



## **REGULAR MEETING AGENDA**

**Tuesday, January 10, 2023  
6:30 P.M.**

**If you need any assistance due to a disability please contact the Planning Department at least 48 hours in advance of the meeting at [planning@ypsitownship.org](mailto:planning@ypsitownship.org) or 734-544-4000 ext. 1.**

1. Call to order
2. Roll call
3. Approval of the
  - A. November 22, 2022 regular meeting minutes (minutes not in the December PC packet)
  - B. December 13, 2022 regular meeting minutes
4. Approval of agenda
5. Public hearings
  - A. **600 Woodlawn Avenue – K-11-11-362-020** To consider the special land use review application of Laronda Campbell to permit a group daycare home, providing care for up to twelve (12) children, for a site zoned R-5, one-family residential.
6. Old business
7. New business
  - A. **600 Woodlawn Avenue – K-11-11-362-020** To consider the special land use review application of Laronda Campbell to permit a group daycare home, providing care for up to twelve (12) children, for a site zoned R-5, one-family residential.
  - B. **1441 / 1481 S Huron St – K-11-16-360-005 – Full Site Plan – Children’s Healing Center** – To consider the request for Preliminary Site Plan approval to construct an 11,000 sq/ft building which will be used as a year-round recreation center for children with weak immune systems for a site zoned TC – Town Center, with a Site Type B.

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**Township Supervisor**  
Brenda L. Stumbo  
**Township Clerk**  
Heather Jarrell Roe  
**Township Treasurer**  
Stan Eldridge



**YPSILANTI  
TOWNSHIP**  
— PLANNING & ZONING DEPARTMENT —

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**Trustees**  
John Newman II  
Gloria Peterson  
Debbie Swanson  
Jimmie Wilson Jr

8. Open Discussion for issues not on the agenda
  - A. Correspondence received
  - B. Planning Commission members
  - C. Members of the audience
9. Township Board representative report
10. Zoning Board of Appeals representative report
11. Township attorney report
12. Planning Department report
13. Other business
14. Adjournment

**CHARTER TOWNSHIP OF YPSILANTI  
PLANNING COMMISSION MEETING  
Tuesday, December 13, 2022  
6:30 pm**

**COMMISSIONERS PRESENT**

Bill Sinkule, Vice-Chair  
Gloria Peterson - Board Liaison  
Elizabeth El-Assadi  
Larry Doe  
Ryan Hunter  
Muddasar Tawakkul

**STAFF AND CONSULTANTS**

Jason Iacoangeli, Planning Director  
Amy Steffens, Director of Code Compliance  
Megan Masson Minock, Carlisle Wortman Associates

**i. CALL TO ORDER/ESTABLISH QUORUM**

**MOTION:** Mr. Sinkule called the meeting to order at 6:30 pm.

**ii. APPROVAL OF NOVEMBER 22, 2022, REGULAR MEETING MINUTES**

**MOTION:** Mr. Doe **MOVED** to approve the previous Board Meeting Minutes. The **MOTION** was **SECONDED** by Ms. Peterson and **PASSED** by unanimous consent.

**iii. APPROVAL OF AGENDA**

**MOTION:** Mr. Doe **MOVED** to approve the amended agenda. The **MOTION** was **SECONDED** by Mr. El-Assadi and **PASSED** by unanimous consent.

**iv. PUBLIC HEARINGS**

None to report.

**v. OLD BUSINESS**

None to report.

vi. **NEW BUSINESS**

A. **WORK SESSION: TO DISCUSS DRAFT PROPOSED ZONING TEXT AMENDMENTS.**

Mr. Iacoangeli presented the proposed zoning text amendments aggregated by the Planning Department since the adoption of the new zoning ordinances. This discussion would be preliminary with an in-depth discussion in 2023 and submission for approval in February. It was noted that there were 3 zoning districts and they would need adjustments, in particular in the industrial districts. Mr. Iacoangeli highlighted larger changes in the proposal:

Article IV from District Regulation Updates will acknowledge that single-family homes are authorized in multi-family homes and that district standards will be used that are most compliant for the lot. Mr. Iacoangeli stated this item came up after Habitat for Humanity tried to build a small home in a multi-family zoned area.

Section 507 – Design Standards had previously been left out. Information would be included so that someone who cannot get to 50% transparency on a non-public side of the building can still remain in compliance without using 50% glass on that side.

Article 10 – Special Land Use Review - Section 1005. Language will be included that states if an individual has conditional use, and is working in good faith to get a project done, then the conditional use will remain in place. This came after Roundhouse was required to return on multiple occasions for conditional use.

Article 11 - Temporary Sidewalks Outdoor and Tent Sales for principal uses or specific use provisions. It will state that 'Off-street parking shall be provided in keeping with the standards of 1205 parking requirements in those instances where usable floor area cannot be effectively measured. The sales space utilized will be included as measurable floor area.' This will create standards for tent sales.

Part 2 – B is being eliminated. The language is being adjusted to be more consistent around produce in tents. It was noted that typically sale of produce happens on farms, and in those cases they cannot quantify parking spaces needed which is why they will therefore be removing requirements from 1205.

State license residential child care and adult care facilities – outdated state licensing rules will be replaced with the State of Michigan's licensing rules. This will remove antiquated and specific words as details can vary and trying to keep up with it can be difficult.

Section 2109 will be taken out and replaced with Article 15 to clean up references to new ordinances.

Food truck ordinances from March did not include enough guidelines for staff to issue permits effectively. The proposed detail was taken from several surrounding municipalities. It will require that applicants get a yearly zoning compliance permit and display it so that the Enforcement Code is aware of it. The application will require documentation of property owner's permission, proposed location, permit terms, and county applicable health department rules to all be submitted with the permit. Food trucks have to provide trash and recycling receptacles for customer waste no more than 10 ft from the vendor. Food truck vendors are responsible for removing all associated trash, litter, and refuse from the site at the end of each day. Food truck vendors shall not cause parking, traffic, or vehicular accessibility conflicts, or pedestrian or other non-motorized conflicts allowing Enforcement to move trucks that have unintended consequences in the specified aspects. Food truck vendors may not use flashing or blinking lights to draw attention and anything over 60 watts has to be shielded. No loud music or application devices can be used to draw attention. No signage can be used other than what is on the truck. Food truck operations cannot be done for more than 12 hours and cannot be open past 10 p.m. Food trucks cannot be left unattended and no dining areas can be created for the food truck.

Permitted exterior wall signs and form-based codes for each unit will be determined as 1 sf of signage. No signs will be painted on the façade of the building. These items came to correct crowded units on buildings and individuals painting on signs rather than using traditional wall signs or monument signs.

The Board discussed examples of painted signs including a daycare.

Section 1305 - Walls and Fences was updated by removing the 6 ft fence requirements on side yards and front yards. It previously said if the house across the street faces one's yard then they cannot have a privacy fence. Updates would allow this with a 10 ft setback. Fences on through lots will also be allowed up to 6 ft with a 10 ft setback on the second front yard facing the through lot. Graphics will be updated accordingly.

Mr. Tawakkul joined the meeting at 6:53 p.m.

District regulations on industrial districts will have updated lines. Single-family homes in these areas can also use the most applicable districting rules within multi-family zones.

For marijuana facilities, operating is rendered non-conforming by the subsequent location by places of worship, school, childcare facilities, or public parks. Language will now include that if a marijuana establishment is in a neighborhood first and one of said groups comes to the neighborhood after, then they are still conforming despite the separation distance otherwise stated.

Commercial kennels or pet daycares were listed in neighborhood business and general business. Commercial kennels will be removed from that list as they are not consistent with requirements.

Smoking lounges were updated to be a special condition use by the Planning Commission. The previous ordinance did not have a section of conditional use despite reference to them having a condition in Section 1131.

Public utility buildings without storage yards did not previously have a designation so they would be placed under special land use by the Township Board for public hearing processes on new public utility buildings.

Towing services were operating from automotive repair businesses and ordinance enforcement was having trouble monitoring them. Moving forward, they will be moved out of neighborhood business and general business as they usually have heavy tow yards, cars not in driving conditions, and impounding lots.

The Board asked if towing would be moved to the regular industrial zone. Mr. Iacoangeli stated they would still be allowable in industrial districts; the update only addresses them in commercial centers. Mr. Iacoangeli noted that towing services were also being added to ICR districts as that is where car impacting historically takes place.

The Board asked if companies were currently towing in those areas or if it would impact them. Mr. Iacoangeli stated that the previous ordinance update in March impacted them but most of the bigger towing companies were on Michigan Avenue going out of town. Those already established are allowed to maintain their business but they cannot expand in the future.

Crematoriums now have special land use subject to conditions and a public hearing by the Board of Trustees. Crematoriums are regulated as a cemetery by the State of Michigan and there are a lot of state laws that go along with them. They will be changed to special land use processed by the Board of Trustees if one chooses to locate in town.

Massage therapy was previously included in the IC district but will be removed. After comparing definitions with other districts. Regular personal services would include barber shops, salons, massage therapy, spas, etc. under the State of Michigan licensing. Adult personal services would include erotic massage, body painting, burlesque theatre, etc. all of which would require special use. All businesses have a first amendment right but there is not a lot open in the historical IC district so many people aren't interested in opening business there. This change will allow legitimate massage businesses and spas to open on their own. Massage establishments can currently only hold 20% of another business such as a nail salon.

Tattoo Parlors were also taken out of the IC district and placed into the regular business district as they are now mainstream and there is more regulation including licensing requirements.

Towing services aren't totally out. Being added into ICR district. Historically have other car recycling and car impounding. Use tables were to give reference of other communities regulations. At the back, language from other municipalities.

Mr. Iacoangeli stated that language from other municipalities was included. Map amendments were also being updated as some form-based districts were misclassified and some colors were wrongly assigned. Updates on drawings would be brought back to the Board.

Mr. Tawakkul asked if the adoption of the food truck requirements would impede fundraisers that use them. Mr. Iacoangeli stated there is a section stating that food trucks may be of temporary use in all zoning districts in conjunction with the special event for which township approval had been granted. This means if an event has approval, then food truck vendors can be there.

Ms. Peterson verified that no tables or umbrellas would be authorized around the food truck. Mr. Iacoangeli stated that was correct. He stated in previous years, trucks would move multiple times a day and would post their moves. As they have a smaller food truck population, that approach had not yet been standardized.

Mr. Doe suggested allowing food trucks on Michigan Avenue to create a downtown feeling since they don't have a downtown. Mr. Iacoangeli stated that the Parks Department held a food truck event once in the summer and could do it more in the summer.

Mr. Sinkule stated that mobile barber shops were beginning in other cities and it is something they could consider in the future for their own city. Mr. Iacoangeli stated that this was the first he had heard of it but it could be a possibility.

Mr. Sinkule shared that Ford would soon have an event where they would replace batter, oil, and/or tires for Lincoln owners. He asked if the township needed regulations for it. Mr. Iacoangeli stated that it was a home service and as long as environmental services were taken seriously, they would not need to be involved.

**vii. OPEN DISCUSSION FOR ISSUES NOT ON THE AGENDA**

- A. **CORRESPONDENCE RECEIVED** -None
- B. **PLANNING COMMISSION MEMBERS** - None
- C. **MEMBERS OF THE AUDIENCE**- None

**viii. TOWNSHIP BOARD REPRESENTATIVE REPORT**

None to Report.

**ix. ZONING BOARD OF APPEALS REPRESENTATIVE REPORT**

None to Report.

x. **TOWNSHIP ATTORNEY REPORT**

None to Report.

xi. **PLANNING DEPARTMENT REPORT**

Mr. Iacoangeli informed the Commission that it would be Amy Steffens' last meeting as she was returning to her previous job.

The Board asked if there was an Economic Development position filled for the township. Mr. Iacoangeli stated the position was still open.

xii. **OTHER BUSINESS**

None to Report.

xiii. **ADJOURNMENT**

**MOTION:** Ms. Peterson **MOVED** to adjourn at 7:25 pm. The **MOTION** was **SECONDED** by Mr. Doe and **PASSED** by unanimous consent.

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Respectfully Submitted by: Minutes Services



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**Staff Report  
Group Daycare Home  
Special Conditional Use Application  
600 Woodlawn Avenue, Ypsilanti, MI 48198**

January 10, 2023

**CASE LOCATION AND SUMMARY**

The Office of Community Standards received an application for special conditional use permit for the purpose of allowing a Group Day Care Home, providing care for up to twelve (12) children, for a site zoned R-5, One Family Residential, located at 600 Woodlawn Avenue, parcel #K-11-11-362-020.

**OWNER/APPLICANT**

Laronda Campbell – Applicant / Tenant  
600 Woodlawn Avenue, Ypsilanti, MI 48198

Paul Johnson – Owner  
17670 Heim Road, Chelsea, MI 48118

**CROSS REFERENCES**

Zoning Ordinance citations:

- Article 4 – District Regulations: Sec. 420. – Residential Use Table
- Article 10 – Special Land Use: Sec. 1003. – Standards for Special Land Uses
- Article 11 – Specific Provisions: Sec. 1155. – State-Licensed Residential Child and Adult Care Facilities

Michigan Zoning Enabling Act (ZEA) citation:

- MCL 125.3206 Residential use of property; adult foster care facilities; family or group child care home

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**Township Supervisor**  
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**Township Clerk**  
Heather Jarrell Roe  
**Township Treasurer**  
Stan Eldridge



**YPSILANTI  
TOWNSHIP**  
— PLANNING & ZONING DEPARTMENT —

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**Trustees**  
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Gloria Peterson  
Debbie Swanson  
Jimmie Wilson Jr

## **SUBJECT SITE USE, ZONING AND COMPREHENSIVE PLAN**

The subject site is a 0.149-acre parcel, zoned R-5, One Family Residential, in the East Lawn Subdivision. The site is a 1,188 square foot single-family residential dwelling. The site is zoned, developed, and used for single-family residential purposes. The front façade faces Woodlawn Avenue, and the driveway entrance is on Woodlawn Avenue.

Both the Township Zoning Ordinance and the State of Michigan define a family day care home as *a private home in which at least one but less than seven children are received for care and supervision for periods of less than 24 hours a day, unattended by a parent or legal guardian, except children related to an adult member of the family by blood, marriage, or adoption. It includes a home that gives care to an unrelated child for more than four weeks during a calendar year.*

If approved, the special conditional use request would permit the applicant to establish a Group Day Care Home with *more than six but no more than 12 children.*

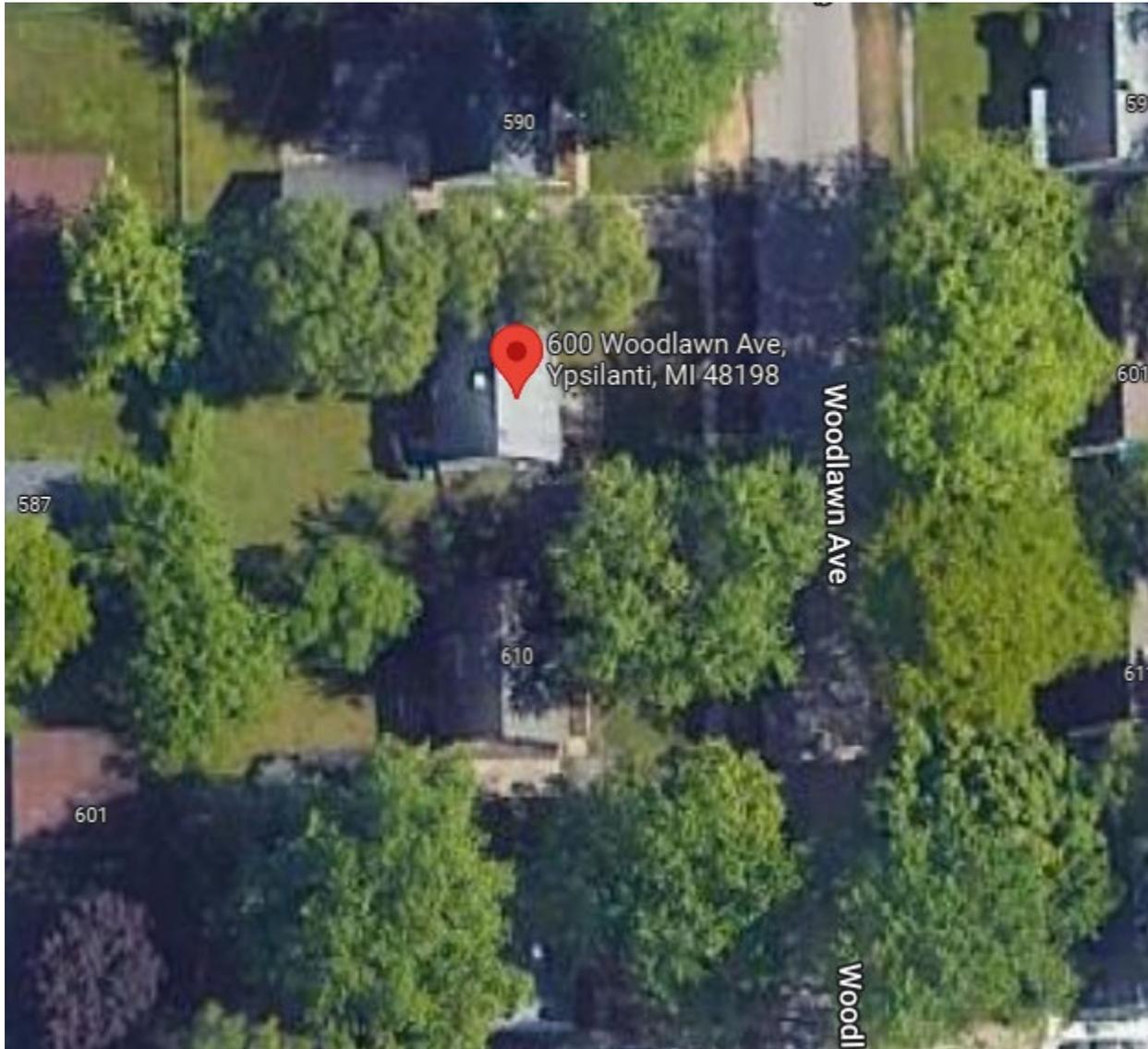
**Township Supervisor**  
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**YPSILANTI  
TOWNSHIP**  
— PLANNING & ZONING DEPARTMENT —

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**600 WOODLAND AVE, YPSILANTI, MI 48198 – AERIAL PHOTOGRAPH**



**Township Supervisor**  
 Brenda L. Stumbo  
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Staff confirmed that site conditions are as depicted in BS&A.

BS&A – View from Woodland Avenue.



<b>Direction</b>	<b>Use</b>	<b>Zoning</b>	<b>Master Plan</b>
North	SF Residential	R-5	Neighborhood preservation
South	SF Residential	R-5	Neighborhood preservation
East	SF Residential	R-5	Neighborhood preservation
West	SF Residential	R-5	Neighborhood preservation



## SITE HISTORY

The site has not previously been used for a family day care home (1-6 children). The applicant is seeking approval from the Planning Commission for a special use permit to establish a group day care home (7-12 children).

## NATURAL FEATURES

No natural features will be impacted by this proposed project.

## PROJECT ANALYSIS

The plan has been reviewed by Township staff. We offer the following comment for your consideration.

Per Sec. 420 of the township's zoning ordinance, prior to the establishment of a group daycare home (7-12 children), the applicant must apply for and obtain the necessary special conditional use permit. The applicant must meet or exceed the requirements noted within Sec. 1155 in addition to any other applicable State regulations.

Section 125.3206(4) of the ZEA stipulates that a group child care home **shall** be issued a special use permit, conditional use permit, or other similar permit if the group child care home meets all of the following standards:

- (4) For a county or township, a group child care home shall be issued a special use permit, conditional use permit, or other similar permit if the group child care home meets all of the following standards:
  - (a) Is located not closer than 1,500 feet to any of the following:
    - (i) Another licensed group child care home.
    - (ii) An adult foster care small group home or large group home licensed under the adult foster care facility licensing act, 1979 PA 218, MCL 400.701 to 400.737.
    - (iii) A facility offering substance use disorder services to 7 or more people that is licensed under part 62 of the public health code, 1978 PA 368, MCL 333.6230 to 333.6251.
    - (iv) A community correction center, resident home, halfway house, or other similar facility that houses an inmate population under the jurisdiction of the department of corrections.

*Staff comment:*



*The applicant meets all the standards above.*

- (b) Has appropriate fencing for the safety of the children in the group child care home as determined by the local unit of government.

*Staff comment: State regulations do not require the applicant to have an outdoor play structure on the property. Per the application submitted by Laronda Campbell, the rear yard is fenced in with a 4' tall chain-link fence.*

*Mich. Admin. Code R. 400.1920: (1) A child care home shall provide a clean, safe, and hazard free outdoor play area on the premises or within a reasonable walking distance of the home.*

*(2) The Play area size must be 1 of the following:*

- (a) Not less than 400 square feet for a family child care home.  
(b) Not less than 600 square feet for a group child care home.*

*The applicant will utilize the rear yard for a play area. The rear yard is approximately 1,200 sq. ft. in area.*

- (c) Maintains the property consistent with the visible characteristics of the neighborhood.

*Staff comment: The standard is met. The applicant has not proposed any changes to the exterior of the home and is consistent with the characteristics of the neighborhood.*

- (d) Does not exceed 16 hours of operation during a 24-hour period. The local unit of government may limit but not prohibit the operation of a group child care home between the hours of 10 p.m. and 6 a.m.

*Staff comment: The standard is met. The applicant proposes operating five (5) days a week from 6:00 a.m. to 6:00 p.m. (12 hours).*

- (e) Meets regulations, if any, governing signs used by a group child care home to identify itself.



*Staff comment: The standard is met. No signs are proposed. Any proposed sign would need to meet Ordinance requirements found in Article 15 – Signs.*

- (f) Meets regulations, if any, requiring a group child care home operator to provide off-street parking accommodations for his or her employees.

*Staff comment: The standard is met. Sec. 1205 of the township’s zoning ordinance requires that one (1) space be provided per six (6) clients; plus one (1) space per employee at time of peak shift.*

*The applicant will have two (2) caregivers. The subject property complies with a two (2) off-street parking spaces in the driveway and two (2+) on-street parking spaces.*

The township’s zoning ordinance Sec. 1155 provides for additional requirements for state-licensed residential child and adult care facilities. Such uses shall meet the following regulations:

- a. These facilities, except for adult/child family day care homes, shall be registered with the Ypsilanti Township Community Development Department and shall continually have on file with the township documentation of a valid license as required by the state.

*Staff comment: If approved, the group day care home shall register with the Ypsilanti Township Community Development Department and shall continually have on file with the Township documentation of a valid license as required by the state.*

- b. Since the state law preempts in this area, these facilities shall be brought into compliance with all state building and fire codes pursuant to State Licensing Rules R400.1131—R400.1135. Documentation of such compliance with state requirements shall be provided.

*Staff comment: If approved, the group day care home shall be brought into compliance with all state building and fire codes pursuant to State Licensing Rules R400.1831—R400.1835. Documentation of such compliance with state requirements shall be provided to the Office of Community Standards.*



- c. The site shall comply with the sign provisions of sec. 1509.

*Staff comment: No signs are proposed.*

- d. Off-street parking shall be provided for the number of employees on site at any one time.

*Staff comment: There will be two (2) caregivers including the primary residential occupant. The requirement is met.*

- e. If located in a single-family residential district, the building shall have an appearance which is nonintrusive and consistent in color, materials, roof-line and architecture, as determined by the planning commission.

*Staff comment: The applicant has not proposed any changes to the exterior of the home. The subject property is consistent in appearance with other single-family homes in the neighborhood.*

- f. Documentation of sufficient indoor classroom, crib or play area meeting state requirements shall be provided. Documentation of approved areas, as licensed by the state, shall be provided.

*Staff comment: The applicant provided documentation of the layout of the home. The documentation of the approved areas shall be licensed by the State.*

- g. There shall be sufficient outdoor play area to meet state regulations. All required outdoor play areas shall be fenced with a four-foot tall fence, provided that no fence shall be located in a front yard.

*Staff comment: There is an enclosed rear yard for children. The allocated area meets state size requirements.*

**Township Zoning Ordinance Section 1003. – Standards for Special land uses:**

The Planning Commission shall review the particular circumstances and facts of each proposed use in terms of the following standards and required findings, and with respect



to any additional standards set forth in the ordinance. The Planning Commission shall find and report adequate data, information, and evidence showing that the proposed use meets all required standards and:

- a. Will be harmonious, and in accordance with the objectives, intent, and purpose of this ordinance; and

*Staff comment: The subject property is harmonious with the objectives, intent, and purpose of this ordinance and the proposed special conditional use is not proposing to be contrary to the ordinance.*

- b. Will be compatible with a natural environment and existing and future land uses in the vicinity; and

*Staff comment: The subject property is compatible with the natural environment and existing and future land uses and the proposed special conditional use is not proposing to be contrary to the ordinance.*

- c. Will be compatible with the township master plans; and

*Staff comment: The subject property and proposed use would be compatible with the Township Master Plan. The property is zoned R5 – One Family Residential, and the future land use designation is Neighborhood Preservation.*

- d. Will be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage ways and structures, refuse disposal, or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately for such services; and

*Staff comment: The subject property is an existing home and is served by essential public services.*

- e. Will not be detrimental, hazardous, or disturbing to existing or future neighboring uses, persons, property, or the public welfare; and

*Staff comment: The location of the proposed Group Day Care Home is a safe environment for this type of use. Woodlawn Avenue is residential and traffic*



*volumes are low. This use will not be detrimental to the neighborhood, future uses, or public welfare. The applicant is providing an essential service to working parents in the community.*

- f. Will not create additional requirements at public costs for public facilities and services that will be detrimental to the economic welfare of the community.

*Staff comment: The proposed use would likely not create additional requirements at public costs for public facilities and services that will be detrimental to the economic welfare of the community.*

### **SUGGESTED MOTIONS**

The following suggested motions are provided to assist the Commission in making the desired motion of their choice. The Commission may use, add, or reject any conditions suggested herein as they deem appropriate.

#### **Motion to approve:**

I move to approve the special conditional use permit request of Laronda Campbell for the purpose of allowing a Group Daycare Home, providing care for up to twelve (12) children, for a site zoned R5, One Family Residential, located at 600 Woodlawn Avenue, parcel, K-11-11-362-020 with the following conditions:

1. The applicant shall agree to enter into a special conditional use agreement outlining the following conditions
  - a. The applicant shall supply, prior to operation of a group day care home, to the Office of Community Standards a daycare application and all documentation as required by the daycare application, including but not limited to, scaled and accurate survey drawing, correlated with a legal description and showing all existing buildings, drives, and other improvements; copy of state license; copy of inspection reports, drawings or pictures of the house layout, showing the rooms that will be utilized for the daycare.
  - b. Subject site shall be brought into compliance with all state building and fire codes pursuant to state licensing rules.
  - c. Use shall comply with township sign ordinance.
  - d. Required off-street parking shall be provided during hours of operation.
  - e. Outdoor play area shall be provided pursuant to state licensing rules.



2. For the safety of all occupants and upon sufficient notice, the applicant shall permit, prior to operation of a group day care home, the dwelling to be inspected by the Township Building official and/or Fire Marshal to insure compliance with the adopted property maintenance code.

**Motion to table:**

I move to table the special conditional use permit request of Laronda Campbell for the purpose of allowing a Group Daycare Home, providing care for up to twelve (12) children, for a site zoned R5, One Family Residential, located at 600 Woodlawn Avenue, parcel, K-11-11-362-020 in order to consider the comments presented during this public hearing and to further allow the applicant to resolve the issues noted during this public hearing.

**Motion to deny:**

I move to deny the special conditional use permit request of Laronda Campbell for the purpose of allowing a Group Daycare Home, providing care for up to twelve (12) children, for a site zoned R5, One Family Residential, located at 600 Woodlawn Avenue, parcel, K-11-11-362-020 following reasons (Commissioner to insert reasons for denial):

Respectfully submitted,

Fletcher Reyher  
Staff Planner



**MICHIGAN ZONING ENABLING ACT (EXCERPT)  
Act 110 of 2006**

**125.3206 Residential use of property; adult foster care facilities; family or group child care homes.**

Sec. 206.

(1) Except as provided in subsection (2), each of the following is a residential use of property for the purposes of zoning and a permitted use in all residential zones and is not subject to a special use or conditional use permit or procedure different from those required for other dwellings of similar density in the same zone:

(i) A state licensed residential facility.

(ii) A facility in use as described in section 3(4) (k) of the adult foster care facility licensing act, 1979 PA 218, MCL 400.703.

(2) Subsection (1) does not apply to adult foster care facilities licensed by a state agency for care and treatment of persons released from or assigned to adult correctional institutions.

(3) For a county or township, a family child care home is a residential use of property for the purposes of zoning and a permitted use in all residential zones and is not subject to a special use or conditional use permit or procedure different from those required for other dwellings of similar density in the same zone.

(4) For a county or township, a group child care home shall be issued a special use permit, conditional use permit, or other similar permit if the group child care home meets all of the following standards:

(a) Is located not closer than 1,500 feet to any of the following:

(i) Another licensed group child care home.

(ii) An adult foster care small group home or large group home licensed under the adult foster care facility licensing act, 1979 PA 218, MCL 400.701 to 400.737.

(iii) A facility offering substance use disorder services to 7 or more people that is licensed under part 62 of the public health code, 1978 PA 368, MCL 333.6230 to 333.6251.

(iv) A community correction center, resident home, halfway house, or other similar facility that houses an inmate population under the jurisdiction of the department of corrections.

(b) Has appropriate fencing for the safety of the children in the group child care home as determined by the local unit of government.

(c) Maintains the property consistent with the visible characteristics of the neighborhood.

(d) Does not exceed 16 hours of operation during a 24-hour period. The local unit of government may limit but not prohibit the operation of a group child care home between the hours of 10 p.m. and 6 a.m.

(e) Meets regulations, if any, governing signs used by a group child care home to identify itself.



(f) Meets regulations, if any, requiring a group child care home operator to provide off-street parking accommodations for his or her employees.

(5) For a city or village, a group child care home may be issued a special use permit, conditional use permit, or other similar permit.

(6) A licensed or registered family or group child care home that operated before March 30, 1989 is not required to comply with this section.

(7) This section does not prohibit a local unit of government from inspecting a family or group child care home for the home's compliance with and enforcing the local unit of government's zoning ordinance. For a county or township, an ordinance shall not be more restrictive for a family or group child care home than 1973 PA 116, MCL 722.111 to 722.128.

(8) The establishment of any of the facilities listed under subsection (4)(a) after issuance of a special use permit, conditional use permit, or other similar permit pertaining to the group child care home does not affect renewal of that permit.

(9) This section does not prohibit a local unit of government from issuing a special use permit, conditional use permit, or other similar permit to a licensed group child care home that does not meet the standards listed under subsection (4).

(10) The distances required under subsection (4)(a) shall be measured along a road, street, or place maintained by this state or a local unit of government and generally open to the public as a matter of right for the purpose of vehicular traffic, not including an alley.

# DAYCARE APPLICATION

## I. PROJECT LOCATION

Address: 600 Woodlawn Avenue Parcel ID #: K-11- 11-362-020 Zoning R-5  
Lot Number: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Describe proposed use: Family childcare Group Home

If you are using the basement, note the size of the windows: No basement

Names and ages of the helpers: Daryona Armstead (18 yrs. of age)

Days and hours of operation: 6:00am-6:00pm Monday-Friday

Is the backyard fenced? (Requirement of the Township is that, at a minimum, the play area must be fenced).

Yes  
 No

## II. APPLICANT/PROPERTY OWNER

Applicant: Laronda Campbell Lets boogie llc@gmail.com Phone: (734) 635-4013  
Address: 600 Woodlawn Avenue City: Ypsilanti State: MI Zip: 48198  
Property Owner (if different than applicant): Paul Johnson Phone: (734) 216-3302  
Address: 17670 Heim Rd. City: Chelsea State: MI Zip: 48118

## III. FEES

Total: \$ \_\_\_\_\_ Breakdown of fee: \_\_\_\_\_ Group day care home: \$100

## IV. APPLICANT SIGNATURE

The following are attached to this application:

- Name(s) and address(es) of all record owner(s) and proof of ownership.
- If applicant is not the fee-simple owner, the owner's signed authorization for application must be attached to this application.
- Scaled and accurate survey drawing, correlated with a legal description and showing all existing buildings, drives and other improvements.
- Section of Zoning Ordinance involved in this request 2122.(1): \_\_\_\_\_
- Copy of State license.
- Copy of inspection reports.
- Drawing or pictures of the house layout, showing the rooms that you will utilize for the daycare.

[Signature] Laronda Campbell 7-5-2022  
Applicant Signature Print Name Date

Approved  
 Denied

\_\_\_\_\_  
Zoning Administrator Signature Print Name Date

Please note: Application cannot be appealed to the Board of Appeals. If denied by the Planning Commission, re-application can be made to the Planning Commission after 365 days, after the date of this application, except on the grounds of new evidence or proof of changed conditions found by the Planning Commission to be valid.

# Charter Township of Ypsilanti

## Office of Community Standards

7200 S. Huron Drive, Ypsilanti, MI 48197

Phone: (734) 485-3943

Website: <https://ytown.org>

**OFFICE USE ONLY**

### All daycare applications

- |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ul style="list-style-type: none"><li><input checked="" type="checkbox"/> The application is filled out in its entirety and includes the signature of the applicant and, if different than the applicant, the property owner.</li><li><input checked="" type="checkbox"/> Name(s) and address(es) of all record owner(s) and proof of ownership. If the applicant is not the property owner, written and signed permission from the property owner is required</li><li><input checked="" type="checkbox"/> A detailed description of the proposed use.</li><li><input type="checkbox"/> Fees</li><li><input type="checkbox"/> Section of Zoning Ordinance involved in this request 2122.(1)</li><li><input type="checkbox"/> Copy of State license.</li><li><input type="checkbox"/> Copy of inspection reports.</li><li><input type="checkbox"/> Description of proposed use, including:</li><li><input checked="" type="checkbox"/> Size of basement windows, if applicable</li><li><input checked="" type="checkbox"/> Names and ages of the helpers.</li><li><input type="checkbox"/> Days and hours of operation.</li><li><input checked="" type="checkbox"/> Indication if the backyard is fenced or not (requirement of the Township is that, at a minimum, the play area must be fenced).</li></ul> | <ul style="list-style-type: none"><li><input type="checkbox"/> Scaled and accurate survey drawing, correlated with a legal description and showing:<ul style="list-style-type: none"><li><input type="checkbox"/> All property lines and dimensions</li><li><input type="checkbox"/> All existing and proposed structures and dimensions</li><li><input type="checkbox"/> Locations of drives, sidewalks, and other paved areas on the property and on the adjacent streets</li><li><input type="checkbox"/> Location and dimensions of the nearest structures on adjacent properties</li><li><input type="checkbox"/> Easements and dimensions, if applicable</li></ul></li><li><input type="checkbox"/> Drawing or pictures of the house layout, showing the rooms that you will utilize for the daycare.</li><li><input type="checkbox"/> A site plan, if requested by the planning commission</li></ul> |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

Let's Boogie Learning Pod will operate from 6:00 am - 6:00 pm Monday - Friday, excluding some holidays.

There will be one helper for every six kids included in the daycare. Myself {Laronda Campbell} 38 years of age, and Daryona Armstead, 18 years of age, will be at the opening of care hours each day.

600 Woodlawn Avenue, Ypsilanti, MI, does occupy a fenced-in backyard where children will be at play during recess hours.

Let's Boogie Learning Pod is a daycare company that provides care for children in the Ann Arbor/Ypsilanti area, located at 600 Woodlawn Avenue in Ypsilanti, Michigan. We will provide child care for working parents trying to pursue a career or return to school for a better education. We will aim to not only care for the children but to broaden their academic potential. We will focus on keeping children safe, happy, and healthy, along with psychical education.

600 Woodlawn Avenue is a four-bedroom main floor and upper room level home, with one and a half baths excluding a basement. Here, we plan to utilize three bedrooms, a kitchen, a bathroom, and a living area as part of the family group home.

These rooms will provide extra space for different needs. Such as the infant room. The infant room will consist of baby cribs, changing tables, cradle rockers, and a quiet place for babies to sleep.

The second room will be the playroom, and the playroom will have toys, games, a mounted television for movies, and educated activity ideas.

The third room will be the nap room, which will consist of cots for sleeping.

The living room will be interchangeable for the daycare. We will have a reading hour, exercise time, vision board planning, and free handwriting during these hours.

**CHARTER TOWNSHIP OF YPSILANTI**  
**CERTIFICATE OF COMPLIANCE**  
**Single-Family Rental Unit**

Office of Community Standards  
7200 S Huron River Drive ~ Ypsilanti, Michigan 48197  
Phone:( 734) 485-3943 / Fax: (734) 484-5151 / www.ytown.org

**JOHNSON, PAUL C & LELA DIANE**  
**17670 HELM RD**  
**CHELSEA MI 48118**

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This certifies that the described property has been inspected and found to be in compliance with the provisions of the Ypsilanti Township Property Maintenance ordinance for multi-family rental units. This certificate will remain valid until its expiration date as long as conditions observed on the date of inspection do not change to alter the findings.

**600 WOODLAWN AVE**

**K -11-11-362-020**

**EXPIRATION DATE: 11/02/2023**

**CSFR-21-1199**

Dave Bellers

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Chief Building Official

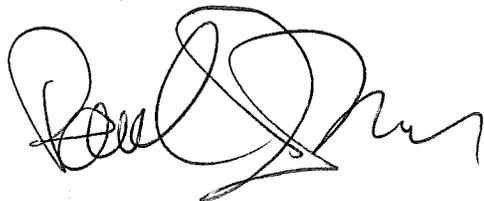
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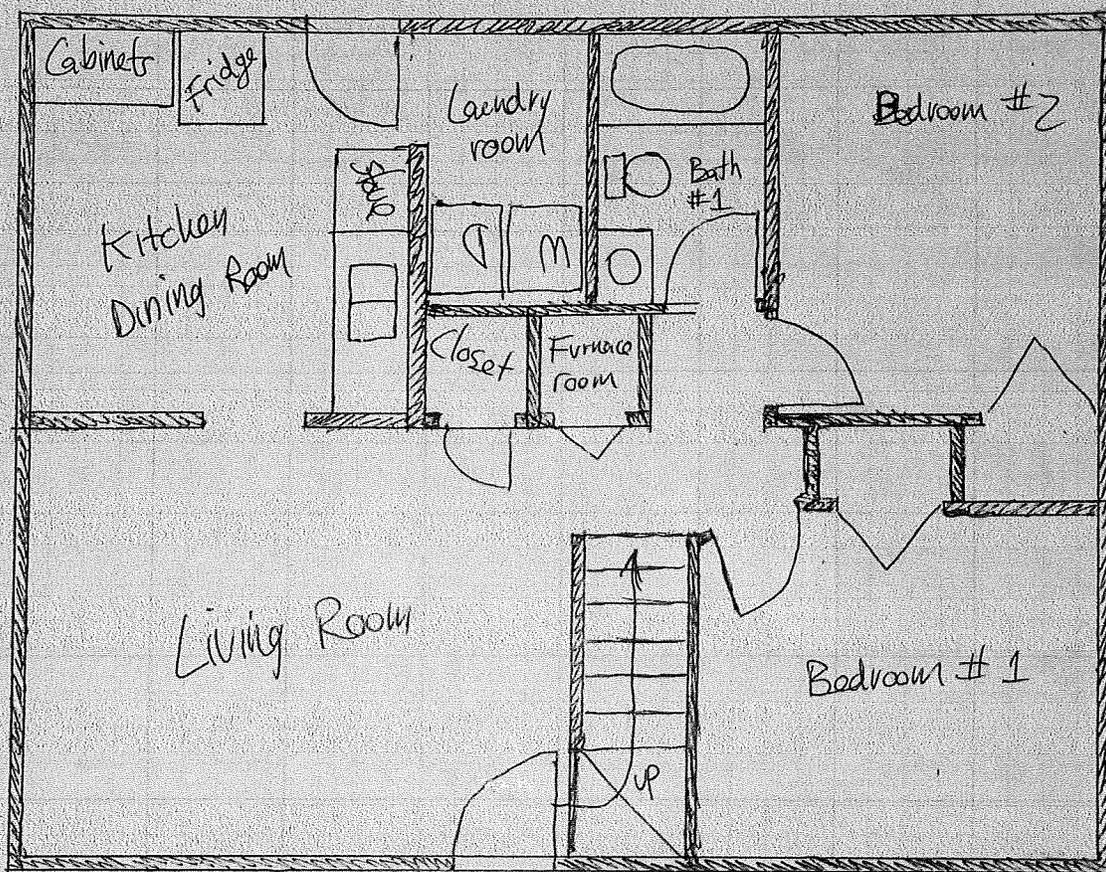
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To whom it may concern,

I, Paul Johnson, do give Caronda Campbell permission to use our rental horse at 600 Woodlawn Ave, Ypsilanti, Mi. 48198 for her daycare facility. If any questions, feel free to call me at (734) 216-3302, or email me at [pjohnsonconstruction@gmail.com](mailto:pjohnsonconstruction@gmail.com).

