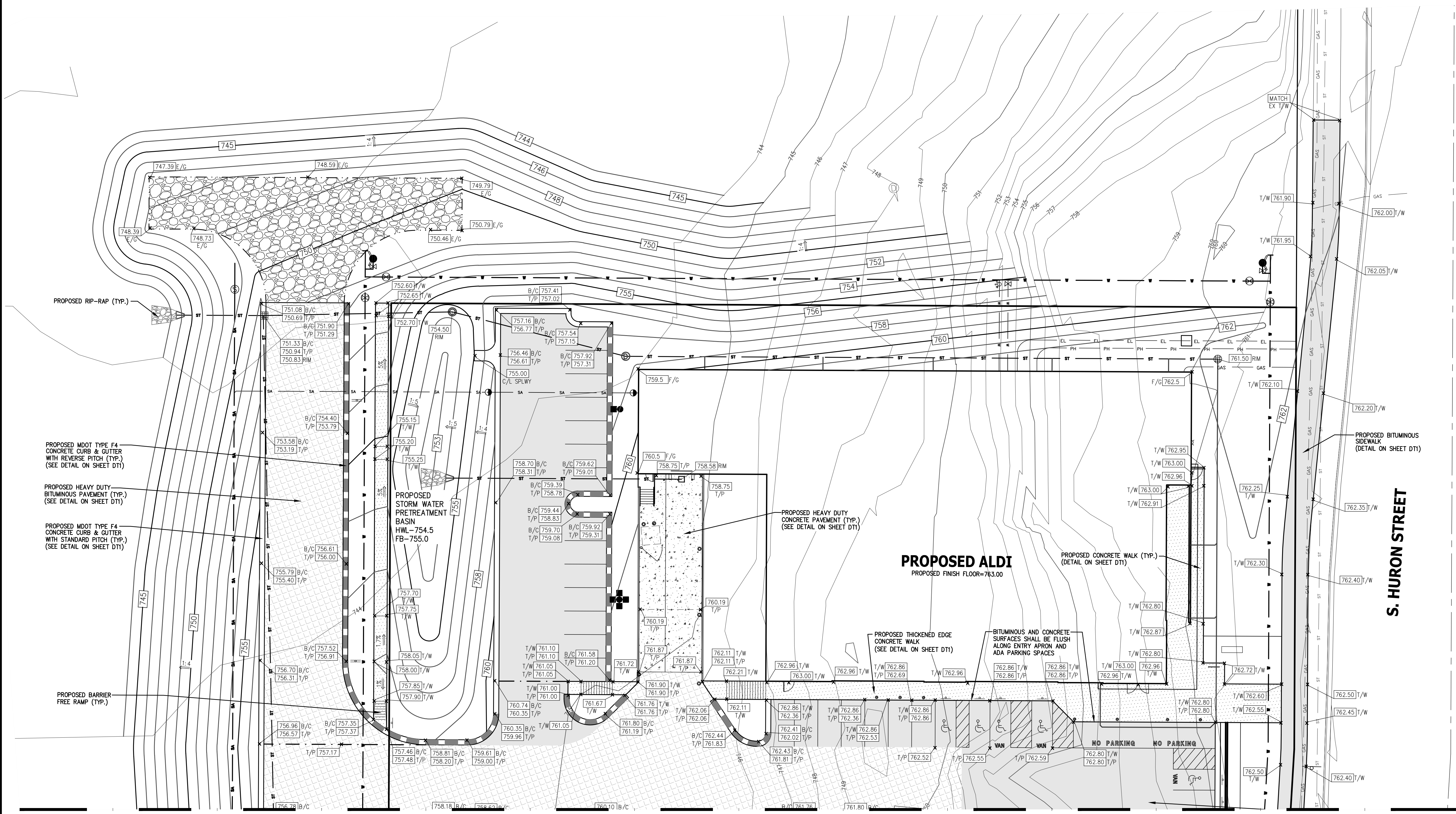
SCALE: 1"=20'
 PROJECT No.: 9224256
 DWG NAME: 4256 GR
 ISSUED: MAR. 08, 2023

GR1



LEGEND

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- = U/G UTILITY LINES (ELECTRIC/PHONE/CABLE)
- = DECIDUOUS TREE W/IDENTIFIER
- = CONIFEROUS TREE W/IDENTIFIER
- = DECIDUOUS SHRUB
- = EXISTING TREE DRIP LINE
- = GUARD RAIL
- = FENCE (CHAIN LINK UNLESS OTHERWISE STATED)
- = EDGE OF GRAVEL
- = CONCRETE CURB (UNLESS OTHERWISE STATED)
- = SANITARY SEWER MANHOLE W/IDENTIFIER
- = SANITARY SEWER PIPE
- = CLEAN OUT
- = STORM WATER MANHOLE W/IDENTIFIER
- = CATCH BASIN W/IDENTIFIER
- = FLARED END SECTION
- = STORM WATER DRAINAGE PIPE
- = HYDRANT
- = WATER SHUT OFF
- = WATER VALVE
- = WATER VALVE BOX
- = WATER MAIN
- = GAS SHUT OFF
- = U/G GAS
- = SPOT ELEVATION
- = EXISTING 1' CONTOUR
- = EXISTING 5' CONTOUR
- = PROPOSED 1' CONTOUR
- = PROPOSED 5' CONTOUR
- = PROPOSED LIGHT POLE
- = PROPOSED SANITARY SEWER
- = PROPOSED WATER MAIN
- = PROPOSED STORM SEWER
- = PROPOSED STORM STRUCTURES
- = PROPOSED CURB AND GUTTER
- = PROPOSED CONCRETE WALK
- = PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- = PROPOSED STANDARD DUTY BITUMINOUS PAVEMENT
- = PROPOSED HEAVY DUTY BITUMINOUS PAVEMENT
- = PROPOSED DETAIL B BITUMINOUS PAVEMENT
- = PROP. F4 CONCRETE CURB & GUTTER W/STD. PITCH
- = PROP. F4 CONCRETE CURB & GUTTER W/REV. PITCH
- = PROPOSED SPOT ELEVATIONS
- = PROPOSED FLOW ARROW



MATCH LINE - SEE SHEET GR1 FOR CONTINUATION

BENCHMARK
 DATUM BASED ON NGS OPUS SOLUTION REPORT, DATED OCTOBER 31, 2022 AT 10:48 AM
 BENCHMARK #200
 NORTHERLY RIM OF A WATER MANHOLE, LOCATE WITHIN THE SOUTHWEST QUAD OF THE INTERSECTION OF BRINKER ST AND HURON ROAD.
 ELEVATION = 761.22 (NAVD 88)
 BENCHMARK #201
 NORTHERLY RIM OF A SANITARY MANHOLE, LOCATED WITH THE SOUTHWEST QUAD OF THE INTERSECTION OF BRINKER ST AND SEAWAY WAY.
 ELEVATION = 748.26 (NAVD 88)
 BENCHMARK #202
 NORTHEAST RIM/CORNER OF CATCH BASIN #21, LOCATED ON THE WEST SIDE OF SEAWAY WAY.
 ELEVATION = 745.22 (NAVD 88)

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DESIGN-CAG	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.						
CHECK: CAG						

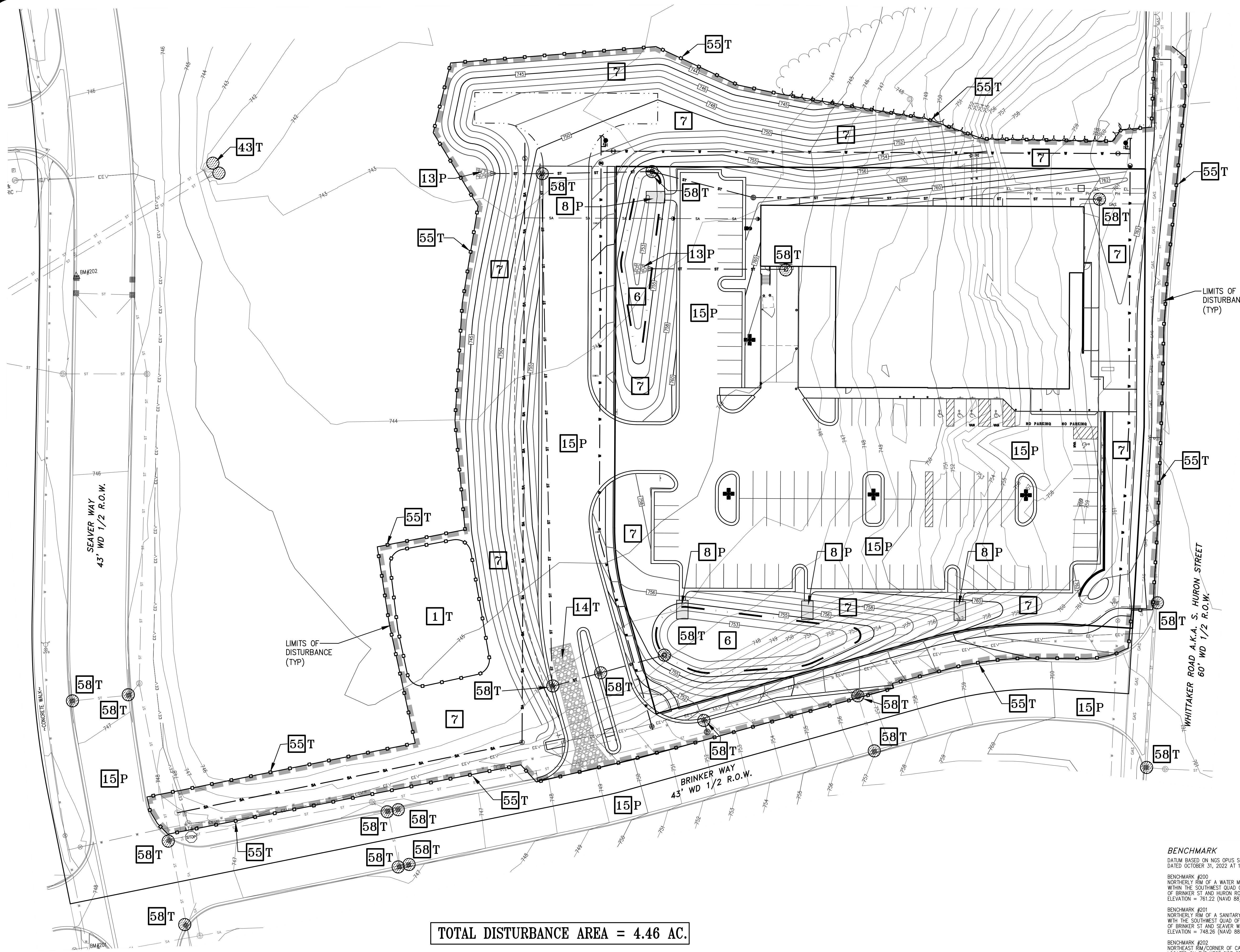
ALDI #62
YPSILANTI, MICHIGAN

GRADING & PAVING PLAN
NORTH

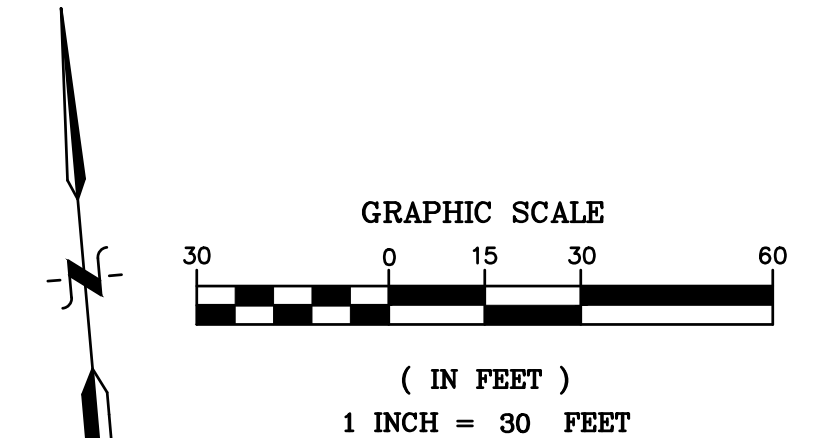
CLIENT:
 ALDI, Inc.
 2625 N. STOCKBRIDGE ROAD
 WEBBERVILLE, MICHIGAN 48892
 (517) 521-3907

SCALE: 1"=20'
 PROJECT No.: 9224256
 DWG NAME: 4256 GR
 ISSUED: **MAR. 08, 2023**

GR2



TOTAL DISTURBANCE AREA = 4.46 AC.



LEGEND

- = UTILITY MANHOLE (AS LABELED)
- = UTILITY POLE W/GUY WIRE
- = OVERHEAD UTILITY LINES (ELECTRIC/PHONE/CABLE)
- = U/G UTILITY LINES (ELECTRIC/PHONE/CABLE)
- = DECIDUOUS TREE W/IDENTIFIER
- = CONIFEROUS TREE W/IDENTIFIER
- = DECIDUOUS SHRUB
- = EXISTING TREE DRIP LINE
- = GUARD RAIL
- = FENCE (CHAIN LINK UNLESS OTHERWISE STATED)
- = EDGE OF GRAVEL
- = CONCRETE CURB (UNLESS OTHERWISE STATED)
- = SANITARY SEWER MANHOLE W/IDENTIFIER
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- = SPOT ELEVATION
- = EXISTING 1' CONTOUR
- = EXISTING 5' CONTOUR
- = PROPOSED 1' CONTOUR
- = PROPOSED 5' CONTOUR
- = PROPOSED LIGHT POLE
- = PROPOSED SANITARY SEWER
- = PROPOSED WATER MAIN
- = PROPOSED STORM SEWER
- = PROPOSED STORM STRUCTURES

SOIL EROSION LEGEND

1	STRIPPING & STOCKPILING TOPSOIL	TOPSOIL MAY BE STOCKPILED ABOVE BORROW AREAS TO ACT AS A DIVERSION. STOCKPILE SHOULD BE TEMPORARILY SEEDED.
6	SEEDING WITH MULCH AND/OR MATING	FACILITATES ESTABLISHMENT OF VEGETATIVE COVER. EROSION FOR BORROWINGS WITH LOW VELOCITY. EASILY PLACED IN SMALL QUANTITIES BY INDEPENDENT PERSONNEL. SHOULD INCLUDE PREPARED TOPSOIL BED.
7	HYDRO-SEEDING	EROSION ON LAKE BEDS. MULCH TRACING AGENT USED TO PROVIDE IMMEDIATE PROTECTION UNTIL GRASS IS ROOTED. SHOULD INCLUDE PREPARED TOPSOIL BED.
8	SOILING	PROVIDES MAXIMUM PROTECTION. CAN BE USED ON STEEP SLOPES WHERE SEED MAY BE DIFFICULT TO ESTABLISH. EASY TO PLACE, MAY BE REPAIRED IF DAMAGED. SHOULD INCLUDE PREPARED TOPSOIL BED.
13	REPAIR, RUBBLE, CEMENT	USED WHERE VEGETATION IS NOT EASILY ESTABLISHED. UTILIZED FOR HIGH VELOCITIES OR HIGH CONCENTRATION. PERFORMS BEST TO PREVENT SOIL DEPOSITING ENTIRE FLOW AT SLOPE OUTLETS.
14	RECONSTRUCTION	STABILIZES SOIL SURFACE, THIS MINIMIZES EROSION. PERFORMS BEST TO PREVENT SOIL DEPOSITING ENTIRE FLOW AT SLOPE OUTLETS.
15	FRILING	PROTECTS AREAS WHICH CANNOT OTHERWISE BE PROTECTED, BUT INCREASES RUNOFF, VOLUME AND VELOCITY. REGULAR SURFACE WILL HELP SLOW VELOCITY.
43	COLLECTOR SEDIMENT TRAP	EASY TO INSTALL AT INLET. KEEPS COLLECTOR CLEAN AND FREE FLOWING. MAY BE CONSTRUCTED OF LUMBER OR LOGS.
55	GEOTEXTILE SILT FENCE	USES GEOTEXTILE AND POSTS OR POLES. MAY BE CONSTRUCTED OR PREPACKAGED. EASY TO CONSTRUCT AND LOCATE AS NECESSARY.
58	NET SEDIMENT FILTER	USES PREPACKAGED GEOTEXTILE SACKS. FILTERS SEDIMENT FROM RUNOFF AT CATCH BASIN INLET. EASY TO INSTALL AND MAINTAIN.

T = TEMPORARY P = PERMANENT
 SILT FENCE
 LIMITS OF DISTURBANCE

BENCHMARK
 DATUM BASED ON NOS OPUS SOLUTION REPORT, DATED OCTOBER 31, 2022 AT 10:48 AM
 BENCHMARK #200
 NORTHERLY RIM OF A WATER MANHOLE, LOCATE WITHIN THE SOUTHWEST QUAD OF THE INTERSECTION OF BRINKER ST AND HURON ROAD. ELEVATION = 761.22 (NAVD 88)
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 NORTHERLY RIM OF A SANITARY MANHOLE, LOCATED WITHIN THE SOUTHWEST QUAD OF THE INTERSECTION OF BRINKER ST AND SEAVER WAY. ELEVATION = 748.26 (NAVD 88)
 BENCHMARK #202
 NORTHEAST RIM CORNER OF CATCH BASIN #21, LOCATED ON THE WEST SIDE OF SEAVER WAY. ELEVATION = 745.22 (NAVD 88)

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 BRIGHTON, MICHIGAN 48114

DESIGN: CAG	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.						
CHECK: CAG						

ALDI #62
 YPSILANTI, MICHIGAN

SOIL EROSION &
 SEDIMENTATION CONTROL
 PLAN

CLIENT:
 ALDI, Inc.
 2625 N. STOCKBRIDGE ROAD
 WEBBERVILLE, MICHIGAN 48892
 (517) 521-3907

SCALE: 1"=30'
 PROJECT No.: 9224256
 DWG NAME: 4256-SE
 ISSUED: MAR. 08, 2023

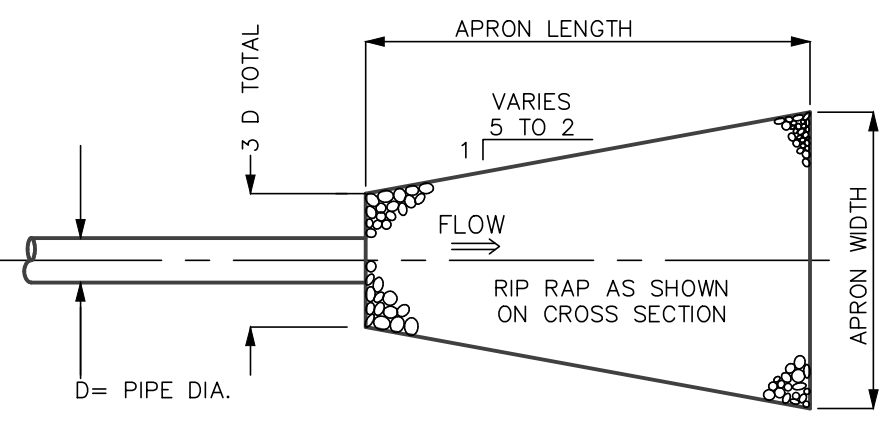
SE1

MIN. RIP RAP DIMENSIONS

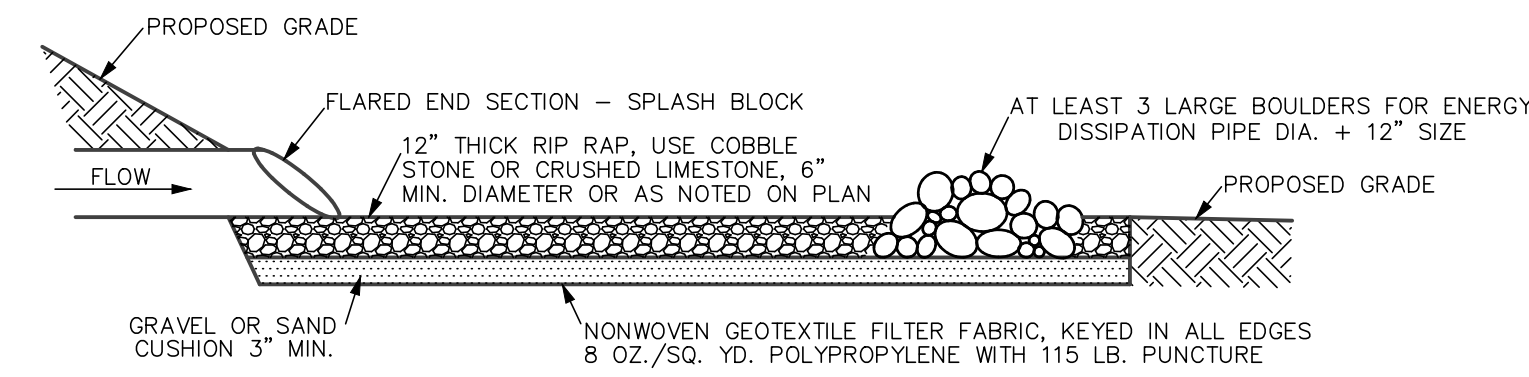
PIPE DIAMETER (inch)	(1) APRON WIDTH (feet)		(2) ALTERNATE APRON WIDTH (feet)	
	LENGTH	WIDTH	LENGTH	WIDTH
12	12	8	16	
15	15	10	20	
18	18	12	24	
21	21	14	28	
24	24	16	32	
30	30	20	40	
36	36	24	48	
42	42	28	56	

UNLESS SHOWN OTHERWISE ON PLANS. May be varied to match natural features; in when meeting ex-ditch, apron width to match channel bottom extending up sides to a depth of 1/2 pipe dia.

- (1) APRON WIDTH FOR USE IN DITCHES AND SWALES
- (2) APRON WIDTH FOR USE IN FLAT AREAS WHERE SHEET FLOW DESIRED

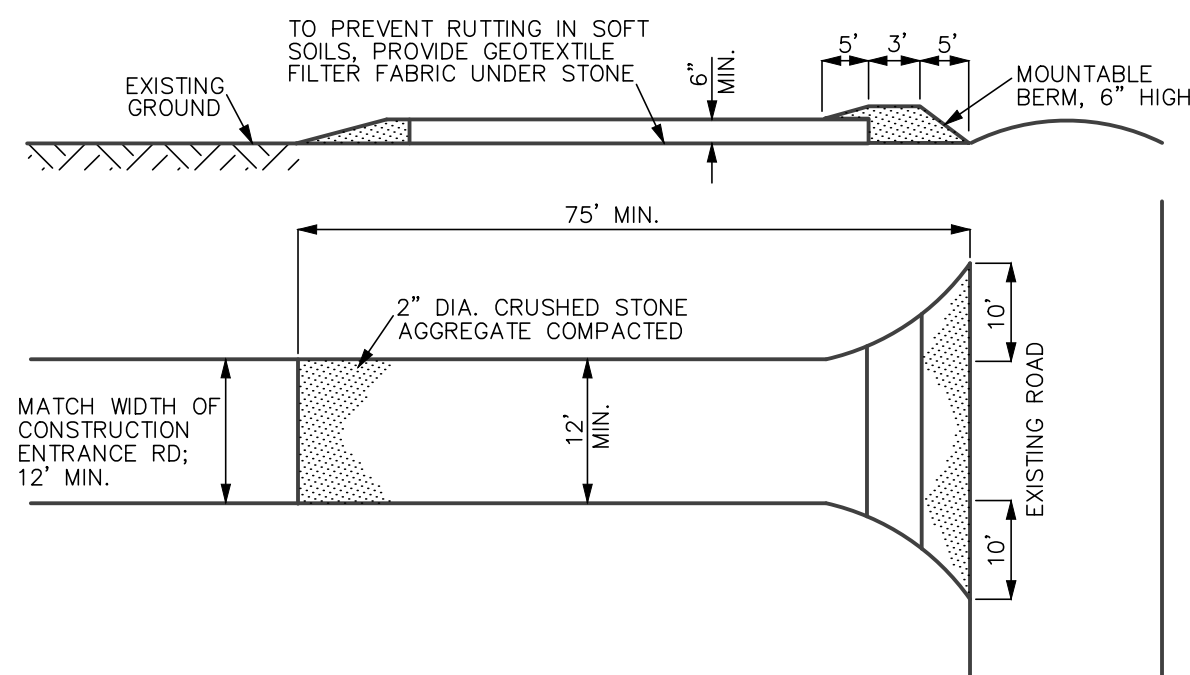


13 RIP RAP PLAN
NOT TO SCALE



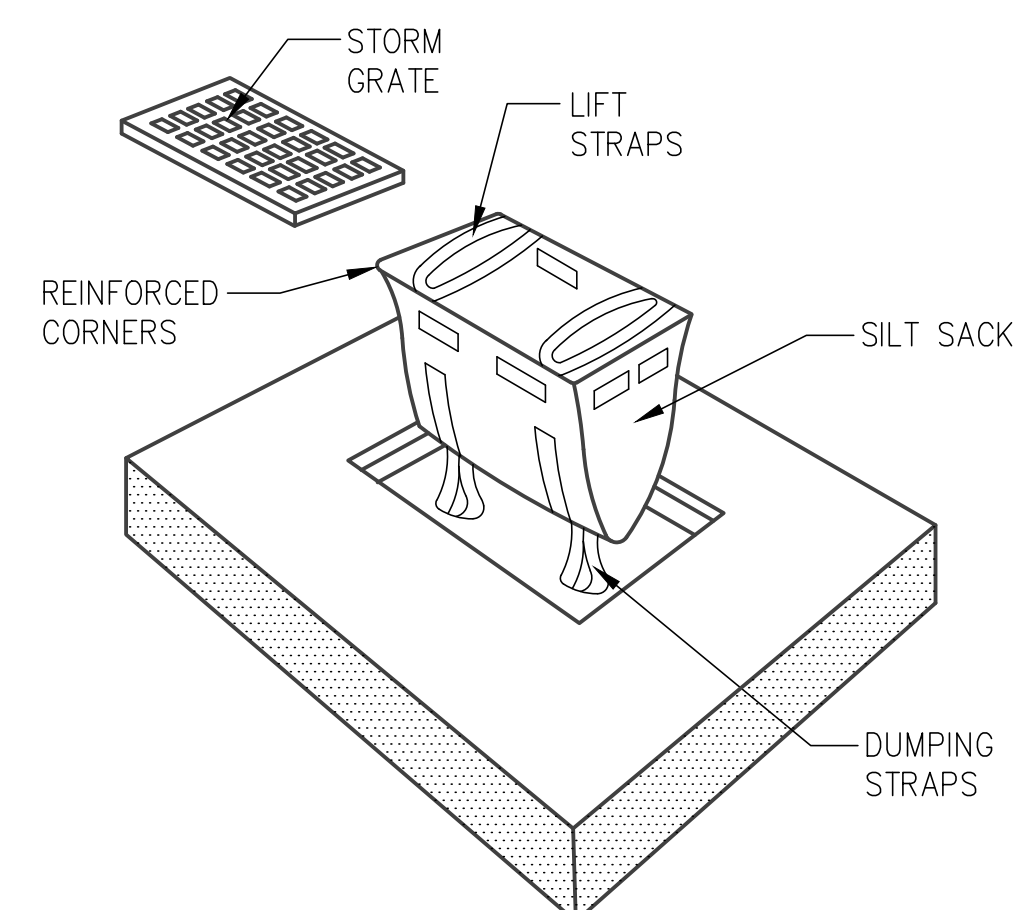
13 RIP RAP CROSS SECTION
NOT TO SCALE

- NOTES:
- GROUT RIP RAP WITH A 6" THICK CEMENT SLURRY FOR SLOPES STEEPER THAN 20%; 5 ON 1.
 - PROVIDE ANIMAL GUARDS ON ALL STORM SEWER 15" DIA. OR GREATER, INCIDENTAL TO FES PIPE.

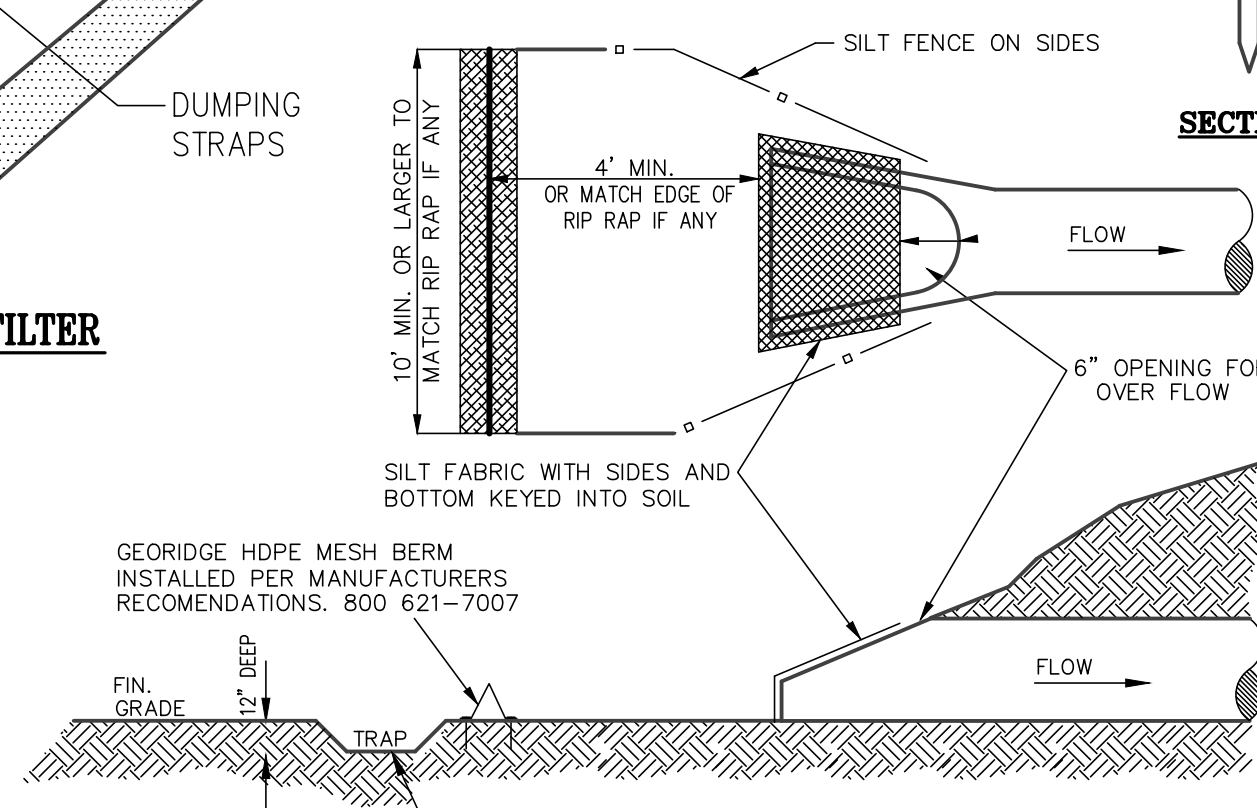


14 MUD TRACKING CONTROL DEVICE
NOT TO SCALE

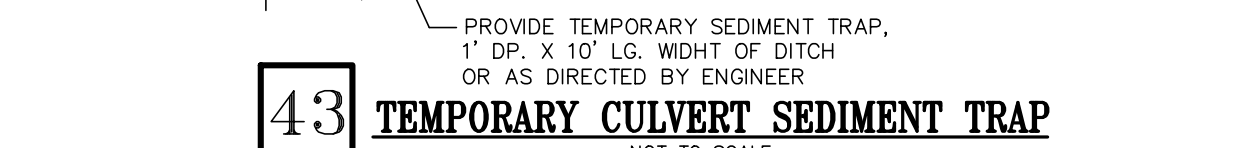
NOTE: WHEN ACCEPTABLE TO ENGINEER, CONTRACTOR MAY INSTALL STONE BELOW THE SUBGRADE ELEVATION; THIS STONE MAY BE LEFT IN PLACE BELOW PAVEMENT.



58 INLET SEDIMENT FILTER
NOT TO SCALE



43 TEMPORARY CULVERT SEDIMENT TRAP
NOT TO SCALE



TIME LINE OF SOIL EROSION CONTROL AND CONSTRUCTION SEQUENCE

CONSTRUCTION & WORK CATEGORIES*	CONSTRUCTION PERIOD								
	Month	1		2		3		4	
		Week	1	2	3	4	1	2	3
1. OBTAIN PERMITS									
2. INSTALL INITIAL SESC MEASURES									
3. INSPECT & MAINTAIN SESC MEASURES									
4. DEMOLITION / TREE CLEARING WORK									
5. EARTH WORK									
6. BUILDING CONSTRUCTION									
7. UNDERGROUND UTILITY WORK									
8. SITE LIGHTING WORK									
9. CURB, SIDEWALK & PAVEMENT WORK									
10. BACKFILL & FINISH GRADE WORK									
11. TOPSOIL, SEED & MULCH									
12. LANDSCAPE WORK									
13. REMOVE TEMPORARY SESC MEASURES									

*REFER TO THE MAJOR WORK ITEMS OUTLINED IN THE SOIL EROSION CONTROL AND CONSTRUCTION SEQUENCE NOTES.

SOIL EROSION CONTROL AND CONSTRUCTION SEQUENCE:

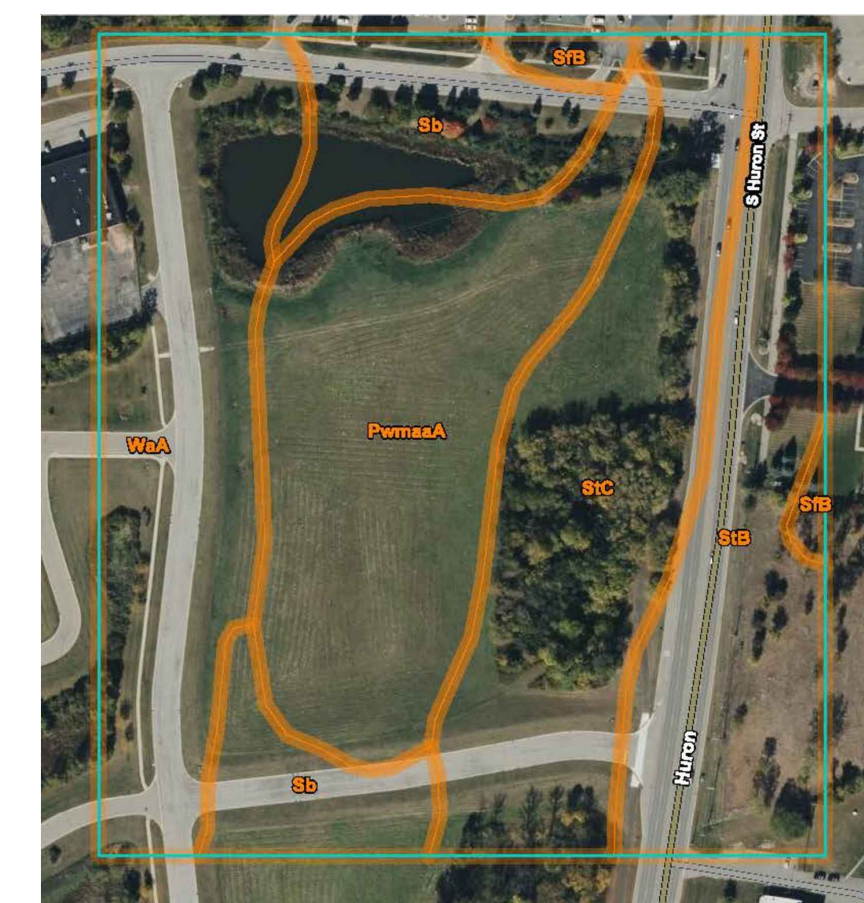
- Obtain all necessary Soil Erosion and Sedimentation Control related permits from the appropriate Local, County and/or State Agencies. Refer to the General Notes on the project plans for additional requirements.
- Prior to commencement of any earth disruption, install Silt Fence, Tree Protection, Mud Tracking Control Devices, Culvert Sediment Traps on existing culvert inlets and Inlet Sediment Filters at existing storm sewer catch basins in accordance with the Soil Erosion and Sedimentation Control Plan and the Soil Erosion and Sedimentation Control Permit.
- Inspect and maintain all Soil Erosion Control Measures daily. Maintain all Soil Erosion Control Measures as necessary and as directed by the Engineer and/or the Permitting Agency.
- Perform demolition and tree clearing work. Install appropriate Soil Erosion Control Measures in accordance with the Soil Erosion and Sedimentation Control Plan and/or as directed by the Engineer and/or the Permitting Agency.
- Strip and stockpile topsoil. Dispose of excess topsoil offsite. Perform mass grading and land balancing. Install appropriate Soil Erosion Control Measures in accordance with the Soil Erosion and Sedimentation Control Plan and/or as directed by the Engineer and/or the Permitting Agency.
- Construct building in accordance with the Project Plans. Install appropriate Soil Erosion Control Measures in accordance with the Soil Erosion and Sedimentation Control Plan and/or as directed by the Engineer and/or the Permitting Agency.
- Construct underground utilities including sanitary sewer lead, sanitary sewer main, water leads, water main, storm sewer, and conduit for underground public utilities. Install appropriate Soil Erosion Control Measures, including Inlet Sediment Filters on new catch basins and Culvert Sediment Traps on new culverts, in accordance with the Soil Erosion and Sedimentation Control Plan and/or as directed by the Engineer and/or the Permitting Agency.
- Install light pole bases and fixtures and underground electric. Install appropriate Soil Erosion Control Measures in accordance with the Soil Erosion and Sedimentation Control Plan and/or as directed by the Engineer and/or the Permitting Agency.
- Construct curb & gutter, sidewalk and paved parking and roadway areas. Install appropriate Soil Erosion Control Measures in accordance with the Soil Erosion and Sedimentation Control Plan and/or as directed by the Engineer and/or the Permitting Agency.
- Backfill curb and sidewalks and finish grade all disturbed areas outside of pavement areas. Install appropriate Soil Erosion Control Measures in accordance with the Soil Erosion and Sedimentation Control Plan and/or as directed by the Engineer and/or the Permitting Agency.
- Place sod / topsoil / hydroseed / seed & mulch within 5 days of finish grade for establishment of vegetative ground cover outside of pavement and mulched landscape bed areas. Install appropriate Soil Erosion Control Measures in accordance with the Soil Erosion and Sedimentation Control Plan and/or as directed by the Engineer and/or the Permitting Agency.
- Landscape site in accordance with the Project Landscape Plan. Install appropriate Soil Erosion Control Measures in accordance with the Soil Erosion and Sedimentation Control Plan and/or as directed by the Engineer and/or the Permitting Agency.
- Following establishment of sufficient vegetative ground cover and receipt of approval from the Permitting Agency, remove all temporary Soil Erosion Control Measures, clean all storm sewer structures, and repair any permanent Soil Erosion Control Measures as directed by the Engineer and/or the Permitting Agency.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES:

- The Soil Erosion and Sedimentation Control Specifications of the appropriate Local, County and/or State Agencies are a part of this work. Refer to the General Notes on the Project Plans for additional requirements.
- The Soil Erosion and Sedimentation Control (SESC) Permit Holder shall be responsible for compliance with the SESC Permit requirements for the duration of the project and until receipt of final approval from the Permitting Agency. For any site with an earth disturbance area of 1 acre or greater, the SESC Permit Holder shall retain a Certified Storm Water Operator in accordance with the SESC Permit requirements. The Certified Storm Water Operator shall perform routine inspections of the site and the SESC measures and file inspection reports in accordance with the SESC permit requirements. For any site with an earth disturbance area of 5 acres or greater, the SESC Permit Holder shall file a National Pollutant Discharge Elimination System (NPDES) Notice of Coverage Form with the Michigan EGLE prior to any earth disruption.
- The Contractor shall install the appropriate Soil Erosion Control Measures in accordance with the Project Plans prior to massive earth disruption, including but not limited to; silt fence, mud tracking control mats and sediment filters on existing storm sewer structures. Demolition work may be necessary prior to installation of some soil erosion control measures. In such cases, postpone installation of affected soil erosion control measures until immediately following demolition work. Refer to the Project Plans and the Soil Erosion Control and Construction Sequence for additional requirements.
- The Contractor shall schedule work so as to minimize the period of time that an area is exposed and disturbed. The Contractor shall observe the grading limits and limits of disturbance in accordance with the Project Plans. The Contractor shall maintain an undisturbed vegetative buffer around the work when shown on the Project Plans.
- The Contractor shall install and maintain Soil Erosion Control Measures in accordance with the Project Plans during the appropriate phases of construction. The Project Plans show the minimum requirements for Soil Erosion Control Measures. The Contractor shall install additional Soil Erosion Control Measures as necessary due to site conditions and as directed by the Permitting Agency and/or Engineer. The Contractor shall perform routine inspection and maintenance of all Soil Erosion Control Measures to ensure compliance with the permit requirements and proper operation of the Soil Erosion Control Measures.
- All disturbed areas outside of paved areas shall be restored within 5 days of finish grading. Proposed vegetative areas shall be restored with a minimum of 3-inches of topsoil, then seeded and mulched, unless noted otherwise on the Project Plans. During the non-growing season, temporary stabilization shall be provided using straw matting or as directed by the Permitting Agency and/or the Engineer.
- Following complete site restoration and stabilization; sediment shall be removed from all storm sewer structures, paved areas and storm basins. The SESC Permit Holder shall contact the Permitting Agency to request closure of the SESC Permit. For any site with an earth disturbance area of 5 acres or greater, the SESC Permit Holder shall file a NPDES Notice of Termination Form with the Michigan EGLE.

MAINTENANCE NOTES FOR SOIL EROSION CONTROL MEASURES:

- The Construction Site and all Soil Erosion Control Measures shall be inspected periodically in accordance with the appropriate local municipality/authority and the Michigan EGLE NPDES rules and regulations. At a MINIMUM, inspections shall be performed once a week and within 24 hours following a storm event resulting in 1" of rainfall or greater. Inspections shall be performed throughout the duration of the construction process and until the site is completely stabilized. Following construction, the owner (or its assignee) shall periodically inspect all permanent soil erosion control measures to ensure proper operation.
- CATCH BASINS:** Catch basins shall be inspected for accumulation of solids and sediment. Solids and sediment shall be removed from the catch basins by vacuum or adductor cleaning. Cleaning should be performed before the catch basin sumps are half full.
- MUD TRACKING CONTROL DEVICE / CONSTRUCTION ACCESS:** Mud tracking control devices shall be inspected for significant mud accumulation and to ensure the access is not eroding into public rights of way or drainage features. Add additional layers of stone or remove and replace stone each time the stone becomes covered with mud. All sediment dropped or eroded onto public rights of way shall be removed immediately. Sweeping of the public rights of way and/or paved access route shall be performed as necessary to maintain the access route free of sediment and debris.
- DETENTION BASIN (DRY BOTTOM):** Dry bottom detention basins shall be inspected to ensure erosion is not occurring along the inlet locations, banks and/or bottom of the basin and for sediment accumulation. Regular maintenance of the basin includes routine mowing of the buffer/filter strip, side slopes and basin floor and removal of litter and debris accumulation. Address vegetation and/or erosion concerns as soon as weather permits. Remove sediment from basin every 5 to 10 years or sooner if sediment accumulation adversely affects the operation of the basin. Sediment that is removed shall be disposed of offsite or at an upland area and stabilized so that it does not re-enter the drainage course.
- RIPRAP:** Inspect riprap immediately following the first rainfall event following installation of the riprap. Continue to perform inspections of the riprap at each periodic site inspection. Riprap shall be inspected to ensure erosion is not occurring within and/or around the riprap. The discharge point shall be inspected to ensure that concentrated flows are not causing erosion downstream. Displaced riprap shall be removed from downstream locations and the riprap beds shall be repaired or replaced. Significant sediment buildup shall be removed from riprap beds. Repair or replace failing or displaced riprap immediately. Address vegetation and/or erosion concerns as soon as weather permits.
- SEDIMENTATION BASINS:** Sedimentation basins shall be inspected to ensure erosion is not occurring along the inlet locations, banks and/or bottom of the basin and for piping, seepage, sediment accumulation and/or other mechanical damage. Regular maintenance of the basin includes routine mowing of the buffer/filter strip, side slopes and basin floor and removal of litter and debris accumulation. Address vegetation and/or erosion concerns as soon as weather permits. Sediment shall be removed before it accumulates to 50% of the design depth of the basin. Sediment that is removed shall be disposed of offsite or at an upland area and stabilized so that it does not re-enter the drainage course.
- SEEDING:** Newly seeded areas shall be inspected until substantial vegetative growth is obtained. Seeded areas shall be inspected to ensure erosion is not occurring in the seeded area and vegetative growth is promoted. Eroded areas shall be finish graded as necessary to removal erosion channels or gulleys and new seed placed as soon as weather permits.
- SILT FENCE:** Silt fencing shall be inspected for soil accumulation/clogging, undercutting, overtopping and sagging. Soil accumulation shall be removed from the face of the silt fence each time it reaches half the height of the fence. Removed sediment shall be disposed of in a stable upland site or added to a spoils stockpile. When undercutting occurs, grade out areas of concentrated flow upstream of the silt fence to remove channels and/or gulleys and repair or replace silt fence ensuring proper trenching techniques are utilized. Silt fencing, which sags, falls over or is not staked in shall be repaired or replaced immediately. Silt fencing fabric, which decomposes or becomes ineffective, shall be removed and replaced with new fabric immediately. Silt fencing shall be removed once vegetation is well established and the up-slope area is fully stabilized.
- SOD:** Newly sodded areas shall be inspected to ensure sod is maturing. Sod shall be inspected for failure, erosion or damage. Slipping or eroding sod on steep slopes shall be immediately repaired or replaced and staked in place. Damaged or failed sod shall be immediately replaced.
- SPILLWAYS:** Spillways shall be inspected to ensure that erosion is not occurring within and/or around the spillway. The discharge point shall be inspected to ensure that concentrated flows are not causing erosion downstream. Inspect the spillway for cracked concrete, uneven and/or excessive settling and proper function. Repair or replace failing spillways immediately. Address vegetation and/or erosion concerns as soon as weather permits.
- STOCKPILES:** Temporary and permanent topsoil and spoils stockpiles shall be seeded to promote vegetative growth. Stockpiles shall be inspected to ensure excessive erosion has not occurred. When runoff or wind erosion is evident, reduce the side slopes of the stockpile or stabilize the stockpile with pieces of staked sod laid perpendicular to the slope. When filter fencing is used around a stockpile, the fencing shall be inspected to ensure piping has not occurred under the fencing and to ensure the fencing has not collapsed due to soil slippage or access by construction equipment. Repair or replace damaged fencing immediately. Berms at the base of stockpiles, which were damaged, shall be replaced.
- STORM STRUCTURE INLET FILTER:** Inlet filters shall be inspected for sediment accumulation, clogging and damage. When stone is used in conjunction with inlet filter fabric, replace the stone each time it becomes clogged with sediment. Clean or replace the inlet filter fabric each time it becomes clogged with sediment. Reinstall or replace fallen filter fabrics immediately. Replace damaged filter fabrics immediately.



SOILS MAP
NOT TO SCALE

MAP UNIT LEGEND

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
PmaaA	Pewamo clay loam, dense substratum, 0 to 1 percent slopes	6.7	24.0%
Sb	Sebewa loam, disintegration moraine, 0 to 2 percent slopes	3.4	12.3%
SB	Seward sandy loam, loamy subsoil variant, 2 to 6 percent slopes	0.4	1.6%
SB	St. Clair clay loam, 2 to 6 percent slopes	5.0	18.1%
SC	St. Clair clay loam, 6 to 12 percent slopes	6.1	22.2%
Waa	Waspe sandy loam, 0 to 4 percent slopes	6.1	21.9%
Totals for Area of Interest		27.7	100.0%



NEAREST WATER BODY LOCATION MAP
NOT TO SCALE

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(810) 227-9533
CIVIL ENGINEERS
LAND SURVEYORS
2183 PLESS DRIVE
BRIGHTON, MICHIGAN 48114

DESIGN: CAG	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.						
CHECK: CAG						

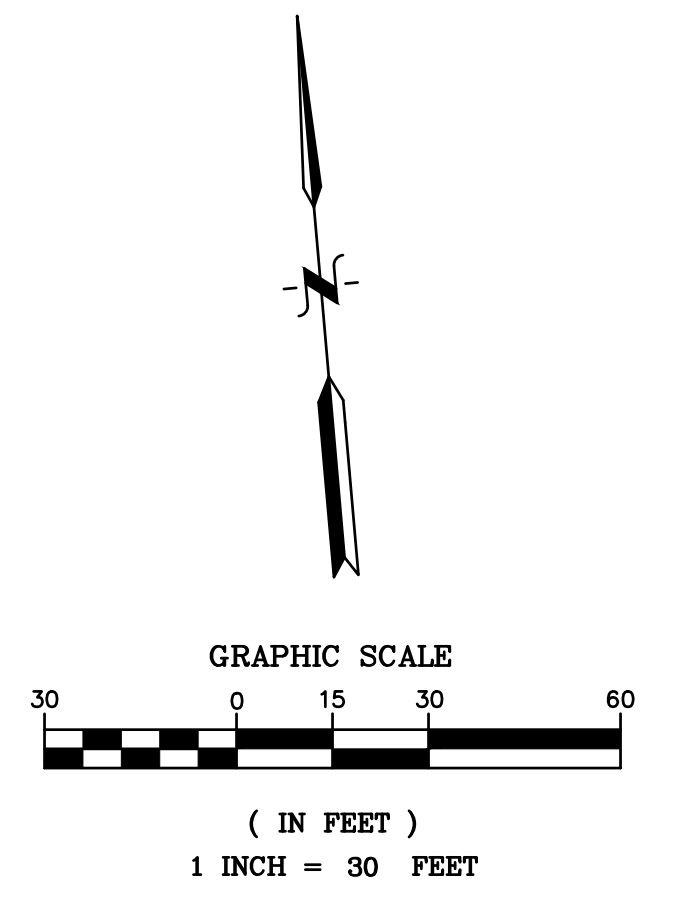
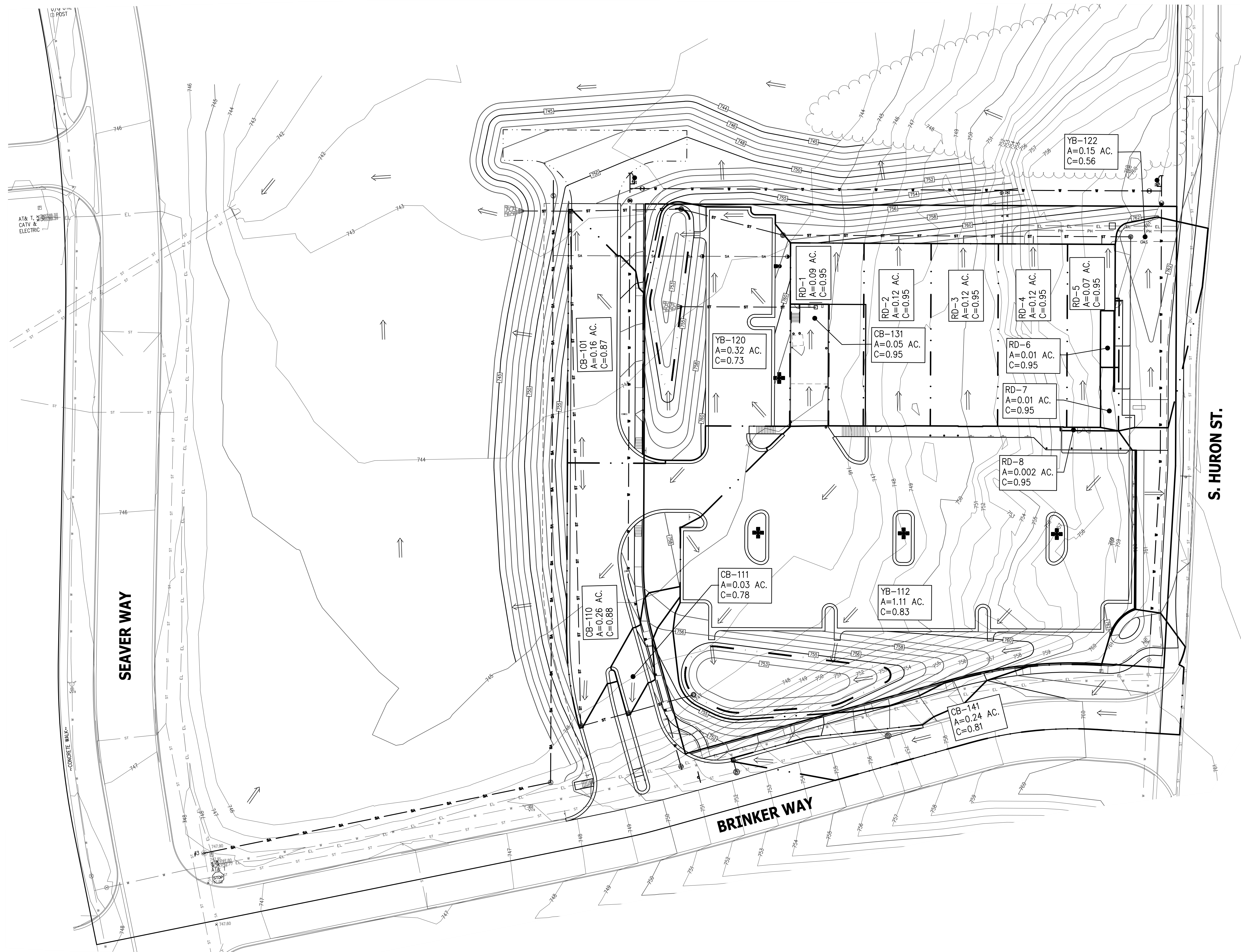
ALDI #62
ALLENDALE, MICHIGAN

SOIL EROSION & SEDIMENTATION CONTROL NOTES & DETAILS

CLIENT: ALDI, Inc.
2625 N. STOCKBRIDGE ROAD
WEBBERVILLE, MICHIGAN 48892
(517) 521-3907

SCALE: N/A
PROJECT No.: 9224256
DWG NAME: 4256-SE
ISSUED: MAR. 08, 2023

SE2



- LEGEND**
- ⊙ 00 = SANITARY SEWER MANHOLE W/IDENTIFIER
 - SA — = SANITARY SEWER PIPE
 - ST — = CLEAN OUT
 - ⊙ = STORM WATER MANHOLE W/IDENTIFIER
 - ⊙ = CATCH BASIN W/IDENTIFIER
 - ST — = FLARED END SECTION
 - ST — = STORM WATER DRAINAGE PIPE
 - ⊙ = HYDRANT
 - ⊙ = WATER SHUT OFF
 - ⊙ = WATER VALVE
 - ⊙ = WATER VALVE BOX
 - SA — = WATER MAIN
 - SA — = PROPOSED SANITARY SEWER
 - SA — = PROPOSED WATER MAIN
 - SA — = PROPOSED STORM SEWER
 - ⊙ = PROPOSED STORM STRUCTURES
 - 000 — = EXISTING 1' CONTOUR
 - 000 — = EXISTING 5' CONTOUR
 - 000 — = PROPOSED 1' CONTOUR
 - 000 — = PROPOSED 5' CONTOUR

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2183 PLESS DRIVE
BRIGHTON, MICHIGAN 48114

DESIGN: CAG	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.						
CHECK: CAG						

ALDI #62
YPSILANTI, MICHIGAN

WATERSHED PLAN

CLIENT:
ALDI, Inc.
2625 N. STOCKBRIDGE ROAD
WEBBERVILLE, MICHIGAN 48892
(517) 521-3907

SCALE: 1"=30'
PROJECT No.: 9224256
DWG NAME: 4256 WS
ISSUED: MAR. 08, 2023

WS1

**ALDI #62
STORM SEWER SYSTEM
DRAINAGE AREA CALCULATIONS**

Drainage Structure	PROPOSED CONDITIONS STORM SEWER TRIBUTARY AREAS (ACRES) SURFACE / Runoff Coefficient					Total Area (ACRES)	Calculated "C" Factor
	Pavement	Building	Lawn < 4%	Lawn 4-8%	Lawn > 8%		
	0.95	0.95	0.45	0.50	0.55		
141	0.170		0.028	0.046		0.24	0.81
131	0.046					0.05	0.95
122	0.032		0.102	0.015		0.15	0.56
120	0.147		0.007		0.168	0.32	0.73
112	0.802		0.062	0.015	0.231	1.11	0.83
111	0.021			0.010	0.003	0.03	0.78
110	0.215		0.003	0.023	0.017	0.26	0.88
101	0.136		0.011	0.015		0.16	0.87
RD8		0.002				0.00	0.95
RD7		0.011				0.01	0.95
RD6		0.011				0.01	0.95
RD5		0.069				0.07	0.95
RD4		0.123				0.12	0.95
RD3		0.120				0.12	0.95
RD2		0.120				0.12	0.95
RD1		0.085				0.09	0.95
SITE	1.110	0.497	0.259	0.151	0.508	2.53	0.79

