

CHARTER TOWNSHIP OF YPSILANTI

PLANNING COMMISSION

7200 S. Huron River Drive, Ypsilanti, MI 48197

REGULAR MEETING AGENDA

Tuesday, May 24, 2022

6:30 P.M.

If you need any assistance due to a disability please contact the Planning Department at least 48 hours in advance of the meeting at planning@ytown.org or 734-485-3943.

1. CALL TO ORDER
2. ROLL CALL
3. APPROVAL OF THE MARCH 22, 2022 REGULAR MEETING MINUTES
4. APPROVAL OF AGENDA
5. PUBLIC HEARINGS
 - A. **DETROIT MOTOR PROPERTY OWNER LLC (aka DETROIT / ANN ARBOR KOA) – 6680 BUNTON ROAD - K-11-26-400-001 and -002** TO CONSIDER THE REQUEST FOR APPROVAL OF A CLASS A NON-CONFORMING USE DESIGNATION FOR EXISTING AND PROPOSED EXPANSION OF A CAMPGROUND AND RECREATIONAL VEHICLE PARK PER SECTION 1602 OF THE TOWNSHIP ZONING ORDINANCE
6. OLD BUSINESS
7. NEW BUSINESS
 - A. **EAGLE CREST GOLF COURSE – 1201 S HURON STREET - K -11-37-420-004** TO CONSIDER PRELIMINARY SITE PLAN APPLICATION FOR AN EASTERN MICHIGAN UNIVERSITY GOLF TRAINING FACILITY. THE PROJECT WILL INCLUDE A NEW 12,000 SQUARE FOOT PERFORMANCE CENTER, REMODELING EXISTING CLUBHOUSE FACILITY, AND A 2,200 SQUARE FOOT ADDITION
8. OPEN DISCUSSION FOR ISSUES NOT ON THE AGENDA
 - A. CORRESPONDENCE RECEIVED
 - B. PLANNING COMMISSION MEMBERS
 - C. MEMBERS OF THE AUDIENCE
9. TOWNSHIP BOARD REPRESENTATIVE REPORT
10. ZONING BOARD OF APPEALS REPRESENTATIVE REPORT
11. TOWNSHIP ATTORNEY REPORT
12. PLANNING DEPARTMENT REPORT
13. OTHER BUSINESS
14. ADJOURNMENT

**CHARTER TOWNSHIP OF YPSILANTI
PLANNING COMMISSION
Tuesday, March 22, 2022
6:30 pm**

COMMISSIONERS PRESENT

Bill Sinkule, Vice-Chair
Elizabeth El-Assadi
Gloria Peterson - Board Liaison
Larry Doe
Muddasar Tawakkul, President

COMMISSIONERS ABSENT

Larry Krieg, Secretary
Sally Richie

STAFF AND CONSULTANTS

Jason Iacoangeli, Planning Director
Belinda Kingsley, Director of Code Compliance
Megan Masson Minock, Carlisle Wortman Associates

i. CALL TO ORDER/ESTABLISH QUORUM

MOTION: Mr. Sinkule called the meeting to order at 6:30 pm.

ii. APPROVAL OF JANUARY 11, 2022, REGULAR MEETING MINUTES

MOTION: Mr. Doe **MOVED** to approve the Regular Meeting Minutes for January 11, 2022. The **MOTION** was **SECONDED** by Ms. El-Assadi and **PASSED** by unanimous consent.

iii. APPROVAL OF AGENDA

MOTION: Ms. El-Assadi **MOVED** to approve the agenda as presented. The **MOTION** was **SECONDED** by Ms. Peterson and **PASSED** by unanimous consent.

iv. PUBLIC HEARINGS

There were none.

v. CALL TO PUBLIC

- a. Lorisha Thornton expressed concern about the gun range coming to Ypsilanti due to the high rate of gun violence.
- b. Yann Button expressed concern over the planned gun range, agreeing with Lorisha Thornton, and suggested the Board think about what this would mean for the community.
- c. Rodrick Casey indicated that the people in his community did not wish for a gun range in the town and added that gun ranges were also locations for suicides.
- d. Henry McQueen expressed that funding going to the gun range should have been going to the education of young children.

- e. Rev. Dr. Laura Hunt expressed that promoting guns during this time was not a safe option.
- f. Anna Weatherspoon asked who would gain the benefits of a gun range and inquired about the purpose of the gun range.
- g. Rev. Anna Tayler McCannes expressed that they should not make a game of guns with the gun range and instead focus on activities and community centers for the children.

VI. OLD BUSINESS – None.

VII. NEW BUSINESS

- a. **RANGE USA -STAGE II - PLANNED DEVELOPMENT – 660 JAMES L. HART PARKWAY – K-11-17-361-021 TO CONSIDER REQUEST TO AMEND THE PLANNED DEVELOPMENT STAGE II APPROVAL ALONG WITH ASSOCIATED DEVELOPMENT AGREEMENT TO PROVIDE FOR AN INDOOR GUN RANGE (INDOOR RECREATION), CLASSROOM, AND RETAIL SALES**

Mr. Iacoangeli summarized the plan development process so far. The public hearing was on January 11 for this project. Stage One Approval was approved on March 1. He presented Stage 2 of the process for the Planning Commission's approval and added that they would review comments received from OHM and the Ypsilanti Community Utility Authority. He summarized how the Ypsilanti Township Fire Department, Washtenaw County Water Resources, and the Washtenaw County Road Commission had approved this project. The applicant still needed to pay the final invoices and pick up the required outside agency permits.

The site plan has not changed since the previous stage. It meets all the Zoning requirements and meets the approval of all outside agencies.

Mr. Sinkule asked if this was the space for the YMCA, and he responded that the proposed YMCA was to be located north of the Post office. Mr. Sinkule asked why the town of Ypsilanti rejected this project, and Mr. Iacoangeli answered that he was unaware.

Mr. Sinkule also asked if the gun range would negatively impact other future businesses nearby. Mr. Iacoangeli responded that the property was currently a parking lot and that the development would be an improvement to the real property. It was Mr. Iacoangeli's opinion that this business would not have a negative impact on the surrounding businesses one being Bank Supplies who sold the property and LaFontaine Automotive who was separated by a basin and woodlot.

Ms. El-Assadi asked for clarification on Phase 1 and its completion. She clarified that the Site plan was the same for stage 2. Mr. Iacoangeli indicated that Phase 1 was completed, and the site plans were the same and said that the planning commission was to make sure that the plans were consistent and approved stage 2 development.