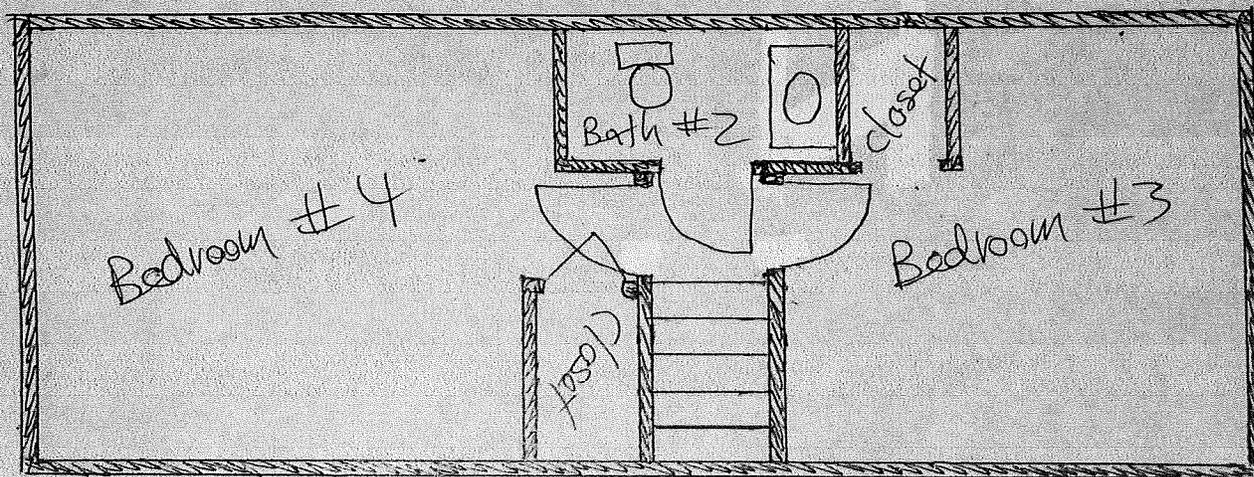
Thanks,

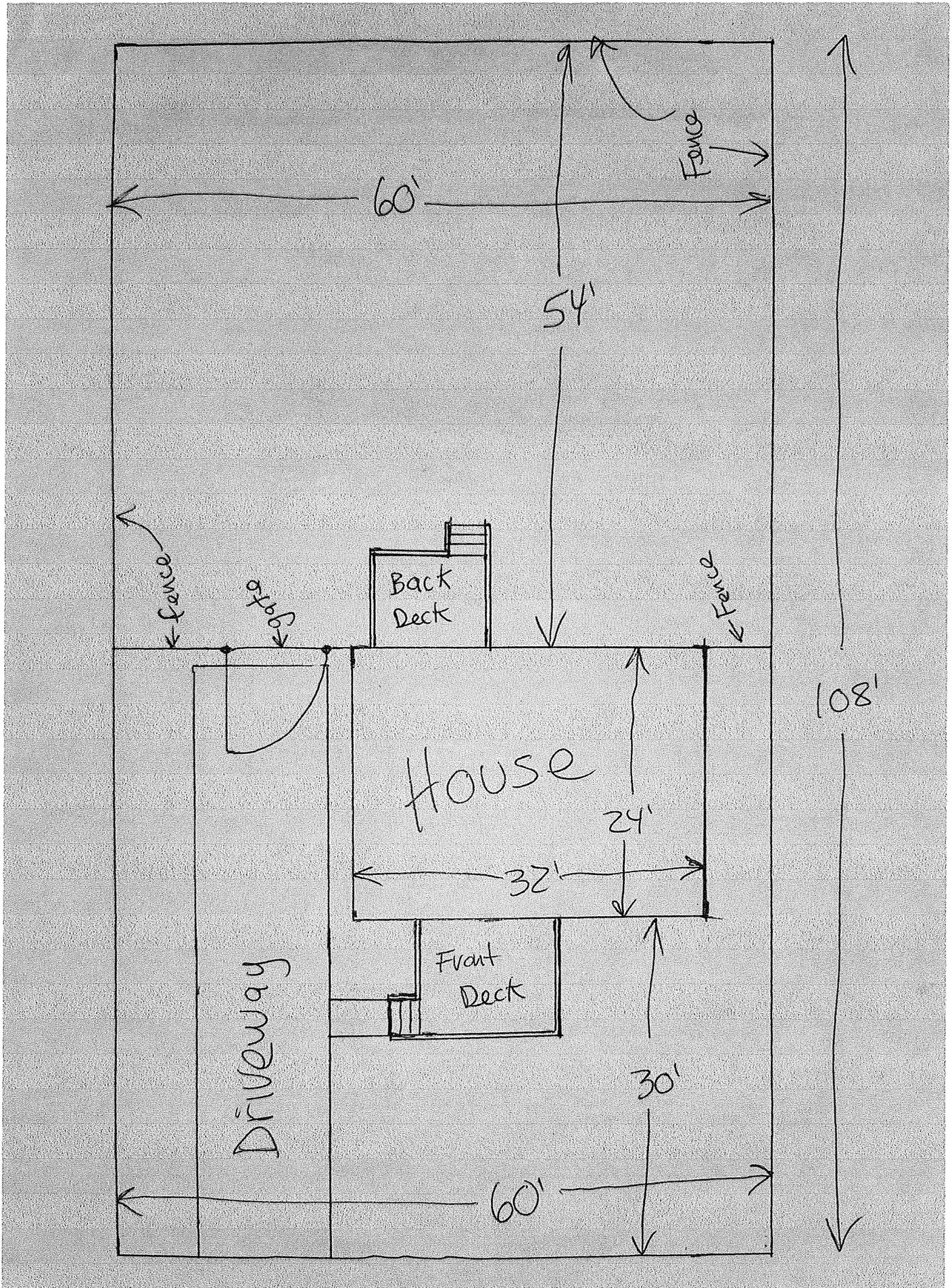
A handwritten signature in black ink, appearing to read "Paul Johnson". The signature is stylized with large, overlapping loops and a long horizontal stroke at the end.



Main Floor Floor Plan

# Upstairs Floor Plan







**Staff Report  
Children's Healing Center  
1441 S. Huron Street  
Preliminary Site Plan Review**

January 10, 2023

**Case Location and Summary**

The Office of Community Standards is in receipt of a Preliminary Site Plan Application from Amanda Barbour for a proposed 11,000 sq. ft. building to be located at 1441 S. Huron Street Parcel #K-11-16-360-005. The applicant describes the Children's Healing Center as the nation's first year-round recreation center where kids with weak immune systems can play.

**Owner/Applicant**

KALITTA LLC, - Owner  
818 Willow Run Airport, Ypsilanti, MI 48198

Amanda Barbour – Applicant  
1530 Fulton Street, Grand Rapids, MI 49503

**Cross References**

Zoning Ordinance citations:

- Article 5 – Form Based Districts
- Article 9 – Site Plan Review
- Article 12 – Access, Parking, and Loading
- Article 13 – Site Design Standards

**Analysis**

The Plans have been reviewed by Township Staff and consultants in accordance with our procedures.

**Planning Consultants (Carlisle/Wortman Associates):**

CWA reviewed the Preliminary Site Plan and has recommended approval in their letter dated December 20, 2022. CWA lists four (4) conditions of approval as listed in their letter.

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**Township Supervisor**  
Brenda L. Stumbo  
**Township Clerk**  
Heather Jarrell Roe  
**Township Treasurer**  
Stan Eldridge



**YPSILANTI  
TOWNSHIP**  
— PLANNING & ZONING DEPARTMENT —

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**Trustees**  
John Newman II  
Gloria Peterson  
Debbie Swanson  
Jimmie Wilson Jr

**Engineering Consultants (OHM):**

The Township Engineer recommended approval for this stage of the process in their December 21, 2022 review letter. OHM has provided preliminary detailed engineering comments that will be addressed at the time of Final Site Plan and Detailed Engineering.

**Ypsilanti Community Utilities Authority (YCUA):**

YCUA reviewing agent Scott Westover has recommended preliminary site plan approval in a letter dated December 15, 2022.

**Ypsilanti Township Fire Department:**

YTFD Fire Marshall Steve Wallgren has recommended preliminary site plan approval in a letter dated December 16, 2022.

**Washtenaw County Water Resources Commission:**

No comments at this time.

**Washtenaw County Road Commission:**

WCRC Project Manager Gary Streight shared comments with the Planning Department on December 22, 2022.

## *Planning Director's Report*

Project Name: Children's Healing Center

Location: 1441 S Huron St, Ypsilanti, MI 48197

Date: 12-22-2022

- |                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                             |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> Full Preliminary Site Plan Review # 1<br><input type="checkbox"/> Sketch Preliminary Site Plan Review #<br><input type="checkbox"/> Administrative Preliminary Site Plan Review #<br><input type="checkbox"/> Detailed Engineering/Final Site Plan Review #<br><input type="checkbox"/> Special Use Permit<br><input type="checkbox"/> Public Hearing | <input type="checkbox"/> Rezoning<br><input type="checkbox"/> Tentative Preliminary Plat<br><input type="checkbox"/> Final Preliminary Plat<br><input type="checkbox"/> Final Plat Process<br><input type="checkbox"/> Planned Development Stage I<br><input type="checkbox"/> Planned Development Stage II |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

Contact / Reviewer	Consultants, Departments, & Agencies	Approved	Approved with Conditions	Denied	N/A	See email/letter attached or comments below
Jason Iacoangeli, Planning Director	Township Planning Department	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See Directors Comments Below
Carlisle/Wortman Associates	Planning Consultant	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 12-20-2022
OHM / Stantec	Engineering Consultant	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 12-21-2022
Steven Wallgren, Fire Marshal	Township Fire Department	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 12-16-2022
Dave Bellers, Building Official	Township Building Department	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Brian McCleery, Deputy Assessor	Township Assessing Department	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Scott Westover, Engineering Manager	Ypsilanti Community Utilities Authority	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 12-15-2022
Gary Streight, Project Manager	Washtenaw County Road Commission	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	See email dated 12-22-2022
Theresa Marsik, Stormwater Engineer	Washtenaw County Water Resources Commission	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
James Drury, Permit Agent	Michigan Department of Transportation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

### Planning Director's Recommended Action:

At this time, Children's Healing Center is eligible for consideration for Preliminary Site Plan approval by the Planning Commission. This project is being placed on the Planning Commission agenda for Tuesday, January 10th, 2023 at the regularly scheduled meeting. It would be the Planning Departments recommendation that the Planning Commission grant Preliminary Site Plan approval as this project meets the conditions of the Township Zoning Ordinance for a new development of this type. The approval should be contingent on the applicant addressing the remaining engineering comments, Ypsilanti Township Fire Department Comments, Carlisle Wortman Associates comments, Washtenaw County Water Resources Commission comments, and Washtenaw County Road Commission comments as required as a part of the Final Site Plan / Detailed Engineering Design. In addition, the approval should be contingent on the applicant addressing the conditions of approval presented in the Planning Departments Staff Report.



# Carlisle | Wortman ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: December 20, 2022

## Preliminary Site Plan For Ypsilanti Charter Township, Michigan

### GENERAL INFORMATION

**Applicant:** Children’s Healing Center

**Project Name:** Children’s Healing Center

**Plan Date:** November 29, 2022

**Location:** 1441 S. Huron Street

**Zoning:** TC, Town Center

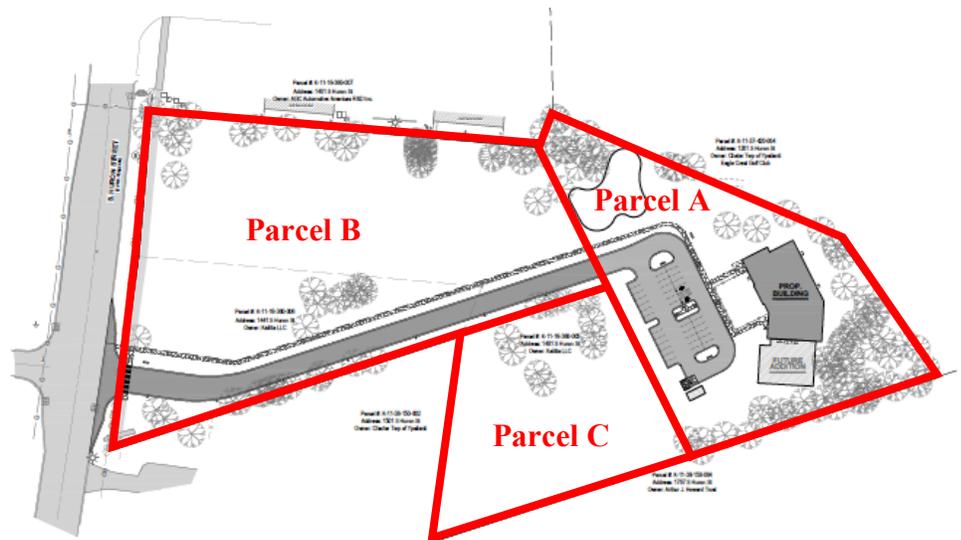
**Action Requested:** Preliminary Site Plan Approval

### PROJECT AND SITE DESCRIPTION

An application has been submitted to convert two existing lots into three lots and develop a 11,000 sq/ft Children’s Healing Center on the rear parcel. The total site area is approximately 10.00 acres.

The proposed development includes:

Parcel	Use
A: Children’s Healing Center	Children’s Healing Center
B: Future Development	Unknown
C: Future Development	Unknown



The proposed children healing center is a 11,000 sq/ft building. The use as described by the applicant:

*As the nation's first year-round recreation center where kids with weak immune systems can play in a safe space, the Children's Healing Center has quickly grown to include a wide range of programs that emphasize research-based play, socialization and learning.*

*Our goal is for you and your family to feel the love and passion that has gone into the Center each time you walk through our front door. From the program staff and volunteers to the medical team and our board of directors, you will be supported and given countless opportunities to create wonderfully positive memories during your journey. The Children's Healing Center is more than just a place to play, connect and relax – it's a place where your entire family will build relationships that will last a lifetime.*

*The Center is now expanding to South East Michigan. This location will broaden the reach to residents in the Ann Arbor / Ypsilanti and Metro Detroit market.*

*This Center will be an eleven thousand square foot complex that will have the following programmatic elements. A large multi-purpose room to allow for flexible presentation and activities for all ages, An active fitness room, Art room, exploratory play for the younger students as well as a Teen AYO area and a relax and recharge space for the parents. An office area for the staff to work is included in the scope as well. The site also allows for large expanse areas for outdoor play.*

**Location of Subject Property:**



**MASTER PLAN**

Per the master plan, the site is designed as Township Core. The Township Core is intended to be the central core of the township. It includes the governmental center of the township with the Civic Center, County Courthouse, and the district library. Huron Street and the immediate surrounding area is meant to host a mix of uses from multiple-family residential to commercial to light industrial. The development of this site and the proposed use is consistent with the Master Plan.

**Items to be Addressed:** None

## ZONING

Sites in form base districts are regulated by site types (A-D). A general rule of thumb is that larger sites on more heavily traveled corridors permit greater intensity of use and building size. Site Type D permits the most intensity and Site Type A permits the least. Each site within a form-based district was carefully and individually classified by site type based upon existing site conditions and context of surrounding properties.

This site is zone TC-Form based and includes both Site Type A and Site Type B.

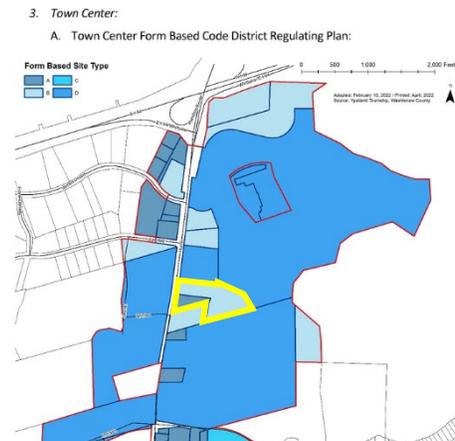
Because the applicant is essentially “converting” two parcels into three, and the new parcels lines do not follow the existing parcel lines, a modification of the regulating plan is required. We recommend that all three sites be modified to Site Type A. Modifying all three parcels are Site Type A would still permit the Children’s Healing Center to remain as a permitted use.

As set forth in Section 5.03, the process to modify a regulating plan is as follows:

*Modification of regulating plan: Specific building form, use group, and design standards applied within each regulating plan are based upon the designation of site type. Any modification of site type may be determined by the Planning Commission, notice and after conducting a public hearing in accordance with Article 18.*

*The Planning Commission shall consider the following in making a determination to modify a site type or street type designation:*

- A. The applicant’s property cannot be used for the purpose permitted in the form-based district.*
- B. Area has been added to or deleted from the subject property in question, requiring the modification.*
- C. The proposed modification and resulting development will not alter the essential character of the area.*
- D. The proposed modification meets the intent of the district.*
- E. Existing streets have been improved and/or new streets constructed that may result in the modification of a specific site type.*
- F. Modification to the Regulating Plan is in conformance to the Master Plan and Placemaking Plan.*



We support the reclassification of the regulating plan for the following reasons:

1. The applicant is converting two lots into three, thus reducing the size of each parcel. Reducing the site makes the existing parcels more consistent with Site Type A than the existing Site Type B designation.
2. The land division and construction of the Children’s Healing Center is consistent with the goals of the Master Plan.
3. The proposed modification and resulting development will enhance the essential character of the area.
4. A new private street is proposed that requires the modification of the site type.

**Items to be Addressed:** *Planning Commission to hold a public hearing regarding the modification to the Regulating Plan.*

**NATURAL RESOURCES & UTILITIES**

**Topography:** The subject parcel is relatively flat.

**Woodlands:** The site is encumbered with numerous woodlands. The applicant provided a tree survey that indicates they are planning on preserving trees and removing trees. The applicant should provide a woodland protection table based on the woodland ordinance set forth in Chapter 24, Article 3: Woodland Protection.

**Wetlands:** There are no wetlands on the subject property.

**Items to be Addressed:** *Provide a woodland protection table based on the woodland ordinance set forth in Chapter 24, Article 3: Woodland Protection*

**HEIGHT, BULK, DENSITY AND AREA**

		Required / Allowed	Provided	Complies with Ordinance/Variance
<b>Lot Area</b>		None	+/- 3 acres	Complies
<b>Setback</b>	Front	10 feet-build to line	+10 feet	Complies, see discussion below
	Side	0 feet	100 feet	Complies
	Side	0 feet	+100 feet	Complies
	Rear	10 foot	30 foot	Complies
<b>Building Height (Feet)</b>		25 feet	25 feet	Complies
<b>Building Height (Stories)</b>		2	1	Complies

The building is setback more than 10-feet from the front building line. If the parcel was adjacent to Huron Drive the building would be required to be located with the required build-to-line. However, when the building on Parcel B is constructed, that future building will be required to meet the build-to-line requirements.

Please note that the applicant has shown a “future building” on the site plan. The future building is not part of this review and will require a site plan review once formally proposed.

**Items to be Addressed:** None

### SITE ACCESS, CIRCULATION, AND TRAFFIC IMPACTS

All three parcels will be served by a private road with one point of access off Huron Drive. The road is required to be constructed to meet private road standards. The private road will be reviewed by the Township Engineer. Circulation to be reviewed by the Township Engineer and Fire Marshall.

The applicant is required to obtain access permits from the Washtenaw County Road Commission.

**Items to be Addressed:** Private road to be constructed to private road standards.

### NON-MOTORIZED ACCESS

The applicant is proposing a sidewalk from Huron Drive to the front door of the Children’s Healing Center. Pedestrian access and circulation are sufficient.

**Items to be Addressed:** None

### PARKING

	Required	Provided	Complies
One (1) per three hundred (300) square feet gross floor area (Max. one (1) per one hundred-fifty (150) sq. ft).	11,000 / 300 = 37 spaces	38 Spaces	Complies
Barrier Free	2 spaces	2 spaces	Complies
Bicycle Parking	2 spaces	0 spaces	Does not comply
<b>Total</b>	<b>37 Spaces</b>	<b>38 Spaces</b>	<b>Complies</b>

**Items to be Addressed:** Provide bicycle parking.

### EXTERIOR LIGHTING

The applicant is proposing the eight (8) pole lights to light the private drive, three (3) pole lights in the parking lot, and nine (9) building lights. The proposed photometrics and fixtures meet ordinance requirements.

**Items to be Addressed:** None

**LANDSCAPE STANDARDS AND REQUIREMENTS / FENCES**

We have determined the landscape plan provided meets the requirements of the zoning ordinance as shown in the table below.

	<b>Required</b>	<b>Provided</b>	<b>Compliance</b>
Street Yard Landscaping: 1 large dec tree per 40 lf of frontage, 1 orn tree per 100 lf of frontage, 1 shrub per 10 lf of frontage	498 lineal feet: 13 dec trees, 5 orn trees, 50 shrubs	13 dec trees, 5 orn trees, 50 shrubs	Complies
General Landscaping: 1 tree per 1,000 sq/ft 1 shrub per 500 sq/ft	40,000 sq/ft = 40 trees and 80 shrubs	53 trees and 126 shrubs	Complies
Parking Lot: 1 large dec tree per 2000 sf of pavement and 1 per 40 feet of lineal	18.454 sq/ft = 9 trees 695 lineal feet = 17 trees	9 trees and 17 trees	Complies
Stormwater: 1 tree per 45 feet and 1 shrub 5 feet of lineal	8 trees and 76 shrubs	8 trees and 76 shrubs	Complies

The applicant has shown dumpster screening but has not provided any details.

**Items to be Addressed:** *Provide dumpster screening details including landscaping.*

**BUILDING ELEVATIONS AND FLOOR PLAN**

The applicant has provided building elevations, floor plans, and a rendering. The primary building materials include board and batten metal panels, wood look panels, and ACM metal panels. The colors include a mix of white, blue, and natural wood.

The elevations meet the form-based district design requirements.

**Items to be Addressed:** *None*

**DETENTION/RETENTION POND**

Detention calculations will be reviewed by the Township Engineer and Washtenaw County Water Resources Department.

**Items to be Addressed:** *None*

## RECOMMENDATIONS

The applicant is making a significant investment in the site.

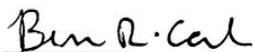
We recommend that the Planning Commission hold a public hearing to consider the proposed site reclassification. We support the reclassification of the regulating plan for the following reasons:

1. The applicant is converting two lots into three, thus reducing the size of each parcel. Reducing the site makes the existing parcels more consistent with Site Type A than the existing Site Type B designation.
2. The land division and construction of the Children's Healing Center is consistent with the goals of the Master Plan.
3. The proposed modification and resulting development will enhance the essential character of the area.
4. A new private street is proposed that requires the modification of the site type.

We recommend planning commission approval of the site reclassification and preliminary site plan approval with the following conditions:

1. *Provide a woodland protection table based on the woodland ordinance set forth in Chapter 24, Article 3: Woodland Protection*
2. *Private road to be constructed to private road standards.*
3. *Provide bicycle parking.*
4. *Provide dumpster screening details including landscaping.*

Respectfully submitted,



---

**CARLISLE/WORTMAN ASSOC., INC.**  
**Benjamin R. Carlisle, AICP, LEED AP**  
**Principal**

December 21, 2022

Mr. Jason Iacoangeli  
Township Planning Director  
Charter Township of Ypsilanti  
7200 S. Huron River Drive  
Ypsilanti, MI 48197

RE: Children's Healing Center  
1441 S Huron St, Ypsilanti, MI 48197  
Site Plan Review #1 - Revised

Dear Mr. Iacoangeli:

We have completed the first site plan review of the plans dated November 29, 2022 and received by OHM Advisors on December 2, 2022.

At this time, the plans are recommended for approval for the Planning Commission's consideration.

A brief description of the project has been provided below (Section A), followed by our comments (Section B) and a list of anticipated required permits and approvals (Section C). Comments in Section B are detailed in nature, do not influence the overall site layout, and can be addressed during the detailed engineering drawing submittal.

**A. PROJECT AND SITE DESCRIPTION**

The project is proposing a new access road and new building at 1441 S Huron Road for a Children's Healing Center Development. The recreation facility provides social and emotional healing for typically immunocompromised children and their families in a safe, clean environment.

The site is proposed to be serviced by water through an existing 12-inch connection just northeast of the Washtenaw County Sheriff's parcel. Sanitary will be serviced through an existing 12-inch connection also just northeast of the Sheriff's parcel. The stormwater ultimate outlet is proposed to go north into the Huron Center Com and Office Park Drain.

**B. PRELIMINARY DETAILED ENGINEERING PLAN COMMENTS**

The following comments shall be addressed by the applicant during the detailed engineering drawing submittal, and do not affect the recommendation for approval to the Township of Ypsilanti Planning Commission. It should be noted that this is not an all-inclusive list and additional comments may be generated as new information is presented.

1. The applicant shall provide a drainage area map and updated storm water calculations to ensure that the increase in impervious surface can be properly managed with the proposed detention basin. Currently it appears (Worksheet 10) that the required detention volume has not been met.
2. The catch basin connection to the existing 24-inch County Drain will need review and approval by the Washtenaw County Water Resources Commissioner's (WCWRC) office.



3. The applicant shall provide profiles for all utilities (water, sanitary, and storm sewer) on the plans. These profiles shall include diameters, materials, lengths, slopes, and services. In addition, the hydraulic grade lines shall be clearly indicated on all storm sewer profiles.
4. The applicant shall provide a utility crossing table with the engineering submittal to ensure proper clearance between existing and proposed utilities.
5. The applicant shall ensure that all proposed pipe have a minimum of 2.5-ft cover from the proposed grade.
6. The applicant shall provide the dimensions of the barrier free space and spot elevations at all four corners of proposed barrier-free parking space, access aisle, ramps, and level landings, as well as at 50-foot intervals along all sidewalks to ensure ADA compliance. The applicant shall note that the cross slope shall not exceed 2%.
7. The applicant shall provide locations and grades of all existing and proposed ramps into the proposed site to ensure accessibility and ADA compliance.
8. The applicant shall note that proposed landscaping shall not be placed directly above any existing or proposed utilities and shall revise accordingly.
9. The applicant shall provide the concrete mix for the concrete being proposed for the dumpster enclosure. Per Section 2107 of the Township Ordinances, the applicant shall note that the minimum dimensions for dumpster/compactor pads is 16 feet wide by 12 feet deep.
10. The applicant shall provide a narrative detailing the proposed building addition (ie. anticipated build date and function) and an approach to manage the additional stormwater runoff when constructed.
11. The applicant shall provide an engineer’s estimate of probable cost for the project with the final detailed engineering submittal.
12. Applicable Ypsilanti Township Standard Detail Sheets, including SESC, shall be included in the plan set. The applicant shall verify any details provided on the plan set do not conflict with the Ypsilanti Township Standard Detail Sheets. If so, the Ypsilanti Township Standard Detail Sheets shall govern.

### **C. REQUIRED PERMITS & APPROVALS**

The following outside agency reviews and permits will be required for the project. Copies of any correspondence between the applicant and the review agencies, as well as the permit or waiver, shall be sent to both the Township and OHM Advisors (email: [matt.parks@ohm-advisors.com](mailto:matt.parks@ohm-advisors.com)).

- **Ypsilanti Community Utilities Authority (YCUA):** Will require review and approval for the proposed water and sanitary main.
- **Ypsilanti Township Fire Department:** Review and approval is required.
- **Washtenaw County Water Resources Commissioner’s Office (WCWRC):** Review and approval may be required.
- **Michigan Department of Environment, Great Lakes & Energy (EGLE):** An EGLE Act 399 and Part 41 permit will be required for construction of all water main and sanitary sewer systems improvements.
- **Ypsilanti Township Office of Community Standards:** A Soil Erosion and Sedimentation Control permit shall be secured from the Ypsilanti Township Office of Community Standards.
- The Township’s Planner will inspect the landscaping for this site.



- ▶ If dewatering should be needed, the contractor/applicant shall be responsible for obtaining necessary approvals from the Township and the Township Engineer, permission from all impacted adjacent properties and/or permits from MDOT, WCWRC's Office, or the WCRC.
- ▶ Record plans shall be provided to the Township Engineer following the completion of construction.

Should you have any questions regarding this matter, please contact this office at (734) 466-4580.

Sincerely,  
OHM Advisors

  
\_\_\_\_\_  
Matthew D. Parks, P.E.

  
\_\_\_\_\_  
Elliot R. Smith, P.E.

MDP/ERS

cc: Fletcher Reyher, Township Staff Planner  
Amy Steffens, Township Planning and Development Coordinator  
File

P:\0000\_0100\SITE\_YpsilantiTwp\2022\0098221170\_1441 S Huron\_Children's Healing Center\MUNI\01\_SITE\SP#1\1441 S  
Huron\_Children's Healing Center\_SP1\_Revised.docx

# CHARTER TOWNSHIP OF YPSILANTI FIRE DEPARTMENT

## BUREAU OF FIRE PREVENTION

222 South Ford Boulevard, Ypsilanti, MI 48198



December 16, 2022

Jason Iacoangeli, Planning Director  
Charter Township of Ypsilanti  
7200 S. Huron River Drive  
Ypsilanti, MI 48197

RE: Preliminary (non-residential) Site Plan Review #1

Project Name:	SE Michigan Center
Project Location:	1441 S. Huron Street Ypsilanti, MI 48197
Plan Date:	11/29/2022
Applicable Codes:	IFC 2018
Engineer:	The McFate Group
Engineer Address:	7136 Jackson Rd. Ann Arbor, MI 48103

### Status of Review

**Status of review:** Approved Conditionally (see comments)

All pages were reviewed

### Site Coverage - Access

**Comments:** Complies with IFC 2018

### Suppression / Hydrants

**Comments:** The FDC for this structure will need its own dedicated Hydrant no closer than 40' and no further than 100'.

For the second hydrant use a 250' radius and it must be placed to cover the entire building.

FDC requires a 30 degree down turn and Storz fitting

Sincerely,

A handwritten signature in black ink that reads "Steve Wallgren".

Steve Wallgren, Fire Marshal  
Charter Township of Ypsilanti Fire Department  
CFPS, CFI I



YPSILANTI COMMUNITY UTILITIES AUTHORITY

2777 STATE ROAD  
YPSILANTI, MICHIGAN 48198-9112  
TELEPHONE: 734-484-4600  
WEBSITE: [www.ycua.org](http://www.ycua.org)

December 15, 2022

**VIA ELECTRONIC MAIL**

Mr. Jason Iacoangeli, Planning Director  
Office of Community Standards  
CHARTER TOWNSHIP OF YPSILANTI  
7200 S. Huron River Drive  
Ypsilanti, MI 48197

Re: Preliminary (non-residential) Site Plan Review #1  
**Children's Healing Center**  
Charter Township of Ypsilanti (Plan Date: 11-29-2022)

Dear Mr. Iacoangeli:

In response to the electronic mail message from your office dated December 2, 2022, we have reviewed the referenced plans with regards to water supply and wastewater system design. The plans are acceptable to YCUA for this stage of review. However, the following comments need to be addressed by the Applicant and/or the Applicant's design engineer prior to Detailed Engineering plans being deemed acceptable to YCUA.

1. A gate valve will need to be installed on the existing 12" diameter water main south of the proposed connection along the north side of the ingress/egress road.
2. The proposed 8" diameter gate valve near the terminus of the proposed water main extension needs to be located south of the proposed hydrant tee.
3. The maximum allowable length for 6" diameter hydrant service piping is 40'.

Enclosed is an Estimate of Costs – Application for Services, with a revision date of December 15, 2022, indicating connection fees for the proposed building addition. Please note that the total cash price for connection fees, **\$7,492.00 plus the construction phase escrow deposit, Authority administration fee, and record plan guarantee**, must be paid to YCUA by the Applicant, with a receipt delivered to the Township, before either the building or soil and grading permit is issued. The construction phase escrow deposit and associated fees and deposits and the entity responsible for maintaining those accounts will be determined during the Detailed Engineering phase of the project in conjunction with your office and the Township Engineer. Should there be any questions please contact this office.

Sincerely,

SCOTT D. WESTOVER, P.E., Engineering Manager  
Ypsilanti Community Utilities Authority

Enclosure as noted

Mr. Jason Iacoangeli  
CHARTER TOWNSHIP OF YPSILANTI  
December 15, 2022  
Page 2

cc: Mr. Luke Blackburn, Mr. Mike Shaffer, File, YCUA  
Ms. Amy Steffens, Mr. Fletcher Reyer, Charter Township of Ypsilanti  
Mr. Eric Copeland, Mr. Steve Wallgren, Township Fire Department  
Mr. Matt Parks, P.E., Township Engineer  
Ms. Sarah Velliky, Applicant  
Mr. Jason Van Ryn, P.E., Applicant's design engineer

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YPSILANTI COMMUNITY UTILITIES AUTHORITY \* 2777 STATE ROAD, YPSILANTI, MICHIGAN 48198-9112  
 TELEPHONE: 734-484-4600 \* FAX: 734-544-7221

**ESTIMATE OF COSTS - APPLICATION FOR SERVICES**

Estimate Completed By: Eng Mgr Date: 6/3/2022 rev 12/15/2022 (Township Division)

**CUSTOMER INFORMATION**

Customer Name: Children's Healing Center  
 Mailing Address:  
 Mailing Address 2:  
 City:  
 State: Zip:  
 Telephone:  
 Electronic Mail Address:

**PROPERTY INFORMATION**

Service Address: TBD  
 Lot Number: Subdivision:  
 Developer:  
 Developer's Engineer:  
 Frontage: 267 YP #: TBD  
 Assessed: No Plot Plan Approved: No  
 Well Replacement: No

**TAP INFORMATION & COST:**

Water Tap Size: By Owner  
 Water Tap Amount: \$0.00  
 Sewer Tap Size: By Owner  
 Sewer Tap Amount: \$0.00  
 Total Tap Fees: \$0.00

Remarks:  
 Dist. Code YCUA does NOT make tap  
 402  
 YCUA does NOT make tap  
 402  
 Total Tap Fees: \$0.00

**METER INFORMATION & COST:**

Meter Size: Varies  
 Meter Description: Sensus  
 Total Meter Fees: \$875.00

1 each 1" domestic meter @ \$535 each  
 1 each 1" irrigation meter @\$340 each  
 403

**TRUNKLINE AND TRANSMISSION**

Use of Building: Public  
 Unit Factor: 8.25 Applies?  
 Water T & T: \$2,376.00 Y  
 Sewer T & T: \$2,376.00 Y  
 Total T & T Fees: \$4,752.00

11,000 sft @ 0.75 units/1,000 sft  
 = Unit Factor x \$288  
 = Unit Factor x \$288  
 404  
 404

**INSPECTION & ADMINISTRATION FEES:**

YCUA Inspection: \$0.00  
 Consultant Inspection Escrow: \$0.00  
 YCUA Administration Fee: \$0.00  
 Record Plan Guarantee: \$0.00  
 Total Insp. & Admin. Fees: \$0.00  
 Total Application Fees: \$5,627.00

N/A  
 To be determined  
 To be determined  
 To be determined  
 401  
 416  
 414  
 415

**BENEFIT CHARGES:**

**Cash Terms (Dist. Code 406)**  
 Water @ \$43.50/ft. x 15 ft. \$652.50 Y  
 Sanitary @ \$48.50/ft. x 25 ft. \$1,212.50 Y

**5 Year Payments (no Dist. Code)**  
 Water @ \$49.25/ft. x 0 ft. N/A  
 Sanitary @ \$54.91/ft. x 0 ft. N/A

Total Cash Benefit Charges: \$1,865.00

Total 5 Year Benefit Charges: N/A  
 30 Payments @ N/A each

**Total Cash Amount Due: \$7,492.00**

**From:** Streight, Gary <streightg@wcroads.org>

**Sent:** Thursday, December 22, 2022 2:38 PM

**To:** abarbour@childrenshealingcenter.org; Jason Van Ryn <jvanryn@nederveld.com>

**Cc:** Lawrence, Callie <lawrencec@wcroads.org>; McCulloch, Mark <mccullochm@wcroads.org>; Jason Iacoangeli <jiacoangeli@ytown.org>; matt.parks@ohm-advisors.com

**Subject:** WCRC App. 19121 - Children's Healing Center

**CAUTION:** This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

I have reviewed the submitted plan for the above project and offer the following comments for your use:

- The plans shall show the incorporation of the Law Enforcement Center driveway into the proposed drive for the site.
- The WCRC requests the donation of additional right of way along Huron Street to meet the planned 75' half width.
- Remove the small section of proposed sidewalk extending east to the curb line of the drive approach.
- Provide a cost estimate for all work within the Huron Street right of way for approval.
- An inspection fee equal to 3% of the approved estimate, \$500 minimum, shall be provided.
- A deposit equal to the full amount of the approved cost estimate shall be provided in the form of a letter of credit or cashiers check.
- Provide the name, contact info and certificate of insurance for the contractor performing the work.

Once the above items have been addressed please send revised plans to [permits@wcroads.org](mailto:permits@wcroads.org) for review. No work shall occur until a permit has been issued. If there are any questions feel free to contact me.

**Gary Streight, P.E.**

Project Manager



Washtenaw County Road Commission  
555 N. Zeeb Road, Ann Arbor, Michigan

Direct: (734) 327-6692 | Main: (734) 761-1500  
[wcroads.org](http://wcroads.org) | [Follow us on Facebook](#)

# SITE PLAN REVIEW APPLICATION

## I. APPLICATION/DEVELOPMENT TYPE

### Development:

- Subdivision
- Multi-family/Condominium
- Site Condominium
- Planned Development
- Non-residential

### Application:

- Administrative Site Plan Review
- Sketch Site Plan Review
- Full Site Plan Review
- Revisions to approved plan
- Tentative Preliminary Plat
- Final Preliminary Plat
- Final Plat Process
- Stage I (for Planned Development)
- Stage II (for Planned Development)

## II. PROJECT LOCATION

Address: 1441 S. Huron Street City: Ypsilanti Township State: MI Zip: 48197

Parcel ID #: K-11- 16-360-005 Zoning Town Center

Lot Number: \_\_\_\_\_ Subdivision: \_\_\_\_\_

Property dimensions: See Site Plan Acreage: 3.18

Name of project/Proposed development: \_\_\_\_\_

### Legal description of Property:

Part of Lot 5, Huron Center Commercial & Office Park, Part of French Claim 681, Town 3 South, Range 7 East, Ypsilanti Township, Washtenaw County, Michigan, as recorded in Liber 26, Page 51, Washtenaw County Records, described as: Commencing at the Southeast corner of said Lot 5 and the Point of Beginning; thence S72°14'30"W 375.00 feet; thence N25°57'30"W 498.70 feet; thence N22°31'33"E 53.38 feet; thence S66°07'29"E 450.32 feet; thence S35°27'29"E 246.84 feet to the Point of Beginning. Contains 3.18 acres. Subject to any and all easements, restrictions, right-of-way of record.  
ALSO, benefitting from an easement for Ingress and Egress being part of Lots 5 and 6, Huron Center Commercial & Office Park, Part of French Claim 681, Town 3 South, Range 7 East, Ypsilanti Township, Washtenaw County, Michigan, as recorded in Liber 26, Page 51, Washtenaw County Records, described as: Commencing at the Southwest corner of said Lot 6 and the Point of Beginning; thence N08°19'20"E 137.55 feet along the Easterly right-of-way line of S. Huron Street; thence S81°40'40"E 144.53 feet; thence N72°14'30"E 533.20 feet; thence S25°57'30"E 60.62 feet; thence S72°14'30"W 755.49 feet to the Point of Beginning.

### Describe Proposed Project (including buildings/ structures/ # units):

Proposed ~11,000 s.f. building with 39 parking spaces. Access provided by private commercial driveway to S. Huron Street.