**ALDI #62
REQUIRED DETENTION VOLUME CALCULATIONS**

DETENTION VOLUME PROVIDED IN EXISTING BASIN A

Site Area (A) = 2.53 Acres
 Allowable Cave = 0.70
 Qa = 0.15 x A = 0.38 cfs

Vt provided = 16,500 x A x Cave = 29,164 CF

OVERALL REQUIRED DETENTION VOLUME:

Site Area (A) = 2.53 Acres
 Proposed Cave = 0.79
 Qa = 0.15 x A = 0.38 cfs

Vt required = 16,500 x A x Cave = 32,969 CF

MINIMUM REQUIRED ON-SITE DETENTION VOLUME:

Vt on-site = Vt required - Vt provided = 3,805 CF

NORTH BASIN VOLUME DESIGN CALCULATIONS

Tributary Area (A) = 0.37 Acres
 Cave = 0.76
 First Flush Volume (Vff) = 1815 x A x C = 506 CF

Vt provided = 16,500 x A x 0.70 = 4,250 CF
 Vt required = 16,500 x A x Cave = 4,602 CF
 Vt on-site = Vt required - Vt provided = 351 CF

Vtn = Vff + Vt on-site = 858 CF

SOUTH BASIN VOLUME DESIGN CALCULATIONS

Tributary Area = 1.11 Acres
 Cave = 0.83
 First Flush Volume (Vff) = 1815 x A x C = 1,678 CF

Vt provided = 16,500 x A x 0.70 = 12,821 CF
 Vt required = 16,500 x A x Cave = 15,252 CF
 Vt on-site = Vt required - Vt provided = 2,431 CF

Vts = Vff + Vt on-site = 4,109 CF

OVERALL DESIGN DETENTION VOLUME

Vtoverall = Vtn + Vts = 4,967 CF

**ALDI #62
BASIN VOLUME CALCULATIONS**

NORTH BASIN

Elevation	Area (SF)	Average Area (SF)	Depth (FT)	Volume (CF)	Cumulative Volume (CF)
754.5	1,792				1,449
754	1,180	1,486	0.5	743	706
753	231	706	1.0	706	0
Design Basin Volume =				1,449	CF

SOUTH BASIN

Elevation	Area (SF)	Average Area (SF)	Depth (FT)	Volume (CF)	Cumulative Volume (CF)
754.5	4,102				4,514
754	3,329	3,716	0.5	1,858	2,656
753	1,983	2,656	1.0	2,656	0
Design Basin Volume =				4,514	CF
Total Design Volume =				5,962	CF

Project: ALDI #62 Project:# 224256

Design Criteria: 10 year event HDPE-S (n=0.011) RCP (n=0.013) PVC (n=0.013) CMP (n=0.021) Date: 2/13/2023

From MH#	To MH#	Inc. Acres	Eqv. Area 100% CA	Total Area 100% CA	T Time	I Inch Per Hour	Q (CIA)	Dia. of pipe inch	Pipe Material	Slope pipe	Slope H.G.	Length of line ft.	Vel. Flow full ft./sec.	Time of flow min.	Cap of pipe c.f.s.	H.G. Elev. upper end	Ground Elev. Up Stream End	Ground Elev. Down Stream End	Invert Elev. Up Stream End	Invert Elev. Down Stream End	
141	140	0.24	0.81	0.19	0.19	15.0	4.38	0.85	12	RCP	1.00	0.06	8	4.53	0.0	3.56	747.92	751.84	752.10	747.00	746.92
131	130	0.05	0.95	0.05	0.05	15.0	4.38	0.21	8	PVC	2.50	0.03	88	5.47	0.3	1.91	755.07	758.58	754.38	756.58	754.38
RD8	WYE 7	0.002	0.95	0.00	0.00	15.0	4.38	0.01	8	PVC	1.00	0.01	102	3.47	0.5	1.21	757.95	762.96	762.70	758.29	757.27
RD7	WYE 7	0.01	0.95	0.01	0.01	15.0	4.38	0.04	8	PVC	1.00	0.01	10	3.47	0.0	1.21	757.94	762.87	762.70	757.37	757.27
WYE 7	WYE 6	0.00	0.00	0.00	0.01	15.5	4.32	0.05	8	PVC	1.00	0.01	28	3.47	0.1	1.21	757.66	762.70	762.50	757.27	756.99
RD6	WYE 6	0.01	0.95	0.01	0.01	15.0	4.38	0.04	8	PVC	1.00	0.01	10	3.47	0.0	1.21	757.66	762.92	762.50	757.09	756.99
WYE 6	122	0.00	0.00	0.00	0.02	15.6	4.31	0.09	8	PVC	1.00	0.01	71	3.47	0.3	1.21	756.95	762.50	761.50	756.99	756.28
122	TEE 5	0.15	0.96	0.08	0.10	16.0	4.27	0.45	12	HDPE	1.30	0.01	19	6.72	0.0	5.28	756.73	761.50	762.30	755.98	755.73
RD5	TEE 5	0.07	0.95	0.07	0.07	15.0	4.38	0.29	8	HDPE	1.00	0.03	5	4.50	0.0	1.57	756.57	762.50	762.30	755.95	755.90
TEE 5	TEE 4	0.00	0.00	0.00	0.17	16.0	4.27	0.73	12	HDPE	1.30	0.02	45	6.72	0.1	5.28	756.16	762.30	762.25	755.73	755.15
RD4	TEE 4	0.12	0.95	0.11	0.11	15.0	4.38	0.50	8	HDPE	1.00	0.10	5	4.50	0.0	1.57	755.99	762.50	762.25	755.37	755.32
TEE 4	TEE 3	0.00	0.00	0.00	0.29	16.1	4.26	1.21	12	HDPE	1.30	0.07	46	6.72	0.1	5.28	755.58	762.25	761.65	755.15	754.55
RD3	TEE 3	0.12	0.95	0.11	0.11	15.0	4.38	0.50	8	HDPE	1.00	0.10	5	4.50	0.0	1.57	755.39	762.50	761.65	754.77	754.72
TEE 3	TEE 2	0.00	0.00	0.00	0.40	16.2	4.24	1.69	12	HDPE	1.30	0.13	42	6.72	0.1	5.28	755.06	761.65	760.40	754.55	754.00
RD2	TEE 2	0.12	0.95	0.11	0.11	15.0	4.38	0.50	8	HDPE	1.00	0.10	5	4.50	0.0	1.57	754.85	761.55	760.40	754.22	754.17
TEE 2	TEE 1	0.00	0.00	0.00	0.51	16.3	4.23	2.17	12	HDPE	1.30	0.22	45	6.72	0.1	5.28	754.52	760.40	759.00	754.00	753.42
RD1	TEE 1	0.09	0.95	0.09	0.09	15.0	4.38	0.37	8	HDPE	1.00	0.06	5	4.50	0.0	1.57	754.26	760.20	759.00	753.64	753.59
TEE 1	121	0.00	0.00	0.00	0.60	16.5	4.22	2.53	12	HDPE	1.30	0.30	30	6.72	0.1	5.28	754.12	759.00	758.50	753.42	753.03
121	120	0.00	0.00	0.00	0.60	16.5	4.21	2.52	12	HDPE	2.00	0.30	69	8.34	0.1	6.55	750.71	758.50	754.50	750.88	749.50
120	101	0.32	0.73	0.23	0.88	16.7	4.20	3.70	12	HDPE	2.00	0.64	72	8.34	0.1	6.55	747.29	754.50	750.83	747.27	745.83
112	111	1.11	0.83	0.92	0.92	15.0	4.38	4.03	12	HDPE	1.00	0.76	44	5.90	0.1	4.63	747.73	754.50	751.39	746.84	746.40
111	110	0.03	0.78	0.02	0.94	15.1	4.36	4.12	12	HDPE	2.50	0.79	32	9.32	0.1	7.32	746.75	751.39	750.60	746.30	745.50
110	101	0.26	0.88	0.23	1.17	15.2	4.36	5.11	15	HDPE	0.40	0.37	336	4.33	1.3	5.31	746.45	750.60	750.83	745.30	743.96
101	100	0.16	0.87	0.14	2.19	16.8	4.19	9.18	18	HDPE	0.50	0.45	33	5.47	0.1	9.66	745.24	750.83	743.50	743.76	743.59

DESIGN: CAG	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.						
CHECK: CAG						

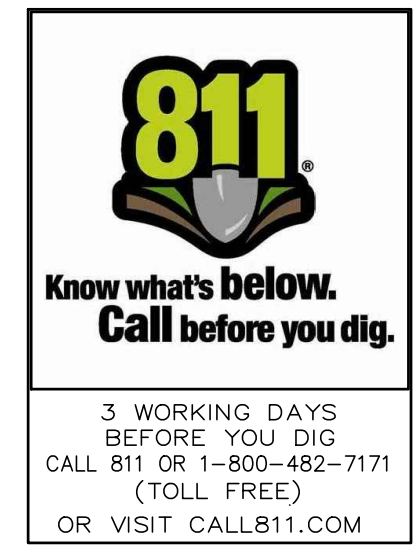
**ALDI #62
YPSILANTI, MICHIGAN**

**STORM WATER MANAGEMENT
SYSTEM CALCULATIONS**

CLIENT: ALDI, Inc.
 2625 N. STOCKBRIDGE ROAD
 WEBBERVILLE, MICHIGAN 48892
 (517) 521-3907

SCALE: 1"=30'
 PROJECT No.: 9224256
 DWG NAME: 4256 WS
 ISSUED: MAR. 08, 2023

WS2



Luminaire Schedule								
Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number	BUG Rating
	5	L21	SINGLE	1.000	3250	24	NTW-A-WM-T3-3L-30K-UL-CS-P	B1-U0-G1
	7	L22	SINGLE	1.000	3831	29	CPY250-B-DM-F-C-UL-CS-30K(MOD 29W)	B2-U0-G1
	5	L24 - DO	SINGLE	1.000	N.A.	29.3	CL-20364LEDD-SAT-CLR-SB (Down Only)	B1-U0-G0
	1	L31	SINGLE	1.000	10800	72	OSQM-B-11L-30K7-4M-UL-NM-cs w/OSQ-ML-B-DA-CS	B2-U0-G2
	4	L34	4 @ 90°	1.000	10800	72	OSQM-B-11L-30K7-4M-UL-NM-cs w/OSQ-ML-B-DA-CS	B2-U0-G2

Calculation Summary: 1.00 LLF						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
All Calc Points	Fc	1.13	14.1	0.0	N.A.	N.A.
Property Line	Fc	0.15	0.9	0.0	N.A.	N.A.
Paved Parking	Fc	3.39	9.1	0.8	4.24	11.38

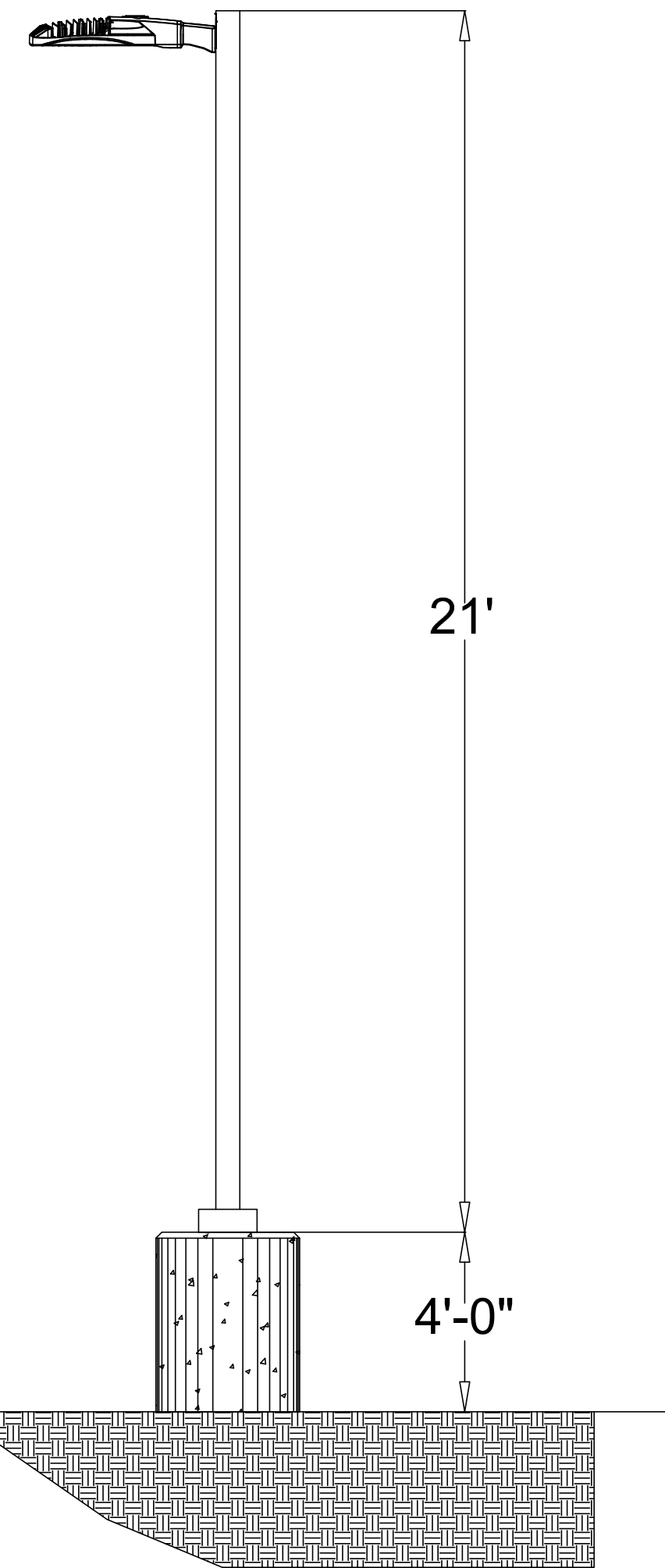
Fixture Mounting Height: 25' AFG (21' Pole + 4.0' Base)

Poles:
 (5) - CL-SSP-4011-21-D6-PS (21' x 4" x 11ga STEEL SQUARE POLE, 4@90°)

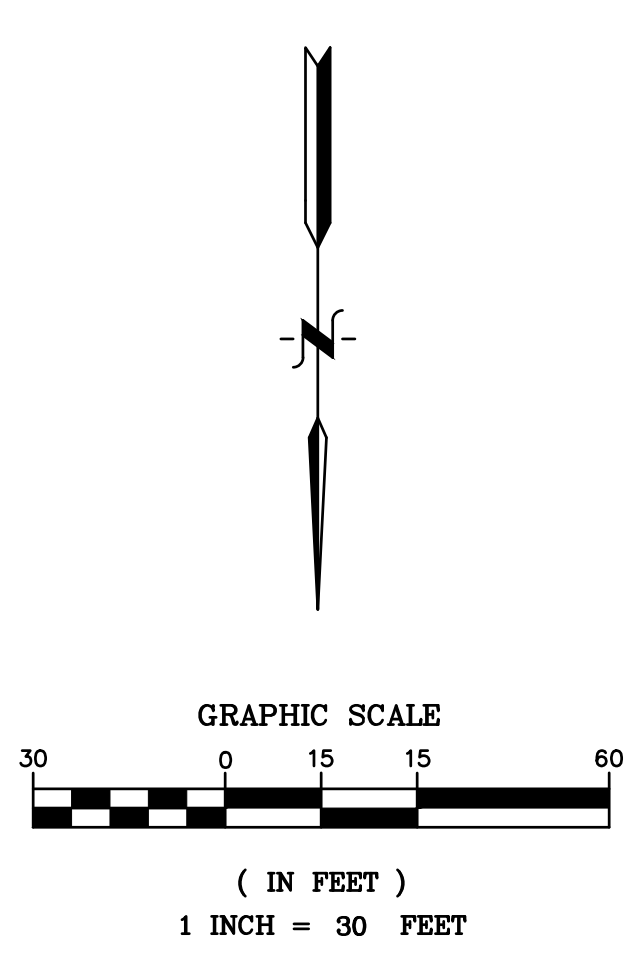
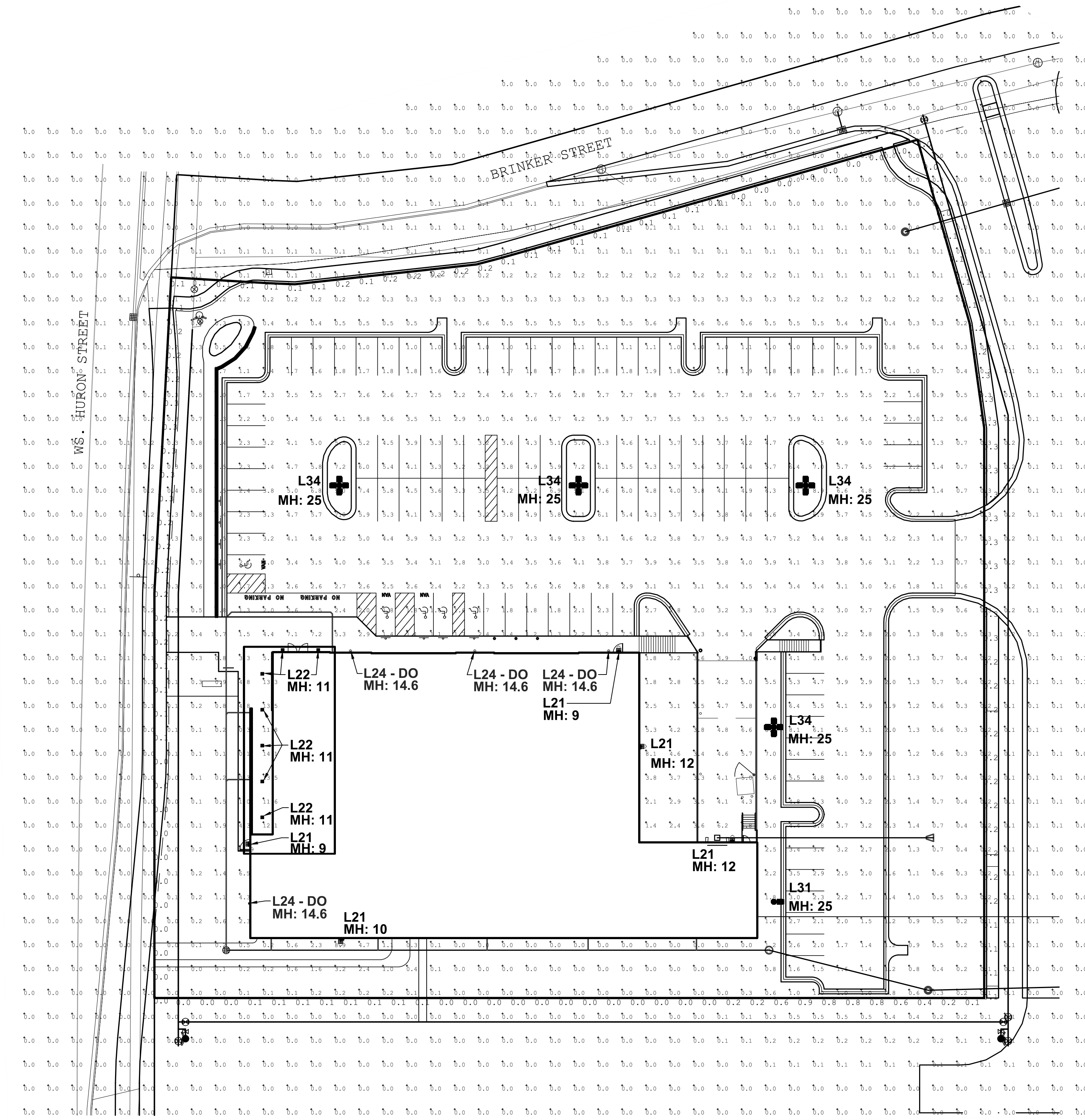
Proposed poles meet 140MPH sustained winds.

Additional Equipment:
 (21) - OSQ-ML-B-DA-CS - (Direct Arm Mount)

OSQ Series



- Ordinance:**
- 1) Light shielded from glare/tresspass.
 - 2) Max Mounting Height 25' AFG.
 - 3) Max Illumination Levels: 0.5FC Max at PL near Residential
1.0FC Max at PL for Commercial
 - 4) Min Illumination of 0.4FC in Paved Parking
 - 5) Kelvin Temperature shall not exceed 3500K CCT
 - 6) 10' x 10' Calculation space



CREE LIGHTING
 A COMPANY OF IDEAL INDUSTRIES, INC.
 9201 Washington Ave, Racine, WI 53406 https://cree.com - (800) 236-6800

Illumination results shown on this lighting design are based on project parameters provided to Cree Lighting used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting or energy code.

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DESIGN INC.
 (810) 227-9533
 CIVIL ENGINEERS
 LAND SURVEYORS
 2183 PLESS DRIVE
 BRIGHTON, MICHIGAN 48114

DESIGN: CAG	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.						
CHECK: CAG						

ALDI #62
 YPSILANTI, MICHIGAN

SITE LIGHTING PLAN

CLIENT:
 ALDI, Inc.
 2625 N. STOCKBRIDGE ROAD
 WEBBERVILLE, MICHIGAN 48892
 (517) 521-3907

SCALE: 1"=30'
 PROJECT No.: 9224256
 DWG NAME: 4256 LT
 ISSUED: MAR. 08, 2023

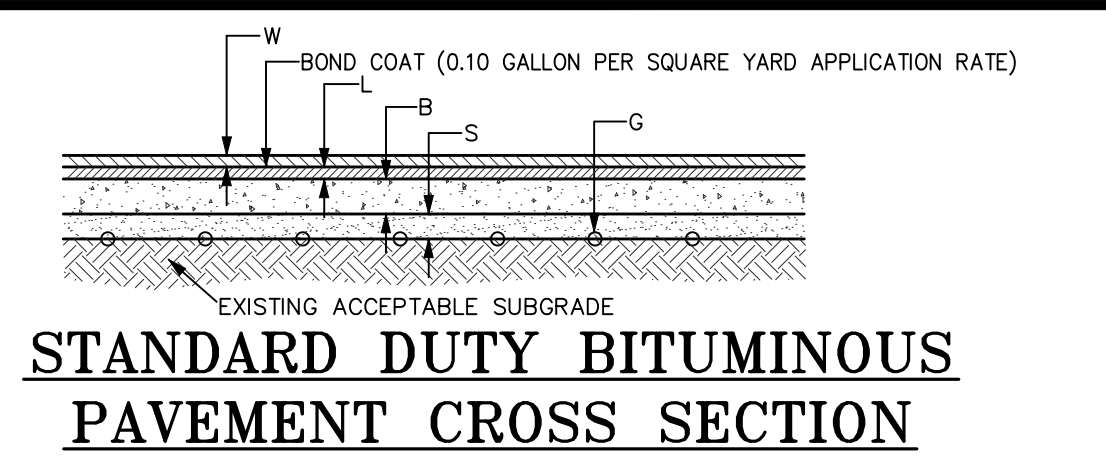
LT1

GENERAL NOTES:

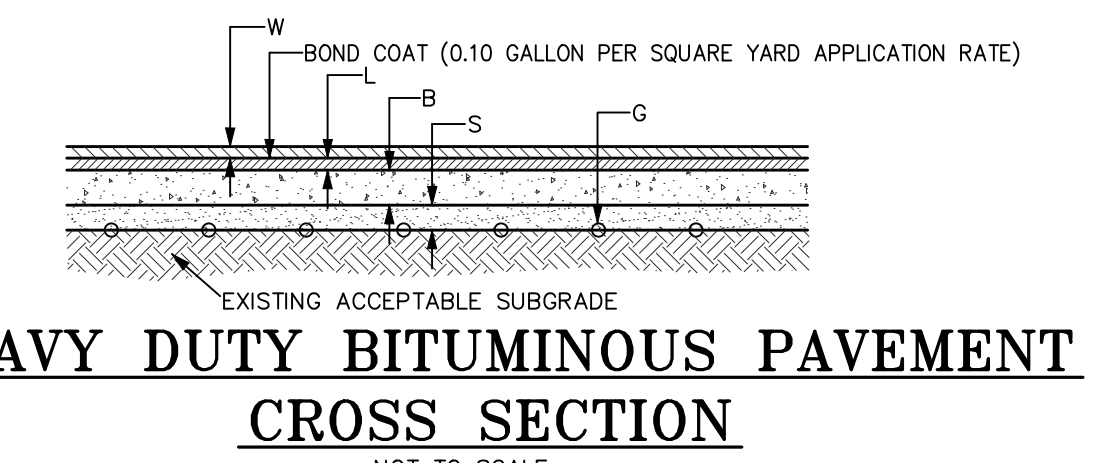
- Contractor shall perform the work in accordance with the requirements of the appropriate Local, County and State Agencies and all other Government and Regulatory Agencies with jurisdiction over the project. Contractor shall notify the appropriate Agencies in advance of each stage of work in accordance with each Agency's requirements.
- Contractor shall comply with all permit, insurance, licensing and inspection requirements associated with the work. Prior to construction, Contractor and Owner/Developer shall determine who is responsible for obtaining each required permit. Contractor shall verify that the each required permit has been obtained prior to commencement of the stage of work associated with the required permit(s).
- Contractor shall furnish liability insurance and property damage insurance to save harmless the Owner, Developer, Architect, Engineer, Surveyor and Government Agencies for any accident occurring during the construction period. Refer to the appropriate Local, County and State Agencies for additional requirements. Copies of insurance certifications shall be made available to the Owner/Developer.
- Contractor shall conduct and perform work in a safe and competent manner. Contractor shall perform all necessary measures to provide for traffic and pedestrian safety from the start of work and through substantial completion. Contractor shall determine procedures and provide safety equipment such as traffic controls, warning devices, temporary pavement markings and signs as needed. Contractor shall comply with the safety standards of the State Department of Labor, the occupational health standards of the State Department of Health and safety regulations of the appropriate Local, County, State and Federal Agencies. Refer to the safety specifications of the appropriate Regulatory Agencies. The Contractor shall designate a qualified employee with complete job site authority over the work and safety precautions; said designated employee shall be on site at all times during the work.
- Contractor shall coordinate scheduling of all work in the proper sequence, including work by Subcontractors. Additional costs due to improper planning by Contractor or work done out of sequence as determined by standard acceptable construction practices, shall be Contractor's responsibility.
- Contractor shall contact the 811 Public Underground Utility Locating System or other appropriate local underground utility locating Agency a minimum of three (3) working days prior to construction. Existing utility information on the project plans may be from information disclosed to this firm by the Utility Companies, Local, County or State Agencies, and/or various other sources. No guarantee is given as to the completeness or accuracy thereof. Prior to construction, locations and depths of all existing utilities (in possible conflict with the proposed improvements) shall be verified in the field.
- Contractor shall coordinate scheduling a Pre-Construction Meeting with Engineer prior to commencement of work.
- The Local Municipality, County and/or State in which the project is located may require an Engineer's Certification of construction of the proposed site improvements. Contractor shall verify the certification requirements with Engineer prior to commencement of work. Contractor shall coordinate construction staking, testing, documentation and observation with the appropriate Agency, Surveyor and/or Engineer as required for Engineer's Certification and Government Agency Acceptance. All materials used and work done shall meet or exceed the requirements of certification and acceptance, the contract documents and the material specifications noted on the project plans. Any materials used or work done that does not meet said requirements, contract documents and/or specifications shall be replaced and/or redone at Contractor's expense. The Owner/Developer may wait for test results, certifications and/or Agency reviews prior to accepting work.
- Engineer may provide subsurface soil evaluation results, if available, to Contractor upon request. Subsurface soil evaluation results, soils maps and/or any other documentation does NOT guarantee existing soil conditions or that sufficient, acceptable on-site granular material is available for use as structural fill, pipe bedding, pipe backfill, road subbase or use as any other granular material specified on the project plans. On-site granular material that meets or exceeds the material specifications noted on the project plans may be used as structural fill, pipe bedding, pipe backfill and/or road subbase material. On-site granular material shall be stockpiled and tested as acceptable to the appropriate Agency and/or Engineer prior to use.

- The construction specifications of the Local Municipality are a part of this work. Refer to the General Notes and the Sidewalk Cross Section Details on the Project Plans for additional requirements.
- Sidewalk widths may vary. Refer to the Civil Construction Plans for the proposed sidewalk width at each location. Increase sidewalks to 6" minimum thickness at driveways and other areas exposed to vehicular traffic. Provide frost footings, increased depth integral curb footings and/or reinforcement in sidewalks adjacent to the building in accordance with the project Structural Plans within the Building Plans.
- The existing subgrade soils shall be prepared prior to placement of the granular subbase. Unsuitable soils found within the 1 on 1 influence zone of the proposed sidewalk areas, such as muck, peat, topsoil, marl, silt or other unstable materials shall be excavated and replaced with structural fill. Structural fill shall be MDOT Class II granular material placed in accordance with the General Notes on the Project Plans.
- The sidewalk compacted subbase material shall be MDOT Class II sand. No subbase material substitutions shall be permitted without prior written approval of the Project Engineer and receipt of the Owner's Authorization. The subbase shall be compacted to a minimum of 95% of the maximum unit weight, modified proctor.
- Concrete material shall be MDOT P1 (I-A) 6.0 sack concrete pavement mixture with a minimum 28-day design compressive strength of 4,000 PSI and 6.5% (+/-1.5%) entrained air. The Contractor shall submit the concrete mix design and aggregate mechanical analysis report to the Material Testing Engineer and/or Project Engineer for review and approval prior to use.
- Install transverse contraction control joints in accordance with the Sidewalk Cross Section Detail. Space transverse control joints to match sidewalk width, but no greater than 10' on center. Tool joints in fresh concrete or saw cut within 8 hours.
- Install transverse expansion control joints in accordance with the Sidewalk Cross Section Detail. Space expansion control joints at 50 feet on center maximum. Transverse expansion control joints shall be 1/2" thick asphalt fiber joint filler matching entire sidewalk cross section.
- Provide 1" asphalt fiber control joint between concrete sidewalks and all other concrete structures, such as concrete building foundations, concrete curb and concrete driveways.
- Construct all Barrier Free Sidewalk Ramps in accordance with the American Disabilities Act and the Barrier Free Design Requirements of the appropriate Local, County or State Agency with jurisdiction over the project. Refer to MDOT Standard Plan R-28, latest revision.
- The Concrete Pavement shall not be exposed to vehicular traffic until the concrete has reached at least 75% of the design flexural strength.

- Contractor shall install temporary and permanent soil erosion and sedimentation control devices at the appropriate stages of construction in accordance with the appropriate regulatory Agencies. Refer to Soil Erosion and Sedimentation Control Plans and Notes on the project plans.
- Structural fill shall be placed as specified on the project plans and within the 1 on 1 influence zone of all structures, paved areas and other areas subject to vehicular traffic. Structural fill shall be placed using the controlled density method (12" maximum lifts, compacted to 95% maximum unit weight, modified proctor). Fill material shall meet or exceed the specifications noted on the project plans or as directed by Engineer when not specified on the project plans.
- All existing monuments, property corners, ground control and benchmarks shall be protected and preserved; and if disturbed by Contractor, shall be restored at Contractor's expense. Contractor shall notify Surveyor of any conflicts between existing monuments, property corners, ground control and/or benchmarks and the proposed site improvements.
- Contractor shall notify Owner/Developer and Engineer immediately upon encountering any field conditions, which are inconsistent with the project plans and/or specifications.
- When noted on the project plans for demolition and/or removal, Contractor shall remove existing structures, building and debris and recycle and/or dispose of in accordance with Local, County, State and Federal regulations.
- Contractor shall remove excess construction materials and debris from site and perform restoration in accordance with the project plans and specifications. Disposing of excess materials and debris shall be performed in accordance with Local, County, State and Federal regulations.
- Construction access to the site shall be located as acceptable to the Owner/Developer and to the appropriate Local, County and/or State Agency with jurisdiction over the road(s) providing access to the site. Construction access shall be maintained and cleaned in accordance with the appropriate Local, County and/or State Agencies and as directed by Owner/Developer and/or Engineer.
- Contractor shall take necessary precautions to protect all site improvements from heavy equipment and construction procedures. Damage resulting from Contractor actions shall be repaired at Contractor's expense.



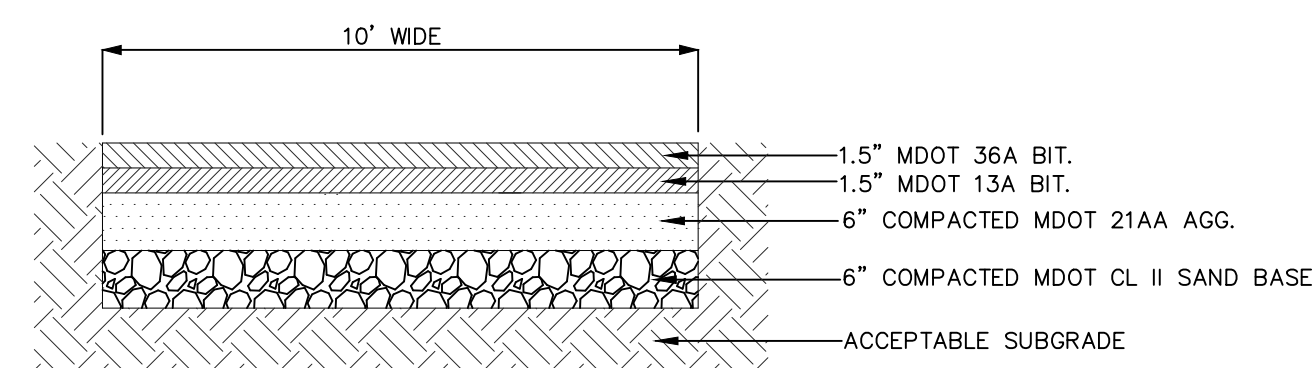
KEY	DESCRIPTION	MATERIAL SPECIFICATION	MINIMUM COMPACTED THICKNESS
W	WEARING COURSE	MDOT 4E3	1.5"
L	LEVELING COURSE	MDOT 13A	1.5"
B	AGGREGATE BASE	MDOT 21AA	8"
S	GRANULAR SUBBASE	MDOT CLASS II	12"
G	GEOGRID	N/A	N/A



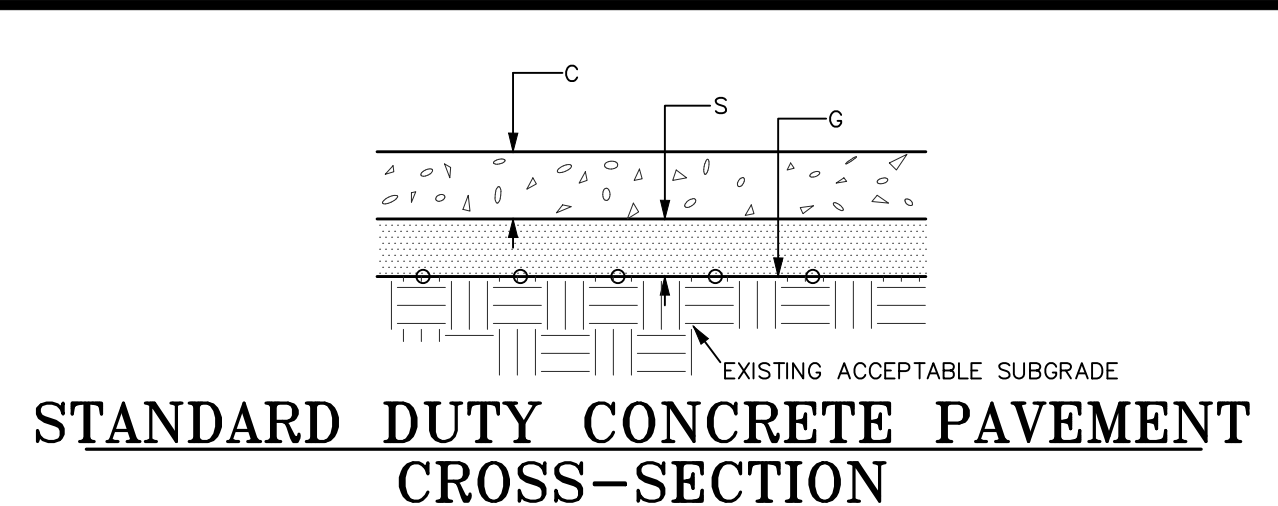
KEY	DESCRIPTION	MATERIAL SPECIFICATION	MINIMUM COMPACTED THICKNESS
W	WEARING COURSE	MDOT 4E3	1.5"
L	LEVELING COURSE	MDOT 13A	2.5"
B	AGGREGATE BASE	MDOT 21AA	8"
S	GRANULAR SUBBASE	MDOT CLASS II	12"
G	GEOGRID	N/A	N/A

BITUMINOUS PAVEMENT CROSS SECTION NOTES:

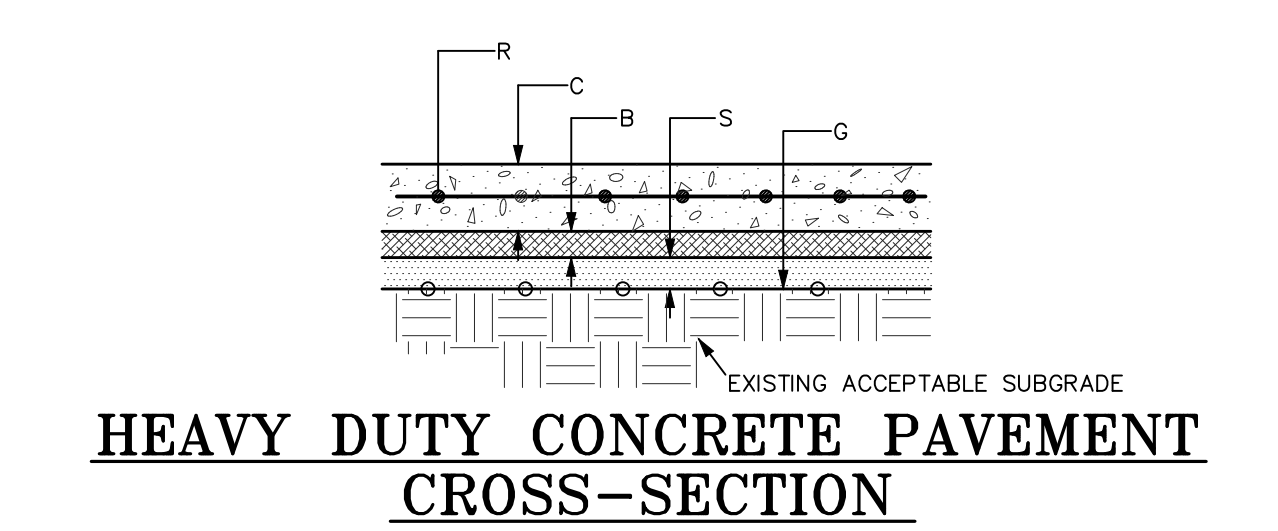
- The construction specifications of the Local Municipality are a part of this work. Refer to the General Notes and the Bituminous Pavement Cross Section Details on the Project Plans for additional requirements. Construction of the bituminous pavement cross section is subject to inspection by the ALDI Representative and/or Project Engineer. The Contractor shall be responsible for contacting the ALDI Representative at each stage of construction of the bituminous pavement cross section to schedule the necessary inspections.
- The Geotechnical Evaluation Report for the project site is a part of this work. The General Contractor, Earthwork Subcontractor, and Bituminous Pavement Subcontractor shall obtain, review, and become familiar with the Geotechnical Evaluation Report.
- The bituminous pavement cross section specifications are based on typical weather conditions during the June through September Construction Season. If the bituminous parking area and/or bituminous driveways are to be constructed during any other time of the year and/or if weather conditions are unseasonably wet, then modifications to the bituminous pavement cross section specifications may be necessary. If either of these conditions exists, then contact the Material Testing Engineer and/or the Project Engineer for additional requirements.
- The existing subgrade soils shall be prepared in accordance with the Geotechnical Evaluation Report. Unsuitable soils found within the 1 on 1 influence zone of the proposed pavement areas, such as muck, peat, topsoil, marl, silt or other unstable materials shall be excavated and replaced with structural fill. Structural fill shall be MDOT Class II granular material placed in accordance with the General Notes on the Project Plans and the Geotechnical Evaluation Report.
- The bituminous pavement subgrade shall be prepared and proof rolled in accordance with the Geotechnical Evaluation Report. The Material Testing Engineer and/or the Project Engineer shall observe the subgrade proof roll. Areas of subgrade that do not pass a proof roll inspection shall be undercut in accordance with the Subgrade Undercut Notes and Details on the Project Plans. Alternative means of subgrade stabilization may be considered when recommended by the Material Testing Engineer. Alternative methods shall not be performed without receipt of the Owner's Authorization.
- The bituminous pavement granular subbase material shall be MDOT Class II sand. No granular subbase material substitutions shall be permitted without prior written approval of the Project Engineer and receipt of the Owner's Authorization. The granular subbase shall be compacted to a minimum of 95% of the maximum unit weight, Modified Proctor.
- The bituminous pavement aggregate base material shall be MDOT 21AA crushed angular limestone or crushed angular natural stone aggregate material. Crushed concrete shall NOT be utilized for the standard or heavy duty bituminous pavement aggregate base. No aggregate base material substitutions shall be permitted without prior written approval of the Project Engineer and receipt of the Owner's Authorization. The aggregate base shall be compacted to a minimum of 95% of the maximum unit weight, Modified Proctor.
- The bituminous pavement leveling course material shall be MDOT 13A bituminous material placed in 1 lift. The bituminous pavement leveling and wearing courses shall NOT be combined into a single course. No bituminous material substitutions shall be permitted without prior written approval of the Project Engineer and receipt of the Owner's Authorization. Compaction of the leveling course shall be achieved prior to placement of the wearing course. Any sediment, soil, debris and other foreign materials that accumulate on the leveling course shall be removed prior to placement of the wearing course. The bond coat shall be sprayed on the leveling course within 24 hours of placement of the wearing course. The bituminous pavement material shall be compacted to a minimum of 95% of the 50-blow Marshall Density.
- Placement of the bituminous pavement leveling course and bituminous pavement wearing course shall be performed in two separate mobilizations. Placement of the bituminous pavement wearing course shall be postponed as directed by the General Contractor and/or the Owner until the majority of the construction activities are complete. Repair of the bituminous leveling course may be necessary due to construction traffic and/or any delay in placement of the bituminous wearing course. The bituminous leveling course shall be repaired as directed by Material Testing Engineer and/or Owner prior to placement of the bituminous wearing course.
- Bituminous mix designs shall be developed in accordance with the MDOT HMA Production Manual. The Contractor shall submit the bituminous mix design to the Material Testing Engineer for review and approval a minimum of 3 business days prior to use. Bituminous pavement work shall not commence without receipt of the Material Testing Engineer's approval of the bituminous mix designs. The bituminous pavement mix design shall be a virgin mix. RAP mixtures shall not be utilized without prior written approval of the Material Testing Engineer and receipt of the Owner's authorization. RAP mixtures, if authorized, shall be designed and produced in accordance with MDOT Tier I or Tier II RAP Mixture Specifications. In no instance shall MDOT Tier III or non-MDOT RAP mixtures be permitted or utilized.



BITUMINOUS WALK CROSS-SECTION
NOTE: A. SCHEDULE WALK CONSTRUCTION AFTER ALL UNDERGROUND



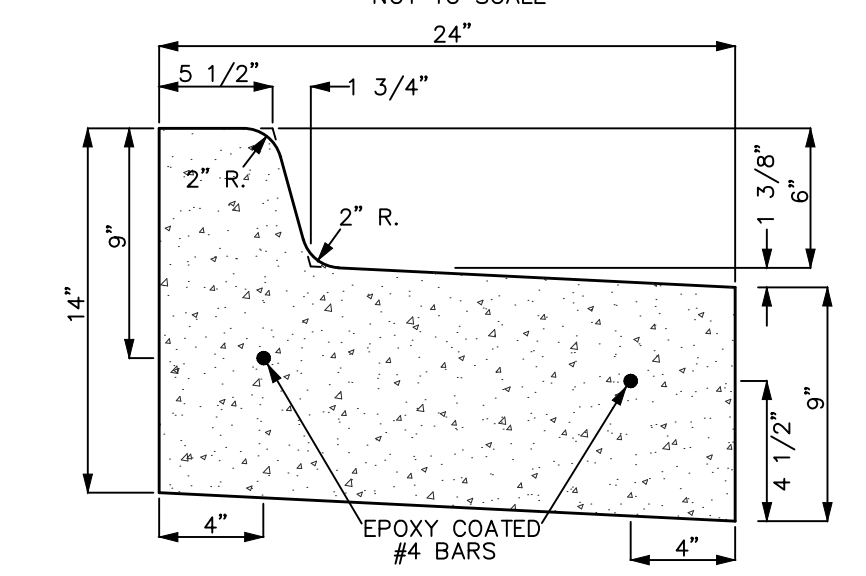
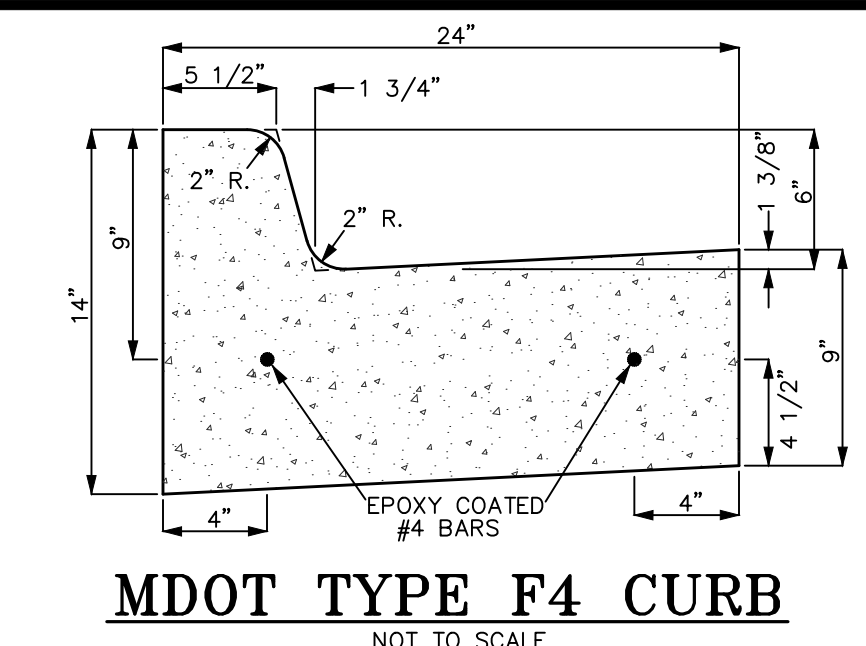
KEY	DESCRIPTION	MATERIAL SPEC.	MIN. THICKNESS
R	REINFORCEMENT	N/A	N/A
C	CONCRETE	MDOT P1-1A - 6 SACK	6"
B	AGGREGATE BASE	N/A	N/A
S	GRANULAR SUBBASE	MDOT CLASS II	12"
G	GEOGRID	N/A	N/A



KEY	DESCRIPTION	MATERIAL SPEC.	MIN. THICKNESS
R	REINFORCEMENT	SEE NOTE B	SEE NOTE B
C	CONCRETE	MDOT P1-1A - 6 SACK	8"
B	AGGREGATE BASE	N/A	N/A
S	GRANULAR SUBBASE	MDOT CLASS II	12"
G	GEOGRID	N/A	N/A

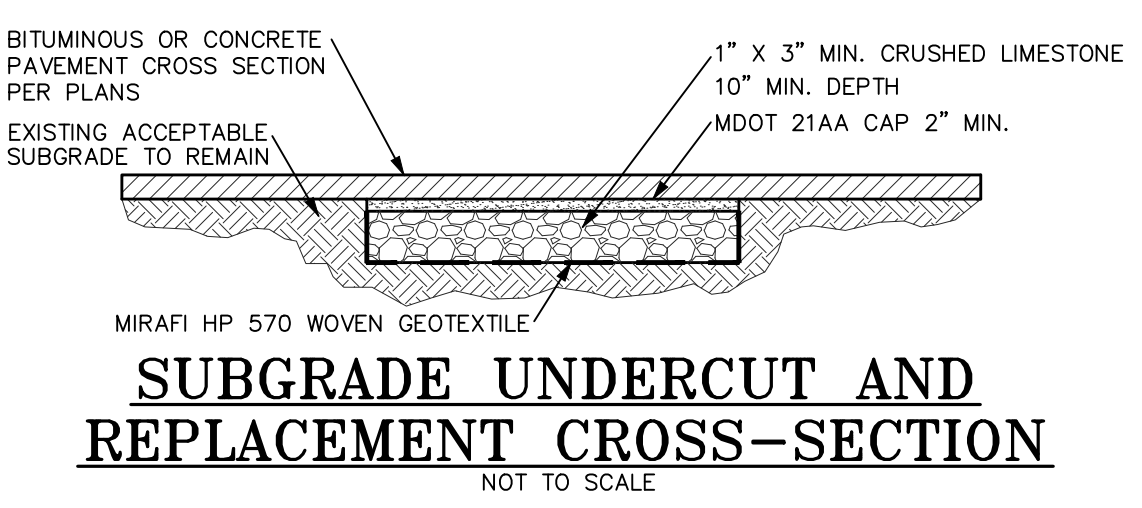
CONCRETE PAVEMENT CROSS SECTION NOTES:

- The construction specifications of the Local Municipality are a part of this work. Refer to the General Notes and the Heavy Duty Concrete Pavement Cross Section Detail on the Project Plans for additional requirements. Construction of the concrete pavement cross section is subject to inspection by the ALDI Representative and/or Project Engineer. The Contractor shall be responsible for contacting the ALDI Representative at each stage of construction of the concrete pavement cross section to schedule the necessary inspections.
- The Geotechnical Evaluation Report for the project site, is a part of this work. The General Contractor, Earthwork Subcontractor and Concrete Pavement Subcontractor shall obtain, review and become familiar with the Geotechnical Evaluation Report.
- The concrete pavement cross section specifications are based on typical weather conditions during the June through September Construction Season. If the concrete pavement areas are to be constructed during any other time of the year and/or if weather conditions are unseasonably wet, then modifications to the concrete pavement cross section specifications may be necessary. If either of these conditions exists, then contact the Material Testing Engineer and/or the Project Engineer for additional requirements.
- The existing subgrade soils shall be prepared in accordance with the Geotechnical Evaluation Report. Unsuitable soils found within the 1 on 1 influence zone of the proposed pavement areas, such as muck, peat, topsoil, marl, silt or other unstable materials shall be excavated and replaced with structural fill. Structural fill shall be MDOT Class II granular material placed in accordance with the General Notes on the Project Plans and the Geotechnical Evaluation Report.
- The concrete pavement subgrade shall be prepared and proof rolled in accordance with the Geotechnical Evaluation Report. The Material Testing Engineer and/or the Project Engineer shall observe the subgrade proof roll. Areas of subgrade that do not pass a proof roll inspection shall be undercut in accordance with the Subgrade Undercut Notes and Details on the Project Plans. Alternative means of subgrade stabilization may be considered when recommended by the Material Testing Engineer. Alternative methods shall not be performed without receipt of the Owner's Authorization.
- The concrete pavement compacted subbase material shall be MDOT Class II granular material. No subbase material substitutions shall be permitted without prior written approval of the Project Engineer and receipt of the Owner's Authorization. The subbase shall be compacted to a minimum of 95% of the maximum unit weight, Modified Proctor.
- Concrete material shall be MDOT P1 (I-A) 6.0 sack concrete pavement mixture with a minimum 28-day design compressive strength of 4,000 PSI and 6.5% (+/-1.5%) entrained air. The Contractor shall submit concrete mix design and aggregate mechanical analysis report to the Material Testing Engineer for review and approval prior to use.
- Heavy Duty Concrete Pavement placed within the Truck Well shall be Reinforced with epoxy coated deformed #5 bars at 12" on center each way placed at mid-depth of the concrete, unless noted otherwise on the Project Structural Plans. See Structural Plans and Details within the Building Plans for additional requirements.
- Install transverse contraction joints and longitudinal contraction joints at the locations specified on the Project Structural Plans. Joints shall be 2" deep, unless noted otherwise on the Project Structural Plans. Tool joints in fresh concrete or saw cut within 4 hours after placement with soft cut saws.
- Provide 1" asphalt fiber control joint between concrete pavement and all other concrete structures such as concrete building foundations, concrete curb and concrete sidewalks.
- The Concrete Pavement shall not be exposed to vehicular traffic until the concrete has reached at least 75% of the design flexural strength.



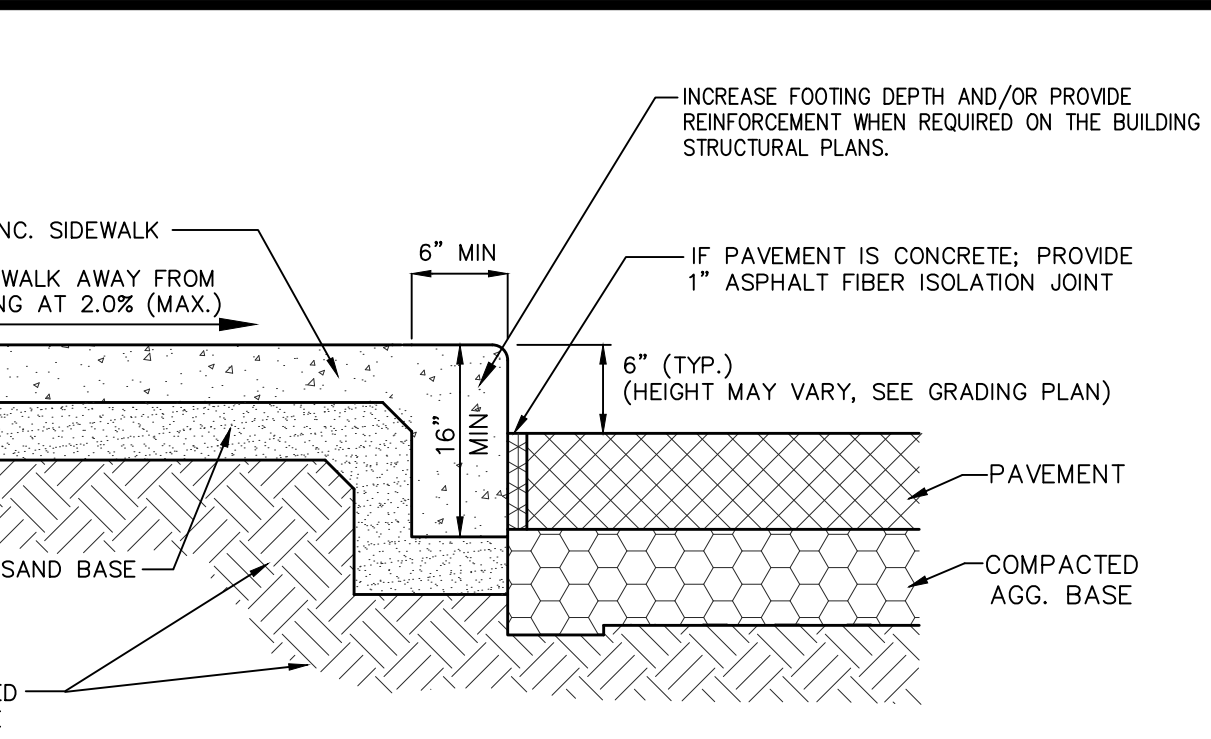
MDOT TYPE F4 CURB REVERSE PITCH
CONCRETE CURB NOTES:

- Refer to the project plans for the proposed locations of the specific curb types.
- The construction specifications of the appropriate Local Municipality are a part of this work. Refer to the General Notes and Curb Cross Section Details on the project plans for additional requirements.
- Extend the base and/or subbase material of the appropriate adjacent pavement cross-section horizontally to 1 foot behind the back of curb. Concrete curb shall be constructed on no less than 6" of combined depth of compacted base/subbase material.
- Concrete material shall be MDOT P1 (I-A) 6.0 sack concrete pavement mixture with a minimum 28 day design compressive strength of 4,000 PSI and 6.5% (+/-1.5%) entrained air. Contractor shall submit concrete mix design and aggregate mechanical analysis report to the Local Municipality and Engineer for review and approval prior to use.
- Install transverse contraction control joints in concrete curb with 1" minimum depth at 10' on center. Tool joints in fresh concrete or saw cut within 8 hours.
- Install transverse expansion control joints in concrete curb as follows: 400' maximum on center, at spring points of intersecting streets and within 10' on each side of catch basins. Transverse expansion control joints shall be 1" thick asphalt fiber joint filler matching entire curb cross section.
- Provide 1" asphalt fiber control joint between back of curb and all other concrete structures, such as concrete sidewalks and concrete driveways.
- Curb Contractor shall provide final adjustment of catch basin castings in curb line. Castings shall be tucked pointed to structure water tight with concrete or mortar inside and outside of casting.
- Install curb cuts for all existing and proposed sidewalks and pedestrian ramps in accordance with the American Disabilities Act and the Barrier Free Design Requirements of the appropriate Local, County and/or State Agency. Refer to MDOT Standard Plan R-28, latest revision. Install curb cuts for all existing and proposed vehicular ramps and drives as noted on the project plans.