Mr. Tawakkul asked if the Board required a final approval step, and Mr. Iacoangeli responded that the final step would be for the Township Board to review the Stage II approval and the development agreement tied to the Site Plan.

Ms. Peterson added that the company had come to them, not the other way around. She indicated that the company was all about gun safety. She expressed gratitude for the update.

Mr. Tawakkul asked if there was an age restriction and security protocols. Mr. Iacoangeli responded that the people had to be of the legal age, which in the State of Michigan is 18.

Ms. El-Assadi inquired about more clarification on how the company met all ordinance provisions, and no special considerations were given. Mr. Iacoangeli responded yes.

MOTION: Mr. Doe **MOVED** to recommend approval of Stage 2 Planned Development of Final Site Plan to the Ypsilanti Township Board of Trustees for Range USA, an indoor gun range to be located at 660 James L. Hart Parkway, parcel K-11-17-361-021 as the plan is in conformance with the Stage I Planned Development approval. The recommendation has the following conditions:

1. Applicant shall provide a clean set of Final Site Plan drawings that incorporate all of the remaining comments from staff and outside agencies.
2. Interior and exterior camera systems shall be held for 45 days and available to law enforcement on request.
3. The development is to include a minimum of two (2) EV parking spaces as a part of the overall off-street parking arrangement.
4. Range USA will agree to use eco-friendly landscaping and landscaping products for the development.
5. Applicant shall obtain all applicable outside agency permits.

The **MOTION** was **SECONDED** by El-Assadi. **Mr. Tawakkul (Nay), all others (Aye).** Motion **PASSED**.

VII. OPEN DISCUSSION FOR ISSUES NOT ON THE AGENDA

A. CORRESPONDENCE RECEIVED – Mr. Iacoangeli updated that the planning office had sent out correspondence. The Planning Commission received a letter from Van Buren Township regarding the Sumpter Road Corridor Plan. He announced that there was a PUD Public Hearing for two parcels on Clark Road and gave an invitation for the Planning Commission to attend their meeting on the senior housing unit project.

B. PLANNING COMMISSION MEMBERS - None

C. MEMBERS OF THE AUDIENCE - Alecia Dyer expressed concern over how they would hold the company accountable in the community and make sure an increase in gun sales would not lead to increased gun violence. She expressed concern over more gun range companies coming, and the businesses around the gun range may be affected. Ms. Dyer urged more time for consideration of this project. She expressed concern over the safety of the children over gun violence.

VIII. TOWNSHIP BOARD REPRESENTATIVE REPORT

None to report

IX. ZONING BOARD OF APPEALS REPRESENTATIVE REPORT

None to report

X. TOWNSHIP ATTORNEY REPORT

None to report

XI. PLANNING DEPARTMENT REPORT

Mr. Iacoangeli informed the Planning Commission that there were projects in the planning stage but none eligible for consideration for the April 12 meeting. Mr. Iacoangeli was asked about the Round Haus Pizza Shop. He added that the Round Haus project was always ongoing but based on the length of time since the project was approved that it would likely have to start over. Ms. Peterson inquired about the shipping container house, and Mr. Iacoangeli responded that he would contact those responsible for the project and have them remove all of the materials on-site and restore the lot. He would give the Commission and update at the next meeting.

Action Item: Mr. Iacoangeli will contact the company responsible for the shipping container house project and give the Planning Commission updates.

XII. OTHER BUSINESS

None to report

XIII. ADJOURNMENT

MOTION: Ms. Peterson **MOVED** to adjourn at 7:18 pm. The **MOTION** was **SECONDED** by Ms. El-Assadi and **PASSED** by unanimous consent.

Respectfully Submitted by: Minutes Services

CHARTER TOWNSHIP OF YPSILANTI

OFFICE OF COMMUNITY STANDARDS

Building Safety • Planning & Zoning • Ordinance Enforcement

Planning Commission

Class A Non-Conforming Use – Detroit / Ann Arbor KOA

6680 Bunton Road, Ypsilanti, MI 48197

Parcel K-11-26-400-001 and 002

May 17, 2022

PLANNING REQUEST:

The applicant is requesting consideration of a Class A Non-Conforming Use agreement with Ypsilanti Township for an existing Campground and RV Park located at 6680 Bunton Road known locally as the Detroit / Ann Arbor KOA. This Class A Non-Conforming Use designation is to allow for site expansions in the future.

APPLICANT:

Detroit Motown Property LLC, Josh Weissenstein (Land Lease America)
PO BOX 4392, Bozeman MT, 59772

SUMMARY OF REQUEST:

The property owner of 6680 Bunton Road, better known as Detroit / Ann Arbor KOA Campground and RV Park (the KOA), is seeking approval to be considered a Class A Non-Conforming Use. A Non-Conforming Use is defined by the Ordinance as “lots, structures, sites, or uses of land that do not conform to one (1) or more provisions of this Ordinance, but which were lawfully established prior to the date of adoption or amendment of this Ordinance. The KOA was lawfully established by the Township in July of 1976. The Planning Commission at the time voted to approve the site plan for the KOA which at the time was zoned Public Recreational Campground. Since that time the property has been re-zoned by the Township with subsequent zoning ordinance adoptions. Currently, the property is zoned R-3 One Family Residential. The current ordinance only allows for Campgrounds and RV parks on property zoned R-4 One Family Residential subject to conditions.

CROSS REFERENCES:

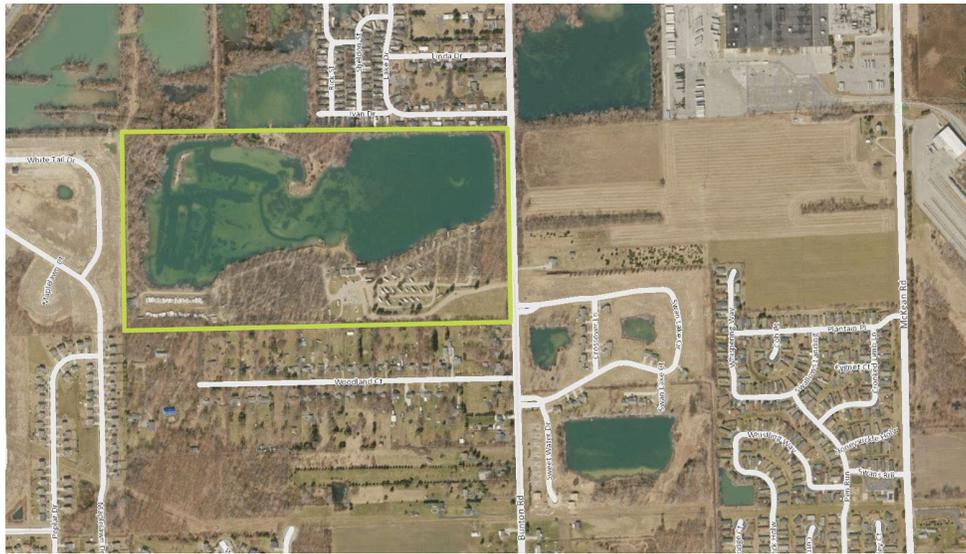
Township Zoning Ordinance:

Article XVIII. – Specific Use Provisions / Sec. 1852 Private or Public Recreation Vehicle Campground.