## III. APPLICANT INFORMATION

**Applicant:** Children's Healing Center Attn: Amanda Barbour Phone: 616-426-8366

Address: 1530 Fulton Street City: Grand Rapids State: MI Zip: 49503

Fax: \_\_\_\_\_ Email: abarbour@childrenshealingcenter.org

**Property owner (if different than applicant):** KALITTA LLC Phone: \_\_\_\_\_

Address: 818 WILLOW RUN AIRPORT City: Ypsilanti State: MI Zip: 48198

Fax: \_\_\_\_\_ Email: \_\_\_\_\_

**Engineer:** Nederveld Inc. Attn: Jason Van Ryn Phone: 734-929-6963

Address: 3037 Miller Road City: Ann Arbor State: MI Zip: 48103

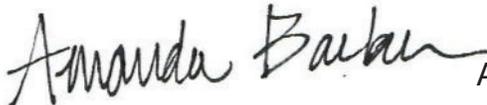
Fax: \_\_\_\_\_ Email: jvanryn@nederveld.com

**SITE PLAN REVIEW  
 APPLICATION**

**VI. SCHEDULE OF FEES**

<b>Preliminary Site Plan Review</b>		
	<b>Non-refundable fee</b>	<b>Refundable deposit</b>
Full	\$500	Less than one (1) acre: \$2,000 <b>One (1) acre to five acres: \$4,000</b> Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres
Sketch	\$500	Less than one (1) acre: \$1,500 One (1) acre to five acres: \$2,000 Over five (5) acres to ten (10) acres: \$2,500 Greater than ten (10) acres: 25,500 + \$50 per acre over ten (10) acres
Administrative	\$100	Less than one (1) acre: \$1,000 One (1) acre to five acres: \$1,200 Over five (5) acres to ten (10) acres: \$1,500 Greater than ten (10) acres: \$1,500 + \$50 per acre over ten (10) acres
Planned Development Stage I and Rezoning	\$1,500 + \$20 per acre	Less than one (1) acre: \$3,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres
<b>Final Site Plan Review</b>		
	<b>Non-refundable fee</b>	<b>Refundable deposit</b>
Full	\$500	Less than one (1) acre: \$3,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres
Sketch	\$500	Less than one (1) acre: \$1,500 One (1) acre to five acres: \$2,000 Over five (5) acres to ten (10) acres: \$2,500 Greater than ten (10) acres: \$2,500 + \$50 per acre over ten (10) acres
Administrative	\$100	Less than one (1) acre: \$1,000 One (1) acre to five acres: \$1,200 Over five (5) acres to ten (10) acres: \$1,500 Greater than ten (10) acres: \$1,500 + \$50 per acre over ten (10) acres
Planned Development Stage I and Rezoning	\$1,500 + \$20 per acre	Less than one (1) acre: \$3,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres

\$ 4,000 FEE TOTAL

 Amanda Barbour 10.29.2022  
 Applicant Signature Print Name Date

**Charter Township of Ypsilanti**

**Office of Community Standards**

7200 S. Huron Drive, Ypsilanti, MI 48197

Phone: (734) 485-3943

Website: <https://ytown.org>

**SITE PLAN REVIEW  
APPLICATION**

Site Plan Review applications	
<input type="checkbox"/> The application is filled out in its entirety and includes the signature of the applicant and, if different than the applicant, the property owner.	<input type="checkbox"/> Proposed Plans
<input type="checkbox"/> Fees	<input type="checkbox"/> One (1) signed and sealed copies (24"x36") of the proposed plan
<input type="checkbox"/> Check made out to Ypsilanti Township with appropriate fees. <i>Please note: The same preliminary site plan review fee will be charged for each subsequent submittal</i>	<input type="checkbox"/> One (1) copy (11"x17") of the proposed plan
<input type="checkbox"/> Fees paid separately to Ypsilanti Community Utilities Authority	<input type="checkbox"/> One (1) PDF digital copy of the proposed plan
<input type="checkbox"/> Fees paid separately to Washtenaw County Road Commission and Water Resources Commissioner's Office	<input type="checkbox"/> All contents detailed on the next pages for administrative, sketch, and full site plans.
<input type="checkbox"/> Additional Documents:	
<input type="checkbox"/> Woodland Protection application or the No Tree Affidavit, if applicable	
<input type="checkbox"/> Traffic Impact Questionnaire	
<input type="checkbox"/> Appropriate application and plans submitted to the Washtenaw County Road Commission and Water Resources Commissioner's Office	

**Charter Township of Ypsilanti****Office of Community Standards**

7200 S. Huron Drive, Ypsilanti, MI 48197

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Website: <https://ytown.org>**SITE PLAN REVIEW  
APPLICATION**

<b>Administrative Site Plan Review</b>
<b>Application Form: The application form shall contain the following information:</b>
Name and address of the applicant and property owner
Address and common description of property and complete legal description
Dimensions of land and total acreage
Zoning on the site and all adjacent properties
Description of proposed project or use, type of building or structures, and name of proposed development, if applicable
Name and address of firm or individual who prepared site plan
Proof of property ownership
<b>Site Plan Descriptive and Identification Data:</b>
Site plans shall consist of an overall plan for the entire development, drawn to an engineer's scale of not less than 1 inch = 50 feet for property less than three acres, or one inch = 100 feet for property three acres or more in size. Sheet size shall be at least 24 × 36 inches. If a large development is shown in sections on multiple sheets, then one overall composite sheet shall be included
Written project description, including proposed use, building(s) and site improvement
Title block with sheet number/title; name, address and telephone number of the applicant and firm or individual who prepared the plans; and date(s) of submission and any revisions (month, day, year)
Scale and north-point
Legal and common description of property
Zoning classification of petitioner's parcel and all abutting parcels
Net acreage (minus rights-of-way) and total acreage
<b>Site Analysis:</b>
Environmental impact analysis and natural features protection documentation meeting the requirements of Chapter 26 of the Municipal Code, Environment
Survey of existing lot lines, building lines, structures, parking areas and other improvements on the site and within 100 feet of the site
Inventory of the location, sizes, and types of existing trees, hedgerows and landmark trees as required by the township woodlands ordinance and the general location of all other existing plant materials
Location of existing drainage courses, floodplains, lakes and streams, and wetlands with elevations
Surface drainage flows including high points, low points and swales
All existing easements
Existing roadways and driveways within 250 feet of the site
Existing sidewalks and nonmotorized pathways
<b>Site Plan:</b>
Proposed lot lines, lot dimensions, property lines and setback dimensions
Structures, and other improvements
Proposed easements
Location of trash and recycling receptacle(s) and transformer pad(s) and method of screening
Extent of any outdoor sales or display area

**Charter Township of Ypsilanti****Office of Community Standards**

7200 S. Huron Drive, Ypsilanti, MI 48197

Phone: (734) 485-3943

Website: <https://ytown.org>**SITE PLAN REVIEW  
APPLICATION**

Access and Circulation:
Dimensions, curve radii and centerlines of existing and proposed access points, roads and road rights-of-way or access easements
Dimensions of parking spaces, islands, circulation aisles and loading zones
Calculations for required number of parking and loading spaces
Designation of fire lanes
Location of existing and proposed sidewalks/pathways within the site or right-of-way
Location, height, and outside dimensions of all storage areas and facilities
Landscape Plans:
Location, sizes, and types of existing trees as required by the township woodlands ordinance and the general location of all other existing plant materials, with an identification of materials to be removed and preserved
The location of existing and proposed lawns and landscaped areas
Building and Structure Details:
Location, height, and outside dimensions of all proposed buildings or structures
Location, size, height, and lighting of all proposed site and wall signs
Location, size, height and material of construction for all obscuring wall(s) or berm(s) with cross-sections, where required
Drainage, Soil Erosion and Sedimentation Control:
Location and size of existing and proposed storm sewers
Stormwater retention and detention ponds, including grading, side slopes, depth, high water elevation, volume and outfalls
Stormwater drainage and retention/detention calculations
Indication of site grading, drainage patterns and stormwater management measures, including sediment control and temperature regulation
Soil erosion and sedimentation control measures
Lighting Plan:
Location of all freestanding, building-mounted and canopy light fixtures on the site plan and building elevations
Specifications and details for the type of fixture being proposed including the total lumen output, type of lamp and method of shielding
Use of the fixture proposed

Sketch Plan Review
Application Form: The application form shall contain the following information:
Name and address of the applicant and property owner
Address and common description of property and complete legal description
Dimensions of land and total acreage
Zoning on the site and all adjacent properties
Description of proposed project or use, type of building or structures, and name of proposed development, if applicable
Name and address of firm or individual who prepared site plan
Proof of property ownership

**Charter Township of Ypsilanti****Office of Community Standards**

7200 S. Huron Drive, Ypsilanti, MI 48197

Phone: (734) 485-3943

Website: <https://ytown.org>**SITE PLAN REVIEW  
APPLICATION**

<b>Site Plan Descriptive and Identification Data:</b>
Site plans shall consist of an overall plan for the entire development, drawn to an engineer's scale of not less than 1 inch = 50 feet for property less than three acres, or one inch = 100 feet for property three acres or more in size. Sheet size shall be at least 24 × 36 inches. If a large development is shown in sections on multiple sheets, then one overall composite sheet shall be included
Written project description, including proposed use, building(s) and site improvements
Title block with sheet number/title; name, address and telephone number of the applicant and firm or individual who prepared the plans; and date(s) of submission and any revisions (month, day, year);
Scale and north-point
Legal and common description of property
Zoning classification of petitioner's parcel and all abutting parcels
Net acreage (minus rights-of-way) and total acreage
<b>Site Analysis:</b>
Environmental impact analysis and natural features protection documentation meeting the requirements of Chapter 26 of the Municipal Code, Environment
Survey of existing lot lines, building lines, structures, parking areas and other improvements on the site and within 100 feet of the site
Inventory of the location, sizes, and types of existing trees, hedgerows and landmark trees as required by the township woodlands ordinance and the general location of all other existing plant materials
Location of existing drainage courses, floodplains, lakes and streams, and wetlands with elevations
Surface drainage flows including high points, low points and swales
All existing easements
Existing roadways and driveways within 250 feet of the site
Existing sidewalks and nonmotorized pathways
<b>Site Plan:</b>
Proposed lot lines, lot dimensions, property lines and setback dimensions
Structures, and other improvements
Proposed easements
Location of trash and recycling receptacle(s) and transformer pad(s) and method of screening
Extent of any outdoor sales or display area
<b>Access and Circulation:</b>
Dimensions, curve radii and centerlines of existing and proposed access points, roads and road rights-of-way or access easements
Dimensions of parking spaces, islands, circulation aisles and loading zones
Calculations for required number of parking and loading spaces
Designation of fire lanes
Location of existing and proposed sidewalks/pathways within the site or right-of-way
Location, height, and outside dimensions of all storage areas and facilities
<b>Landscape Plans:</b>
Location, sizes, and types of existing trees as required by the township woodlands ordinance and the general location of all other existing plant materials, with an identification of materials to be removed and preserved
The location of existing and proposed lawns and landscaped areas

**Charter Township of Ypsilanti**

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**SITE PLAN REVIEW  
APPLICATION**

<b>Building and Structure Details:</b>
Location, height, and outside dimensions of all proposed buildings or structures
Location, size, height, and lighting of all proposed site and wall signs
Location, size, height and material of construction for all obscuring wall(s) or berm(s) with cross-sections, where required
<b>Drainage, Soil Erosion and Sedimentation Control:</b>
Location and size of existing and proposed storm sewers
Stormwater retention and detention ponds, including grading, side slopes, depth, high water elevation, volume and outfalls
Stormwater drainage and retention/detention calculations
Indication of site grading, drainage patterns and stormwater management measures, including sediment control and temperature regulation
Soil erosion and sedimentation control measures
<b>Lighting Plan:</b>
Location of all freestanding, building-mounted and canopy light fixtures on the site plan and building elevations
Specifications and details for the type of fixture being proposed including the total lumen output, type of lamp and method of shielding
Use of the fixture proposed

<b>Full Site Plan Review</b>
<b>Application Form: The application form shall contain the following information:</b>
Name and address of the applicant and property owner
Address and common description of property and complete legal description
Dimensions of land and total acreage
Zoning on the site and all adjacent properties
Description of proposed project or use, type of building or structures, and name of proposed development, if applicable
Name and address of firm or individual who prepared site plan
Proof of property ownership

*Continue to next page*

**Charter Township of Ypsilanti**

**Office of Community Standards**

7200 S. Huron Drive, Ypsilanti, MI 48197

Phone: (734) 485-3943

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**SITE PLAN REVIEW  
APPLICATION**

<b>Site Plan Descriptive and Identification Data:</b>
Site plans shall consist of an overall plan for the entire development, drawn to an engineer's scale of not less than 1 inch = 50 feet for property less than three acres, or one inch = 100 feet for property three acres or more in size. Sheet size shall be at least 24 × 36 inches. If a large development is shown in sections on multiple sheets, then one overall composite sheet shall be included
Location map drawn to a separate scale with north-point, showing surrounding land, water features, zoning and streets within a quarter mile
Identification and seal of architect, engineer, land surveyor, or landscape architect who prepared drawings
Proximity to section corner and major thoroughfares
Written project description, including proposed use, building(s) and site improvements
Title block with sheet number/title; name, address and telephone number of the applicant and firm or individual who prepared the plans; and date(s) of submission and any revisions (month, day, year)
Scale and north-point
Legal and common description of property
Zoning classification of petitioner's parcel and all abutting parcels
Net acreage (minus rights-of-way) and total acreage
Location map drawn to a separate scale with north-point, showing surrounding land, water features, zoning and streets within a quarter mile
Identification and seal of architect, engineer, land surveyor, or landscape architect who prepared drawings
Proximity to section corner and major thoroughfares
<b>Site Analysis:</b>
An aerial photograph of the entire development area with all environmental features labeled on the photo in a "bubbled" fashion to include woodlands, wetlands, groundwater recharge areas, drains, creeks, surface water, severe changes in topography, erodible soils, and floodplains. Sheet size of the aerial photograph shall be at least 24 × 36 inches
Survey of on parcels more than one acre, topography on the site and within 100 feet of site at two-foot contour intervals, referenced to a U.S.G.S. benchmark
Surrounding land uses and zoning
Soils and water table
Cultural resources and indication of human activities, such as paths
Environmental impact analysis and natural features protection documentation meeting the requirements of Chapter 26 of the Municipal Code, Environment
Survey of existing lot lines, building lines, structures, parking areas and other improvements on the site and within 100 feet of the site
Inventory of the location, sizes, and types of existing trees, hedgerows and landmark trees as required by the township woodlands ordinance and the general location of all other existing plant materials
Location of existing drainage courses, floodplains, lakes and streams, and wetlands with elevations
Surface drainage flows including high points, low points and swales
All existing easements
Existing roadways and driveways within 250 feet of the site
Existing sidewalks and nonmotorized pathways

**Charter Township of Ypsilanti****Office of Community Standards**

7200 S. Huron Drive, Ypsilanti, MI 48197

Phone: (734) 485-3943

Website: <https://ytown.org>**SITE PLAN REVIEW  
APPLICATION**

Site Plan:
Proposed lot lines, lot dimensions, property lines and setback dimensions
Structures, and other improvements
Location of exterior lighting (site and building lighting) in accordance with site lighting standards
Proposed easements
Location of trash and recycling receptacle(s) and transformer pad(s) and method of screening
Extent of any outdoor sales or display area
Access and Circulation:
Dimensions, curve radii and centerlines of existing and proposed access points, roads and road rights-of-way or access easements
Dimensions of parking spaces, islands, circulation aisles and loading zones
Calculations for required number of parking and loading spaces
Designation of fire lanes
Location of existing and proposed sidewalks/pathways within the site or right-of-way
Location, height, and outside dimensions of all storage areas and facilities
Opposing driveways and intersections within 250 feet of site
Cross section details of proposed roads, driveways, parking lots, sidewalks and nonmotorized paths illustrating materials and thickness
Dimensions of acceleration, deceleration, and passing lanes
Traffic regulatory signs and pavement markings
Landscape Plans:
Location, sizes, and types of existing trees as required by the township woodlands ordinance and the general location of all other existing plant materials, with an identification of materials to be removed and preserved
The location of existing and proposed lawns and landscaped areas
Description of methods to preserve existing plant materials
Planting plan, including location and type of all proposed shrubs, trees, and other live plant material
Planting list for proposed landscape materials with caliper size or height of material, method of installation, botanical and common names, and quantity
Proposed dates of plant installation
Landscape maintenance schedule
Building and Structure Details:
Location, height, and outside dimensions of all proposed buildings or structures
Location, size, height, and lighting of all proposed site and wall signs
Location, size, height and material of construction for all obscuring wall(s) or berm(s) with cross-sections, where required
Building floor plans and total floor area
Details on accessory structures and any screening
Building facade elevations for all sides, drawn at an appropriate scale
Description of exterior building materials and colors (samples may be required)

**Charter Township of Ypsilanti****Office of Community Standards**

7200 S. Huron Drive, Ypsilanti, MI 48197

Phone: (734) 485-3943

Website: <https://ytown.org>**SITE PLAN REVIEW  
APPLICATION**

<b>Drainage, Soil Erosion and Sedimentation Control:</b>
Location and size of existing and proposed storm sewers
Stormwater retention and detention ponds, including grading, side slopes, depth, high water elevation, volume and outfalls
Stormwater drainage and retention/detention calculations
Indication of site grading, drainage patterns and stormwater management measures, including sediment control and temperature regulation
Soil erosion and sedimentation control measures
<b>Information Concerning Utilities:</b>
Location of sanitary sewers and septic systems, existing and proposed
Location and size of existing and proposed water mains, well sites, water service and fire hydrants
Location of existing and proposed gas, electric and telephone lines, above and below ground
Location of transformers and utility boxes
Assessment of potential impacts from the use, processing, or movement of hazardous materials or chemicals, if applicable
<b>Lighting Plan:</b>
Location of all freestanding, building-mounted and canopy light fixtures on the site plan and building elevations
Specifications and details for the type of fixture being proposed including the total lumen output, type of lamp and method of shielding
Use of the fixture proposed
Photometric grid overlaid on the proposed site plan indicating the overall light intensity throughout the site (in foot-candles)
<b>Additional Information Required for Residential Development:</b>
The number and location of each type of residential unit (one bedroom units, two bedroom units, etc.)
Density calculations by type of residential unit (dwelling units per acre)
Garage and/or carport locations and details, if proposed;
Mailbox cluster location and design, if required by post master
Location, dimensions, floor plans and elevations of common building(s) (e.g., recreation, laundry, etc.), if applicable
Swimming pool fencing detail, including height and type of fence, if applicable
Location and size of recreation and open space areas
Indication of type of recreation facilities proposed for recreation area
Where the site is located within 500 feet of the I-94 right-of-way, delineate that area of the site with sound levels of 61 dBA or greater

11/29/2022 11:35:24 AM File Path: C:\Revit Local Files\CHC22\_istevens\SYNQ.rvt Plot Date/Time:

**Drawing Index:**

Sheet Number	Sheet Name	Current Revision Description	Current Revision Date
<b>General</b>			
G-100	Title Sheet	Site Plan	11/29/2022
G-105	Perspectives	Site Plan	11/29/2022
G-106	Perspectives	Site Plan	11/29/2022
G-107	Perspectives	Site Plan	11/29/2022
LS-101	Code Analysis Plan & Schedules	Site Plan	11/29/2022
<b>Civil</b>			
C-100	Cover Sheet	Site Plan	11/29/2022
C-201	Existing Conditions and Removal Plan	Site Plan	11/29/2022
C-203	Soil Boring Logs	Site Plan	11/29/2022
C-205	Overall Site Plan	Site Plan	11/29/2022
C-206	Detailed Site Plan	Site Plan	11/29/2022
C-300	Overall Grading Plan	Site Plan	11/29/2022
C-301	Detailed Grading Plan	Site Plan	11/29/2022
C-400	Utility Plan	Site Plan	11/29/2022
C-401	Storm Water Management Calcs	Site Plan	11/29/2022
C-500	Details and Specs	Site Plan	11/29/2022
L-100	Overall Landscape Plan	Site Plan	11/29/2022
L-101	Detailed Landscape Plan	Site Plan	11/29/2022
<b>Architectural</b>			
A-001	Architectural Site Plan	Site Plan	11/29/2022
A-002	Photometric Plan	Site Plan	11/29/2022
A-003	Site / Building Lighting Cut Sheets	Site Plan	11/29/2022
A-101	Floor Plan	Site Plan	11/29/2022
A-110	Roof Plan	Site Plan	11/29/2022
A-301	Exterior Elevations	Site Plan	11/29/2022
A-302	Exterior Elevations	Site Plan	11/29/2022

# SE Michigan Center

1441 S. Huron Street  
Ypsilanti, MI 48197

## Released For: Site Plan

Release Date: 11/29/2022  
Project Number: 22-001



**Revision Schedule**

#	Description	Revision Date
1	Owner Review	07/15/2022
2	Schematic Design	08/10/2022
4	Owner Review	11/21/2022
5	Site Plan	11/29/2022

**SE Michigan Center**  
1441 S. Huron Street  
Ypsilanti, MI 48197



Project Code: 22-001

Issue Date: 11/29/2022

Issued for: Site Plan

Sheet Title: Title Sheet

Sheet Number: G-100

### Project Description

As the nation's first year-round recreation center where kids with weak immune systems can play in a safe space, the Children's Healing Center has quickly grown to include a wide range of programs that emphasize research-based play, socialization and learning.

Our goal is for you and your family to feel the love and passion that has gone into the Center each time you walk through our front door. From the program staff and volunteers to the medical team and our board of directors, you will be supported and given countless opportunities to create wonderfully positive memories during your journey. The Children's Healing Center is more than just a place to play, connect and relax – it's a place where your entire family will build relationships that will last a lifetime.

The Center is now expanding to South East Michigan. This location will broaden the reach to residents in the Ann Arbor / Ypsilanti and Metro Detroit market.

This Center will be an eleven thousand square foot complex that will have the following programmatic elements. A large multi purpose room to allow for flexible presentation and activities for all ages, An active fitness room, Art room, exploratory play for the younger students as well as a Teen AYO area and a relax and recharge space for the parents. A office area for the staff to work is included in the scope as well. The site also allows for large expanse areas for outdoor play.

### Project Team

**Owner:** Children's Healing Center  
Attn: Sarah Velliky  
1530 Fulton St. East,  
Grand Rapids, MI 49503  
(810) 599-1260

**Architect:** The McFate Group  
Design: Jon M. Stevens, AIA  
Builder: Rob McFate  
7136 Jackson Rd,  
Ann Arbor, MI 48103  
(734) 433-0020

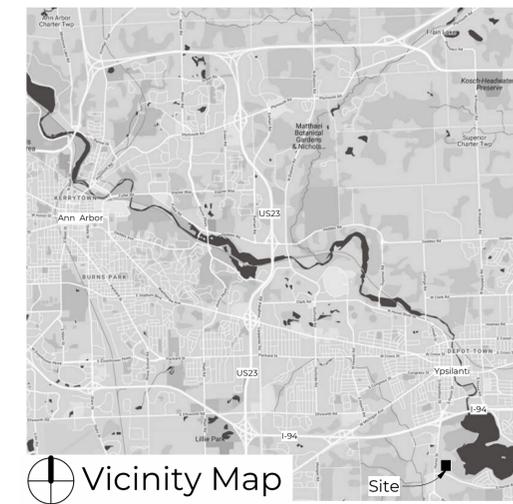
**Structural Engineer:** IMEG Corp.  
Attn: Dawn Taylor  
33533 Twelve Mile Rd. Ste. 200  
Farmington Hills, MI 48331  
(248)-847-3226

**MEP Consultant:** Diekema Hamann Engineering  
15 Ionia SW, Suite 330  
Grand Rapids, MI 49503  
(269) 373-1108

**Civil Engineer:** Nederveld  
Attn: Jason Van Ryn  
3037 Miller Rd,  
Ann Arbor, MI 48103  
(800) 222-1868

**Soils Engineer:** Driesenga & Associates  
Attn: Randy Pail  
3760 Carpenter Road  
Ypsilanti, Michigan 48197  
(734) 368-9843  
www.driesenga.com

**Lighting:** Gasser Bush Associates  
Attn: Lance Barnes  
30984 Industrial Rd.  
Livonia, MI 48150  
(734) 266-6705



Scales listed are for 22x34 drawing size

Plot Date/Time: 11/29/2022 11:35:29 AM File Path: C:\Revit Local Files\CHC22\_istevens\ZSYNQ.rvt



M

The McFate Group  
7136 Jackson Rd. Ann Arbor, MI. 48103  
www.mcfategroup.com | (734)-433-0020

Consultant:

**Revision Schedule**

#	Description	Revision Date
1	Owner Review	07/15/2022
2	Schematic Design	08/10/2022
4	Owner Review	11/21/2022
5	Site Plan	11/29/2022

Job Title:  
**SE Michigan Center**  
1441 S. Huron Street  
Ypsilanti, MI 48197



Project Code:  
22-001

Draw Date:  
11/29/2022

Issued for: Site Plan

Sheet Title:  
**Perspectives**

Drawing Number:  
**G-105**

Scales listed are for 22x34 drawing size

Plot Date/Time: 11/29/2022 11:35:34 AM File Path: C:\Revit Local Files\CHC22\_istevens\ZSYNQ.rvt



# M

**The McFate Group**  
7136 Jackson Rd. Ann Arbor, MI. 48103  
www.mcfategroup.com | (734)-433-0020

Consultant:

### Revision Schedule

#	Description	Revision Date
1	Owner Review	07/15/2022
2	Schematic Design	08/10/2022
4	Owner Review	11/21/2022
5	Site Plan	11/29/2022

Job Title:  
**SE Michigan Center**  
1441 S. Huron Street  
Ypsilanti, MI 48197



Project Code:  
22-001

Draw Date:  
11/29/2022

Issued for: Site Plan

Sheet Title:  
**Perspectives**

Drawing Number:  
**G-106**

Scales listed are for 22x34 drawing size



**The McFate Group**  
 7136 Jackson Rd. Ann Arbor, MI. 48103  
 www.mcfategroup.com | (734)-433-0020

Consultant:

**Revision Schedule**

#	Description	Revision Date
2	Schematic Design	08/10/2022
4	Owner Review	11/21/2022
5	Site Plan	11/29/2022

Job Title:  
**SE Michigan Center**  
 1441 S. Huron Street  
 Ypsilanti, MI 48197



Project Code:  
 22-001

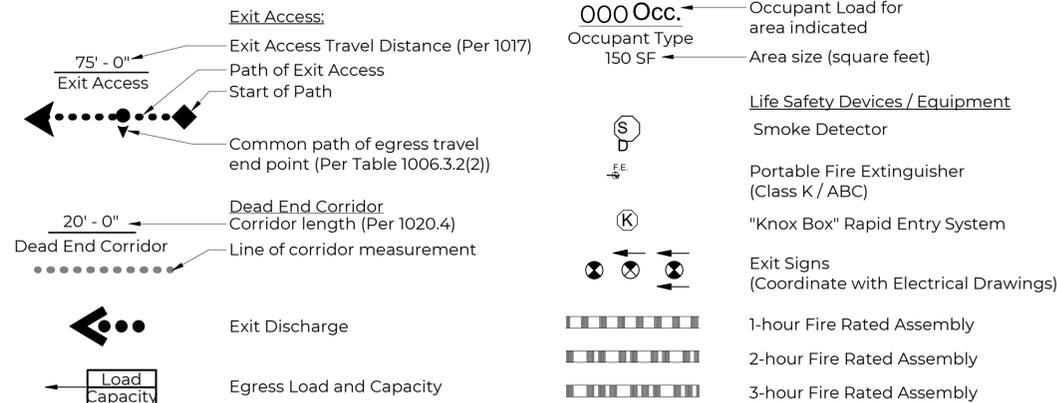
Draw Date:  
 11/29/2022

Issued:  
 Issued for: Site Plan

Sheet Title:  
**Perspectives**

Drawing Number:  
**G-107**

**Life Safety Plan & Fire Safety Legend**



**Occupant Load (Table 1004.1.1)**

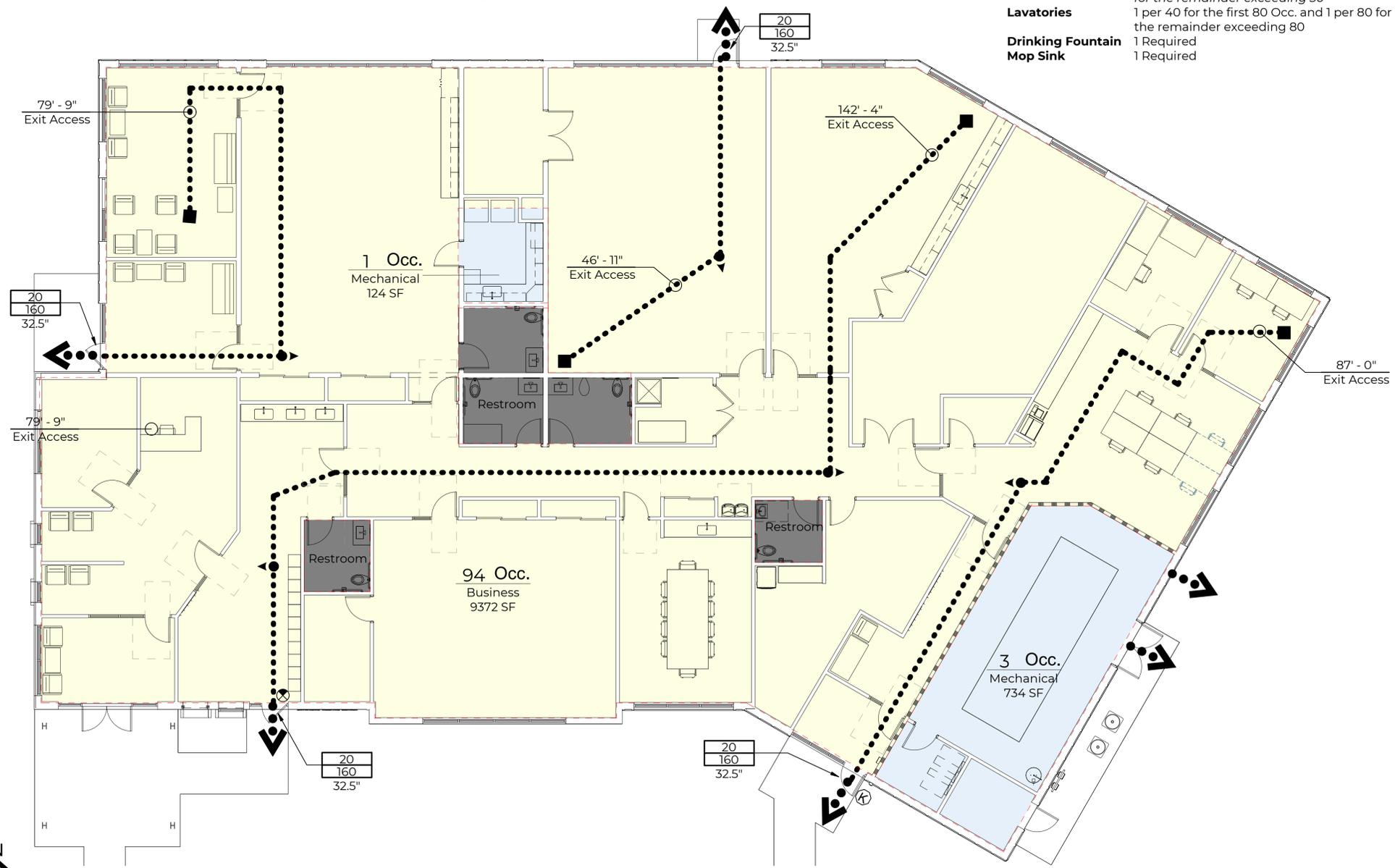
Use	Area	% of Total	Floor Area per Occupant	Net or Gross	Design Occupant Load
Level 1					
Business	9372 SF	88%	100	Gross	94
Mechanical	734 SF	7%	300	Gross	3
Mechanical	124 SF	1%	300	Gross	1
Restroom	264 SF	2%			
Restroom	69 SF	1%			
Restroom	61 SF	1%			
Grand total	10625 SF	100%			98

**Life Safety General Notes:**

- A. Per 2015 Michigan Building Code, Section 1005.3.2, the egress capacity is calculated by multiplying the occupant load served by a capacity factor of 0.2 inch per occupant.
- B. Provide fire extinguishers throughout as required per NFPA 10.
- C. All fire-rated assemblies are to maintain rating continuity to the next intersecting fire-rated assembly, or the building exterior envelope.
- D. All fire-rated walls shall extend fully from floor to floor/roof deck above. Provide firestopping at all deck flutes, joist/stud cavities and intersections of vertical and horizontal assemblies.

**Applicable Codes and Life Safety Information Summary:**

- Building Code:** 2015 Michigan Building Code
- Mechanical Code:** 2015 Michigan Mechanical Code
- Electrical Code:** 2017 National Electrical Code (NEC)
- Plumbing Code:** 2018 Michigan Plumbing Code
- Energy Code:** 2015 Michigan Energy Code Including ASHRAE 90.1 - 2013
- Barrier Free:** 2009 ICC A117.1 Standard for Accessible Buildings and Facilities
- Zoning:** TC - Town Center
- Use Group:** B - Business,
- Construction Type:** T.B.D.
- Height, Building:** 1 Story
- Area, Building:** 11,000 S.F.
- Fire Suppression:** Yes - Fully Suppressed
- Fire Alarm:** None - Per 907.2
- Travel Distance:** 200' without automatic sprinkler system  
300' with automatic sprinkler system (Per 1017.2)
- Water Closet:** 4 Toilets Required (Per 403.1)  
1 per 25 for the first 50 Occ, and 1 per 50 for the remainder exceeding 50
- Lavatories:** 1 per 40 for the first 80 Occ, and 1 per 80 for the remainder exceeding 80
- Drinking Fountain:** 1 Required
- Mop Sink:** 1 Required



**1 New - Level 1 Life Safety Plan**  
 LS-101  
 1/8" = 1'-0"  
 4' 8' 16'



7136 Jackson Rd. Ann Arbor, MI. 48103  
 www.mcfategroup.com | (734)-433-0020

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**SE Michigan Center**  
 1441 S. Huron Street  
 Ypsilanti, MI 48197



Project Code: 22-001

Issue Date: 11/29/2022

Issued for: Site Plan

**Code Analysis Plan & Schedules**

Sheet Number: **LS-101**

# SE MICHIGAN CENTER

## YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

# SITE PLAN



**NEDERVELD**  
www.nederveld.com  
800.222.1868  
ANN ARBOR  
3037 MILLER RD.  
ANN ARBOR, MI 48103  
Phone: 734.929.6963  
CHICAGO  
COLUMBUS  
GRAND RAPIDS  
HOLLAND  
INDIANAPOLIS

**PREPARED FOR:**  
The McFate Group  
Jon M. Stevens  
7136 Jackson Rd.  
Ann Arbor, MI 48103  
Phone: 734-433-0020

**REVISIONS:**  
Title: Pre Application Submittal  
Drawn: JVR/WL Checked: JVR Date: 9/28/2022  
Title: Preliminary Full Site Plan Submittal  
Drawn: JVR/WL Checked: JVR Date: 11/29/2022

**DESIGN TEAM CONTACTS**

**APPLICANT / OWNER**  
CHILDREN'S HEALING CENTER  
1530 FULTON STREET E  
GRAND RAPIDS, MI 49503  
P: 734.691.1500  
ATTN: SARAH VELLIKY, RA

**ENGINEER / LANDSCAPE ARCHITECT**  
NEDERVELD, INC.  
3037 MILLER RD.  
ANN ARBOR, MI 48103  
P: 734.929.6963  
ATTN: JASON VAN RYAN

**ARCHITECT / GENERAL CONTRACTOR**  
THE MCFATE GROUP  
7136 JACKSON ROAD  
ANN ARBOR, MI 48103  
P: 734.433.0020  
ATTN: JON STEVENS

**MUNICIPAL CONTACTS**

**YPSILANTI TOWNSHIP PLANNING DEPARTMENT**  
7200 S. HURON RIVER DR.  
YPSILANTI, MI, 48197  
ATTN: JASON IACOANGELI - PLANNING DIRECTOR  
PH: 734-544-4000 #1

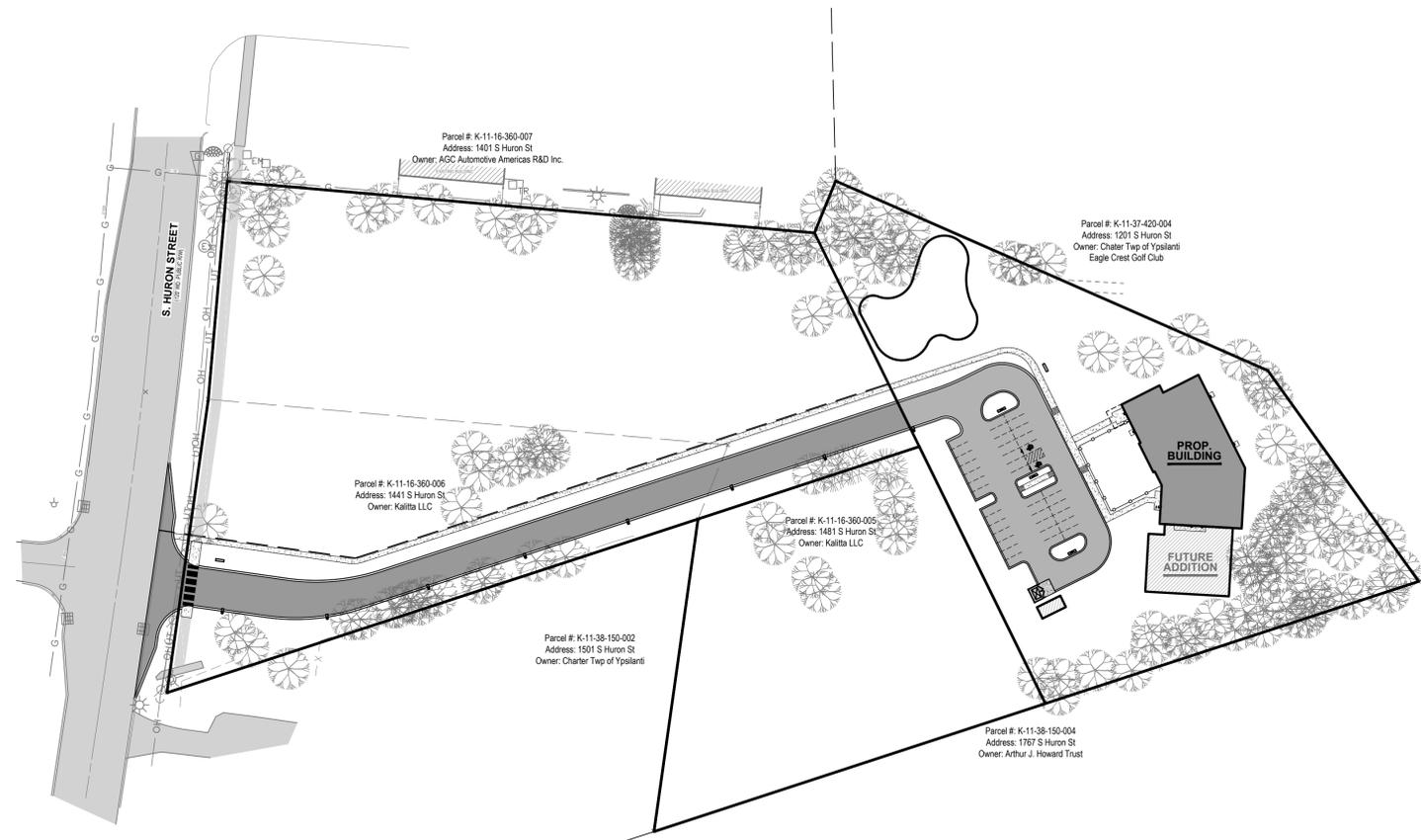
**YPSILANTI TOWNSHIP FIRE DEPARTMENT**  
222 S. FORD BLVD.  
YPSILANTI, MI, 48198  
ATTN: ERIC COPELAND - FIRE CHIEF  
PH: 734-544-4110

**YPSILANTI COMMUNITY UTILITIES AUTHORITY**  
ENGINEERING DEPARTMENT  
2777 STATE ROAD  
YPSILANTI, MICHIGAN 48198  
(734) 484-4600

**WASHTENAW COUNTY WATER RESOURCES COMMISSIONER**  
705 N. ZEEB ROAD  
ANN ARBOR, MICHIGAN 48103  
(734) 994-2525

**WASHTENAW COUNTY ROAD COMMISSION**  
555 N. ZEEB ROAD  
ANN ARBOR, MICHIGAN 48103  
(734) 761-1500

**SOIL EROSION & SEDIMENTATION CONTROL**  
YPSILANTI TOWNSHIP OFFICE OF COMMUNITY STANDARDS (OCS)  
7200 S. HURON RIVER DRIVE  
YPSILANTI, MICHIGAN 48198  
(734) 485-3943



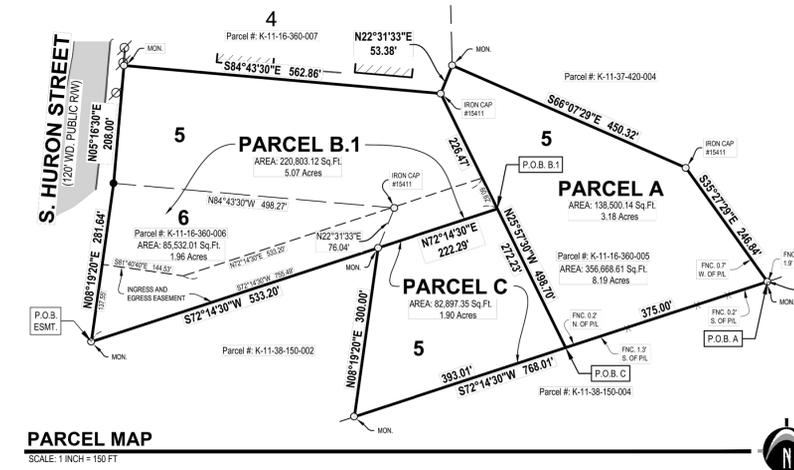
**OVERALL SITE PLAN**  
SCALE: 1 INCH = 80 FT

**PROJECT NARRATIVE**

THE PROPOSED PROJECT AT 1481 S HURON STREET INCLUDES THREE (3) PARCEL SPLITS AND A SHARED COMMERCIAL DRIVEWAY TO PROVIDE ACCESS TO EACH INDIVIDUAL PARCEL. THE DEVELOPMENT ON PARCEL "A" WILL INCLUDE A ~11,000 SQ.FT. BUILDING AND 39 PARKING SPACES (2 ACCESSIBLE).

THE BUILDING WILL BE HOME TO CHILDREN'S HEALING CENTER, A NON-PROFIT ORGANIZATION THAT PROVIDES SOCIAL AND EMOTIONAL SUPPORT AND PROGRAMS FOR CHILDREN WITH WEAK IMMUNE SYSTEMS.

STORM WATER PRE-TREATMENT WILL BE PROVIDED ON-SITE. STORM WATER DETENTION WILL BE PROVIDED IN AN EXISTING REGIONAL DETENTION BASIN LOCATED OFF-SITE.



**PARCEL MAP**  
SCALE: 1 INCH = 150 FT

**811 Know what's below. CALL before you dig.**

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANS" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

**SE MICHIGAN CENTER**  
Cover Sheet  
S Huron Street, Ypsilanti, Michigan 48197  
PART OF FRENCH CLAIM 681, T3S, R6E, E  
YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

**STAMP:**  
STATE OF MICHIGAN  
LIBERATED PROFESSIONAL ENGINEER  
JASON L. VAN RYAN  
License No. 6201054207

**PROJECT NO:**  
22500100

**SHEET NO:**  
**C-100**

**NEDERVELD**  
 www.nederveld.com  
 800.222.1868  
**ANN ARBOR**  
 3037 Miller Rd  
 Ann Arbor, MI 48103  
 Phone: 734.929.6963  
 CHICAGO  
 COLUMBUS  
 GRAND RAPIDS  
 HOLLAND  
 INDIANAPOLIS

**PREPARED FOR:**  
 The McFate Group  
 Jon M. Stevens  
 7136 Jackson Rd.  
 Ann Arbor, MI 48103  
 Phone: 734-433-0020

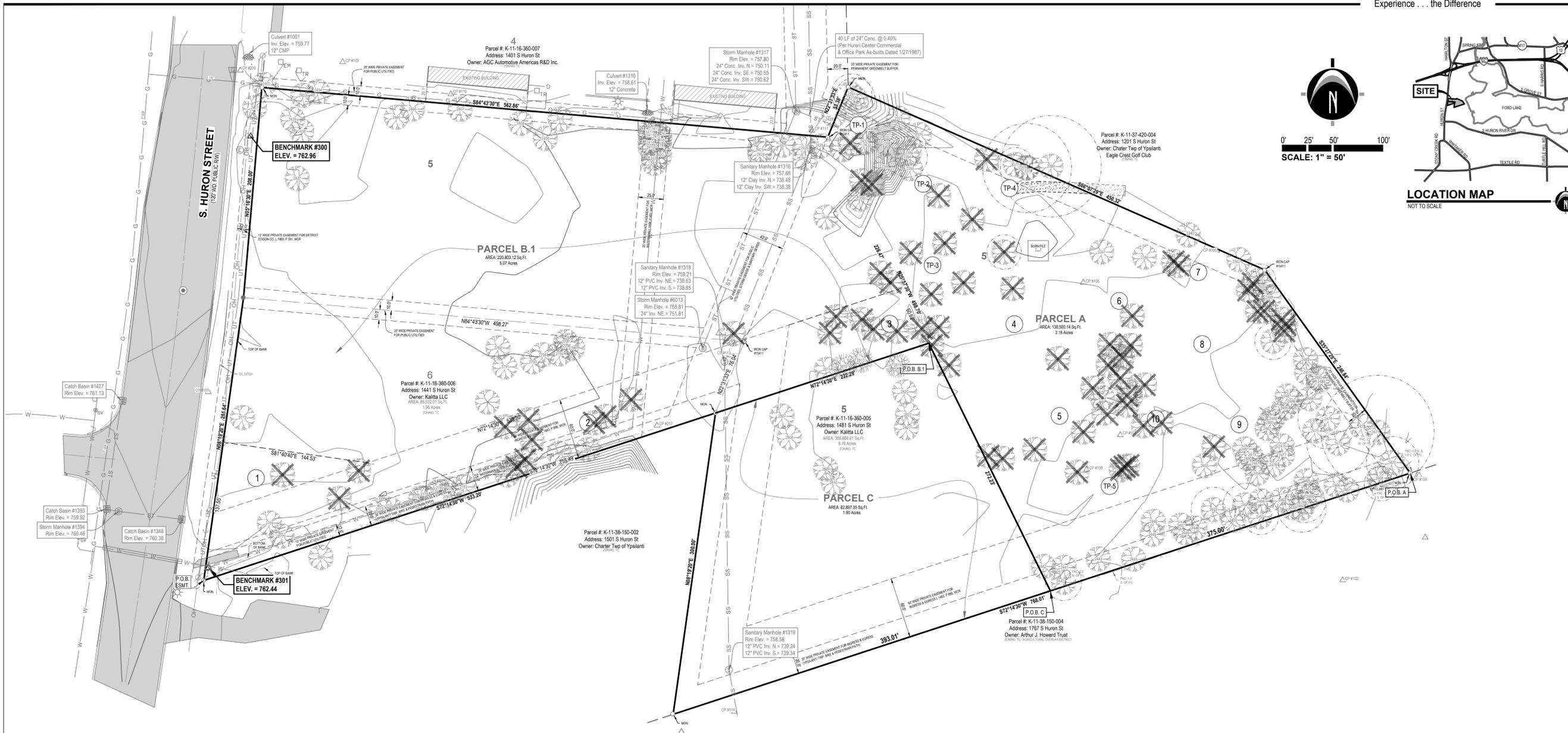
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 Title: Pre Application Submittal  
 Drawn: JVRW Checked: JVR Date: 9/28/2022  
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 Drawn: JVRW Checked: JVR Date: 11/29/2022

**SE MICHIGAN CENTER**  
**Existing Conditions & Removal Plan**  
 S Huron Street, Ypsilanti, Michigan 48197  
 PART OF FRENCH CLAIM 681, T3S, R6E,  
 YPSILANTI TOWNSHIP, WASHTEENAW COUNTY, MICHIGAN

**STAMP:**  
 STATE OF MICHIGAN  
 JASON L. VAN RYEN  
 License No. 6201054207  
 REGISTERED PROFESSIONAL ENGINEER

**PROJECT NO:**  
 22500100

**SHEET NO:**  
**C-201**



**LEGEND**

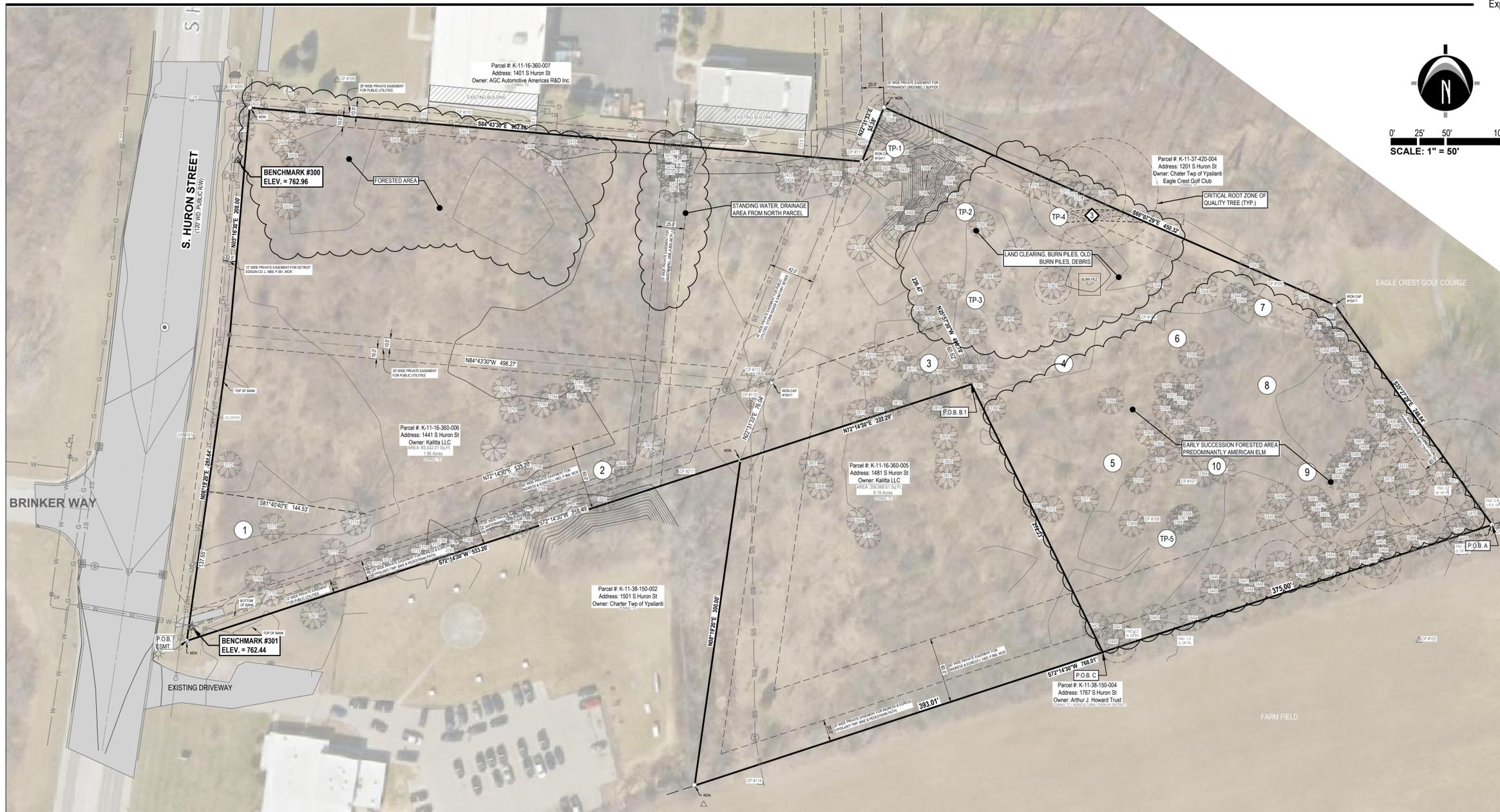
Air Conditioner	Gas Meter	Miss Dig Flag - Fiber Optic	Sanitary Sewer Manhole	Cable TV	Guard Rail
Benchmark	Gas Riser	Miss Dig Flag - Gas	Stake	Electric	Railroad
Catch Basin - Round	Gas Valve	Miss Dig Flag - Phone	Stormwater Manhole	Overhead Electric	Zoning Setback
Catch Basin - Square	Guy Anchor	Miss Dig Flag - Water	Telephone Manhole	Underground Electric	Tree
Cleanout	Guy Pole	Manhole	Transformer	Fiber Optic	Ex. Grade Contour
Cable Riser	Hand Hole	Monitor Well	Utility Pole	Gas	Asphalt
Culvert	Handicap Parking	Parking Meter	Underground Gas Marker	Gas	Concrete
Deciduous Tree	Hydrant	Post	Wetland Marker	Sanitary	Gravel
Electric Manhole	Iron - Set	Phone Riser	Water Meter	Storm	Building
Electric Meter	Iron - Found	Soil Boring	Water Valve	Telephone	
Electric Riser	Light Pole	Stop Box	Water Valve	Overhead Telephone	
Evergreen Tree	Mailbox	Soil Boring	Water Valve	Underground Telephone	
Faucet	Miss Dig Flag - Cable	Soil Boring	Water Valve	Watermain	
Flag	Miss Dig Flag - Electric	Soil Boring	Water Valve	Fence	

**BENCHMARKS**  
**BENCHMARK #300 ELEV. = 762.96 (NAVD88)**  
 Bench marker in the East face of power pole.  
**BENCHMARK #301 ELEV. = 762.44 (NAVD88)**  
 East bolt on hydrant.