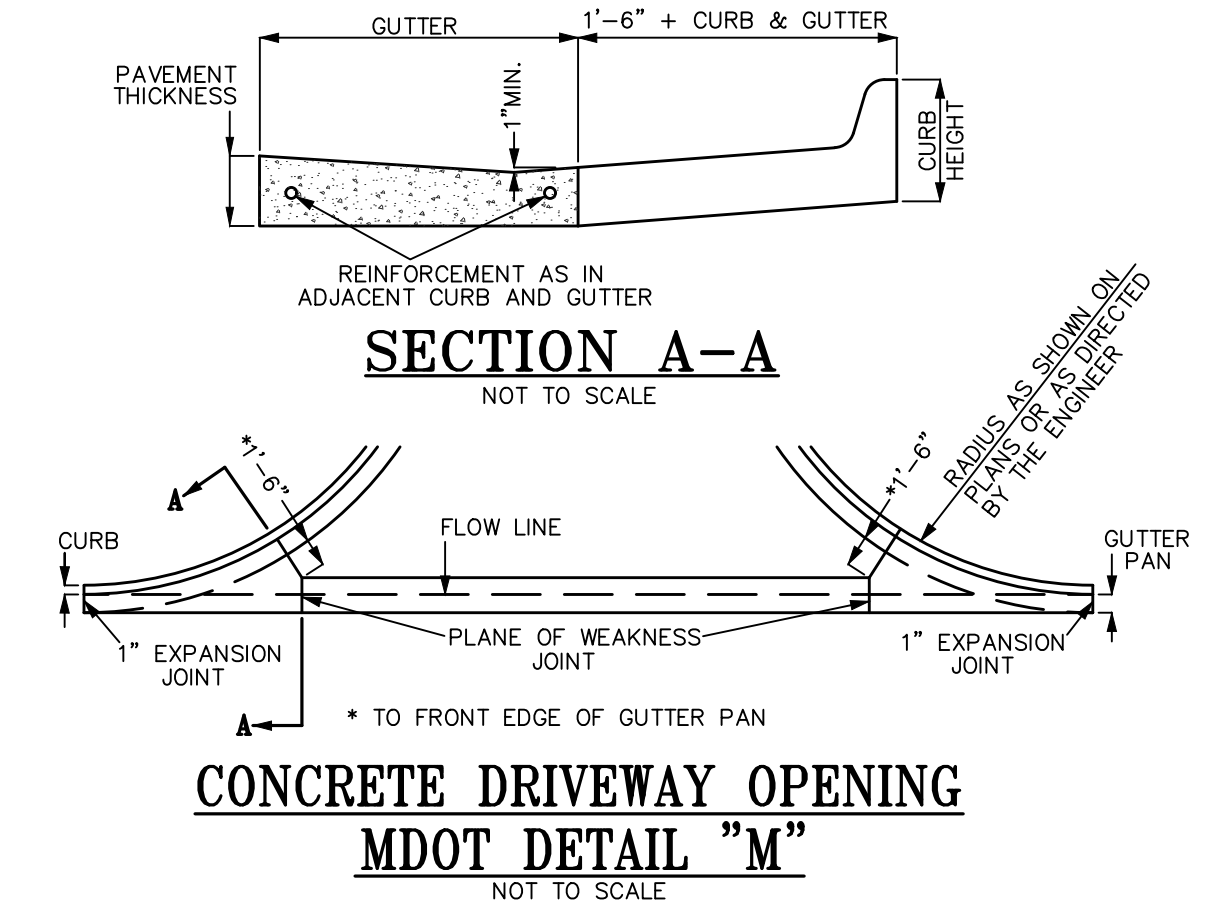
REPLACEMENT SUBGRADE UNDERCUT NOTES:

- Areas of pavement subgrade that do not pass a proof roll inspection shall be undercut when directed by the Material Testing Engineer and/or Project Engineer. All undercut work shall be witnessed and field measured by the Material Testing Engineer and/or Project Engineer. Copies of the field notes depicting the field measurements of the undercut areas shall be provided to the General Contractor and/or Earthwork Subcontractor and ALDI Inc.
- Undercut areas shall be excavated to a depth of 12" below the proposed subgrade elevation using an Excavator or Backhoe with a Smooth Edged Ditching Bucket so as not to scarify the underlying soils. Undercut areas shall remain free of all construction traffic and equipment to avoid rutting and/or tracking of the underlying soils.
- Mirafi HP 570 Woven Geotextile Fabric (or approved equal) shall be placed over all undercut areas per the Manufacturer's specifications. Overlap all seams a minimum of 12" unless specified otherwise by the Manufacturer.
- Backfill the undercut areas with 1" x 3" minimum size crushed angular limestone up to the proposed subgrade elevation. Crushed concrete material shall NOT be substituted for crushed limestone material. The backfill material shall be spread with a Wide Track Dozer to minimize loading on the underlying soils. Static roll the backfill material with a large smooth drum roller.
- Construct the appropriate Bituminous or Concrete Pavement Cross Section over the undercut areas per the Project Plans.
- The General Contractor and/or Earthwork Subcontractor shall provide ALDI Inc with unit pricing to perform subgrade undercut work per square yard (SY) of undercut area. Undercut Unit Pricing SHALL include excavation, loading, hauling and offsite disposal of excess spoils, placement of geotextile fabric and backfill including all labor, equipment and materials necessary to complete pavement subgrade undercut work as specified on the Project Plans.



SIDEWALK CROSS SECTION
SIDEWALK CROSS SECTION NOTES:

- The construction specifications of the Local Municipality are a part of this work. Refer to the General Notes and the Sidewalk Cross Section Details on the Project Plans for additional requirements.
- Sidewalk widths may vary. Refer to the Civil Construction Plans for the proposed sidewalk width at each location. Increase sidewalks to 6" minimum thickness at driveways and other areas exposed to vehicular traffic. Provide frost footings, increased depth integral curb footings and/or reinforcement in sidewalks adjacent to the building in accordance with the project Structural Plans within the Building Plans.
- The existing subgrade soils shall be prepared prior to placement of the granular subbase. Unsuitable soils found within the 1 on 1 influence zone of the proposed sidewalk areas, such as muck, peat, topsoil, marl, silt or other unstable materials shall be excavated and replaced with structural fill. Structural fill shall be MDOT Class II granular material placed in accordance with the General Notes on the Project Plans.
- The sidewalk compacted subbase material shall be MDOT Class II sand. No subbase material substitutions shall be permitted without prior written approval of the Project Engineer and receipt of the Owner's Authorization. The subbase shall be compacted to a minimum of 95% of the maximum unit weight, modified proctor.
- Concrete material shall be MDOT P1 (I-A) 6.0 sack concrete pavement mixture with a minimum 28-day design compressive strength of 4,000 PSI and 6.5% (+/-1.5%) entrained air. The Contractor shall submit the concrete mix design and aggregate mechanical analysis report to the Material Testing Engineer and/or Project Engineer for review and approval prior to use.
- Install transverse contraction control joints in accordance with the Sidewalk Cross Section Detail. Space transverse control joints to match sidewalk width, but no greater than 10' on center. Tool joints in fresh concrete or saw cut within 8 hours.
- Install transverse expansion control joints in accordance with the Sidewalk Cross Section Detail. Space expansion control joints at 50 feet on center maximum. Transverse expansion control joints shall be 1/2" thick asphalt fiber joint filler matching entire sidewalk cross section.
- Provide 1" asphalt fiber control joint between concrete sidewalks and all other concrete structures, such as concrete building foundations, concrete curb and concrete driveways.
- Construct all Barrier Free Sidewalk Ramps in accordance with the American Disabilities Act and the Barrier Free Design Requirements of the appropriate Local, County or State Agency with jurisdiction over the project. Refer to MDOT Standard Plan R-28, latest revision.
- The Concrete Pavement shall not be exposed to vehicular traffic until the concrete has reached at least 75% of the design flexural strength.



DESIGN: CAG	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.			
CHECK: CAG			

REVISION #	DATE	REVISION-DESCRIPTION

ALDI #62
YPSILANTI, MICHIGAN

SITE PAVEMENT NOTES & DETAILS

CLIENT: ALDI Inc.
2625 N. STOCKBRIDGE RD.
WEBBERVILLE, MICHIGAN 48892
(517) 521-3907

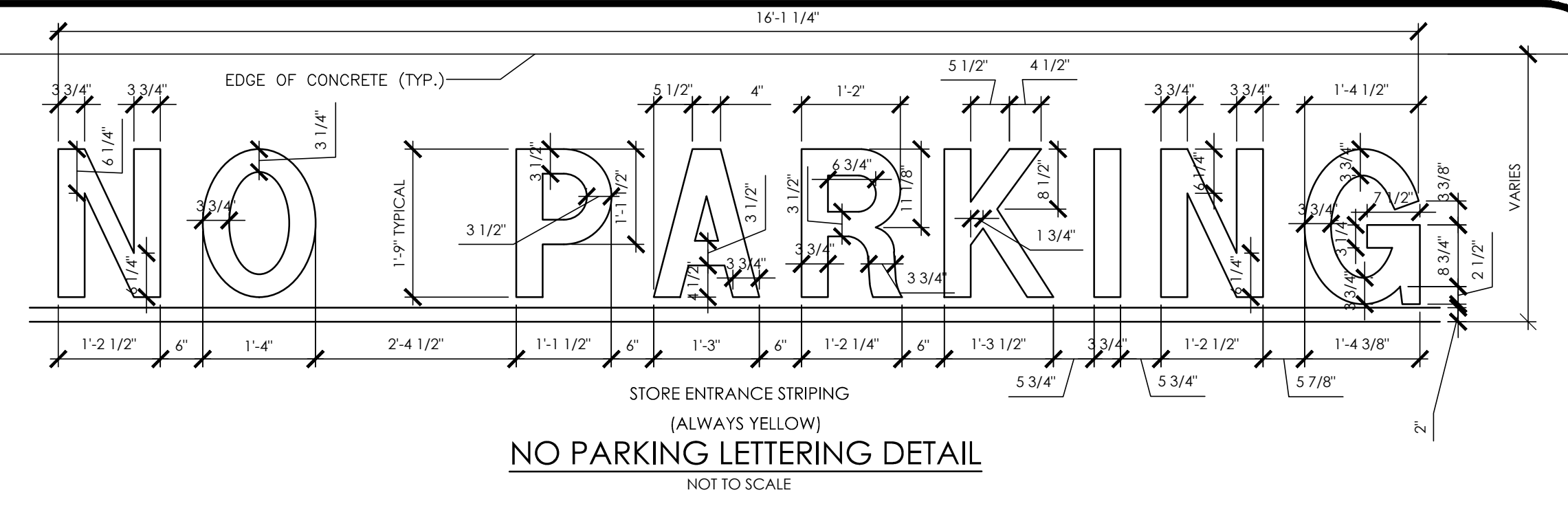
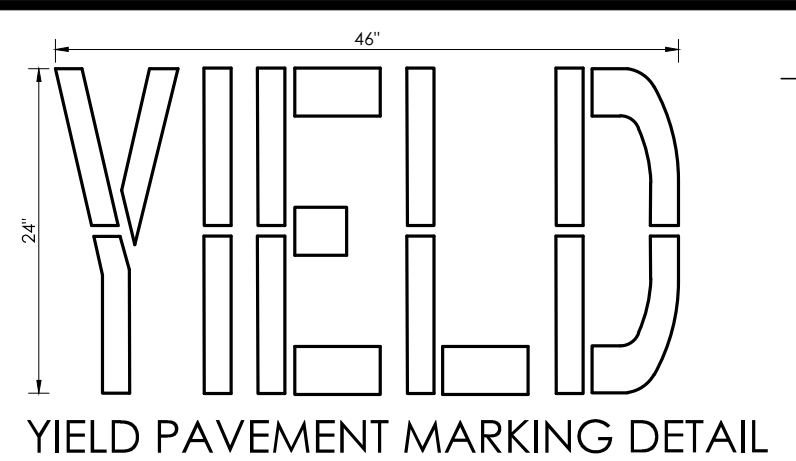
SCALE: NO SCALE
PROJECT NO.: 9224256
DWG NAME: 4256 DT1
ISSUED: MAR. 08, 2023

DT1

811
Know what's below.
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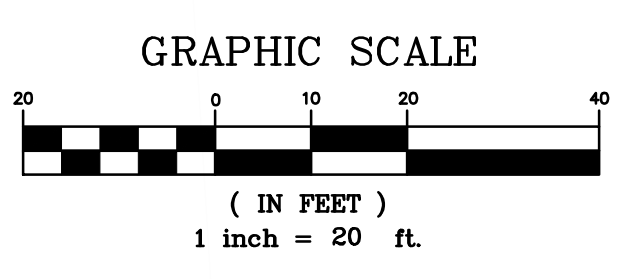
3 WORKING DAYS BEFORE YOU DIG
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OR VISIT CALL811.COM

DESIGN INC.
(810) 227-9533
CIVIL ENGINEERS
LAND SURVEYORS
2183 PLESS DRIVE
BRIGHTON, MICHIGAN 48114

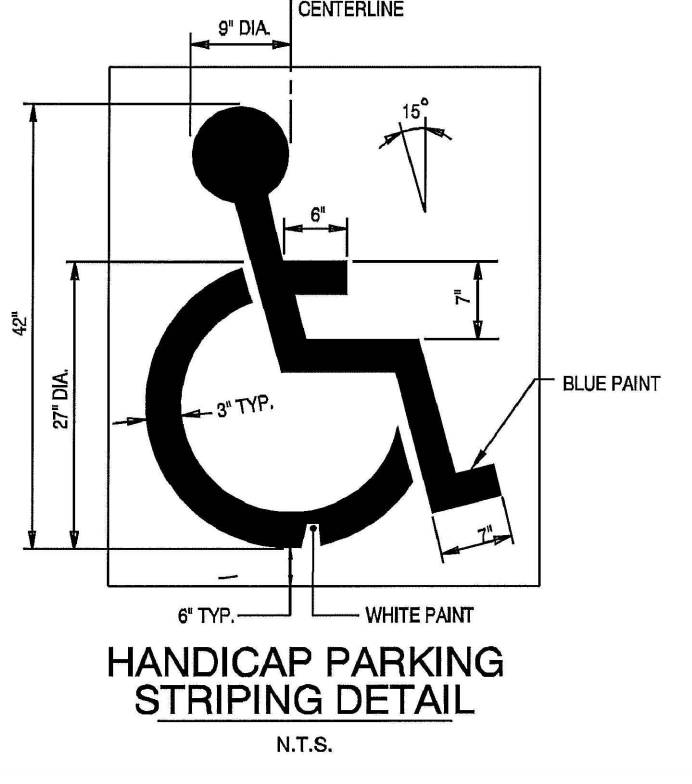


SIGNAGE AND PAVEMENT MARKING NOTES:

- Pavement markings shall be in accordance with the type, color, size and locations shown on the plans. If the information on the plans is not complete and the authority having jurisdiction does not have specific requirements, then use the following: Paint shall be supplied in accordance with AASHTO: M 248 latest addition. Colors shall be as follows: (YELLOW- parking stalls, loading zones, parking islands, no parking zones and fire lanes) (WHITE - stop bars, pedestrian crossings, lane demarcations, directional arrows and lettering) (BLUE - handicap parking stalls and symbols). Stripe widths shall be as follows: (4" - parking spaces, driveway lanes, barrier free loading zones and no parking zones) (12" - crosswalks) (24" - stop bars).
- The pavement shall be clean and free of dirt, dust, moisture, oils and other foreign materials at time of marking application. Any existing pavement markings shall be removed or blacked out as acceptable to ALDI Inc., unless paints are compatible and overlay identically. The surface of the pavement prior to application shall be a minimum of 45 degrees F and rising unless the Manufacturer's recommendations are greater.
- The signage shall be in accordance with the type, color, size and locations shown on the plans and in accordance with AASHTO M268. The signage shall be provided in accordance with the Local Municipality and the Michigan Manual of Uniform Traffic Devices latest edition. ALDI curbside pickup reserved parking signage (C) and ALDI directional way finding signage (E1-E3) shall be Owner supplied, GC installed.
- Posts, brackets and frames shall be steel per ASTM A-36, A-242, A-441, A-572, A588, Grade 50 and hot dip galvanized in accordance with ASTM A123. All cutting, drilling and/or pole modifications shall be painted with galvanizing paint. All mounting hardware shall be stainless steel.
- Sign post footings shall be provided when specified on the project plans. Sign post footings shall be a minimum of 3'-6" deep and 8" in diameter unless poor soils or frost conditions require greater depth and/or diameter. Sign posts shall be kept plumb, 6 inches off the bottom of footing excavation and centered as 3000-psi concrete is placed under and around the sign post. The overall sign and post system should be able to withstand 33 pounds per square foot. Signs shall not be mounted on posts until after concrete has cured for a minimum of seven days or 1/4 strength is achieved.
- Sign posts shall be installed in pipe bollards where specified on the project plans. Pipe bollards shall be 6" diameter schedule 40 steel pipe. Pipe bollards shall be filled with concrete that is rounded at the top of the bollard. Pipe bollard footings shall be a minimum of 3'-8" deep and 18" in diameter unless poor soils or frost conditions require greater depth and/or diameter. Embed the bollard into the concrete footing a minimum of 3 feet below proposed finish grade. Bollards and sign posts shall be kept plumb while concrete cures. Signs shall not be mounted on posts until after concrete has cured for a minimum of seven days or 1/4 strength is achieved. Bollards for curbside pickup reserved parking space signage shall be painted ALDI custom blue. Bollards located within the main parking area shall be painted traffic yellow. Bollards located within the sidewalk adjacent to the building shall be painted slate grey.
- Signs shall be mounted on flex-bollards where specified on the project plans. Flex-bollards shall be Owner supplied, GC installed.
- All barrier free striping and signage shall meet the Americans with Disabilities Act (ADA) requirements.
- All Fire Lane signs shall have a Red Border and Red Letters on White Background. All Fire Lane signs shall be Reflective. Fire lane striping and signage shall meet the requirements of the Local Building Inspector and Fire Department.
- "Mounting Height" shall be the minimum height of the bottom of the sign above finish grade. When signs are located downhill from the roadway, driveway and/or parking area, then the "Mounting Height" shall be the height of the bottom of the sign above the top of pavement finish grade at the nearest edge of pavement adjacent to the sign.
- All Traffic Control and Fire Lane signs shall be installed at 3 feet behind the back of curb (and/or edge of pavement) to the centerline of the sign post unless noted otherwise on the project plans.
- The Contractor(s) and/or Subcontractor(s) responsible for installation of the sign posts shall contact the 811 Public Underground Utility Locating System a minimum of three (3) working days prior to installation of the signposts. Install the sign posts in the locations specified on the project plans. When underground utilities conflict with the proposed sign post locations, field adjust the sign locations the minimum amount necessary to safely clear the underground utilities. Maintain a minimum of 2 feet of clearance between the edge of sign and the back of curb and/or edge of sidewalk.



S. HURON STREET

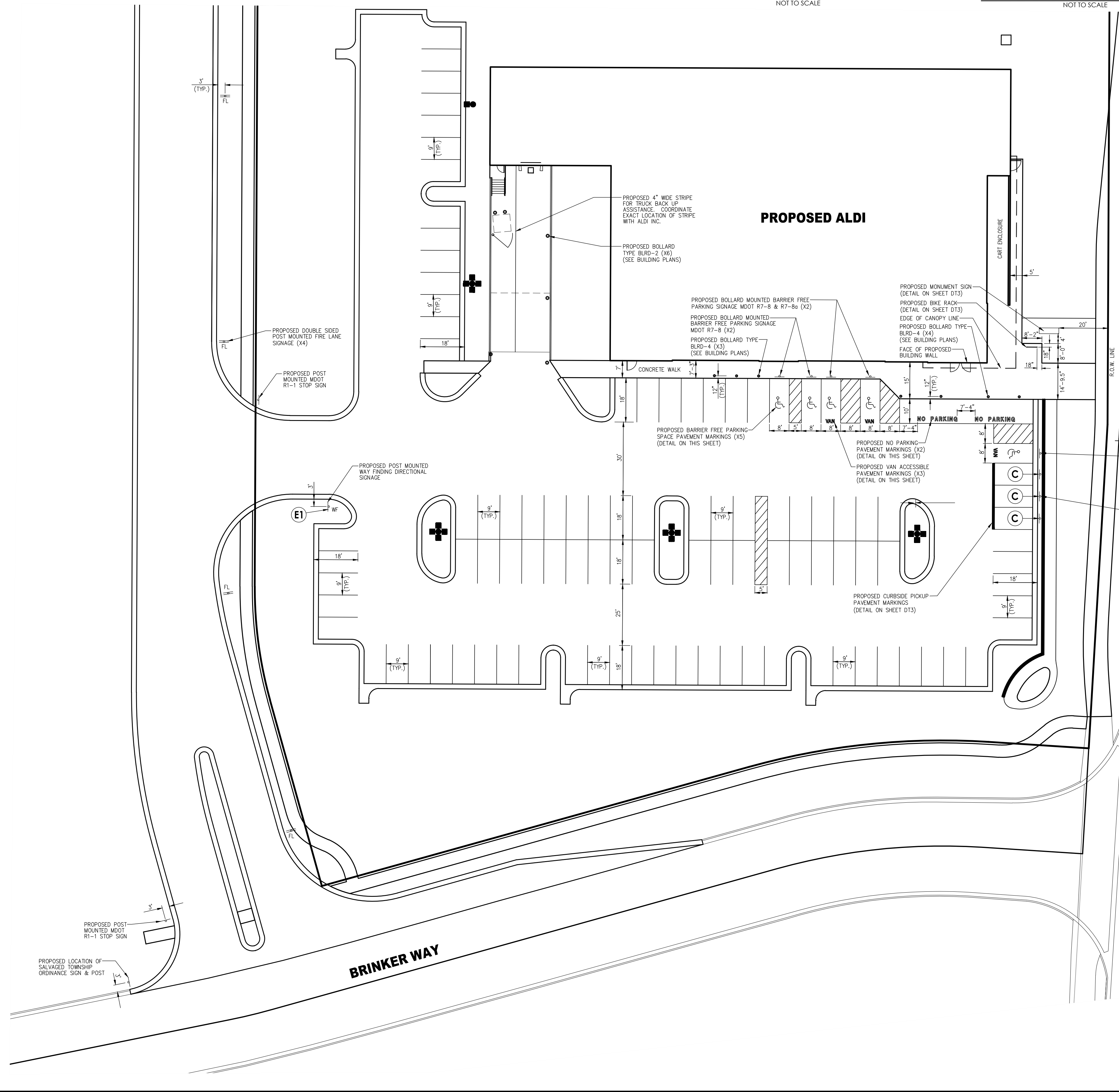


SIGN SCHEDULE

SIGN	KEY	SIZE (W x H)	MOUNTING TYPE	MOUNTING HEIGHT	QUANTITY
RESERVED PARKING ONLY	R7-8	12' x 18'	BOLLARD MOUNTED	6'-8"	5
			POST MOUNTED		0
VAN ACCESSIBLE	R7-8a	12' x 6'	BOLLARD MOUNTED	6'-0"	3
			POST MOUNTED		0
STOP	R1-1	18' x 18'	POST MOUNTED	6'-8"	2
NO PARKING FIRE LANE	FL	12' x 18'	POST MOUNTED	6'-8"	4
RESERVED PARKING	C	12' x 30'	BOLLARD MOUNTED	4'-6"	3
DIRECTIONAL STRAIGHT	E1	12' x 18'	POST MOUNTED	4'-6"	1
DIRECTIONAL RIGHT	E2	12' x 18'	POST MOUNTED	4'-6"	0
DIRECTIONAL LEFT	E3	12' x 18'	POST MOUNTED	4'-6"	0

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BRIGHTON, MICHIGAN 48114



DESIGN: CAG	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.						
CHECK: CAG						

ALDI #62
YPSILANTI, MICHIGAN

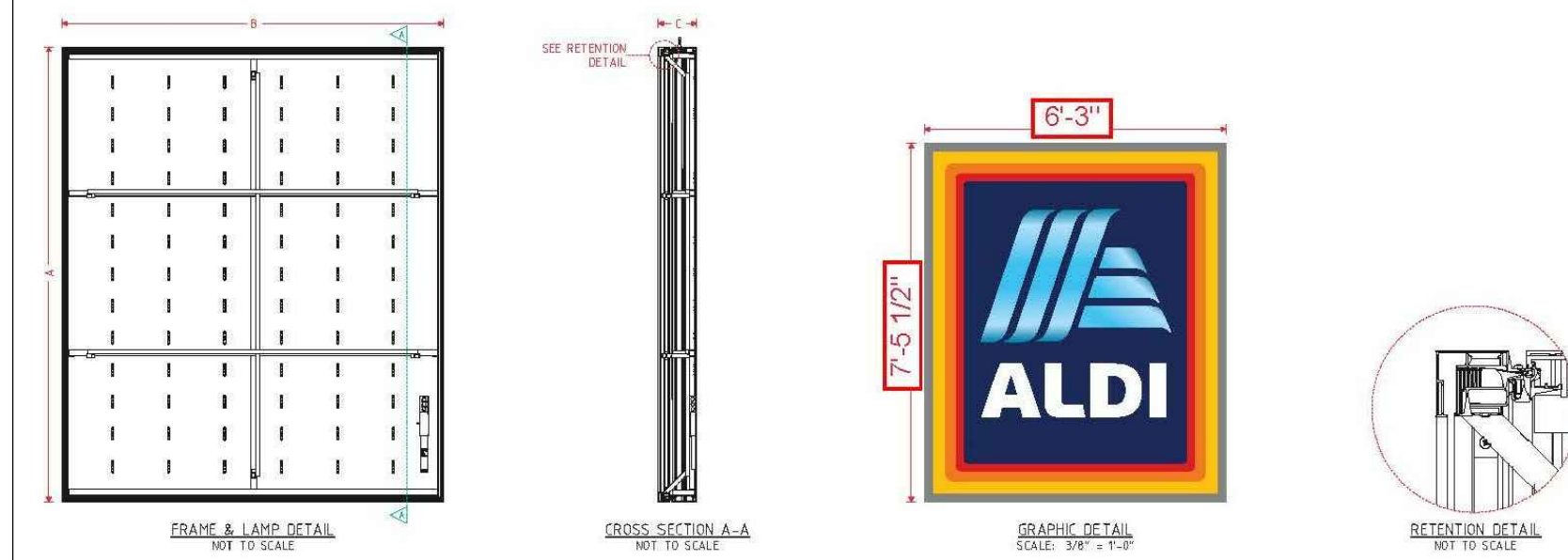
SIGNAGE &
PAVEMENT MARKING
PLAN

CLIENT:
ALDI Inc.
2625 N. STOCKBRIDGE RD.
WEBBERVILLE, MICHIGAN 48892
(517) 521-3907

SCALE: 1"=20'
PROJECT No.: 9224256
DWG NAME: 4256 DT2-3
ISSUED: MAR. 08, 2023

DT2

3.2 WALL SIGNS

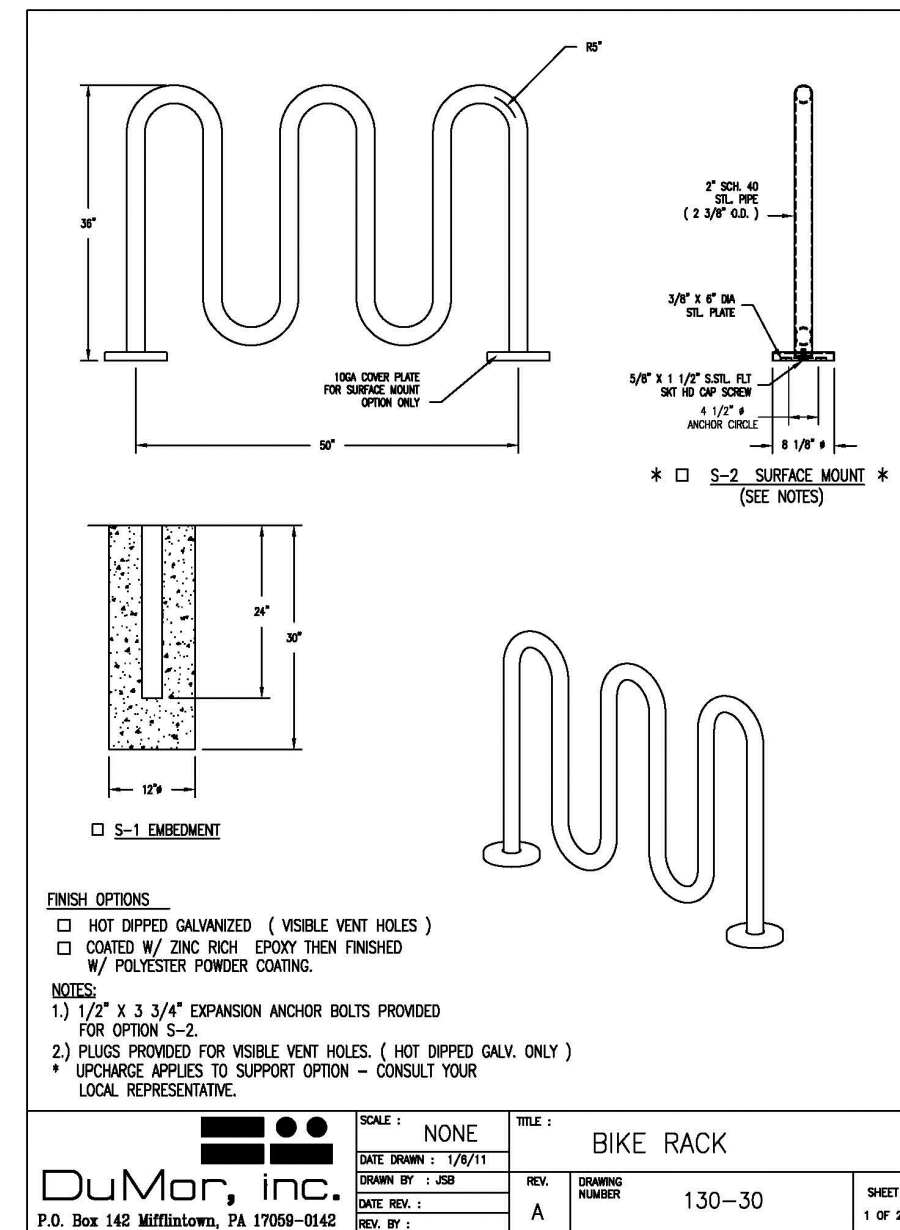


WALL SIGN CABINET DETAIL
NOT TO SCALE

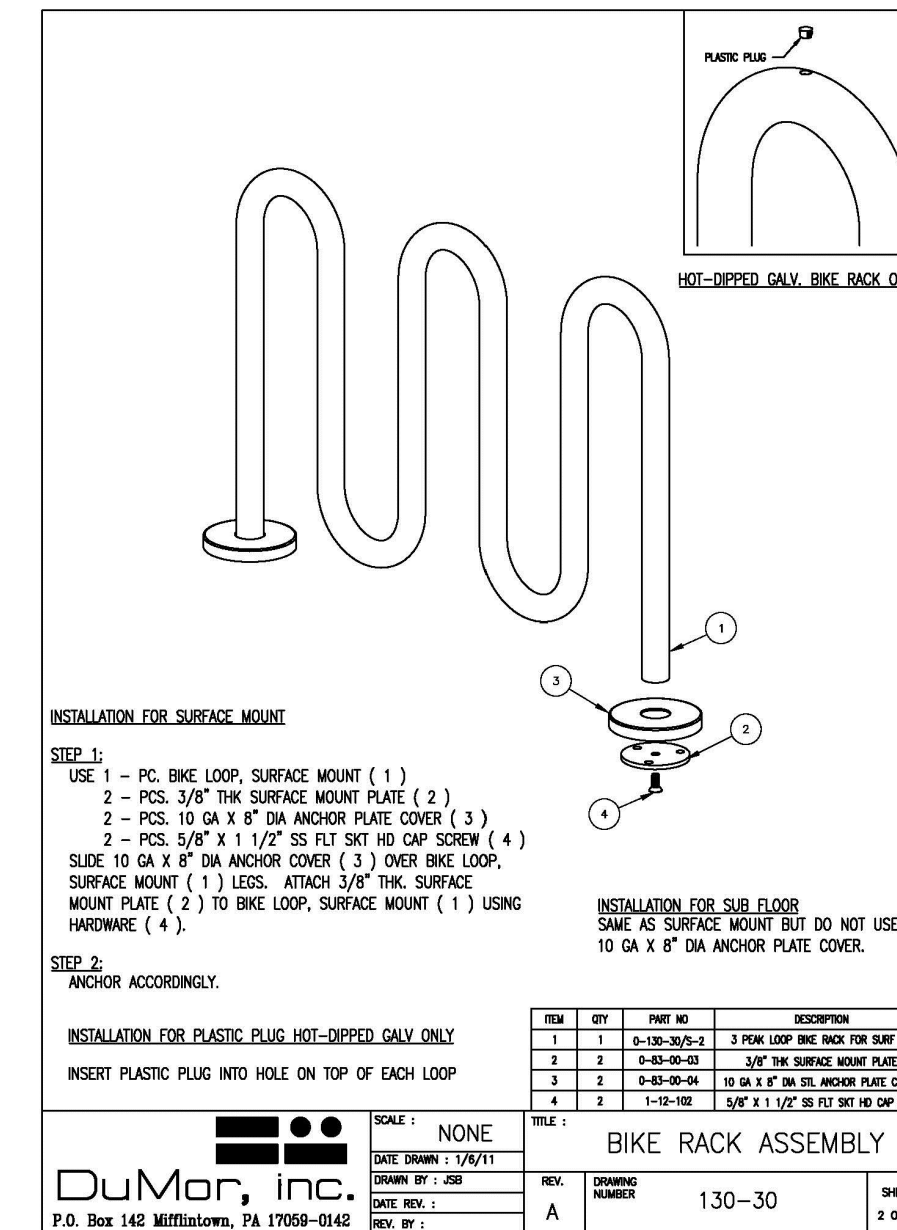
SPECIFICATIONS:

- SIGN COMP 1/4" DEEP EXTRUDED ALUMINUM CONSTRUCTION
- SIGN COMP RISER SINGLE RISE BODY ALUMINUM EXTRUSION
- SIGN COMP RISER DUAL FRAME COVER ALUMINUM EXTRUSION
- SIGN COMP RISER DUAL FRAME ALUMINUM EXTRUSION
- FRAME FINISH FOR SERVICE ACCESS
- 24x24 ALUMINUM BACK
- EXTERIOR FINISH: ALDI GLAZE GRAY
- INTERIOR FINISH: BORELITIVE WHITE
- DISCONNECT SWITCH LOCATED INSIDE CABINET
- BE 400K WHITE LED'S AS REQUIRED
- VIL LITTED
- MOUNTING: FLUSH WALL MOUNT
- BY FINISHING P.L. FLEXIBLE FACE
- DIGITALLY PRINTED DECORATION (BEST SURFACE)

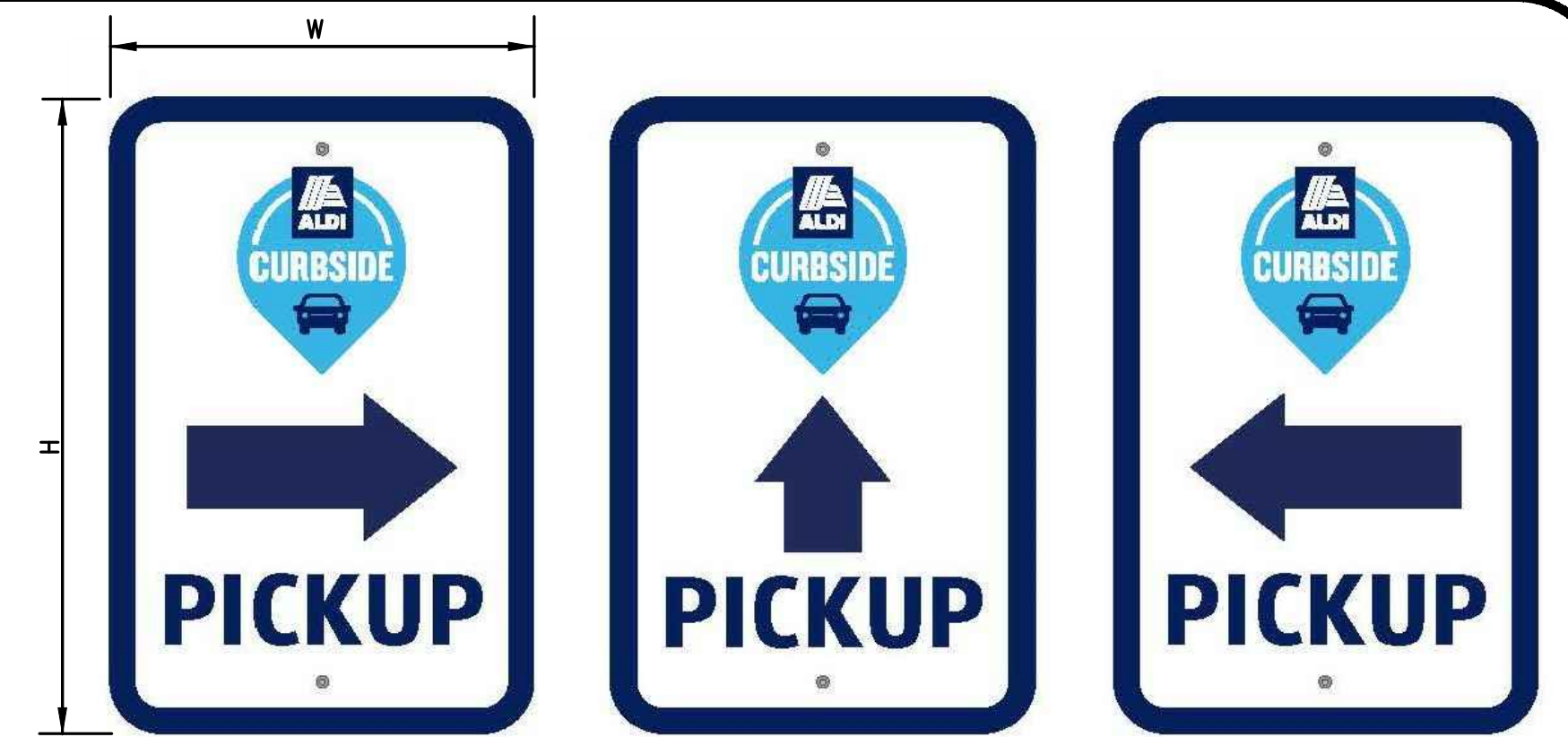
CABINET HEIGHT	CABINET LENGTH	CABINET DEPTH	ELECTRICAL REQUIREMENTS	SQUARE POSTING
4'-0" V2"	4'-0"	9" V2"	10 250VA/250V CIRCUIT	30.0"
7'-5 1/2"	7'-5 1/2"	9" V2"	10 250VA/250V CIRCUIT	44.4"
9'-0"	9'-0"	9" V2"	10 250VA/250V CIRCUIT	58.8"
12'-0"	12'-0"	9" V2"	10 250VA/250V CIRCUIT	83.2"



BIKE RACK ASSEMBLY
NOT TO SCALE

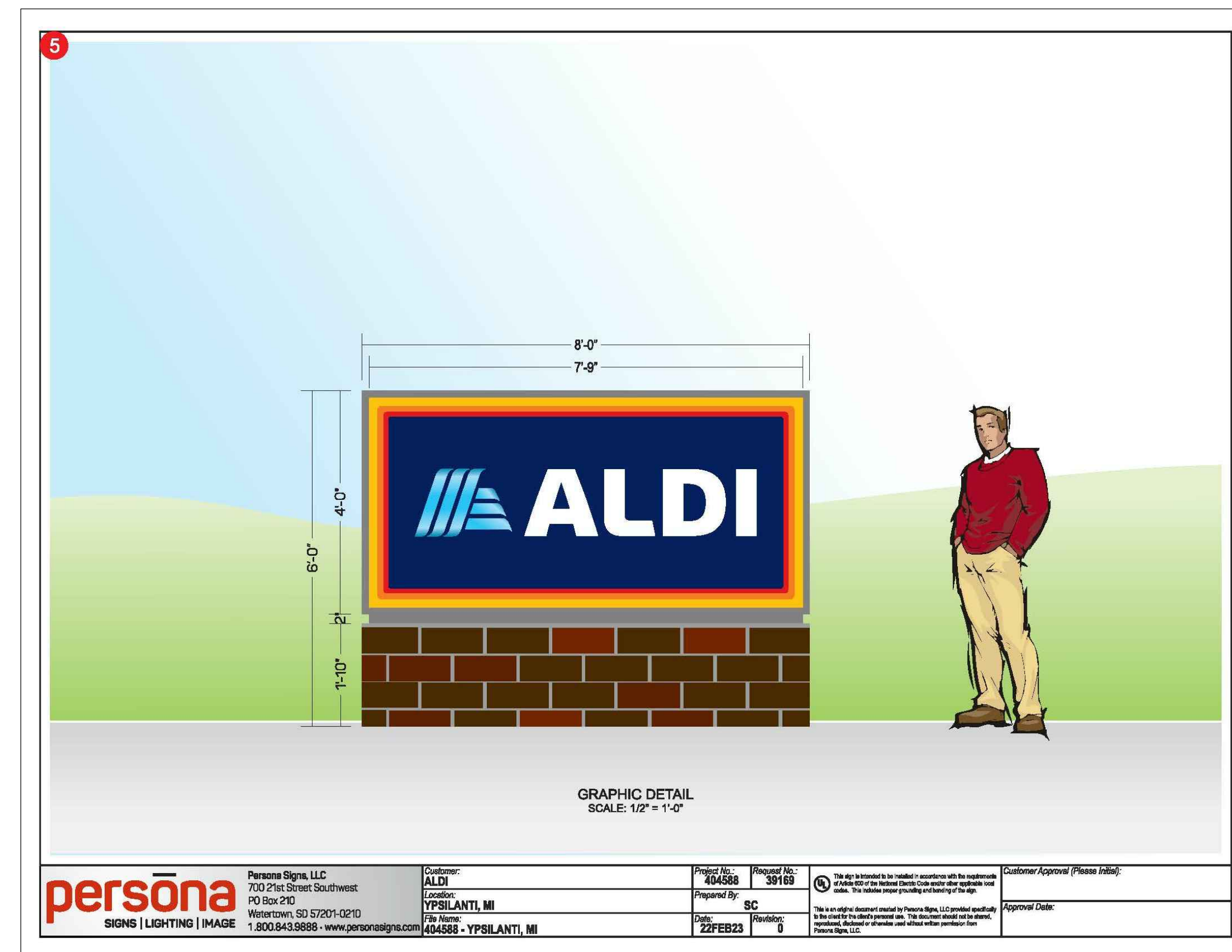


BIKE RACK ASSEMBLY
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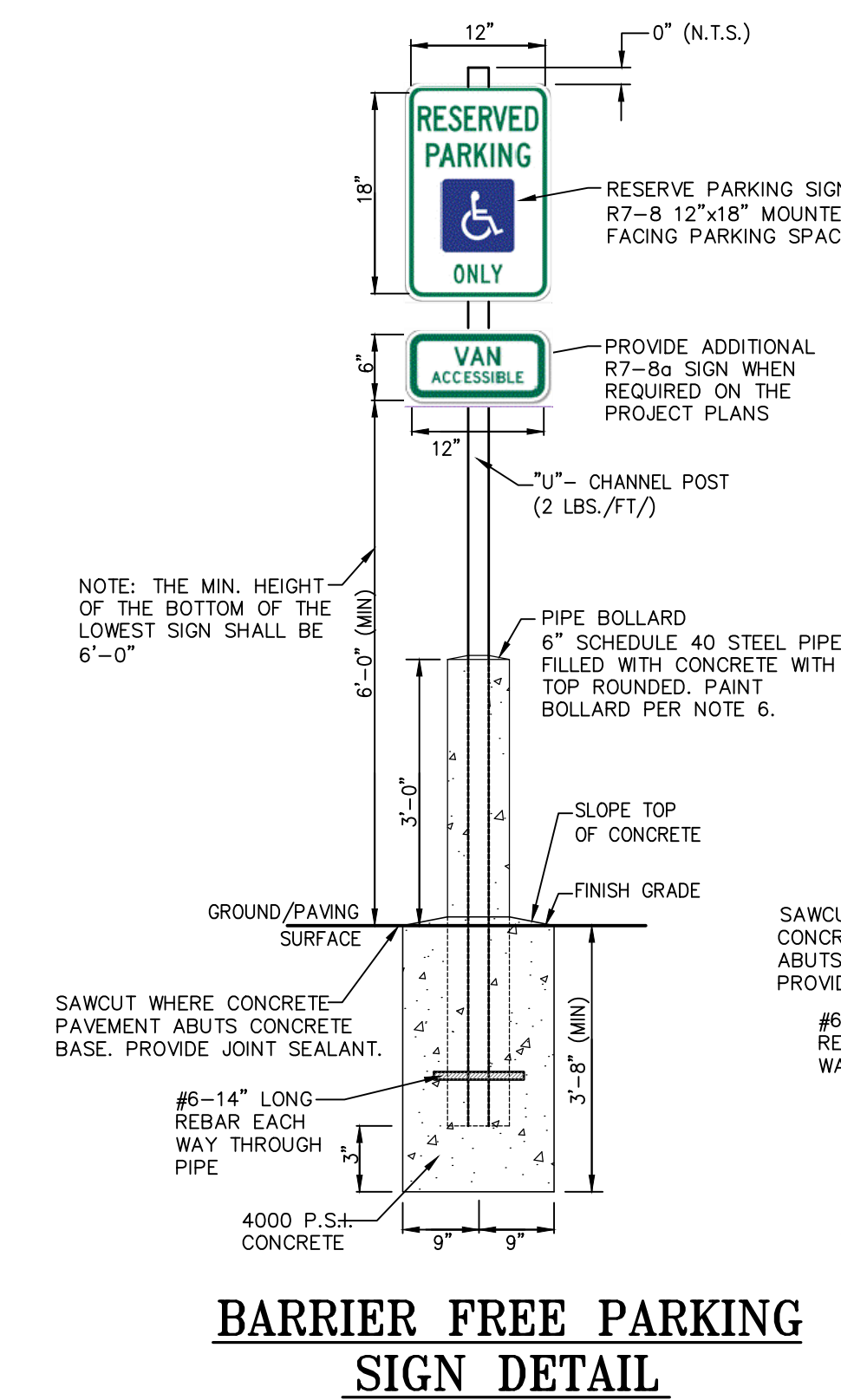
WAYFINDING DIRECTIONAL SIGN DETAILS
N.T.S.

- WAYFINDING DIRECTIONAL SIGN NOTES:**
- Wayfinding directional signs to be provided by ALDI Inc. Coordinate sign order with ALDI Construction Manager.
 - Order Signage without ALDI Logo when specified on the project plans.
 - See Sign Schedule on project plans for proposed mounting height, mounting type and sign dimensions.
 - Mount sign facing parking space.
 - Pyramidal sign base shall only be utilized where specified on the project plans.

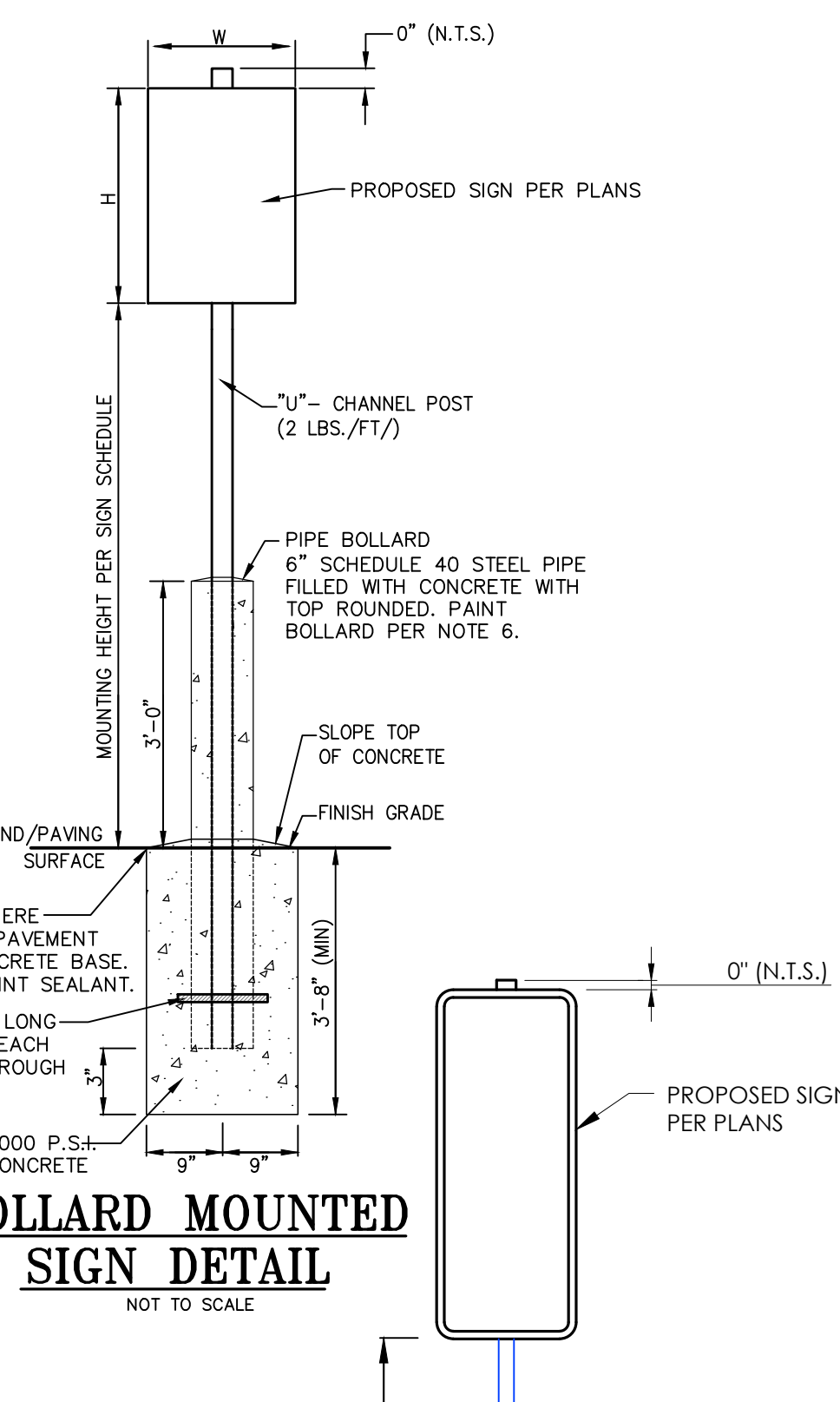


MONUMENT SIGN DETAIL
NOT TO SCALE

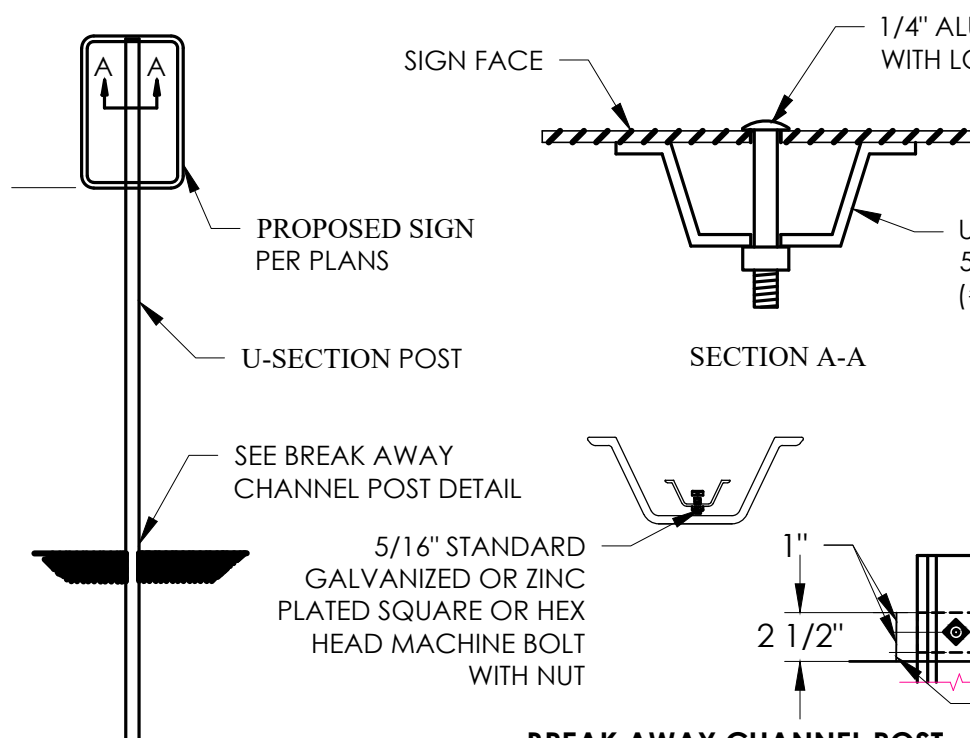
PERSONA SIGNS LIGHTING IMAGE	Persona Signs, LLC 700 21st Street Southwest PO Box 210 Wenatchee, WA 98701-0210 1-800-843-9888 • www.personasigns.com	Customer: ALDI Location: YPSILANTI, MI Site No: 404588 - YPSILANTI, MI	Project No: 404588 Drawing No: 39169	Prepared By: SC	Date: 22FEB23	Checked By: G	Approved By:
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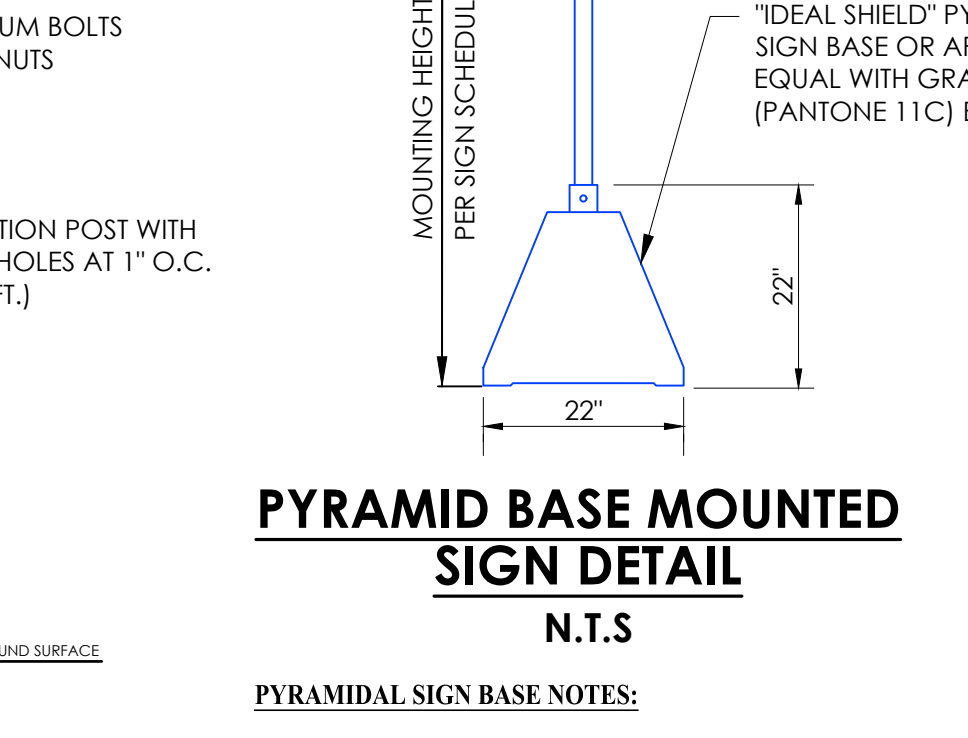
BARRIER FREE PARKING SIGN DETAIL
NOT TO SCALE



BOLLARD MOUNTED SIGN DETAIL
NOT TO SCALE



POST MOUNTED SIGN DETAIL
N.T.S.