Article XXII. – Non-Conformities / Sec. 2202. – Class A Non-Conforming Designation.

Aerial Photograph(s) – 6680 Bunton

****Not to scale**



SUBJECT LOCATION:

The Detroit / KOA Campground and RV Park is located just to the south Textile Road on Bunton Road. Just to the north of Woodland Court.

SUBJECT SITE ZONING:

The parcel is currently zoned R-3, One Family Residential. The Campground and RV Park is a mix of rustic camp sites and RV sites clustered around unnamed water body.

ADJACENT USES, ZONING AND COMPREHENSIVE PLAN:

Direction	Use	Zoning	Future Land Use Designation
North	Mobile Home Park	MHP	Open Space Preservation
South	Residential	R-3	Open Space Preservation
East	Agricultural / Vacant	R-3	Open Space Preservation
West	Residential	PD	Open Space Preservation

Analysis:

The Class A Non-Conforming Designation has to meet the following conditions of eligibility:

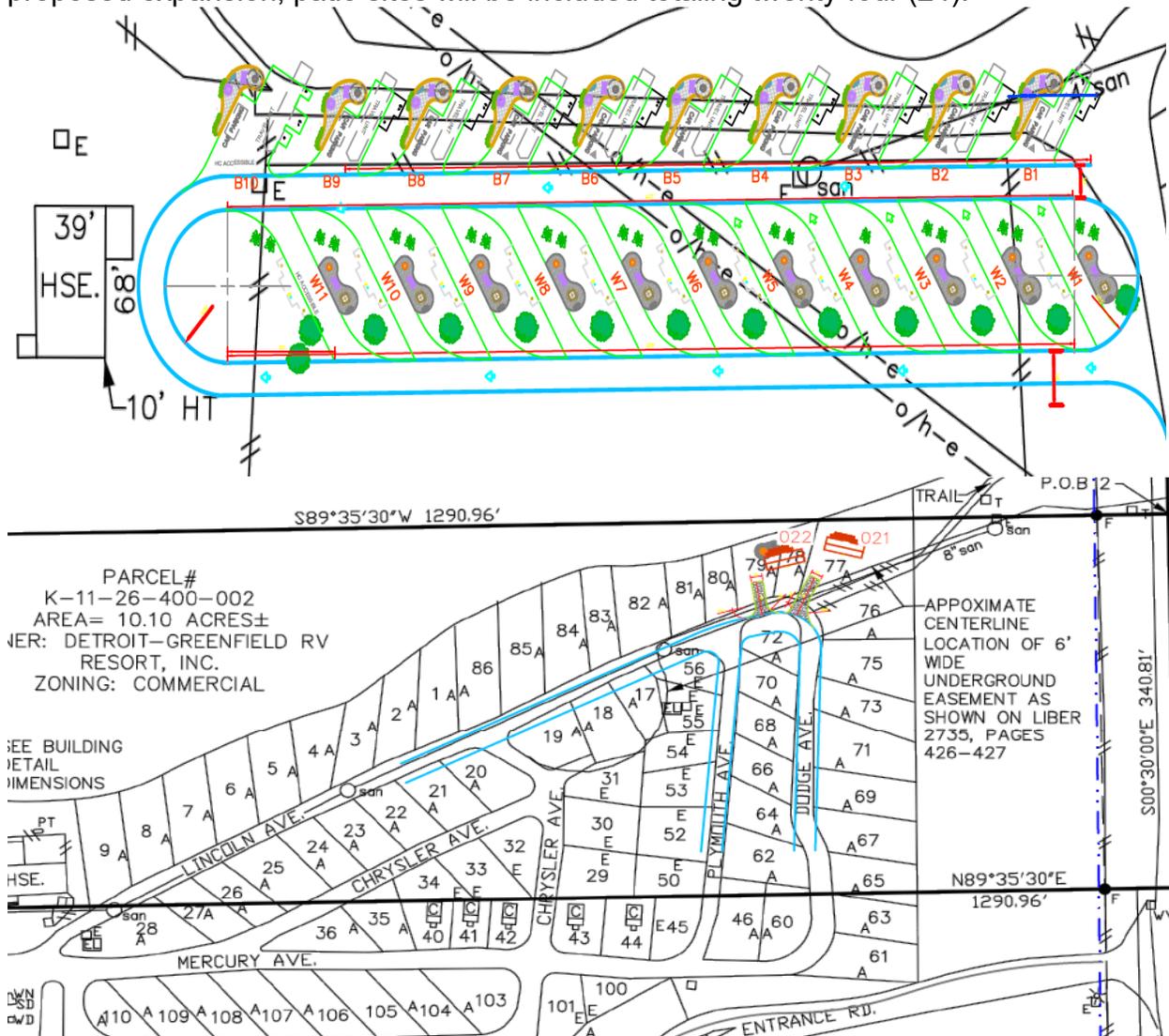
1. A determination that the structure or use of land is nonconforming as defined in this ordinance. ***The use of the property is not an allowable use under the current standards although it was lawfully established in 1976 under a past Zoning Ordinance.***
2. The nonconformity does not significantly depress the value of nearby properties. ***The use of the property as a Campground and RV Park has not had an effect to depress the property value of nearby homes or property in the neighborhood.***
3. The nonconformity is not contrary to the public health, safety, and welfare. ***The use of the property as a Campground is not contrary to public health, safety, and welfare.***
4. No useful purpose would be served by the strict application of requirements for such a nonconformity under this ordinance. ***The Campground use in this location is consistent with the Future Land Use plan and the designation of Open Space Preservation. No useful purpose would be gained by a strict application of the requirements for a nonconformity.***
5. Signage: Signage associated with the use shall be in compliance with Section 2109 Signs. ***The current signage meets the requirements of the existing ordinance.***
6. Plan for site improvements: ***A plan for site improvements has been submitted in accordance with Section 2115 (site plan review) and section 2206 (nonconforming sites). The Planning Commission will need to determine that the plans are sufficient.***
7. Other conditions may be attached to the approval to assure that the structure or use of land does not become contrary to the public, health, safety or welfare, or spirit or purpose of the Zoning Ordinance. ***The Planning Department offers the following conditions be attached to the approval of the Class A Non-Conforming Use Agreement and Site Plan.***
 - 1) A Class A Non-Conforming Use Agreement shall be entered into between Detroit / Ann Arbor KOA and Ypsilanti Township that will pertain to the continued use of the property as a Campground and RV Park.
 - 2) No recreational vehicle (RV) shall be used as a permanent place of abode, or dwelling, for indefinite periods of time.
 - 3) The KOA will be required to register RV guests as extended stays after thirty (30) consecutive days and shall provide the Township with the list of extended stays and the length of stay at the Townships request.
 - 4) No external appurtenances or accessory buildings, such as sheds, carports, cabanas or patios may be attached to any RV.