**REMOVALS LEGEND**  
 REMOVE EXISTING TREE

**AS SURVEYED DESCRIPTION**  
**PARCEL A DESCRIPTION:** Part of Lot 5, Huron Center Commercial & Office Park, Part of French Claim 681, Town 3 South, Range 7 East, Ypsilanti Township, Washtenaw County, Michigan, as recorded in Liber 26, Page 51, Washtenaw County Records, described as: Commencing at the Southeast corner of said Lot 5 and the Point of Beginning; thence S72°14'30"W 375.00 feet; thence N25°57'30"W 498.70 feet; thence N22°31'33"E 53.38 feet; thence S66°07'29"E 450.32 feet; thence S35°27'29"E 246.84 feet to the Point of Beginning. Contains 3.18 acres. Subject to any and all easements, restrictions, right-of-way of record.  
 ALSO, benefitting from an easement for Ingress and Egress being part of Lots 5 and 6, Huron Center Commercial & Office Park, Part of French Claim 681, Town 3 South, Range 7 East, Ypsilanti Township, Washtenaw County, Michigan, as recorded in Liber 26, Page 51, Washtenaw County Records, described as: Commencing at the Southwest corner of said Lot 6 and the Point of Beginning; thence N08°19'20"E 137.55 feet along the Easterly right-of-way line of S. Huron Street; thence S81°40'40"E 144.53 feet; thence N72°14'30"E 533.20 feet; thence S25°57'30"E 60.62 feet; thence S72°14'30"W 755.49 feet to the Point of Beginning.  
**PARCEL B.1 DESCRIPTION:** Lot 6 and part of Lot 5, Huron Center Commercial & Office Park, Part of French Claim 681, Town 3 South, Range 7 East, Ypsilanti Township, Washtenaw County, Michigan, as recorded in Liber 26, Page 51, Washtenaw County Records, described as: Commencing at the Southeast corner of said Lot 5; thence S72°14'30"W 375.00 feet; thence N25°57'30"W 272.23 feet to the Point of Beginning; thence S72°14'30"W 755.49 feet; thence N08°19'20"E 281.64 feet along the Easterly right-of-way line of S. Huron Street; thence N05°16'30"E 208.00 feet along said Easterly right-of-way line; thence S84°43'30"E 562.86 feet; thence S25°57'30"E 226.47 feet to the Point of Beginning. Contains 5.07 acres. Subject to any and all easements, restrictions, right-of-way of record.  
 ALSO, subject to an easement for Ingress and Egress being part of Lots 5 and 6, Huron Center Commercial & Office Park, Part of French Claim 681, Town 3 South, Range 7 East, Ypsilanti Township, Washtenaw County, Michigan, as recorded in Liber 26, Page 51, Washtenaw County Records, described as: Commencing at the Southwest corner of said Lot 6 and the Point of Beginning; thence N08°19'20"E 137.55 feet along the Easterly right-of-way line of S. Huron Street; thence S81°40'40"E 144.53 feet; thence N72°14'30"E 533.20 feet; thence S25°57'30"E 60.62 feet; thence S72°14'30"W 755.49 feet to the Point of Beginning.  
**PARCEL C DESCRIPTION:** Part of Lot 5, Huron Center Commercial & Office Park, Part of French Claim 681, Town 3 South, Range 7 East, Ypsilanti Township, Washtenaw County, Michigan, as recorded in Liber 26, Page 51, Washtenaw County Records, described as: Commencing at the Southeast corner of said Lot 5; thence S72°14'30"W 375.00 feet to the Point of Beginning; thence continuing S72°14'30"W 393.01 feet; thence N08°19'20"E 300.00 feet; thence N72°14'30"E 222.29 feet; thence S25°57'30"E 272.23 feet to the Point of Beginning. Contains 1.90 acres. Subject to any and all easements, restrictions, right-of-way of record.  
 ALSO, benefitting from an easement for Ingress and Egress being part of Lots 5 and 6, Huron Center Commercial & Office Park, Part of French Claim 681, Town 3 South, Range 7 East, Ypsilanti Township, Washtenaw County, Michigan, as recorded in Liber 26, Page 51, Washtenaw County Records, described as: Commencing at the Southwest corner of said Lot 6 and the Point of Beginning; thence N08°19'20"E 137.55 feet along the Easterly right-of-way line of S. Huron Street; thence S81°40'40"E 144.53 feet; thence N72°14'30"E 533.20 feet; thence S25°57'30"E 60.62 feet; thence S72°14'30"W 755.49 feet to the Point of Beginning.

**811 Know what's below. CALL before you dig.**  
 UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.  
 NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANS" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.



LOCATION MAP  
NOT TO SCALE

**SOIL DESCRIPTION**

GENERAL SOILS DESCRIPTION: USDA CUSTOM SOIL RESOURCE REPORT FOR WASHTENAW COUNTY, MICHIGAN.

- ST. CLAIR CLAY LOAM, 2 TO 6 PERCENT SLOPES**  
LANDFORM: KNOLLS ON MORAINES, KNOLLS ON TILL PLAINS  
DRAINAGE CLASS: MODERATELY WELL DRAINED  
RUNOFF CLASS: MEDIUM  
HYDROLOGIC SOIL GROUP: D  
DEPTH TO WATER TABLE: 24-36"
- NAPPANEE SILTY CLAY LOAM, 0 TO 2 PERCENT SLOPES**  
LANDFORM: FLATS ON LAKE PLAINS, FLATS ON MORAINES, FLATS ON TILL PLAINS  
DRAINAGE CLASS: SOMEWHAT POORLY DRAINED  
RUNOFF CLASS: VERY LOW  
HYDROLOGIC SOIL GROUP: C/D  
DEPTH TO WATER TABLE: 12-24"

**811** Know what's below. CALL before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.

NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLAN" WERE OBTAINED FROM AVAILABLE "AS-BUILT" RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

Tree ID	Scientific Name	Common Name	DBH	Notes	Remove
2339	Ulmus americana	American Elm	12"		X
2340	Juglans nigra	Black Walnut	8"		
2341	Ulmus americana	American Elm	13"		X
2342	Juglans nigra	Black Walnut	7"		
2343	Ulmus americana	American Elm	16.5"		
2344	Ulmus americana	American Elm	9"		X
2345	Ulmus americana	American Elm	9"		X
2346	Ulmus americana	American Elm	10"		X
2347	Ulmus americana	American Elm	11"		X
2348	Ulmus americana	American Elm	8"		X
2349	Ulmus americana	American Elm	7"		X
2350	Ulmus americana	American Elm	8"		X
2351	Ulmus americana	American Elm	8"		X
2352	Ulmus americana	American Elm	8"		X
2353	Acer saccharinum	Silver Maple	12"		X
2354	Ulmus americana	American Elm	7"		X
2355	Ulmus americana	American Elm	10"		X
2356	Ulmus americana	American Elm	8"		X
2357	Ulmus americana	American Elm	8"		X
2358	Ulmus americana	American Elm	8"		X
2359	Ulmus americana	American Elm	12"		X
2360	Salix alba	Willow	10"		X
2361	Ulmus americana	American Elm	7"		X
2362	Ulmus americana	American Elm	8"		X
2363	Ulmus americana	American Elm	8"		X
2364	Ulmus americana	American Elm	7"		X
2365	Ulmus americana	American Elm	8"		X
2366	Ulmus americana	American Elm	8"		X
2367	Ulmus americana	American Elm	7"		X
2368	Ulmus americana	American Elm	8"		X
2369	Acer saccharinum	Silver Maple	16"		X
2370	Ulmus americana	American Elm	10"		X
2371	Ulmus americana	American Elm	8"		X
2372	Ulmus americana	American Elm	7"		X
2373	Ulmus americana	American Elm	7"		X
2374	Acer negundo	Boxelder	18"		X
2375	Acer negundo	Boxelder	16"		X
2376	Quercus alba	White oak	7.5"		
2377	Quercus alba	White oak	8.5"		
2378	Morus alba	Mulberry	18"		Multi-Stem
2379	Tilia Americana	Basswood	22"		
2380	Tilia Americana	Basswood	25"		

Tree ID	Scientific Name	Common Name	DBH	Notes	Remove
2381	Fraxinus pennsylvanica	Green Ash	20"	Dying	X
2382	Juglans nigra	Black Walnut	8.5"		X
2383	Acer negundo	Boxelder	22"		X
2384	Fraxinus pennsylvanica	Green Ash	10"	Multi-Stem	X
2385	Acer negundo	Boxelder	18"		X
2386	Acer negundo	Boxelder	8"		X
2387	Ulmus americana	American Elm	12"		X
2388	Fraxinus pennsylvanica	Green Ash	7"		X
2389	Fraxinus pennsylvanica	Green Ash	10"		X
2391	Fraxinus pennsylvanica	Green Ash	8"		X
2392	Acer negundo	Boxelder	12"	Multi-Stem	X
2393	Morus alba	Mulberry	8"		X
2394	Juglans nigra	Black Walnut	10"		X
2395	Morus alba	Mulberry	8"		X
2396	Juglans nigra	Black Walnut	10"		X
2397	Juglans nigra	Black Walnut	10"		X
2398	Acer negundo	Boxelder	7"		X
2399	Acer negundo	Boxelder	9"		X
2400	Acer negundo	Boxelder	7"		X
2401	Malus sylvestris	Crabapple	6"	Multi-Stem	X
2402	Populus deltoides	Cottonwood	13"		X
2403	Acer negundo	Boxelder	9"		X
2404	Acer negundo	Boxelder	7"		X
2405	Ulmus americana	American Elm	7"		X
2406	Fraxinus pennsylvanica	Green Ash	7"		X
2407	Populus deltoides	Cottonwood	11"		X
2408	Populus deltoides	Cottonwood	16"		X
2409	Populus deltoides	Cottonwood	12"		X
2410	Acer negundo	Boxelder	9"		X
2411	Populus deltoides	Cottonwood	19"		X
2412	Populus deltoides	Cottonwood	19"		X
2413	Populus deltoides	Cottonwood	8-20"	Under Water	
2414	Populus deltoides	Cottonwood	8-20"	Under Water	
2415	Populus deltoides	Cottonwood	8-20"	Under Water	
2416	Populus deltoides	Cottonwood	8-20"	Under Water	
2417	Populus deltoides	Cottonwood	8-20"	Under Water	
2418	Populus deltoides	Cottonwood	8-20"	Under Water	
2419	Populus deltoides	Cottonwood	8-20"	Under Water	
2420	Populus deltoides	Cottonwood	8-20"	Under Water	
2421	Populus deltoides	Cottonwood	8-20"	Under Water	
2422	Populus deltoides	Cottonwood	8-20"	Under Water	
2423	Acer negundo	Boxelder	10"		

Tree ID	Scientific Name	Common Name	DBH	Notes	Remove
2424	Acer negundo	Boxelder	14"		
2425	Acer negundo	Boxelder	14"		
2426	Acer negundo	Boxelder	7"		
2427	Acer negundo	Boxelder	9"		
2428	Acer negundo	Boxelder	13"		
2429	Acer negundo	Boxelder	9"		
2430	Acer negundo	Boxelder	10"		X
2431	Acer negundo	Boxelder	7"		X
2432	Acer negundo	Boxelder	9"		X
2433	Acer negundo	Boxelder	12"		X
2434	Fraxinus pennsylvanica	Green Ash	10"		X
2435	Fraxinus pennsylvanica	Green Ash	8"		X
2436	Acer negundo	Boxelder	7"		X
2437	Ulmus americana	American Elm	6"		X
2438	Ulmus americana	American Elm	7"		X
2439	Acer negundo	Boxelder	9"		X
2440	Prunus serotina	Black Cherry	9"		X
2441	Ulmus americana	American Elm	8"		X
2442	Ulmus americana	American Elm	8.5"		X
2443	Morus alba	Mulberry	21"		X
2444	Ulmus americana	American Elm	10"		X
2445	Ulmus americana	American Elm	10"		X
2446	Ulmus americana	American Elm	10.5"		X
2447	Ulmus americana	American Elm	10"		Dead
2448	Ulmus americana	American Elm	11"		X
2449	Ulmus americana	American Elm	13"		X
2450	Ulmus americana	American Elm	6"		X
2451	Juglans nigra	Black Walnut	11"		X
2452	Prunus serotina	Black Cherry	11"		X
2453	Juglans nigra	Black Walnut	9"		X
2454	Ulmus americana	American Elm	8.5"		X
2455	Celtis occidentalis	Hackberry	6.5"		X
2456	Ulmus americana	American Elm	9"		X
2457	Acer negundo	Boxelder	13"		X
2458	Ulmus americana	American Elm	7.5"		X
2459	Ulmus pumila	Siberian Elm	6"		X
2460	Quercus velutina	Black Oak	12"		X
2461	Prunus serotina	Black Cherry	10"		X
2462	Juglans nigra	Black Walnut	8"		X
2463	Ulmus americana	American Elm	9"		X
2464	Ulmus americana	American Elm	12"		X
2465	Ulmus americana	American Elm	9"		X
2466	Acer negundo	Boxelder	7"		X

Tree ID	Scientific Name	Common Name	DBH	Notes	Remove
2467	Acer negundo	Boxelder	10"		
2468	Prunus serotina	Black Cherry	6"		
2469	Carya ovata	Shagbark Hickory	8.5"		
2470	Carya ovata	Shagbark Hickory	13"		
2471	Carya ovata	Shagbark Hickory	28"		
2472	Ulmus americana	American Elm	6"		
2473	Quercus velutina	Black Oak	15.5"		
2474	Quercus velutina	Black Oak	15"		
2475	Ulmus americana	American Elm	6"		X
2476	Ulmus americana	American Elm	13"		X
2477	Ulmus americana	American Elm	6"		X
2478	Carya ovata	Shagbark Hickory	6"		X
2479	Ulmus americana	American Elm	7"		X
2480	Fraxinus pennsylvanica	Green Ash	8"		X
2481	Ulmus americana	American Elm	10"		X
2482	Ulmus americana	American Elm	8"		X
2483	Acer negundo	Boxelder	7"		X
2484	Ulmus americana	American Elm	6"		X
2485	Ulmus americana	American Elm	8.5"		X
2486	Ulmus americana	American Elm	10"		X
2487	Ulmus americana	American Elm	8"		X
2488	Ulmus americana	American Elm	6"		X
2489	Ulmus americana	American Elm	7"		X
2490	Ulmus americana	American Elm	11"		X
2491	Ulmus americana	American Elm	13"		X
2492	Quercus velutina	Black Oak	6"		X
2493	Ulmus americana	American Elm	6"		X
2494	Malus spp.	Crabapple	6"		Multi-Stem
2495	Ulmus americana	American Elm	12"		X
2496	Ulmus americana	American Elm	9"		X
2497	Ulmus americana	American Elm	6"		X
2498	Ulmus americana	American Elm	9"		X
2499	Ulmus americana	American Elm	7"		X
2500	Juglans nigra	Black Walnut	7"		X
2501	Fraxinus pennsylvanica	Green Ash	8"		Multi-Stem
2502	Ulmus americana	American Elm	6"		X
2503	Ulmus americana	American Elm	14.5"		X
2504	Morus alba	Mulberry	8.5"		X
2505	Malus spp.	Crabapple	6"		X
2506	Ulmus americana	American Elm	8"		X
2507	Ulmus americana	American Elm	7"		X
2508	Ulmus americana	American Elm	13"		X
2509	Ulmus americana	American Elm	15"		X
2510	Ulmus americana	American Elm	7"		X
2511	Ulmus americana	American Elm	6"		X
2512	Ulmus americana	American Elm	8"		X
2513	Juniperus virginiana	Eastern Red Cedar	7"		X
2514	Fraxinus pennsylvanica	Green Ash	7"		X
2515	Ulmus americana	American Elm	9"		X
2516	Fraxinus pennsylvanica	Green Ash	6"		X
2517	Ulmus americana	American Elm	6"		X

Tree ID	Scientific Name	Common Name	DBH	Notes	Remove
2775	Salix alba	Willow	6"		
2776	Populus deltoides	Cottonwood	15"		
2777	Salix alba	Willow	9"		
2778	Salix alba	Willow	6"		
2779	Salix alba	Willow	6"		
2780	Salix alba	Willow	6"		
2781	Acer negundo	Boxelder	7.33"	Multi-Stem	
2782	Salix alba	Willow	8"		
2783	Salix alba	Willow	8"		
2784	Acer negundo	Boxelder	7"	Mostly Dead	X
2785	Salix alba	Willow	11"		X
2786	Salix alba	Willow	6"		X
2787	Salix alba	Willow	7"		X
2788	Ulmus americana	American Elm	6"		X
2789	Morus alba	Mulberry	7"		X
2790	Populus deltoides	Cottonwood	22"		X
2791	Ulmus americana	American Elm	10"		X
2792	Acer negundo	Boxelder	13"		X
2793	Ulmus americana	American Elm	7"		X
2794	Rhamnus cathartica	Common Buckthorn	7"		X
2795	Ulmus americana	American Elm	7"		X
2796	malus spp.	Crabapple	11"		X
2797	Acer negundo	Boxelder	7"	damaged	
2798	Acer negundo	Boxelder	7"		
2799	Ulmus americana	American Elm	6"		X
2800	Populus deltoides	Cottonwood	15"		X
2801	Gleditsia triacanthos	Honeylocust	26"		X
2802	Acer negundo	Boxelder	6"		X
2803	Ulmus americana	American Elm	6"		X
2804	Salix alba	Willow	8"		X
2805	Populus deltoides	Cottonwood	21"		X
2806	Ulmus americana	American Elm	8"		X
2807	Ulmus americana	American Elm	7"		X
2808	Ulmus americana	American Elm	13"		X
2809	Ulmus americana	American Elm	15"		X
2810	Ulmus americana	American Elm	7"		X
2811	Ulmus americana	American Elm	6"		X
2812	Ulmus americana	American Elm	8"		X
2813	Juniperus virginiana	Eastern Red Cedar	7"		X
2814	Fraxinus pennsylvanica	Green Ash	7"		X
2815	Ulmus americana	American Elm	9"		X
2816	Fraxinus pennsylvanica	Green Ash	6"		X
2817	Ulmus americana	American Elm	6"		X

**LEGEND**

- AC Air Conditioner
- Benchmark / Control Point
- Culvert
- Deciduous Tree
- Evergreen Tree
- Electric Manhole
- Electric Meter
- Guy Anchor
- Hydrant
- Iron - Set
- Iron - Found
- Monument
- Light Pole
- Miss Dig Flag - Gas
- Sanitary Sewer Manhole
- Transformer
- Utility Pole
- Gas
- Overhead Utility
- Underground Telephone
- Fence
- Setting Back
- Asphalt
- Concrete
- Gravel
- Existing Building

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HOLLAND  
INDIANAPOLIS

**PREPARED FOR:**  
The McFate Group  
Jon M. Stevens  
7136 Jackson Rd.  
Ann Arbor, MI 48103  
Phone: 734-433-0020

**REVISIONS:**  
Title: Pre Application Submittal  
Drawn: JVRW Checked: JVR Date: 9/28/2022  
Title: Preliminary Full Site Plan Submittal  
Drawn: JVRW Checked: JVR Date: 11/29/2022

**SE MICHIGAN CENTER**  
**Site Analysis Plan**  
S Huron Street, Ypsilanti, Michigan 48197  
PART OF FRENCH CLAIM 681, T3S, R6E, E  
YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

**STAMP:**  
STATE OF MICHIGAN  
LICENSED PROFESSIONAL ENGINEER  
JASON L. VAN RYN  
License No. 6201054207

**PROJECT NO:**  
225001

DRIESENGA & ASSOCIATES, INC.		SB-1	
Project: Children's Healing Center 1481 South Huron Street Ypsilanti, Michigan Project No. 2220720.3A Client: The McFate Group, Inc.			
Date Started: Oct 6, 2022	Date Completed: Oct 6, 2022	Drilling Company: Blax	Field Sampling: A. Rau
Hole Diameter: 8-inches	Drilling Method: Hollow-Stem Auger	Reviewed By: M. Pitt	GW Encountered: Dry
Sampling Method: Split-Spoon Sampler	GW Completed: Dry	Auto Hammer Used for SPT: No	Notes: Dry case in @ 8.7'
Depth in Feet	USCS	DESCRIPTION	Moisture Content %
0	SWGW	TOPSOIL - 3 inches SAND & GRAVEL - 9 inches SANDY CLAY - 30 inches	15.3
12	CL	CLAY, hard, brown and grey mottled, trace gravel, moist.	13.2
17	CL	CLAY, hard, brown and grey mottled, trace gravel, moist.	15.7
26	CL	CLAY, hard, brown and grey mottled, trace gravel, moist.	18.3
E.O.B. @ 10'			

DRIESENGA & ASSOCIATES, INC.		SB-2	
Project: Children's Healing Center 1481 South Huron Street Ypsilanti, Michigan Project No. 2220720.3A Client: The McFate Group, Inc.			
Date Started: Oct 6, 2022	Date Completed: Oct 6, 2022	Drilling Company: Blax	Field Sampling: A. Rau
Hole Diameter: 8-inches	Drilling Method: Hollow-Stem Auger	Reviewed By: M. Pitt	GW Encountered: Dry
Sampling Method: Split-Spoon Sampler	GW Completed: Dry	Auto Hammer Used for SPT: No	Notes: Dry case in @ 8'
Depth in Feet	USCS	DESCRIPTION	Moisture Content %
0	SWGW	TOPSOIL - 6 inches SAND & GRAVEL - 9 inches SANDY CLAY, very stiff, brown, trace gravel, moist.	15.3
14	CL	CLAY, hard, brown and grey mottled, trace gravel, moist.	15.0
16	CL	CLAY, hard, brown and grey mottled, trace gravel, moist.	16.5
28	CL	CLAY, hard, brown and grey mottled, trace gravel, moist.	17.3
E.O.B. @ 10'			

DRIESENGA & ASSOCIATES, INC.		SB-3	
Project: Children's Healing Center 1481 South Huron Street Ypsilanti, Michigan Project No. 2220720.3A Client: The McFate Group, Inc.			
Date Started: Oct 6, 2022	Date Completed: Oct 6, 2022	Drilling Company: Blax	Field Sampling: A. Rau
Hole Diameter: 8-inches	Drilling Method: Hollow-Stem Auger	Reviewed By: M. Pitt	GW Encountered: Dry
Sampling Method: Split-Spoon Sampler	GW Completed: Dry	Auto Hammer Used for SPT: No	Notes: Dry case in @ 8'
Depth in Feet	USCS	DESCRIPTION	Moisture Content %
0	SWGW	TOPSOIL - 6 inches SANDY CLAY, very stiff, brown, trace gravel, moist.	18.7
12	CL	CLAY, hard, brown and grey mottled, trace gravel, moist.	16.2
13	CL	CLAY, hard, brown and grey mottled, trace gravel, moist.	16.3
24	CL	CLAY, hard, brown and grey mottled, trace gravel, moist.	18.0
E.O.B. @ 10'			

DRIESENGA & ASSOCIATES, INC.		SB-4	
Project: Children's Healing Center 1481 South Huron Street Ypsilanti, Michigan Project No. 2220720.3A Client: The McFate Group, Inc.			
Date Started: Oct 6, 2022	Date Completed: Oct 6, 2022	Drilling Company: Blax	Field Sampling: A. Rau
Hole Diameter: 8-inches	Drilling Method: Hollow-Stem Auger	Reviewed By: M. Pitt	GW Encountered: Dry
Sampling Method: Split-Spoon Sampler	GW Completed: Dry	Auto Hammer Used for SPT: No	Notes: Dry case in @ 8'
Depth in Feet	USCS	DESCRIPTION	Moisture Content %
0	SWGW	TOPSOIL - 6 inches CLAY, very stiff to hard, brown and grey mottled, trace gravel, moist.	20.2
11	CL	CLAY, hard, brown and grey mottled, trace gravel, moist.	15.6
27	CL	CLAY, hard, brown and grey mottled, trace gravel, moist.	15.9
24	CL	CLAY, hard, brown and grey mottled, trace gravel, moist.	17.9
E.O.B. @ 10'			

DRIESENGA & ASSOCIATES, INC.		SB-5	
Project: Children's Healing Center 1481 South Huron Street Ypsilanti, Michigan Project No. 2220720.3A Client: The McFate Group, Inc.			
Date Started: Oct 6, 2022	Date Completed: Oct 6, 2022	Drilling Company: Blax	Field Sampling: A. Rau
Hole Diameter: 8-inches	Drilling Method: Hollow-Stem Auger	Reviewed By: M. Pitt	GW Encountered: Dry
Sampling Method: Split-Spoon Sampler	GW Completed: Dry	Auto Hammer Used for SPT: No	Notes: Dry case in @ 8'
Depth in Feet	USCS	DESCRIPTION	Moisture Content %
0	SWGW	TOPSOIL - 5 inches SANDY CLAY, stiff, brown, trace gravel, moist.	15.1
11	CL	CLAY, hard, brown and grey mottled, trace gravel, moist.	15.4
21	CL	CLAY, hard, brown and grey mottled, trace gravel, moist.	13.0
23	CL	CLAY, hard, brown and grey mottled, trace gravel, moist.	17.9
E.O.B. @ 10'			

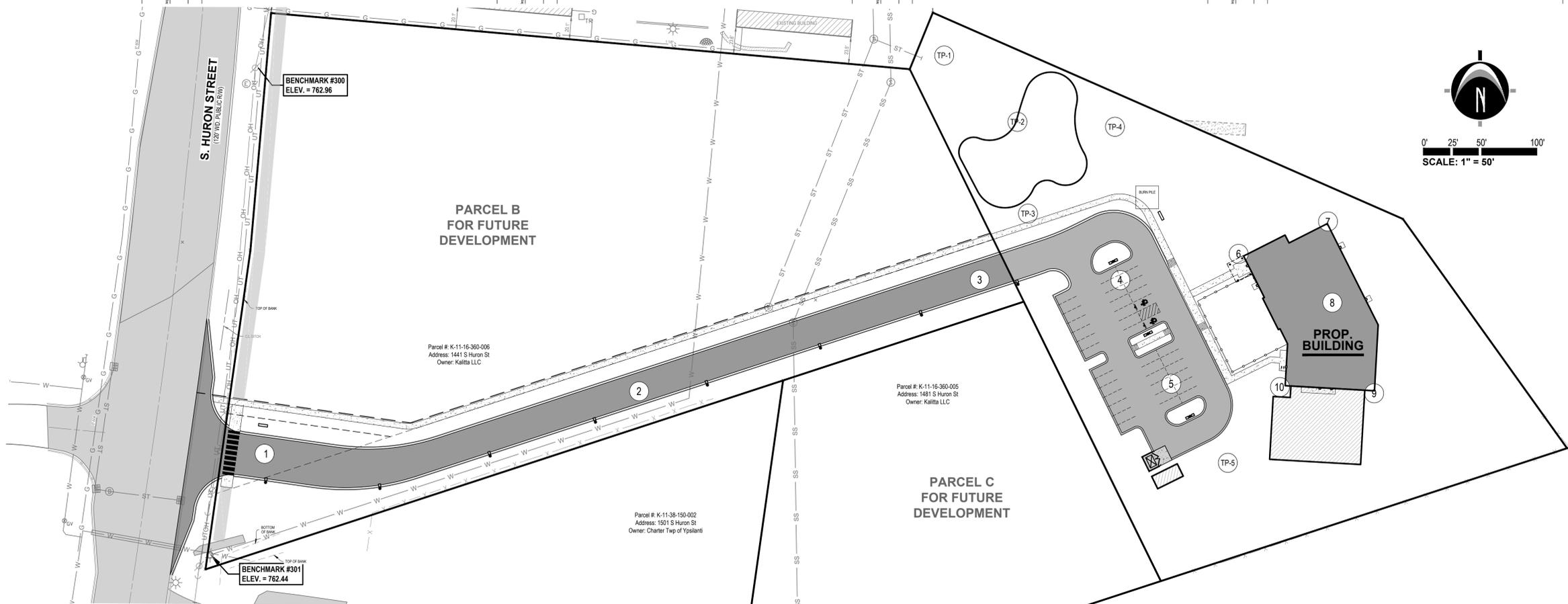
DRIESENGA & ASSOCIATES, INC.		SB-6	
Project: Children's Healing Center 1481 South Huron Street Ypsilanti, Michigan Project No. 2220720.3A Client: The McFate Group, Inc.			
Date Started: Oct 6, 2022	Date Completed: Oct 6, 2022	Drilling Company: Blax	Field Sampling: A. Rau
Hole Diameter: 8-inches	Drilling Method: Hollow-Stem Auger	Reviewed By: M. Pitt	GW Encountered: 11.1"
Sampling Method: Split-Spoon Sampler	GW Completed: Dry	Auto Hammer Used for SPT: No	Notes: Wet case in @ 11.1"
Depth in Feet	USCS	DESCRIPTION	Moisture Content %
0	CL	TOPSOIL - 12 inches SANDY CLAY, stiff, brown, trace gravel, moist.	18.4
7	CL	CLAY, hard, brown and grey mottled, trace gravel, moist to wet.	16.1
18	CL	CLAY, hard, brown and grey mottled, trace gravel, moist to wet.	16.7
20	CL	CLAY, hard, brown and grey mottled, trace gravel, moist to wet.	17.4
25	CL	CLAY, hard, brown and grey mottled, trace gravel, moist to wet.	17.1
E.O.B. @ 15'			

DRIESENGA & ASSOCIATES, INC.		SB-7	
Project: Children's Healing Center 1481 South Huron Street Ypsilanti, Michigan Project No. 2220720.3A Client: The McFate Group, Inc.			
Date Started: Oct 6, 2022	Date Completed: Oct 6, 2022	Drilling Company: Blax	Field Sampling: A. Rau
Hole Diameter: 8-inches	Drilling Method: Hollow-Stem Auger	Reviewed By: M. Pitt	GW Encountered: 11.1"
Sampling Method: Split-Spoon Sampler	GW Completed: Dry	Auto Hammer Used for SPT: No	Notes: Dry case in @ 13.1"
Depth in Feet	USCS	DESCRIPTION	Moisture Content %
0	CL	TOPSOIL - 6 inches SANDY CLAY, stiff, brown, trace gravel, trace organics, moist.	17.0
1	CL	CLAY, hard, brown and grey mottled, trace gravel, moist.	15.7
22	CL	CLAY, hard, brown and grey mottled, trace gravel, moist.	17.5
23	CL	CLAY, hard, brown and grey mottled, trace gravel, moist.	18.8
23	CL	CLAY, hard, brown and grey mottled, trace gravel, moist.	19.4
E.O.B. @ 15'			

DRIESENGA & ASSOCIATES, INC.		SB-8	
Project: Children's Healing Center 1481 South Huron Street Ypsilanti, Michigan Project No. 2220720.3A Client: The McFate Group, Inc.			
Date Started: Oct 6, 2022	Date Completed: Oct 6, 2022	Drilling Company: Blax	Field Sampling: A. Rau
Hole Diameter: 8-inches	Drilling Method: Hollow-Stem Auger	Reviewed By: M. Pitt	GW Encountered: Dry
Sampling Method: Split-Spoon Sampler	GW Completed: Dry	Auto Hammer Used for SPT: No	Notes: Dry case in @ 11.1"
Depth in Feet	USCS	DESCRIPTION	Moisture Content %
0	CL	TOPSOIL - 10 inches SANDY CLAY, stiff, brown, trace gravel, moist.	21.1
3	CL	CLAY, hard, brown and grey mottled, trace gravel, moist.	11.9
13	CL	CLAY, hard, brown and grey mottled, trace gravel, moist.	15.6
24	CL	CLAY, hard, brown and grey mottled, trace gravel, moist.	16.1
23	CL	CLAY, hard, brown and grey mottled, trace gravel, moist.	17.2
E.O.B. @ 15'			

DRIESENGA & ASSOCIATES, INC.		SB-9	
Project: Children's Healing Center 1481 South Huron Street Ypsilanti, Michigan Project No. 2220720.3A Client: The McFate Group, Inc.			
Date Started: Oct 6, 2022	Date Completed: Oct 6, 2022	Drilling Company: Blax	Field Sampling: A. Rau
Hole Diameter: 8-inches	Drilling Method: Hollow-Stem Auger	Reviewed By: M. Pitt	GW Encountered: Dry
Sampling Method: Split-Spoon Sampler	GW Completed: Dry	Auto Hammer Used for SPT: No	Notes: Dry case in @ 12.7"
Depth in Feet	USCS	DESCRIPTION	Moisture Content %
0	CL	TOPSOIL - 12 inches SANDY CLAY, stiff, brown, trace gravel, moist.	18.6
3	CL	CLAY, hard, brown and grey mottled, trace gravel, moist.	16.3
22	CL	CLAY, hard, brown and grey mottled, trace gravel, moist.	16.2
24	CL	CLAY, hard, brown and grey mottled, trace gravel, moist.	16.3
27	CL	CLAY, hard, brown and grey mottled, trace gravel, moist.	16.7
E.O.B. @ 15'			

DRIESENGA & ASSOCIATES, INC.		SB-10	
Project: Children's Healing Center 1481 South Huron Street Ypsilanti, Michigan Project No. 2220720.3A Client: The McFate Group, Inc.			
Date Started: Oct 6, 2022	Date Completed: Oct 6, 2022	Drilling Company: Blax	Field Sampling: A. Rau
Hole Diameter: 8-inches	Drilling Method: Hollow-Stem Auger	Reviewed By: M. Pitt	GW Encountered: Dry
Sampling Method: Split-Spoon Sampler	GW Completed: Dry	Auto Hammer Used for SPT: No	Notes: Dry case in @ 8.7"
Depth in Feet	USCS	DESCRIPTION	Moisture Content %
0	CL	TOPSOIL - 12 inches SANDY CLAY, very stiff, brown, trace gravel, moist.	15.5
4	CL	CLAY, hard, brown and grey mottled, trace gravel, moist.	14.9
21	CL	CLAY, hard, brown and grey mottled, trace gravel, moist.	15.9
24	CL	CLAY, hard, brown and grey mottled, trace gravel, moist.	17.6
24	CL	CLAY, hard, brown and grey mottled, trace gravel, moist.	19.7
E.O.B. @ 15'			



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Land Planning — Landscape Architecture — Civil Engineering — Land Surveying — High Definition Scanning — Forensic Engineering — Fire Investigation

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INDIANAPOLIS

**PREPARED FOR:**  
The McFate Group  
Jon M. Stevens

7136 Jackson Rd.  
Ann Arbor, MI 48103  
Phone: 734-433-0020

**REVISIONS:**

Title: Pre Application Submittal	Drawn: JVRW	Checked: JVR	Date: 9/28/2022
Title: Preliminary Full Site Plan Submittal	Drawn: JVRW	Checked: JVR	Date: 11/29/2022

**SE MICHIGAN CENTER**

Soil Boring Logs

S Huron Street, Ypsilanti, Michigan 48197  
PART OF FRENCH CLAIM 681, T3S, 19E,  
YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

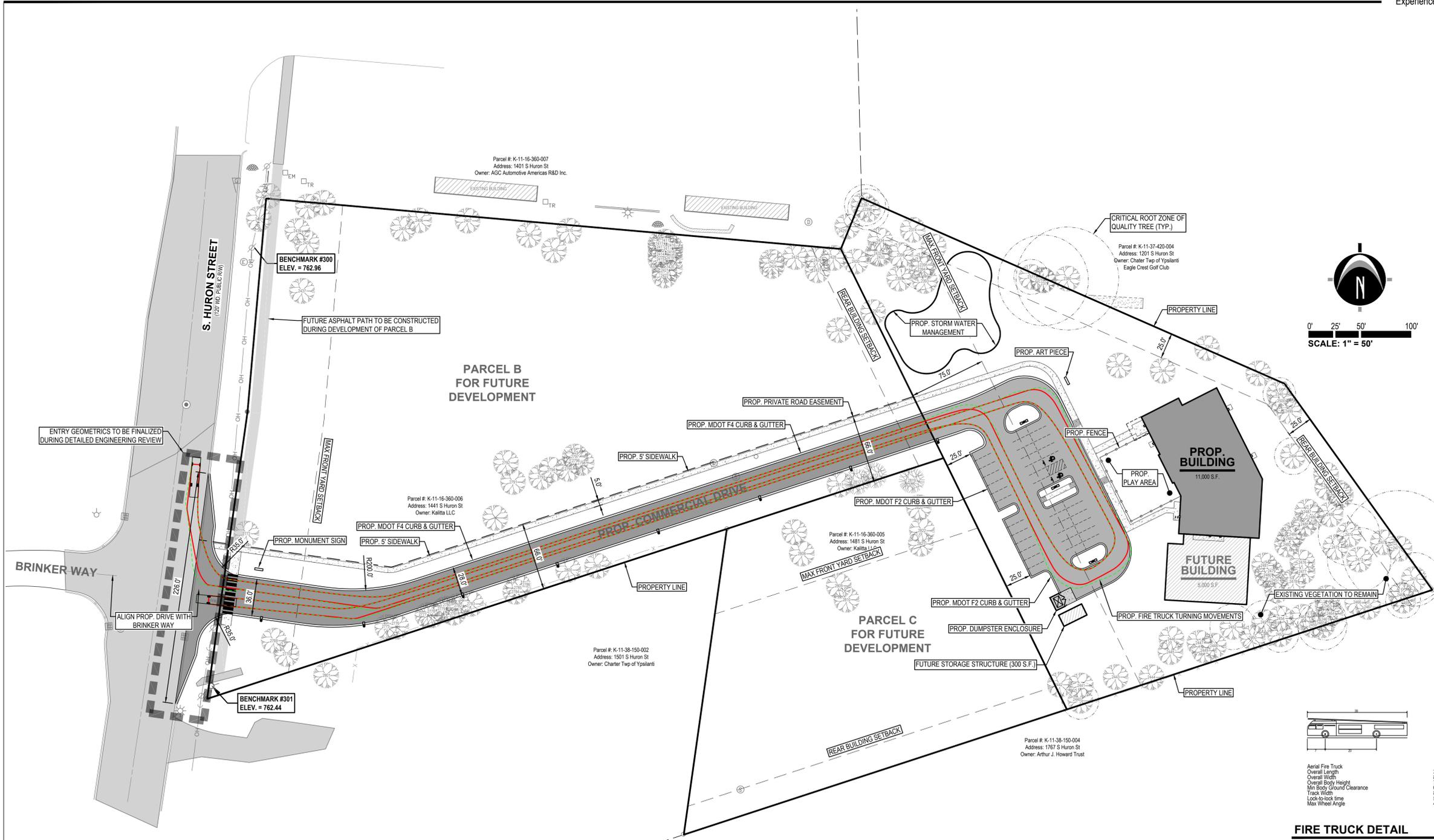
**STAMP:**

STATE OF MICHIGAN  
JASON L. VAN RYN  
License No. 6201054207  
REGISTERED PROFESSIONAL ENGINEER

**PROJECT NO:**  
22500100

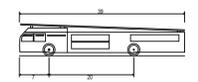
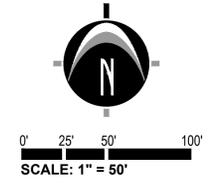
**SHEET NO:**  
**C-203**

22500100-PRC14-196 JV 11/29/2022 14:59  
© 2022 Nederveld, Inc.