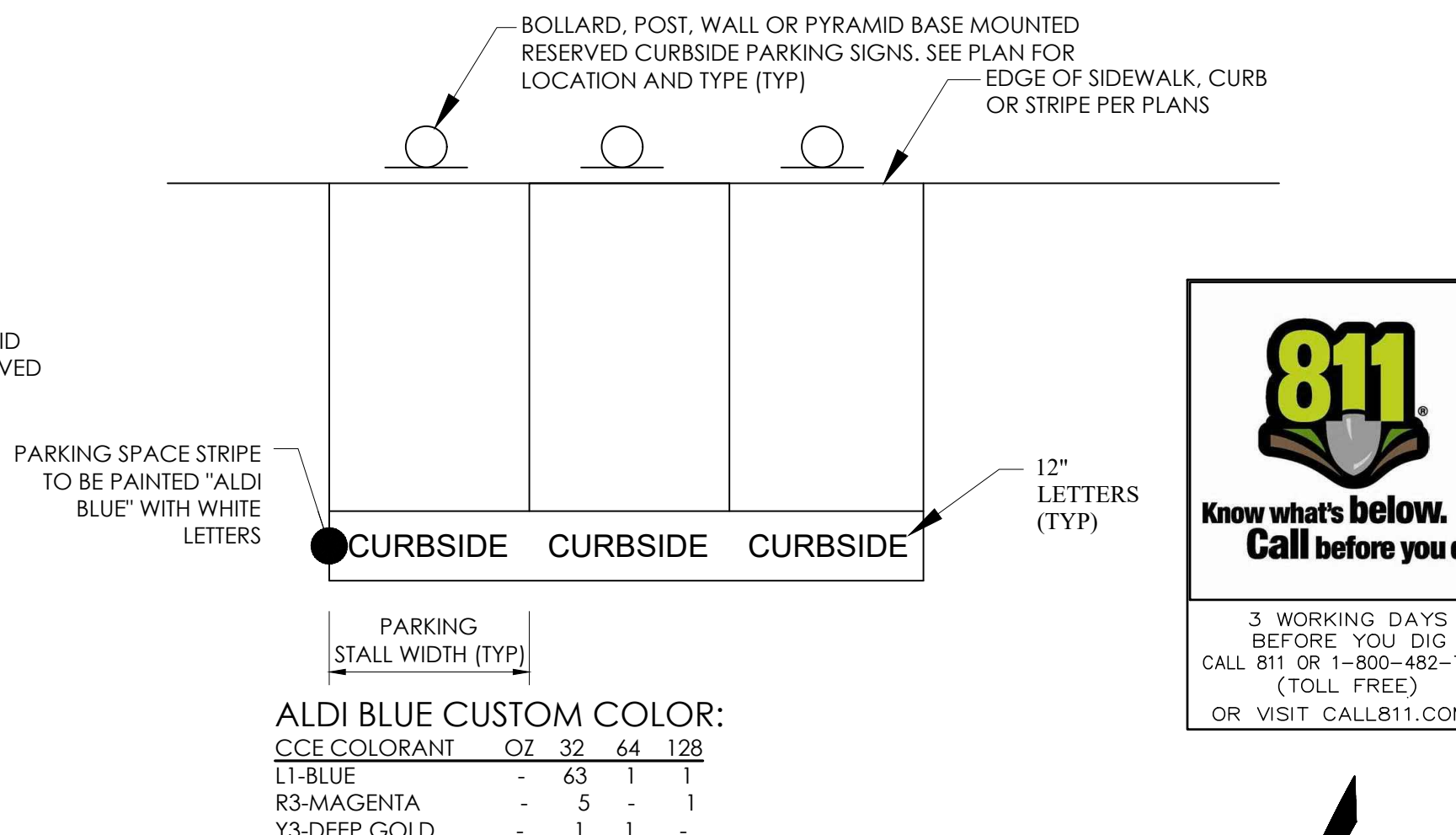


PYRAMID BASE MOUNTED SIGN DETAIL
N.T.S.



C CURBSIDE PICKUP SPACE SIGN DETAILS
N.T.S.

- CURBSIDE PICKUP SPACE SIGN NOTES:**
- Reserved pickup parking space signs to be provided by ALDI Inc. Coordinate sign order with ALDI Construction Manager.
 - Order signage without ALDI Logo when specified on the project plans.
 - See Sign Schedule on project plans for proposed mounting height, mounting type and sign dimensions. Mount sign facing parking space.
 - Mount sign on bollard and/or post where specified on the project plans. See details on this sheet.
 - Pyramidal sign base shall only be utilized where specified on the project plans.



CURBSIDE PARKING PAVEMENT MARKING DETAIL
N.T.S.

ALDI BLUE CUSTOM COLOR:

CCE COLORANT	OZ	32	64	128
L1-BLUE	-	63	1	1
R3-MAGENTA	-	5	1	1
Y3-DEEP GOLD	-	1	1	-

- PARKING SPACE STRIPE TO BE PAINTED "ALDI BLUE" WITH WHITE LETTERS**
- ARIAL BOLD FONT SHALL BE USED FOR NUMBERS AND LETTERS
 - PAINT SHALL BE SHERWIN WILLIAMS "PRO-PARK" WATERBORNE TRAFFIC MARKING PAINT OR AS APPROVED BY ALDI CM.
 - SURFACE PREPARATION SHALL COMPLY WITH MANUFACTURERS REQUIREMENTS.
 - SIGNS, NUMBERS AND WORDING TO BE PLACED CENTERED

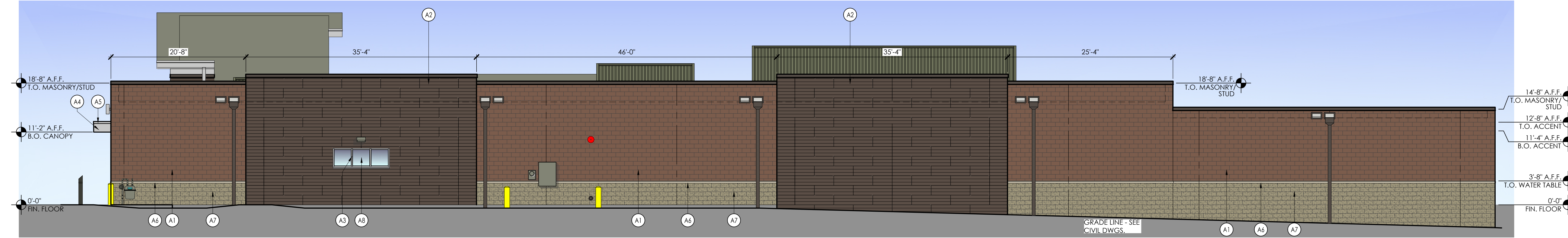
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DESIGN INC
(810) 227-9533
CIVIL ENGINEERS
LAND SURVEYORS
2183 PLESS DRIVE
BRIGHTON, MICHIGAN 48114

DESIGN: CAG	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION	ALDI #62 YPSILANTI, MICHIGAN	SIGNAGE DETAILS	CLIENT: ALDI Inc. 2625 N. STOCKBRIDGE RD. WEBBERVILLE, MICHIGAN 48892 (517) 521-3907	SCALE: N/A	PROJECT No.: 9224256 DWG NAME: 4256 DT2-3 ISSUED: MAR. 08, 2023	DT3
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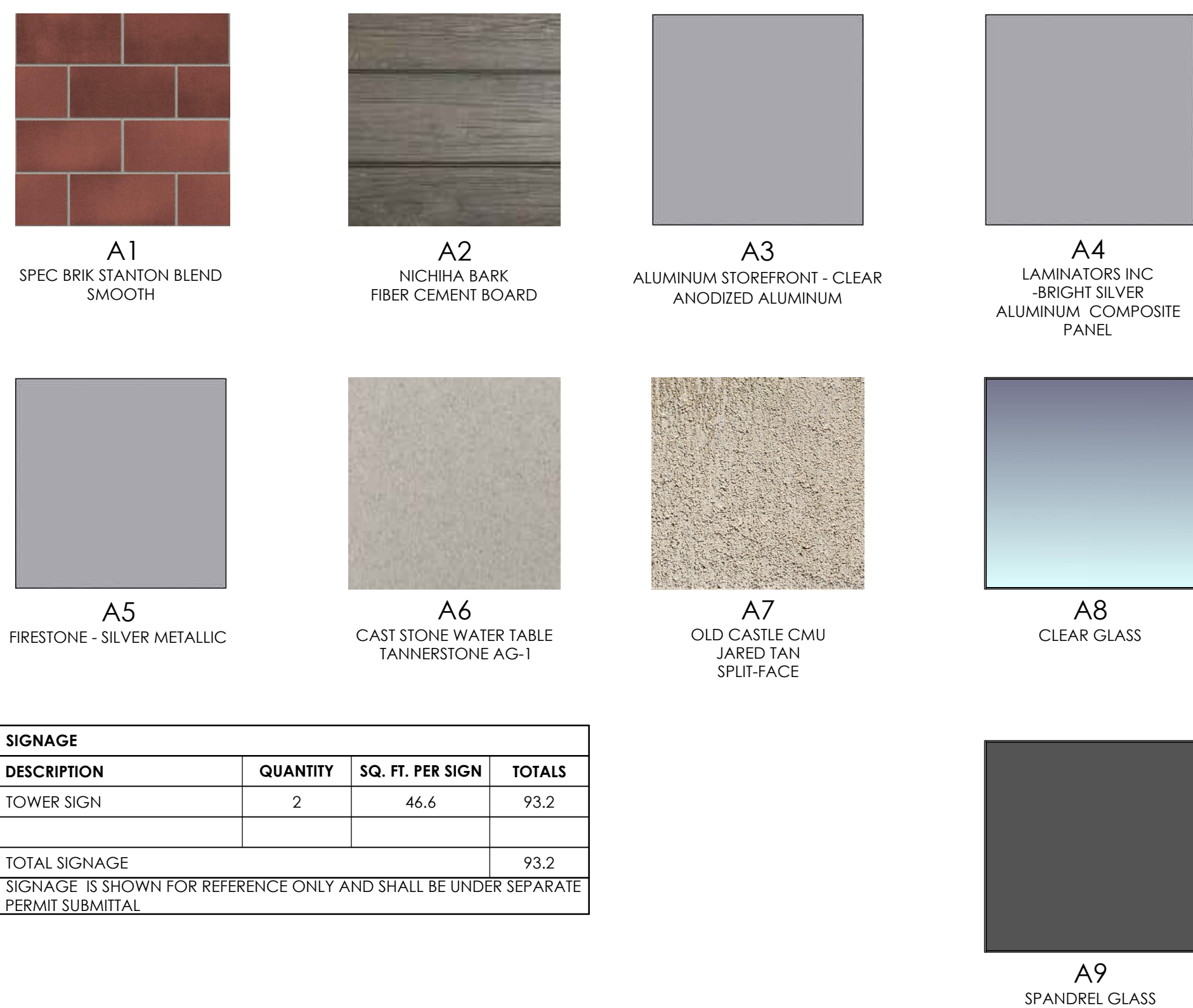


4 South Elevation - Brinker Way (Parking)
SCALE: 1/8" = 1'-0"



3 North Elevation
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND



DESCRIPTION	QUANTITY	SQ. FT. PER SIGN	TOTALS
TOWER SIGN	2	46.6	93.2
TOTAL SIGNAGE			93.2

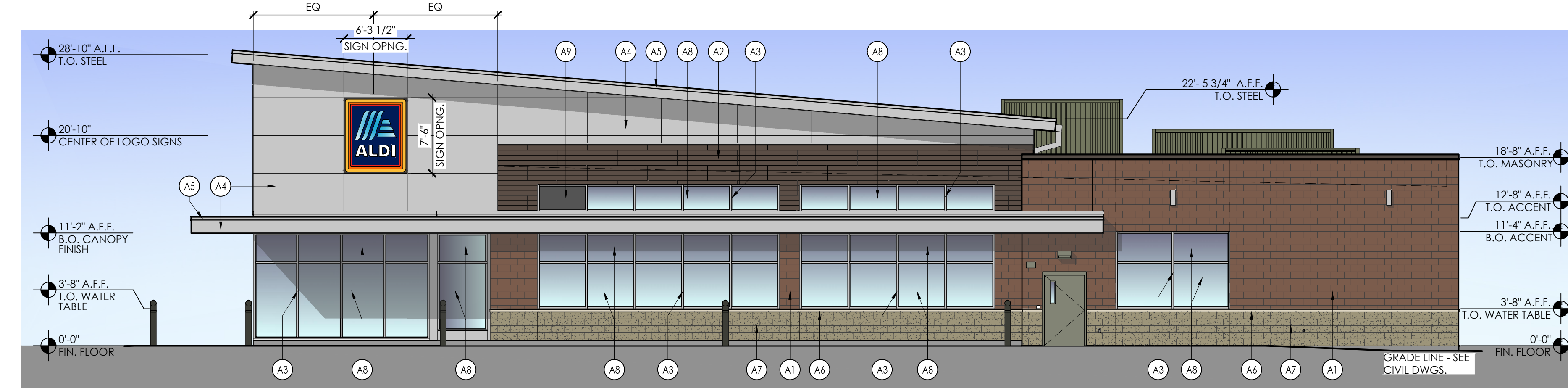
SIGNAGE IS SHOWN FOR REFERENCE ONLY AND SHALL BE UNDER SEPARATE PERMIT SUBMITTAL.

EAST ELEVATION (HURON STREET)		
DESCRIPTION	QUANTITY (S.F.)	PERCENT
CLEAR GLAZING (2'-0" A.F.F. TO 8'-0" A.F.F.)	371.43	51.79
CLEAR GLAZING (ENTIRE FACADE)	792.21	28.10
WALL AREA ENHANCEMENTS (WATER TABLE, NICHIIHA WALL PANEL, SPANDREL GLAZING)	578.87	20.54

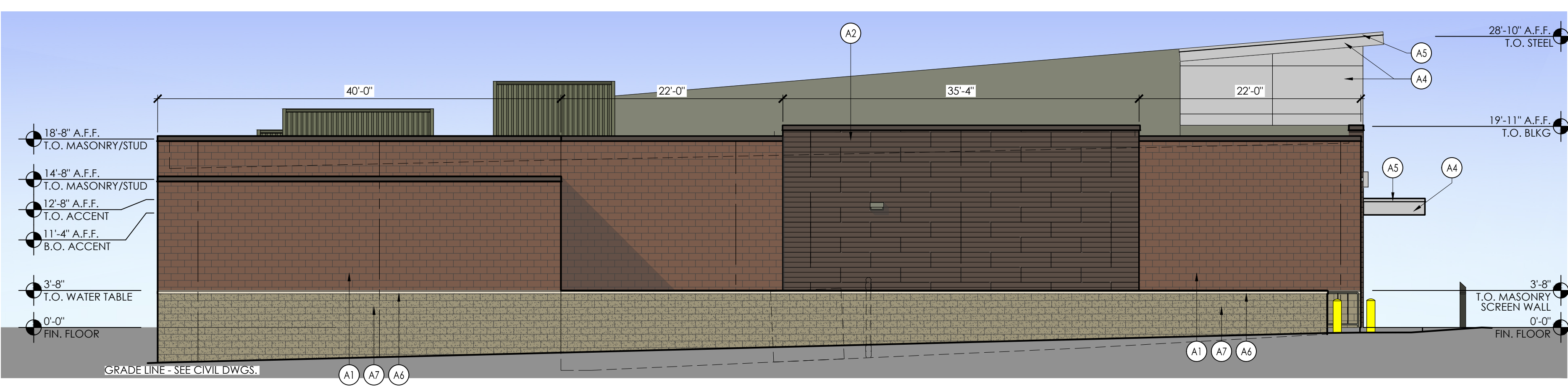
SOUTH ELEVATION (BRINKER WAY)		
DESCRIPTION	QUANTITY (S.F.)	PERCENT
TOTAL AREA (2'-0" A.F.F. TO 8'-0" A.F.F.)	1272	
CLEAR GLAZING (2'-0" A.F.F. TO 8'-0" A.F.F.) REQ.	190.8	15.00
CLEAR GLAZING (2'-0" A.F.F. TO 8'-0" A.F.F.) PROVIDED	193.6	15.22
WALL AREA ENHANCEMENTS - REQUIRED	190.8	15.00
WALL AREA ENHANCEMENTS - PROVIDED	424	33.33

NORTH ELEVATION		
DESCRIPTION	QUANTITY (S.F.)	PERCENT
CLEAR GLAZING (ENTIRE FACADE)	24.92	0.64
WALL AREA ENHANCEMENTS (WATER TABLE, NICHIIHA WALL PANEL)	1873.5	48.07

WEST ELEVATION		
DESCRIPTION	QUANTITY (S.F.)	PERCENT
WALL AREA ENHANCEMENTS (WATER TABLE, NICHIIHA WALL PANEL)	998.11	43.39
SIDE OF PROJECTING DOCK WALL	889.22	38.64



2 East Elevation - Huron Street
SCALE: 1/8" = 1'-0"



1 West Elevation (Parking)
SCALE: 1/8" = 1'-0"

Issued:	Date:
Concept No 1	03/09/23
Revisions:	Date:

DO NOT SCALE PLANS
Copying, Printing, Software and other processes required to produce these prints can stretch or shrink the actual paper or layout. Therefore, scaling of this drawing may be inaccurate. Contact ms consultants with any need for additional dimensions or clarifications.

ms consultants, inc.
engineers, architects, planners
2221 Schrock Road
Columbus, Ohio 43229-1547
phone 614.898.7100
fax 614.898.7570

DRAWN BY: JRC
REVIEWED BY: TJG

Seal

PROFESSIONAL OF RECORD:
CHARLES M. BUSCH No. 1301068763
EXP. DATE: 10/31/2023

ALDI Inc.
2625 North Stockbridge Road
Webberville, MI 48892
(517) 521-9987
(517) 521-3953 fax

ALDI Inc. Store #: XX
Ypsilanti, MI
Brinker Way & Huron St.
Ypsilanti, MI 48197
Washtenaw County
Project Name & Location:

Exterior Elevations
Drawing Name:
Prototype Rls. 03/04/22
Project No. 40496-47
Type: RHSDV7ER
XXX A201
Scale: As Noted Drawing No.



**Staff Report
Frost Dispensary – 1250 Watson Street
Preliminary Site Plan Review**

April 25, 2023

Case Location and Summary

The Office of Community Standards is in receipt of a Preliminary Site Plan Application from Frost Dispensary representative, Michael Ludtke to permit the construction of a 10,400 sq. ft. building for use as a marijuana dispensary and growing facility for a site zoned I-C – Industrial and Commercial, located at 1250 Watson Street, Parcel #K-11-13-255-002.

Owner/Applicant

Michael Ludtke
62 Sylvan Ct, Pontiac, MI 48341

Cross References

Zoning Ordinance citations:

- Article 4 – District Regulations
- Article 9 – Site Plan Review
- Article 12 – Access, Parking, and Loading
- Article 13 – Site Design Standards

Analysis

The Plans have been reviewed by Township Staff and consultants in accordance with our procedures.

Planning Consultants (Carlisle/Wortman Associates):

CWA reviewed the Preliminary Site Plan and has recommended approval in their letter dated April 4, 2023. CWA lists five (5) conditions of approval as listed in their letter.

Engineering Consultants (OHM):

The Township Engineer recommended approval for this stage of the process in their March 24, 2023 review letter. OHM has provided preliminary detailed engineering comments that will be addressed at the time of Final Site Plan and Detailed Engineering.

Ypsilanti Community Utilities Authority (YCUA):

Township Supervisor
Brenda L. Stumbo
Township Clerk
Heather Jarrell Roe
Township Treasurer
Stan Eldridge



**YPSILANTI
TOWNSHIP**
— PLANNING & ZONING DEPARTMENT —

Trustees
John Newman II
Gloria Peterson
Debbie Swanson
Ryan Hunter

YCUA reviewing agent Scott Westover has recommended preliminary site plan approval in a letter dated March 28, 2023. YCUA has provided preliminary detailed engineering comments that will be addressed at the time of Final Site Plan and Detailed Engineering.

Ypsilanti Township Fire Department:

YTFD Fire Marshall Steve Wallgren has recommended preliminary site plan approval in a letter dated March 27, 2023. A Knox Box will need to be installed for emergency access.

Washtenaw County Water Resources Commission:

WCWRC has shared comments in a letter dated March 16, 2023. WCWRC provided detailed engineering comments that will be addressed at the time of Final Site Plan and Detailed Engineering.

Washtenaw County Road Commission:

The applicant will need to continue to work the WCRC in order to obtain a commercial driveway permit.



Suggested motions: *The following suggested motions and conditions are provided to assist the Planning Commission in making the most appropriate motion for this application. The Commission may utilize, add or reject any conditions suggested herein, as they deem appropriate.*

Motion to Table: *“I move to table the request for **preliminary site plan** approval for construction of a 10,400 sq. ft. marijuana dispensary and grow facility for a site zoned I-C – Industrial and Commercial located at 1250 Watson Street, Parcel #K-11-13-255-002 to consider the comments presented by the Planning Commission during discussion of the project.”*

Motion to Approve:

*“I move to approve the request for **preliminary site plan** approval for construction of a 10,400 sq. ft. marijuana dispensary and grow facility for a site zoned I-C – Industrial and Commercial located at 1250 Watson Street, Parcel #K-11-13-255-002 with the following conditions:*

- 1. Applicant shall provide trash enclosure screening.*
- 2. The Township and Applicant shall prepare a development agreement that ensures that specific use regulations are met.*
- 3. Applicant shall address all outstanding comments from reviewing agencies prior to Final Site Plan approval.*
- 4. Applicant shall obtain applicable Washtenaw County Water Resources Commission (WCWRC), Washtenaw County Road Commission (WCRC), Michigan Department of Environment, Great Lakes & Energy (EGLE), and Ypsilanti Township Office and Community Standards (OCS) permits.*
- 5. Any other conditions based upon Planning Commission Discussion.”*

Motion to Deny:

*“I move to deny the request for **preliminary site plan** approval for construction of a 10,400 sq. ft. marijuana dispensary and grow facility for a site zoned I-C – Industrial and Commercial located at 1250 Watson Street, Parcel #K-11-13-255-002 due to the following reasons:”*

Planning Director's Report

Project Name: Frost Dispensary

Location: 1250 Watson Street, Ypsilanti, MI 48198

Date: 04-05-2023

- | | |
|---|---|
| <input checked="" type="checkbox"/> Full Preliminary Site Plan Review # 1
<input type="checkbox"/> Sketch Preliminary Site Plan Review #
<input type="checkbox"/> Administrative Preliminary Site Plan Review #
<input type="checkbox"/> Detailed Engineering/Final Site Plan Review #
<input type="checkbox"/> Special Use Permit
<input type="checkbox"/> Public Hearing | <input type="checkbox"/> Rezoning
<input type="checkbox"/> Tentative Preliminary Plat
<input type="checkbox"/> Final Preliminary Plat
<input type="checkbox"/> Final Plat Process
<input type="checkbox"/> Planned Development Stage I
<input type="checkbox"/> Planned Development Stage II |
|---|---|

Contact / Reviewer	Consultants, Departments, & Agencies	Approved	Approved with Conditions	Denied	N/A	See email/letter attached or comments below
Jason Iacoangeli, Planning Director	Township Planning Department	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See comments below
Carlisle/Wortman Associates	Planning Consultant	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 04-04-2023
OHM / Stantec	Engineering Consultant	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 03-24-2023
Steven Wallgren, Fire Marshal	Township Fire Department	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 03-27-2023
Dave Bellers, Building Official	Township Building Department	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Brian McCleery, Deputy Assessor	Township Assessing Department	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Scott Westover, Engineering Manager	Ypsilanti Community Utilities Authority	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 03-28-2023
Gary Streight, Project Manager	Washtenaw County Road Commission	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Theresa Marsik, Stormwater Engineer	Washtenaw County Water Resources Commission	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See letter dated 03-16-2023
James Drury, Permit Agent	Michigan Department of Transportation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Planning Director's Recommended Action:

At this time, Frost Dispensary is eligible for Preliminary Site Plan consideration by the Planning Commission. This project is being placed on the Planning Commission agenda for Tuesday, April 25, 2023, at the regularly scheduled meeting. It would be the Planning Department's recommendation that the Planning Commission grant Preliminary Site Plan approval contingent on all the outstanding comments being addressed at the time of Final Site Plan / Detailed Engineering Design.



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: April 4, 2023

**Preliminary Site Plan
For
Ypsilanti Township, Michigan**

Applicant:	Michael Ludtke
Project Name:	Frost Dispensary & Cultivation
Plan Date:	February 24, 2023
Location:	1250 Watson Street
Zoning:	IC, Industrial and Commercial
Action Requested:	Preliminary Site Plan

PROJECT AND SITE DESCRIPTION

The applicant is seeking preliminary site plan approval to construct a new 10,400 sq/ft building for use as a Marihuana dispensary and growing facility. The approximate 6-acre site is located at Watson Street and State Street. The applicant proposes to utilize the northernmost 2.2 acres of the site, and the remaining portion of the site will be undeveloped at this point.

In addition to the building, other site improvements include a 37-space parking lot, landscaping, lighting, and stormwater management. Building use includes 1,500 sq/ft of retail, and a significant area for marihuana growing. Other building square footage is dedicated for internal office use, break room, storage, and toilet/shower areas.

The applicant shall confirm if both medical and adult use marihuana licenses are being sought. Marihuana dispensary and growing is a permitted use in the IC, Industrial and Commercial District. The intent of the IC District is to revitalize the area and provide employment opportunities with a focus on high-tech industrial and manufacturing, distribution, and marihuana uses.

Location of Subject Site:

Aerial Image of Subject Site and Vicinity



Source: MapWashtenaw

Size of Subject Site:

Using 2.2 of 6 acres

Current Use of Subject Site:

Vacant

Current Zoning:

IC, Industrial and Commercial District

Proposed Use of Subject Property:

Marihuana Dispensary and Growing Facility

Adjacent zoning and land uses are as follows:

Direction	Zoning	Use
North	IC, Industrial and Commercial	Warehouse
South	IC, Industrial and Commercial	Vacant/Single Family Residential
East	IC, Industrial and Commercial	ROW/Vacant
West	IC, Industrial and Commercial	Vacant

MARIHUANA ZONING

With the adoption of the comprehensive zoning ordinance rewrite by the Board of Trustees, the Township has authorized the operation of, and provided regulations for, medical marihuana and adult use/recreational establishments within the boundaries IC, Industrial and Commercial zoning district.

OPERATIONAL DETAILS

The applicant is asked to provide additional operational details:

1. Hours of operation
2. Number of employees at highest shift
3. Experience with Marihuana businesses
4. Other locations in Michigan
5. Deliveries
6. Security

Items to be Addressed: *Provide operational details as requested*

NATURAL FEATURES

Topography: The site has little topography.

Woodlands: The applicant has provided a tree survey for the entirety of the site, including the northern portion which they propose to develop. The applicant notes that 47 qualifying total trees were surveyed, 31 trees are to be removed, and 16 retained. The applicant has provided the required mitigation.

Wetlands: There are no wetlands on site.

Items to be Addressed: *None*

AREA, WIDTH, HEIGHT, SETBACKS

Section 4.16 outlines bulk requirements for IC, Industrial and Commercial District:

Table	Required / Allowed	Provided	Complies with Ordinance
Front (Watson)	20 feet	159 feet	Complies
Side Setback (north)	20 feet	40 feet	Complies
Side Setback (south)	20 feet	Over 20 feet	Complies
Rear Setback (west)	50 feet	51 feet	Complies
Building Height (Feet)	50 feet	25 feet	Complies

Items to be Addressed: None

MARIHUANA SUPPLEMENTAL REGULATIONS

Section 4.16.5 outlines the specific use regulations for marihuana uses. The use regulations include odor and emissions control, licensing requirements, visibility control, location regulations, amount and use of marihuana, waste disposal, and permits.

We find that the applicant either has met those regulations or those regulations shall be codified in a development agreement.

Items to be Addressed: Specific use regulations shall be codified in the development agreement.

PARKING, LOADING

Section 12.05 G. requires retail uses to provide one parking space for each 325 square feet of gross floor area.

Parking Requirements	Number of Spaces Required	Number of Spaces Provided	Compliance
Retail	1 sp. for each 325 sq.ft. (3,360/325 sq.ft.) = 11 spaces	37	Exceeds. Deviation must be granted by Planning Commission
Industrial	1 sp. for each 550 sq.ft. (7,035/550 sq.ft.) = 13 spaces		
Barrier-Free Spaces	3 spaces	3 spaces	Compliant
Loading spaces	1 spaces	1 spaces	Compliant

Bicycle parking	2 spaces	0 spaces	Not Compliant
-----------------	----------	----------	---------------

The applicant is providing 54% more parking than required by ordinance. Parking that exceeds 20% of the required parking requires approval from the Planning Commission. The applicant shall provide information as to why additional parking is proposed.

A truck well/loading zone is located along the northern building elevation. The applicant has not provided the required bicycle parking.

Items to be Addressed: 1). Provide information as to why additional parking is proposed; and 2). Provide required bicycle parking.

SITE ACCESS, CIRCULATION, and TRAFFIC

Access to the site is via Watson Street. Fire truck turning template is provided on Sheet SP03. The Township Fire Marshall shall review the fire turning truck template.

Items to be Addressed: Fire truck turning template shall be reviewed by the Township Fire Marshall.

SCREENING & LANDSCAPING

	Required	Provided	Compliance
Street Yard Landscaping: 1 large dec tree per 40 lf of frontage, 1 orn tree per 100 lf of frontage, 1 shrub per 10 lf of frontage	300 L.F. / 40 L.F. = 8 trees 300 L.F. / 100 L.F. = 3 ornamental trees 300 L.F. / 10 = 30 shrubs	10 dec trees, 4 orn trees, 52 shrubs	Complies
General Landscaping: 1 tree per 1,000 sq/ft 1 shrub per 500 sq/ft	31,894 S.F. = 32 trees and 64 shrubs	32 trees and 80 shrubs	Complies
Parking Lot: 1 large dec tree per 2000 sf of pavement and 1 per 40 feet of lineal	19,234 S.F. / 2,000 S.F. = 10 interior and 6 exterior	10 trees interior 6 trees exterior	Complies
Stormwater: 1 tree per 50 feet and 1 shrub 5 feet of lineal	7 trees and 66 shrubs	7 trees and 66 shrubs	Complies
Mitigation	31 trees	31 provided	Complies

Trash and Recycling Containers:

The dumpster is located north of the proposed building. The applicant indicates that trash enclosure screening was provided on plans, However, we could not locate those details.

Items to be Addressed: *Provide trash enclosure screening.*

LIGHTING

The applicant is proposing seven (7) parking lot pole lights. The photometrics and fixtures comply with ordinance requirements.

Items to be Addressed: *None*

ELEVATIONS AND FLOORPLANS

Floorplans and elevations have been provided. The building includes a mix of varied materials. The primary material include pre-cast panels, metal cladding, modified wood siding, and glass curtain wall. We find that the elevations meet Section 1306-building design requirements.

The Planning Commission shall discuss the proposed elevations and materials.

Items to be Addressed: *None*

RECOMMENDATIONS

We are encouraged and strongly support the investment that Frost Dispensary & Cultivation proposes. We find that the creation of a new marihuana establishment is the intent of the revitalization of the IC District.

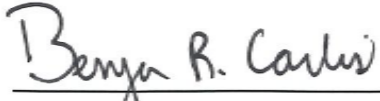
As part of the deliberation, the Planning Commission and applicant shall discuss:

- a. Confirm if both medical and adult use marihuana licenses are being sought.
- b. Requested operational information.
- c. Information as to why additional parking is proposed.
- d. Elevations and materials.

We recommend approval the Frost Dispensary & Cultivation Preliminary Site Plan with the following items to be conditions of approval to be submitted as part of the final site plan:

1. *Provide required bicycle parking.*
2. *Fire truck turning template shall be reviewed by the Township Fire Marshall.*
3. *Provide trash enclosure screening.*
4. *Prepare Development Agreement that ensures that specific use regulations are met.*
5. *Any other conditions based upon Planning Commission discussion.*

Frost Cannabis
April 4, 2023

A handwritten signature in black ink that reads "Benjamin R. Carlisle". The signature is written in a cursive style with a large initial 'B'.

CARLISLE/WORTMAN ASSOC., INC
Benjamin R. Carlisle, AICP, LEED AP
President

March 24, 2023

Mr. Jason Iacoangeli
Township Planning Director
Charter Township of Ypsilanti
7200 S. Huron River Drive
Ypsilanti, MI 48197

RE: Frost Dispensary
Site Plan Review #1

Dear Mr. Iacoangeli:

We have completed the first site plan review of the plans dated February 24, 2023 and stamped received by OHM Advisors on March 14, 2023.

At this time, the plans are recommended for approval for the Planning Commission's consideration, contingent on the following comments being addressed prior to the next plan submittal. Preliminary detailed engineering comments have been provided to the applicant as a courtesy and shall be addressed prior to submitting detailed engineering plans for review.

A brief description of the project has been provided below (Section A), followed by our comments (Section B and C) and a list of anticipated required permits and approvals (Section D). Comments in Section C are detailed in nature, do not influence the overall site layout, and can be addressed during the detailed engineering drawing submittal.

A. PROJECT AND SITE DESCRIPTION

The applicant is proposing a marijuana dispensary, Frost Dispensary, at the vacant lot located at 1250 Watson Street. The site is currently zoned I-C and the proposed parcel is approximately 2.28 acres of a 6.15-acre parcel.

The site will be serviced by connection to the existing sanitary sewer along the west side of Watson Street. The applicant is proposing to extend water main from a stub on Beverly Avenue to the north to a point along Watson Street. These details are actively being coordinated by the Township, YCUA, and the applicant, and are not currently shown on the plans. The water main will also be looped through the proposed development. Stormwater runoff will be captured by an underground conveyance system and an on-site detention basin.

B. SITE PLAN COMMENTS

Stormwater Management

1. The applicant shall provide the proposed pond contour elevations and areas for the orifice outlet control structure calculations to verify the proposed detention basin is adequately sized.

Site Utilities

2. The applicant shall note that trees shall not be placed directly above any existing or proposed utilities. It is recommended the applicant relocate the trees on the proposed storm sewer near the northeast corner of the parking lot.



Paving and Grading

3. The applicant shall provide a truck turning template for the proposed loading zone and dumpster enclosure to ensure sufficient accessibility was provided. The applicant shall also show the locations of the fire lane(s), referenced in the Fire Department Notes (Sheet SP02), on the plans.

C. PRELIMINARY DETAILED ENGINEERING PLAN COMMENTS

The following comments shall be addressed by the applicant during the detailed engineering drawing submittal, and do not affect the recommendation for approval to the Township of Ypsilanti Planning Commission. It should be noted that this is not an all-inclusive list and additional comments may be generated as new information is presented.

1. The applicant shall provide the proposed water main extension on the plans for review prior to detailed engineering approval. It is noted that the proposed alignment is currently being coordinated with the applicant, YCUA, and Ypsilanti Township.
2. The applicant shall provide spot elevations at all four (4) corners of all barrier-free parking spaces and access aisles, as well as along both sides of all proposed sidewalk at 50-foot intervals. The applicant shall note that the cross-slope shall not exceed 2%, per ADA Standards.
3. The applicant shall provide utility pipe profiles, including pipe diameter, material, length, slope, and hydraulic grade line (where applicable) for all proposed utilities (water, sanitary, storm) on the plans.
4. The applicant shall provide a maintenance schedule for all proposed permanent soil erosion and stormwater management activities both during and after construction. The schedule shall include the frequency of activities as well as the party responsible.
5. The applicant shall provide a Certificate of Outlet, signed and sealed by a registered engineer in the State of Michigan, on the plans.
6. The applicant shall note that a soil erosion permit will be secured through Ypsilanti Township. The applicant shall provide the Ypsilanti Township SESC Detail Sheet and revise the details on Sheet SP09.
7. The applicant shall provide a stormwater narrative clarifying the existing and proposed stormwater management, including the ultimate outlet.
8. The applicant shall provide the geotechnical report, referenced on Sheet SP02, to this office for the project file.
9. The applicant shall provide a utility crossing table to ensure sufficient clearance between existing and proposed utilities is provided.
10. The applicant shall note that a minimum of 2.5 feet of cover is required for storm sewer, per Township Standards. The applicant shall review and revise accordingly.
11. It is recommended that the applicant provide a minimum HMA cross-section of 4 inches for ease of future maintenance.
12. The applicant shall provide the proposed water main material on the plans. The applicant shall also clarify how the proposed water main connections will be made.
13. The applicant shall provide a quantity list for all proposed utilities (water, sanitary, storm) on the Cover Sheet, delineated by existing or proposed road right-of-way or easement, per Township Standards.



14. The applicant shall provide the applicable Ypsilanti Township Standard Detail Sheets within the plan set. These Sheets can be obtained by emailing stacie.serdar@ohm-advisors.com.

D. REQUIRED PERMITS & APPROVALS

The following outside agency reviews and permits will be required for the project. Copies of any correspondence between the applicant and the review agencies, as well as the permit or waiver, shall be sent to both the Township and OHM Advisors (email: stacie.monte@ohm-advisors.com).

- ▶ **Ypsilanti Township Board of Trustees (BOT):** After approval of the site plan by the Township Planning Commission, detailed engineering drawings are required and approvals from all applicable agencies will be required for BOT approval.
- ▶ **Ypsilanti Community Utilities Authority (YCUA):** Review and approval of all water main and sanitary sewer improvements will be required.
- ▶ **Ypsilanti Township Fire Department:** Review and approval is required.
- ▶ **Washtenaw County Water Resources Commissioner's Office (WCWRC):** Review and approval is required.
- ▶ **Washtenaw County Road Commission (WCRC):** Review and approval is required.
- ▶ **Michigan Department of Environment, Great Lakes & Energy (EGLE):** An EGLE Act 399 and Part 41 permit will be required for construction of all public water main and sanitary sewer systems improvements.
- ▶ **Michigan Department of Environment, Great Lakes & Energy (EGLE):** An EGLE permit will be required for any work and/or stormwater discharge into the wetlands.
- ▶ **Ypsilanti Township Office of Community Standards:** A Soil Erosion and Sedimentation Control permit shall be secured from the Ypsilanti Township Office of Community Standards.
- ▶ The Township's Planner will inspect the landscaping for this site.
- ▶ If dewatering should be needed, the contractor/applicant shall be responsible for obtaining necessary approvals from the Township and the Township Engineer, permission from all impacted adjacent properties and/or permits from MDOT, WCWRC's Office, or the WCRC.
- ▶ Record plans shall be provided to the Township Engineer following the completion of construction.

Should you have any questions regarding this matter, please contact this office at (734) 466-4580.

Sincerely,
OHM Advisors

Matthew D. Parks, P.E.

Stacie L. Monte

MDP/SLM

cc: Fletcher Reyher, Township Staff Planner
Doug Winters, Township Attorney
Steven Wallgren, Township Fire Marshall
File

P:\0000_0100\SITE_YpsilantiTwp\2022\0098221190_1250 Watson St_Frost Dispensary\MUNI\01_SITE\PSP#1\Frost Dispensary_PSP#1_2023-03-24.docx

CHARTER TOWNSHIP OF YPSILANTI FIRE DEPARTMENT

BUREAU OF FIRE PREVENTION

222 South Ford Boulevard, Ypsilanti, MI 48198



March 27, 2023

Jason Iacoangeli, Planning Director
Charter Township of Ypsilanti
7200 S. Huron River Drive
Ypsilanti, MI 48197

RE: Preliminary (non-residential) Site Plan Review #1

Project Name:	Frost Dispensary
Project Location:	1250 Watson St. Ypsilanti, MI 48198
Plan Date:	2/24/2023
Plan Number:	M994
Applicable Codes:	IFC 2018
Engineer:	Nowak & Fraus Engineers
Engineer Address:	46777 Woodward Ave. Pontiac, MI 48342

Status of Review

Status of review: Approved as Submitted

All pages were reviewed.

Site Coverage - Access

Comments: A Knox box will be required and I will work with contractor on its placement.

Sincerely,

A handwritten signature in black ink that reads "Steve Wallgren".

Steve Wallgren, Fire Marshal
Charter Township of Ypsilanti Fire Department
CFPS, CFI I



YPSILANTI COMMUNITY UTILITIES AUTHORITY

2777 STATE ROAD
YPSILANTI, MICHIGAN 48198-9112
TELEPHONE: 734-484-4600
WEBSITE: www.ycua.org

March 28, 2023

VIA ELECTRONIC MAIL

Mr. Jason Iacoangeli, Planning Director
Office of Community Standards
CHARTER TOWNSHIP OF YPSILANTI
7200 S. Huron River Drive
Ypsilanti, MI 48197

Re: Preliminary (non-residential) Site Plan Review #1
Frost Dispensary
Charter Township of Ypsilanti (Plan Date: 02-24-2023)

Dear Mr. Iacoangeli:

In response to the electronic mail message from your office dated March 14, 2023, we have reviewed both the referenced plans as well as the conceptual plan for offsite water main with regards to water supply and wastewater system design. The plans are acceptable to YCUA for this stage of review. However, the following comments need to be addressed by the Applicant and/or the Applicant's design engineer prior to Detailed Engineering plans being deemed acceptable to YCUA.

1. All proposed water main shall be incorporated into a single plan set for permitting and construction purposes.
2. As noted previously via electronic mail, YCUA recently learned that the existing 4" diameter wastewater force main has a significantly different horizontal alignment than records indicated. It appears that the pipe crosses to the east side the existing 12" diameter gravity sanitary sewer north of the lift station and then stays parallel to the gravity sanitary sewer to a point north of the existing hydrant on the adjacent parcel north of the subject property. This will require changes to the proposed water main alignment at the north end of the project, possibly crossing Watson Street and connecting to the 8" diameter water main stub recently installed as part of the Hercules Concrete Plant project.
3. As noted previously via electronic mail, the proposed water main alignment on the subject property shall be revised in the manner shown on the attached markup of plan sheet SP07.
4. A gate valve shall be included on the 8" diameter water main parallel to Watson Street between the two water mains going west into the site.
5. Hydrants along Watson Street and State Street shall be installed on the west and north sides of the proposed water main, respectively.
6. Typically, YCUA requires that curb stop and boxes on domestic water services and isolation gate valves on fire suppression water services be located where each service pipe leaves the public water main easement. However, given the current design both would be located in the middle of the parking lot/drive lane, consequently, the locations as shown are acceptable.

Mr. Jason Iacoangeli
CHARTER TOWNSHIP OF YPSILANTI
March 28, 2023
Page 2

Enclosed is an Estimate of Costs – Application for Services, with a revision date of March 28, 2023, indicating connection fees for the proposed building addition. Please note that the total cash price for connection fees, **\$43,462.11 plus the construction phase escrow deposit, Authority administration fee, and record plan guarantee**, must be paid to YCUA by the Applicant, with a receipt delivered to the Township, before either the building or soil and grading permit is issued. The construction phase escrow deposit and associated fees and deposits and the entity responsible for maintaining those accounts will be determined during the Detailed Engineering phase of the project in conjunction with your office and the Township Engineer. Should there be any questions please contact this office.

Sincerely,



SDW Digital Signature

SCOTT D. WESTOVER, P.E., Engineering Manager
Ypsilanti Community Utilities Authority

Enclosure as noted

cc: Mr. Luke Blackburn, Mr. Sean Knapp, File, YCUA
Mr. Fletcher Reyer, Charter Township of Ypsilanti
Mr. Eric Copeland, Mr. Steve Wallgren, Township Fire Department
Mr. Matt Parks, P.E., Ms. Stacie Monte, Township Engineer
Mr. Michael Ludtke, Applicant
Mr. Paul Tulikangas, P.E., Applicant's design engineer

Fletcher,

I will not be able to attend the meeting but can offer the following comments:

- A commercial driveway permit application will be required along with the associated fees.
- A traffic impact study for the site will be required.

If there are any questions feel free to contact me.

Gary Streight, P.E.
Project Manager

Washtenaw County Road Commission
555 N. Zeeb Road, Ann Arbor, Michigan

Direct: (734) 327-6692 | Main: (734) 761-1500
wroads.org | Follow us on Facebook





EVAN N. PRATT, P.E.

Water Resources Commissioner

705 N Zeeb Road
Ann Arbor, MI 48103
734-222-6860

Drains@washtenaw.org

Harry Sheehan
Chief Deputy Water Resources Commissioner

Scott Miller P.E.
Deputy Water Resources Commissioner

Theo Eggermont
Public Works Director

March 16, 2023

Mr. Paul Tulikangas, P.E.
Nowak & Fraus Engineers
46777 Woodward Avenue
Pontiac, Michigan 48342-5032

RE: Frost Dispensary
Ypsilanti Township, Michigan
WCWRC Project No. 9383

Dear Mr. Tulikangas:

This office has reviewed the site plans for the above-referenced project to be located in Ypsilanti Township. These plans have a job number of M994, a date of February 10, 2023, and were received on March 2, 2023. As a result of our review, we would like to offer the following comments:

1. It appears that the design includes a tap to the Ypsilanti Township Drain (YTD) #8. A drain use permit will be required. However, the permit application can be submitted once the design is finalized.
2. YTD #8 must be labeled on each sheet on which it is depicted.
3. The engineer's certificate of outlet, accompanied by corresponding calculations and documentation, should be submitted to our office for review.
 - a. The certificate of outlet is to be provided by the design engineer during the review process to certify that the receiving channel has adequate capacity to receive the detention basin discharge.
4. A storm water narrative should be prepared and submitted to our office for review.
5. The off-site topography for at least 150 feet should be included with the grading plan. The drainage area map may need to be adjusted to capture all runoff from on-site and off-site areas that will be directed to the proposed stormwater management system.
6. A storage volume chart for each basin and BMP must be included in the plans.
7. An emergency overflow channel, approximately 0.25 to 0.5 feet above the 100-year storm volume elevation, with an unimpeded route to a receiving channel should be included in the detention basin design.

8. A minimum one foot of freeboard is required beyond the 100-year storm volume elevation. The freeboard elevation is noted to be Elevation 716.50 feet but that contour line is missing from the plans.
9. The bottom of basin elevation is indicated as Elevation 712.00 and 712.50 feet on plan sheet SP04 and 711.50 feet on plan sheet SP06. The bottom of basin elevation must be consistent throughout the plan set.
10. The labels and the arrow markers shown on plan sheet SP04 should be revised.
11. The hydraulic gradient for the 10-year flow pipe capacity calculations should begin at the 2-year storm elevation within the basin.
12. The minimum pipe size of 12 inches in diameter has not been met throughout the storm water pipe network.
13. The minimum velocity of 3 feet per second was not met within some of the storm water pipes.
14. Based on the soils mapping in MapWashtenaw, the site is covered by hydrologic group B soils. The curve number (CN) used for pervious cover areas on Worksheet W1 and for pre-development cover on W3 should be revised.
15. The CN for water used on Worksheet W1 should be revised to be 98, not 100. The runoff coefficient, c , of 1.0 is correct.
16. Infiltration volume credit for storage within the void spaces of the planting soil in the proposed bioswales is not applicable due to the variable nature of organic-containing planting soil. Per the rules of this office, volume storage credit will only be given for stone storage beds.
17. The maximum impervious loading ratio of 8:1 and the maximum total loading ratio of 10:1 has been exceeded for the proposed development.
18. A long-term storm water maintenance plan, including budget and responsible party, should be designed and included with the plan set.
19. Inspection of the infiltration basins following storms of 1 inch or more should be included to the long-term maintenance plan.
20. A note should be added to indicate that no chemicals are allowed in stormwater features or buffer zones with the following exception: invasive species may be treated with chemicals by a certified applicator.
21. Each bioswale inlet should include a sediment trap, including a drop chamber. A detail of the sediment trap should be included.

22. Planting soils used within the stormwater features must be amended with a composted organic material. Soils must be free of construction debris and subsoils. A recommended soil blend includes 20 to 30 percent compost. For infiltration BMPs, clay should be limited to a maximum of 10 percent.
23. In the Overflow Structure Detail for Bioretention Area detail shown on plan sheet SP06, a non-woven geotextile fabric is not recommended underneath the planting soil in the rain garden.
24. Within the detention basin, and from 4 inches above the bottom of the bioswale to the buffer area of the bioswale, seeding and/or live plantings are allowed. Only native seeds (as defined by Michigan Flora, michiganflora.net) are allowed for permanent soil stabilization. Annual seeds are allowed in an amount necessary to temporarily stabilize the limits of disturbance. Include the species list and quantity for the Native Grass seed mix.
25. From 0 to 4 inches above the bottom of the bioswale, live plantings must cover the entire area. Native plants are preferred. If native plantings are not available, cultivars and non-native perennials are allowable if approved by WCWRC. Plants listed on the WCWRC Rain Garden Plant List are acceptable. Invasive species are not allowed (see the City of Ann Arbor's invasive species list).
26. Plantings should be locally adapted and appropriate to the hydric conditions proposed. For more information on individual species, see "Plants for Stormwater Design: Species Selection for the Upper Midwest" by Daniel Shaw & Rusty Schmidt.
27. Plantings should be spaced according to each species size and growth potential to allow for sufficient coverage as required by the soil erosion permit.
28. All seed mixed and live plantings must be listed in the plan set by both their Latin names and common names.
29. At the time of plant and seed delivery, a WCWRC landscape reviewer must be present. The quantity and species delivered will be reviewed on site. Contact Catie Wytychak at wytychakc@washtenaw.org or (734) 222-6813 to coordinate.
30. Please see the attached invoice for the current fees and remit these fees upon receipt. As requested, the invoice is being submitted directly to Frost Cannabis.

Mr. Paul Tulikangas, P.E.
Nowak & Fraus Engineers
Frost Dispensary
WCWRC Project No. 9383
Page 4 of 4

At your convenience, please send us a complete set of revised plans and the additional information requested above so that we may continue our review. If you have any questions, please contact our office.

Sincerely,



Theresa M. Marsik, P.E.
Stormwater Engineer
(permit:\Frost Dispensary rev1)

cc: Michael Ludtke, Frost Cannabis
Jason Iacoangeli, Ypsilanti Township Planning Director
Belinda Kingsley, Ypsilanti Township Planning & Zoning Coordinator
Doug Winters, McLain and Winters
Matt Parks, P.E., Ypsilanti Township Engineer (OHM)
Stacie Monte, Ypsilanti Township Engineer (OHM)

BLOOM
GENERAL CONTRACTING

RECEIVED
BY _____
MAR 13 2023
YPSILANTI TOWNSHIP
OCS

TRANSMITTAL

To: **Fletcher Reyner**
Ypsilanti Township Planning Department
7200 S Huron River Dr.
Ypsilanti, MI 48197

From: Vic Habersmith, Bloom General Contracting

RE: Frost Dispensary – Preliminary Site Plan Application

Date: March 10, 2023

Mr. Reyner,

I am submitting the following items for our Frost Dispensary project located at 1250 Watson:

1. Preliminary Site Plan Application
2. 3 sets of the Preliminary Architectural plans
3. 3 sets of the Preliminary Civil Engineering plans
4. Proof of ownership (covenant deed)
5. Two checks for the \$6,000.00 application fees and bond
6. Soil Erosion Permit Application with 2 sets of civil engineering plans and a check for \$4,100.00
7. Ypsilanti Community Utility Authority – please advise on how to apply to them.
8. WCWRC/infiltration – Our engineer is handling this directly. We submitted soil borings to them and the infiltration testing is scheduled for 3/15/23.

I provided a copy of the Washtenaw County Road Commission Commercial Approach Application that we will submit by 3/17/23. Note: I wasn't able to download the WCRC Utility ROW Application due to a broken link. I will send you a copy once I'm able to complete it.

In addition, we are also submitting a parcel split application to the township assessor. Lastly, our engineer advised that a Traffic Impact Study is not required.

Please let me know if you have any questions.

Thank you,

Vic Habersmith

Vic Habersmith
Bloom General Contracting, Inc.
25601 West Eight Mile
Redford, MI 48240
Office: (313) 532-8860
Cell: (248) 882-6780
Email: vic@bloomgc.com

SITE PLAN REVIEW APPLICATION

I. APPLICATION/DEVELOPMENT TYPE

Development:

- Subdivision
- Multi-family/Condominium
- Site Condominium
- Planned Development
- Non-residential

Application:

- Administrative Site Plan Review
- Sketch Site Plan Review
- Full Site Plan Review
- Revisions to approved plan
- Tentative Preliminary Plat
- Final Preliminary Plat
- Final Plat Process
- Stage I (for Planned Development)
- Stage II (for Planned Development)

II. PROJECT LOCATION

Address: 1250 Watson City: Charter Township of Ypsilanti State: MI Zip: 4819813-255-002
Parcel ID #: K-11- 13-25-255-002 Zoning I-C
Lot Number: _____ Subdivision: _____
Property dimensions: Approximately 335' x 800' Acreage: 6.149
Name of project/Proposed development: Frost Dispensary
Legal description of Property: _____

YP#104-173-186 LOTS 173 - 186 INCL., ALSO LOTS 408 - 441 INCL. PLUS S 30' OF VACATED EDGEWOOD AVE & E 30' OF BEVERLY AVE & VACATED ALLEY. WATSONIA PARK SUB.

Describe Proposed Project (including buildings/ structures/ # units):

Construct a 2,988 s.f. commercial building for use as a Marijuana grow center and retail space.