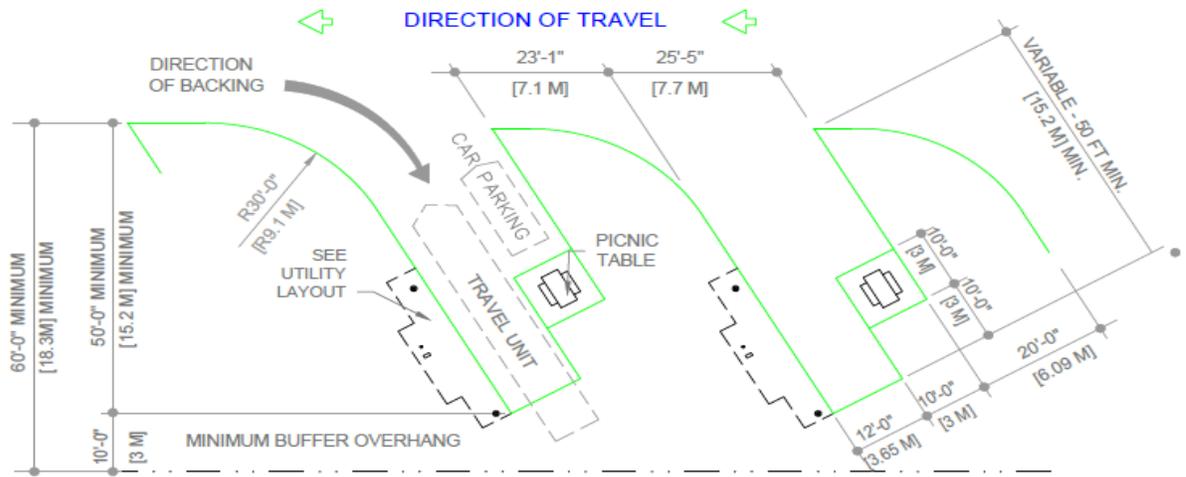
- 5) Applicant shall obtain all necessary building and other applicable permits including but not limited to building, electrical, mechanical, SESC, EGLE, zoning, etc.
- 6) The outdoor storage of RV's, boats, "pop-up" campers, or other recreation related vehicles is strictly prohibited on property.

Site Plan Review:

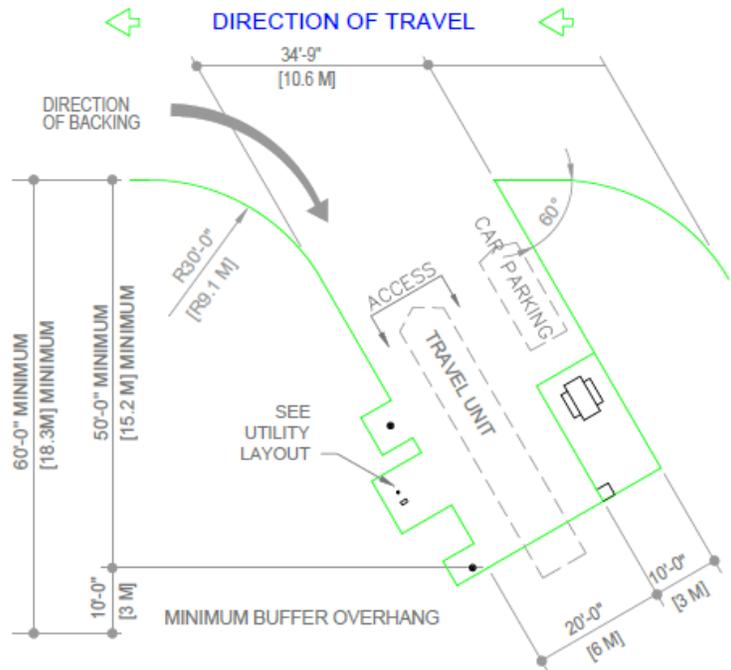
The Detroit / Ann Arbor KOA has submitted Site Plan along with the Class A Non-Conforming Use request. The Planning Department has reviewed the Site Plan against the Zoning Ordinance and has the following comments:

The applicant has organized the site plan into two (2) project areas the East Expansion and Cabin addition. The West Expansion proposes the addition of twenty-one (21) RV spaces. Eleven (11) pull through – full hook up spaces, one (1) of which is ADA compliant. Ten (10) back in – full hook up spaces, one (1) of which is ADA compliant. The cabin addition proposes two (2) new cabins abutting the lake north of Entrance Rd. With both proposed expansion, patio sites will be included totaling twenty-four (24).