**LEGEND**

- [Pattern] EXISTING BITUMINOUS
- [Pattern] EXISTING CONCRETE
- [Pattern] PROPOSED BITUMINOUS (STANDARD DUTY)
- [Pattern] PROPOSED BITUMINOUS (HEAVY DUTY)
- [Pattern] PROPOSED CONCRETE (STANDARD DUTY)
- [Pattern] PROPOSED CONCRETE (HEAVY DUTY)



Aerial Fire Truck	30,000#
Overall Length	8.167ft
Overall Width	7.500ft
Overall Body Height	0.750ft
Min Body Ground Clearance	6.167ft
Track Width	5.000ft
Lock-to-lock time	5.000s
Max Wheel Angle	45.00°

**FIRE TRUCK DETAIL**

N.T.S.

**SITE PLAN NOTES**

- 1) SIDE DIMENSIONS ARE TO EDGE OF PAVEMENT, FACE OF BUILDING, AND/OR FACE OF CURB OR FACE OF WALK, UNLESS OTHERWISE NOTED.
- 2) THIS PROJECT IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN, BASED ON THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAPS.
- 3) SEE ARCHITECTURAL /BUILDING DRAWINGS FOR ACTUAL BUILDING LAYOUT AND DIMENSIONS.
- 4) ALL LIGHTING SHALL BE SHIELDED FROM ALL ADJACENT PROPERTIES. PROPOSED LIGHTING SHALL CONSIST OF WALL-MOUNTED LIGHTS AND LIGHT POLES, BOTH FITTED WITH SHOEBOX TYPE FIXTURES. GENERAL CONTRACTOR RESPONSIBLE FOR ELECTRIC, BASE, POLES, AND FIXTURES. SEE PHOTOMETRIC PLAN FOR PROPOSED SITE LIGHTING.
- 5) ALL SIDEWALKS MUST MEET CURRENT ADA STANDARDS.
- 6) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ROUTING ELECTRICAL CONDUITS AND SERVICE TO THE GROUND MOUNTED SIGN. THE GENERAL CONTRACTOR SHALL VERIFY THE LOCATIONS AND ELECTRICAL REQUIREMENTS WITH THE TENANTS SIGN VENDOR. ALL OTHER WORK TO BE DESIGNED, PERMITTED AND INSTALLED BY THE TENANTS SIGN VENDOR.
- 7) NO FENCES OR WALLS OTHER THAN WHAT IS SHOWN ON THE SITE PLAN ARE PROPOSED AT THIS TIME.

**SITE DATA**

- 1) ZONING OF PROPERTY: TC - TOWN CENTER  
TC - TOWN CENTER ZONING REQUIREMENTS
  - A) MINIMUM LOT AREA = NO MINIMUM
  - B) MINIMUM LOT WIDTH = NO MINIMUM
  - C) BUILDING HEIGHT = 20 FT MIN., 75 FT MAX. (6 STORIES)
- SETBACKS
  - A) FRONT YARD = 0 FT. MIN., 75 FT MAX.
  - B) SIDE YARD = 0 FT.
  - C) REAR YARD = 25 FT.
- 2) SUMMARY OF LAND USE:
  - A) TOTAL ACREAGE = 3.18 ACRES (138,500 SQ.FT.) (EXCLUDING R.O.W.)
  - B) AREA OF PROPOSED BUILDING = 11,000 SQ.FT.
  - C) BUILDING HEIGHT = 1 STORY
  - D) LOT COVERAGE = 23.9%
  - E) GROSS ASPHALT AREA = APPROX. 18,670 SQ.FT.
  - F) GROSS CONCRETE AREA = APPROX. 3,489 SQ.FT.
  - G) ZONING OF PARCELS TO SOUTH AND WEST = TC (AGRICULTURAL OVERLAY DISTRICT) AND TC
  - H) ZONING OF PARCELS TO NORTH AND EAST = TC
- 3) PARKING REQUIREMENTS:
  - A) MINIMUM REQUIRED SPACE PER TOWNSHIP = 9x18' (24' AISLE)
  - B) TYPICAL PARKING SPACE PROVIDED = 9x18' (24' AISLE)
  - C) TYPICAL VAN ACCESSIBLE PARKING SPACE = 11x18' WITH 5' AISLE
  - D) TYPICAL CAR ACCESSIBLE PARKING SPACE = 8x18' WITH 5' AISLE
  - E) NUMBER OF SPACES REQUIRED = 37 (BASED ON TOWNSHIP REQUIREMENTS)
  - F) NUMBER OF SPACES PROVIDED = 39



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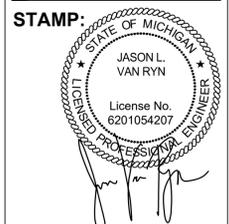
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 Ann Arbor, MI 48103  
 Phone: 734.929.6963  
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 COLUMBUS  
 GRAND RAPIDS  
 HOLLAND  
 INDIANAPOLIS

**PREPARED FOR:**  
 The McFate Group  
 Jon M. Stevens  
 7136 Jackson Rd.  
 Ann Arbor, MI 48103  
 Phone: 734-433-0020

**REVISIONS:**  
 Title: Pre Application Submittal  
 Drawn: JVRW Checked: JVR Date: 9/28/2022  
 Title: Preliminary Full Site Plan Submittal  
 Drawn: JVRW Checked: JVR Date: 11/29/2022

**SE MICHIGAN CENTER**  
**Overall Site Layout Plan**  
 S Huron Street, Ypsilanti, Michigan 48197  
 PART OF FRENCH CLAIM 681, T3S, R6E, E  
 YPSILANTI TOWNSHIP, WASHINGTON COUNTY, MICHIGAN



**PROJECT NO:**  
 22500100

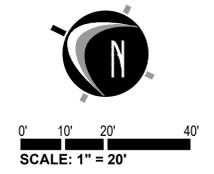
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**C-205**



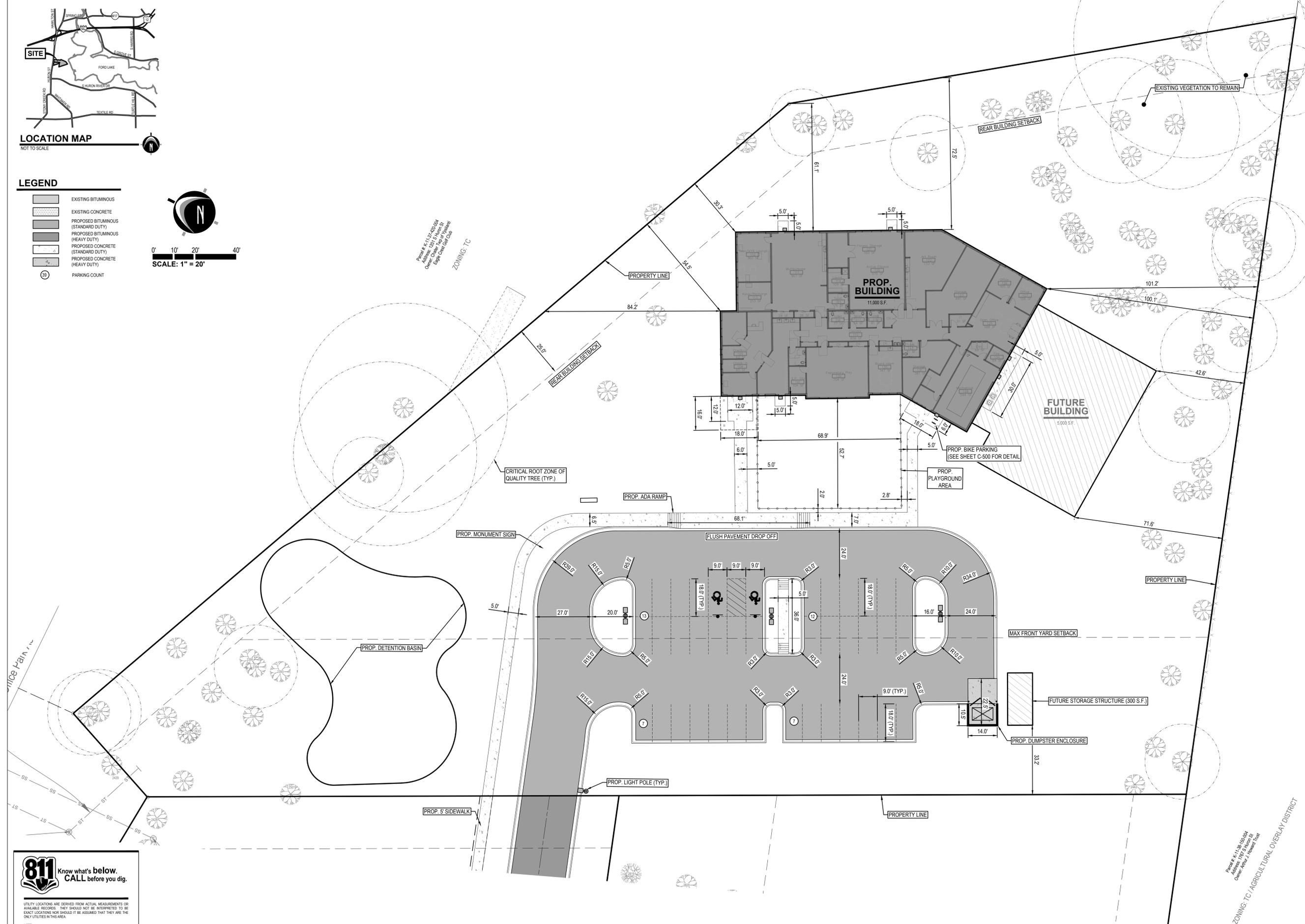
**LOCATION MAP**  
NOT TO SCALE

**LEGEND**

- EXISTING BITUMINOUS
- EXISTING CONCRETE
- PROPOSED BITUMINOUS (STANDARD DUTY)
- PROPOSED BITUMINOUS (HEAVY DUTY)
- PROPOSED CONCRETE (STANDARD DUTY)
- PROPOSED CONCRETE (HEAVY DUTY)
- PARKING COUNT



Parcel # 41-174-400-004  
Address: 17410 S. Huron St.  
Owner: Chase Top of Huron St. Eagle Creek Golf Club  
ZONING: TC



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**SE MICHIGAN CENTER**  
Detailed Site Layout Plan  
S Huron Street, Ypsilanti, Michigan 48197  
PART OF FRENCH CLAIM 681, T3S, R6E, E  
YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

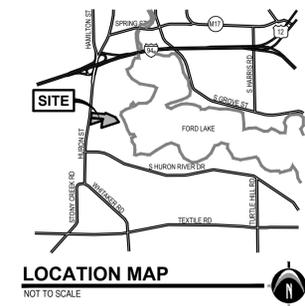
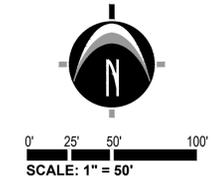
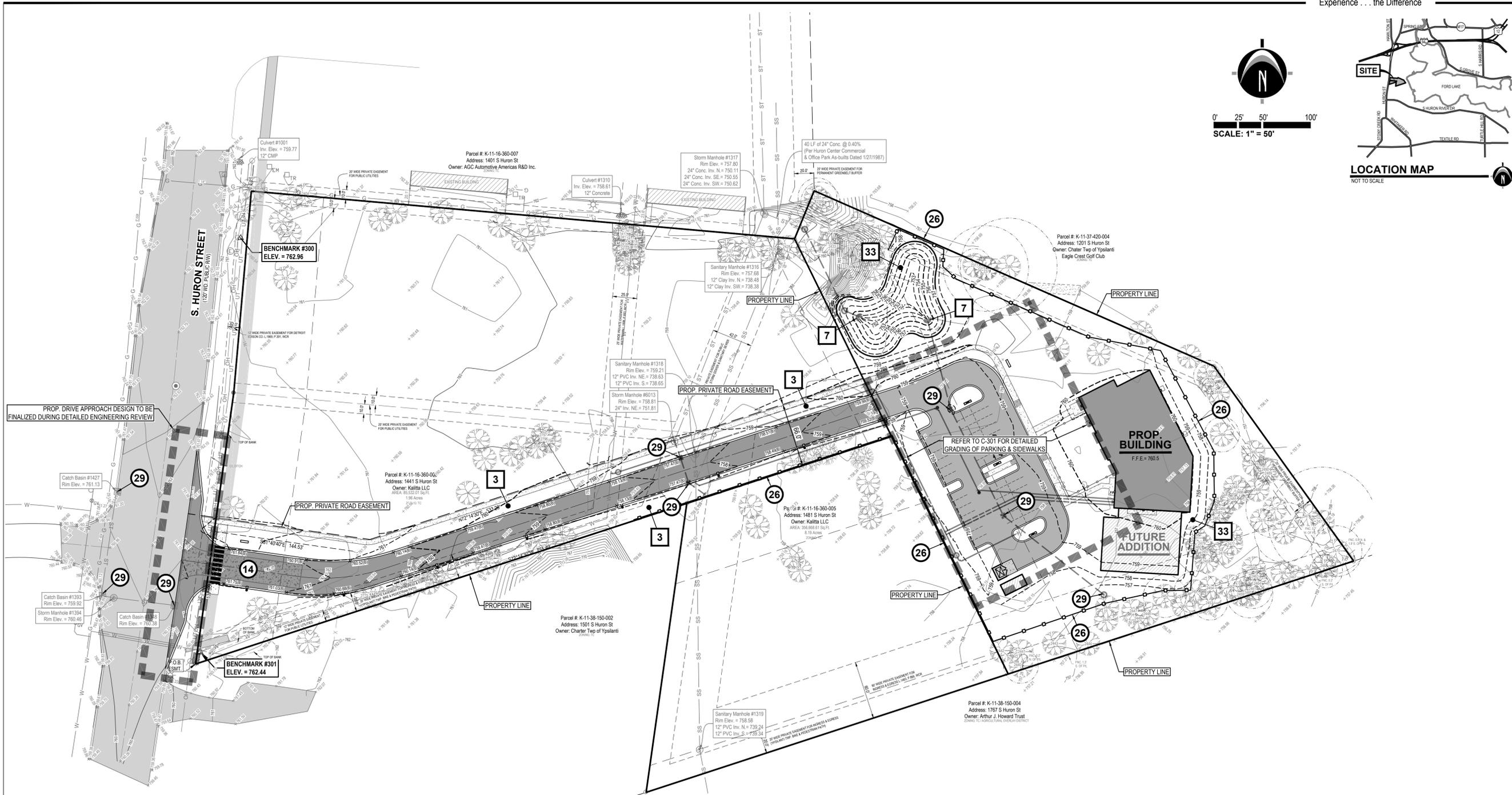
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**PROJECT NO:**  
22500100  
**SHEET NO:**  
**C-206**

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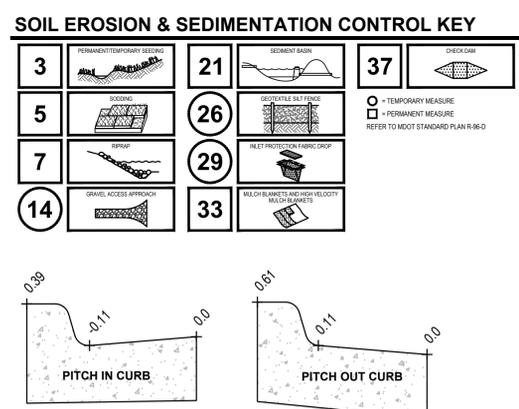
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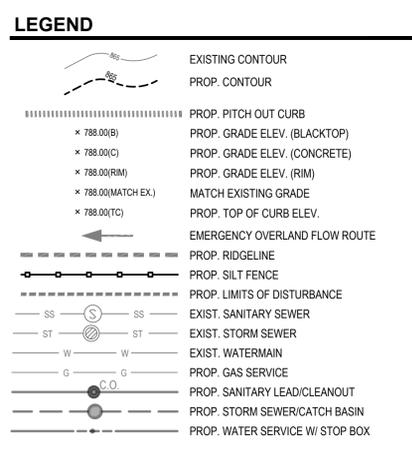
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SITE CONSTRUCTION SEQUENCE & TIMING	2023				
	MAR	APR	MAY	JUN	JUL
INSTALL SOIL EROSION CONTROL MEASURES					
DEMOLITION & REMOVALS					
ROUGH GRADE SITE					
CONSTRUCT STORM WATER MANAGEMENT SYSTEM					
CONSTRUCT UTILITY LINES TO BUILDING					
CONSTRUCT BUILDING FOUNDATION AND BUILDING					
CONSTRUCT IMPROVEMENTS AROUND BUILDING					
FINISH GRADE SITE					
PAVE SITE					
RESPREAD TOPSOIL/COMPACTION					
SEED DISTURBED AREAS					
SITE RESTORATION/CLEAN UP					

- SOIL EROSION & SEDIMENTATION CONTROL NOTES**
- CONTRACTOR SHALL POSSESS THE SOIL EROSION AND SEDIMENTATION CONTROL PERMIT PRIOR TO START OF ANY EARTH WORK.
  - CONTRACTOR SHALL MODIFY THIS SOIL EROSION AND SEDIMENTATION CONTROL PLAN TO SHOW THE ADDITIONAL CONTROL MEASURES INTENDED TO BE USED DURING CONSTRUCTION. SUBMIT MODIFICATIONS TO THE CONTROLLING AGENCY, THE OWNER, AND THE ENGINEER.
  - EROSION PROTECTION SHALL BE PROVIDED AT ALL STORM SEWER INLETS AND OUTLETS. ALL BARE EARTH SHALL BE STABILIZED WITH SEEDING.
  - REFER TO THE M.D.O.T. "SOIL EROSION AND SEDIMENTATION CONTROL MANUAL" (APRIL 2006) FOR ADDITIONAL INFORMATION.
  - THE ENTIRE STORM SEWER SYSTEM SHALL BE CLEANED AND FLUSHED FOLLOWING CONSTRUCTION AND PAID RECEIPT THEREOF PROVIDED TO THE ENGINEER AND COUNTY SESC AGENT PRIOR TO FINAL PAYMENT TO THE CONTRACTOR OR FINAL ACCEPTANCE OF THE CONSTRUCTION BY THE OWNER.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT, TAKE CORRECTIVE ACTION AND MAINTAIN ALL TEMPORARY SESC MEASURES DAILY AND AFTER EACH RAIN EVENT UNTIL FINAL COMPLETION AND ACCEPTANCE OF THE PROJECT.



- GRADING NOTES:**
- GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL REFERENCE AND ABIDE BY THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL EVALUATION PREPARED BY DRIESENGA & ASSOCIATES, INC. PROJECT NO. 220720-3A, DATED OCTOBER 31, 2022. THE GEOTECHNICAL EVALUATION SHALL BE CONSIDERED A PART OF THE CONSTRUCTION DOCUMENTS. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL REVIEW AND BECOME FAMILIAR WITH THE ON-SITE SOIL CONDITIONS AND RECOMMENDATIONS STATED THEREIN.
  - ESTABLISH PERMANENT BENCHMARK ON-SITE PRIOR TO GRADING.
  - PROPOSED SPOT GRADES ARE TO EDGE OF METAL/TOP OF PAVEMENT UNLESS OTHERWISE NOTED. THE VERTICAL DIFFERENCE BETWEEN PAVEMENT GRADES AND TOP OF CURB GRADES VARY FOR PITCH IN AND PITCH OUT CURB (SEE DETAIL-THIS SHEET).
  - EXISTING AND PROPOSED GRADE CONTOURS SHOWN AT 1 FOOT INTERVALS.
  - THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
  - CONTRACTOR IS RESPONSIBLE FOR UNDERCUTTING EXISTING POOR SOIL AND REPLACING WITH APPROVED FILL. IF POOR SOIL IS ENCOUNTERED THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO MAKING ANY SOIL CORRECTIONS & SHALL PROVIDE UNIT COSTS IN THEIR BID FOR SUCH WORK.
  - BEST MANAGEMENT PRACTICES WILL BE UTILIZED DURING AND AFTER CONSTRUCTION OF THE PROJECT. MEASURES WILL INCLUDE THE USE OF SEEDING AND MULCHING, SEDIMENT INLET FILTERS, COMPACTION AND PAVING. THE OWNER OF THE SUBJECT PARCEL SHALL HAVE THE RESPONSIBILITY TO MAINTAIN THE PERMANENT SOIL EROSION PROTECTION MEASURES.
  - UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.
  - CONTRACTOR TO FIELD VERIFY ALL INVERTS PRIOR TO START OF CONSTRUCTION.
  - SLOPE CONCRETE SIDEWALKS AWAY FROM BUILDING AT A MINIMUM SLOPE OF 1/8" PER FOOT. INCLUDING RECESSED ENTRY.
  - FINISHED GRADE AT EXTERIOR WALLS SHALL BE A MINIMUM OF 6" BELOW FINISHED FLOOR AT ALL NON-PAVED AREAS.



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**SE MICHIGAN CENTER**  
**Overall Grading Plan**  
 S. Huron Street, Ypsilanti, Michigan 48197  
 PART OF FRENCH CLAIM 681, T3S, R6E,  
 YPSILANTI TOWNSHIP, WASHINGTON COUNTY, MICHIGAN

**STAMP:**

STATE OF MICHIGAN  
 LICENSED PROFESSIONAL ENGINEER  
 JASON L. VAN RYN  
 License No. 6201054207

**PROJECT NO:**  
 22500100

**SHEET NO:**  
**C-300**

**MAINTENANCE TASKS & SCHEDULE**

**DURING CONSTRUCTION**

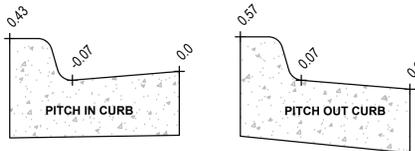
TASKS	COMPONENTS							SCHEDULE
	PAVED AREAS	PERVIOUS AREAS	STORM DRAINAGE SYSTEM	CATCH BASIN INLETS	CATCH BASIN OUTLETS	SWAGED DETENTION AREA	OUTLET CONTROL STRUCTURE	
INSPECT FOR SEDIMENT ACCUMULATION	X	X	X	X	X	X	X	WEEKLY
REMOVAL OF SEDIMENT ACCUMULATION	X	X	X	X	X	X	X	AS NEEDED* AND PRIOR TO TURNOVER
INSPECT FOR FLOATABLES AND DEBRIS			X	X	X	X	X	QUARTERLY
CLEANING FOR FLOATABLES AND DEBRIS			X	X	X	X	X	QUARTERLY AND AT TURNOVER
INSPECTION FOR EROSION	X	X						WEEKLY
REESTABLISH PERMANENT VEGETATION ON ERODED SLOPES	X							AS NEEDED* AND PRIOR TO TURNOVER
CLEAN DRIVES AND PARKING LOTS	X							WEEKLY OR AS DETERMINED BY PERMITTING AGENCY
WATER DISTURBED AREAS TO PROVIDE DUST CONTROL								AS NEEDED
INSPECT STRUCTURAL ELEMENTS DURING WET WEATHER AND COMPARE TO AS-BUILT PLANS BY A PROFESSIONAL ENGINEER REPORTING TO THE OWNER			X	X	X	X	X	ANNUALLY AND AT TURNOVER
MAKE ADJUSTMENTS OR REPLACEMENTS AS DETERMINED	X	X	X	X	X	X	X	AS NEEDED

\* AS NEEDED\* MEANS WHEN SEDIMENT HAS ACCUMULATED TO A MAXIMUM OF ONE FOOT DEPTH

**PERMANENT LONG-TERM MAINTENANCE**

MAINTENANCE ACTIVITIES	SYSTEM COMPONENTS							SCHEDULE	BUDGET
	PAVED AREAS	PERVIOUS AREAS	STORM DRAINAGE SYSTEM	CATCH BASIN INLETS	CATCH BASIN OUTLETS	SWAGED DETENTION AREA	OUTLET CONTROL STRUCTURE		
INSPECT FOR SEDIMENT ACCUMULATION	X	X	X	X	X	X	X	SEM-ANNUALLY AS NEEDED*	\$100.00
REMOVAL OF SEDIMENT ACCUMULATION	X	X	X	X	X	X	X	ANNUALLY AS NEEDED*	\$500.00
INSPECT FOR FLOATABLES AND DEBRIS			X	X	X	X	X	ANNUALLY	\$100.00
REMOVAL OF FLOATABLES AND DEBRIS			X	X	X	X	X	ANNUALLY	\$150.00
INSPECTION FOR EROSION	X	X						SEM-ANNUALLY	\$100.00
REESTABLISH PERMANENT VEGETATION ON ERODED SLOPES	X							AS NEEDED	\$350.00
REPLACE REPAIR STONE								ANNUALLY	\$100.00
MOW BUFFER AREAS								BIANNUALLY	\$400.00
INSPECT STRUCTURAL ELEMENTS DURING WET WEATHER AND COMPARE TO AS-BUILT PLANS BY A PROFESSIONAL ENGINEER REPORTING TO THE OWNER			X	X	X	X	X	ANNUALLY	\$150.00
MAKE ADJUSTMENTS OR REPLACEMENTS AS DETERMINED BY ANNUAL WET WEATHER INSPECTION			X	X	X	X	X	AS NEEDED	\$400.00
KEEP RECORDS OF ALL INSPECTIONS AND MAINTENANCE ACTIVITIES AND REPORT TO PROPERTY OWNER								ANNUALLY	-
KEEP RECORDS OF ALL COSTS FOR INSPECTIONS, MAINTENANCE AND REPAIRS. REPORT TO PROPERTY OWNER								ANNUALLY	-
PROPERTY OWNER REVIEWS COST EFFECTIVENESS OF THE PREVENTATIVE MAINTENANCE PROGRAM AND MAKES NECESSARY ADJUSTMENTS								ANNUALLY	-
OWNER TO HAVE A PROFESSIONAL ENGINEER CARRY OUT EMERGENCY INSPECTIONS UPON IDENTIFICATION OF SEVERE PROBLEMS								AS NEEDED	\$200.00
<b>TOTAL ANNUAL BUDGET FOR PERMANENT STORM WATER MAINTENANCE</b>									<b>\$2,550.00</b>

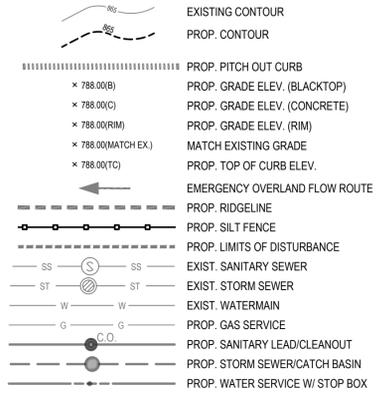
\* AS NEEDED\* MEANS WHEN SEDIMENT HAS ACCUMULATED TO A MAXIMUM OF ONE FOOT DEPTH  
 \*\* NO CHEMICALS ARE ALLOWED IN STORMWATER FEATURES OR BUFFER ZONES WITH THE FOLLOWING EXCEPTION: INVASIVE SPECIES MAY BE TREATED WITH CHEMICALS BY A CERTIFIED APPLICATOR



**MDOT F2 CURB ELEVATION DETAILS**

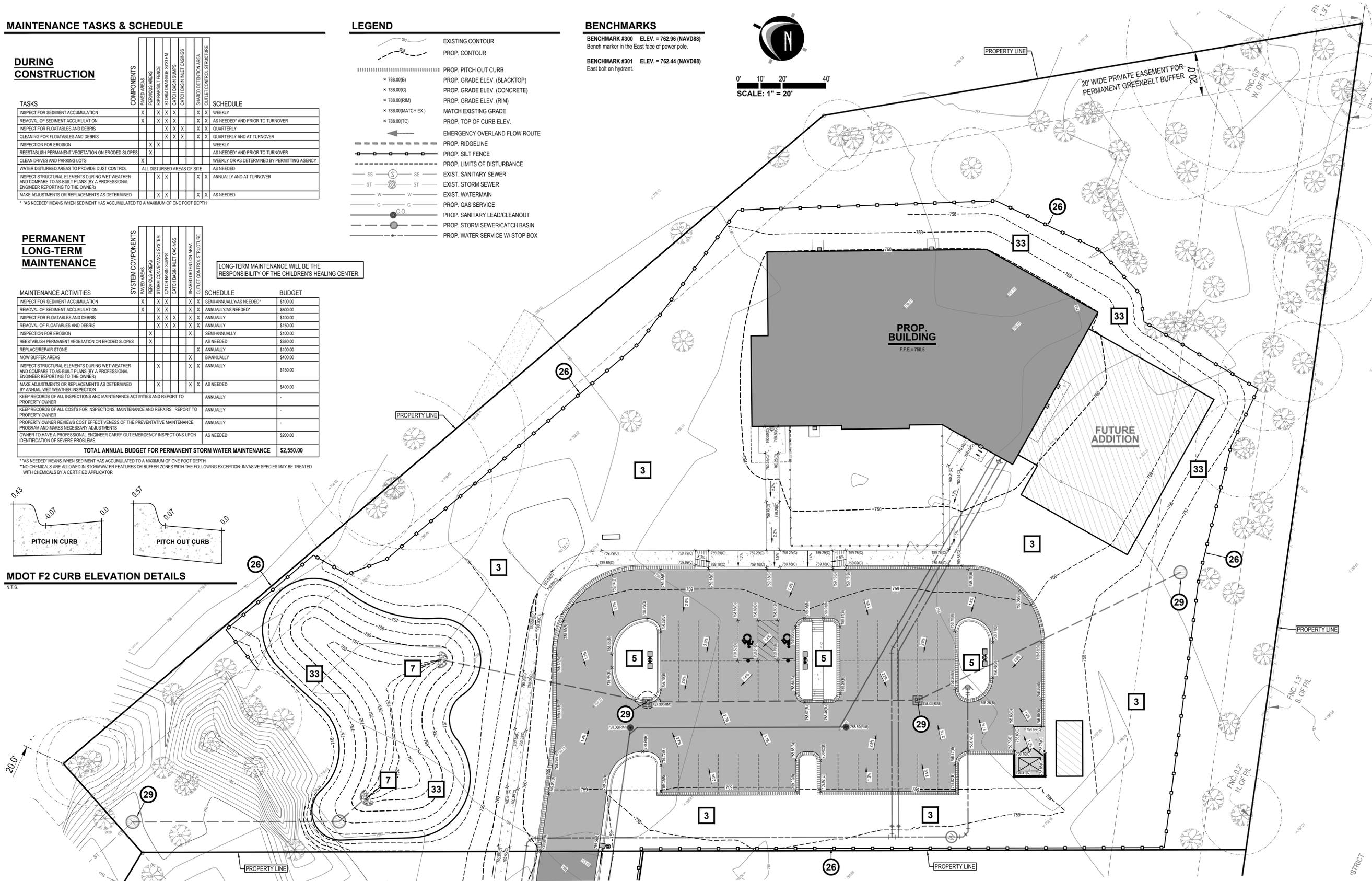
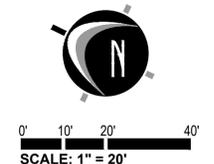
NTS

**LEGEND**



**BENCHMARKS**

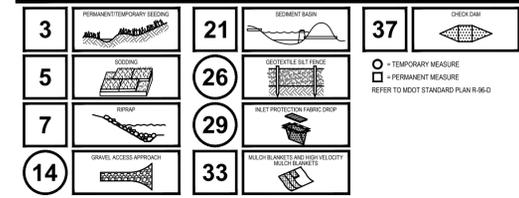
**BENCHMARK #300** ELEV. = 762.96 (NAVD88)  
 Bench marker in the East face of power pole.  
**BENCHMARK #301** ELEV. = 762.44 (NAVD88)  
 East bolt on hydrant.



**SOIL EROSION & SEDIMENTATION CONTROL NOTES**

- CONTRACTOR SHALL POSSESS THE SOIL EROSION AND SEDIMENTATION CONTROL PERMIT PRIOR TO START OF ANY EARTH WORK.
- CONTRACTOR SHALL MODIFY THIS SOIL EROSION AND SEDIMENTATION CONTROL PLAN TO SHOW THE ADDITIONAL CONTROL MEASURES INTENDED TO BE USED DURING CONSTRUCTION. SUBMIT MODIFICATIONS TO THE CONTROLLING AGENCY, THE OWNER, AND THE ENGINEER.
- EROSION PROTECTION SHALL BE PROVIDED AT ALL STORM SEWER INLETS AND OUTLETS. ALL BARE EARTH SHALL BE STABILIZED WITH SEEDING.
- REFER TO THE M.D.O.T. "SOIL EROSION AND SEDIMENTATION CONTROL MANUAL" (APRIL 2006) FOR ADDITIONAL INFORMATION THEREOF PROVIDED TO THE ENGINEER AND COUNTY SECS AGENT PRIOR TO FINAL PAYMENT TO THE CONTRACTOR OR FINAL ACCEPTANCE OF THE CONSTRUCTION BY THE OWNER.
- THE ENTIRE STORM SEWER SYSTEM SHALL BE CLEANED AND FLUSHED FOLLOWING CONSTRUCTION AND PAID RECEIPT THEREOF PROVIDED TO THE ENGINEER AND COUNTY SECS AGENT PRIOR TO FINAL PAYMENT TO THE CONTRACTOR OR FINAL ACCEPTANCE OF THE CONSTRUCTION BY THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT, TAKE CORRECTIVE ACTION AND MAINTAIN ALL TEMPORARY SECS MEASURES DAILY AND AFTER EACH RAIN EVENT UNTIL FINAL COMPLETION AND ACCEPTANCE OF THE PROJECT.

**SOIL EROSION & SEDIMENTATION CONTROL KEY**



**ADA ACCESSIBILITY NOTES**

- ALL HANDICAPPED PARKING SPACES AND ACCESS AISLES ADJACENT TO THE HANDICAP PARKING SPACES SHALL HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS (THIS INCLUDES RUNNING SLOPE AND CROSS SLOPE).
- AN ACCESSIBLE ROUTE FROM THE PUBLIC STREET OR SIDEWALK TO THE BUILDING ENTRANCE MUST BE PROVIDED. THIS ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 60' WIDE. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%.
- SLOPES EXCEEDING 5% BUT LESS THAN 8% WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS). NO RAMP SHALL EXCEED AN 8% RUNNING SLOPE OR 2% CROSS SLOPE.
- IN THE CASE THAT A NEW SIDEWALK WILL BE CONSTRUCTED IN THE RIGHT OF WAY OF A SITE THE RUNNING SLOPE OF THE SIDEWALK SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%. THIS STANDARD APPLIES TO CROSS WALKS IN THE DRIVEWAY AS WELL AND WILL REQUIRE SPECIAL ATTENTION DURING STAKING TO MAKE SURE THE 2% CROSS SLOPE IS MET IN THE CROSS WALK.
- IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE HANDICAP PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALKS/CROSSWALKS ARE CONSTRUCTED TO MEET ADA REQUIREMENTS.
- ANY REQUIREMENTS LISTED ABOVE THAT CAN NOT BE MET SHALL BE BROUGHT TO THE ENGINEERS ATTENTION IMMEDIATELY. ANYTHING NOT BUILT TO THE ABOVE STANDARDS WILL REQUIRE REMOVAL AND REPLACEMENT OF THE NON COMPLIANT AREAS AT THE GENERAL CONTRACTORS COST.



UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.  
 NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "UTILITY" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

**NEDERVELD**  
 www.nederveld.com  
 800.222.1868  
**ANN ARBOR**  
 3037 Miller Rd.  
 Ann Arbor, MI 48103  
 Phone: 734.929.6963  
**CHICAGO**  
**COLUMBUS**  
**GRAND RAPIDS**  
**HOLLAND**  
**INDIANAPOLIS**

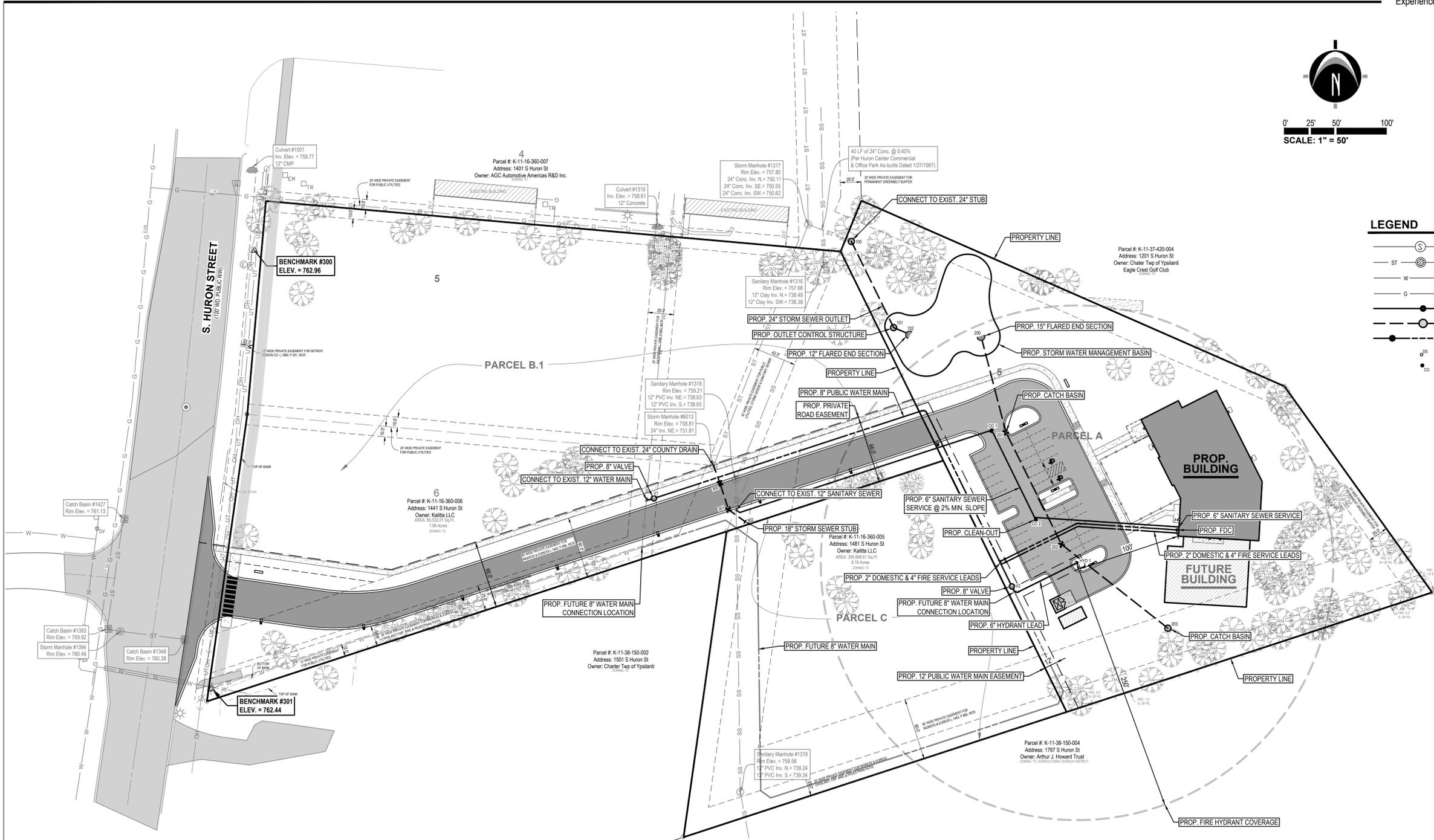
**PREPARED FOR:**  
 The McFate Group  
 Jon M. Stevens  
 7136 Jackson Rd.  
 Ann Arbor, MI 48103  
 Phone: 734-433-0020

**REVISIONS:**  
 Title: Pre Application Submittal  
 Drawn: JVRW Checked: JVR Date: 9/28/2022  
 Title: Preliminary Full Site Plan Submittal  
 Drawn: JVRW Checked: JVR Date: 11/29/2022

**SE MICHIGAN CENTER**  
**Detailed Grading Plan**  
 S Huron Street, Ypsilanti, Michigan 48197  
 PART OF FRENCH CLAIM 681, T3S, R67E,  
 YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

**STAMP:**  
 STATE OF MICHIGAN  
 JASON L. VAN RYN  
 LICENSED PROFESSIONAL ENGINEER  
 License No. 6201054207

**PROJECT NO:**  
 22500100  
**SHEET NO:**  
**C-301**



**LEGEND**

	EXIST. SANITARY SEWER
	EXIST. STORM SEWER
	EXIST. WATERMAIN
	EXIST. GAS LINE
	PROP. SANITARY LEAD/CLEANOUT
	PROP. STORM SEWER/CATCH BASIN
	PROP. WATER SERVICE
	PROP. DOWNSPOUT
	PROP. CLEANOUT

**STORM SEWER PIPE SCHEDULE**

PIPE RUN	LENGTH OF LINE (FT)	DIAM. OF PIPE (IN)	SLOPE OF PIPE (%)	PIPE MATERIAL
1317 - 100	45.2	24	0.40	RCP CL-IV
100 - 101	93.3	24	0.40	RCP CL-IV
101 - 102	13.5	12	0.70	RCP CL-IV
200 - 201	92.3	15	0.50	SLCPP
201 - 202	122.0	12	0.50	SLCPP
202 - 203	131.9	12	0.40	SLCPP
6013 - 300	18.3	24	0.20	RCP CL-IV
300 - 301	27.0	18	0.40	RCP CL-IV
301 - 302	20.0	18	0.25	RCP CL-IV

**STORM SEWER STRUCTURE SCHEDULE**

STR NUMBER	RIM	SIZE, DIRECTION & INVERT ELEVATION	STR DIA. (FT)	CASTING/ GRATE (OR APPROVED EQUAL)
1317	757.80	24" SW INV.= 750.55	-	Existing Structure
100	760.00	24" SE INV.= 750.73 24" W INV.= 750.73	5	E.J.I.W. 1040, TYPE N
101	757.00	12" SE INV.= 751.4 24" NW INV.= 751.1	4	BAR GRATE
102	-	12" SW INV.= 751.5	-	BAR GRATE
200	-	15" S INV.= 752	-	BAR GRATE
201	757.90	12" S INV.= 752.66 15" N INV.= 752.46	4	E.J.I.W. 7210, TYPE M1
202	758.00	12" N INV.= 753.27 12" SE INV.= 753.27	4	E.J.I.W. 1040, TYPE M1
203	756.50	12" NW INV.= 753.8	2	E.J.I.W. 1040, TYPE N
6013	758.81	24" S INV.= 751.81	-	Existing Structure
300	757.40	18" S INV.= 752.25 24" N INV.= 751.85	4	E.J.I.W. 7045, TYPE M1
301	757.40	18" SE INV.= 752.35 18" N INV.= 752.35	4	E.J.I.W. 7045, TYPE M1
302	-	18" NW INV.= 752.4	-	STUB

**UTILITY NOTES**

- GENERAL**
- CONSTRUCTION MUST CONFORM TO THE YPSILANTI TOWNSHIP AND Y.C.U.A. STANDARD SPECIFICATIONS AND STANDARD DETAILS.
  - EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
  - CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION.
  - UTILITY TRENCHES WITHIN A 1 ON 1 INFLUENCE OF PAVED AREAS SHALL BE BACKFILLED W/ M.D.O.T. CLASS II OR BETTER AND COMPACTED TO 95% MAXIMUM UNIT DENSITY.
  - ANY EXISTING UTILITY EASEMENTS AFFECTED BY THE PROPOSED SITE LAYOUT SHALL BE RELOCATED AND RE-RECORDED, AS NECESSARY.
  - STRUCTURE CASTINGS PER TOWNSHIP STANDARD DETAILS.
  - CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR DATA CUT SHEETS FOR PIPE MATERIALS, VALVES, CASTINGS, STEPS, AND MANHOLE STRUCTURES FOR REVIEW.
  - MAINTAIN A MINIMUM OF 10' HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN WATER AND SEWERS, AND A MINIMUM OF 5' HORIZONTAL AND 12" VERTICAL SEPARATION BETWEEN WATER AND OTHER UTILITIES.
- WATER SERVICE**
- SERVICE TO THE PARCEL WILL BE PROVIDED BY AN EXISTING 12" PUBLIC WATER MAIN THAT IS LOCATED WITHIN AN EASEMENT CROSSING PARCEL B.
  - THE PROPOSED BUILDING WILL BE SERVICED BY A NEW 2" DOMESTIC WATER SERVICE & 4" FIRE SUPPRESSION SERVICE LINE.
  - WATER SERVICE & METER SET TO BE INSTALLED IN ACCORDANCE TO Y.C.U.A. STANDARDS AND SPECIFICATIONS.