III. APPLICANT INFORMATION

Applicant: Bloom General Contracting, Inc. Phone: O: (313) 532-8860 or Cell (248) 882-6780
Address: 25601 W. Eight Mile Rd. City: Redford State: MI Zip: 48240
Fax: (313) 532-0367 Email: vic@bloomgc.com
Property owner (if different than applicant): Michael Ludtke Phone: (952) 807-6105
Address: 62 Sylvan Ct. City: Pontiac State: MI Zip: 48341
Fax: _____ Email: _____
Engineer: Nowak & Fraus Engineers Phone: (248) 332-7931
Address: 46777 Woodward Ave. City: Pontiac State: MI Zip: 48342
Fax: _____ Email: ptulikangas@nowakfraus.com

SITE PLAN REVIEW APPLICATION

Site Plan Review applications	
<input checked="" type="checkbox"/> The application is filled out in its entirety and includes the signature of the applicant and, if different than the applicant, the property owner.	<input type="checkbox"/> Proposed Plans
<input checked="" type="checkbox"/> Fees	<input checked="" type="checkbox"/> One (1) signed and sealed copies (24"x36") of the proposed plan
<input checked="" type="checkbox"/> Check made out to Ypsilanti Township with appropriate fees. <i>Please note: The same preliminary site plan review fee will be charged for each subsequent submittal</i>	<input checked="" type="checkbox"/> One (1) copy (11"x17") of the proposed plan
<input checked="" type="checkbox"/> Fees paid separately to Ypsilanti Community Utilities Authority	<input checked="" type="checkbox"/> One (1) PDF digital copy of the proposed plan
<input checked="" type="checkbox"/> Fees paid separately to Washtenaw County Road Commission and Water Resources Commissioner's Office	<input checked="" type="checkbox"/> All contents detailed on the next pages for administrative, sketch, and full site plans.
<input checked="" type="checkbox"/> Additional Documents:	
<input checked="" type="checkbox"/> Woodland Protection application or the No Tree Affidavit, if applicable	
<input checked="" type="checkbox"/> Traffic Impact Questionnaire	
<input checked="" type="checkbox"/> Appropriate application and plans submitted to the Washtenaw County Road Commission and Water Resources Commissioner's Office	<i>Copy of WCRC Application attached - will submit by 3/17/23</i>
	<i>This is being handled separately by our civil engineer. The Infiltration test have been ordered and are in process.</i>

**SITE PLAN REVIEW
 APPLICATION**

VI. SCHEDULE OF FEES

Preliminary Site Plan Review		
	Non-refundable fee	Refundable deposit
Full	\$500	Less than one (1) acre: \$2,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres
Sketch	\$500	Less than one (1) acre: \$1,500 One (1) acre to five acres: \$2,000 Over five (5) acres to ten (10) acres: \$2,500 Greater than ten (10) acres: 25,500 + \$50 per acre over ten (10) acres
Administrative	\$100	Less than one (1) acre: \$1,000 One (1) acre to five acres: \$1,200 Over five (5) acres to ten (10) acres: \$1,500 Greater than ten (10) acres: \$1,500 + \$50 per acre over ten (10) acres
Planned Development Stage I and Rezoning	\$1,500 + \$20 per acre	Less than one (1) acre: \$3,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres
Final Site Plan Review		
	Non-refundable fee	Refundable deposit
Full	\$500	Less than one (1) acre: \$3,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres
Sketch	\$500	Less than one (1) acre: \$1,500 One (1) acre to five acres: \$2,000 Over five (5) acres to ten (10) acres: \$2,500 Greater than ten (10) acres: \$2,500 + \$50 per acre over ten (10) acres
Administrative	\$100	Less than one (1) acre: \$1,000 One (1) acre to five acres: \$1,200 Over five (5) acres to ten (10) acres: \$1,500 Greater than ten (10) acres: \$1,500 + \$50 per acre over ten (10) acres
Planned Development Stage I and Rezoning	\$1,500 + \$20 per acre	Less than one (1) acre: \$3,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres

\$ 6,000.00 FEE TOTAL

V. APPLICANT SIGNATURE

Vic Habersmith
 Applicant Signature

Vic Habersmith
 Print Name

3/7/23
 Date

[Signature]
 Owner Signature

Michael Ludtke
 Print Name

3/10/23
 Date

SITE PLAN REVIEW APPLICATION

Administrative Site Plan Review
Application Form: The application form shall contain the following information:
Name and address of the applicant and property owner
Address and common description of property and complete legal description
Dimensions of land and total acreage
Zoning on the site and all adjacent properties
Description of proposed project or use, type of building or structures, and name of proposed development, if applicable
Name and address of firm or individual who prepared site plan
Proof of property ownership
Site Plan Descriptive and Identification Data:
Site plans shall consist of an overall plan for the entire development, drawn to an engineer's scale of not less than 1 inch = 50 feet for property less than three acres, or one inch = 100 feet for property three acres or more in size. Sheet size shall be at least 24 x 36 inches. If a large development is shown in sections on multiple sheets, then one overall composite sheet shall be included
Written project description, including proposed use, building(s) and site improvement
Title block with sheet number/title; name, address and telephone number of the applicant and firm or individual who prepared the plans; and date(s) of submission and any revisions (month, day, year)
Scale and north-point
Legal and common description of property
Zoning classification of petitioner's parcel and all abutting parcels
Net acreage (minus rights-of-way) and total acreage
Site Analysis:
Environmental impact analysis and natural features protection documentation meeting the requirements of Chapter 26 of the Municipal Code, Environment
Survey of existing lot lines, building lines, structures, parking areas and other improvements on the site and within 100 feet of the site
Inventory of the location, sizes, and types of existing trees, hedgerows and landmark trees as required by the township woodlands ordinance and the general location of all other existing plant materials
Location of existing drainage courses, floodplains, lakes and streams, and wetlands with elevations
Surface drainage flows including high points, low points and swales
All existing easements
Existing roadways and driveways within 250 feet of the site
Existing sidewalks and nonmotorized pathways
Site Plan:
Proposed lot lines, lot dimensions, property lines and setback dimensions
Structures, and other improvements
Proposed easements
Location of trash and recycling receptacle(s) and transformer pad(s) and method of screening
Extent of any outdoor sales or display area

**SITE PLAN REVIEW
 APPLICATION**

Access and Circulation:
Dimensions, curve radii and centerlines of existing and proposed access points, roads and road rights-of-way or access easements
Dimensions of parking spaces, islands, circulation aisles and loading zones
Calculations for required number of parking and loading spaces
Designation of fire lanes
Location of existing and proposed sidewalks/pathways within the site or right-of-way
Location, height, and outside dimensions of all storage areas and facilities
Landscape Plans:
Location, sizes, and types of existing trees as required by the township woodlands ordinance and the general location of all other existing plant materials, with an identification of materials to be removed and preserved
The location of existing and proposed lawns and landscaped areas
Building and Structure Details:
Location, height, and outside dimensions of all proposed buildings or structures
Location, size, height, and lighting of all proposed site and wall signs
Location, size, height and material of construction for all obscuring wall(s) or berm(s) with cross-sections, where required
Drainage, Soil Erosion and Sedimentation Control:
Location and size of existing and proposed storm sewers
Stormwater retention and detention ponds, including grading, side slopes, depth, high water elevation, volume and outfalls
Stormwater drainage and retention/detention calculations
Indication of site grading, drainage patterns and stormwater management measures, including sediment control and temperature regulation
Soil erosion and sedimentation control measures
Lighting Plan:
Location of all freestanding, building-mounted and canopy light fixtures on the site plan and building elevations
Specifications and details for the type of fixture being proposed including the total lumen output, type of lamp and method of shielding
Use of the fixture proposed

Sketch Plan Review
Application Form: The application form shall contain the following information:
Name and address of the applicant and property owner
Address and common description of property and complete legal description
Dimensions of land and total acreage
Zoning on the site and all adjacent properties
Description of proposed project or use, type of building or structures, and name of proposed development, if applicable
Name and address of firm or individual who prepared site plan
Proof of property ownership

SITE PLAN REVIEW APPLICATION

Site Plan Descriptive and Identification Data:
Site plans shall consist of an overall plan for the entire development, drawn to an engineer's scale of not less than 1 inch = 50 feet for property less than three acres, or one inch = 100 feet for property three acres or more in size. Sheet size shall be at least 24 × 36 inches. If a large development is shown in sections on multiple sheets, then one overall composite sheet shall be included
Written project description, including proposed use, building(s) and site improvements
Title block with sheet number/title; name, address and telephone number of the applicant and firm or individual who prepared the plans; and date(s) of submission and any revisions (month, day, year);
Scale and north-point
Legal and common description of property
Zoning classification of petitioner's parcel and all abutting parcels
Net acreage (minus rights-of-way) and total acreage
Site Analysis:
Environmental impact analysis and natural features protection documentation meeting the requirements of Chapter 26 of the Municipal Code, Environment
Survey of existing lot lines, building lines, structures, parking areas and other improvements on the site and within 100 feet of the site
Inventory of the location, sizes, and types of existing trees, hedgerows and landmark trees as required by the township woodlands ordinance and the general location of all other existing plant materials
Location of existing drainage courses, floodplains, lakes and streams, and wetlands with elevations
Surface drainage flows including high points, low points and swales
All existing easements
Existing roadways and driveways within 250 feet of the site
Existing sidewalks and nonmotorized pathways
Site Plan:
Proposed lot lines, lot dimensions, property lines and setback dimensions
Structures, and other improvements
Proposed easements
Location of trash and recycling receptacle(s) and transformer pad(s) and method of screening
Extent of any outdoor sales or display area
Access and Circulation:
Dimensions, curve radii and centerlines of existing and proposed access points, roads and road rights-of-way or access easements
Dimensions of parking spaces, islands, circulation aisles and loading zones
Calculations for required number of parking and loading spaces
Designation of fire lanes
Location of existing and proposed sidewalks/pathways within the site or right-of-way
Location, height, and outside dimensions of all storage areas and facilities
Landscape Plans:
Location, sizes, and types of existing trees as required by the township woodlands ordinance and the general location of all other existing plant materials, with an identification of materials to be removed and preserved
The location of existing and proposed lawns and landscaped areas

**SITE PLAN REVIEW
 APPLICATION**

Building and Structure Details:
Location, height, and outside dimensions of all proposed buildings or structures
Location, size, height, and lighting of all proposed site and wall signs
Location, size, height and material of construction for all obscuring wall(s) or berm(s) with cross-sections, where required
Drainage, Soil Erosion and Sedimentation Control:
Location and size of existing and proposed storm sewers
Stormwater retention and detention ponds, including grading, side slopes, depth, high water elevation, volume and outfalls
Stormwater drainage and retention/detention calculations
Indication of site grading, drainage patterns and stormwater management measures, including sediment control and temperature regulation
Soil erosion and sedimentation control measures
Lighting Plan:
Location of all freestanding, building-mounted and canopy light fixtures on the site plan and building elevations
Specifications and details for the type of fixture being proposed including the total lumen output, type of lamp and method of shielding
Use of the fixture proposed

Full Site Plan Review
Application Form: The application form shall contain the following information:
Name and address of the applicant and property owner
Address and common description of property and complete legal description
Dimensions of land and total acreage
Zoning on the site and all adjacent properties
Description of proposed project or use, type of building or structures, and name of proposed development, if applicable
Name and address of firm or individual who prepared site plan
Proof of property ownership

Continue to next page

**SITE PLAN REVIEW
 APPLICATION**

Site Plan Descriptive and Identification Data:
Site plans shall consist of an overall plan for the entire development, drawn to an engineer's scale of not less than 1 inch = 50 feet for property less than three acres, or one inch = 100 feet for property three acres or more in size. Sheet size shall be at least 24 x 36 inches. If a large development is shown in sections on multiple sheets, then one overall composite sheet shall be included
Location map drawn to a separate scale with north-point, showing surrounding land, water features, zoning and streets within a quarter mile
Identification and seal of architect, engineer, land surveyor, or landscape architect who prepared drawings
Proximity to section corner and major thoroughfares
Written project description, including proposed use, building(s) and site improvements
Title block with sheet number/title; name, address and telephone number of the applicant and firm or individual who prepared the plans; and date(s) of submission and any revisions (month, day, year)
Scale and north-point
Legal and common description of property
Zoning classification of petitioner's parcel and all abutting parcels
Net acreage (minus rights-of-way) and total acreage
Location map drawn to a separate scale with north-point, showing surrounding land, water features, zoning and streets within a quarter mile
Identification and seal of architect, engineer, land surveyor, or landscape architect who prepared drawings
Proximity to section corner and major thoroughfares
Site Analysis:
An aerial photograph of the entire development area with all environmental features labeled on the photo in a "bubbled" fashion to include woodlands, wetlands, groundwater recharge areas, drains, creeks, surface water, severe changes in topography, erodible soils, and floodplains. Sheet size of the aerial photograph shall be at least 24 x 36 inches
Survey of on parcels more than one acre, topography on the site and within 100 feet of site at two-foot contour intervals, referenced to a U.S.G.S. benchmark
Surrounding land uses and zoning
Soils and water table
Cultural resources and indication of human activities, such as paths
Environmental impact analysis and natural features protection documentation meeting the requirements of Chapter 26 of the Municipal Code, Environment
Survey of existing lot lines, building lines, structures, parking areas and other improvements on the site and within 100 feet of the site
Inventory of the location, sizes, and types of existing trees, hedgerows and landmark trees as required by the township woodlands ordinance and the general location of all other existing plant materials
Location of existing drainage courses, floodplains, lakes and streams, and wetlands with elevations
Surface drainage flows including high points, low points and swales
All existing easements
Existing roadways and driveways within 250 feet of the site
Existing sidewalks and nonmotorized pathways

**SITE PLAN REVIEW
 APPLICATION**

Site Plan:
Proposed lot lines, lot dimensions, property lines and setback dimensions
Structures, and other improvements
Location of exterior lighting (site and building lighting) in accordance with site lighting standards
Proposed easements
Location of trash and recycling receptacle(s) and transformer pad(s) and method of screening
Extent of any outdoor sales or display area
Access and Circulation:
Dimensions, curve radii and centerlines of existing and proposed access points, roads and road rights-of-way or access easements
Dimensions of parking spaces, islands, circulation aisles and loading zones
Calculations for required number of parking and loading spaces
Designation of fire lanes
Location of existing and proposed sidewalks/pathways within the site or right-of-way
Location, height, and outside dimensions of all storage areas and facilities
Opposing driveways and intersections within 250 feet of site
Cross section details of proposed roads, driveways, parking lots, sidewalks and nonmotorized paths illustrating materials and thickness
Dimensions of acceleration, deceleration, and passing lanes
Traffic regulatory signs and pavement markings
Landscape Plans:
Location, sizes, and types of existing trees as required by the township woodlands ordinance and the general location of all other existing plant materials, with an identification of materials to be removed and preserved
The location of existing and proposed lawns and landscaped areas
Description of methods to preserve existing plant materials
Planting plan, including location and type of all proposed shrubs, trees, and other live plant material
Planting list for proposed landscape materials with caliper size or height of material, method of installation, botanical and common names, and quantity
Proposed dates of plant installation
Landscape maintenance schedule
Building and Structure Details:
Location, height, and outside dimensions of all proposed buildings or structures
Location, size, height, and lighting of all proposed site and wall signs
Location, size, height and material of construction for all obscuring wall(s) or berm(s) with cross-sections, where required
Building floor plans and total floor area
Details on accessory structures and any screening
Building facade elevations for all sides, drawn at an appropriate scale
Description of exterior building materials and colors (samples may be required)

SITE PLAN REVIEW APPLICATION

Drainage, Soil Erosion and Sedimentation Control:
Location and size of existing and proposed storm sewers
Stormwater retention and detention ponds, including grading, side slopes, depth, high water elevation, volume and outfalls
Stormwater drainage and retention/detention calculations
Indication of site grading, drainage patterns and stormwater management measures, including sediment control and temperature regulation
Soil erosion and sedimentation control measures
Information Concerning Utilities:
Location of sanitary sewers and septic systems, existing and proposed
Location and size of existing and proposed water mains, well sites, water service and fire hydrants
Location of existing and proposed gas, electric and telephone lines, above and below ground
Location of transformers and utility boxes
Assessment of potential impacts from the use, processing, or movement of hazardous materials or chemicals, if applicable
Lighting Plan:
Location of all freestanding, building-mounted and canopy light fixtures on the site plan and building elevations
Specifications and details for the type of fixture being proposed including the total lumen output, type of lamp and method of shielding
Use of the fixture proposed
Photometric grid overlaid on the proposed site plan indicating the overall light intensity throughout the site (in foot-candles)
Additional Information Required for Residential Development:
The number and location of each type of residential unit (one bedroom units, two bedroom units, etc.)
Density calculations by type of residential unit (dwelling units per acre)
Garage and/or carport locations and details, if proposed;
Mailbox cluster location and design, if required by post master
Location, dimensions, floor plans and elevations of common building(s) (e.g., recreation, laundry, etc.), if applicable
Swimming pool fencing detail, including height and type of fence, if applicable
Location and size of recreation and open space areas
Indication of type of recreation facilities proposed for recreation area
Where the site is located within 500 feet of the I-94 right-of-way, delineate that area of the site with sound levels of 61 dBA or greater



COVENANT DEED

GRANTOR: NEXUS GAS TRANSMISSION, LLC, a Delaware limited liability company, whose address is 5400 Westheimer Court, Houston, Texas 77056

CONVEYS TO GRANTEE: MICHAEL LUDTKE, a resident of the State of Michigan, whose address is 62 Sylvan Court, Pontiac, Michigan 48341

the real property in the Township of Ypsilanti, Washtenaw County, Michigan, and described on the attached Exhibit A (the "Real Property"), excepting and reserving unto Grantor, and its successors and assigns, that certain permanent right-of-way and easement described on the attached Exhibit B and depicted on the attached Exhibit C, and subject to all taxes and assessments that become a lien, or that become due and payable, after the date hereof, all existing zoning ordinances, all easements, restrictions, encumbrances, and other matters of record, and all matters that could be identified by an accurate survey of the land.

Grantor will warrant and defend the conveyed real property against the lawful claims and demands of all persons claiming through Grantor, but against no other claims and no other persons, including predecessors in title.

Consideration *(~~800~~) filed real estate transfer tax valuation affidavit.*

[Signature page(s) to follow.]

81-22821564-SCM
5 (6) 30



Time Submitted for Recording
Date 3/16/2022 Time 9:44 AM
Lawrence Kestenbaum
Washtenaw County Clerk/Register

TT08

WASHTENAW COUNTY TREASURER
TAX CERTIFICATE NO. B72467DKT

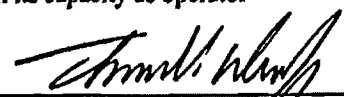
[Signature page to Covenant Deed.]

NEXUS GAS TRANSMISSION, LLC,
a Delaware limited liability company

By: **Spectra Energy NEXUS Management, LLC**
in its capacity as operator

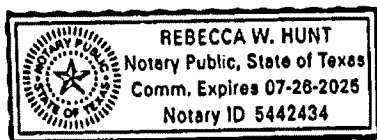
Dated as of: February 17, 2022

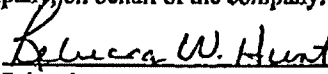
Effective Date of February 18, 2022


By: Thomas V. Wooden, Jr.
Its: Vice President

State of TEXAS
County of HARRIS)

Acknowledged before me on the 17 day of February, 2022, by Thomas V. Wooden, Jr.,
as Vice President of Spectra Energy NEXUS Management, LLC, in its capacity as operator of Nexus Gas
Transmission, LLC, a Delaware limited liability company, on behalf of the company.




Printed: Rebecca W. Hunt
Notary Public, Harris County, Texas
My commission expires: 7/26/2025
Acting in Harris County, Texas

Drafted by (and return to after recording):

Matthew Van Dyk
Miller Johnson
100 W Michigan Avenue, Suite 200
Kalamazoo, Michigan 49007

X UPS

When recorded return to:
ATA National Title Group
Commercial Department
42651 Woodward Ave.
Bloomfield Hills, MI 48304

*The drafter has not examined and makes no representations regarding
title to the real property or the Land Division Act.*

EXHIBIT A TO
COVENANT DEED

The real property in the Township of Ypsilanti, Washtenaw County, Michigan, described as:

**LOTS 173 - 186 INCL., ALSO LOTS 408 - 441 INCL. PLUS S 30' OF VACATED
EDGEWOOD AVE & E 30' OF BEVERLY AVE & VACATED ALLEY. WATSONIA PARK SUB.
6.149 ACRES.**

Property Address: 1250 Watson Street, Ypsilanti, Michigan 48198
Parcel Number: K-11-13-255-002

Any address or tax parcel number provided above is for informational purposes only, without warranty as to accuracy or completeness. If any address or tax parcel number is inconsistent in any way with the description provided above, then the description will control.

EXHIBIT B TO
COVENANT DEED

Grantor excepts and reserves unto itself, and its successors and assigns, that certain permanent right-of-way and easement (the "Easement") for purposes of laying, constructing, dewatering (on or off of the Easement), watering up, changing the size of, maintaining, operating, inspecting, altering, replacing, repairing, abandoning and/or removing a pipeline, together with any and all above- or below-grade appurtenances thereto, including, but not limited to fittings, valves, meters, tie-overs, cathodic/corrosion protection, decouplers, electrical interference mitigation, data acquisition and communications lines and devices, electric lines and devices, pipelines, markers and other appurtenant facilities, whether above or below ground (collectively, the "Pipeline Facilities"). Grantor and Grantee agree that location of the Easement is that area depicted as "Detail 'A'" on the attached Exhibit C (the "Easement Area").

Grantor further excepts and reserves unto itself, and its successor and assigns, certain temporary workspaces on the Real Property that shall be available for use by Grantor during any construction, maintenance, repair, replacement or removal of the Pipeline Facilities in the Easement Area (the "Temporary Work Space"). The Temporary Work Space shall be defined as an additional twenty-five (25) foot area immediately adjacent to each side of the Easement Area.

Grantor further excepts and reserves unto itself, and its successor and assigns, all other rights and benefits necessary or convenient for the full enjoyment and use of the rights herein reserved, including, but not limited to: (1) the right, to be exercised at any time in Grantor's sole and absolute discretion, to remove, clear and to keep clear all buildings (including, but not limited to, sheds, garages, and other structures, whether on foundations or not), walls or similar structures, above- or below-ground swimming pools, decks, rocks, trees, brush, limbs, and other obstructions including, but not limited to, pipelines and conduits, septic systems, leach fields, wells, rocks, trees, brush and any other structures or obstructions in or on the Easement Area that might interfere with Grantor's use and enjoyment of the Easement; (2) the free and full right to travel over and across the Real Property to gain ingress and/or egress to the Easement Area and Temporary Work Space for Grantor's use and enjoyment of the Easement; and (3) any other activities that are reasonably necessary for Grantor's use and enjoyment of the Easement, the Easement Area and/or Temporary Work Space, including the right to access the Real Property for any and all necessary surveys. Grantee, and its successors and assigns, shall not grade, excavate, fill or flood the Easement Area and/or Temporary Work Space without obtaining the Grantor's prior written consent, which may be withheld in Grantor's sole discretion. Notwithstanding any of the foregoing, Grantee shall have the right to construct, install, operate, and maintain - as close to perpendicular as practicable across the Easement Area - trails, roads, driveways, storm sewers, phone, cable, electric, water and sewer facilities and other utilities, provided the same do not unreasonably interfere with the safe operation and maintenance of the Pipeline Facilities. At least ninety (90) days prior to Grantee performing any work within the Easement Area and/or Temporary Work Space, Grantee shall provide Grantor with written documentation of its proposed activities for Grantor's review and approval, which approval shall not be unreasonably withheld, delayed, or denied.

The rights, title and privileges herein granted unto Grantor may, in whole or in part, be sold, leased, assigned, pledged and mortgaged, and shall be appurtenant to and run with the Real Property and be binding upon and inure to the benefit of the Grantor and its successors and assigns.

EXHIBIT "C"

YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN
 PART OF LOTS 173-186, & INCLUSIVE OF LOTS 408-441
 WATSONIA PARK SUBDIVISION (PLAT LIBER 6, PAGE 33)
 T 3 S, R 7 E : SECTION 13
 MICHIGAN MERIDIAN

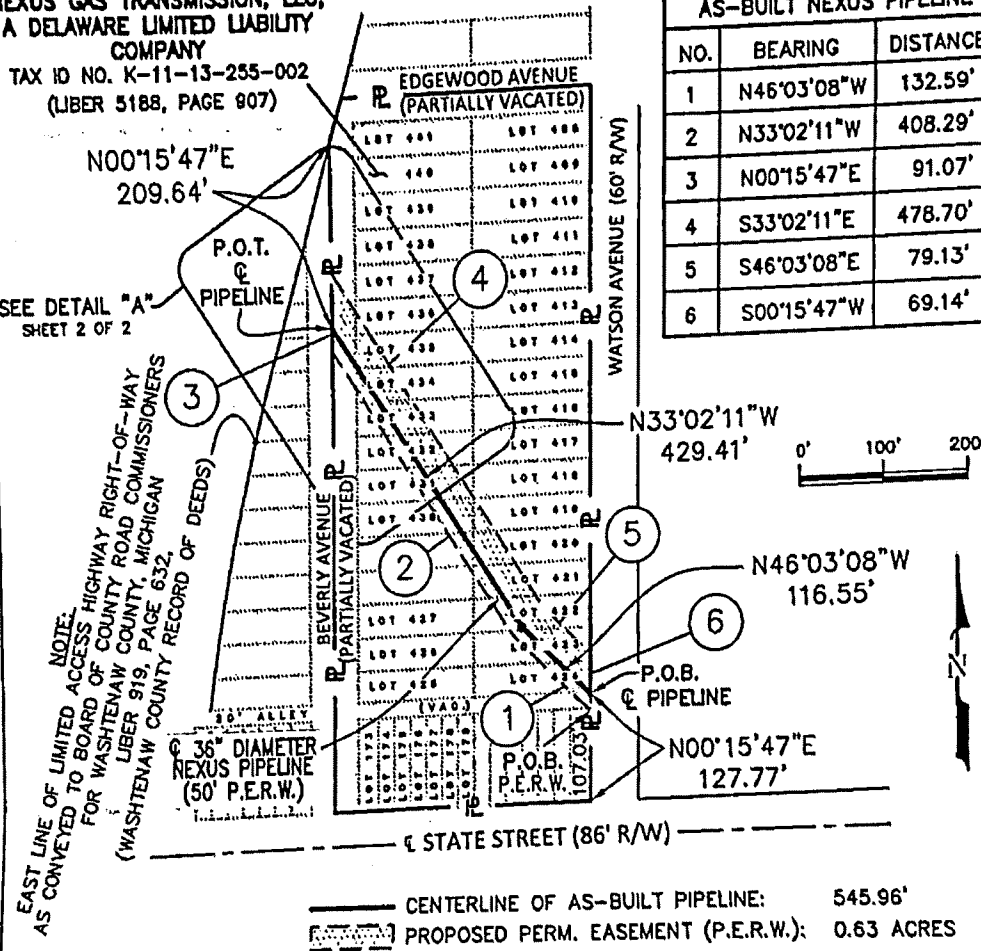
TRACT NO. MI-WA-126.0000

NEXUS GAS TRANSMISSION, LLC,
 A DELAWARE LIMITED LIABILITY
 COMPANY

TAX ID NO. K-11-13-255-002
 (LIBER 5188, PAGE 907)

LINE TABLE - P.E.R.W. AS-BUILT NEXUS PIPELINE		
NO.	BEARING	DISTANCE
1	N46°03'08"W	132.59'
2	N33°02'11"W	408.29'
3	N00°15'47"E	91.07'
4	S33°02'11"E	478.70'
5	S46°03'08"E	79.13'
6	S00°15'47"W	69.14'

REVISIONS: 0 ISSUED FOR ACQUISITION - 04/05/2016 1 AS-BUILT SURVEY - 10/30/2018



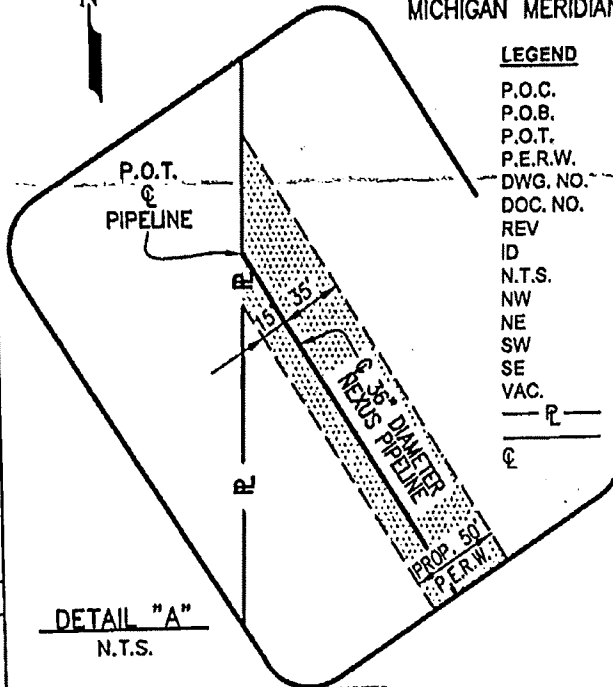
NOTE:
 EAST LINE OF LIMITED ACCESS HIGHWAY RIGHT-OF-WAY
 AS CONVEYED TO BOARD OF COUNTY ROAD COMMISSIONERS
 FOR WASHTENAW COUNTY, MICHIGAN
 LIBER 919, PAGE 632,
 (WASHTENAW COUNTY RECORD OF DEEDS)

——— CENTERLINE OF AS-BUILT PIPELINE: 545.96'
 [Pattern] PROPOSED PERM. EASEMENT (P.E.R.W.): 0.63 ACRES

PREPARED FOR: NEXUS Gas Transmission, LLC 	PREPARED BY: Universal Pegasus INTERNATIONAL <small>A Subsidiary of International Paper Corporation COA: Universal Ensign, Inc.</small> 4848 LOOP CENTRAL DR. Suite 100 HOUSTON, TX. 77081 PH. 713-977-7770	JOB NO. 22203	EXHIBIT "C" THE PROPERTY OF NEXUS GAS TRANSMISSION, LLC, A DELAWARE LIMITED LIABILITY COMPANY		
		DATE: 03/17/2016 DRAWN: DCM APPROVED: DP			

EXHIBIT "C"

YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN
 PART OF LOTS 173-186, & INCLUSIVE OF LOTS 408-441
 WATSONIA PARK SUBDIVISION (PLAT LIBER 6, PAGE 33)
 T 3 S, R 7 E : SECTION 13
 MICHIGAN MERIDIAN



LEGEND

- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- P.O.T. POINT OF TERMINATION
- P.E.R.W. PERMANENT EASEMENT RIGHT-OF-WAY
- DWG. NO. DRAWING NUMBER
- DOC. NO. DOCUMENT NUMBER
- REV REVISION
- ID IDENTIFICATION
- N.T.S. NOT TO SCALE
- NW NORTHWEST
- NE NORTHEAST
- SW SOUTHWEST
- SE SOUTHEAST
- VAC. VACATED
- P — PROPERTY LINE
- C — CENTERLINE

1 AS-BUILT SURVEY - 10/30/2018

0 ISSUED FOR ACQUISITION - 04/05/2016

DETAIL "A"
N.T.S.

SURVEYOR'S SEAL



NOTES:

1. I HEREBY DECLARE THAT THIS AS-BUILT SURVEY WAS MADE ON THE GROUND, THAT THIS EXHIBIT CORRECTLY REPRESENTS THE FACTS FOUND AT THE TIME OF THE SURVEY, AND THE ACTUAL LOCATION OF THE PROPOSED PERMANENT EASEMENT RIGHT-OF-WAY (P.E.R.W.) IS DETERMINED BY THE CENTERLINE OF THE 36" DIAMETER NEXUS PIPELINE AS IDENTIFIED HEREIN.
2. ALL BEARINGS AND DISTANCES (US SURVEY FEET) HEREIN ARE GRID AND BASED UPON THE UNIVERSAL TRANSVERSE MERCATOR PROJECTION, ZONE 17 NORTH (UTM17N), NORTH AMERICAN DATUM OF 1983 (NAD83 (2011)).
3. THIS EASEMENT EXHIBIT IS NOT A BOUNDARY SURVEY OR CERTIFIED SURVEY AND THE PROPERTY LINES IDENTIFIED HEREIN WERE CALCULATED FROM RECORD DATA ONLY. THE INFORMATION WITHIN THIS EXHIBIT IS NOT INTENDED TO MEET THE REQUIREMENTS OF A CERTIFIED SURVEY AS DEFINED BY PUBLIC ACT 132 OF 1970, AS AMENDED, OR ANY OTHER APPLICABLE SURVEYING LAW WITHIN THE STATE OF MICHIGAN.

D.A. Parsell 04.09.2019

DANA A. PARSELL, P.S. DATE:
 MICHIGAN PROFESSIONAL SURVEYOR #51483

PREPARED FOR:
 NEXUS Gas
 Transmission, LLC

 GAS TRANSMISSION

PREPARED BY:

 Universal Pegasus
 INTERNATIONAL
A subsidiary of Strategic Energy Services
 COA: Universal Enco, Inc.
 4848 LOOP CENTRAL DR.
 Suite 100
 HOUSTON, TX. 77081
 PH. 713-977-7770

JOB NO. 22203
 DATE: 03/17/2016
 DRAWN: DCM
 APPROVED: DP
 SCALE: N.T.S.

EXHIBIT "C"
 THE PROPERTY OF
 NEXUS GAS TRANSMISSION, LLC,
 A DELAWARE LIMITED LIABILITY
 COMPANY

SHEET	DOC. NO.	DWG. NO.	REV
2 OF 2	22203-250-PSK-40258	MI-WA-126.0000	1

BLOOM ^{GC}

Check Request Form

Date: March 13, 2023

Project: Frost Dispensary

Sub Project: Site (site, building, etc)

Check Payable To: Ypsilanti Charter Township

Address: 7200 S. Huron River Dr.

Ypsilanti, MI 48197

Amount: \$ 4,100.00

Cost Description: Soil Erosion Permit Application Fee, Review Fee & Inspection Escrow

(Permit, Bond, Labor, etc.)

Permits

Reimbursable? YES or NO If yes, Draw Contingency? Or OSC?

General Conditions? YES or NO

Backcharge? YES or NO If yes, Subcontractor name: _____

Requested By: Vic Habersmith / Josh Jankowiak

Date Needed: March 13, 2023

Attach copies of any documentation (will be retained by accounting dept)

Submit to Project Accountant

**CHARTER TOWNSHIP OF YPSILANTI
OFFICE OF COMMUNITY STANDARDS**

7200 S. Huron River Drive, Ypsilanti, MI 48197
Phone: 734-485-3943 Fax: 734-484-5151

**PERMIT APPLICATION FOR PART 91 SOIL EROSION AND
SEDIMENTATION CONTROL**

Permit #:
Date Issued:
Expiration Date:
File Number:

1. APPLICATION (Please check if applicant is the landowner or designated agent)*

Name	<input type="checkbox"/> Landowner	<input checked="" type="checkbox"/> Designated Agent
Vic Habersmith (#C-17618) / Bloom General Contracting, Inc.		
Address 25601 W. Eight Mile Rd.		
City Redford	State MI	Zip Code 48240
Email Address vic@bloomgc.com	Phone Number (248) 882-6780	

2. LOCATION

Section 13	Town T.3S	Range R.7E	Township Ypsilanti	County Washtenaw	Subdivision Watsonia Park
Lot No. see plans	Tax ID Number K-11-13-255-002			Street Address 1250 Watson	

3. PROPOSED EARTH CHANGE

Describe Project New Marijuana Dispensary Facility & Grow Center	Project Type:	<input type="checkbox"/> Residential	<input type="checkbox"/> Multi-family	<input checked="" type="checkbox"/> Commercial
		<input type="checkbox"/> Industrial	<input type="checkbox"/> Land Balancing	
Earth Change size (acres or sq. ft.) 2.4 Acres				
Name of and Distance to Nearest Lake, Stream, or Drain 3500' to the Huron River	Date Project to Start August 2023	Date Project to be Completed April 2024		

4. SOIL EROSION AND SEDIMENTATION CONTROL PLAN (Refer to Rule 323.1703)

Note: <u>2</u> complete sets of plans must be attached.	Estimated Cost of Erosion and Sediment Control \$2,500.00
	Plan Preparer's Name, Telephone Number and Fax Number Paul Tulikangas, P.E., Nowak & Fraus (248) 332-7931

5. PARTIES RESPONSIBLE FOR EARTH CHANGE

Name of Landowner (if not provided in Box No. 1 above) Michael Ludtke			Address 62 Sylvan Ct.		
City Pontiac	State MI	Zip 48341	Email Address ludtke4648@gmail.com	Phone Number (952) 807-6105	
Name of Individual "On Site" Responsible for Earth Change Vic Habersmith			Company Name Bloom General Contracting		
Address 25601 W. Eight Mile	City Redford	State MI	Zip 48240	Telephone Number (248) 882-6780	Fax Number (313) 532-0367

6. PERFORMANCE DEPOSIT (Equal to 100% of the cost of measurers)

Amount Required \$ <u>2,500.00</u>	<input type="checkbox"/> Cash	<input type="checkbox"/> Certified Check	<input type="checkbox"/> Letter of Credit	<input type="checkbox"/> Surety Bond	
Address 1250 Watson	City Ypsilanti Township	State MI	Zip 48198	Telephone Number	Fax Number

*Designated agent must submit a written statement from land owner authorizing him/her to secure a permit in the landlords name

7. REQUIRED ITEMS TO BE ON SOIL EROSION AND SEDIMENTATION CONTROL PLANS

1. Location Map with North arrow
2. Topo map which will accurately show existing natural drainage patterns
3. Drainage arrows for proposed on-site drainage
4. All lakes, streams, wetlands, drains, etc., must be shown on plans
5. Graphic location of Erosion and Sedimentation Controls on plans
6. Construction/installation details of Erosion and Sedimentation Controls
7. Provisions for proper maintenance of Erosion and Sedimentation Controls
8. Name of individual who prepared Erosion and Sedimentation control Plan
9. Identify ultimate drainage outlet
10. Sequence-of-Construction
11. Limits of earth disruption must be shown
12. Legal description of site
13. Date plans were prepared

REQUIRED ESCROW DEPOSITS MUST BE SUBMITTED WITH APPLICATION

8. INSPECTION ESCROW DEPOSIT (any unused portion will be returned to the applicant)

Total Acreage on Site = 6.149	Total Disturbed Acreage on Site = 2.40
Acreage	Inspection Fee - Balance Refundable
a. Less than 2 acres	\$2,000
b. 2 acres to 10 acres	\$2,500
c. Over 10 acres to 40 acres	\$3,500
d. Over 40 acres less than 100 acres	\$5,000
e. Greater than 100 acres	\$5,000 + \$30 per acre over 100 acres



9. REVIEW ESCROW DEPOSIT (any unused portion will be returned to the applicant)

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	Non-Refundable Fee	\$100.00
Total from Section 8 - Inspection Escrow Deposit	Inspection Escrow:	\$2,500.00
Total from Section 9 - Review Escrow Deposit	Review Escrow:	\$1,500.00
	Total Fee:	\$4,100.00

I UNDERSTAND THIS PERMIT WILL EXPIRE ONE (1) YEAR FROM DATE OF ISSUE. Projects not completed within that year may be renewed for an additional year by written request to the Community & Economic Development Department.

I (we) affirm that the above information is accurate and that I (we) will conduct the above described earth change in accordance with Part 91, Soil Erosion and Sedimentation Control, of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended, applicable local ordinances, and the documents accompanying this application.

Landowner's Signature: 	Print Name: Michael Ludtke	Date: 3/7/23
Designated Agent's Signature: 	Print Name: Vic Habersmith	Date: 3/7/23

**CHARTER TOWNSHIP OF YPSILANTI
OFFICE OF COMMUNITY STANDARDS**

7200 S. Huron River Drive, Ypsilanti, MI 48197
Phone: 734-485-3943 Fax: 734-484-5151

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--	----------------------------	--------------

Designated Agent's Signature: 	Print Name: Vic Habersmith	Date: 3/7/23
---	----------------------------	--------------

Owner / Developer

Michael Ludtke
Tel. (952) 807-6105
Email: Ludtke4648@gmail.com

Architect

STUCKY VITALE ARCHITECTS
27172 Woodward Avenue
Royal Oak, MI 48067-0925
Tel. (248) 546-6700
Fax. (248) 546-8454

CONTACT: Steve Bloink, AIA, LEED AP

Civil Engineer

NOWAK & FRAUS ENGINEERS
46777 Woodward Ave.
Pontiac, MI 48342-5032
Tel. (248) 332-7931
Fax. (248) 332-8257

CONTACT: Paul Tulikangas, P.E.
Brett Buchholz, P.E.

Landscape Architect

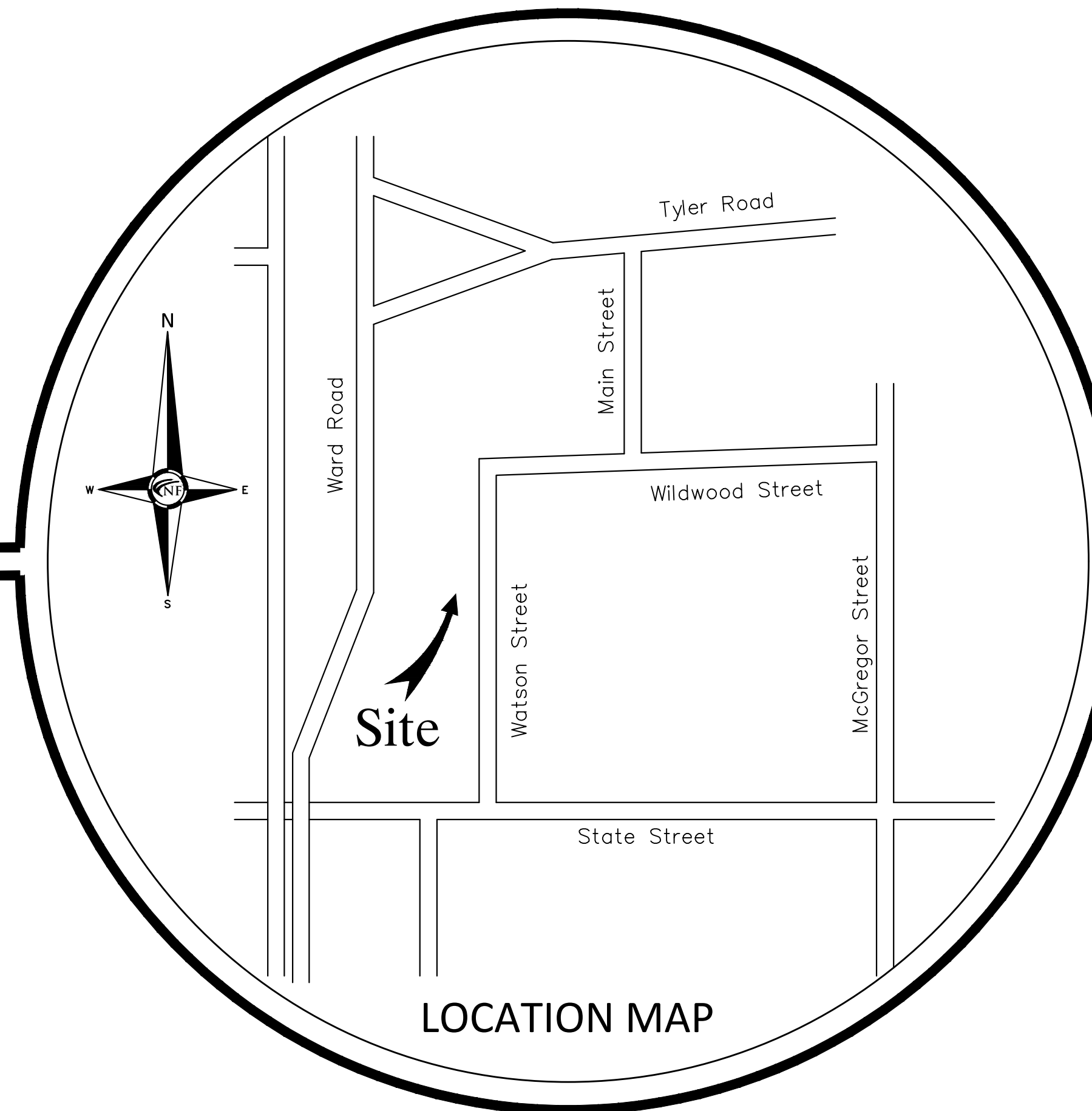
NOWAK & FRAUS ENGINEERS
46777 Woodward Ave.
Pontiac, MI 48342-5032
Tel. (248) 332-7931
Fax. (248) 332-8257

CONTACT: George Ostrowski, RLA

Township of Ypsilanti, Washtenaw County, Michigan SITE PLAN DOCUMENTS

Prepared For Michael Ludtke

PART OF THE NW 1/4 OF SECTION 13, T.3S., R.7E.,
TOWNSHIP OF YPSILANTI,
WASHTENAW COUNTY, MICHIGAN



LOCATION MAP

**PRELIMINARY SITE PLAN SHEET INDEX -
CIVIL & LANDSCAPE**

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SP02	Demolition Plan
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SP04	Fire Protection Site Plan
SP05	Paving-Grading Plan
SP06	Stormwater Conveyance & Management Plan
SP07	Stormwater Management Calculations & Details
SP08	Water & Sanitary Sewer Plan
SP09	Soil Erosion & Drainage Areas Plan
	General Notes & Details
L1	Tree Preservation Plan
L2	Landscape Plan
L3	Landscape Notes and Details

LEGAL DESCRIPTION

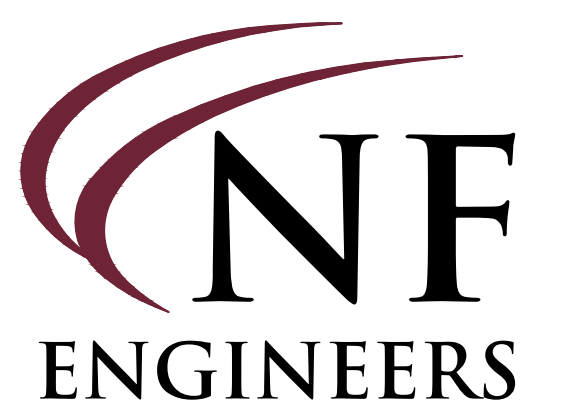
LAND IN THE TOWNSHIP OF YPSILANTI, COUNTY OF WASHTENAW, STATE OF MICHIGAN BEING MORE PARTICULARLY DESCRIBED AS:

LOTS 173 THROUGH 186, INCLUSIVE, AND LOTS 408 THROUGH 441, INCLUSIVE, WATSONIA PARK SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 6 OF PLATS, PAGE 33, WASHTENAW COUNTY RECORDS. ALSO, THE SOUTH 30 FEET OF VACATED EDGEWOOD AVENUE ADJACENT TO SAID LOTS AND THE EAST 30 FEET OF VACATED BEVERLY AVENUE ADJACENT TO SAID LOTS AND THE VACATED PUBLIC ALLEY ADJACENT TO SAID LOTS.

REVISIONS:
02-24-23 PRELIMINARY SITE PLAN REVIEW

Project Name

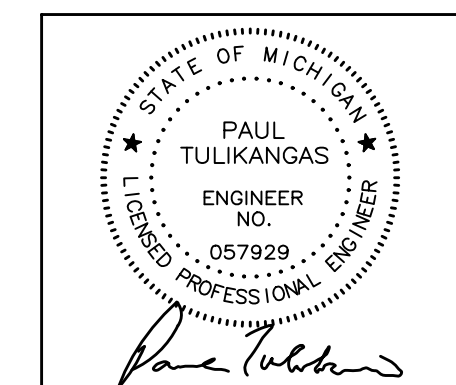
Frost Dispensary 1250 Watson Street

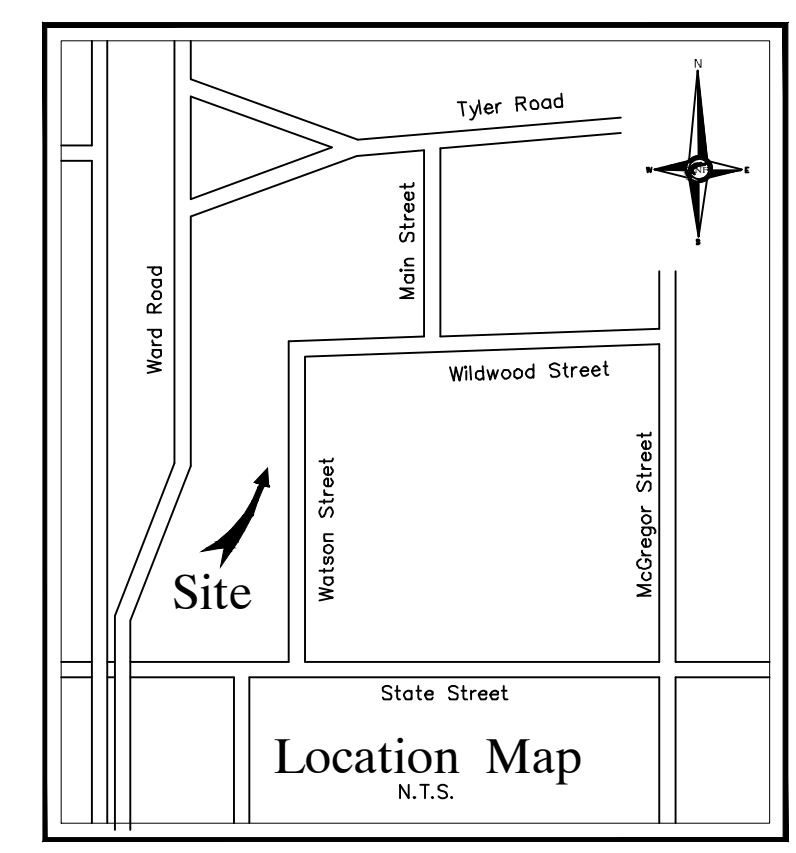
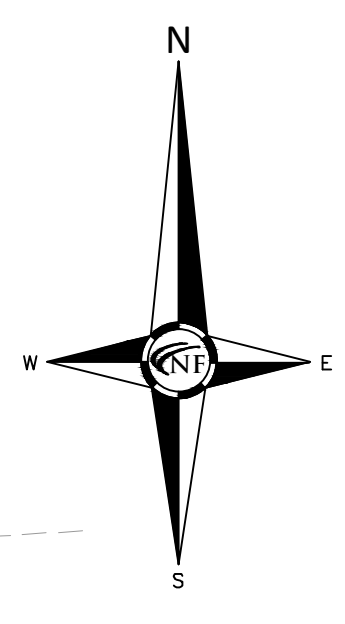
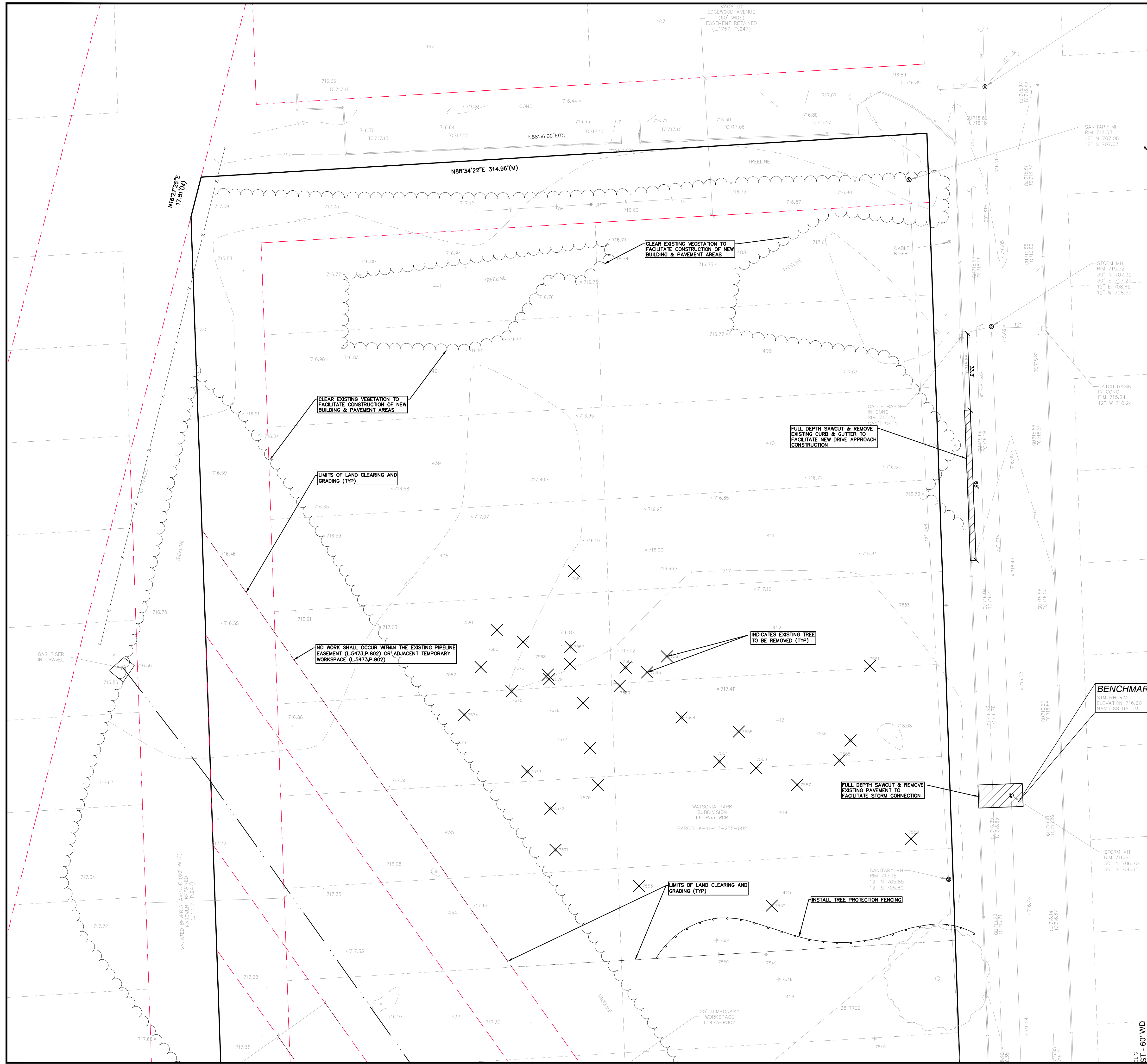


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N & F JOB #M994





DEMOLITION NOTES

DEMOLITION OF SITE IMPROVEMENTS SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE PUBLIC AGENCY HAVING JURISDICTION OVER SAID DEMOLITION.

FOR ANY DEMOLITION WITHIN PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR, AND SECURE, ALL NECESSARY PERMITS AND LICENSES AND MAKE ARRANGEMENTS FOR ALL SITE INSPECTIONS.

SITE DEMOLITION INCLUDES THE COMPLETE REMOVAL OF SITE IMPROVEMENTS AND OFF-SITE DISPOSAL. DEBRIS SHALL BE TRANSPORTED TO AN APPROPRIATE DISPOSAL FACILITY THAT IS LICENSED FOR THAT TYPE OF DEBRIS.

THE CONTRACTOR SHALL COORDINATE TRUCK ROUTES WITH THE MUNICIPALITY PRIOR TO COMMENCEMENT OF SITE DEMOLITION. ALL TRUCKS SHALL BE TARPED OR PROPERLY SECURED TO CONTAIN DEMOLITION DEBRIS PRIOR TO LEAVING SITE.

EXISTING ON-SITE UNDERGROUND UTILITIES AND BUILDING SERVICES HAVE BEEN INDICATED BASED UPON THE BEST AVAILABLE UTILITY RECORDS AND/OR ON-SITE INSPECTION. NO GUARANTEE IS MADE BY THE DESIGN ENGINEER AS TO THE COMPLETENESS OR ACCURACY OF UTILITY DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF UTILITY INFORMATION (THE DESIGN ENGINEER MAKES NO GUARANTEE NOR ASSUMES ANY LIABILITY AS TO THE COMPLETENESS AND/OR ACCURACY OF UTILITY DATA).

PRIOR TO THE REMOVAL OR ABANDONMENT OF ANY EXISTING UNDERGROUND UTILITY OR BUILDING SERVICE LINES CALLED FOR IN THE PLANS OR DISCOVERED DURING EXCAVATION, THE CONTRACTOR MUST DETERMINE IF THE UTILITY LINE OR BUILDING SERVICE IS STILL IN USE. IF THE UTILITY LINE OR BUILDING SERVICE IS STILL IN USE/ACTIVE THE CONTRACTOR MUST TAKE ALL THE NECESSARY STEPS TO GUARANTEE THAT THE UTILITY LINE OR BUILDING SERVICE IS RECONNECTED WITHOUT AN INTERRUPTION IN SERVICE. THE RECONNECTION OF THE UTILITY LINE OR BUILDING SERVICE MUST BE IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE APPROPRIATE GOVERNMENTAL AGENCY OR PRIVATE UTILITY COMPANY.

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO SITE DEMOLITION.

* THE CONTRACTOR SHALL NOTIFY MISS DIG (1-800-482-7171) A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO THE START OF THE SITE DEMOLITION.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH UTILITY COMPANY. REMOVAL OF THE UTILITY COMPANIES ELECTRICAL SERVICES SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND REQUIREMENTS OF THE UTILITY COMPANY.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH UTILITY COMPANY. REMOVAL OF THE UTILITY COMPANY GAS SERVICES SHALL BE IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE UTILITY COMPANY.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH THE APPROPRIATE CABLE MEDIA COMPANY. REMOVAL OF CABLE SERVICES SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND REQUIREMENTS OF THE CABLE COMPANY.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION OF PRIVATE UTILITY COMPANIES AND COORDINATE UTILITY SERVICE SHUT OFF/DISCONNECT, PRIOR TO DEMOLITION OF EXISTING STRUCTURES OR PROPERTIES.

ALL UTILITY METERS SHALL BE REMOVED BY THE APPROPRIATE UTILITY COMPANY.

ANY ON-SITE STORM SEWER FACILITIES LOCATED DURING DEMOLITION SHALL BE REMOVED AND BULK HEADED AT THE PROPERTY LINE IF INDICATED FOR REMOVAL ON THE PLANS.

PRIOR TO BUILDING DEMOLITION, ALL HAZARDOUS MATERIAL SHALL BE REMOVED BY OTHERS. THE DEMOLITION CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER SHOULD ANY SUSPICIOUS MATERIAL BE FOUND.

WATER SERVICES AND/OR STOP-BOX SHALL BE PRESERVED AND BULK HEADED AT THE PROPERTY LINE OR AS DIRECTED BY THE OWNER'S REPRESENTATION.

WHERE EXISTING BUILDINGS PLANNED FOR DEMOLITION FALL WITHIN PROPOSED BUILDING FOOT PRINTS, BASEMENT FLOOR SLABS, FOUNDATION WALLS AND FOOTINGS SHALL BE COMPLETELY REMOVED AND BACK FILLED WITH MOOT CLASS II GRANULAR MATERIAL AND BE MACHINE COMPACTED TO A MINIMUM OF 98% OF MATERIALS MAXIMUM DENSITY.