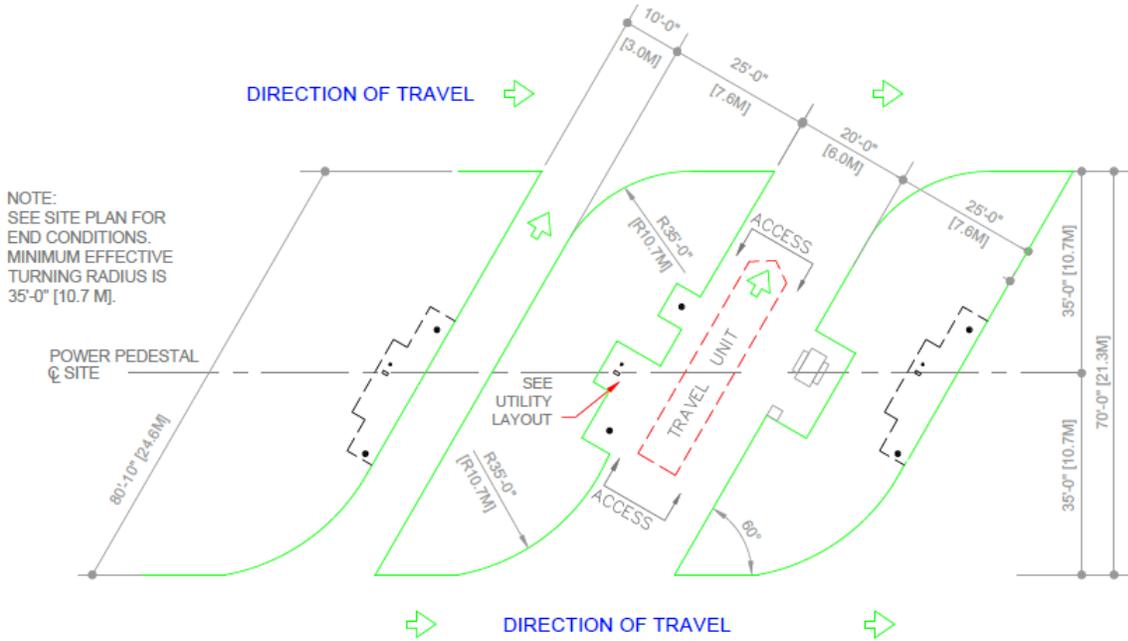




VEHICLE/RV BACK-IN SITE 12'+20' - 60°
 SCALE: 1" = 20'-0"



ACCESSIBLE VEHICLE/RV BACK-IN SITE - 60°
 SCALE: 1" = 20'-0"



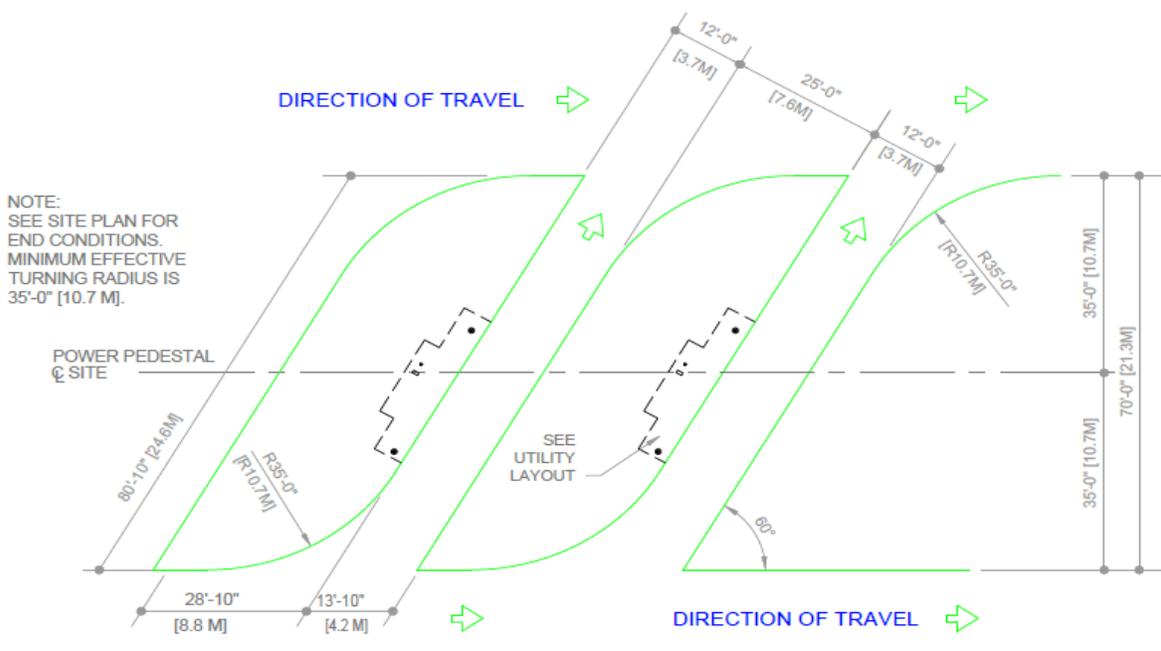
NOTE:
SEE SITE PLAN FOR
END CONDITIONS.
MINIMUM EFFECTIVE
TURNING RADIUS IS
35'-0" [10.7 M].

POWER PEDESTAL
@ SITE

NOTE: USABLE LENGTH OF TRAVEL UNIT SPACE 75'-0" [22.8 M]

70FT - ACCESSIBLE PULL-THROUGH SITE - 60°

SCALE: 1" = 20'-0"
MARCH 2011



NOTE:
SEE SITE PLAN FOR
END CONDITIONS.
MINIMUM EFFECTIVE
TURNING RADIUS IS
35'-0" [10.7 M].

POWER PEDESTAL
@ SITE

NOTE: USABLE LENGTH OF TRAVEL UNIT SPACE 75'-0" [22.8 M]

12+25 70FT - PULL-THROUGH SITE - 60°

SCALE: 1" = 20'-0"
APRIL 2016

Site Plan Review (Continued):

The West Expansion will maintain a setback of approximately 150ft. The existing storage building has a setback of approximately 15ft. The cabin additions located on the east side of the property will be setback approximately 25ft from the lake. The KOA Campground currently meets all setback standards per Article 11 – Specific Use Provisions. Sec. 1146. – Private or public recreation vehicle campgrounds: 5. Yard and setback requirements.

Recommendations:

We recommend administrative site plan approval with the following conditions:

1. Applicant must replace and maintain existing fence that runs along the southern property boundary with a 4' to 6' tall chain-link fence per Article 11 – Specific Use Provisions. Sec. 1146. – Private or public recreation vehicle campgrounds: 6. Buffers and landscaping. The Planning Commission has the discretion to request a specific fence material and height other than that listed above.
2. Seasonal RV storage on the west side of the property abutting the Village of Majestic Lakes Subdivision shall be prohibited.
3. All asphalt millings must be removed from the property. Any paving, grading, or movement of materials / soils need to go through Township review. All applicable reviews must be conducted and permits must be issued.
4. Applicant must pave and maintain the curtain entrance off of Bunton Rd.
5. Applicant must combine both parcels into one: K-11-26-400-001 & K-11-26-400-002.
6. Applicant must provide landscaping per Article 11 – Specific Use Provisions. Sec. 1146. – Private or public recreation vehicle campgrounds: 6. Buffers and landscaping.