- SANITARY SERVICE**
- SERVICE TO THE PARCEL WILL BE PROVIDED BY AN EXISTING 12" PUBLIC SANITARY SEWER THAT IS LOCATED WITHIN AN EASEMENT CROSSING PARCEL B & C.
  - THE PROPOSED BUILDING WILL BE SERVICED BY A NEW 6" SANITARY SEWER LEAD.
  - NO CONNECTION TO RECEIVING STORM WATER, SURFACE WATER OR GROUNDWATER SHALL BE MADE TO SANITARY SEWER
  - NO FOOTING DRAINS SHALL BE CONNECTED TO THE BUILDING SANITARY SEWER.
- STORM WATER MANAGEMENT**
- STORM WATER RUNOFF GENERATED BY THE PROPOSED SITE IMPROVEMENTS WILL BE TREATED BOTH ON & OFF SITE. THIS IS THE RESULT OF AN EXISTING REGIONAL DETENTION BASIN LOCATED ON THE EAGLE CREST GOLF COURSE THAT WAS DESIGN TO ACCOMMODATE THE 100 YEAR DETENTION STORAGE FOR THIS SITE. INFILTRATION TESTING WAS PERFORMED ON-SITE & IT WAS DETERMINED THAT NO INFILTRATION IS AVAILABLE. THEREFORE A PRE-TREATMENT BASIN IS PROPOSED ON-SITE TO ACCOMMODATE THE FIRST FLUSH VOLUME & 20% OF THE 100 YEAR DETENTION VOLUME. THESE CALCULATIONS ARE IN ACCORDANCE WITH THE WASHTENAW COUNTY WATER RESOURCE COMMISSIONER STANDARDS.
  - THE ON-SITE STORM WATER MANAGEMENT FACILITIES WILL DISCHARGE TO THE HURON CENTER COMMERCIAL & OFFICE PARK DRAIN. THEREFORE A DRAIN USE PERMIT IS REQUIRED FROM THE WASHTENAW COUNTY WATER RESOURCES COMMISSIONER'S OFFICE.
  - STORM SEWER PIPE SHALL BE SMOOTH LINED CORRUGATED POLYPROPYLENE PIPE (SLCPP) CONFORMING TO AASHTO M-252 AND M-294 OR ASTM C-76-III CONCRETE PIPE.
  - 4" UNDERDRAIN SHALL BE PERFORATED PIPE WITH SOCK, MEETING THE REQUIREMENTS OF AASHTO M-252 AND THE GEOTEXTILE SHALL MEET AASHTO M-88 REQUIREMENTS.
  - ALL CATCH BASINS AND MANHOLES SHALL BE CONCRETE, CONFORMING TO ASTM C-478 WITH BUTYL RUBBER GASKETED JOINTS AND BOOT TYPE PIPE CONNECTED, CONFORMING TO ASTM C-923 ARE REQUIRED FOR ALL PIPE CONNECTIONS 24" DIAMETER AND SMALLER.
  - ALL CATCH BASINS SHOULD BE PROVIDED WITH A MINIMUM 2' SUMP.

**811** Know what's below. CALL before you dig.  
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NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLAN" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORDS DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO ANY CONNECTIONS.

**SE MICHIGAN CENTER**  
Utility Plan  
S Huron Street, Ypsilanti, Michigan 48197  
PART OF FRENCH CLAIM 681, T3S, R6E, E.  
YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

**STAMP:**  
STATE OF MICHIGAN  
JASON L. VAN RYN  
LICENSED PROFESSIONAL ENGINEER  
License No. 6201054207

**PROJECT NO:**  
22500100  
**SHEET NO:**  
C-400

### STORM WATER MANAGEMENT CALCULATIONS

Design Basis: Use the Washtenaw County Water Resources Commissioner Rules and Guidelines, Revised - October 17, 2016

Determining Post-Development Cover Types, Areas, Curve Numbers, and Runoff Coefficients					
Total Drainage Area		= 138,500		sf	
Total Drainage Area Excluding "Self-Crediting" BMPs		= 138,500		sf	
Rational Method Variables					
Cover Type	Slope	Soil Group	Area (sq. ft)	C factor	(C) x (Area)
Roofs	-	C	11,020	0.95	10,469
Pavement	-	C	22,160	0.90	19,944
Semi-pervious: lawns & planting beds	-	C	99,550	0.35	34,842
Water Surface	-	C	5,770	1.00	5,770
Total = Σ(C)(Area) =				71,025	
Area Total = ΣA =				138,500	
Weighted C = Σ(C)(Area) / ΣA =				0.51	
NRCS Variables (Pervious)					
Cover Type	Hydrologic Condition	Soil Group	Area (sq. ft)	Curve Number	(C) x (Area)
Open Space: lawns & planting beds	Pool (grass cover < 50%)	C	86	0	0
Open Space: lawns & planting beds	Fair (grass cover 50% to 75%)	C	79	0	0
Open Space: lawns & planting beds	Good (grass cover > 75%)	C	99,550	74	7,366,687
Total = Σ(C)(Area) =				7,366,687	
Area Total = ΣA =				99,550	
Weighted C = Σ(C)(Area) / ΣA =				74	
NRCS Variables (Impervious)					
Cover Type	Hydrologic Condition	Soil Group	Area (sq. ft)	Curve Number	(C) x (Area)
Roof & Pavement	-	C	33,180	98	3,251,640
Water Surface	-	C	5,770	98	565,463
Total = Σ(C)(Area) =				3,817,103	
Area Total = ΣA =				38,950	
Weighted C = Σ(C)(Area) / ΣA =				98	

First Flush Runoff Calculations (V <sub>f</sub> )	
Volume of 1 inch rain over total site area	= 5,919 ft <sup>3</sup>
$V_f = (1") \left( \frac{1}{12} \right) \left( \frac{43560 \text{ ft}^2}{1 \text{ ac}} \right) \times A \times C$	

Pre-Development Bankfull Runoff Calculations (V <sub>pre-dev</sub> )	
A. 2-year / 24 hour storm event = P	= 2.35 in
B. Curve Number (CN) (Cover Description: Meadow, Good, Hydrologic Soil Group C)	= 74
C. S = 1000CN - 10	= 3.51 in
D. Q = (P-0.25) <sup>2</sup> / (P+0.85)	= 0.526 in
E. Total Site Area	= 138,500 ft <sup>2</sup>
F. V <sub>pre-dev</sub> = Q(1/12)(site area)	= 6,069 ft <sup>3</sup>

Pervious Cover Post-Development Bankfull Runoff Calculations (V <sub>per-post</sub> )	
A. 2-year / 24 hour storm event = P	= 2.35 in
B. Curve Number (CN)	= 74
C. S = 1000CN - 10	= 3.51 in
D. Q = (P-0.25) <sup>2</sup> / (P+0.85)	= 0.526 in
E. Pervious Cover Area	= 99,550 ft <sup>2</sup>
F. V <sub>per-post</sub> = Q(1/12)(site area)	= 4,362 ft <sup>3</sup>

Impervious Cover Post-Development Bankfull Runoff Calculations (V <sub>imp-post</sub> )	
A. 2-year / 24 hour storm event = P	= 2.35 in
B. Curve Number (CN)	= 98
C. S = 1000CN - 10	= 0.20 in
D. Q = (P-0.25) <sup>2</sup> / (P+0.85)	= 2.122 in
E. Impervious Cover Area	= 38,950 ft <sup>2</sup>
F. V <sub>imp-post</sub> = Q(1/12)(proposed impervious area)	= 6,887 ft <sup>3</sup>

Pervious Cover Post-Development 100-year Storm Runoff Calculations (V <sub>per-100-yr</sub> )	
A. 100-year / 24 hour storm event = P	= 5.11 in
B. Curve Number (CN)	= 74
C. S = 1000CN - 10	= 3.51 in
D. Q <sub>100-yr</sub> = (P-0.25) <sup>2</sup> / (P+0.85)	= 2.452 in
E. Pervious Cover Area	= 99,550 ft <sup>2</sup>
F. V <sub>per-100-yr</sub> = Q(1/12)(proposed pervious area)	= 20,344 ft <sup>3</sup>

Impervious Cover Post-Development 100-year Storm Runoff Calculations (V <sub>imp-100-yr</sub> )	
A. 100-year / 24 hour storm event = P	= 5.11 in
B. Curve Number (CN)	= 98
C. S = 1000CN - 10	= 0.20 in
D. Q <sub>100-yr</sub> = (P-0.25) <sup>2</sup> / (P+0.85)	= 4.873 in
E. Impervious Cover Area	= 38,950 ft <sup>2</sup>
F. V <sub>imp-100-yr</sub> = Q(1/12)(proposed impervious area)	= 15,817 ft <sup>3</sup>

Determine Time of Concentration for Applicable Flow Types (T <sub>c,run</sub> )							
Flow Type	K	Change in Elevation	Length (L)	Slope % (S)	S <sup>0.5</sup>	V = K*S <sup>0.5</sup>	T <sub>c</sub> = L/V
Sheet Flow	0.48	0	0	0.00	0.00	0.00	0.00
Sheet Flow	0.48	0	0	0.00	0.00	0.00	0.00
Waterway	1.2	0	0	0.00	0.00	0.00	0.00
Small Tributary	2.1	-	-	-	-	-	0.00
Total Time of Concentration (T <sub>c,run</sub> )		= 0.25 hrs					

Runoff Summary and Onsite Infiltration Requirement	
A. Runoff Summary from Previous Worksheets	
Total Post-Development Bankfull Volume (V <sub>pre-dev</sub> )	= 11,249 ft <sup>3</sup>
Total 100-year Volume (V <sub>100-yr</sub> )	= 36,161 ft <sup>3</sup>
B. Determine Onsite Infiltration Requirement	
Bankfull Volume Difference (V <sub>diff</sub> = V <sub>pre-dev</sub> - V <sub>per-post</sub> )	= 5,180 ft <sup>3</sup>
Onsite Infiltration Requirement = Greater of Bankfull Volume Difference and First Flush Volume = (V <sub>in</sub> )	= 5,919 ft <sup>3</sup>

Detention/Retention Requirement	
A. Peak of Unit Hydrograph = Q <sub>u</sub> = 238.6 T <sub>c</sub> <sup>0.62</sup>	= 743.63 cfs-in-ft <sup>2</sup>
B. Total Site Area (ac) excluding "Self-Crediting" BMPs	= 3.18 acres
C. Q <sub>100</sub> = Q <sub>100-per</sub> + Q <sub>100-imp</sub>	= 7.33 in
D. Peak Flow (PF) = (Q <sub>100</sub> × Q <sub>u</sub> × Area (ac)) / 640	= 27.06 ft <sup>3</sup> /s
E. Δ = PF - 0.15' (Area)	= 26.59 ft <sup>3</sup> /s
F. V <sub>det</sub> = (Δ × V <sub>100</sub> ) / (2 × V <sub>100</sub> )	= 35,524 ft <sup>3</sup>

Determine Applicable BMPs and Associated Volume Credits					
Proposed BMP	Area (ft <sup>2</sup> )	Storage Volume (ft <sup>3</sup> )	Ave. Design Infiltration Rate (in/hr)	Infiltration Volume During Storm (ft <sup>3</sup> )	Total Volume Reduction (ft <sup>3</sup> )
TOTAL		Surface	Soil		

Natural Features Inventory			
Existing Natural Resources	Mapped (yes, no, n/a)	Total Area (ac)	Protected/Undisturbed Area (ac)
TOTAL EXISTING (ac)			

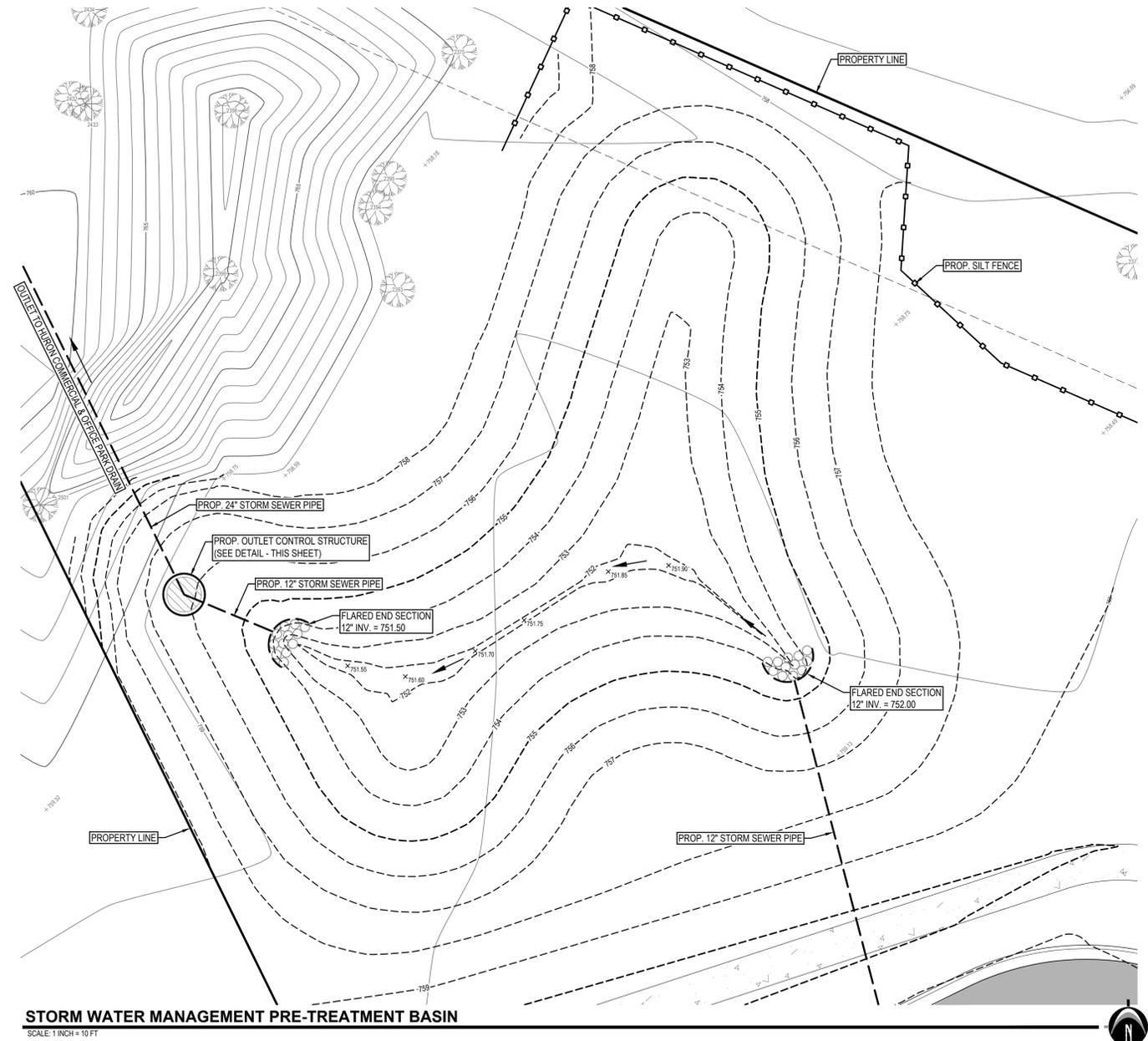
Site Summary of Infiltration & Detention	
A. Stormwater Management Summary	
Minimum Onsite Infiltration Requirement (V <sub>in</sub> )	= 5,919 ft <sup>3</sup>
Designed/Provided Infiltration & Storage Volume Credits	= 0 ft <sup>3</sup>
% Minimum Required Infiltration Provided	= 0 %
Total Calculated Detention Volume, V <sub>det</sub>	= 35,524 ft <sup>3</sup>
Net Required Detention Volume (V <sub>net</sub> - Designed/Provided Infiltration Volume)	= 35,524 ft <sup>3</sup>
B. Detention Volume Increase for site if required infiltration volume not achieved	
% Required Infiltration NOT provided (100% - % Minimum Required Infiltration Provided)	= 100.0 %
Net % Penalty (20% × % Required Infiltration Not Provided)	= 20.0 %
Required Detention Volume Penalty	= 7,105 ft <sup>3</sup>
Total Required On-site Detention Volume (20% Penalty + First Flush Runoff)	= 13,024 ft <sup>3</sup>

Open Detention Basin Storage Volume				
Elevation (feet)	Area (square feet)	Average Area (square feet)	Stage Volume (cubic feet)	Total Storage Volume (cubic feet)
757.50	7,600	7,143	3,571	18,238
757.00	6,685	6,228	3,114	14,667
756.50	5,770	5,353	2,676	11,553
756.00	4,935	4,518	2,259	8,877
755.50	4,100	3,733	1,866	6,618
755.00	3,365	2,998	1,499	4,752
754.50	2,630	2,325	1,163	3,253
754.00	2,020	1,715	858	2,090
753.50	1,410	1,186	593	1,233
753.00	963	739	369	840
752.50	515	386	193	270
752.00	258	129	77	77
751.40	0	0	0	0

Outlet Control Structure	
Orifice hole(s) sizing - "first flush" discharge	
Q <sub>in</sub> = V <sub>in</sub> / 24 hrs / 3600 sec	Q <sub>in</sub> = 0.069 ft <sup>3</sup> /s
h <sub>weir</sub> = 2 × (Q <sub>in</sub> × X <sub>0</sub> )	h <sub>weir</sub> = 2.600 ft
A = Q <sub>in</sub> / (62 × sqrt(2) × 32.2 × h <sub>weir</sub> )	A = 0.0085 ft <sup>2</sup>
Area of an orifice with diameter (in) =	1.114
Number of orifice holes	= 1 holes at elev = 751.4
Q <sub>or</sub> design	= 0.068 ft <sup>3</sup> /s
Time to Discharge (greater than 24 hours)	= 24.0 hrs > 24 hrs
Orifice hole(s) sizing - Total Required On-site Detention Volume	
Peak Flow Q <sub>u</sub> = 0.15 cfs/acre × drainage area (A)	Q <sub>u</sub> = 0.477 ft <sup>3</sup> /s
h <sub>weir</sub> = (X <sub>0</sub> - X <sub>1</sub> )	h <sub>weir</sub> = 5.30 ft
h <sub>1/4</sub> = (X <sub>0</sub> - X <sub>1</sub> )	h <sub>1/4</sub> = 1.40 ft
Q <sub>or</sub> = a × 0.62 × sqrt(2) × 32.2 × h <sub>weir</sub>	Q <sub>or</sub> = 0.098 ft <sup>3</sup> /s
Q <sub>total</sub> = Q <sub>u</sub> + Q <sub>or</sub>	Q <sub>total</sub> = 0.379 ft <sup>3</sup> /s
A <sub>total</sub> = Q <sub>total</sub> / (62 × sqrt(2) × 32.2 × h <sub>1/4</sub> )	A <sub>total</sub> = 0.0644 ft <sup>2</sup>
Area of an orifice with diameter (in) =	3.114
Number of orifice holes	= 1 holes at elev = 755.3
Confirm allowable flow rate is not exceeded	
Q <sub>in</sub> = 0.02 × h <sub>weir</sub> × A <sub>total</sub> × sqrt(2) × g × h <sub>weir</sub> <sup>1.5</sup> < Q <sub>allow</sub>	= 0.437 cfs < 0.477 cfs

### DRAINAGE NARRATIVE

STORM WATER RUNOFF GENERATED BY THE PROPOSED SITE IMPROVEMENTS WILL BE TREATED BOTH ON & OFF SITE. THIS IS THE RESULT OF AN EXISTING REGIONAL DETENTION BASIN LOCATED ON THE EAGLE CREST GOLF COURSE THAT WAS DESIGNED TO ACCOMMODATE THE 100 YEAR DETENTION STORAGE FOR THIS SITE. INFILTRATION TESTING WAS PERFORMED ON-SITE & IT WAS DETERMINED THAT NO INFILTRATION IS AVAILABLE. THEREFORE A PRE-TREATMENT BASIN IS PROPOSED ON-SITE TO ACCOMMODATE THE FIRST FLUSH VOLUME & 20% OF THE 100 YEAR DETENTION VOLUME. THESE CALCULATIONS ARE IN ACCORDANCE WITH THE WASHTENAW COUNTY WATER RESOURCE COMMISSIONER STANDARDS.



### STORM WATER MANAGEMENT PRE-TREATMENT BASIN

SCALE: 1 INCH = 10 FT

### STORM SEWER CALCULATIONS

PIPE RUN		HYDROLOGY						HYDRAULICS										H.G. ELEVATION		F.G. ELEVATION		INVERT ELEV.			
FROM STR	TO STR	INCREMENT AREA ACRES (A)	RUNOFF COEFF. (C)	EQUIV. AREA (100% CA)	TOTAL AREA 100% ACRES (SUM CA)	TIME (T) MIN.	10 YR INTENSITY (I) INCHES PER HOUR	10-YR F.L.O.W. (C.F.S.)	CAPACITY OF SEWER (C.F.S.)	DIAM. OF PIPE (IN)	LENGTH OF LINE (FEET)	PIPE MATERIAL	SLOPE OF PIPE (%)	ENERGY GRADE (SLOPE)	HG BASED ON "Q" (%)	HF 3 FPS GIVEN "D" (%)	ACTUAL H LG	VEL. FULL (FT./SEC.)	TIME OF FLOW (MIN)	UPPER END	LOWER END	UPPER END	LOWER END	UPPER END	LOWER END
302	301	1.90	0.50	0.95	15.00	4.38	4.2	5.3	18	20.0	RCP CL-V	0.25	0.143%	0.157	0.25	0.143%	3.0	0.1	753.69	753.67	759.00	757.40	752.40	752.35	
301	300	0.63	0.85	0.54	1.49	15.10	4.36	6.5	6.6	18	27.0	RCP CL-V	0.40	0.349%	0.383	0.25	0.349%	3.8	0.1	753.67	753.56	757.40	757.40	752.35	752.25
300	6013	0.56	0.85	0.48	1.97	15.20	4.35	8.6	10.1	24	18.3	RCP CL-V	0.20	0.205%	0.144	0.17	0.200%	3.2	0.1	753.25	753.21	757.40	758.81	751.85	751.81
203	202	0.61	0.35	0.21	0.21	15.00	4.38	0.9	2.7	12	13.19	SLCFP	0.40	0.045%	0.049	0.31	0.045%	3.4	0.6	754.20	754.15	756.50	758.00	753.80	753.27
202	201	0.54	0.85	0.46	0.67	15.60	4.31	2.9	3.0	12	122.0	SLCFP	0.50	0.432%	0.473	0.31	0.432%	3.8	0.5	754.15	753.54	758.00	757.90	753.27	752.66
201	200	0.58	0.85	0.49	1.16	16.10	4.26	5.0	5.4	15	92.3	SLCFP	0.50	0.524%	0.421	0.23	0.500%	4.4	0.3	753.39	752.93	757.90	755.00	752.46	752.00
102	101	1.73	0.70	1.21	1.21	15.00	4.38	5.3	3.0	12	13.5	RCP CL-V	0.70	2.204%	2.202	0.44	0.700%	3.8	0.1	752.50	752.40	755.00	757.00	751.50	751.40
101	100	0.00	0.70	0.00	1.21	15.10	4.36	5.3	14.3	24	93.3	RCP CL-V	0.40	0.400%	0.055	0.17	0.400%	4.6	0.3	751.94	751.56	757.00	760.00	751.10	750.73
100	1317	0.00	0.70	0.00	1.21	15.40	4.33	5.3	14.3	24	45.2	RCP CL-V	0.40	0.440%	0.055	0.17	0.400%	4.6	0.2	751.56	751.38	760.00	757.80	750.73	750.55

**811** Know what's below. CALL before you dig.

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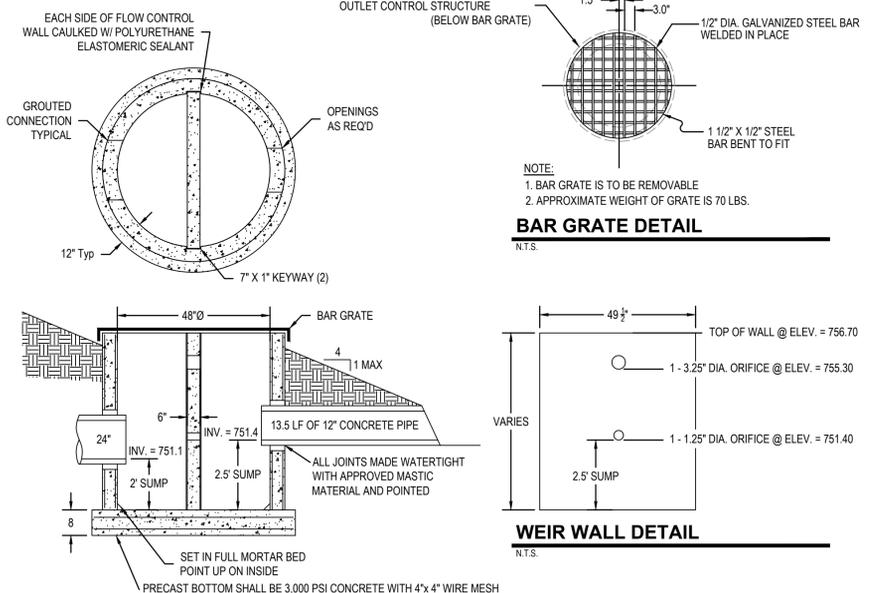
NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLAN" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO ANY CONNECTIONS.

### ENGINEERS CERTIFICATE OF OUTLET

Date: November 2022  
 Development: SE MICHIGAN CENTER (CHILDREN'S HEALING CENTER)  
 City, Village or Township of: Ypsilanti Township Section: 21  
 Washtenaw County, Michigan

I hereby certify that I am a licensed professional engineer in the State of Michigan and that the existing drain and/or stormwater collection system is the only reasonable available storm water outlet for the proposed storm water management system. To be best of my knowledge, the existing drain and/or stormwater collection system has sufficient capacity to serve as an adequate outlet for the proposed system, without detriment to or diminution of the drainage service that the existing outlet presently provides.

Signed:   
 Jason Van Ryn, PE  
 Michigan license No.: 6201054207



### 48"Ø PRECAST OUTLET CONTROL STRUCTURE (STRUCTURE 101)

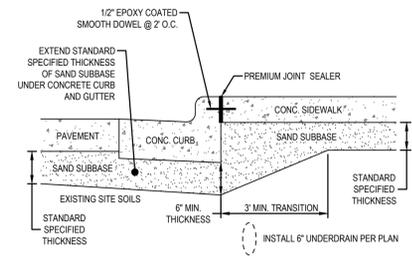
N.T.S.

**NEDERVELD**  
 www.nederveld.com  
 800.222.1868  
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 3037 Miller Rd.  
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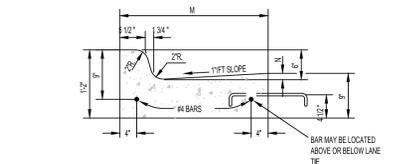
PREPARED FOR:  
 The McFate Group  
 Jon M. Stevens  
 7136 Jackson Rd.  
 Ann Arbor, MI 48103  
 Phone: 734-433-0020

REVISIONS:  
 Title: Pre Application Submittal  
 Drawn: JVRW Checked: JVR Date: 9/28/2022  
 Title: Preliminary Full Site Plan Submittal  
 Drawn: JVRW Checked: JVR Date: 11/29/2022

**SE MICHIGAN CENTER**  
 Storm Water Management Calculations  
 S Huron Street, Ypsilanti, Michigan 48197  
 PART OF FRENCH CLAIM 681, T3S, R6E,  
 Y



**CONCRETE CURB & SIDEWALK DETAIL**  
N.T.S.

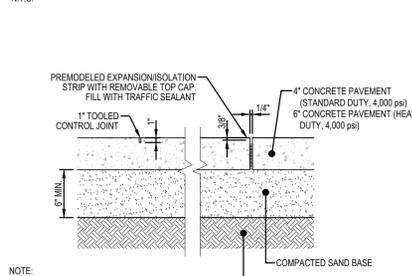


**CURB TAPER DETAIL**  
N.T.S.

DETAIL	DIMENSIONS	LANE TIES	CONCRETE CU. YD./LIN. FT.
F1	12" x 12" x 12" (OMIT)	AS SHOWN	0.2684
F2	12" x 12" x 12" (OMIT)	AS SHOWN	0.2684
F3	24" x 12" x 12" (OMIT)	AS SHOWN	0.2610
F4	24" x 12" x 12" (OMIT)	AS SHOWN	0.2610
F5	24" x 12" x 12" (OMIT)	AS SHOWN	0.2737
F6	24" x 12" x 12" (OMIT)	AS SHOWN	0.2737

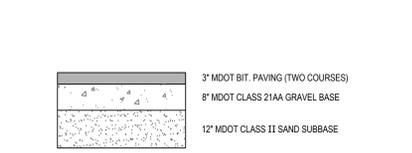
TO BE USED ON-SITE  
TO BE USED IN COMMERCIAL DRIVEWAY

**CONCRETE CURB & GUTTER MDOT DETAIL "F"**  
N.T.S.



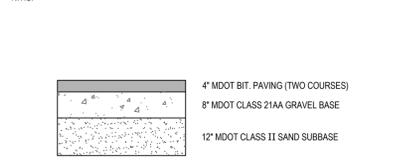
- NOTE:
- LIGHT BROOM FINISH
  - LOCATE CONTROL JOINTS AND EXPANSION JOINTS PER ACI STANDARDS
  - PANEL SIZE SHALL NOT EXCEED 8 FEET
  - PANELS SHALL BE KEPT AS SQUARE AS POSSIBLE WITH THE LENGTH NEVER EXCEEDING 1.25X THE WIDTH
  - 3.0% CU. YD. FIBER REINFORCEMENT
  - AIR ENTRAINMENT - 0% ± 1%
  - SUMP 4"x4"

**CONCRETE PAVEMENT DETAIL**  
N.T.S.



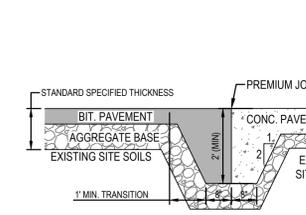
- NOTE:
- REFER TO GEOTECHNICAL REPORT FOR FINAL PAVEMENT DESIGN SPECIFICATION
  - HMA MIXTURE TO BE TIER I OR TIER II
  - BINDER GRADE TO BE A MINIMUM OF PG 58-22

**STANDARD DUTY BITUMINOUS PAVEMENT CROSS SECTION DETAIL**  
N.T.S.

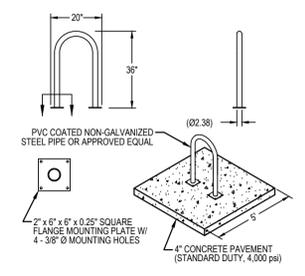


- NOTE:
- REFER TO GEOTECHNICAL REPORT FOR FINAL PAVEMENT DESIGN SPECIFICATION
  - HMA MIXTURE TO BE TIER I OR TIER II
  - BINDER GRADE TO BE A MINIMUM OF PG 58-22

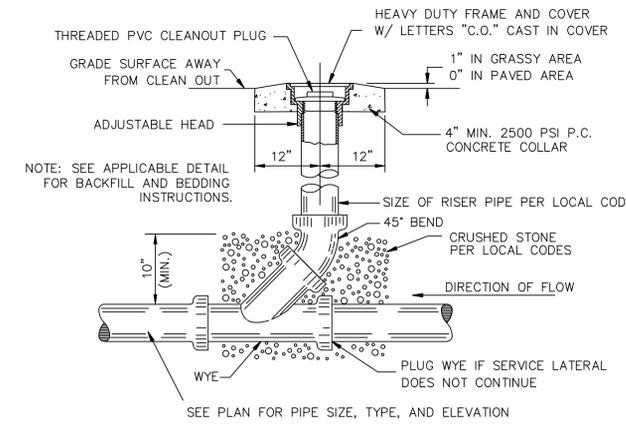
**HEAVY DUTY BITUMINOUS PAVEMENT CROSS SECTION DETAIL**  
N.T.S.



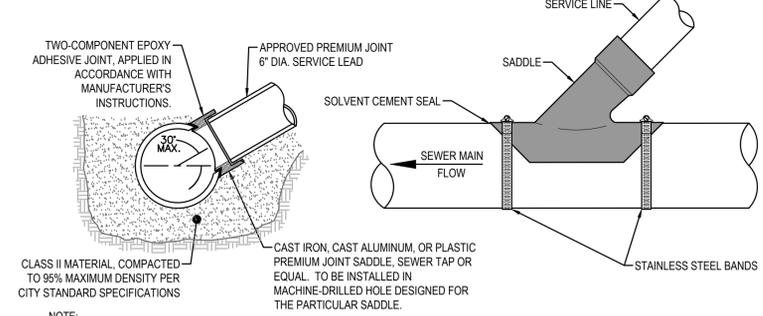
**CONNECTION TO EX. STRUCTURE DETAIL**  
N.T.S.



**BIKE PARKING DETAIL**  
N.T.S.

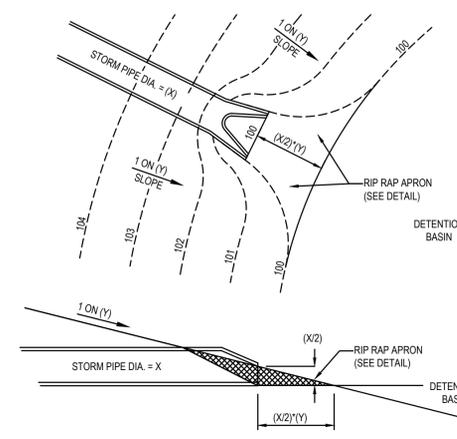


**SEWER CLEANOUT DETAIL**  
N.T.S.

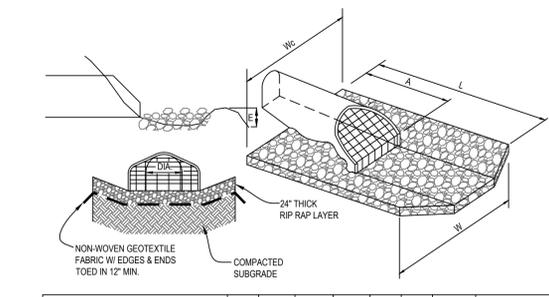


- NOTE:
- SURFACE OF MAIN SEWER SHALL BE CLEANED WITH AN ABRASIVE GRINDER PRIOR TO EPOXY APPLICATION. DUE TO VARIATION OF SET-UP TIME OF EPOXY ADHESIVE WITH TEMPERATURE, ANCHOR STRAPS SHALL BE USED TO SECURE SADDLE IN POSITION IN COLD WEATHER OR WHENEVER WORK IS TO PROCEED PRIOR TO COMPLETE CURE OF EPOXY.

**SANITARY SEWER TAPPING SADDLE**  
N.T.S.



**TYPICAL END SECTION GRADING DETAIL**  
N.T.S.

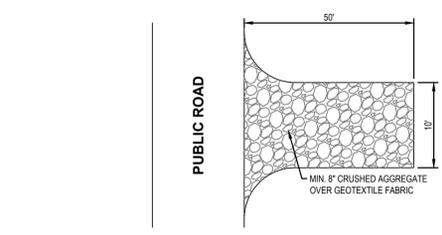


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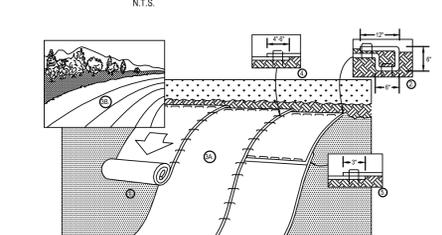
- STANDARD TRASH GRATE SHALL BE INCLUDED ON INLETS ONLY GREATER THAN 24"
- RIP RAP TO BE 8"-12" DIAMETER 24" MIN. DEPTH OVER NON WOVEN FILTER FABRIC.

DIA	A	(INLET)	L	E	W	Wc	MIN. RIP RAP VOL. INLET / OUTLET (CU. YDS.)
12"	2'	6"	8"	4"	6"	3'	3/3
15"	2'	8"	10"	4"	8"	4'	3/4
18"	2'-6"	9"	12"	6"	9"	4.5'	5/6
24"	3'-6"	13"	17"	10"	13"	6'	9/12
30"	4'-6"	17"	22"	12"	16"	7.5'	15/19
36"	5'	21"	27"	15"	20"	9'	23/29
42"	5'-6"	25"	33"	18"	24"	10.5'	32/42
48"	6'	30"	38"	21"	27"	12'	43/55

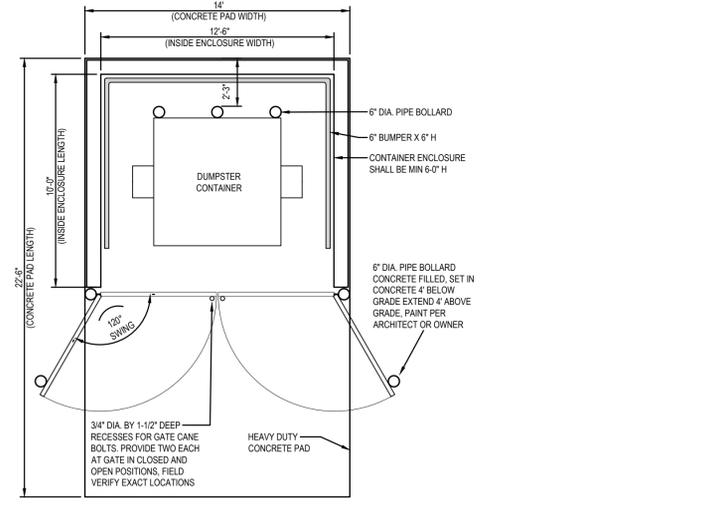
**RIP RAP DETAIL**  
N.T.S.



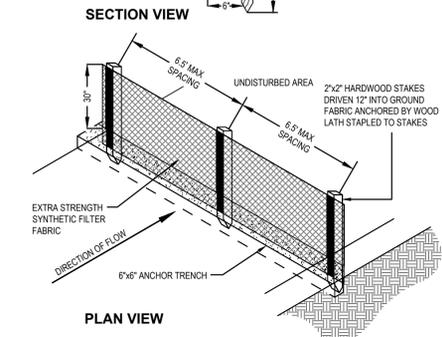
**TEMPORARY CRUSHED ROCK TRACKING PAD**  
N.T.S.



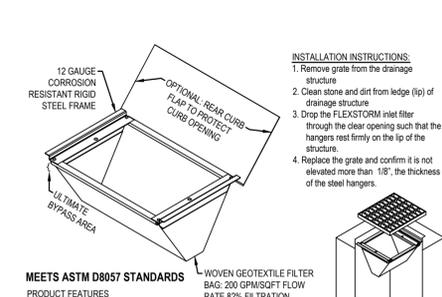
**EROSION CONTROL BLANKET DETAIL**  
N.T.S.