TOPOGRAPHIC SURVEY NOTES

ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.

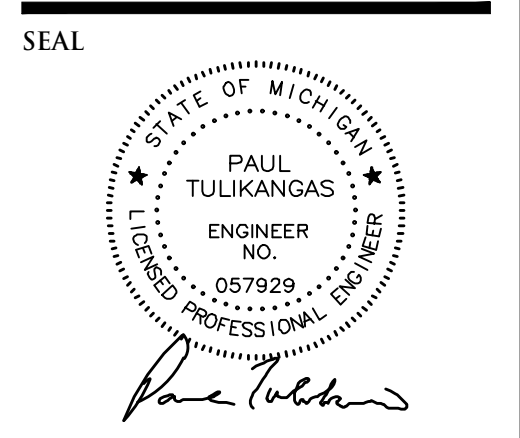
UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.

THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

LEGEND	
	EXISTING SANITARY SEWER
	EXISTING SAN. CLEAN OUT
	EXISTING WATER MAIN
	EXISTING STORM SEWER
	EX. R. Y. CATCH BASIN
	EXISTING BURIED CABLES
	OVERHEAD LINES
	LIGHT POLE
	SIGN
	EXISTING GAS MAIN
	EXISTING UTILITY TO BE REMOVED
	EXISTING UTILITY TO BE ABANDONED
	INDICATES AREAS OF PAVEMENT, BUILDINGS, ETC. TO BE REMOVED

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Frost Dispensary
1250 Watson Street
Ypsilanti, MI 48198

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Ludtke4648@gmail.com

PROJECT LOCATION
Part of the Northwest 1/4 of
Section 13
T.3S., R.7E.,
Ypsilanti Township,
Washtenaw County,
Michigan

SHEET
Demolition Plan



DATE ISSUED/REVISED
02-10-23 ISSUED FOR SITE PLAN REVIEW

DRAWN BY:
J. Lawrey

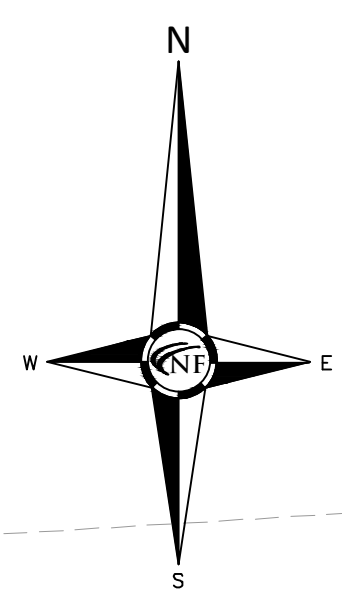
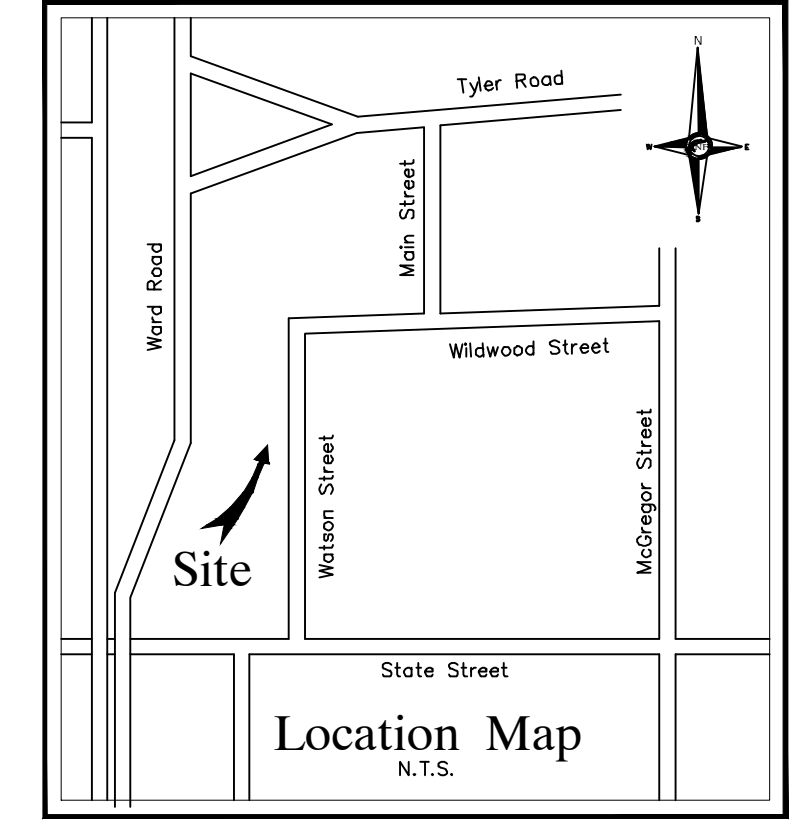
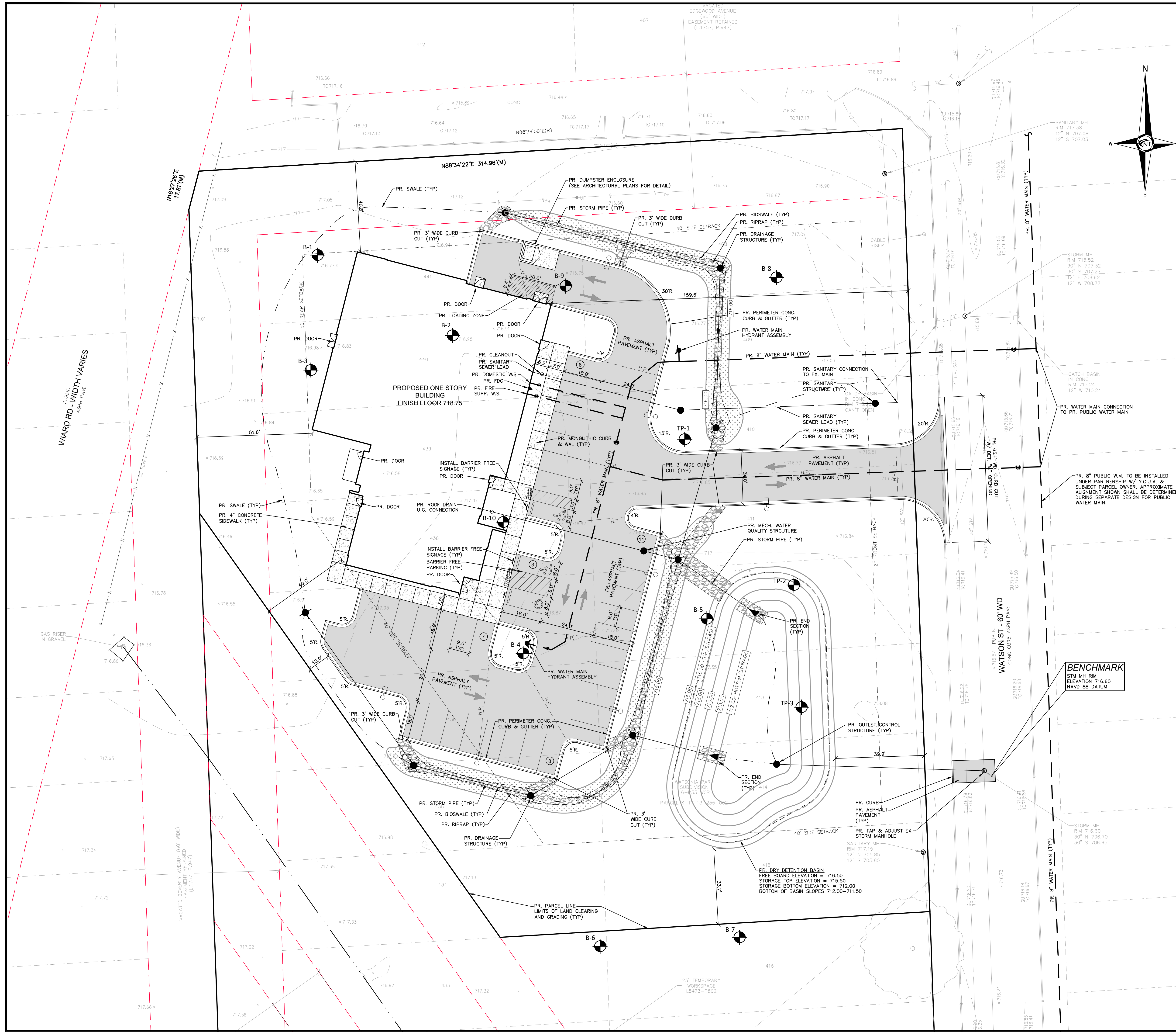
DESIGNED BY:
P. Tulikangas

APPROVED BY:
P. Tulikangas

DATE:
October 7, 2022

SCALE: 1" = 20'

NFE JOB NO. SHEET NO.
M994 SP01



FIRE DEPARTMENT NOTES

THE ENTIRE PROJECT SHALL CONFORM TO THE AUTHORITY HAVING JURISDICTION YPSILANTI TOWNSHIP'S ADOPTED FIRE CODE, ORDINANCES, AND THE MICHIGAN BUILDING CODE.

FIRE DEPARTMENT ACCESS ROADS SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROJECT.

FIRE LANES SHALL BE POSTED WITH APPROVED "FIRE LANE" SIGNS. THE TOWNSHIP SHALL HAVE FINAL DETERMINATION FOR THE STYLE OF SIGN AND THE PLACEMENT OF THEM.

ALL APPROPRIATE BUILDING PERMITS AND FIRE PROTECTION SYSTEMS SHALL BE OBTAINED THROUGH THE YPSILANTI BUILDING DEPARTMENT. DEFERRED SUBMITTAL IS REQUIRED. A THIRD PARTY REVIEW OF THE FIRE SUPPRESSION AND FIRE ALARM PLANS IS RECOMMENDED.

DIMENSIONING NOTE

DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB, FACE OF WALK OR CENTER OF STRIPING UNLESS OTHERWISE NOTED (TYP).

LOADING/UNLOADING NOTE

LOADING/UNLOADING FOR THE FACILITY WILL OCCUR WITHIN DESIGNATED AREA ON THE NORTH OF THE BUILDING.

SITE DATA

SITE IS PROPOSED FOR PARCEL SPLIT

SITE AREA
PARENT PARCEL (GROSS/NET): 267,726.89 SFT. OR 6.146 ACRES
PROPOSED PARCEL (GROSS/NET): 99,357.86 SFT. OR 2.281 ACRES

ZONING
EXISTING PARCEL: I-C (INDUSTRIAL COMMERCIAL)
ABUTTING PARCELS: I-C (INDUSTRIAL COMMERCIAL)

PARKING
REQUIRED: RETAIL SPACE: 1 SPACE / 325 GSF = 3,360 SF / 325 SF = 11 SPACES REQUIRED
INDUSTRIAL SPACE: 1 SPACE / 550 GSF = 7,035 SF / 550 SF = 13 SPACES REQUIRED
TOTAL SPACES REQ. = 24 SPACES

PROVIDED: 37 SPACES PROVIDED INCLUDING 3 BARRIER FREE SPACES

SITE AREA (PR. PARCEL)
BUILDING FOOTPRINT: 99,357.86 SFT. 100.0%
PARKING & DRIVES: 10,399.96 SFT. 10.47%
OPEN SPACE: 20,672.35 SFT. 20.81%
TOTAL: 130,430.17 SFT. 130.43%

SETBACK REQUIREMENTS REQUIRED
FRONT: 50'(E), 159.6'(E)
SIDE: 40'(S, SW), 40.3'(N), 40.0'(SW)
REAR: 30'(W), 51.6'(W)

ENVIRONMENTAL IMPACT ANALYSIS

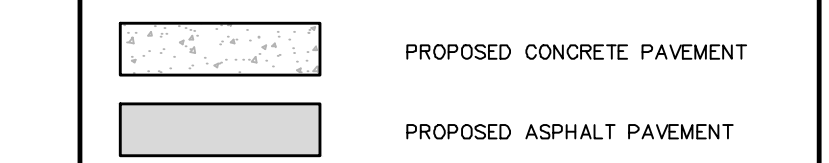
PROPOSED SUBJECT PARCEL FOR SITE (2.281 ACRES) WILL BE SPLIT FROM EXISTING 6.146 ACRE PARENT PARCEL (6.146 ACRES). THE FOLLOWING ARE KEY CONSIDERATIONS REGARDING ENVIRONMENTAL IMPACTS FOR THE PROPOSED DEVELOPMENT:

- ENTIRE PARENT PARCEL IS SURROUNDED BY THE SAME ZONING (I-C) ON ALL SIDES.
- PROPOSED SITE IS NOT ANTICIPATED TO CREATE ADVERSE EFFECTS ON NEIGHBORING PARCELS ASSOCIATED WITH NOISE, LIGHT, EMISSIONS, VIBRATIONS, OR CLARE.
- THERE ARE NO REGULATED FLOODWAYS, FLOODPLAINS, WOODLANDS, WETLANDS, STEEP SLOPES, OR OTHER PROTECTED ENVIRONMENTAL FEATURES KNOWN FOR EXIST ON THE PARENT PARCEL.

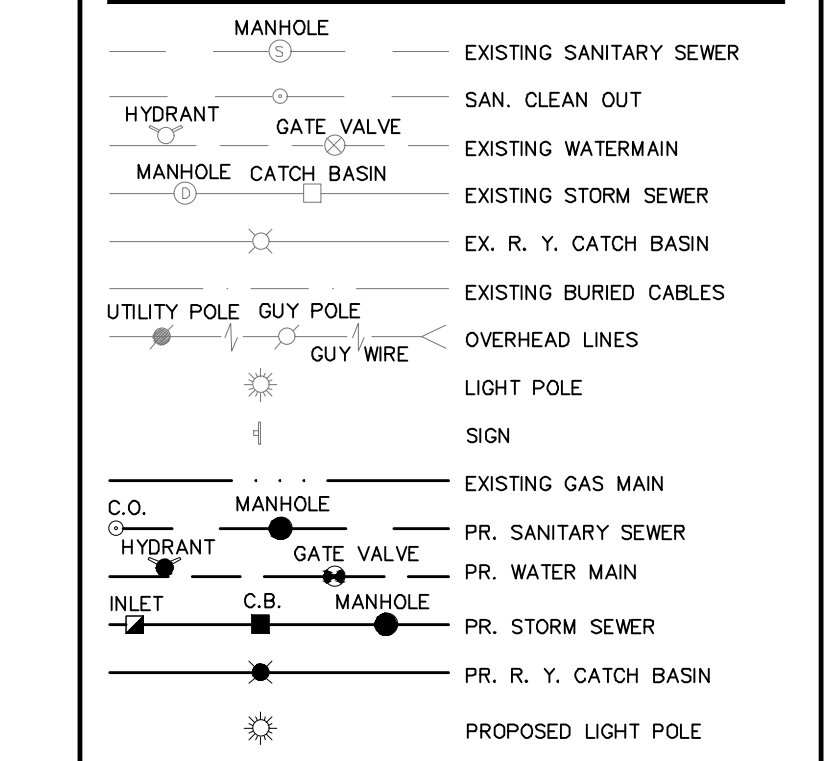
SOIL BORING & TEST PIT LEGEND

INDICATES SOIL BORING & TEST PIT LOCATIONS. REFER TO GEOLOGICAL REPORT AND INFILTRATION EVALUATION PERFORMED BY G2 CONSULTING GROUP DATED 11/18/22.

PAVING LEGEND



LEGEND



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PROJECT LOCATION
Part of the Northwest 1/4 of Section 13
T.3S., R.7E.,
Ypsilanti Township,
Washtenaw County,
Michigan

SHEET
Stringer Dimension Plan

DATE ISSUED/REVISED
02-10-23 ISSUED FOR SITE PLAN REVIEW

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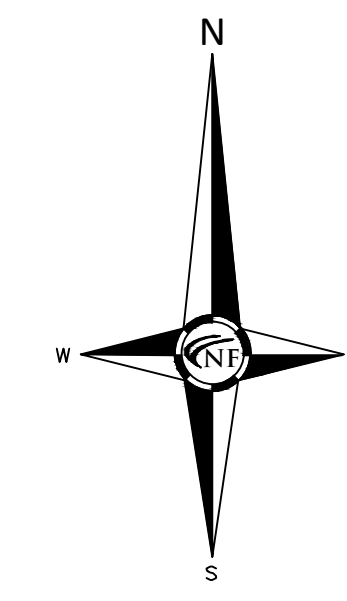
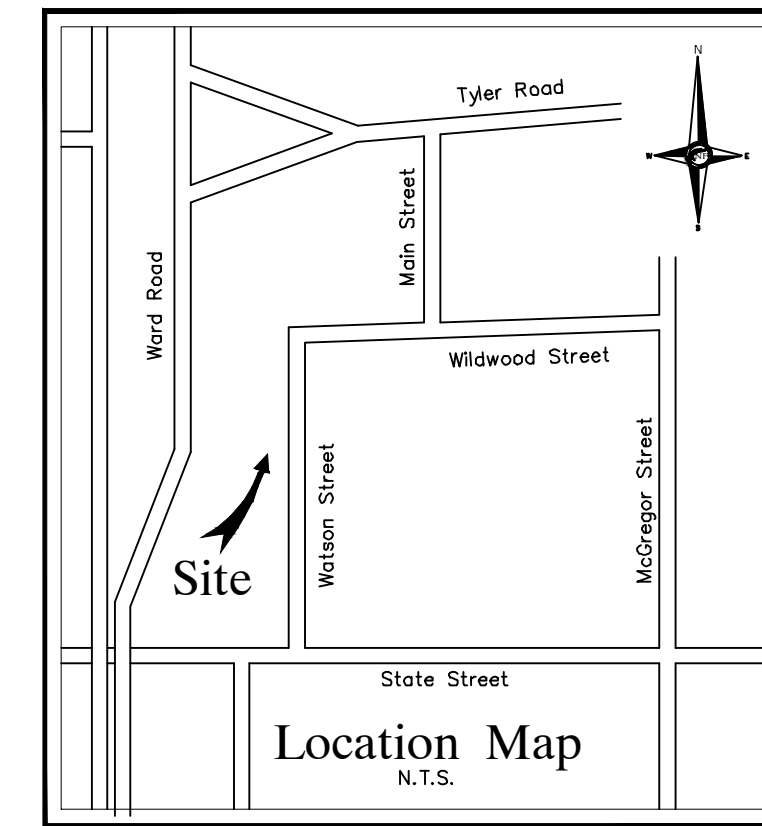
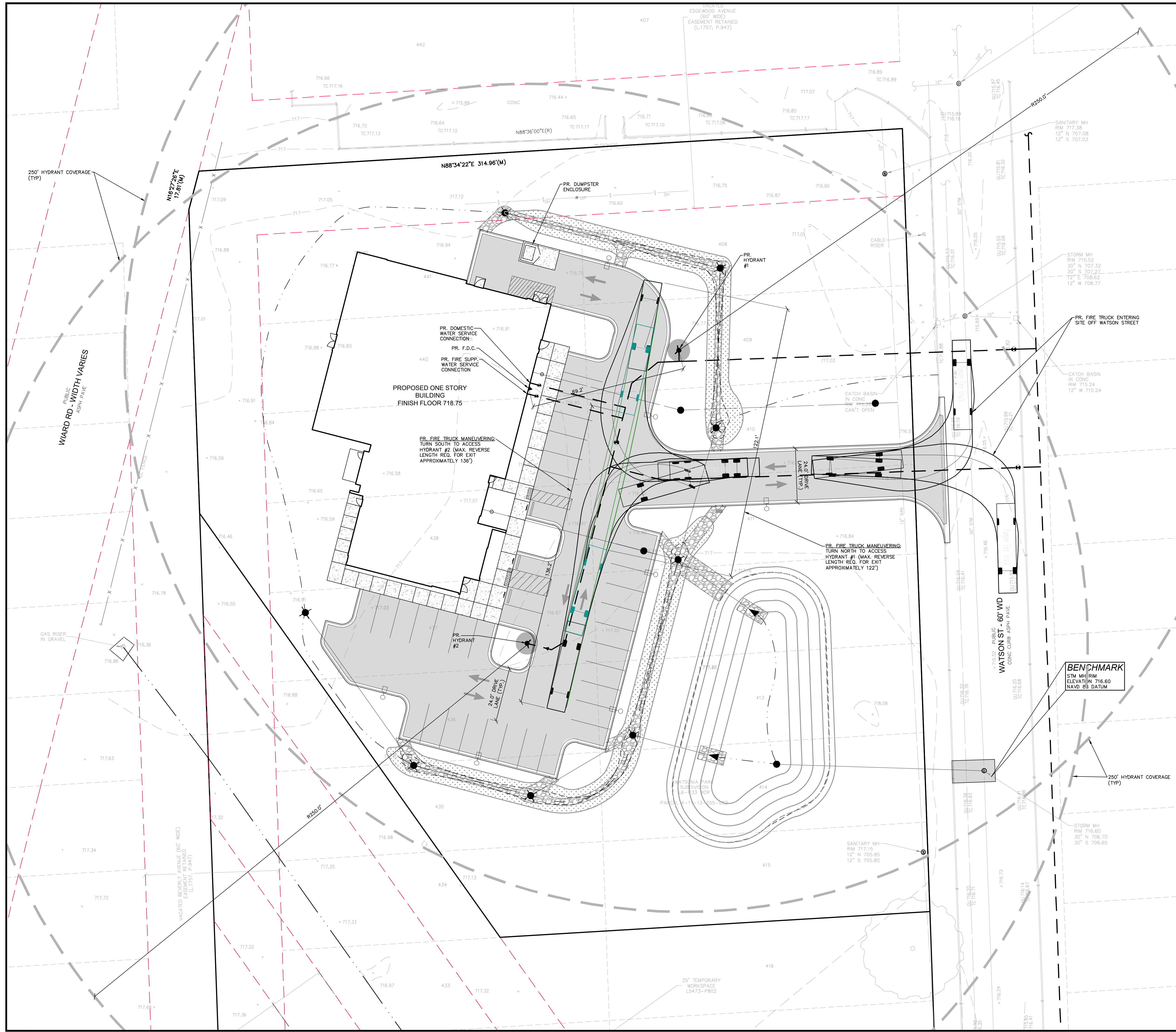
DESIGNED BY:
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APPROVED BY:
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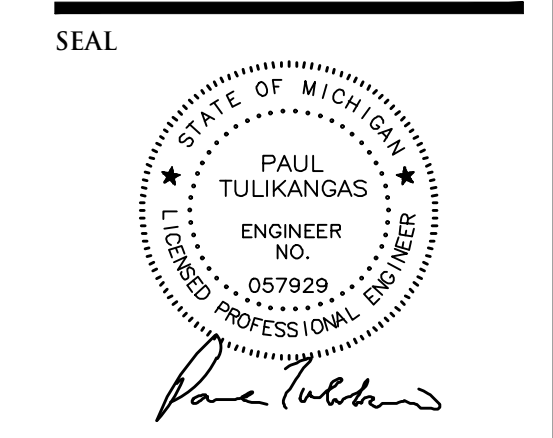
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NFE JOB NO. SHEET NO.
M994 SP02



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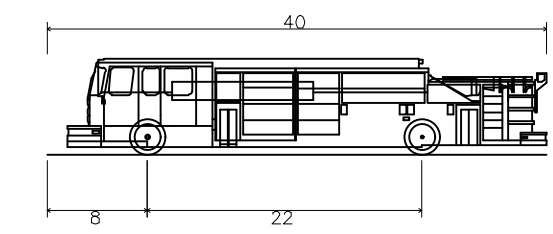


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PROJECT LOCATION
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 Michigan

SHEET
 Fire Protection Site Plan



Pumper Fire Truck
 Overall Length 40.000ft
 Overall Width 8.167ft
 Overall Body Height 7.745ft
 Min Body Ground Clearance 0.656ft
 Track Width 8.167ft
 Lock-to-lock time 5.00s
 Max Wheel Angle 45.00°

PAVING LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

LEGEND

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		SAN. CLEAN OUT
	MANHOLE CATCH BASIN		EXISTING WATERMAIN
	UTILITY POLE		EXISTING STORM SEWER
	GUY POLE		EX. R. Y. CATCH BASIN
	GUY WIRE		EXISTING BURIED CABLES
	LIGHT POLE		OVERHEAD LINES
	SIGN		EXISTING GAS MAIN
	C.O. MANHOLE		PR. SANITARY SEWER
	HYDRANT GATE VALVE		PR. WATER MAIN
	INLET C.B. MANHOLE		PR. STORM SEWER
	PR. R. Y. CATCH BASIN		PROPOSED LIGHT POLE



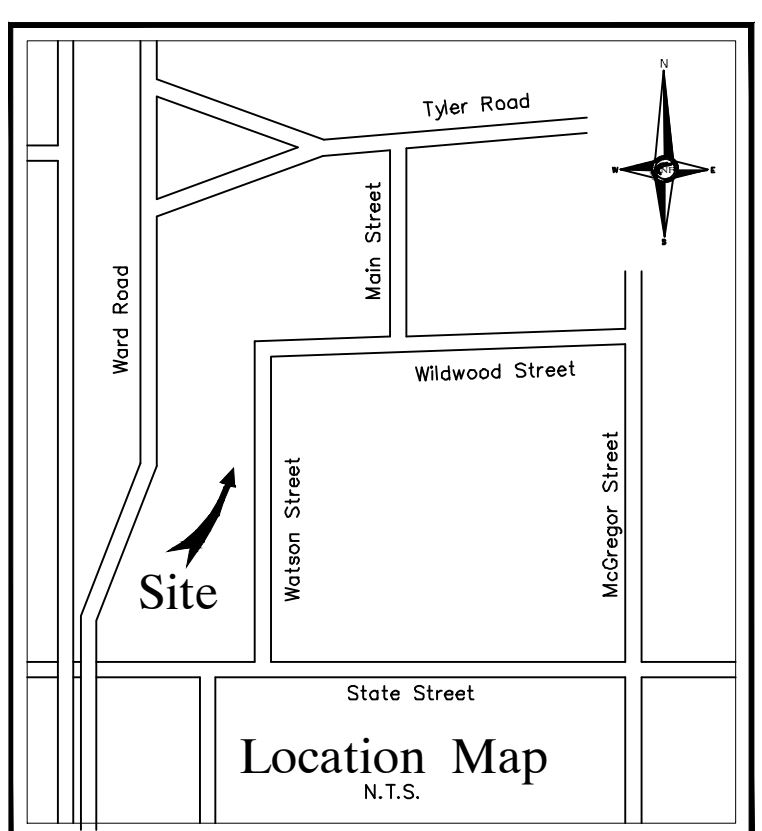
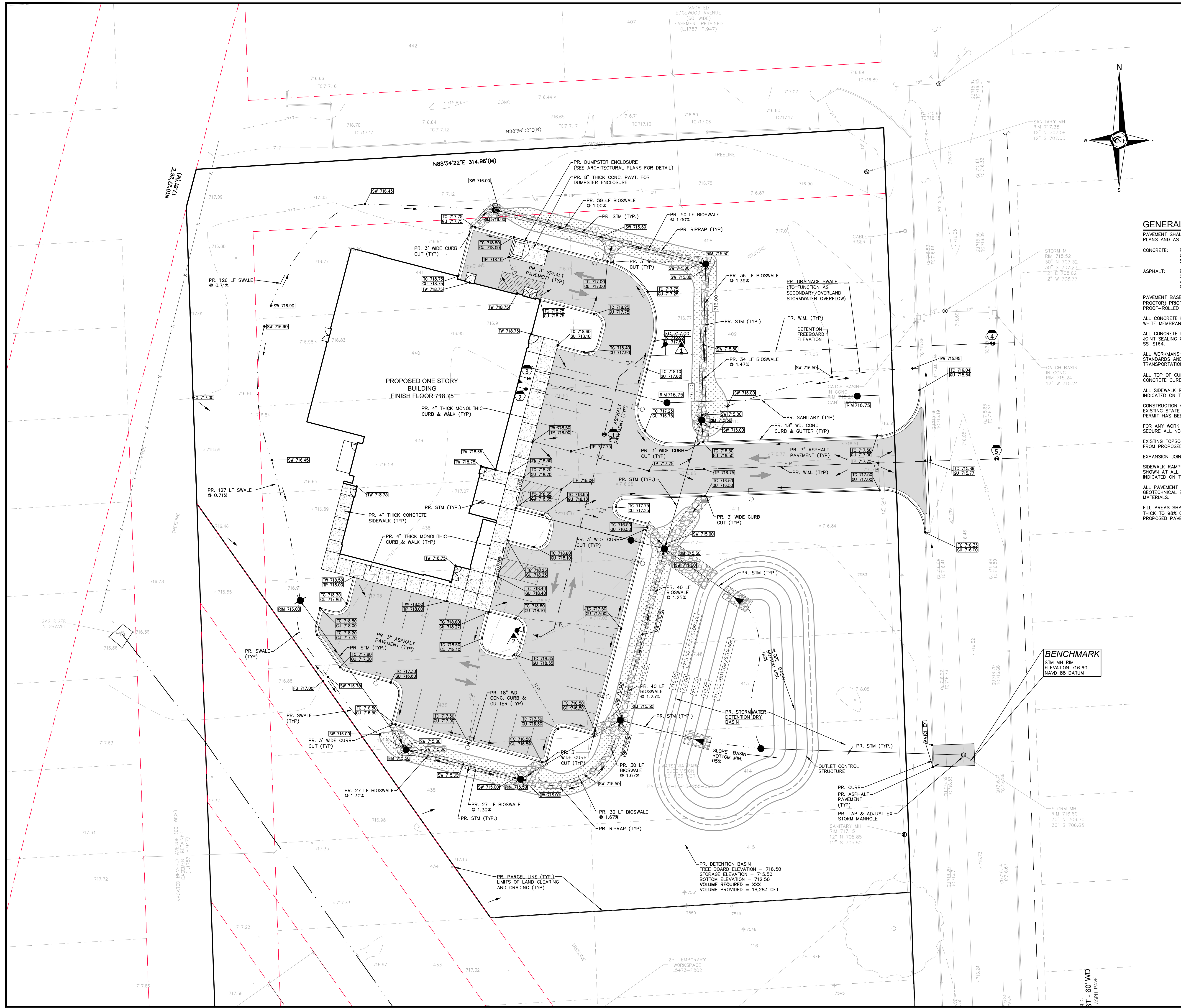
DATE ISSUED/REVISED
 02-10-23 ISSUED FOR SITE PLAN REVIEW

DRAWN BY:
 J. Lawrey
 DESIGNED BY:
 P. Tulikang
 APPROVED BY:
 P. Tulikang

DATE:
 October 7, 2022

SCALE: 1" = 20'
 20 10 0 10 20 30

NFE JOB NO. SHEET NO.
 M994 SP03



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GENERAL PAVING NOTES

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

CONCRETE: PORTLAND CEMENT TYPE I/A (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

ASPHALT: BASE COURSE - MDOT BITUMINOUS MIXTURE HMA 4EM, SURFACE COURSE - MDOT BITUMINOUS MIXTURE HMA SEM, ASPHALT CEMENT PENETRATION PG 64-22 - MDOOT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD.

PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.

ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.

ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-5164.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.

ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.

FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION.

EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.

EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADI.

SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.

ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.

FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.

SEAL

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PROJECT LOCATION
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SHEET
 Paving-Grading Plan



DATE ISSUED/REVISED
 02-10-23 ISSUED FOR SITE PLAN REVIEW

DRAWN BY:
 J. Lawrey

DESIGNED BY:
 P. Tulikang

APPROVED BY:
 P. Tulikang

DATE:
 October 7, 2022

SCALE: 1" = 20'

NFE JOB NO. SHEET NO.
 M994 SP04

PAVING LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

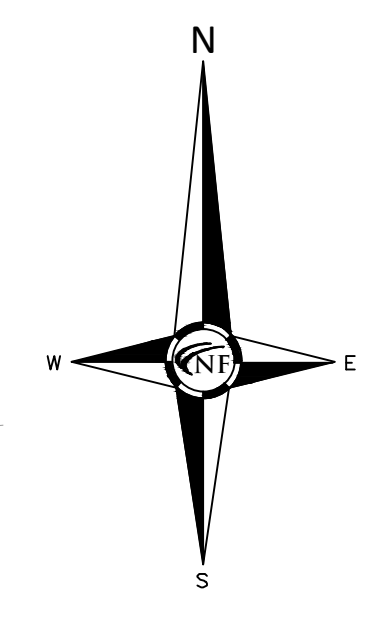
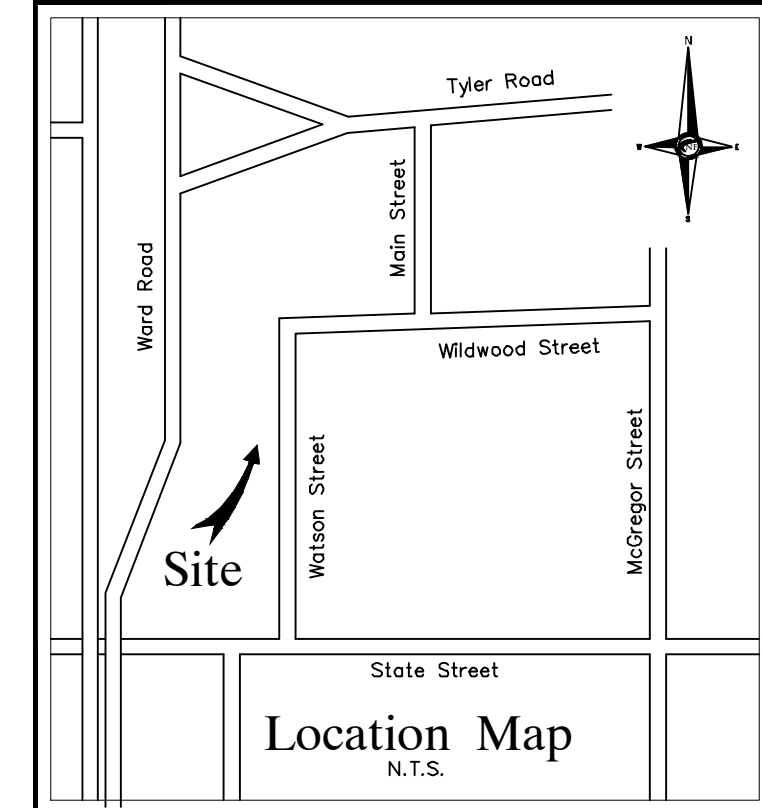
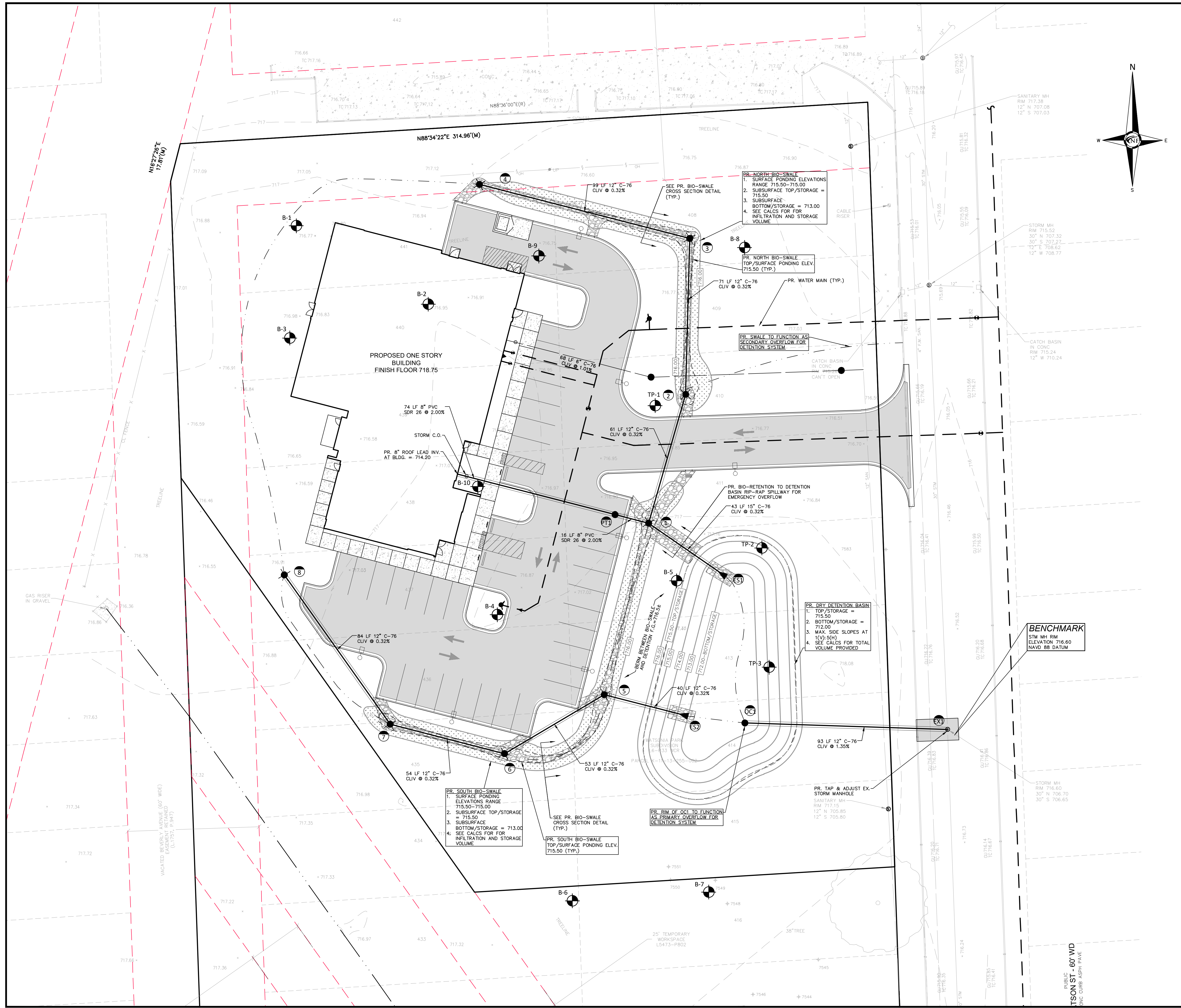
LEGEND

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		SAN. CLEAN OUT
	MANHOLE CATCH BASIN		EXISTING WATERMAIN
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	HYDRANT		PR. WATER MAIN
	INLET		PR. STORM SEWER
	C.B. MANHOLE		PR. R. Y. CATCH BASIN
	PROPOSED LIGHT POLE		PR. TOP OF CURB ELEVATION
	PR. TOP OF GUTTER ELEVATION		PR. TOP OF WALK ELEVATION
	PR. TOP OF PMT. ELEVATION		FINISH GRADE ELEVATION

BENCHMARK
 STM MH RM
 ELEVATION 716.60
 NAVD 88 DATUM

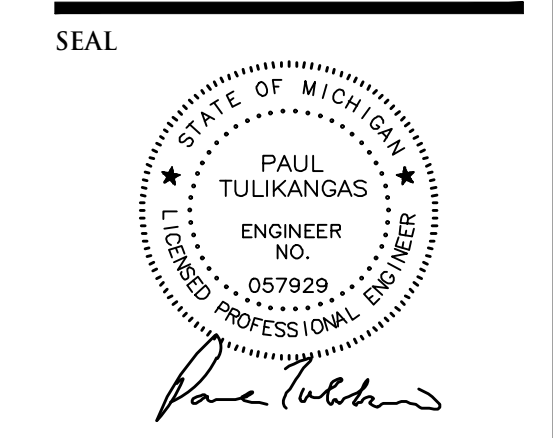
PR. DETENTION BASIN
 FREE BOARD ELEVATION = 716.50
 STORAGE ELEVATION = 715.50
 BOTTOM ELEVATION = 712.50
 VOLUME REQUIRED = XXX
 VOLUME PROVIDED = 18,283 CFT

1" = 60' WD
 ASPHALT DRIVE



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Part of the Northwest 1/4 of
Section 13
T.3S., R.7E.,
Ypsilanti Township,
Washtenaw County,
Michigan

SHEET
Stormwater Conveyance &
Management Plan



DATE ISSUED/REVISED
02-10-23 ISSUED FOR SITE PLAN REVIEW

DRAWN BY:
J. Lawrey
DESIGNED BY:
P. Tulikang
APPROVED BY:
P. Tulikang

DATE:
October 7, 2022

SCALE: 1" = 20'
20 10 0 10 20 30

NFE JOB NO. SHEET NO.
M994 SP05

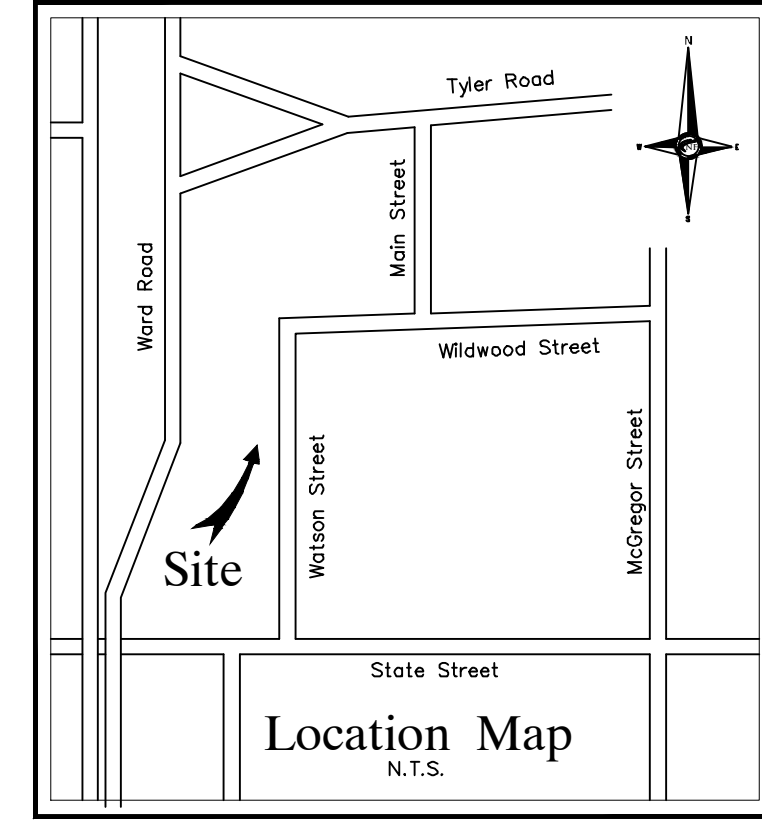
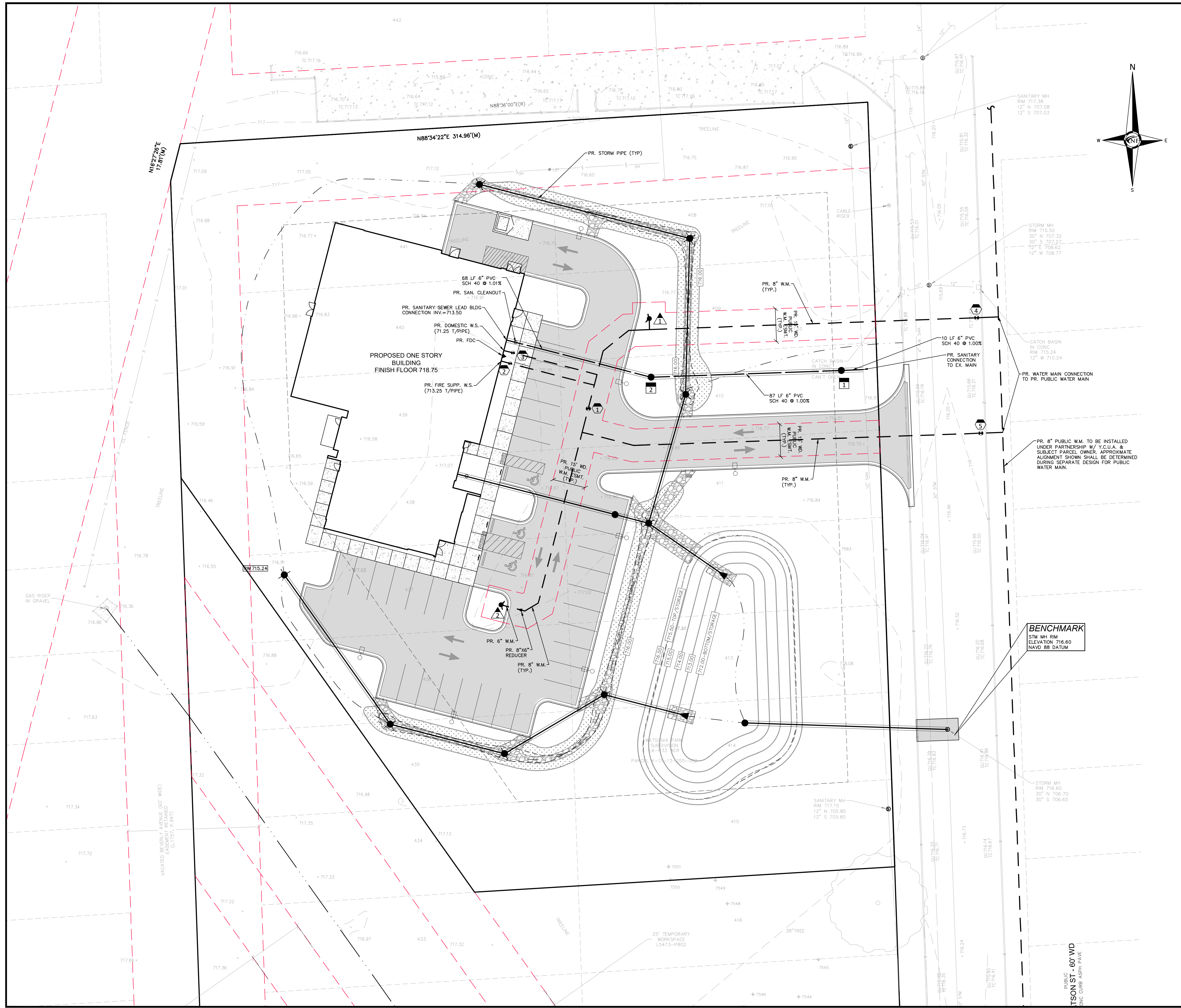
FROST DISPENSARY - 1250 WATSON STREET, YPSILANTI, MI							
STORMWATER DETENTION CALCULATIONS							
WASHTENAW COUNTY METHOD							
POST DEVELOPMENT PART E W1 (Post Development)							
Cover	Soil Type	Area (sf)	Area (ac)	Runoff Coefficient	CxA		
WATER	NA	6,490.00	0.149	1.00	0.149		
PAVING	NA	20,672.35	0.475	0.95	0.451		
BUILDING	NA	10,359.86	0.239	0.95	0.227		
Open Space - Good*	A	61,795.55	1.419	0.25	0.365		
Total CxA					1.181		
Total Site Area					2,281		
Weighted C					0.518		
PRE-DEVELOPMENT PART E W1 (Pre-Development)							
Cover	Soil Type	Area (sf)	Area (ac)	Runoff Coefficient	CxA		
WATER	NA	0.00	0.000	1.00	0.000		
PAVING	NA	0.00	0.000	0.95	0.000		
BUILDING	NA	0.00	0.000	0.95	0.000		
Woods - Good*	A	99,357.86	2.281	0.25	0.570		
Total CxA					0.570		
Total Site Area					2,281		
Weighted CN					61.44		
W2 First Flush Volume (First 1" of rain over entire watershed)							
Vf = (1 in) / 12 in * (43560 ft ² / 1 acre) * AC							
Vf = 4,288.13 cf							
W3 PRE-DEVELOPMENT Bankfull							
P = 2.35 in							
CN = 30.00							
S = 1000/CN-10							
S = 23.333							
Q = (P-0.2)S ² / (P+0.8)S							
Q = 0.255 in							
A = 99,357.86 Total Site Area Excluding Self Crediting BMP SF							
Vb _{pre} = Q(V/12)Area							
Vb _{pre} = 2114.386 cf							
W4 Pervious Post-Development Bankfull							
P = 2.35 in							
CN (Pervious) = 39							
S = 1000/CN-10							
S = 15.641							
Q = (P-0.2)S ² / (P+0.8)S							
Q = 0.041 in							
A = 61,795.55 Pervious Cover Area Post Dev. SF							
Vb _{post} = Q(V/12)Area							
Vb _{post} = 209.828 cf							
W5 Impervious Post-Development Bankfull							
P = 2.35 in							
CN (Impervious) = 90							
S = 1000/CN-10							
S = 0.204							
Q = (P-0.2)S ² / (P+0.8)S							
Q = 2.122 in							
A = 37,562.310 Impervious Cover Area Post Dev. SF							
Vb _{imp-post} = Q(V/12)Area							
Vb _{imp-post} = 6641.248 cf							
W6 Pervious Post-Development 100 Year							
P100 = 5.11 in							
CN (Pervious) = 39							
S = 1000/CN-10							
S = 15.641							
Q = (P-0.2)S ² / (P+0.8)S							
Q = 0.223 in							
A = 61,795.55 Pervious Cover Area Post Dev. SF							
V100-per-post = Q(V/12)Area							
V100-per-post = 1147.672 cf							
W7 Impervious Post-Development 100 Year							
P100 = 5.11 in							
CN (Impervious) = 90							
S = 1000/CN-10							
S = 0.204							
Q = (P-0.2)S ² / (P+0.8)S							
Q = 4.873 in							
A = 37,562.310 Pervious Cover Area Post Dev. SF							
V100-imp-post = Q(V/12)Area							
V100-imp-post = 15253.429 cf							
W8 Time of Concentration							
Flow Type	K	Delta Elev.	L	Slope (%) (S)	S ^{0.5}	V = K*S ^{0.5} *(L/2)	Tc-hrs = L/(V*3600)
Sheet Flow	-	-	-	-	-	-	-
Pipe Flow	-	-	-	-	-	-	-
Tc Total	-	-	-	-	-	-	Assume 15 Minutes
W9 Runoff Summary							
Vf = 4,288.13 cf							
Vb _{pre} = 2114.386 cf							
Vb _{post} = 209.828 cf							
Vb _{imp-post} = 6641.248 cf							
V100-per-post = 1147.672 cf							
V100-imp-post = 15253.429 cf							
Total BF Volume (Vb _{post}) 6851.075 cf							
Total 100 Year Volume 16401.101							
Total BF Volume (Vb _{post}) 6851.075 cf							
Pre-Development Bankfull (Vb _{pre}) 2114.386 cf							
Bankfull Volume Difference 4736.689							
Onsite Infiltration Req. 4736.689 cf						(Greater Bankfull Volume Difference OR First Flush Volume)	
W10 Detention/Retention Requirements							
Qp = 238.87 cfs @ 0.82							
Qp = 743.835 cfs @ 1.0							
Area Total = 2.281							
Q100 = Q100-per + Q100-imp							
Q100 = 5.096							
P = Peak Flow (PF) = Qp * 100 * A * 640							
Delta = pf * 15' Area							
Delta = 13.183 cfs							
Vdet = (Delta) * P / 100 - Min Required Detention							
Vdet = 15965.605							

t =		15		TIME OF CONCENTRATION (MINUTES)																							
n (PVC) =		0.013		10 YEAR STORM EVENT INTENSITY PER WASHTENAW COUNTY																							
n (PVC) =		0.011		MANNING'S ROUGHNESS COEFFICIENT																							
DRAINAGE AREA & STORM SEWER CALCULATIONS																											
Location	Rational Method	Runoff Coefficient	CA	S CA	Time of Concentration (min)	Intensity (in/hr)	Runoff Q = CIA	Pipe Capacity (cfs)	Pipe Velocity (ft/sec)	Pipe Slope (% Slope)	Diameter (in)	Length (ft)	U.S. Elev. Elev.	Hydraulic Gradient													
4	3	A	0.202	0.295	0.060	0.060	15.00	0.66	4.38	0.261	2.02	2.57	0.32	12	99	715.50	713.38	713.37	2.50	0.01	0.005	712.89	712.57	0.32	0.17	1.44	0.013
3	2	B	0.377	0.337	0.127	0.187	15.66	0.47	4.30	0.804	2.02	2.57	0.32	12	71	715.50	713.18	713.15	2.50	0.04	0.051	712.57	712.34	0.23	0.17	1.76	0.013
2	1	C	0.201	0.455	0.092	0.278	16.13	0.41	4.25	1.184	2.02	2.57	0.32	12	61	715.50	713.15	713.08	2.50	0.07	0.110	712.34	712.14	0.20	0.17	1.99	0.013
ROOF																											
PT1	1	D	0.239	0.950	0.227	15.00	0.43	4.38	0.993	2.02	5.79	2.00	8	74	718.75	713.61	713.25	2.85	0.36	0.484	714.20	712.72	1.48	0.08	3.82	0.011	
PT1	1	E	0.000	0.000	0.000	0.227	15.43	0.09	4.33	0.983	2.02	5.79	2.00	8	16	716.65	713.15	713.08	2.82	0.08	0.473	712.72	712.40	0.32	0.08	3.20	0.011
1																											
ES1	1	E	0.202	0.735	0.149	0.654	16.54	0.29	4.21	2.755	3.65	2.98	0.32	15	43	715.50	713.08	713.00	2.50	0.08	0.182	712.14	712.00	0.14	0.17	1.84	0.013
8																											
J	7	J	0.190	0.545	0.104	0.104	20.00	0.56	3.89	0.403	2.02	2.57	0.32	12	84	716.00	713.28	713.27	2.50	0.01	0.013	712.74	712.47	0.27	0.17	2.09	0.013
7																											
I	6	I	0.134	0.631	0.085	0.188	20.56	0.36	3.84	0.723	2.02	2.57	0.32	12	54	715.50	713.12	713.10	2.50	0.02	0.041	712.47	712.30	0.17	0.17	1.86	0.013
6																											
H	5	H	0.159	0.382	0.061	0.249	20.92	0.35	3.81	0.948	2.02	2.57	0.32	12	53	715.50	712.97	712.95	2.50	0.04	0.071	712.30	712.13	0.17	0.17	2.03	0.013
5																											
ES2	1	G	0.083	0.528	0.044	0.293	21.27	0.27	3.78	1.107	2.02	2.57	0.32	12	40	715.50	712.84	712.80	2.50	0.04	0.097	712.13	712.00	0.13	0.17	2.20	0.013

MULTI-STAGE ORIFICE OUTLET CONTROL STRUCTURE CALCULATIONS - DETENTION BASIN	
Based on WCVRC Requirements	
Name of Project:	Frost Dispensary
Location of Project:	Ypsilanti Twp
Total Site Area:	2,281 acres
Contributing Area ("A"):	2,281 acres
Weighted Runoff Coefficient ("C"):	0.518
Allowable Discharge Rate:	0.15 cfs/acre
Q = 2 * A * C * R (Maximum Discharge):	0.94 cfs
Outlet Structure Orifice Outlet Equations	
Outlet Elevations	
Ztop	713.50 (Elev. @ 100-Year Storage)
Zb	713.50 (Elev. @ Bottom of Det. Storage)
Zoutlet	713.50 (Elev. @ Outlet Control)
First Flush Calculations (Formula: Vff = 3630 * A * C)	
Vff (First Flush Volume)	4,288.13 cubic feet
Zff (First Flush Elevation)	713.83
Outlet Calculations for First Flush Volume	
A. Determine Required Orifice Size	
Qmin (Ree. Ave. Release Rate, 24 hour release) (Vff/24*3600)	0.03 cfs
Qmax (Average Head) (Zff/Zff-Zb)	1.55 feet
Area (Area of Orifice (Square Feet) required to discharge Qmin @ (Qmin/H) (0.62*A*H ^{1.5} *Z ^{0.5})*1.1)	0.008 square feet
B. Select Number and Size for Proposed Orifice(s)	
Selected Diameter of Orifice(s) (inches)	1.000 inch
Area (Area of selected orifice(s) in square feet)	0.005 square feet
Max. # of Orifices (at Zoutlet) (Area-bf/Area)	1.467 Orifice(s)
Provided # of orifices (at Zoutlet)	1 Orifice(s)
Area-bf (Provided total orifice area (at Zoutlet) (Area * # orifices(s)))	0.005 square feet
C. Calculate Actual First Flush Flow Rate & Detention Time (Must exceed 24-hour storage time)	
Qact (Actual Average Release Rate) (0.62*A*H ^{1.5} *Z ^{0.5})	0.03 cfs
Tff (Actual Holding Time) (Vff/Qact-ff/3600 sec/hr)	35.22 hours
Bankfull Flood Calculations (Formula: Vbf = 5160 * A * C)	
Vbf (Bankfull Flood Volume)	6,851.08 cubic feet
Zbf (Bankfull Flood Elevation)	714.39
Outlet Calculations for Bankfull Flood Volume	
A. Check if additional holes for bankfull volume are required at first flush elevation.	
Have-H (Avg Head on FF Holes(s)) (Zbf/Zbf-Zb)	1.93 feet
Qcheck (Check flow through First Flush Holes) (0.62*A*H ^{1.5} *Z ^{0.5})*1.1	0.04 cfs
Qactff (Check Detention Time w/ only First Flush Holes) (Vbf/Qcheck) * 1.1 hr/3600 sec	50.52 hours*
*Since detention time would exceed 48 hours, additional holes are required.	
B. Calculate Remaining Volume and Time between Bankfull and First Flush	
Vrem (Rem. Vol.) (Remaining Volume = Difference between Vbf and Vff)	2,562.95 cubic feet
Select Target (Target Release Time for Remaining Volume must be between 36 and 48 hours)	44.00 hours
Trem = (Target - Tff) (Time Remaining)	8.78 hours
C. Calculate Release through FF Holes during Time Remaining (while FF and BF holes are contributing)	
Have-H (Avg Head on FF Holes(s)) (Zbf/Zbf-Zb)	2.70 feet
Qcheck (Flow through FF Holes when FF and BF volumes are contributing) (0.62*A*H ^{1.5} *Z ^{0.5})*1.1	0.04 cfs
Head (Rem. Vol.) (Rem. Vol. / Trem)	1,410.92 cubic feet
D. Calculate "leftover" volume to be released through BF holes and required Orifice Size at Zff	
Vbf (Rem. Vol.) (Volume released by BF orifices) (Time Remaining * Trem)	1,352.43 cubic feet
Qbf (Vbf/Trem/3600 sec/hr)	0.04 cfs
Area-bf (Area of Orifice (Square Feet) required to discharge Qbf at Zff) ((0.62*A*H ^{1.5} *Z ^{0.5})*1.1)	0.31 square feet
E. Select Number and Size for Proposed Orifice(s)	
Diameter of Orifice (inches)	1.000 inch
Area (Area of Orifice (Square Feet))	0.005 square feet
Max. # of Orifices (at Zff) (Area-bf/Area)	2.199 Orifice(s)
Provided # of orifices (at Zoutlet)	2 Orifice(s)
Area-bf (Provided total orifice area (at Zff) (Area * # orifices(s)))	0.011 square feet
Calculate Actual Bankfull Flow Rate & Detention Time	
Qactbf (Actual Average Release Rate) (0.62*A*H ^{1.5} *Z ^{0.5})	0.04 cfs
Tbf (Actual Holding Time) (Trem + (Vrem/Qactbf-ff + Qactbf)/3600 sec/hr) (Must be between 36 and 48 hours)	44.37 hours
100-Year Storm (1% Storm) Calculations	
A. Calculate maximum flow passing through FF and BF orifices to determine required Orifice Size at Zbf	
Qff (Flow through FF Holes when FF and BF volumes are contributing) (0.62*A*H ^{1.5} *Z ^{0.5})	0.03 cfs
Qbf (Flow through BF Holes when FF and BF volumes are contributing) (0.62*A*H ^{1.5} *Z ^{0.5})	0.07 cfs
Qff + Qbf	0.12 cfs
Qmax-100 (Qmax-100) (Qff + Qbf)	0.22 cfs
Area-100 (Qmax-100) (0.62*A*H ^{1.5} *Z ^{0.5})*1.1	0.06 square feet
Select Number and Size for Proposed Orifice(s)	
Diameter of Orifice (inches)	1.000 inch
Area (Area of Orifice (Square Feet))	0.005 square feet
Max. # of Orifices (at Zbf) (Area-bf/Area)	10.481 Orifice(s)
Provided # of orifices (at Zoutlet)	7 Orifice(s)
Area-bf (Provided total orifice area (at Zbf) (Area * # orifices(s)))	0.038 square feet
B. Check that allowable flow rate has not been exceeded by actual orifices provided.	
Qff + Qbf (0.62*A*H ^{1.5} *Z ^{0.5})*1.1	0.32 cfs*
*Orifice design is acceptable for flow rate since provided orifices discharge less than Qa.	
C. Calculate flow discharge through FF holes when all holes are contributing	
Qff (Discharge through FF orifices) when all holes are contributing (0.62*A*H ^{1.5} *Z ^{0.5})*1.1	3.63 feet
Qbf (Discharge through BF orifices) when all holes are contributing (0.62*A*H ^{1.5} *Z ^{0.5})*1.1	0.05 cfs
D. Calculate flow discharge through 10-year storm holes when all holes are contributing	
Q100-ave (Discharge through 100-year orifices) when all holes are contributing (0.62*A*H ^{1.5} *Z ^{0.5})*1.1	0.74 feet
Q100 (Discharge through 100-year orifices) when all holes are contributing (0.62*A*H ^{1.5} *Z ^{0.5})*1.1	0.16 cfs
E. Confirm 100-year storm volume is discharged in less than 72 hours.	
V100 (Volume of 100-year Storm)	9,234.61 cubic feet
Vrem (V100-Vbf)	2,383.53 cubic feet
T100 = Vrem / (Vrem/Qa) + Qa + 100 * Q100-ave (3600 sec/hr)	46.76 hours*
*Since total detention time for 100-year storm volume is less than 72 hours, design meets both time of detention and flow rate requirements.	