Suggested Motions:

The following suggested motions are provided to assist the Planning Commission in make a complete and appropriate motion for this application. The PC may utilize, add or reject any portion of the suggested motion or any conditions suggest herein, as deemed appropriate.

Table:

“I move to table the request for 6680 Bunton Rd to grant Class A Non-Conforming Use Designation and site plan approval for the site expansion of 11 pull through – full hookup sites one (1) of which is handicap accessible, 10 back in – full hook up sites one (1) of which is handicap accessible, two (2) deluxe cabin sites, and 24 total patio sites.”

Approve:

“I move to approve the request to grant Class A Non-Conforming Use Designation to 6680 Bunton Rd. and site plan approval for the site expansion of 11 pull through – full hookup sites one (1) of which is handicap accessible, 10 back in – full hook up sites one (1) of

which is handicap accessible, two (2) deluxe cabin sites, and 24 total patio sites with the following conditions:"

Denial:

"I move to deny the request to grant Class A Non-Conforming Use Designation to 6680 Bunton Rd. and site plan approval for the site expansion of 11 pull through – full hookup sites one (1) of which is handicap accessible, 10 back in – full hook up sites one (1) of which is handicap accessible, two (2) deluxe cabin sites, and 24 total patio sites with the following conditions:"

Respectfully Submitted,

Fletcher Reyher

Fletcher Reyher | Staff Planner

CLASS A NON-CONFORMING DESIGNATION APPLICATION

I. PROJECT LOCATION

Address: 6680 Bunton Road Parcel ID #: K-11- 26-400-001 and 002 Zoning R3
Lot Number: _____ Subdivision: _____

II. APPLICANT INFORMATION

Applicant: Detroit Motown Property Owner LLC Phone: _____
Address: 6680 Bunton Road City: Ypsilanti State: MI Zip: 48197
Fax: _____ Email: todd@landleaseamerica.com
Property Owner: Detroit Motown Property Owner LLC Phone: _____
Address: PO Box 4392 City: Bozeman State: MT Zip: 59772
Fax: _____ Email: josh@landleaseamerica.com

III. FEES

Total: \$2,000	Breakdown of fee:	Non-refundable:	\$ 1,000
		Refundable:	\$ 1,000

IV. APPLICANT SIGNATURE

The following are attached to this application:

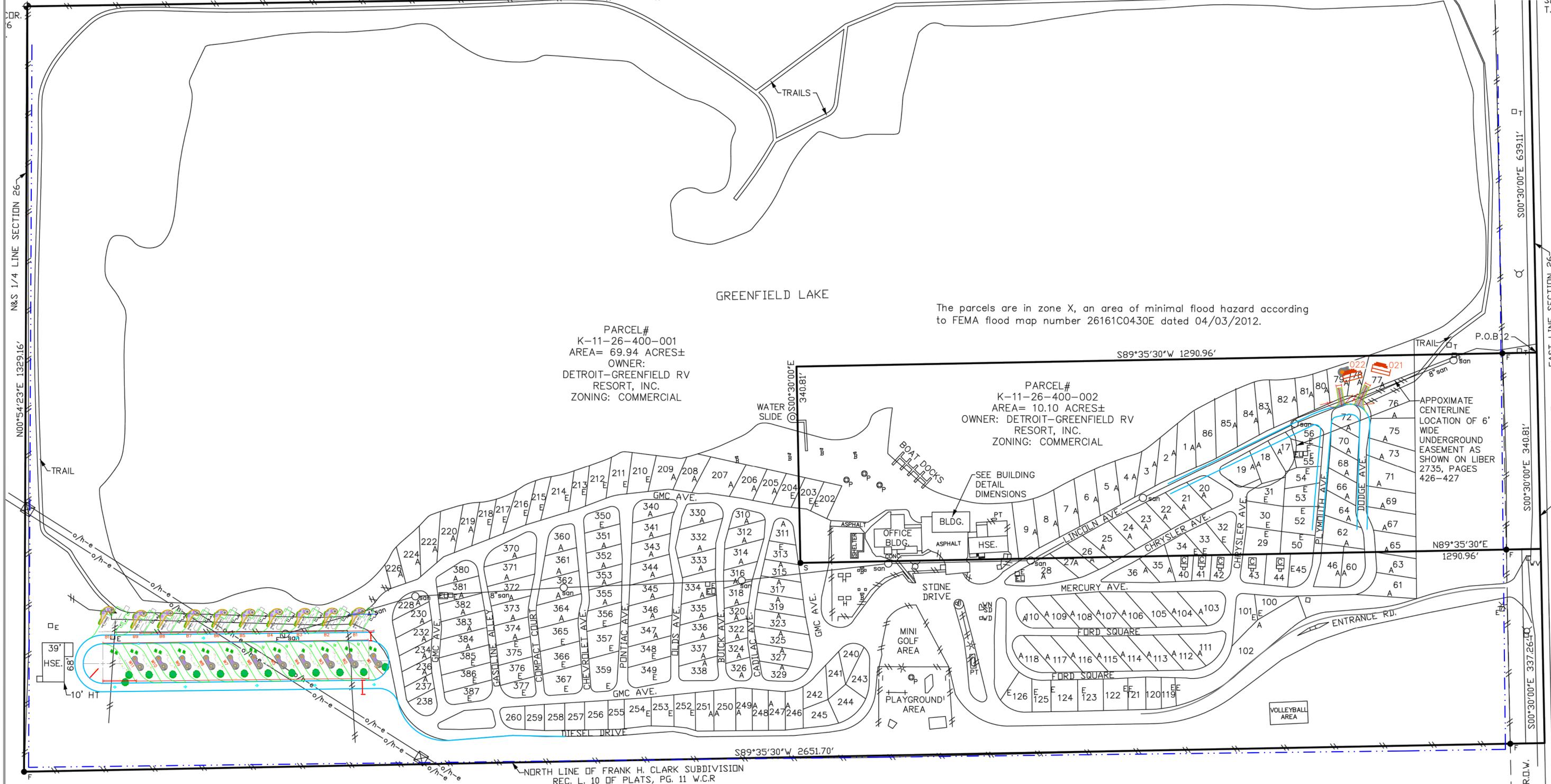
- Name(s) and address(es) of all record owner(s) and proof of ownership.
 - If applicant is not the fee-simple owner, the owner's signed authorization for application must be attached to this application.
- Scaled and accurate survey drawing, correlated with a legal description and showing all existing buildings, drives and other improvements.
 - A site plan required, if requested by the planning commission, which shall meet all the requirements of Section 2115 of the zoning ordinance: Attached Not Applicable
- Section of Zoning Ordinance involved in this request: _____
- Described proposed use: Campground / RV Park

Josh Weissenstein
Applicant Signature

Josh Weissenstein
Print Name

2021/11/24
Date

Please note: Application cannot be appealed to the Zoning Board of Appeals. If denied by the Planning Commission, re-application can be made to the Planning Commission after 365 days, after the date of this application, except on the grounds of new evidence or proof of changed conditions found by the Planning Commission to be valid.