**DUMPSTER ENCLOSURE PLAN-(6' WALL)**  
N.T.S.



**SILT FENCE DETAIL**  
N.T.S.



**FLEXSTORM INLET FILTER LITE DETAIL**  
N.T.S.

**NEDERVELD**  
www.nederveld.com  
800.222.1868  
ANN ARBOR  
3037 Miles Rd.  
Ann Arbor, MI 48103  
Phone: 734.929.6963  
CHICAGO  
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HOLLAND  
INDIANAPOLIS

**PREPARED FOR:**  
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Jon M. Stevens  
7136 Jackson Rd.  
Ann Arbor, MI 48103  
Phone: 734-433-0020

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Drawn: JVRW Checked: JVR Date: 9/28/2022  
Title: Preliminary Full Site Plan Submittal  
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**SE MICHIGAN CENTER**  
Details & Specifications  
S Huron Street, Ypsilanti, Michigan 48197  
PART OF FRENCH CLAIM 681, T3S, R6E, YPSILANTI TOWNSHIP, WASHINGTON COUNTY, MICHIGAN

**STAMP:**  
STATE OF MICHIGAN  
LICENSED PROFESSIONAL ENGINEER  
JASON L. VAN RYN  
License No. 6201054207

**PROJECT NO:**  
22500100

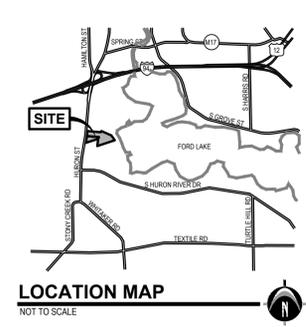
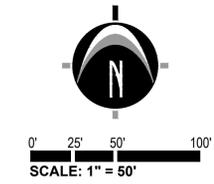
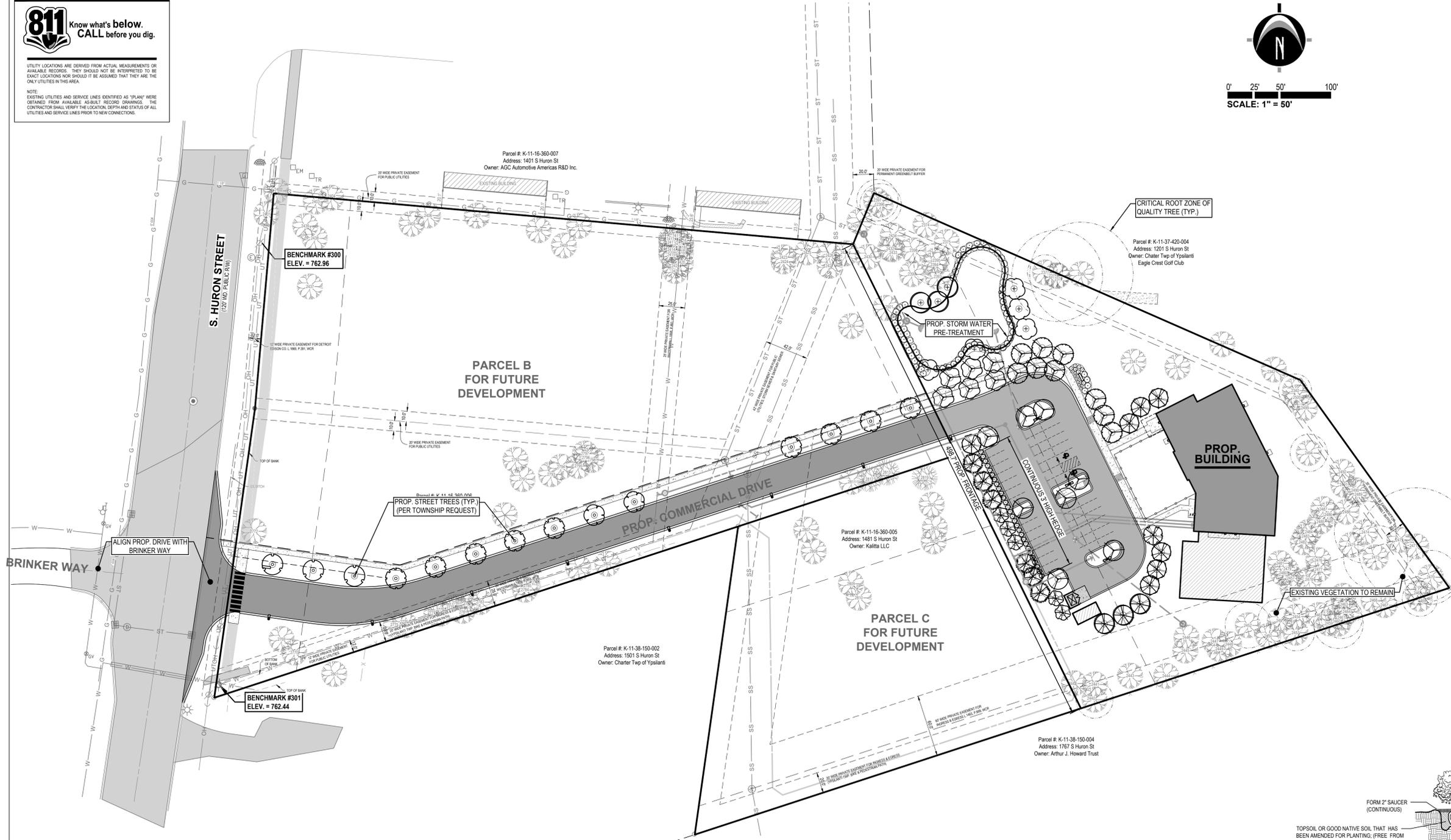
**SHEET NO:**  
C-500

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**LEGEND**

[Pattern]	EXISTING BITUMINOUS
[Pattern]	EXISTING CONCRETE
[Pattern]	PROPOSED BITUMINOUS (STANDARD DUTY)
[Pattern]	PROPOSED BITUMINOUS (HEAVY DUTY)
[Pattern]	PROPOSED CONCRETE (STANDARD DUTY)
[Pattern]	PROPOSED CONCRETE (HEAVY DUTY)

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**LANDSCAPE CALCULATIONS**

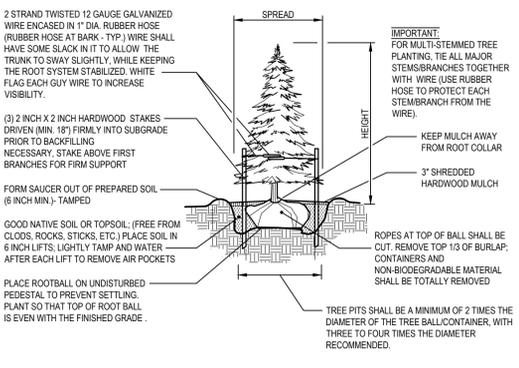
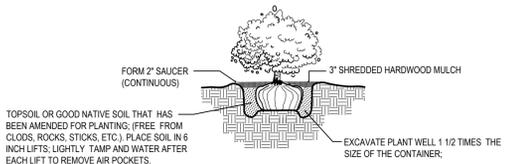
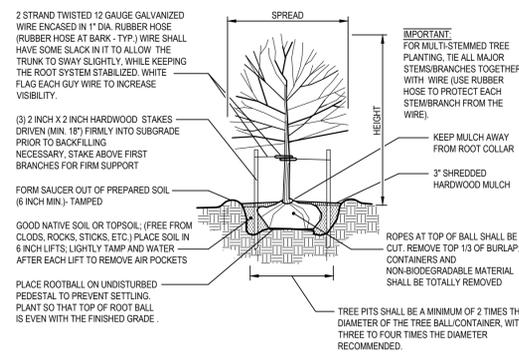
- SEC. 1301.B GENERAL LANDSCAPING:**
- A MIXTURE OF EVERGREEN AND DECIDUOUS SHALL BE PLANTED AT A RATE OF ONE (1) TREE FOR EACH ONE THOUSAND (1,000) SQUARE FEET OF LAWN AREA AND
  - ONE (1) SHRUB FOR EVERY FIVE HUNDRED (500) SQUARE FEET OF LAWN AREA
- SEC. 1301.C STREET YARD LANDSCAPING:**
- A MINIMUM OF ONE (1) LARGE DECIDUOUS TREE SHALL BE PLANTED FOR EVERY 40 LINEAL FEET OF FRONTAGE
  - A MINIMUM OF ONE (1) ORNAMENTAL TREE SHALL BE PLANTED FOR EVERY ONE HUNDRED (100) LINEAL FEET OF FRONTAGE
  - A MINIMUM OF ONE (1) SHRUB SHALL BE PLANTED FOR EVERY TEN (10) LINEAL FEET OF FRONTAGE
- SEC. 1301.D PARKING LOT LANDSCAPING:**
- INTERIOR - ONE (1) LARGE DECIDUOUS TREE SHALL BE REQUIRED FOR EACH TWO THOUSAND (2,000) SQUARE FEET OF PAVED DRIVEWAY AND PARKING LOT SURFACE
  - PERIMETER - CANOPY TREES SHALL BE PROVIDED ALONG THE PERIMETER OF A PARKING LOT AT A MINIMUM RATE OF ONE (1) TREE PER FORTY (40) FEET OF LOT PERIMETER.
- SEC. 1301.G DETENTION/RETENTION POND LANDSCAPING:**
- ONE (1) DECIDUOUS SHADE OR EVERGREEN TREE AND TEN (10) SHRUBS SHALL BE PLANTED FOR EVERY FIFTY (50) LINEAL FEET OF POND PERIMETER AS MEASURED FROM TOP OF BANK ELEVATION.

- SEC. 1301.B GENERAL LANDSCAPING:**  
40,000 SQUARE FEET OF PROPOSED LAWN AREA  
**REQUIRED:** 40 TREES & 80 SHRUBS  
**PROVIDED:** 53 TREES & 126 SHRUBS
- SEC. 1301.C STREET YARD LANDSCAPING:**  
498' OF FRONTAGE PROPOSED  
**REQUIRED:** 13 DEC. TREES, 5 ORN. TREES, 50 SHRUBS  
**PROVIDED:** 13 DEC. TREES, 5 ORN. TREES, 50 SHRUBS
- SEC. 1301.D PARKING LOT LANDSCAPING:**  
18,454 SQUARE FEET PROPOSED PARKING AND DRIVE AISLE (INTERIOR), 695 LINEAL FEET PARKING LOT PERIMETER  
**REQUIRED:** 9 TREES (INTERIOR) PLUS, 17 TREES  
**PROVIDED:** 9 TREES (INTERIOR) PLUS, 17 TREES
- SEC. 1301.G DETENTION/RETENTION POND LANDSCAPING:**  
360 LINEAL FEET PROPOSED DETENTION POND TOP OF BANK  
**REQUIRED:** 8 TREES AND 76 SHRUBS  
**PROVIDED:** 8 TREES AND 76 SHRUBS

**CH. 24 ARTICLE III SEC. 24-67 WOODLANDS PROTECTION REVIEW STANDARDS:**

- TREE REPLACEMENT AT 100% OF 8"- DBH TREES REMOVED, ON A 1:1 RATIO WITH A MINIMUM INSTALLED SIZE OF 2.5" CALIPER

**CH. 24 ARTICLE III SEC. 24-67 WOODLANDS PROTECTION REVIEW STANDARDS:**  
8"- DBH QUALITY TREES REMOVED (NOT INCLUDING REMOVAL OF TREES ON THE TOWNSHIP INVASIVE/DO NOT PLANT LIST)  
**REMOVALS:** 1 TREE (TREE ID # 2382)  
**MITIGATION:** 1 TREE



**SE MICHIGAN CENTER**

Overall Landscape Plan

S Huron Street, Ypsilanti, Michigan 48197  
PART OF FRENCH CLAIM 681, T3S, R6E, YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

**STAMP:**

STATE OF MICHIGAN  
LICENSED PROFESSIONAL ENGINEER  
JASON L. VAN RYN  
License No. 6201054207

**PROJECT NO:**  
22500100

**SHEET NO:**  
L-100



Plot Date/Time: 11/29/2022 11:34:47 AM File Path: C:\Revit Local Files\CHC22\_istevens\ZSYNQ.rvt

Parking requirements: Ypsilanti Township  
**Business Office: 1 per 300 s.f.**  
 11,000 s.f. = 37 parking spaces

Total Required: 37 Parking Spaces + 2 Accessible  
 Total Provided: 38 Parking Spaces + 2 Accessible

Note: 20-25 max employees and minimal visitation is expected.

**Floor Area Ratio:**  
 Buildable site area: 138,500.14 s.f. (3.18 Acres)  
 Building Gross s.f.: 11,000 s.f.  
 FAR: 11,000 / 138500 = 0.079

### Site Legend

- Property Line (New)
- - - Property Line (Previous)
- FEMA Defined Flood Plain
- Building Setback Lines
- Existing Line of Topography
- Existing Tree to Remain
- Existing Tree to be Removed
- S — S — S Sanitary Sewer line
- International Symbol of Accessibility, painted on parking stall in color contrasting with pavement.

### General Sheet Notes:

- A. Site plan provided for reference only. Refer to civil engineering drawings for specifics of site design, building locations, property line, setbacks, parking and utility information.
- B. All curb ramps shall have a maximum slope of 1:12 in direction of travel with a maximum cross-slope of 1:50. Maximum rise of all curb ramps shall be 6".
- C. All paving on accessible route shall have a maximum slope of 1:20 in direction of travel with a maximum cross-slope of 1:50.
- D. Maximum slope of all accessible parking spaces and access aisles shall be 1:50 in any direction.
- E. All accessible route and parking elements shall be designed and constructed in accordance with 2010 ADA Standards for Accessible Design and Chapter 11 of the Michigan Building Code (ICC/ANSI A117.1 2009).
- F. Refer to survey drawing for additional information regarding existing paving, utilities, and landscaping.
- G. Fire lane requirements to be coordinated with local jurisdiction Fire Chief and identified in final parking layout and striping.
- H. All parking space layouts to conform to minimum sizing standards per local Zoning Ordinance.
- I. All dimensions shown for parking layout are measured to face of curb or centerline of striping.
- J. Contractor to review site conditions, including slopes and elevations, prior to construction. Coordinate any discrepancies with Architect.
- K. All slopes indicated show arrow pointing in the down slope direction.
- L. All lighting on this site shall be shielded & not encroach upon abutting properties or right-of-ways. Site lighting poles shall not be higher than 20 feet. All glare shall be eliminated from all light fixtures. Upward directed lighting shall not be permitted.
- M. All landscape areas shall be automatically irrigated.
- N. External lighting is for indication only, reference electrical drawings for actual locations & types of lighting.
- O. Provide control joints in new concrete paving at 5'-0" on center, maximum 3/8" joint width.
- P. Patch or fill all joints along accessible route that are greater than 1/2" in width to be flush with paving.



### Revision Schedule

#	Description	Revision Date
1	Owner Review	07/15/2022
2	Schematic Design	08/10/2022
4	Owner Review	11/21/2022
5	Site Plan	11/29/2022

Job Title:  
**SE Michigan Center**  
 1441 S. Huron Street  
 Ypsilanti, MI 48197



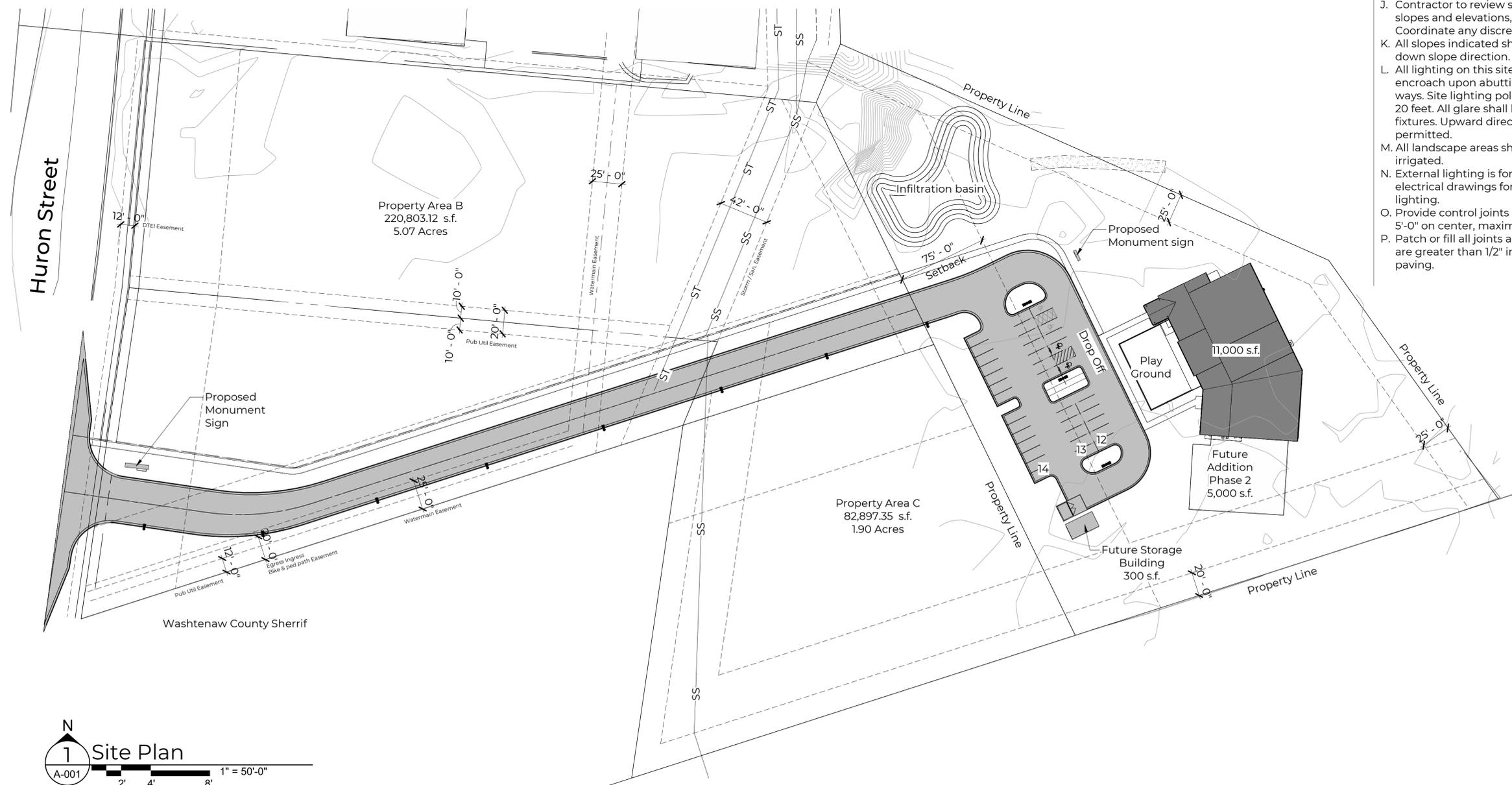
Project Code:  
 22-001

Draw Date:  
 11/29/2022

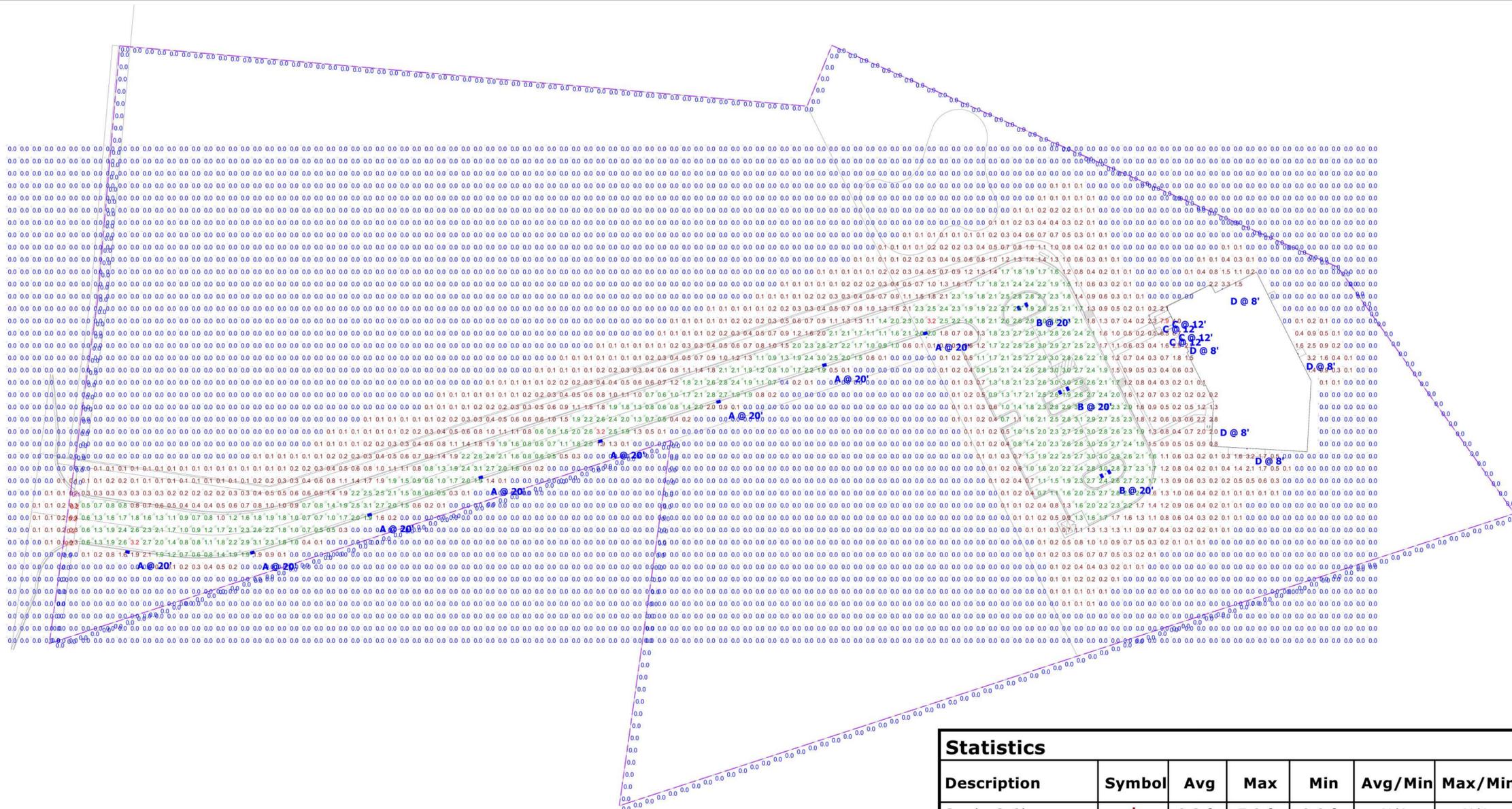
Issued for: Site Plan

Sheet Title:  
**Architectural Site Plan**

Drawing Number:  
**A-001**



Scales listed are for 22x34 drawing size



**Plan View**  
 Scale - 1" = 40ft

**General Note**

- SEE DRAWING FOR LUMINAIRE MOUNTING HEIGHT.
  - CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0", PROPERTY LINE SHOWN AT: 5' - 0"
  - LIGHTING ALTERNATES REQUIRE NEW PHOTOMETRIC CALCULATION AND RESUBMISSION TO CITY FOR APPROVAL.
- THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.
- THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.
- UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.
- FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.
- THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.
- MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

**Statistics**

Description	Symbol	Avg	Max	Min	Avg/Min	Max/Min
Grade @ 0'	+	0.3 fc	7.9 fc	0.0 fc	N/A	N/A
Parking and Drive	X	1.9 fc	3.2 fc	0.4 fc	4.8:1	8.0:1
Property Line @ 5'	+	0.0 fc	0.2 fc	0.0 fc	N/A	N/A

**Schedule**

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Lumens Per Lamp	Light Loss Factor	Wattage
□	A	8	Lithonia Lighting	DSX0 LED P4 30K 70CRI BLC3	D-Series Size 0 Area Luminaire P4 Performance Package 3000K CCT 70 CRI Type 3 Extreme Backlight Control	LED	7768	0.9	93.04
□	B	3	Lithonia Lighting	DSX0 LED P4 30K 70CRI T5M	D-Series Size 0 Area Luminaire P4 Performance Package 3000K CCT 70 CRI Type 5 Medium	LED	11152	0.9	186.08
○	C	4	Lithonia Lighting	LDN4CYL 30/07 L04AR LS	4IN LDN CYLINDER, 3000K, 750LM, CLEAR, SPECULAR REFLECTOR, CRI80	LED	780	0.9	8.6
□	D	5	Lithonia Lighting	WDGE2 LED P2 30K 70CRI TFTM	WDGE2 LED WITH P2 - PERFORMANCE PACKAGE, 3000K, 70CRI, TYPE FORWARD THROW MEDIUM OPTIC	LED	2127	0.9	18.9815



CHILDRENS HEALING CENTER  
 PHOTOMETRIC PLAN  
 PREPARED FOR: THE MCFATE GROUP  
 GASSER BUSH ASSOCIATES  
 WWW.GASSERBUSH.COM

Designer  
 DS  
 Date  
 11/22/2022  
 Scale  
 Not to Scale  
 Drawing No.  
 #22-82795 V1  
 1 of 1



Consultant

**Revision Schedule**

#	Description	Revision Date
5	Site Plan	11/29/2022

SE Michigan Center  
 1441 S. Huron Street  
 Ypsilanti, MI 48197



Project Code  
 22-001  
 Date  
 11/29/2022  
 Issued for: Site Plan

Sheet Title  
**Photometric Plan**

Drawing Number  
**A-002**



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Revision Schedule

#	Description	Revision Date
5	Site Plan	11/29/2022

Job Title:  
**SE Michigan Center**  
1441 S. Huron Street  
Ypsilanti, MI 48197



Project Code:  
**22-001**

Design Date:  
**11/29/2022**

Issued for: **Site Plan**

Sheet Title:  
**Site / Building Lighting Cut Sheets**

Drawing Number:  
**A-003**

Sheets listed are for 22x34 drawing size



FEATURES & SPECIFICATIONS

**INTENDED USE** — Typical applications include corridors, lobbies, conference rooms and private offices.  
**CONSTRUCTION** — Heavy-gauge aluminum housing.  
Ceiling mount for direct installation to 4" octagonal or square junction box.  
Pendant mount entry for 3/8" National Pipe Thread stem; wires supplied by others.  
Textured polyester powder paint finish standard.  
Multiple ceiling, pendant, cord, and wall mount options available.  
**OPTICS** — LEDs are binned to a 3-step SDCM; 80 CRI minimum, 90 CRI optional.  
LED light source concealed with diffusing optical lens.  
General illumination lighting with 1.0 S/MH and 55° cutoff to source and source image.  
Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors.  
**ELECTRICAL** — Multi-watt (120-277V, 50/60Hz) 0-10V dimming drivers mounted to junction box, 10% or 1% minimum dimming level available.  
347V available option; transformer must be field-installed to an accessible remote-mounted junction box.  
0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled.  
70% lumen maintenance at 60,000 hours.

**LISTINGS** — Certified to US and Canadian safety standards. Damp location standard (wet location, covered ceiling optional). ENERGY STAR® certified product.  
**BUY AMERICAN** — This product is assembled in the USA and meets the Buy American (in) government procurement requirements under FAR, DFARS and DOT. Please refer to [www.acuitybrands.com/buy-american](http://www.acuitybrands.com/buy-american) for additional information.  
**WARRANTY** — 5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)  
**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.

A+ Capable options indicated by this color background.

ORDERING INFORMATION Lead times will vary depending on options selected. Consult with your sales representative. Example: LDN4CYL 35/15 L04AR LSS MVOLT E21 FCM DWHG

Series	Color temperature	Lumens	Aperture/Trim Color	Finish	Voltage
LDN4CYL 4" cylinder	27/ 2700K 30/ 3000K 35/ 3500K 40/ 4000K 50/ 5000K	05 500 lumens 07 750 lumens 10 1000 lumens 15 1500 lumens 20 2000 lumens	L04 Downlight LW4 Wallwash	AR Clear WR <sup>1</sup> White BR <sup>2</sup> Black LS Specular	MVOLT Multi-volt 120 120V 277 277V

Driver <sup>1</sup>	Mounting	Options	Architectural Colors <sup>10,11</sup>
G210 0-10V driver dims to 10%	FCM Ceiling mount	SP <sup>1</sup> Single fuse	DWHG Matte white (standard)
G21 0-10V driver dims to 1%	WM Wall mount	NPP16D <sup>12</sup> nLight™ network power/relay pack with 0-10V dimming for non-0-10V drivers (G210, G21).	DOB Dark bronze
E210 0-10V 0-10V dimmer driver with smooth and flicker-free deep dimming performance down to 10%	PM <sup>3</sup> Pendant 3/8" thread mount	NPP16D <sup>12</sup> nLight™ network power/relay pack with 0-10V dimming for non-0-10V drivers (G210, G21). ER controls features on emergency circuit.	DBL Black
E21 0-10V 0-10V dimmer driver with smooth and flicker-free deep dimming performance down to 1%	ACC <sup>4</sup> 10ft aircraft cable and cord mount	NPS80EZ <sup>13</sup> nLight™ dimming pack controls 0-10V 0-10V dimmer drivers (E210, E21). ER controls features on emergency circuit.	DWH Medium bronze
	ACC180 <sup>5</sup> 15ft aircraft cable and cord mount	NPS80EZER <sup>13</sup> nLight™ dimming pack controls 0-10V 0-10V dimmer drivers (E210, E21). ER controls features on emergency circuit.	DNA Natural aluminum
		90CRI High CRI (90+)	DSS Sandstone
		WL <sup>6</sup> Wet location	DGC Charcoal grey
			DTG Teal green
			DBR Bright red
			DSB Steel blue

**Note:**  
1 Not available in ACC mount.  
2 Not available with finishes.  
3 Refer to TE3-240 for compatible dimmers.  
4 Supplied with 10' supply and dimming connections.  
5 Wires and supplied with white housings. All other finishes supplied with black cord.  
6 Must specify voltage 120V or 277V.  
7 Specify voltage. ER for use with generator supply EM power. Will require an emergency hot feed and normal hot feed.  
8 Interface remote mounted. Access panel (supplied by others) recommended.  
9 Not available with ACC & ACC180 mounting options.  
10 Additional architectural colors available; see [www.lithonia.com/architects](http://www.lithonia.com/architects).  
11 Color and length of stem must be specified from 6" to 240" in even increments in maximum sections of 48". Ex. CYS06 DWHG. Ceiling attachment for interior use. Consult factory for exterior use.  
12 Must be field-installed to an accessible remote-mounted junction box.  
13 See page 4 for out-of-box functionality.

DOWNLIGHTING LDN4CYL

Catalog Number: \_\_\_\_\_  
Notes: \_\_\_\_\_  
Type: \_\_\_\_\_

LDN4CYL



4" CYLINDER  
Non-IC  
Buy American  
ENERGY STAR  
LEED

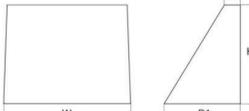


WDGE2 LED  
Architectural Wall Sconce  
Visual Comfort Optic



Specifications

Depth (D1): 7"  
Depth (D2): 1.5"  
Height: 9"  
Width: 11.5"  
Weight: 13.5 lbs (without options)



Catalog Number: \_\_\_\_\_  
Notes: \_\_\_\_\_  
Type: \_\_\_\_\_

Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean, rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance.  
WDGE2 delivers up to 6,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

WDGE LED Family Overview

Luminaire	Optics	Standard EM, 0°C	Cold EM, -20°C	Sensor	Approximate Lumens (4000K, 80CRI)						
					P0	P1	P2	P3	P4	P5	P6
WDGE1 LED	Visual Comfort	4W		--	750	1,200	2,000	--	--	--	--
WDGE2 LED	Visual Comfort	10W	18W	Standalone / nLight	--	1,200	2,000	3,000	4,500	6,000	--
WDGE3 LED	Precision Reflective	10W	18W	Standalone / nLight	700	1,200	2,000	3,200	4,200	--	--
WDGE3 LED	Precision Reflective	15W	18W	Standalone / nLight	--	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	Precision Reflective			Standalone / nLight	--	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WDGE2 LED	P1 <sup>1</sup> P2 <sup>2</sup> P3 <sup>3</sup> P4 <sup>4</sup> P5 <sup>5</sup>	P1SW 27K 2700K P2SW 30K 3000K P3SW 35K 3500K 40K 4000K 50K 5000K	80CRI 90CRI	VF Visual comfort FR Forward throw VW Visual comfort wide	MVOLT 347 <sup>6</sup> 180 <sup>7</sup>	Shipped included SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry-dump locations only)

Options	Finish
E4WH Emergency battery backup, Certified in CA Title 20 MAEDBS (10V, 5°C min)	DDDB Dark bronze
E10WH Emergency battery backup, Certified in CA Title 20 MAEDBS (10V, 5°C min)	DBLD Black
PIRH Bi-level (100/35%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching.	DNAD Natural aluminum
PIRHCV Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation.	DWHD White
PIRHFCV Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation.	DSXD Sandstone
PIRHFCV Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation.	DBRDB Textured dark bronze
PIRHFCV Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation.	DBLBD Textured black
PIRHFCV Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation.	DNATXO Textured natural aluminum
PIRHFCV Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation.	DWHGD Textured white
PIRHFCV Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation.	DSSTD Textured sandstone

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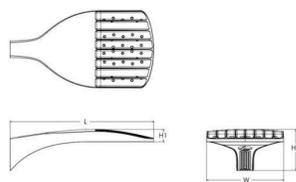


D-Series Size 0  
LED Area Luminaire



Specifications

EPA: 0.44 ft<sup>2</sup> (0.044)  
Length: 26.18" (66.5 cm)  
Width: 14.06" (35.7 cm)  
Height H1: 2.25" (5.7 cm)  
Height H2: 7.46" (18.9 cm)  
Weight: 23 lbs (10.4 kg)



Catalog Number: \_\_\_\_\_  
Notes: \_\_\_\_\_  
Type: \_\_\_\_\_

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.  
The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX0 LED P6 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

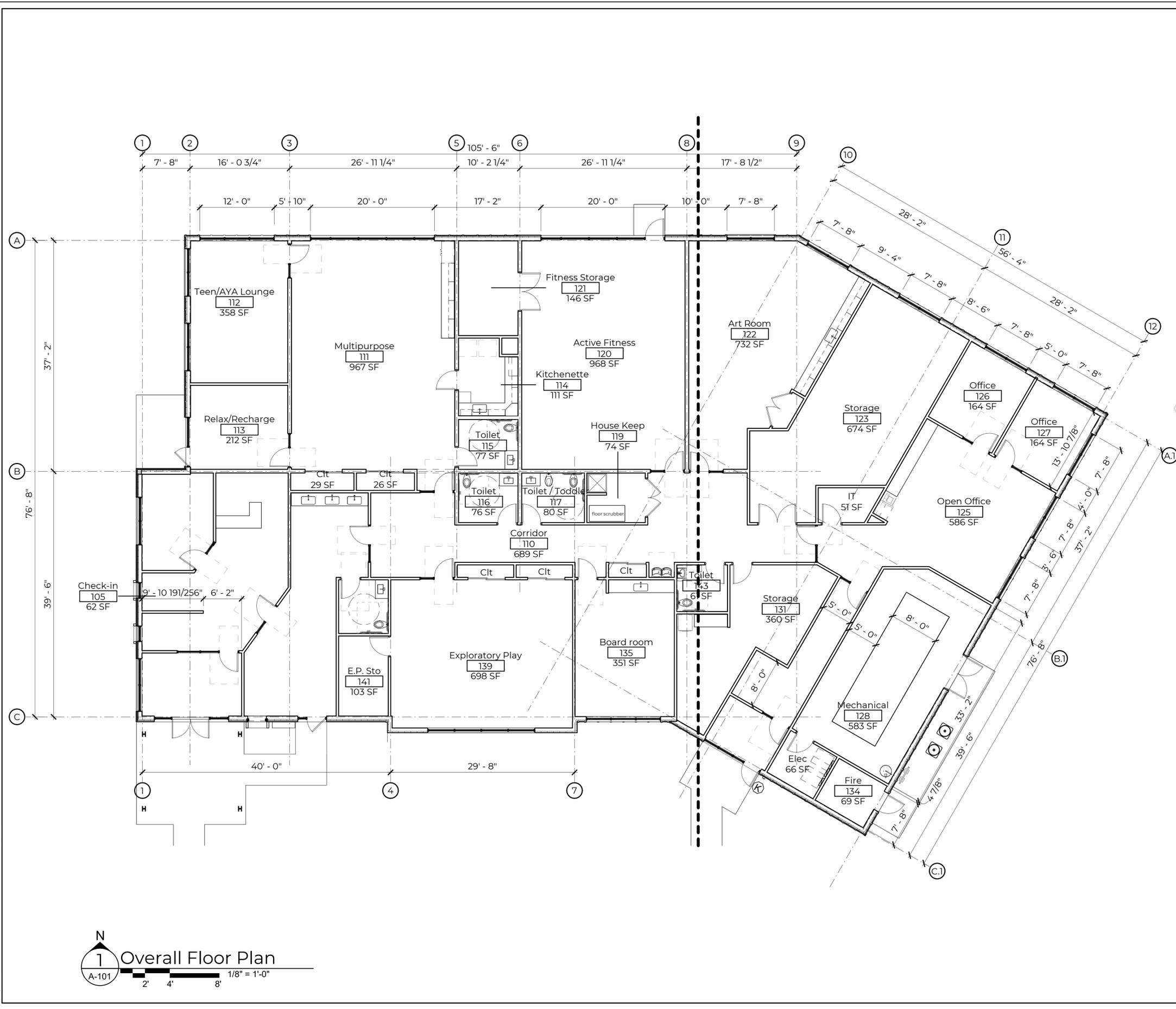
Series	LEDs	Color temperature <sup>1</sup>	Color Rendering Index <sup>2</sup>	Distribution	Mounting	Voltage	Shipped included	Shipped separately
DSX0 LED	Forward optics P1 P5 P2 P6 P3 P7 P4 Rotated optics P10 <sup>1</sup> P12 <sup>1</sup> P11 <sup>1</sup> P13 <sup>1</sup>	(this section 70CRI only) 30K 3000K 40K 4000K 50K 5000K (this section 80CRI only, extended lead times apply) 27K 2700K 30K 3000K 35K 3500K 40K 4000K 50K 5000K	70CRI 70CRI 70CRI 80CRI 80CRI 80CRI 80CRI	AFR Automotive front row T15 Type I short T2M Type II medium T3M Type III medium T3LG Type III low glare <sup>3</sup> T4M Type IV medium T4LG Type IV low glare <sup>3</sup> TFTM Forward throw medium	TSM Type V medium TSLG Type V low glare TSW Type V wide TSM Type IV backlight control <sup>4</sup> BLC4 Type IV backlight control <sup>4</sup> LCCO Left corner cutoff <sup>5</sup> RCCO Right corner cutoff <sup>5</sup>	MVOLT (120V-277V) <sup>6</sup> HVOLT (347V-480V) <sup>6</sup> XVOLT (277V-480V) <sup>6</sup>	SPA Square pole mounting (R8 drilling, 3.5" min. 50 pole) RPA Round pole mounting (R8 drilling, 3" min. R10 pole) SPRS Square pole mounting (R5 drilling, 3" min. 50 pole) <sup>7</sup> RPAK Round pole mounting (R5 drilling, 3" min. R10 pole) <sup>7</sup> SPA6K Square narrow pole mounting (R8 drilling, 3" min. 50 pole) WBA Wall bracket <sup>8</sup>	AWS 3/8inch Architectural wall spacer PBBW 3 surface-mounted back box (top, left, right, conduit entry). Use when there is no junction box available.

Control options	Other options	Finish (separate)
-----------------	---------------	-------------------

Shipped installed	PER7	Shipped installed	DDDBD
NLTAIR2 PIRHN nLight AIR gen 2 enabled with bi-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 2c. <sup>10,11,12,13</sup>	HS House-side shield (black finish standard) <sup>14</sup>	DBLD Black	DBLD Black
PIR High/low, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 2c. <sup>10,11,12,13</sup>	L90 Left rotated optics <sup>1</sup>	DNAD Natural Aluminum	DNAD Natural Aluminum
PER NEMA twist-lock receptacle only (controls ordered separately) <sup>15</sup>	R90 Right rotated optics <sup>1</sup>	DWHD White	DWHD White
PERS Five-pin receptacle only (controls ordered separately) <sup>15</sup>	CE Coastal Construction <sup>16</sup>	DBRDB Textured dark bronze	DBRDB Textured dark bronze
	E65 External Glare Shield (removable, field install required, matches housing finish)	DBLBD Textured black	DBLBD Textured black
	BS Bird Spikes (field install required)	DNATXD Textured natural aluminum	DNATXD Textured natural aluminum
		DWHGD Textured white	DWHGD Textured white

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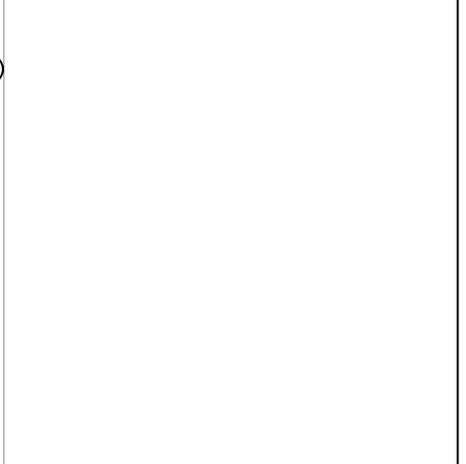
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**General Sheet Notes:**

- A. All dimensions to be verified in field prior construction. Notify architect of all discrepancies prior to starting work.
- B. All dimensions on plans are to face of finish face or column centerlines, U.N.O.
- C. All interior partitions to be type WT-1 unless noted otherwise. Refer to sheet A-801 for partition details.
- D. All interior door frames shall be located a distance of six inches from the throat return to the closest adjacent perpendicular partition, U.N.O.
- E. Refer to sheet A-XXX for Door Schedule.
- F. Masonry dimensions are nominal, U.N.O.
- G. Patch and paint all walls, gypsum board ceilings, soffits and bulkheads through-out.
- H. Provide solid blocking/backing in-wall cavities at all wall mounted equipment as indicated by project equipment list and per manufacturers detailed instructions.
- I. Provide furring wall type **WT-?** at all exposed columns unless otherwise noted.

**Sheet Keynotes**



**Architectural Floor Plan Legend**

- New floor finish, see Room Finish Schedule.
- New wall construction. (UL #419)
- Window Type number. Refer to window schedule.
- Wall type tag, refer to interior partition types
- Align symbol
- Furniture system per tenant



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**Revision Schedule**

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5	Site Plan	11/29/2022

**SE Michigan Center**  
 1441 S. Huron Street  
 Ypsilanti, MI 48197



Project Code: **22-001**

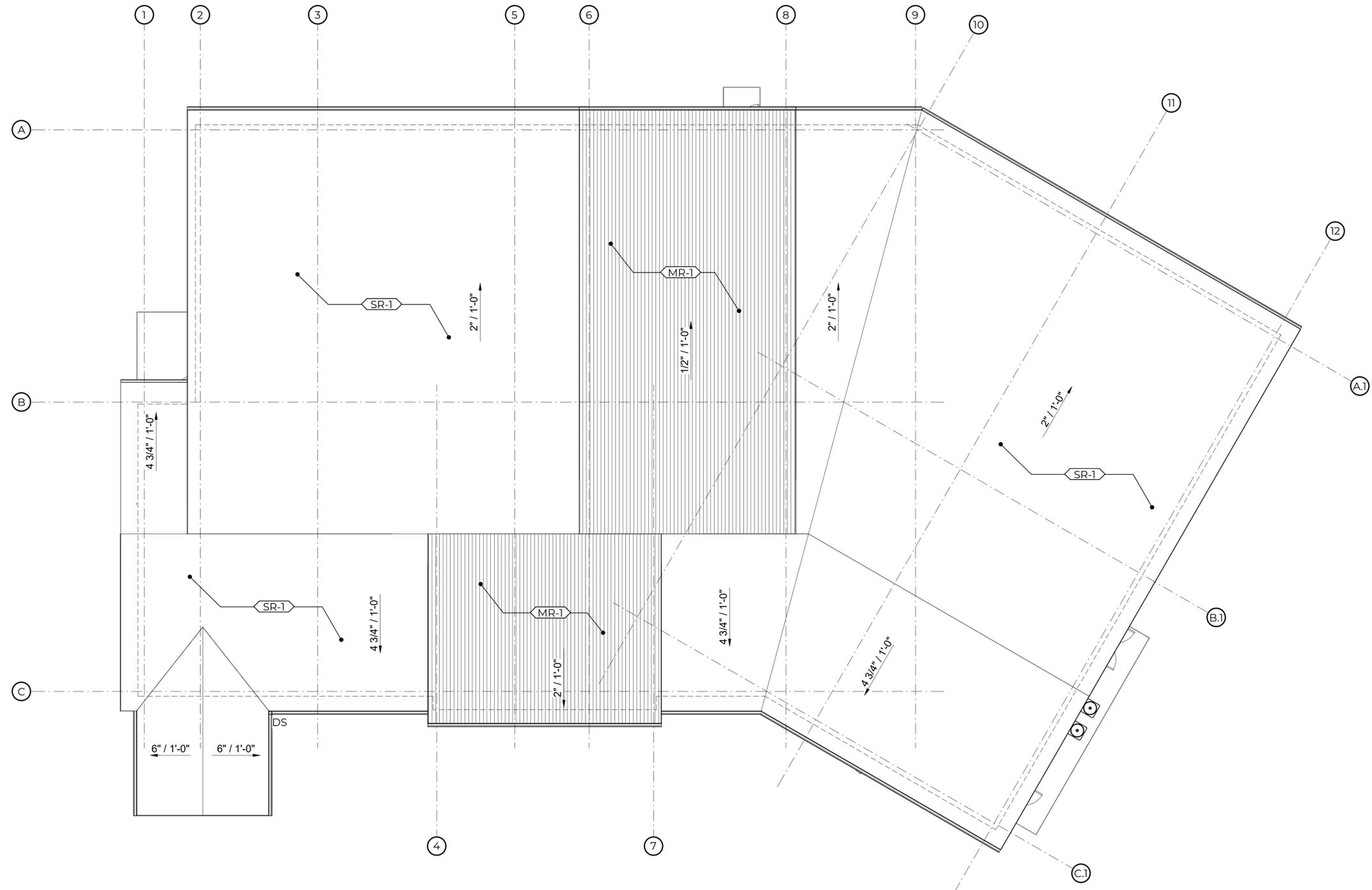
Issued Date: **11/29/2022**

Issued for: **Site Plan**

**Floor Plan**

Drawing Number: **A-101**

Scales listed are for 22x34 drawing size



**General Sheet Notes:**

- A. All roofing surfaces to be 1/4" vertical per 1'-0" horizontal minimum, U.N.O.
- B. Provide all crickets, saddles, flashings, and related components as required to prevent ponding and create a complete roofing system.
- C. Provide crickets at roof curbs and/or equipment where required to provide positive drainage to roof drains.
- D. All rooftop mechanical, electrical and/or plumbing equipment shown for reference only. Refer to mechanical, electrical and plumbing documents for specific design information.
- E. Refer to sheet A-XXX for typical roof details.
- F. Refer to entry sections and details for entry canopy information



Consultant:

**Revision Schedule**

#	Description	Revision Date
2	Schematic Design	08/10/2022
4	Owner Review	11/21/2022
5	Site Plan	11/29/2022

# **Sheet Keynotes**

**SE Michigan Center**  
 1441 S. Huron Street  
 Ypsilanti, MI 48197



Project Code: 22-001

Draw Date: 11/29/2022

Issued for: Site Plan

Sheet Title: **Roof Plan**

Drawing Number: **A-110**

**1 Roof Plan**  
 A-110  
 1/8" = 1'-0"  
 2' 4' 8'

Scales listed are for 22x34 drawing size

Plot Date/Time: 11/29/2022 11:35:16 AM File Path: C:\Revit Local Files\CHC22\_istevens\ZSYNQ.rvt

Exterior Finish Schedule				
ID	Description	Manufacturer	Model	Comments
MP-1	Board and Batten Metal Panel	Tru Cedar Steel Siding	10" Board and Batten - White	
MP-2	Wood Look Metal Panel	Vesta Steel Siding	5" plank wood grain - Dark Walnut	
MP-3	ACM Metal panel	T.B.D.		
MR-1	Metal Roof	T.B.D.	Standing Seam Metal Roofing	
SR-1	Shingle Roof	T.B.D.		
WD-1	Composite Wood Fence	T.B.D.		