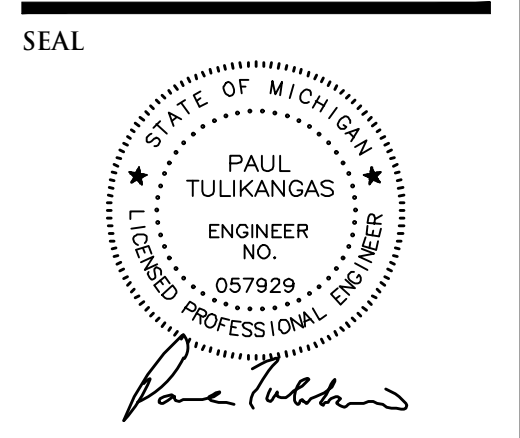
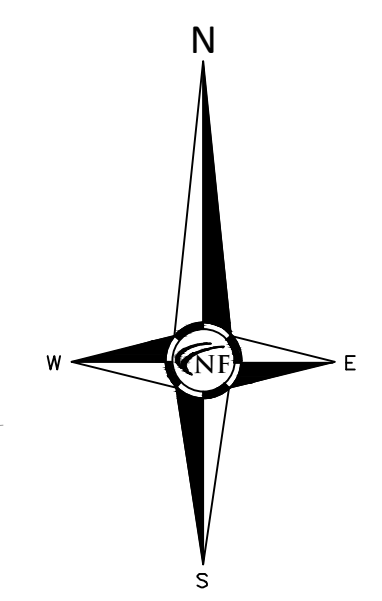
PROVIDED INFILTRATION VOLUME CALCULATIONS - SOUTH BIO-SWALE	
PROVIDED INFILTRATION VOLUME	
1. Calculate Average Infiltration Area (A1)	
A1 = Subsurface Infiltration area at top of storage (715.50)	2,285.0 ft ²
A2 = Subsurface Infiltration area at bottom of storage (713.00)	1,682.0 ft ²
A = (A1+A2)/2	1,983.5 ft ²
2. Calculate Infiltration Volume (V) over 6-hour time period	
Field Measured Infiltration Rate (Ksat) (in-situ infiltration rate)	6.00 in/hr
SF (safety factor)	2
Design Infiltration Rate = Ksat/SF = Kides	3.00 in/hr
T (Allowable Infiltration Time)	6.00 hr
V = (Kides * T * A) / 12	3,981.30 ft ³
TOTAL INFILTRATION VOLUME PROVIDED:	2,983 cft
PROVIDED BIOTRETION VOLUME CALCULATIONS - SOUTH BIO-SWALE	
1. Calculate Biotretion Surface Storage Volume (Vss)	
Hmax = Maximum BMP ponding depth	0.50 ft
Havg = Average BMP ponding depth	0.25 ft
A = Area of Ponding	680.0 ft ²
Vss = A * Havg	170.0 ft ³
2. Calculate Biotretion Subsurface Storage Volume (Vsub)	
Hsoil = engineered soil depth	2.00 ft
Soil = void ratio of engineered soil	0.20
SA = A2 = Area of bioretention at bottom of storage	1602.0 ft ²
Vsub = (Hsoil * Soil) * SA	676.8 ft ³
3. Calculate Total Biotretion Volume (Vb = Vss + Vsub)	846.8 ft ³
TOTAL BIOTRETION VOLUME PROVIDED:	847 cft

PROVIDED INFILTRATION VOLUME CALCULATIONS - NORTH BIO-SWALE	
PROVIDED INFILTRATION VOLUME	
1. Calculate Average Infiltration Area (A1)	
A1 = Subsurface Infiltration area at top of storage (715.50)	1,753.0 ft ²
A2 = Subsurface Infiltration area at bottom of storage (713.00)	1,304.0 ft ²
A = (A1+A2)/2	1,528



NF ENGINEERS
 CIVIL ENGINEERS
 LAND SURVEYORS
 LAND PLANNERS

NOWAK & FRAUS ENGINEERS
 4677 WOODWARD AVE.
 PONTIAC, MI 48342-5032
 TEL. (248) 332-7931
 FAX. (248) 332-8257
 WWW.NOWAKFRAUS.COM



PROJECT
 Frost Dispensary
 1250 Watson Street
 Ypsilanti, MI 48198

CLIENT
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PROJECT LOCATION
 Part of the Northwest 1/4 of
 Section 13
 T.3S., R.7E.,
 Ypsilanti Township,
 Washtenaw County,
 Michigan

SHEET
 Water & Sanitary Sewer
 Plan



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 M994 SP07

HYDRANT SCHEDULE

1	6" FIRE HYDRANT ASSEMBLY (PER MUNICIPAL REQ.)	2	6" FIRE HYDRANT ASSEMBLY (PER MUNICIPAL REQ.)
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GATE VALVE SCHEDULE

1	8" GATE VALVE IN WELL	4	8" GATE VALVE IN WELL
2	FIRE SUPP. SHUT-OFF VALVE IN BOX	5	8" GATE VALVE IN WELL
3	DOMESTIC SHUT-OFF VALVE IN BOX		

Sanitary Structure Schedule

Structure Name	Structure Details
#1 4" DIA. MANHOLE	PR. RIM 716.75 PR. 6" E. INV. 706.74 PR. 6" W. INV. 709.44
#2 4" DIA. MANHOLE	PR. RIM 716.75 PR. 6" E. INV. 710.31 PR. 6" W. INV. 712.81

LEGEND

MANHOLE	EXISTING SANITARY SEWER
HYDRANT	SAN. CLEAN OUT
MANHOLE	EXISTING WATER MAIN
MANHOLE	EXISTING STORM SEWER
UTILITY POLE	EX. R. Y. CATCH BASIN
GUY WIRE	EXISTING BURIED CABLES
GUY WIRE	OVERHEAD LINES
GUY WIRE	LIGHT POLE
GUY WIRE	SIGN
GUY WIRE	EXISTING GAS MAIN
C.O. MANHOLE	PR. SANITARY SEWER
HYDRANT	PR. WATER MAIN
INLET	PR. STORM SEWER
C.B. MANHOLE	PR. R. Y. CATCH BASIN
C.B. MANHOLE	SAND BACKFILL (95% DENSITY)
C.B. MANHOLE	PROPOSED LIGHT POLE

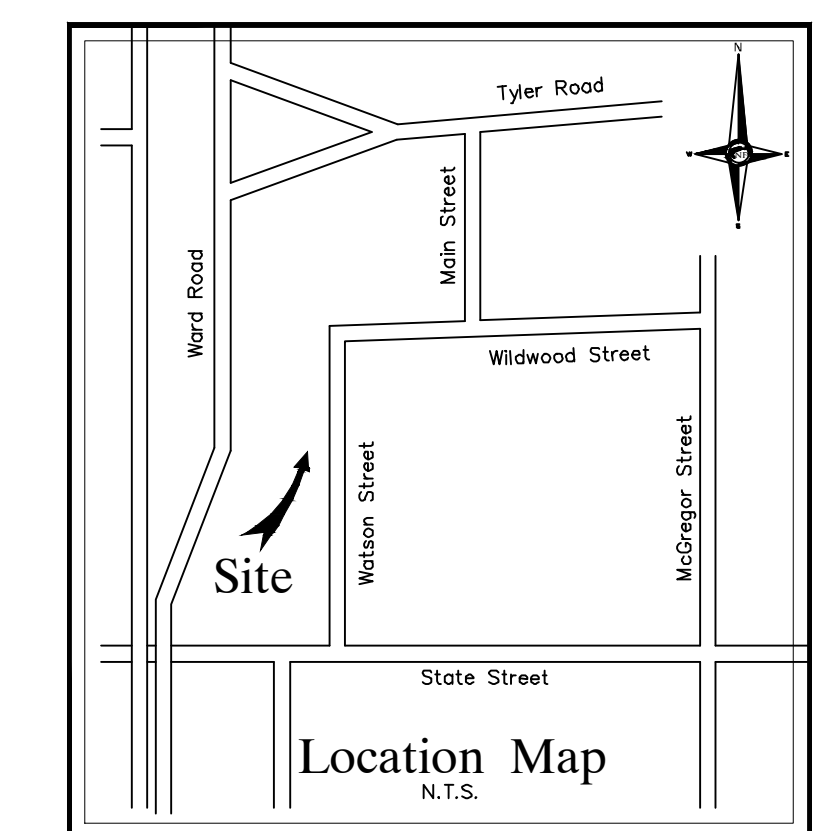
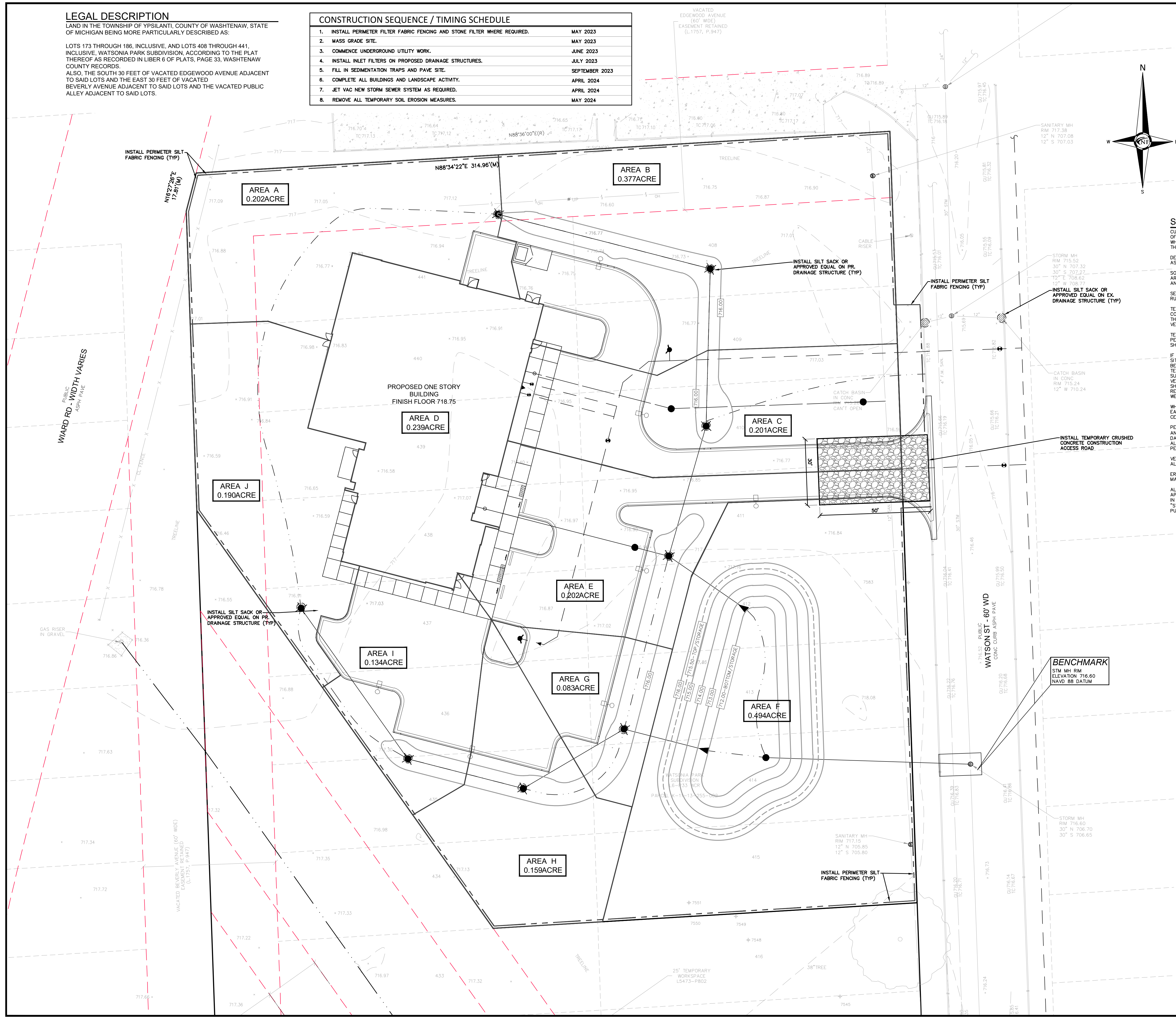
LEGAL DESCRIPTION

LAND IN THE TOWNSHIP OF YPSILANTI, COUNTY OF WASHTENAW, STATE OF MICHIGAN BEING MORE PARTICULARLY DESCRIBED AS:

LOTS 173 THROUGH 186, INCLUSIVE, AND LOTS 408 THROUGH 441, INCLUSIVE, WATSONIA PARK SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 6 OF PLATS, PAGE 33, WASHTENAW COUNTY RECORDS.
ALSO, THE SOUTH 30 FEET OF VACATED EDGEWOOD AVENUE ADJACENT TO SAID LOTS AND THE EAST 30 FEET OF VACATED BEVERLY AVENUE ADJACENT TO SAID LOTS AND THE VACATED PUBLIC ALLEY ADJACENT TO SAID LOTS.

CONSTRUCTION SEQUENCE / TIMING SCHEDULE

1. INSTALL PERIMETER FILTER FABRIC FENCING AND STONE FILTER WHERE REQUIRED.	MAY 2023
2. MASS GRADE SITE.	MAY 2023
3. COMMENCE UNDERGROUND UTILITY WORK.	JUNE 2023
4. INSTALL INLET FILTERS ON PROPOSED DRAINAGE STRUCTURES.	JULY 2023
5. FILL IN SEDIMENTATION TRAPS AND PAVE SITE.	SEPTEMBER 2023
6. COMPLETE ALL BUILDINGS AND LANDSCAPE ACTIVITY.	APRIL 2024
7. JET VAC NEW STORM SEWER SYSTEM AS REQUIRED.	APRIL 2024
8. REMOVE ALL TEMPORARY SOIL EROSION MEASURES.	MAY 2024



SOIL EROSION CONTROL

CUTTING, FILLING AND GRADING SHALL BE MINIMIZED AND THE NATURAL TOPOGRAPHY OF THE SITE SHALL BE PRESERVED TO THE MAXIMUM POSSIBLE EXTENT, EXCEPT WHERE SPECIFIC FINDINGS DEMONSTRATE THAT MAJOR ALTERATIONS WILL STILL MEET THE PURPOSES AND REQUIREMENTS OF THIS ORDINANCE.

DEVELOPMENT SHALL BE STAGED TO KEEP THE EXPOSED AREAS OF SOIL AS SMALL AS PRACTICABLE.

SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED BETWEEN THE DISTURBED AREA AND ANY WATERCOURSES, INCLUDING RIVERS, STREAMS, CREEKS, LAKES, PONDS AND OTHER WATERCOURSES, WETLANDS, OR ROADWAYS ON OR NEAR THE SITE.

SEDIMENT RESULTING FROM ACCELERATED SOIL EROSION SHALL BE REMOVED FROM RUNOFF WATER BEFORE THAT WATER LEAVES THE SITE.

TEMPORARY AND PERMANENT SOIL EROSION CONTROL MEASURES DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF WATER AROUND, THROUGH, OR AWAY FROM THE SITE SHALL BE DESIGNED TO LIMIT THE WATER FLOW TO A NON-EROSIVE VELOCITY.

TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE REMOVED AFTER PERMANENT SOIL EROSION CONTROL MEASURES HAVE BEEN IMPLEMENTED. ALL SITES SHALL BE STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES.

IF LAKES, PONDS, CREEKS, STREAMS, OR WETLANDS ARE LOCATED ON OR NEAR THE SITE, EROSION CONTROL MEASURES WHICH DIVERT RUNOFF AND TRAP SEDIMENT MUST BE PROVIDED AT STRATEGIC LOCATIONS. STRAW BALE BERMS MAY BE USED AS TEMPORARY STORMWATER DIVERSION STRUCTURES, BUT WILL NOT BE CONSIDERED SUFFICIENT FOR TRAPPING SEDIMENT. THE USE OF SEDIMENT BASINS, FILTER FABRIC, VEGETATED BUFFER STRIPS, AND ROCK FILTERS IN LIEU OF STRAW BALE BERMS SHALL BE STRONGLY ENCOURAGED. OTHER MEASURES MAY BE REQUIRED IF REASONABLY DETERMINED TO BE NECESSARY TO PROTECT A WATERCOURSE OR WETLAND.

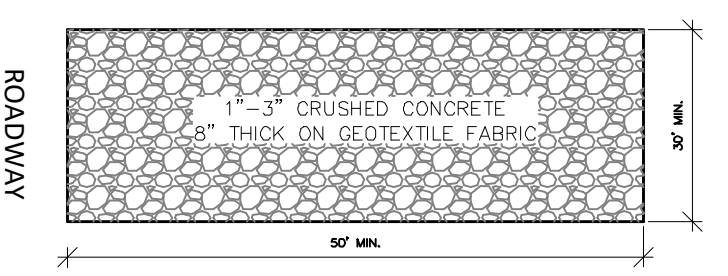
WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER AN EARTH CHANGE HAS BEEN COMPLETED OR WHEN SIGNIFICANT EARTH CHANGE ACTIVITY OCCURS, TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED.

PERMANENT EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 15 (FIFTEEN) CALENDAR DAYS AFTER FINAL GRADING OR THE FINAL EARTH CHANGE HAS BEEN COMPLETED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED.

VEGETATED BUFFER STRIPS SHALL BE CREATED OR RETAINED ALONG THE EDGES OF ALL LAKES, PONDS, CREEKS, STREAMS, OTHER WATERCOURSES, OR WETLANDS.

EROSION AND SEDIMENTATION CONTROL MEASURES SHALL RECEIVE REGULAR MAINTENANCE TO ASSURE PROPER FUNCTIONING.

ALL GRADING PLANS AND SPECIFICATIONS, INCLUDING EXTENSIONS OF PREVIOUSLY APPROVED PLANS, SHALL INCLUDE PROVISIONS FOR EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH, BUT NOT LIMITED TO, THE STANDARDS CONTAINED IN THE "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", PUBLISHED BY THE OAKLAND SOIL CONSERVATION DISTRICT.



TEMPORARY CRUSHED CONCRETE CONSTRUCTION ACCESS ROAD

NOTES

REFER TO THE YPSILANTI TOWNSHIP SOIL EROSION AND SEDIMENTATION CONTROL DETAIL SHEET FOR ALL ADDITIONAL NOTES & DETAILS (TYP)

A DISTANCE OF 3,500 FEET TO THE NEAREST BODY OF WATER HURON RIVER.

THE TOTAL AREA OF EARTH DISRUPTION IS 2.40 ACRES.

THE SOIL EROSION CONTROLS WILL BE MAINTAINED WEEKLY AND AFTER EVERY STORM EVENT BY THE CONTRACTOR.

A SOIL EROSION PERMIT IS REQUIRED FROM THE WASHTENAW COUNTY.

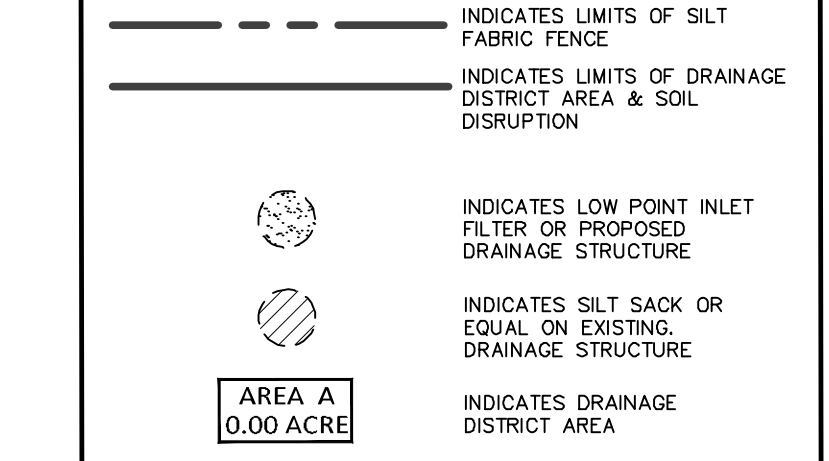
SOIL DATA

THIS SITE CONSISTS OF GILFORD SANDY LOAM, TILL PLAIN, 0 TO 2 PERCENT SLOPES; MATHERTON SANDY LOAM, 0 TO 4 PERCENT SLOPES AND WASEPI SANDY LOAM, 0 TO 4 PERCENT SLOPES BASED ON DATA PROVIDED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE.

ESTIMATED QUANTITIES

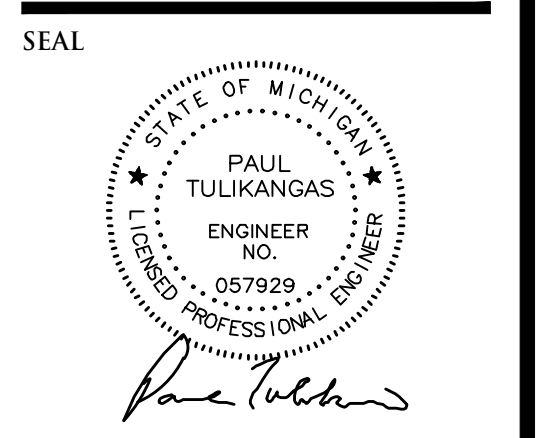
DESCRIPTION	QUANTITY	UNITS
SILT FABRIC FENCING	1,275	L.F.
SILT SACK OR EQUAL	10	EA.

LEGEND



NF ENGINEERS
CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257
WWW.NOWAKFRAUS.COM



PROJECT
Frost Dispensary
1250 Watson Street
Ypsilanti, MI 48198

CLIENT
Michael Ludtke
Tel. (952) 807-61058
Email: Ludtke4648@gmail.com

PROJECT LOCATION
Part of the Northwest 1/4 of Section 13
T.3S., R.7E.,
Ypsilanti Township,
Washtenaw County,
Michigan

SHEET
Soil Erosion & Drainage
Areas Plan



DATE ISSUED/REVISED
02-10-23 ISSUED FOR SITE PLAN REVIEW

DRAWN BY:
J. Lawrey

DESIGNED BY:
P. Tulikangas

APPROVED BY:
P. Tulikangas

DATE:
October 7, 2022

SCALE: 1" = 20'

NFE JOB NO. SHEET NO.
M994 SP08

CONSTRUCTION NOTES:

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING SURVEY INFORMATION INCLUDING THE UTILITY SYSTEMS BEFORE ANY DEMOLITION OR CONSTRUCTION WORK OCCURS. ANY DISCREPANCIES WITH THE SURVEY INFORMATION SHALL BE REPORTED TO THE ARCHITECT AND OWNER'S REPRESENTATIVE IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR COST INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES.
- CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CITY ENGINEER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO LACK OF SUCH NOTIFICATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH OPERATIONS.
- CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY EXISTING MATERIALS THAT ARE DAMAGED DURING CONSTRUCTION.
- SEE SPECIFICATIONS FOR CONSTRUCTION REQUIREMENTS, MATERIALS, AND EXECUTION.
- ALL PROPERTY LINES AND LOT LINES SHALL BE VERIFIED PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL SUBMIT ALL SAMPLES PER SPECIFICATIONS. ALL SAMPLES SHALL BE APPROVED BY THE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- DIMENSIONAL FLEXIBILITY SHALL BE WITHIN PLANT BEDS ONLY.
- CONTRACTOR SHALL COORDINATE ALL SITE LAYOUT WITH THE LANDSCAPE ARCHITECT AND REPORT ANY DIMENSIONAL DISCREPANCIES PRIOR TO CONSTRUCTION.
- HANDICAPPED RAMP SHALL MEET ALL CURRENT BARRIER FREE DESIGN CODES.

GRADING NOTES:

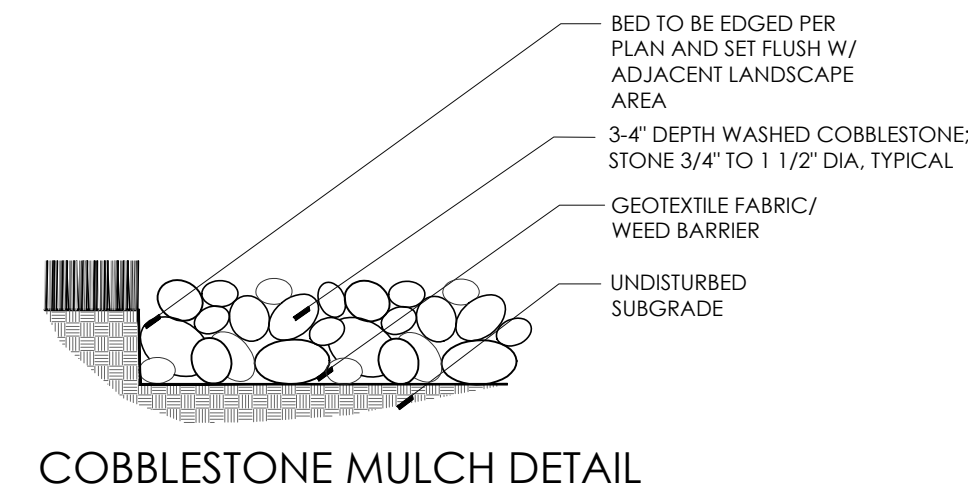
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING SURVEY INFORMATION INCLUDING THE UTILITY SYSTEMS BEFORE ANY DEMOLITION OR CONSTRUCTION WORK OCCURS. ANY DISCREPANCIES WITH THE SURVEY INFORMATION SHALL BE REPORTED TO THE ARCHITECT AND OWNER'S REPRESENTATIVE IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR COST INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES.
- CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND / OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CITY ENGINEER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO LACK OF SUCH NOTIFICATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH OPERATIONS.
- CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY EXISTING MATERIALS THAT ARE DAMAGED DURING CONSTRUCTION.
- NO CHANGE IN CONTRACT PRICE WILL BE ALLOWED FOR ACTUAL OR CLAIMED BETWEEN EXISTING GRADE AND THOSE SHOWN ON PLANS AFTER CONTRACTOR HAS ACCEPTED EXISTING GRADES AND MOVED ON TO THE SITE.
- ALL PROPOSED GRADES ARE TO MEET AND BLEND IN WITH THE EXISTING GRADE AT PROJECT LIMITS. PRECISE ELEVATIONS INDICATED ON THE PLANS TO BE VERIFIED IN FIELD TO AS-BUILT CONDITION.
- ALL GRADING AND PLACEMENT OF DRAINAGE STRUCTURES TO BE SUPERVISED IN THE FIELD BY THE OWNER'S REPRESENTATIVE.
- INSTALL 3" DEPTH TOPSOIL COVER ALL DISTURBED LAWN AREAS.
- SEED ALL PROPOSED OR DISTURBED LAWN AREAS.

DEMOLITION NOTES:

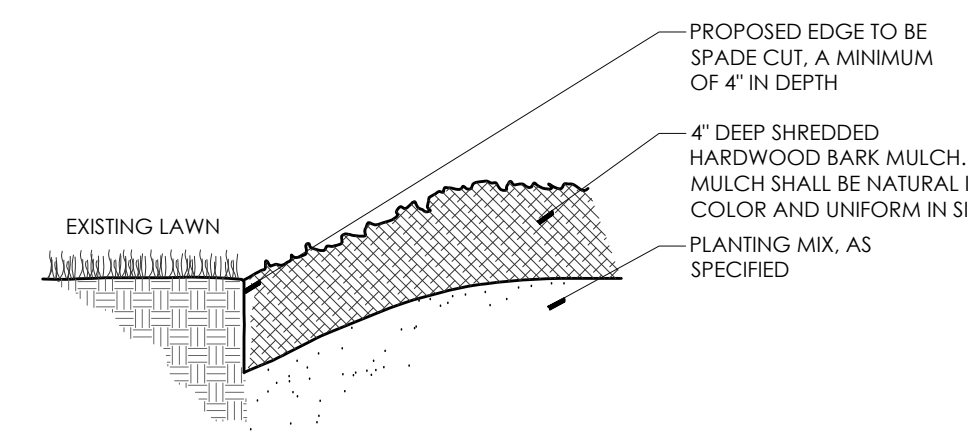
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING SURVEY INFORMATION INCLUDING THE UTILITY SYSTEMS BEFORE ANY DEMOLITION OR CONSTRUCTION WORK OCCURS. ANY DISCREPANCIES WITH THE SURVEY INFORMATION SHALL BE REPORTED TO THE ARCHITECT AND OWNER'S REPRESENTATIVE IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR COST INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES.
- ALL EXISTING IMPROVEMENTS, MATERIALS AND PLANT MATERIAL TO REMAIN WITHIN THE NEW CONSTRUCTION AREA SHALL BE PROPERLY AND ADEQUATELY PROTECTED FROM DAMAGE DURING THE DEMOLITION OPERATIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RESTORE TO THE ORIGINAL CONDITION ANY OF THESE EXISTING ITEMS THAT ARE DAMAGED OR DISTURBED IN ANY WAY.
- ALL MATERIALS TO BE REUSED OR SALVAGED SHALL BE STORED IN AN AREA DESIGNATED BY THE CITY ENGINEER FOR THAT PURPOSE. ALL SALVAGED MATERIALS SHALL REMAIN THE PROPERTY OF THE CITY ENGINEER.
- STREETS, SIDEWALKS AND ADJACENT PROPERTIES SHALL BE PROTECTED THROUGHOUT THE WORK AS REQUIRED BY LOCAL CODES AND REGULATIONS AND APPROVED BY THE OWNER.
- ALL MATERIAL SPECIFIED TO BE REMOVED SHALL BE DISPOSED OF OFF-SITE PER LOCAL CODES AND REGULATIONS. CONTRACTOR SHALL COORDINATE METHOD OF DISPOSAL WITH CITY ENGINEER PRIOR TO COMMENCEMENT OF WORK.
- MATERIALS TO BE REUSED OR SALVAGED SHALL BE STORED IN AN AREA DESIGNATED BY THE OWNER'S REPRESENTATIVE FOR THAT PURPOSE. ALL SALVAGED MATERIALS SHALL REMAIN THE PROPERTY OF THE OWNER.
- DURING DEMOLITION OPERATIONS EVERY EFFORT SHALL BE MADE TO CONTROL DUST, PER CITY REQUIREMENTS.
- TREES AND SHRUBS TO BE REMOVED WITHIN THE LIMITS OF WORK SHALL BE CLEARLY IDENTIFIED WITH BRIGHTLY COLORED RIBBON.
- GRUBBING SHALL INCLUDE ALL WEEDS, SHRUBS, STUMPS AND ROOT SYSTEMS OF REMOVED PLANT MATERIAL, IRRIGATION PIPING AND ANY OTHER IRRIGATION MATERIALS WITHIN THE LIMITS OF DEMOLITION. GRUBBING SHALL BE TO THE DEPTHS BELOW PROPOSED IMPROVEMENTS INDICATED AS FOLLOWS: CONCRETE PAVING AND WALKWAYS-TOTAL DEPTH OF PAVING AND SUB-BASE; ASPHALT PAVING-TOTAL DEPTH OF PAVING AND SUB-BASE; LAWN AND OTHER PLANTINGS AREAS-REMOVE DEPTH REQUIRED OF STUMPS AND ROOTS OVER TWO (2) INCHES IN DIAMETER AND TURF.
- PROTECT EXISTING TREES TO REMAIN PER TYPICAL TREE PROTECTION DETAIL.
- STOCKPILED TOPSOIL SHALL BE STORED ON SITE AND REMAIN PROTECTED FROM CONTAMINATION PRIOR TO REDISTRIBUTION.
- SAWCUT AND REMOVE EXISTING ASPHALT AS REQUIRED TO INSTALL NEW SITE IMPROVEMENTS AND ADJUST GRADES WITHIN CITY STREETS. ALL WORK WITHIN CITY RIGHT OF WAY SHALL MEET CITY STANDARDS AND SPECIFICATIONS.
- ARRANGE FOR APPLICABLE UTILITY COMPANY TO RELOCATE EXISTING CABLES, WIRES, PHONE LINES, ETC. ALONG WITH EDISON POWER LINES AS REQUIRED.
- CONTRACTOR SHALL SECURE AND PAY FOR ALL APPLICABLE PERMITS AND FEES NECESSARY FOR THE COMPLETE CONSTRUCTION OF THE PROJECT.

PLANTING NOTES:

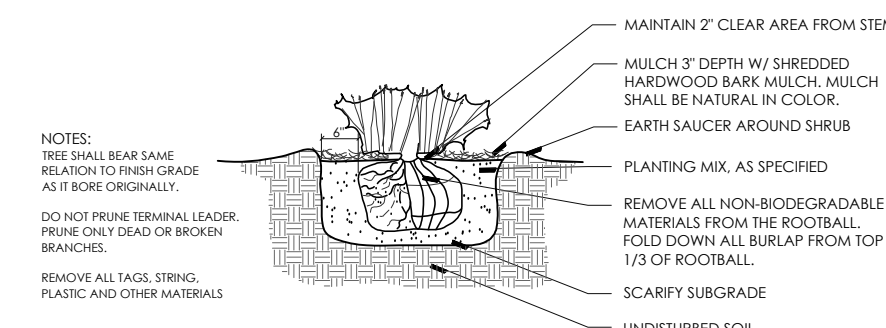
- THE CONTRACTOR SHALL VERIFY ALL RIGHTS OF WAY, EASEMENTS, PROPERTY LINES AND LIMITS OF WORK, ETC. PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTRACTING AND COORDINATING WITH ALL PERTINENT UTILITY COMPANIES 72 HOURS IN ADVANCE OF ANY DIGGINGS TO MAKE HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES.
- THE CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- ANY DISCREPANCIES BETWEEN DIMENSIONED LAYOUT AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT. FAILURE TO MAKE SUCH DISCREPANCIES KNOWN WILL RESULT IN CONTRACTOR'S RESPONSIBILITY AND LIABILITY FOR ANY CHANGES AND ASSOCIATED COSTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH CONSTRUCTION INSTALLATION OPERATIONS.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN POSITIVE SURFACE DRAINAGE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, AND OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EXISTING MATERIALS THAT ARE DAMAGED DURING CONSTRUCTION.
- SEE SPECIFICATIONS, PLANT LIST AND PLANTING DETAILS FOR PLANTING REQUIREMENTS, MATERIALS AND EXECUTION.
- ALL TREES TO HAVE CLAY LOAM OR CLAY BALLS - TREES WITH SAND BALLS SHALL NOT BE ACCEPTED.
- ALL TREES TO BE APPROVED BY OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO THE SITE. ANY TREES DELIVERED TO THE SITE NOT PREVIOUSLY APPROVED MAY BE REJECTED AND ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR TO VERIFY PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION OF PLANT MATERIAL.
- THE CONTRACTOR SHALL PLACE 3" DEPTH OF SHREDDED BARK MULCH IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED.



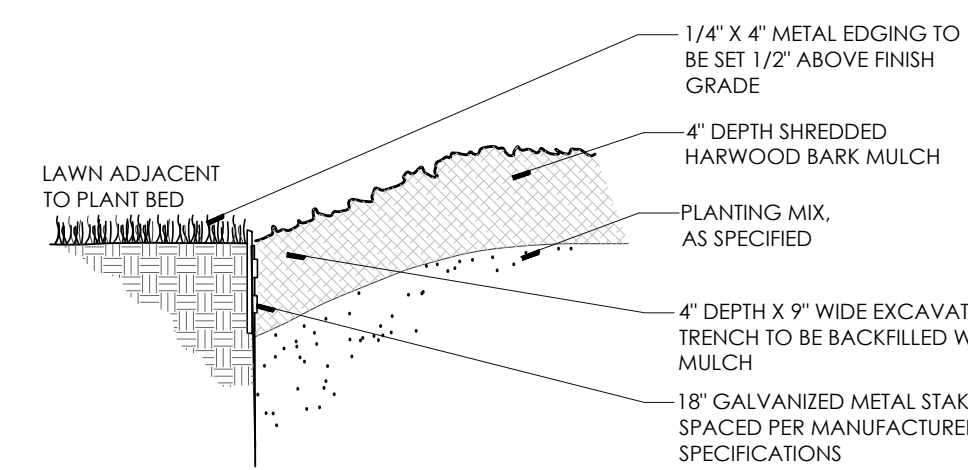
COBBLESTONE MULCH DETAIL NTS



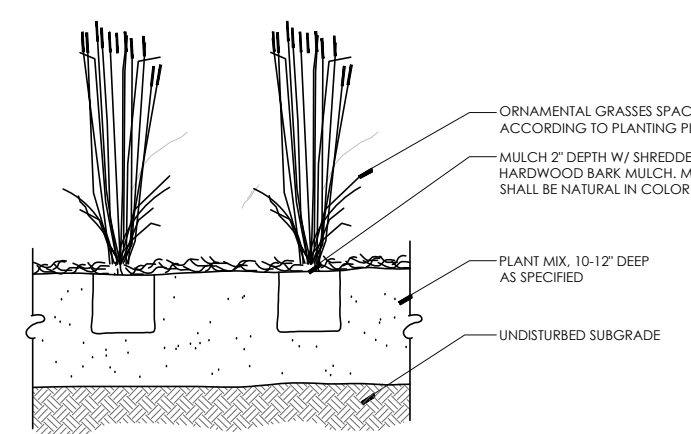
SPADE CUT EDGE DETAIL NTS



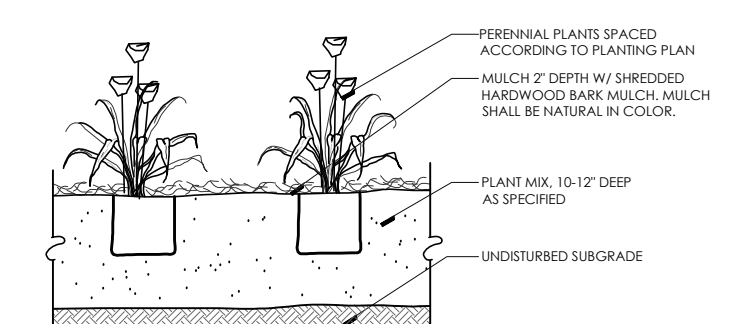
HEDGE PLANTING DETAIL NTS



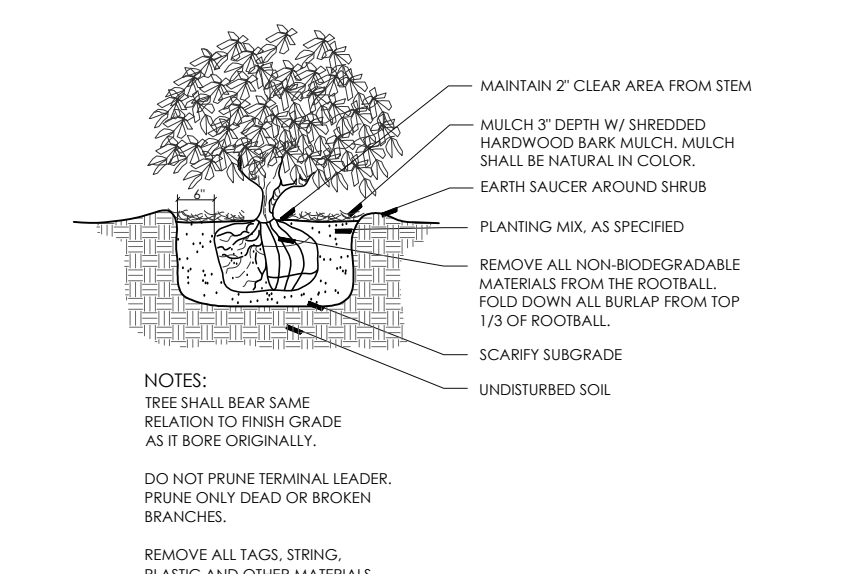
METAL EDGING DETAIL NTS



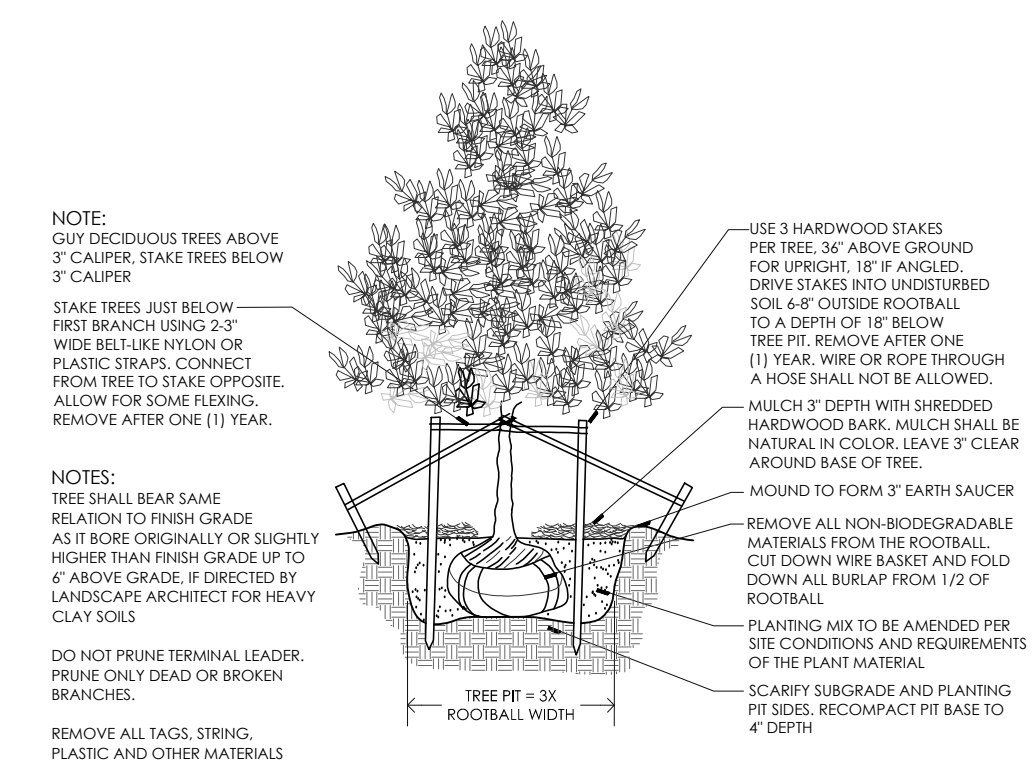
ORNAMENTAL GRASS PLANTING DETAIL NTS



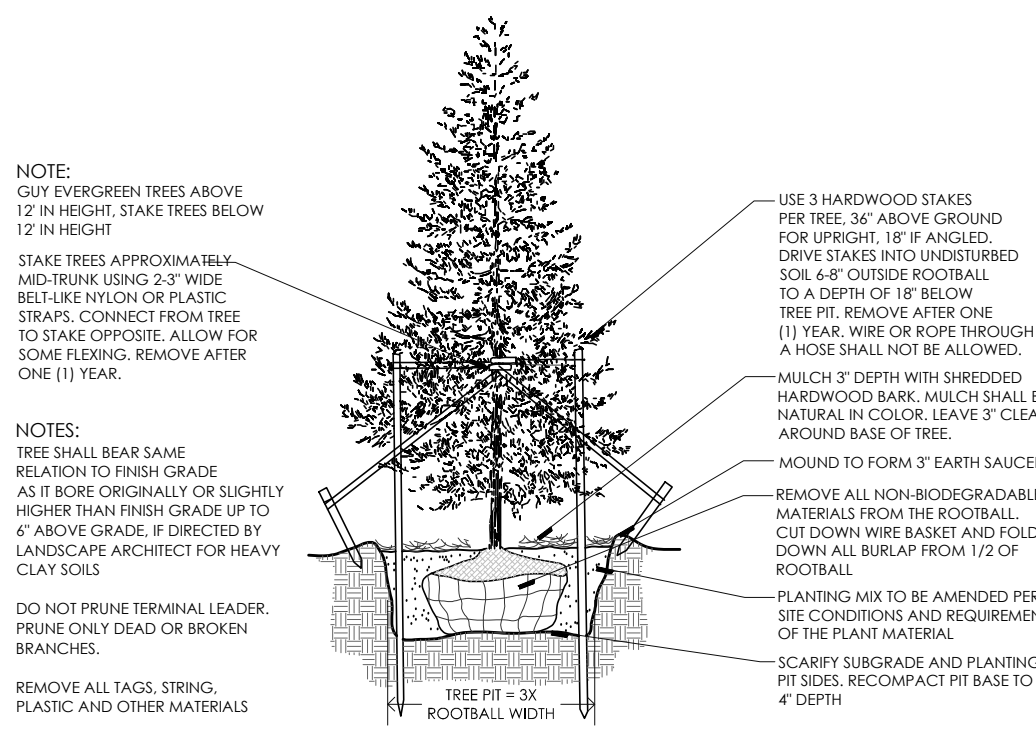
PERENNIAL PLANTING DETAIL NTS



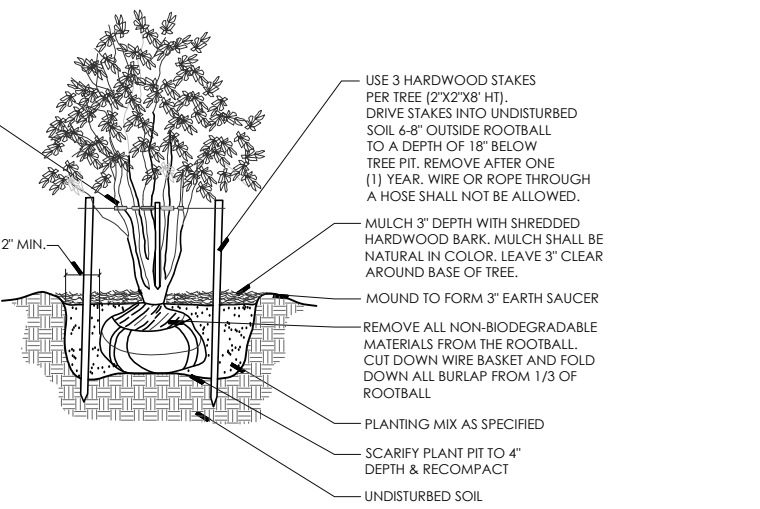
SHRUB PLANTING DETAIL DECIDUOUS SHRUB NTS



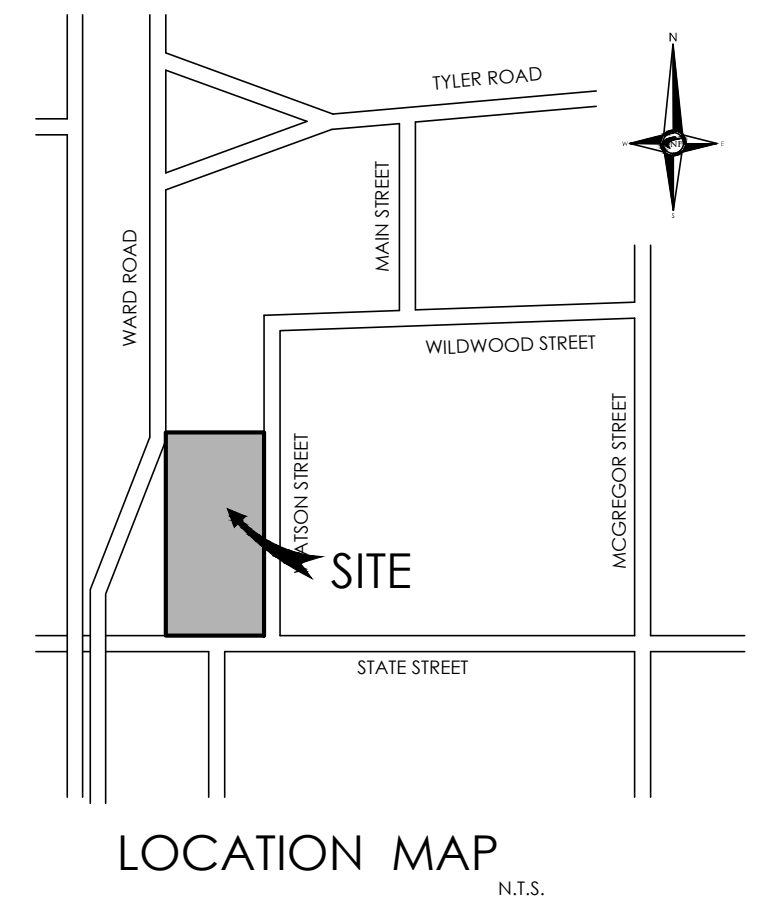
DECIDUOUS TREE PLANTING DETAIL NTS



EVERGREEN TREE PLANTING DETAIL NTS



MULTI-STEM TREE PLANTING DETAIL NTS



LOCATION MAP N.T.S.



NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257

SEAL



PROJECT

Frost Dispensary
1250 Watson Street
Ypsilanti, MI 48198

CLIENT

G2 Consulting Group
62 Sylvan Court
Pontiac, MI 48341
Michael Ludtke
Tel. (952) 807-61058
Email:
Ludtke4648@gmail.com

PROJECT LOCATION

Part of the Northwest 1/4 of
Section 13
T.3S., R.7E.,
Ypsilanti Township,
Washtenaw County,
Michigan

SHEET

Landscape Notes
and Details



Know what's below
Call before you dig.

REVISIONS

02/24/23 PRELIMINARY SITE PLAN REVIEW

DRAWN BY:

G. Ostrowski

DESIGNED BY:

G. Ostrowski

APPROVED BY:

G. Ostrowski

DATE:

02-03-2023

SCALE: 1" = 20'

20 10 0 10 20 30

NFE JOB NO. SHEET NO.