PARCEL#
K-11-26-400-001
AREA= 69.94 ACRES±
OWNER:
DETROIT-GREENFIELD RV
RESORT, INC.
ZONING: COMMERCIAL

The parcels are in zone X, an area of minimal flood hazard according to FEMA flood map number 26161C0430E dated 04/03/2012.

PARCEL#
K-11-26-400-002
AREA= 10.10 ACRES±
OWNER: DETROIT-GREENFIELD RV
RESORT, INC.
ZONING: COMMERCIAL

APPROXIMATE
CENTERLINE
LOCATION OF 6'
WIDE
UNDERGROUND
EASEMENT AS
SHOWN ON LIBER
2735, PAGES
426-427

LEGEND:



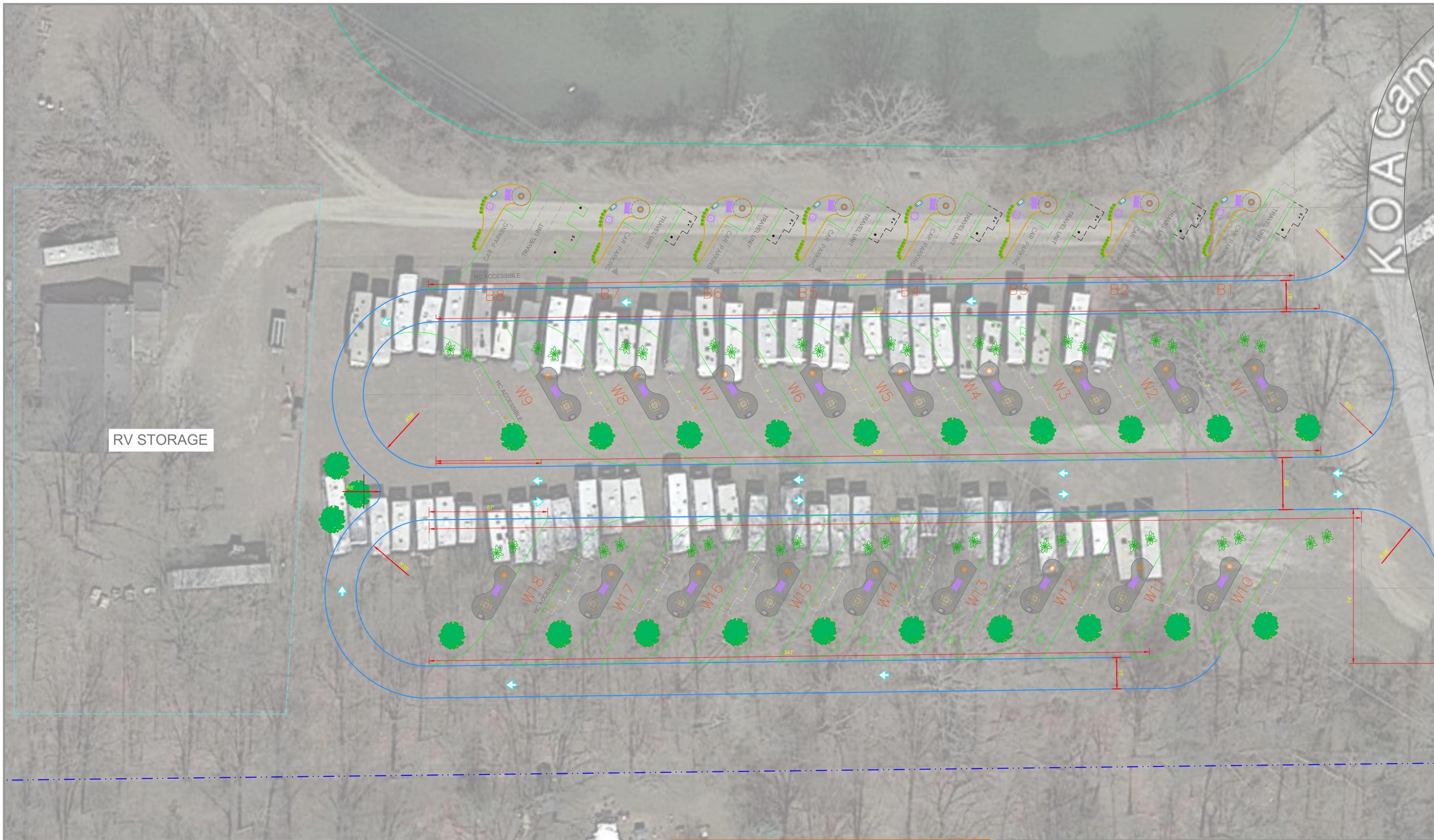
SITE COUNT:
11 PULL THROUGH – FULL HOOK UP
(1 HANDICAP ACCESSIBLE)
10 BACK IN – FULL HOOK UP
(1 HANDICAP ACCESSIBLE)
2 DELUXE CABIN SITES
24 TOTAL ADDITIONAL PATIO SITES



DETROIT / ANN ARBOR, MI KOA
KAMPGROUND DEVELOPMENT PLAN
FRANCHISE NO. 22 - 178
11.09.2021
PRELIMINARY NO. 1
SHEET: 2 OF 3
SCALE: 1" = 100'

PREPARED BY: J. KREIDLER
KAMPGROUNDS OF AMERICA, INC., BILLINGS, MONTANA





WEST EXPANSION

SITE COUNT:
 18 PULL THROUGH – FULL HOOK UP
 (2 HANDICAP ACCESSIBLE)
 8 BACK IN – FULL HOOK UP
 (1 HANDICAP ACCESSIBLE)

 26 TOTAL ADDITIONAL PATIO SITES



DETROIT / ANN ARBOR, MI KOA
 KAMPGROUND DEVELOPMENT PLAN
 FRANCHISE NO. 22 – 178
 11.09.2021
 PRELIMINARY NO. 1
 SHEET: 1 OF 4
 SCALE: 1" = 20'
 PREPARED BY: J. KREIDLER
 KAMPGROUNDS OF AMERICA, INC., BILLINGS, MONTANA