General Sheet Notes:

- A. Refer to sheet A-XXX for exterior materials legend.
- B. Refer to sheet A-XXX for typical control joint details.
- C. Refer to sheet A-XXX for typical veneer joint details.
- D. Refer to sheet A-XXX for typical storefront elevations and details.
- E. Refer to sheet A-XXX for door, window and louver schedules.
- F. Provide flashing & counter-flashing at all exterior openings.



3 New - West  
A-301 1/8" = 1'-0"



2 New - North East  
A-301 1/8" = 1'-0"



1 New - North  
A-301 1/8" = 1'-0"

# Sheet Keynotes

Revision Schedule

#	Description	Revision Date
1	Owner Review	07/15/2022
2	Schematic Design	08/10/2022
4	Owner Review	11/21/2022
5	Site Plan	11/29/2022

Job Title: SE Michigan Center  
1441 S. Huron Street  
Ypsilanti, MI 48197



Project Code: 22-001

Issue Date: 11/29/2022

Issued for: Site Plan

Sheet Title: Exterior Elevations

Sheet Number: A-301

Scale listed are for 22x34 drawing size

Plot Date/Time: 11/29/2022 11:35:22 AM File Path: C:\Revit Local Files\CHC22\_istevens\ZSYNQ.rvt

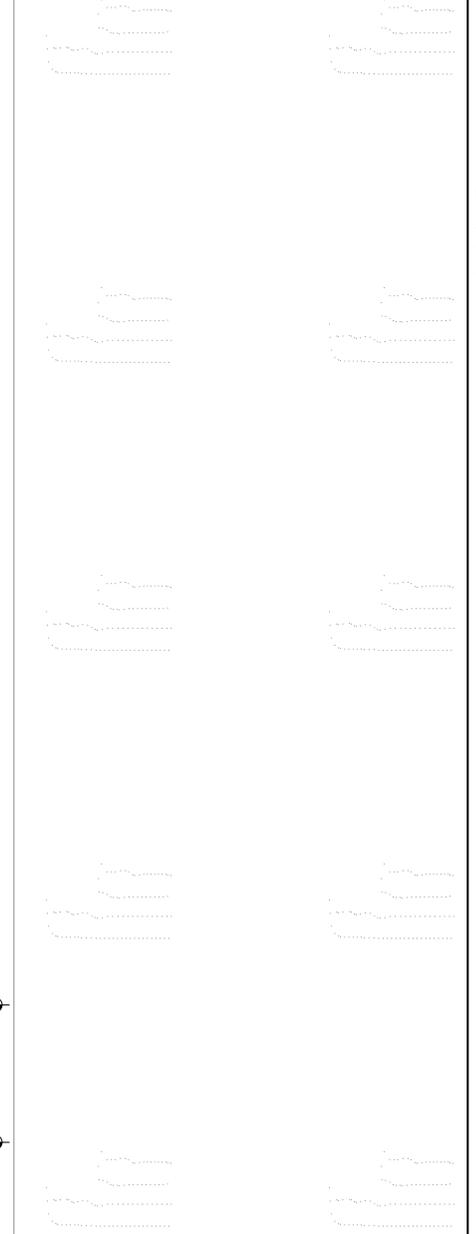
Exterior Finish Schedule				
ID	Description	Manufacturer	Model	Comments
MP-1	Board and Batten Metal Panel	Tru Cedar Steel Siding	10" Board and Batten - White	
MP-2	Wood Look Metal Panel	Vesta Steel Siding	5" plank wood grain - Dark Walnut	
MP-3	ACM Metal panel	T.B.D.		
MR-1	Metal Roof	T.B.D.	Standing Seam Metal Roofing	
SR-1	Shingle Roof	T.B.D.		
WD-1	Composite Wood Fence	T.B.D.		

**General Sheet Notes:**

- A. Refer to sheet A-XXX for exterior materials legend.
- B. Refer to sheet A-XXX for typical control joint details.
- C. Refer to sheet A-XXX for typical veneer joint details.
- D. Refer to sheet A-XXX for typical storefront elevations and details.
- E. Refer to sheet A-XXX for door, window and louver schedules.
- F. Provide flashing & counter-flashing at all exterior openings.



**# Sheet Keynotes**



**Revision Schedule**

#	Description	Revision Date
1	Owner Review	07/15/2022
2	Schematic Design	08/10/2022
4	Owner Review	11/21/2022
5	Site Plan	11/29/2022

Job Title:  
**SE Michigan Center**  
 1441 S. Huron Street  
 Ypsilanti, MI 48197



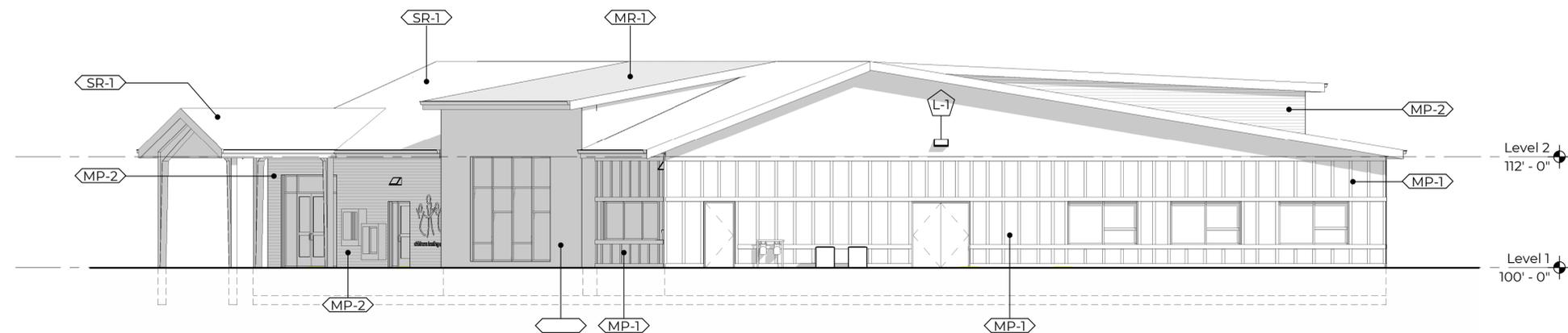
Project Code:  
**22-001**

Issue Date:  
**11/29/2022**

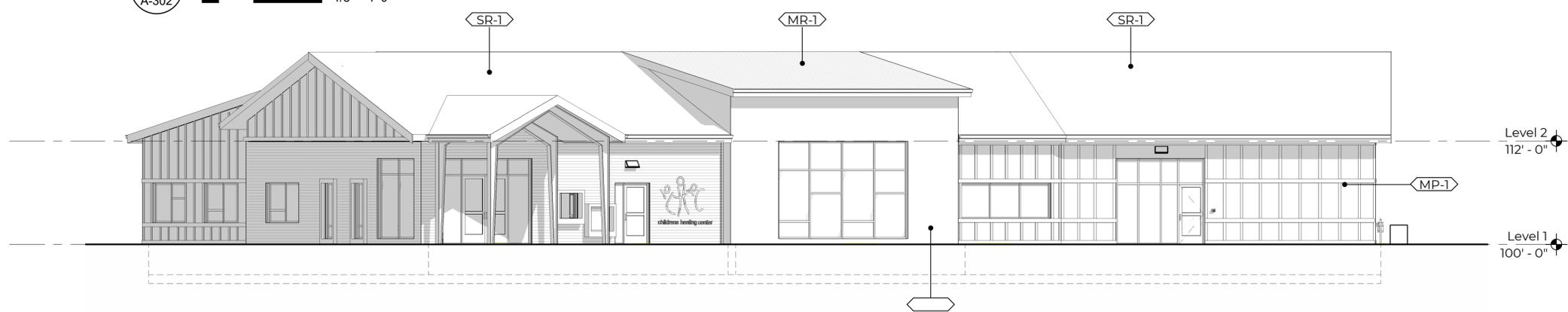
Issued for: **Site Plan**

Sheet Title:  
**Exterior Elevations**

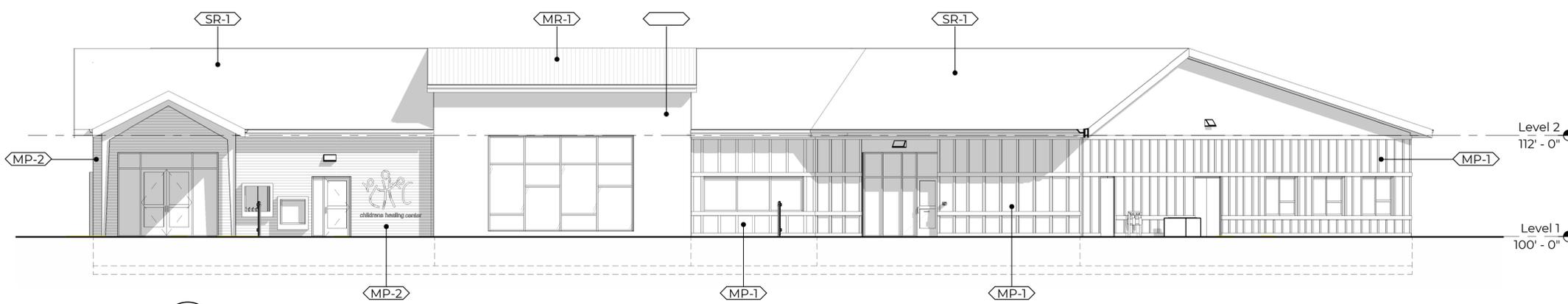
Drawing Number:  
**A-302**



**3 New - East**  
 A-302 1/8" = 1'-0"



**2 New - South East**  
 A-302 1/8" = 1'-0"



**1 New - South**  
 A-302 1/8" = 1'-0"

Scales listed are for 22x34 drawing size



**Charter Township of Ypsilanti**

**Office of Community Standards**

7200 S. Huron Drive, Ypsilanti, MI 48197

Phone: (734) 485-3943

Website: <https://yptown.org>

**WOODLANDS PROTECTION  
USE APPLICATION**

**I. PROJECT LOCATION**

Address: 1441 S. Huron Street City: Ypsilanti Township State: MI Zip: 48197

Parcel ID #: K-11- 16-360-006 Zoning Town Center

Name of Project/Proposed Development: SE Michigan Center

Project description: Proposed ~11,000 s.f. building with 39 parking spaces. Access provided by private commercial driveway to S. Huron Street.

Statement of purpose: The Children's Healing Center is a year-round recreation facility providing social and emotional healing for kids with weakened immune systems and their families in a safe, clean environment.

**II. APPLICANT INFORMATION**

**Applicant:** Children's Healing Center Attn: Amanda Barbour Phone: 734-391-1500

Address: 1530 Fulton Street City: East Grand Rapids State: MI Zip: 49503

Fax: \_\_\_\_\_ Email: abarbour@childrenshealingcenter.org

**Property Owner (if different than applicant):** KALITTA LLC Phone: \_\_\_\_\_

Address: 818 WILLOW RUN AIRPORT City: Ypsilanti State: MI Zip: 48198

Fax: \_\_\_\_\_ Email: \_\_\_\_\_

**Engineer/Architect:** Firm: Nederveld Inc. Individual: Jason Van Ryn

Address: 3037 Miller Road City: Ann Arbor State: MI Zip: 48103

Phone: 734-929-6963 Fax: \_\_\_\_\_ Email: jvanryn@nederveld.com

**III. FEES**

Total: \$ 1,000

**Breakdown of fee:**

Non-refundable Fee: \$100

Refundable Deposit: \$900

**IV. APPLICANT SIGNATURE**

**Woodlands Protection Use Application Checklist:**

- The applicant has read Article III: Woodlands Protection Ordinance (attached)
- Name(s) and address(es) of all record owner(s) and proof of ownership are included. If applicant is not the fee-simple owner, the owner's signed authorization for application must be attached to this application.
- Scaled and accurate survey drawing, correlated with a legal description and showing all existing buildings, drives and other improvements.
- Description/Statement of purpose included.



Amanda Barbour

11.29.2022

Applicant Signature

Print Name

Date

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# WOODLANDS PROTECTION USE APPLICATION

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## ARTICLE III. - WOODLANDS PROTECTION

### Sec. 24-56. - Short title.

The ordinance codified shall be known and may be cited as the Ypsilanti Township Woodlands Protection Ordinance.

(Ord. No. 97-163, 1, 2-28-97)

### Sec. 24-57. - Purpose.

The township finds that rapid growth, the spread of development, and increasing demands upon natural resources have had the effect of encroaching upon, despoiling, or eliminating many of the trees and other forms of vegetation and natural resources and processes associated therewith which if preserved and maintained in an undisturbed and natural condition, constitutes important physical, aesthetic, recreational, and economic assets to existing and future residents of the township. Specifically, the township finds:

- (1) That woodland growth protects public health through the absorption of air pollutants and contamination, the buffering of excess noise and wind, the screening of undesirable views, the cooling of buildings in summer and insulating buildings in winter;
- (2) That woodlands provide for public safety through the prevention of erosion, siltation, and flooding;
- (3) That trees and woodland growth are an essential component of the general welfare of the township by maintaining natural beauty, recreational opportunities, wildlife habitat, and irreplaceable heritage for existing and future township residents;
- (4) That the protection of such natural resources is a matter of paramount public concern, as provided by Article IV, 552 of the Constitution of 1963, and the Environmental Protection Act of 1970, MCL 691.1201 et seq.; MSA 14.528(201);
- (5) To protect significant individual trees located on sites subject to development during the course of construction of improvements to benefit the development site and buildings on the site:
  - a. To provide for the protection, preservation, replacement, proper maintenance, and use of trees and woodlands located in the township in order to minimize disturbance to them and to prevent damage from erosion, siltation, and flooding;
  - b. To protect the woodlands (including trees and other forms of vegetation) of the township for their economic support of local property values when allocated to remain uncleared and/or unharvested;
  - c. To protect the woodlands (including trees and other forms of vegetation) of the township for their significance as large specimens of their species and/or rare and endangered species;
  - d. To protect functional strips of vegetation (including fencerows, hedgerows, shrubby borders of streams and public rights-of-ways, railroad-edge and road-edge) of the township for their significance as travel lanes for wildlife, noise buffer, visual screens, aesthetically pleasing enclosures and vistas for pedestrian and vehicular traffic;
  - e. To provide for the paramount public concern for these natural resources in the interest of health, safety, and general welfare of the residents of the township.

(Ord. No. 97-163, 2, 2-28-97)

### Sec. 24-58. - Definitions.

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## WOODLANDS PROTECTION USE APPLICATION

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The following terms, phrases, words and their derivatives shall have the meaning, given in this section, unless the context requires otherwise:

*Bona fide agriculture* means a land use to derive income from growing plants and trees on land including but not limited to land used principally for fruit grove and timber production, and not including land used principally for another use and incidentally for growing trees or plants for income.

*Commercial nursery or tree farm* means a licensed plant or tree nursery or farm in relation to those trees planted and growing on the premises of the licensee, which are planted and growing for sale or intended sale to the general public in the ordinary course of said licensee's business.

*Development* includes any lawful land use authorized under the township zoning ordinance, as amended.

*Diameter breast high (d.b.h.)* means the diameter in inches of a tree measured at four and one-half feet above the existing grade.

*Drip line* means an imaginary vertical line that extends downward from the outermost tips of the tree branches to the ground.

*Forbs* means flowering plants commonly referred to as "weeds" or "herbs" that are nonwoody and grown close to the ground.

*Grubbing* means the effective removal of under-story vegetation from a site which does not include the removal of any tree with a d.b.h. of greater than three inches.

*Historical tree* means a tree which, pursuant to section 24-61 of this article, has been designated by the township planning commission to be of notable historic interest to the township because of age, type, size, or historic association.

*Land clearing* means those operations where trees and vegetation are removed and which occur previous to construction of building (e.g. road right-of-way excavation, utility excavation, grubbing, and any other necessary clearing operation).

*Large tract* means a tract of one acre or more in an area.

*Linkage vegetation* means strips of vegetation defined as primary linkage strips and secondary linkage strips including fencerows, hedgerows, shrubby stream banks, road-edge, railroad-edge, and public rights-of-way that function as travel lanes for wildlife, pedestrian and vehicular traffic, as passive and recreational green belts, and as visual screens, noise buffers, and weather control vegetation.

*Locate* means construct, place, insert, or excavate.

*Material* includes soil, sand, gravel, clay, peat, mud, debris, and refuse, or any other material organic or inorganic.

*No-tree affidavit* means a signed, notarized statement by owner or agent stating that no tree exists upon the site of eight-inch d.b.h. or greater, or no linkage vegetation of significant value to the township.

*Operations* includes the locating, moving or deposition of any material, or any construction use or activity, or a combination thereof which in any way modifies the conditions of land subject to this article.

*Owner* means any person who has domain over, control of, or title to woodlands.

*Person* includes any individual, firm, partnership, association, corporation, company, organization or legal entity of any kind, including governmental agencies conducting operations within the township, including all tree removal companies and persons removing trees on behalf of others.

*Commission* means the planning commission of the township, organized under article XXV of the township zoning code as amended.

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## WOODLANDS PROTECTION USE APPLICATION

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*Primary linkage strips* means strips of vegetation, 20 to 30 feet across, that exist as old fencerows, hedgerows, road-edge, railroad-edge, shrubby stream sides, and are composed of trees in the center, shrubs bordering the trees and grasses and forbs on the edge and serve as a connective link to other linkage strips in the township or abutting communities.

*Protective barrier* means a physical structure limiting access to a protected area, composed of wood or other suitable materials, which assures compliance with the intent of this article. Variations of these methods may be permitted upon written request if they satisfy the intent of this article.

*Remove* and *removal* include the cutting of trees and the injury and/or destruction of any form of vegetation, by whatever method, on any lands subject to this article.

*Secondary linkage strips* means strips of vegetation, ten to 20 feet across, that exist as old fencerows, hedgerows, road-edge, railroad-edge, shrubby stream sides, and are composed primarily of shrubs bordered by grasses and forbs. Isolated trees may be present but are not historical or specimen trees.

*Significant individual trees* means deciduous hardwood or coniferous trees existing in a healthful condition with d.b.h. in excess of eight inches.

*Small tract* means a tract of less than one acre in an area.

*Specimen tree* means a tree which, pursuant to section 24-61 of this article, has been designated as a specimen tree by the township planning commission because of its high value as a representative tree of a species, due to its size, age, or other prominent characteristic.

*Structure* means any assembly of materials above or below the surface of the land or water, including but not limited to houses, buildings, bulkheads, piers, docks and landings, dams, waterway obstruction, towers, or utility transmission devices.

*Transplant* means the digging up by a property owner of a tree from one place on a property and the planting of the same tree in another place on the same property.

*Tree* means a woody plant with an erect perennial trunk, which at maturity is 13 feet or more in height, which has a more or less definite crown of foliage.

*Woodlands areas* means all lands which are subject to this article under section 24-59.

(Ord. No. 97-163, 3, 2-28-97)

Sec. 24-59. - Land to which article applies.

This article applies to:

- (1) All large or small tracts of land which have a historic tree, specimen tree, an endangered species of plant, or any significant individual tree with d.b.h. of 36 inches or greater.
- (2) All large or small tracts of land which have a canopy cover of at least 10,000 square feet formed by trees, a majority of which trees have a d.b.h. of eight inches or greater.
- (3) All primary and secondary linkage strips; and
- (4) All trees, eight-inch d.b.h., within 20 feet of the road's edge.

(Ord. No. 97-163, 4, 2-28-97)

Sec. 24-60. - Reserved.

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## WOODLANDS PROTECTION USE APPLICATION

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### Sec. 24-61. - Historic or specimen trees and linkage strips.

- (a) A person may nominate a tree within the township for designation as a historic tree, or specimen tree, or a linkage strip based upon its age, type, size, historic, or cultural associations. Such a nomination shall be made upon that form provided by the planning commission.
- (b) A nomination for designation of a historic or specimen tree shall be brought up for consideration by the planning commission. Where the nomination is not made by the owner of the property where the tree is located, the owner shall be notified in writing at least 15 days in advance of the time, date, and place that the planning commission will consider the designation. The notice shall advise the owner that the designation of the tree as a linkage strip or historic or specimen tree will make it unlawful to remove, damage, or destroy the vegetation absent the granting of a woodlands use permit by the township.
- (c) The planning commission may designate a tree upon finding that, because of one or more of the following unique characteristics, the tree should be preserved as a historic tree:
  - (1) The tree is associated with a notable person or historic figure;
  - (2) The tree is associated with the history or development of the nation, the state, or the township;
  - (3) The tree is associated with an outstanding person or institution;
  - (4) The tree is associated with early forestry or conservation;
  - (5) The tree is associated with American Indian history, legend or lore.
- (d) The planning commission may designate a tree as a specimen tree upon a finding that, because of one or more of the following unique characteristics, the tree should be preserved as a specimen tree:
  - (1) The tree is the predominant tree within a distinct, scenic or aesthetically valued setting;
  - (2) The tree is of unusual age or size for that species and this climatic and geographic location. Examples include trees listed on the American Associate Social Register of Big Trees or the Michigan Botanical Club as a large tree;
  - (3) The tree has gained prominence due to unusual form or botanical characteristics.
- (e) The planning commission may designate a vegetative linkage strip as a strip of vegetation that, for one or more of the following reasons, should be preserved as a linkage strip:
  - (1) Roadside strips of vegetation which contain large trees or shrubs that are scenic or aesthetically valued;
  - (2) The strip of vegetation offers passive or recreational opportunities as travel lanes for pedestrian traffic around the community by linking different parts of the township with walking trails, bike trails and so forth;
  - (3) The strip of vegetation is adjacent to streams, drains, creeks, swamps, or bogs so designated on the wetlands map.
- (f) The tree or vegetative strip designated by the planning commission as a specimen tree, a historic tree, or linkage strip shall be so depicted on a woodlands map.

(Ord. No. 97-163, 6, 2-28-97)

### Sec. 24-62. - Property inspection.

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## WOODLANDS PROTECTION USE APPLICATION

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The township, its officials, agents, and employees may make reasonable entry upon any lands or water within the township for the purpose of enforcement of this article or the conduct of any investigation, survey or study contemplated by this article.

(Ord. No. 97-163, 7, 2-28-97)

Sec. 24-63. - Use permits required.

- (a) Except for those activities expressly permitted by section 24-64 it is unlawful for any person to conduct any activity within a woodlands area without first having obtained a use permit upon proper application, including but not limited to the following:
- (1) Remove, damage, or destroy any tree or similar woody vegetation with a d.b.h. of eight inches or more;
  - (2) In a woodlands area that is also within a wetland or watercourse regulated by the wetlands protection act MCL 324.30301 et seq., remove, damage or destroy any tree or similar woody vegetation of any d.b.h.;
  - (3) Remove, damage, or destroy any historic or specimen tree;
  - (4) Remove, damage, or destroy any vegetation within a linkage strip designated by the planning commission; and
  - (5) Land clearing or grubbing.

(Ord. No. 97-163, 8, 2-28-97)

Sec. 24-64. - Permitted activities.

Notwithstanding the prohibition of section 24-64, the following activities are permitted within woodlands areas without a use permit, unless otherwise prohibited by statute or ordinance:

- (1) The transplanting of a tree on a small tract within the designated woodlands areas;
- (2) The removal of a tree with a d.b.h. of less than eight inches on a small tract where a valid certificate of occupancy has been issued;
- (3) The removal or trimming of dead, diseased, or damaged trees or other woody vegetation provided that the damage resulted from an accident or nonhuman cause and provided further that the removal or trimming is accomplished through the use of standard forestry practices and techniques;
- (4) Conservation of soil, vegetation, water, fish, wildlife, and other natural resources;
- (5) Outdoor recreation, such as field trails for nature study, hiking and horseback riding, boating, trapping, hunting, and fishing where otherwise legally permitted and regulated;
- (6) Farming, gardening, grazing of small animals, harvesting of crops, forestry, and nursery practices, where otherwise legally permitted, and where compatible with the individual woodland ecology and not in conflict with the standards contained in section 24-67, provided that a forest management use permit is obtained pursuant to section 24-65(d) for forestry activities within a woodlands area;
- (7) The operation and maintenance of existing dams and other water control devices, if in compliance with all applicable statutes and ordinances; and

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## WOODLANDS PROTECTION USE APPLICATION

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- (8) Actions taken in times of emergency, including the repair or restoration of public roads, electrical line, natural gas lines, sewage lines, and storm drainage systems when immediate action is necessary to protect public health or safety or to prevent damage to property. A person taking such emergency action shall within 14 days thereof provide a report to the township planning commission describing the action taken, the nature of the emergency necessitating the action, and the extent of any cutting or removal of, or damage to, any trees within the woodlands area. The matter be reviewed by the township planning commission who shall make a determination as to whether the resulting tree cutting, removal or damage was reasonably necessitated by the emergency situation. To the extent the resulting tree cutting, removal, or damage exceed that reasonably necessitated by the emergency situation, the person shall be required to provide replacement trees in accordance with the replacement standards of section 24-68.

(Ord. No. 97-163, 9, 2-28-97)

Sec. 24-65. - Use permit application.

- (a) A use permit applicant shall submit the following materials to the community development department:
  - (1) A completed use permit application which includes the following:
    - a. The name, address, and telephone number of the applicant and of the applicant's agent;
    - b. The name, address, and telephone number of the owner of the property;
    - c. The project location, including, as applicable, the street, road, or highway, section number, name of subdivision, and name of any watercourse which will or may be impacted; and
    - d. A detailed description and statement of purpose of the proposed activity.
  - (2) A use permit application fee in an amount as set by resolution of the township board;
  - (3) Where the applicant is not the owner of the property, a written authorization from the owner permitting the proposed activity; and
  - (4) A site plan including topographical survey, sealed by a registered engineer or registered surveyor, which includes the following information:
    - a. The shape and dimensions of the lot or parcel, together with the existing and proposed locations of structure and improvements, if any;
    - b. Locations, based upon actual field survey, identifying by number all existing trees of eight-inch d.b.h. or greater and all other trees to be protected. All such trees proposed to remain, to be transplanted or to be removed shall be so designated. The plan shall be accompanied by a separate key identifying the trees numbered by size, common and genus name (e.g.: maple/acer), condition, density and spacing. All such trees shall be tagged in the field with their identifying numbers;
    - c. Location, based upon actual field survey, of all primary and secondary linkage strips on the site as well as descriptions of the dominant shrubs and, if present, trees within the association;
    - d. Existing general soil conditions throughout the parcel;
    - e. A statement showing how trees not proposed for removal are to be protected during land clearing, construction, and on a permanent basis, including the proposed use of protective barriers, tree wells, tunneling or retaining walls (see section 24-69, Tree Protection During Construction);

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## WOODLANDS PROTECTION USE APPLICATION

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- f. Location and dimensions of all setbacks, easements, and existing and proposed public and private utilities;
  - g. Statements as to grade changes proposed and proposed drainage pattern changes for the lot or parcel and how such changes will affect these regulations. Existing contour interval of no more than two feet, and vertical contour data at an interval of no more than one foot for all areas to be disturbed by proposed tree removal operations, extending for a distance of at least 50 feet beyond the limits of such areas. Indicated elevations shall be based on United States Geological Survey datum;
  - h. The number of trees to be cut which have a d.b.h. of eight inches or more or the number of shrubs to be cut in a linkage strip, plus a plan and cost estimate for their replacement.
  - i. Information as to how all trees and linkage strips to be retained shall be identified at the site, whether by painting with a water base paint, flagging, etc., prior to field inspection; and
  - j. The legal property description, zoning classification (including adjacent parcels), existing structures, the extent of existing woodland areas, and the size and location of all elements of proposed activity.
- (b) *Alternative site plan information.* Where the proposed activity is located on a site with no trees of eight-inch d.b.h. or greater or linkage strips, the applicant shall so indicate in his/her application, and submit a no-tree affidavit. In such case, the township shall conduct an inspection of the site. If the inspection substantiates the applicant's claim, the applicant shall be relieved of the necessity of providing unnecessary information, such as the topographic survey, etc. However, where there are trees less than eight inches d.b.h. that are otherwise potentially good specimens of that particular woodlot or linkage strip, additional information will be required, such as quality, size species, health, and such additional information as the township request. In those instances where areas of woodlands or linkage strips on a site are not to be disturbed, the site plan shall designate such areas as "not to be disturbed" and shall not be required to identify, except for general information as to species, number and size of protected trees and shall further be required to protect such areas from encroachment during construction activities.
- (c) *Land clearing or grubbing.* Where the proposed activity is land clearing or grubbing only, the preparation of a site plan which depicts the location of all trees as required by subsection (a)(4)b of this section shall not be required. However, the applicant shall provide general information as to the number, species, and size of the protected trees on the property before a use permit for the clearing or grubbing may be granted.
- (d) *Forest management use permit.* An owner may be granted a forest management use permit for the purpose of maintaining and improving a woodlands area by professional forestry management methods. Application for this permit must be accompanied by a management plan for the subject area prepared by a forester licensed and registered in the state. The management plan shall include a description of and a schedule for the program, justifying reasons for the work specified and a summary of the benefits to be obtained. Work under a forest management use permit shall be directed by a licensed and registered forester. Under the forest management use permit, provisions of this article which are applicable solely to development or land clearing activities shall not apply. The township shall not levy any fee for this special permit.
- (e) *De Minimis activities.* Where the proposed activities involve the removal of not more than ten trees of eight inches d.b.h. or greater on lots or tracts of up to five acres; not more than 20 trees of eight-inch d.b.h. or greater on the tracts over five acres and up to ten acres; and not more than 30 trees of eight-inch d.b.h. or greater on the tracts over ten acres, and is not taken in conjunction with the development of a parcel.

(Ord. No. 97-163, 10, 2-28-97)

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## WOODLANDS PROTECTION USE APPLICATION

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### Sec. 24-66. - Review of use permit application.

- (a) The township administration shall review the submitted use permit application to ensure that all required information has been provided. At the request of the applicant or the township, an administrative review meeting shall be held to review the proposed activity in light of the purpose and review standards of the chapter. A field inspection of the site may be conducted. A report and recommendation shall be prepared by either the township administration or the consultant following the review.
- (b) After review of the use permit application and site visit by the township administration or consultants, the application shall be granted subject to clarification or denied by one of the following parities. The granting or denial of the use permit shall be governed by the review standards contained in section 24-67.
  - (1) If the subject property is a single-family residential site, the township administration shall process the application. The issuance of permits under these circumstances would not involve the review of the planning commission. The township administration shall consult the township community development director prior to issuing the permit.
  - (2) If the proposed activity does not otherwise require site plans or plat approval (not including activities addressed in subsection (b)(1) of this section) the granting or denying of the use permit shall be the responsibility of the township community development director.
  - (3) The granting or denying of all other use permits shall be the responsibility of the township planning commission.

(Ord. No. 97-163, 11, 2-28-97)

### Sec. 24-67. - Review standards.

The following standards shall govern the grant or denial of use permit applications:

- (1) No application shall be denied solely on the basis that some trees are growing on the property under consideration. However, the protection and conservation of irreplaceable natural resources from pollution, impairment or destruction is a paramount concern. While the preservation of woodlands, trees, linkage strips and endangered species and related natural resources is the object of this article, every effort will be made to meet not only that objective but to preserve the basic property rights of the landowner as well.
- (2) The integrity of woodland areas shall be maintained irrespective of whether such woodlands cross property lines.
- (3) Diversity of tree species shall be maintained where essential to preservation of woodland.
- (4) The removal or relocation of trees or shrubs shall be limited to those instances:
  - a. When necessary for the location of a structure or site improvement and when no feasible alternative location for the structure or improvements can be achieved without causing undue hardship;
  - b. The tree is dead, diseased, injured and in danger of falling, is too close to proposed or existing structures, interferes with existing utility services, interferes with safe vision clearances, or conflicts with other ordinances or regulations.

Replacement of trees as provided in section 24-68 shall not apply to removals permitted under this paragraph. This exemption shall not be construed by affected property owners as an exemption from providing new plantings on the development site as a part of a

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landscaping plan which may be required by the planning commission in order to address the loss of trees or other vegetation due to construction activity.

Replacement trees when required shall be provided as follows:

1. Tree replacement at 100 percent of trees removed will be required except in instances where the location of buildings, structures or grading are necessary to allow the development of the site and replacement of the trees cannot be accommodated on the site.
  2. In instances where 100 percent tree replacement, is not feasible as provided in this section, the planning commission may allow reduction of the replacement trees to not less than 30 percent for industrial and business properties and not less than 50 percent replacement for residential properties.
  3. Tree replacement as required shall be on the site in question; or, in lieu thereof, monies may be placed in escrow with the township at a fee established by the township for tree purchase and planting on public properties within the township.
  4. Street trees required for subdivision may serve as a credit of 50 percent toward the number of replacement trees required.
- (5) Where the removal or cutting of linkage strip, a portion of linkage strip, or any trees eight inches d.b.h. or greater is permitted, replacement trees shall be provided in accordance with section 24-68.
  - (6) The proposed activity shall include necessary provisions for tree protection in accordance with section 24-69.
  - (7) Where the proposed activity consists of land clearing, it shall be limited to designated street rights-of-way, drainage, and other utility areas, and areas necessary to the construction of proposed buildings and structures, as depicted on the plat or site plan. Where the proposed activity consists of grubbing, all trees with a d.b.h. of three inches or greater will be left undisturbed with the drip line understory left intact.
  - (8) Where the proposed activity includes residential development, residential units shall blend into the natural setting of the landscape for the enhancement of the sound, orderly, economic growth and development and for the protection of property values in this township.
  - (9) The proposed activity shall be in compliance with all other applicable statutes and ordinances.
  - (10) The burden of demonstrating that no feasible and prudent alternative location or improvements without undue hardship shall be upon the applicant.

(Ord. No. 97-163, 12, 2-28-97)

Sec. 24-68. - Relocation or replacement.

- (a) Whenever use permit allows the removal of trees of eight-inch d.b.h. or greater or shrubs within a linkage strip, said trees shall be relocated or replaced by the permit grantee. Such plant relocation or replacement shall be on a one-to-one ratio, provided that all replacement trees are of a two-inch caliper or greater. Shrubs should be at least two feet high. No credit shall be given for trees otherwise required pursuant to the landscaping requirements of the township zoning ordinance or the planned development district.
- (b) All replacement trees shall satisfy American Association Nurseryman standards, and be:
  - (1) Nursery grown;

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- (2) State department of agriculture inspected;
  - (3) Tree spade transplanted while in the dormant state, or, if not in the dormant state, having been balled and burlapped with a solid well-laced root ball when in the dormant state;
  - (4) No. 1 grade, with a straight unscarred trunk and a well-developed uniform crown (park grade trees are unacceptable);
  - (5) Staked, fertilized, watered and mulched in accordance with standard planting practices;
  - (6) Guaranteed for one year, including labor, to remove and dispose of dead materials;
  - (7) Approved through inspection by the township;
  - (8) Of the same species as the removed plants where available from Michigan nurseries. Where plants of the same species are not available, replacement shall be made by recommendation of the planning commission and shall only consist of species within the forest association the woodland is composed of.
- (c) The location of replacement trees shall be subject to the approval of the township, and shall be such as to provide the optimum enhancement, preservation and protection of woodland area. Where woodland densities permit, tree relocation or replacement shall be within the same woodland area as the removed plants.
- (d) Where tree relocation or replacement is not feasible within the woodland area, or on the property where the activity is to be conducted, or on other approved property within the township, the permit grantee shall pay into the township tree fund monies for tree replacement in a per-tree amount representing the current market value for the tree replacement that would be utilized for the maintenance and preservation of woodland areas and the planting and maintenance of trees within the township.

(Ord. No. 97-163, 13, 2-28-97)

### Sec. 24-69. - Tree protection during construction.

- (a) Before development, land clearing, filling or land alteration for which a use permit is required by this article commences, the developer shall be required to erect for the protection of remaining plants, barriers as approved by the township. Such protection shall remain in its approved location until such time as it is authorized to be removed by the township, or issuance of a final certificate of occupancy. During construction, no attachments or wires shall be attached to any of said trees so protected. Wood, metal, or other substantial material shall be utilized in the construction of barriers. Barriers will be required for all trees being protected, except in the following cases:
- (1) Street right-of-way and utility easements may be ribboned by placing stakes a maximum, of 50 feet apart and tying ribbon, plastic tape, rope, etc., from stake along the outside perimeters of such areas to be cleared; and
  - (2) Large property areas separate from the construction or land clearing area into which no equipment will venture may also be ribboned off as above.
- (b) It is unlawful for any person to conduct any activity within the drip line of any tree designated to be retained, including but not limited to the placing of any solvents, material, construction machinery, or soil within such drip line.
- (c) The township may require the developer to also reasonably highlight those trees which are to be preserved during the course of construction, through such means as flagging, use of biodegradable paint or other form of designation determined by the township staff.

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(Ord. No. 97-163, 14, 2-28-97)

Sec. 24-70. - Display permits.

The permit grantee shall prominently display on the site the permit issued. Such display shall be continuous while trees are being removed or replaced or while work authorized under the permit is being done, and for at least ten days after the completion thereof. Failure to allow entry for inspection by township representatives pursuant to the conditions attached to the permit shall constitute a violation of this article.

(Ord. No. 97-163, 15, 2-28-97)

Sec. 24-71. - Taking without compensation.

- (a) This article shall not be construed to abrogate rights or authority otherwise protected by law.
- (b) For the purposes of determining if there has been a taking of property without just compensation under Michigan law, an owner of property who has sought and has been denied a permit or has been made subject to modifications or conditions in the permit, under this article, may file an action in a court of competent jurisdiction.
- (c) If the court determines that an action of the township pursuant to this article constitutes a taking of the property of a person, then the court shall order the township, at the township's option, to do one or more of the following:
  - (1) Compensate the property owner for the full amount of the lost value;
  - (2) Purchase the property in the public interest as determined before its value was affected by this article;
  - (3) Modify its action with respect to the property so as to minimize the detrimental effect to the property's value; and
  - (4) Modify its action with respect to the property so that the action will not constitute a taking of the property.

(Ord. No. 97-163, 16, 2-28-97)

Sec. 24-72. - Appeals.

If a person subject to regulation under this article disagrees with an official interpretation of a certain provision of this article, they may appeal the interpretation to the township board. The request for appeal shall be in letter form to the township board submitted to the attention of the township clerk. The township board shall consider the matter of the appeal at a regular scheduled board meeting. The township board may refer the matter to the planning commission for their review and recommendation. In any case, the decision of the township board shall be final.

(Ord. No. 97-163, 17, 2-28-97)

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Sec. 24-73. - Interpretation and application.

In the interpretation and application, the provisions of this article shall be held to be minimum, requirements adopted for the promotion of the public health, morals, safety, comfort, convenience, or general welfare. It is not intended by this article to repeal, abrogate, annul, or in any way impair or interfere with any existing provisions of law or ordinance, or with any rules, regulations, or permits previously adopted or issued or which shall be adopted or issued pursuant to the law relating to activities within woodland area; provided, however, that where this article imposes a greater restriction than is required by existing ordinance or by rules, regulations, or permits, the provisions of this article shall control.

(Ord. No. 97-163, 18, 2-28-97)

Sec. 24-74. - Violation; penalties; enforcement.

- (a) Any person violating any of the provisions of this article shall be guilty of a municipal civil infraction, and upon conviction thereof shall be fined not more than \$500.00 for each such violation. Each day upon which such violation occurs shall constitute a separate offense.
- (b) In addition to the penalties provided in this article, any person who violates any provision of this article shall forfeit and pay to the township a civil penalty equal to the total value of those trees illegally removed or damaged, as computed from the International Society of Arboriculture shade tree value formula. Such sum shall accrue to the township and may be recovered in a civil action brought by the township. Said sum so collected shall be placed in the township tree fund. Replacement of illegally removed trees may be required as restoration in lieu of money. This replacement will be computed on an inch-for-inch ratio based on the total diameter measured at d.b.h. in inches of the illegally removed trees. If, because of destruction of the removed trees, exact inch-to-inch measurements cannot be obtained, the township may use other means to estimate the tree loss. A combination of money and tree replacement may be required.
- (c) Any use or activity in violation of the terms of this article is declared to be a nuisance per se, and may be abated by order of any court of competent jurisdiction. The township board in addition to other remedies, may institute any appropriate action or proceeding to prevent, abate, or restrain the violation. All cost, fees, and expenses in connection with such action shall be assessed as damages against the violation.
- (d) If activities are conducted in a woodlands area contrary to a use permit, this article or other applicable laws or ordinances, the township community development department shall give written notice to the permit grantee, or if a permit has not been issued, then to the person conducting the activity, notifying him/her of the violation of the permit, this article, or other applicable law or ordinance, and to appear and show cause why the activity should not be stopped. If the permit grantee or the person conducting the activity fails to appear and show cause within one full work day after notice is delivered, the community development department shall cause a written order to stop the activity to be posted on the premises. A person shall not continue or cause or allow to be continued, activity in violation of such an order, except with permission of the enforcing agency to abate a dangerous condition or remove the violation, or except by court order. If an order to stop is not obeyed, the enforcing agency may apply to the circuit court of Washtenaw County for an order enjoining the violation of the order. This remedy is in addition to, and not in limitation of, any other remedy provided by law or ordinance, and does not prevent criminal prosecution for failure to obey the order.
- (e) Any person violating the provisions of this article shall become liable to the township for any expense or loss or damage occasioned by the township by reason of such violation.

(Ord. No. 97-163, 19, 2-28-97) Secs. 24-75—24-95. - Reserved.