M994

L3

FROST DISPENSARY & CULTIVATION

1250 WATSON ST
YPSILANTI, MI 48198

ARCHITECT

STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MICHIGAN 48067
(248) 546-6700

CIVIL / LANDSCAPE ENGINEER

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVENUE
PONTIAC, MICHIGAN 48342

PROJECT INFORMATION

PROJECT DESCRIPTION
NEW MARIJUANA DISPENSARY FACILITY

APPLICABLE CODES
2015 MICHIGAN BUILDING CODE (MBC)
2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS (MRC)
2015 MICHIGAN MECHANICAL CODE (MMC)
2018 MICHIGAN PLUMBING CODE (MPC)
2015 MICHIGAN ENERGY CODE (MEC)
2013 ANSIAASHRAVES 90.1
2017 NATIONAL ELECTRICAL CODE (NEC)
2015 NFPA 101 LIFE SAFETY CODE

BARRIER FREE REQUIREMENTS:
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (DOJ)
MBC-2015, CHAPTER 11
ICC / ANSII 117.1 - 2009, EXCEPT SECTION 611 & 707

CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION
MERCANTILE: M

CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS
BASED ON VB CONSTRUCTION
MERCANTILE - M

ALLOWABLE BUILDING HEIGHT IN FEET = 40 FEET
ALLOWABLE BUILDING HEIGHT IN STORIES = 1 STORIES
ALLOWABLE BUILDING AREA = 9,000 SF (NOT SUPPRESSED)
PROVIDED BUILDING AREA = 2,988 SF

CHAPTER 6 - TYPES OF CONSTRUCTION
TYPE:

-STRUCTURAL FRAME: 0 HOUR
-BEARING WALLS: 0 HOUR
-EXTERIOR NON-BEARING WALLS: 0 HOUR
-INTERIOR NON-BEARING WALLS: 0 HOURS
-OPENING PROTECTIVES AT EXTERIOR WALL: 0 HOURS
-FLOOR CONSTRUCTION AND SECONDARY FRAMING: 0 HOUR
-ROOF CONSTRUCTION AND SECONDARY FRAMING: 0 HOUR

CHAPTER 9 - FIRE PROTECTION SYSTEMS

AUTOMATIC SPRINKLER SYSTEMS: <REQUIRED/NOT REQUIRED PER SEC. 903.2.7>
FIRE ALARM AND DETECTION SYSTEMS: <REQUIRED/NOT REQUIRED PER SEC. 907.2.7>

CHAPTER 10 - MEANS OF EGRESS

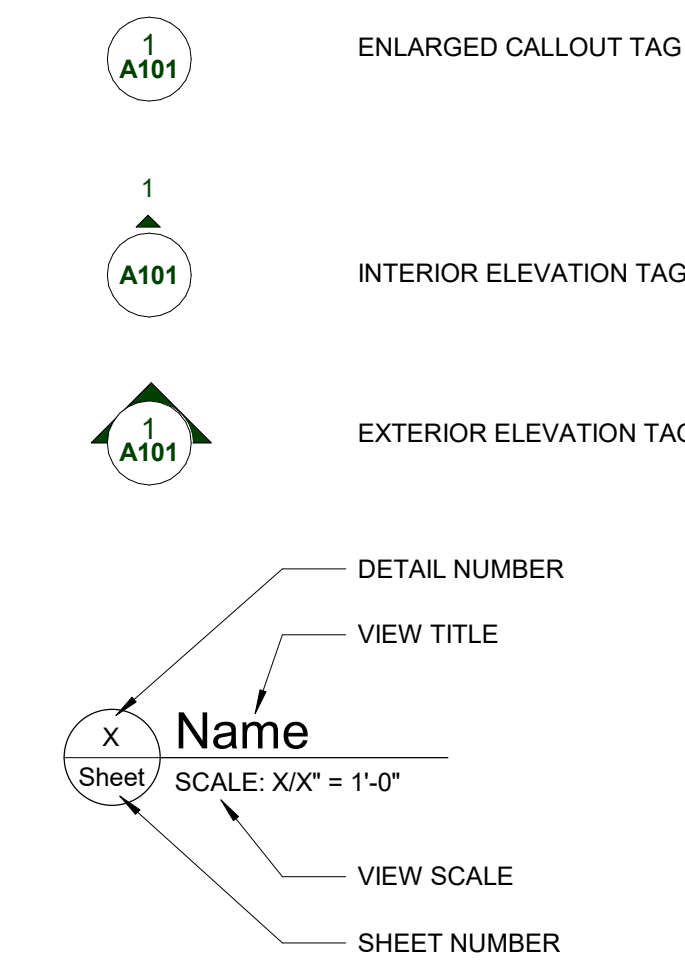
TABLE 1004.1.2
TOTAL OCCUPANTS: 30

SHEET INDEX - GENERAL			
DWG #	DRAWING NAME	ISSUED FOR	DATE
G001	COVER SHEET, GENERAL INFORMATION, DRAWING INDEX	PRELIMINARY SITE PLAN REVIEW	02.24.23
DRAWINGS: 1			
SHEET INDEX - CIVIL			
DWG #	DRAWING NAME	ISSUED FOR	DATE
DRAWINGS: 5			
SHEET INDEX - ARCHITECTURAL			
DWG #	DRAWING NAME	ISSUED FOR	DATE
A110	FIRST LEVEL CONSTRUCTION PLAN	PRELIMINARY SITE PLAN REVIEW	02.24.23
A111	ROOF PLAN	PRELIMINARY SITE PLAN REVIEW	02.24.23
A120	SECURITY PLAN	PRELIMINARY SITE PLAN REVIEW	02.24.23
A301	EXTERIOR ELEVATIONS	PRELIMINARY SITE PLAN REVIEW	02.24.23
A311	EXTERIOR RENDERINGS	PRELIMINARY SITE PLAN REVIEW	02.24.23
DRAWINGS: 5			

NOTE:
THESE CONSTRUCTION DRAWINGS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES. ISSUED AND APPROVED CODE MODIFICATIONS AND/OR CITY CODE AUTHORITY CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.



SYMBOL LEGEND



ROOM NAME
ROOM TAG
101

FLOOR NAME
ELEV. 100'-0"

DATUM WORKPOINT
0.0

COLUMN GRIDS
NUMBERS DESIGNATE VERTICAL COLUMN LINES
LETTERS DESIGNATE HORIZONTAL COLUMN LINES
SQUARE DESIGNATE EXISTING COLUMN GRID

DOOR TAGS
NEW DOOR TAG DESIGNATION
EXISTING DOOR TAG DESIGNATION (ONLY IF EXISTING DOOR TO BE MODIFIED)

PARTITION TAG
2x3-YS

KEYNOTE TAG
XX

EQUIPMENT TAG
XX

SHEET REF FOR DRAWING CONTINUATION
X / A-XXX

MATCH LINE
ZONE B
ZONE A

ABBREVIATION LEGEND

& L @	AND ANGLE AT	€ or € ±	CENTERLINE DIAMETER PLUS OR MIN
ACCESS.	ACCESSIBILITY	N	NORTH
ACOUS.	ACOUSTICAL	NIC	NOT IN CONTRACT
ACT	ACOUSTICAL CEILING TILE	NOM	NOMINAL
A.D.	AREA DRAIN	NTS	NOT TO SCALE
ADJ	ADJUSTABLE	O/C	ON CENTER
A.F.F.	ABOVE FINISH FLOOR	OFC	OFFICE
AL	ALUMINUM	OPNG	OPENING
ANOD.	ANODIZED	OPPT	OPPOSITE
ARCH.	ARCHITECTURAL or ARCHITECT	OVFD	OVERFLOW DRAIN
ASPH.	ASPHALT	PL	PLATE
BD.	BOARD	PLAM	PLASTIC LAMINATE
BF	BARRIER FREE	PLAS	PLASTER
BLDG.	BUILDING	PNT	PAINT
BL'G.	BLOCKING	PLYWD	PLYWOOD
BOT.	BOTTOM	PREFAB	PREFABRICATED
BR	BRICK	PFN	PREFINISH or PREFINISHED
CAB.	CABINET	PROJ	PROJECTION
CEM.	CEMENT	POINT	POINT
C.J.	CONTROL JOINT	R	RISER
CLG	CEILING	RCP	REFLECTED CEILING PLAN
C.F.M.F.	COLD FORMED METAL FRAMING	R.C.	ROOF CONDUCTOR
C.O.	CLEAN OUT	RD	ROOF DRAIN
CLD.	CLOSET	R.S.	REINFORCING
CLR.	CLEAR	REIN	REQUIRED
COL.	COLUMN	RESIL	RESILIENT
CONC.	CONCRETE	RFG	ROOFING
C.G.	CORNER GUARD	RM	ROOM
CONST.	CONSTRUCTION	R.O.F.	ROOF SUMP
CONT.	CONTINUOUS	SAN	SANITARY
COR.	CORRIDOR	SC	SOLID CORE
CORR.	CORRUGATED	SCHED	SCHEDULE
CPT	CARPET	SHT	SHEET
C.T.	CERAMIC TILE	SIM	SIMILAR
CTSK.	COUNTER SUNK	SPEC	SPECIFICATIONS
CW	CURTAIN WALL	SO	SQUARE
D.F.	DRINKING FOUNTAIN	ST.STL.	STAINLESS STEEL
DET.	DETAIL	SS	STON SURFACE
DIA.	DIAMETER	ST	STEEL
DIM.	DIMENSION	STD	STANDARD
DN.	DOWN	STL	STEEL
D.O.	DOOR OPENING	STN	STAIN
DR.	DOOR	STOR	STORAGE
D.S.	DOWN SPOUT	STRUCT	STRUCTURAL or STRUCTURE
DWG.	DRAWING	SUSP	SUSPENDED
DWR.	DRAWER	SYM	SYMMETRICAL
EA	EACH	SO	SQUARE
E.J.	EXPANSION JOINT	ST.STL.	STAINLESS STEEL
EL.	ELEVATION	SS	STEEL SURFACE
ELEC.	ELECTRICAL	STD	STANDARD
ELEV.	ELEVATOR	STL	STEEL
E.O.S./EOS	EDGE OF SLAB	STN	STAIN
E.O.D./EOD	EDGE OF DECK	STOR	STORAGE
EP	ELECTRICAL PANEL	STRUCT	STRUCTURAL or STRUCTURE
EPX	EPOXY	SUSP	SUSPENDED
EQ.	EQUAL	SYM	SYMMETRICAL
EQPM	EQUIPMENT	T.	TREAD
E.W.	EACH WAY	T&B	TOP AND BOTTOM
EXIST. / EX	EXISTING	TERR.	TERRAZZO
EXP.	EXPOSED	T.O.C.	TOP OF CURB
EXT.	EXTERIOR	T&G	TONGUE AND GROOVE
FA	FIRE ALARM	THK	THICK
FD	FLOOR DRAIN	THRES.	THRESHOLD
FN	FOUNDATION	T.O.P.	TOP OF PARAPET
FE	FIRE EXTINGUISHER	TA	TOILET ACCESSORY
FEC	FIRE EXTINGUISHER CABINET	TV	TELEVISION
FHC	FIRE HOSE CABINET	T.O.W.	TOP OF WALL
FIN	FINISH	TOS / T.O.S.	TOP OF STEEL
FL	FLOOR	TYP.	TYPICAL
F.O.	FACE OF	U/C	UNDERCUT
F.O.S.	FACE OF STUD	U.N.O.	UNLESS NOTED OTHERWISE
FPRF	FIREPROOF	U.S.K.	UTILITY SINK
FR	FRAME	V.B.	VAPOR BARRIER
FRP	FIBERGLASS REINFORCED PANEL	VCT	VINYL COMPOSITION TILE
FRT	FIRE RETARDANT TREATED	VERT.	VERTICAL
F.S.	FULL SIZE	VEST	VESTIBULE
FT.	FOOT or FEET	VF	VINYL FLOORING
FTG.	FOOTING	V.I.F.	VERIFY IN FIELD
FUR	FURRING	W	WIDTH
GA.	GAUGE	W	WITH
GALV.	GALVANIZED	WB	WALL BASE
G.B.	GRAB BAR	W.C.	WATER CLOSET
GFRC.	GLASS FIBER REINFORCED CONCRETE	WC	WALLCOVERING
GL.	GLASS	WD	WOOD
GYP.	GYPSONUM	WO	WITHOUT
H.B.	HOSE BIBB	WR	WATER RESISTANT
H.C.	HOLLOW CORE	WSCT.	WAINSCOT
HDWD	HARDWOOD	WT.	WEIGHT
HDWE	HARDWARE	W.W.F.	WELDED WIRE FABRIC
HM	HOLLOW METAL		
HORIZ.	HORIZONTAL		
HR	HOUR		
HGT	HEIGHT		
INSUL	INSULATION		
IMP	INSULATED METAL PANEL		
IMWP	INSULATED METAL WALL PANEL		
INT	INTERIOR		
J.C.	JANITOR'S CLOSET		
JT.	JOINT		
KIT.	KITCHEN		
LAV	LAVATORY		
LG	LENGTH		
L.L.V.	LONG LEG VERTICAL		
LT	LIGHT		
LVT	LUXURY VINYL TILE		
MAX	MAXIMUM		
MECH	MECHANICAL		
MTL	METAL		
MFR.	MANUFACTURER		
MIN.	MINIMUM		
MISC.	MISCELLANEOUS		
M.O.	MASONRY OPENING		

SHEET DESIGNATION

DRAWINGS ARE NUMBERED ACCORDING TO THE FOLLOWING CONVENTIONS:

A001

DRAWING SEQUENCE NUMBER

DISCIPLINE DESIGNATOR

G GENERAL
LS LIFE SAFETY
C CIVIL
L LANDSCAPE
S STRUCTURAL
AD ARCHITECTURAL
DEM DEMOLITION
A ARCHITECTURAL ELEVATIONS
F FINISH INFORMATION
AE EQUIPMENT INFORMATION
FP FIRE PROTECTION
P PLUMBING
M MECHANICAL
E ELECTRICAL
FA FIRE ALARM

DRAWING TYPE DESIGNATOR

0 GENERAL, LEGENDS
1 PLANS
2 REFLECTED CEILING PLANS
3 EXTERIOR ELEVATIONS
4 SECTIONS
5 VERTICAL CIRCULATION (PLANS & SECTIONS)
6 ENLARGED PLANS AND INTERIOR ELEVATIONS
7 INTERIOR AND MILLWORK DETAILS
8 FREE SECTION
9 DOOR AND WINDOW SCHEDULES AND DETAILS

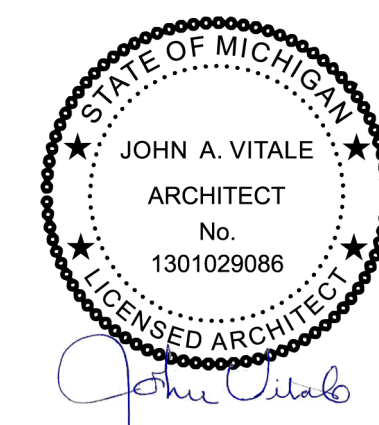


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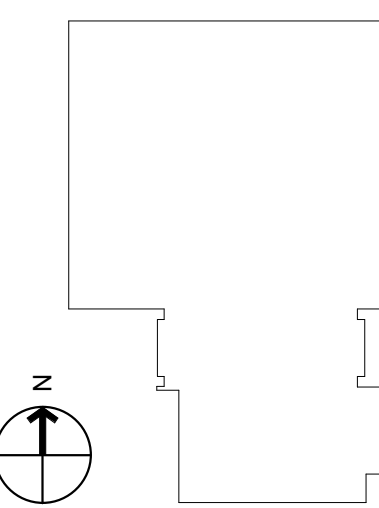


Project:

FROST DISPENSARY & CULTIVATION

1250 WATSON ST
YPSILANTI, MI 48198

Key Plan:



Issued for

PRELIMINARY SITE PLAN REVIEW 02.24.23

Drawn by:

SVA

Checked by:

JAV, MJB, AJD

Sheet Title:

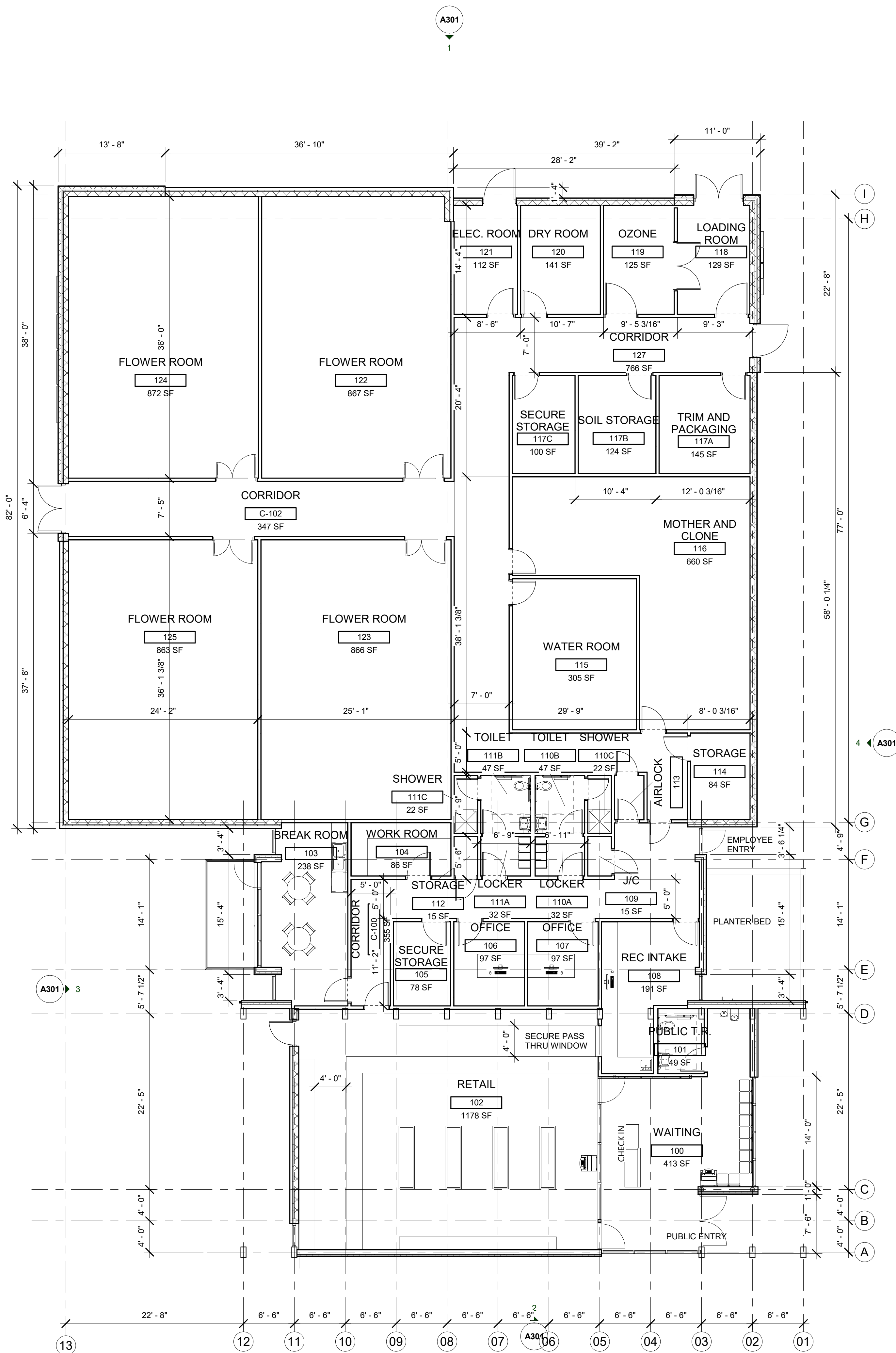
COVER SHEET, GENERAL INFORMATION, DRAWING INDEX

Project No.:

2022.072

Sheet No.:

G001



1 Level 1
A110 1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES

- THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK. COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
- ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
- WALL THICKNESS ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
- ALL WOOD, INCLUDING BLOCKING, USED ON THE PROJECT SHALL BE FIRE RETARDANT TREATED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A. AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
- PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE CONDITION.
- PROVIDE TRANSITION STRIPS AT EACH CHANGE IN FLOOR FINISH MATERIALS.
- PAINT, PATCH AND REPAIR THE FOLLOWING TO MATCH EXISTING MATERIALS: FLOOR, WALL, AND CEILING SURFACES AS REQUIRED ADJACENT TO AREAS BEING DEMOLISHED. REFER TO DEMOLITION DRAWINGS FOR MORE INFORMATION.
- REINFORCE WALL AND PROVIDE BLOCKING AS REQUIRED TO SUPPORT WALL CABINETS AND COUNTERTOPS.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL WALL REINFORCING FOR INSTALLATION OF ACCESSORIES, COAT RACKS, CHART RACKS, CASEWORK, AND OTHER WALL MOUNTED ITEMS.
- CLEAN AND REPAIR ALL EXISTING FLOOR FINISHES AS NECESSARY.
- ALL EXPOSED PIPES, DUCTS, AND CONDUIT TO BE PAINTED TO MATCH EXISTING.
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD PARTITIONS AT 30'-0" O.C. MAXIMUM AND AS INDICATED IN THE CONTRACT DOCUMENTS.
- COORDINATE WITH OWNER'S EQUIPMENT SUPPLIER FOR INSTALLATION REQUIREMENTS / LOCATIONS OF FLOOR / WALL / CEILING MOUNTED ITEMS; IE. CAMERAS, TV'S, SPEAKERS, SENSORS, SECURITY WIRING, VAULTS, ATM'S.
- CONTRACTOR SHALL CONDUCT A ROUGH ELECTRICAL INSPECTION WITH OWNER, PRIOR TO ENCLOSING WALLS, FOR THE PURPOSE OF CONFIRMING ALL J-BOX LOCATIONS FOR POWER, DATA, VOICE, SWITCH, THERMOSTAT, ETC.
- CONTRACTOR TO FILL ANY AND ALL EQUIPMENT PENETRATIONS OR DEPRESSIONS INTO OR THROUGH THE EXISTING SLAB THAT WILL NOT BE UTILIZED TO FEED NEW EQUIPMENT (I.E. ABANDONED FLOOR CORES, IMPRESSION FROM PREVIOUS EQUIPMENT FLOOR PLATE REMOVAL). PENETRATIONS SHALL BE FILLED WITH NON-SHRINK GROUT. THE SIDES OF ANY EXISTING OPENINGS SHALL BE MODIFIED/TAPERED SO THAT THEY ARE WIDER AT THE TOP THAN AT THE BOTTOM. FOR LARGE OPENINGS, PROVIDE ONE (1) #5 BAR 2" UP FROM BOTTOM OF HOLE.
- A TACTILE SIGN STATING 'EXIT' AND COMPLYING WITH ICC-A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN 'AREA OF REFUGE', AN EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, AN EXIT PASSAGEWAY, AND THE EXIT DISCHARGE.
- PROVIDE PERMANENT MIN 3-INCH HIGH CONTRASTING COLOR MARKING AND IDENTIFICATION AT ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS, SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS WITHIN 15 FEET AT THE END OF EACH WALL, AND NOT EXCEEDING 30 FEET MAXIMUM HORIZONTAL INTERVALS, MINIMUM 2 LOCATIONS EACH WALL. TYPICAL FOR ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING, OR ATTIC SPACES PER CODE (MBC 703.7)

KEYNOTE - NEW CONSTRUCTION LEGEND	
KEYNOTE	KEYNOTE DESCRIPTION

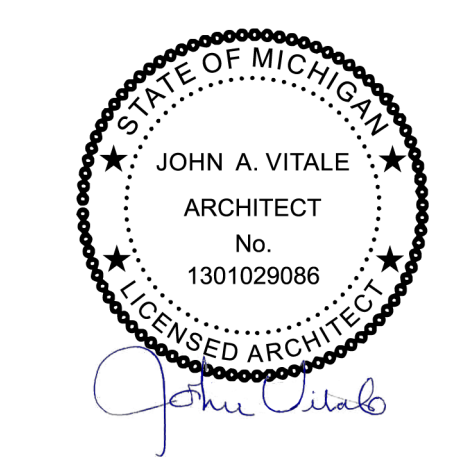


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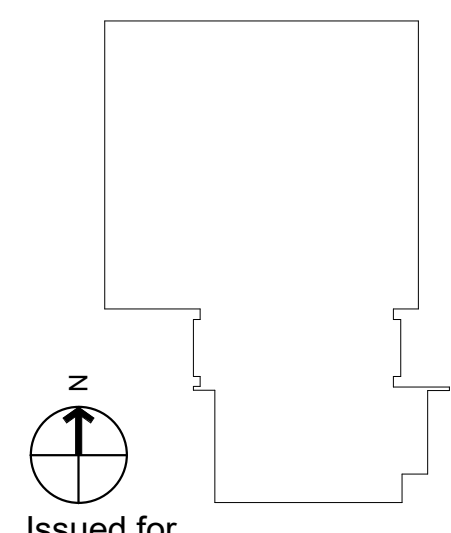
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Project:
FROST DISPENSARY & CULTIVATION

1250 WATSON ST
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Key Plan:



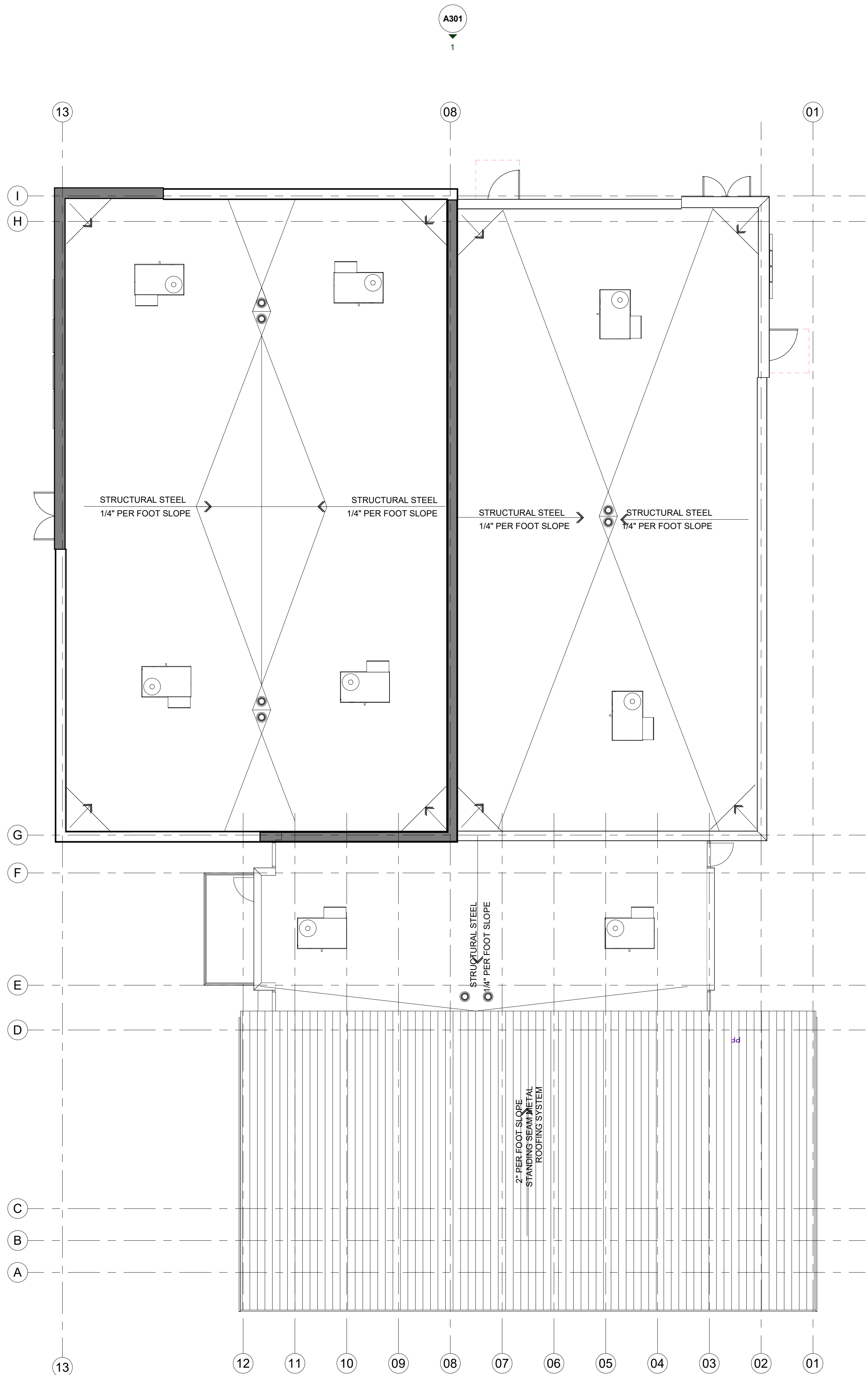
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Checker
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FIRST LEVEL CONSTRUCTION PLAN

Project No.:
2022.072

Sheet No.:
A110

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1 Roof Plan
A111 1/8" = 1'-0"

GENERAL ROOF PLAN NOTES: (TYPICAL THIS SHEET ONLY)

1. REFER TO MECHANICAL FOR SCOPE OF DEMO.
2. COORDINATE ROOF PENETRATIONS, ETC. WITH OTHER TRADES, ESP. MECHANICAL AND ELECTRICAL.
3. NEW RTU LOCATION - PROVIDE NEW ROOF OPENINGS AS REQUIRED PER MECHANICAL DRAWINGS. PROVIDE NEW WxXxX STEEL STRUCTURAL SUPPORT ASSEMBLY ABOVE ROOF AT NEW RTU LOCATIONS, POST UP FROM ROOF 8" MIN. REFER TO DETAIL.

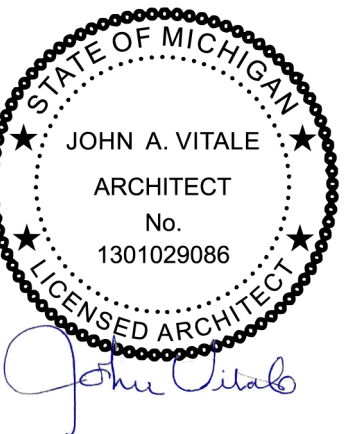


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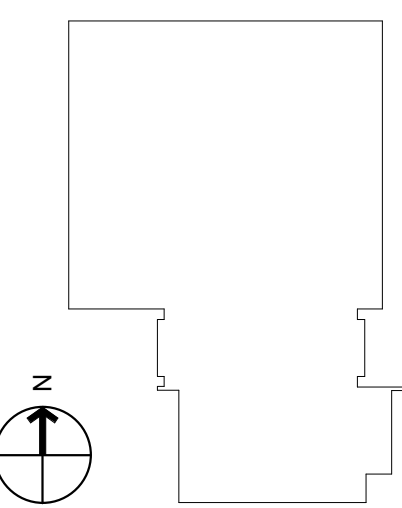
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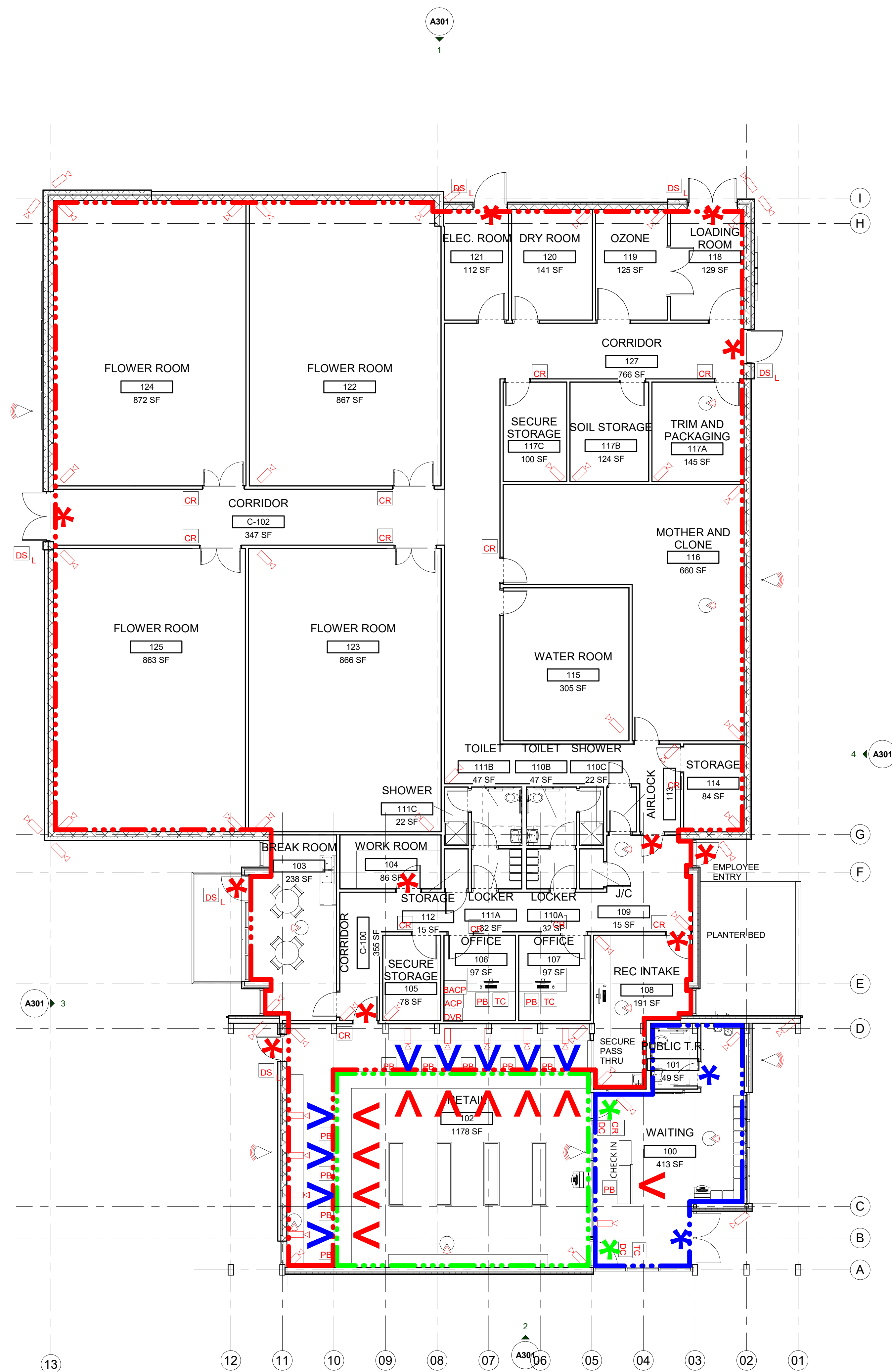
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 ROOF PLAN

Project No. :
 2022.072

Sheet No. :

A111

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1 Level 1 Security Plan
1/8" = 1'-0"

LEGEND

SECURITY DEVICES AND ACCESSORIES

SECURITY SYMBOLS (PANEL EQUIPMENT)

- BACP BURGLAR ALARM CONTROL PANEL
- KP KEY PAD
- DC DOOR CONTACT
- PB PANIC BUTTON
- M MOTION DETECTOR
- S SOUNDER/ SIREN
- G GLASS BREAK SENSOR

ACCESS SYMBOLS

- ACP ACCESS CONTROL PANEL | PANEL EQUIPMENT
- CR CARD READER - STANDARD | CARD READER
- DS L DOOR STRIKE WITH LATCH | DOOR SECURITY
- TC TWO WAY COMMUNICATION SYSTEM CALL STATION | SYSTEM INTERFACE

CCTV SYMBOLS (PANEL EQUIPMENT)

- DVR DIGITAL VIDEO RECORDER
- CCTV SECURITY CAMERA

- RESTRICTED ACCESS AREA
- LIMITED ACCESS AREA
- PUBLIC ACCESS AREA

- * SECURED STAFF ACCESS
- * CUSTOMER ACCESS
- * SECURED CUSTOMER ACCESS (STAFF CONTROLLED)
- V POINT OF CONTACT
- V POINT OF SALE

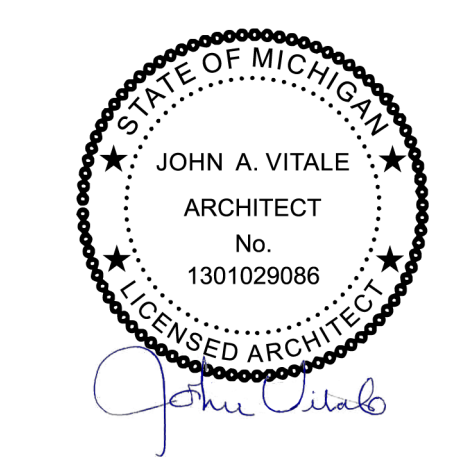


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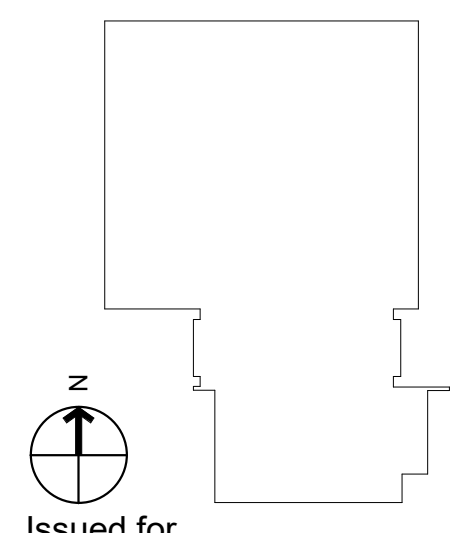
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SECURITY PLAN

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2022.072

Sheet No. :
A120

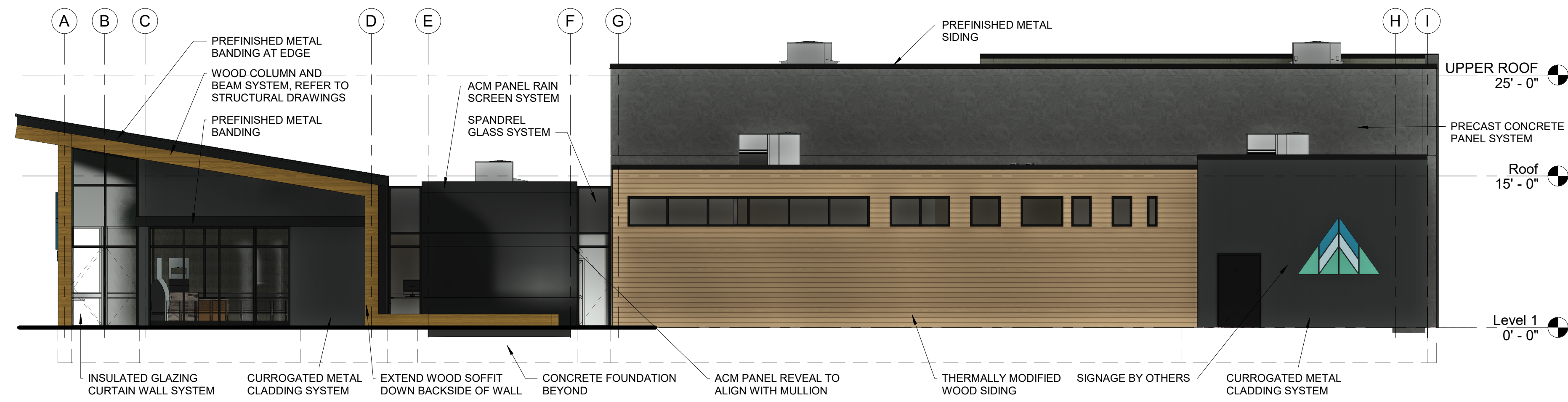
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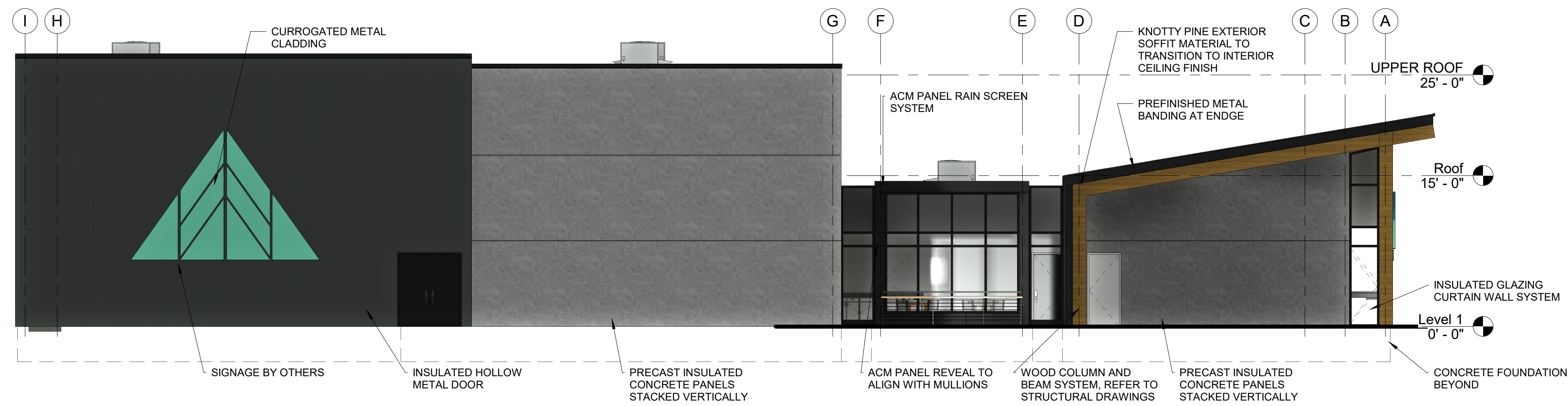
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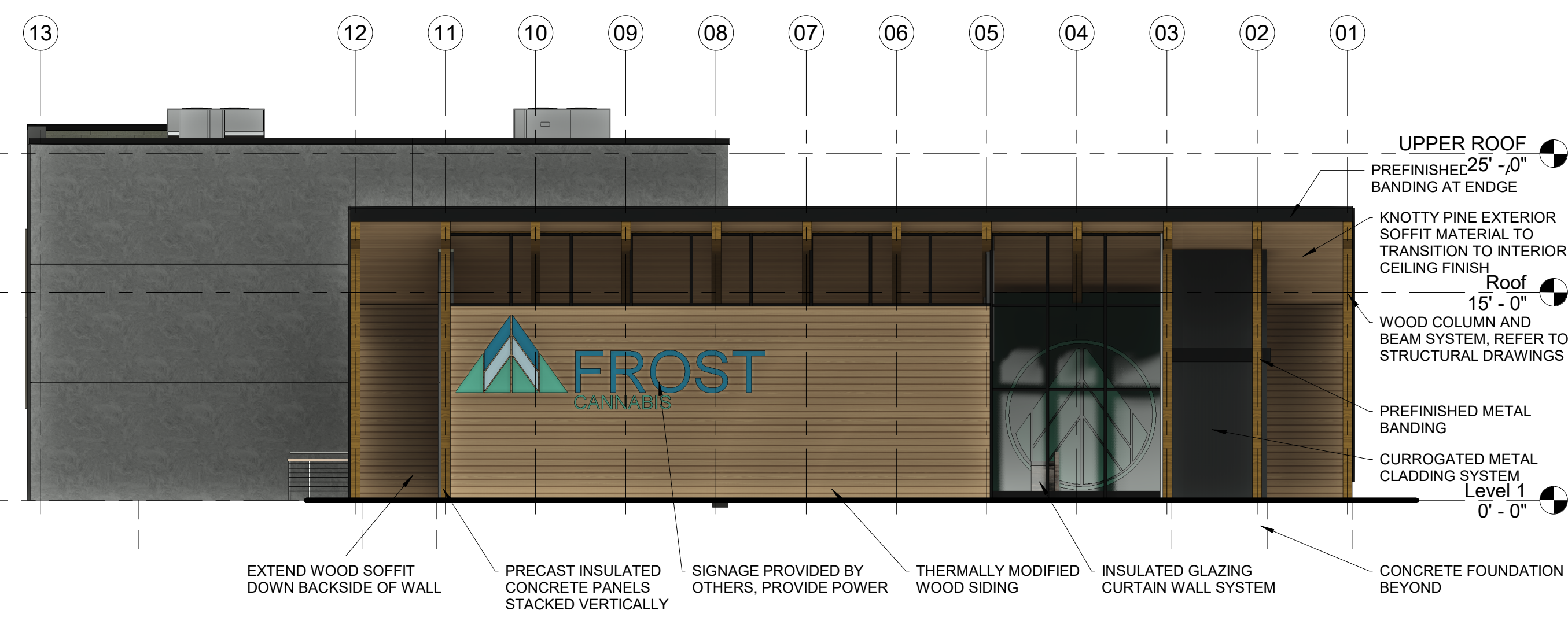
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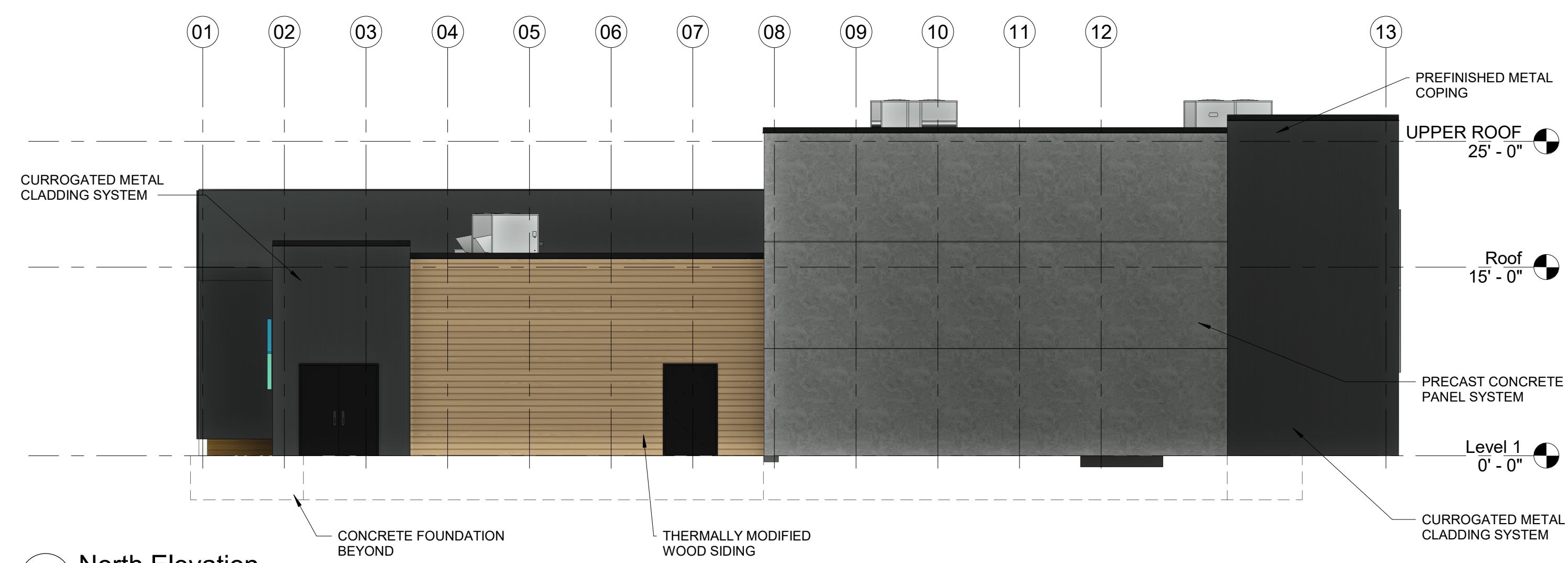
4 East Elevation
 A301 1/8" = 1'-0"



3 West Elevation
 A301 1/8" = 1'-0"

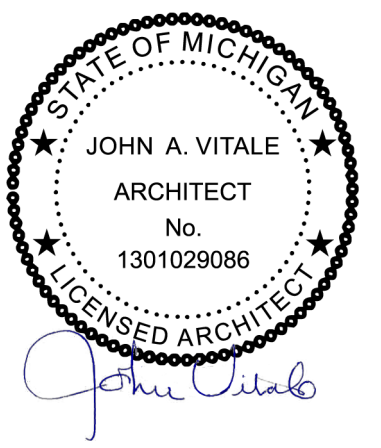


2 South Elevation
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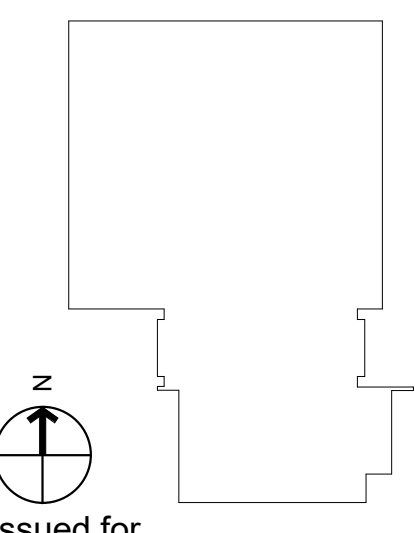
1 North Elevation
 A301 1/8" = 1'-0"

Seal:



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Key Plan:



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 EXTERIOR ELEVATIONS

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 2022.072
 Sheet No. :
A301

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RENDERING FROM SOUTH WEST CORNER



RENDERING FROM NORTH EAST CORNER

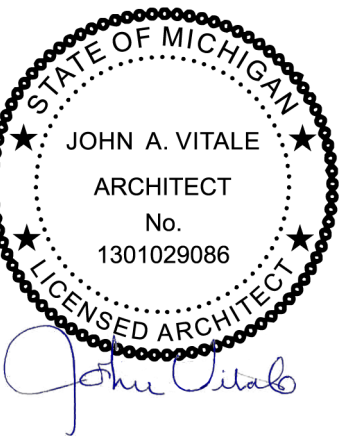


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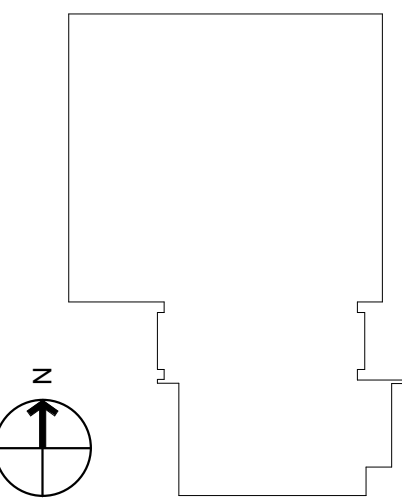


Project :

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Key Plan:



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EXTERIOR RENDERINGS

Project No. :

2022.072

Sheet No. :

A311

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General Note

1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
2. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"
3. LIGHTING ALTERNATES REQUIRE NEW PHOTOMETRIC CALCULATION AND RESUBMISSION TO CITY FOR APPROVAL.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

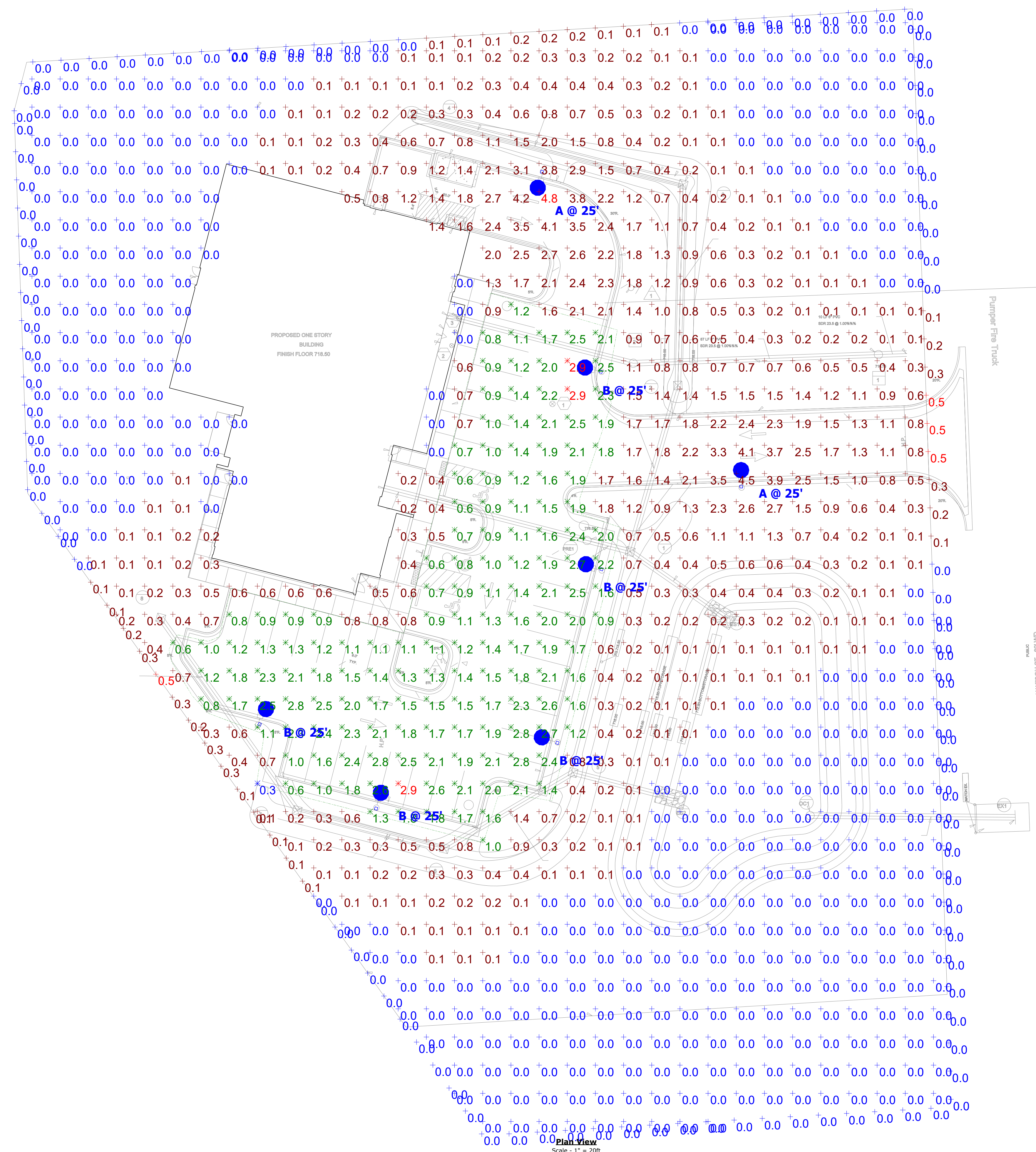
FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

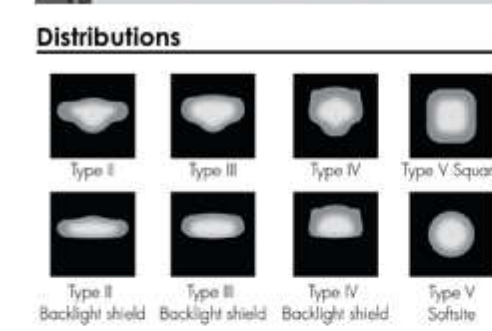
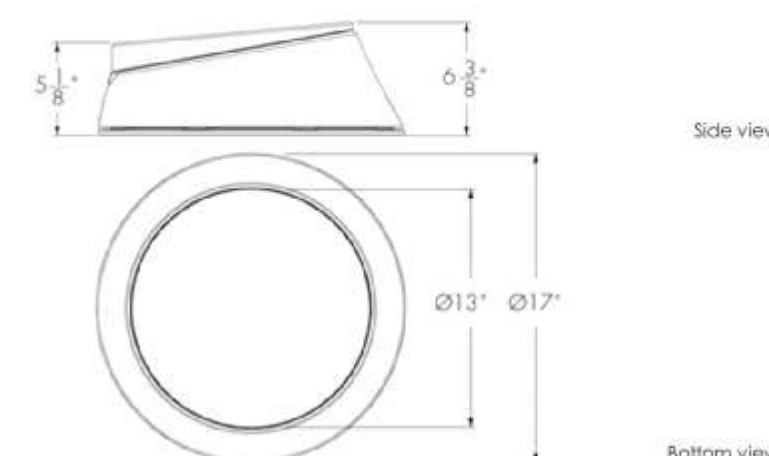
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lumens Per Lamp	Light Loss Factor	Wattage
⊙	A	2	Lumenpulse	LIAM-120_277-CSL-M150-40K-CRI 70-3	Lumenicon Medium	15003	0.9	132
⊙	B	5	Lumenpulse	LIAM-120_277-CSL-M150-40K-CRI 70-4 BLS	Lumenicon Medium	6991	0.9	132

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Grade	+	0.6 fc	4.8 fc	0.0 fc	N/A	N/A	0.1:1
Parking	✱	1.6 fc	2.9 fc	0.3 fc	9.7:1	5.3:1	0.6:1
Property Line	+	0.1 fc	0.5 fc	0.0 fc	N/A	N/A	0.2:1



Specification Sheet

Project Name _____ Qty _____
 Type _____ Catalog / Part Number _____



Description
 The Lumenicon Area Medium creates a consistent aesthetic while illuminating city streets, local roads, residential streets, parking lots and laneways. An innovative, hooded opening system makes the plug and play components easy to access. IP66 rated with phenomenal heat dissipation, the Lumenicon Area Medium is ready to take it to the streets (or parking lots, or building sides, or ramps, or...).

Colors and Color Temperatures
 2200K 2700K 3000K 3500K 4000K 5700K

Color and Color Temperature 2200K, 2700K, 3000K, 3500K, 4000K, 5700K

Control ON/OFF 0-10V

Options Corrosion-resistant coating for hostile environments, Surge protector, 5-Pin Receptacles with and without shoring cap, 7-Pin Receptacles with and without shoring cap

Rating IP66 (optical chamber)

Mounting Options Side Overlap (2 3/8 in. Tenon)

Certifications

Warranty 5-year limited warranty



Performance

Output (nominal lumens) Minimum 3000lm / Maximum 20000lm

Color Rendering 3 SDCM for CRI 70+ and 2 SDCM for CRI 80+

Lumen Maintenance TM-21 L70 L70 527,000 hrs (projected, Ta 77 °F), 36,000 hrs (reported, Ta 77 °F)

Dark Sky Dark sky compliant (2200K, 2700K and 3000K color temperatures, BUG rating of U0)

Physical

Housing Material Die cast low copper 360 aluminum alloy