CABIN ADDITIONS

SITE COUNT:

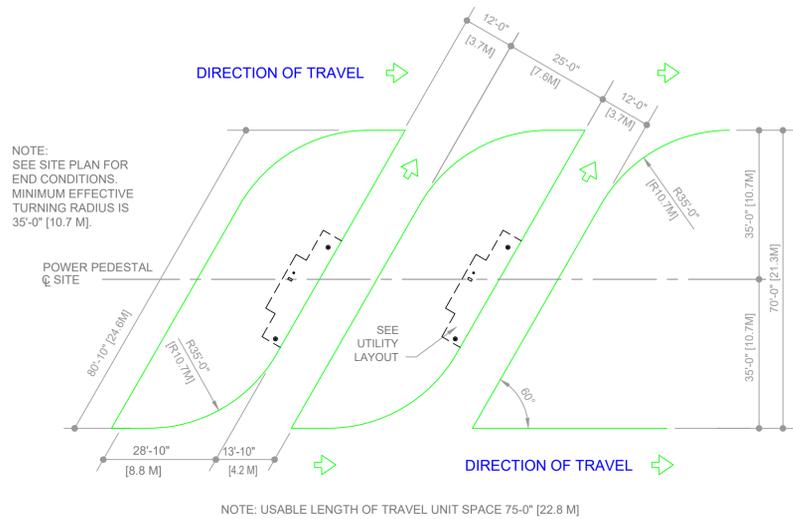
2 ADDITIONAL CABIN SITES



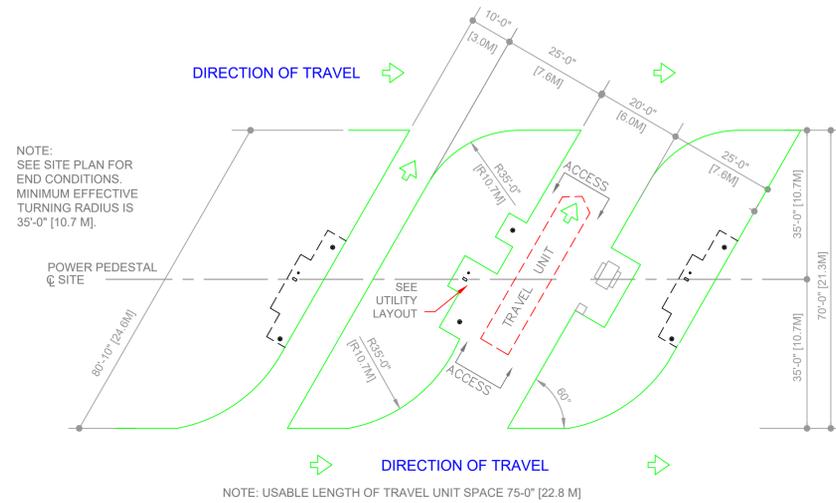
PREPARED BY: J. KREIDLER

KAMPGROUNDS OF AMERICA, INC., BILLINGS, MONTANA

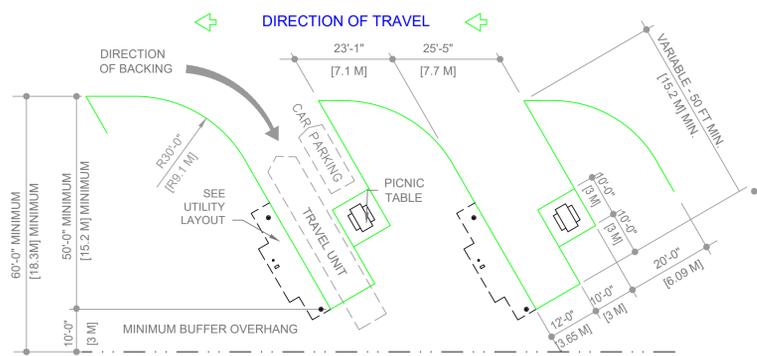
DETROIT / ANN ARBOR, MI KOA
KAMPGROUND DEVELOPMENT PLAN
FRANCHISE NO. 22 - 178
11.09.2021
PRELIMINARY NO. 1
SHEET: 3 OF 4
SCALE: 1" = 20'



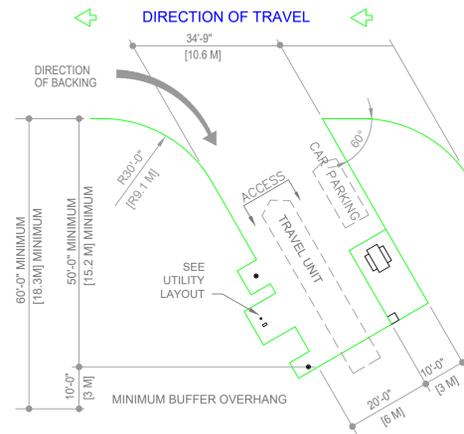
NOTE: USABLE LENGTH OF TRAVEL UNIT SPACE 75'-0" [22.8 M]
12+25 70FT - PULL-THROUGH SITE - 60°
 SCALE: 1" = 20'-0"
 APRIL 2016



NOTE: USABLE LENGTH OF TRAVEL UNIT SPACE 75'-0" [22.8 M]
70FT - ACCESSIBLE PULL-THROUGH SITE - 60°
 SCALE: 1" = 20'-0"
 MARCH 2011



VEHICLE/RV BACK-IN SITE 12'+20' - 60°
 SCALE: 1" = 20'-0"



ACCESSIBLE VEHICLE/RV BACK-IN SITE - 60°
 SCALE: 1" = 20'-0"



STANDARD SITE DETAILS



DETROIT / ANN ARBOR, MI KOA
 KAMPGROUND DEVELOPMENT PLAN
 FRANCHISE NO. 22 - 178
 11.09.2021
 PRELIMINARY NO. 1
 SHEET: 4 OF 4
 SCALE: 1" = 20'

PREPARED BY: J. KREIDLER
 KAMPGROUNDS OF AMERICA, INC., BILLINGS, MONTANA

CHARTER TOWNSHIP OF YPSILANTI

OFFICE OF COMMUNITY STANDARDS

Building Safety • Planning & Zoning • Ordinance Enforcement

**Staff Report
EMU Golf Facility
1201 S. Huron River Drive
Preliminary Site Plan Review**

May 16, 2022

CASE LOCATION AND SUMMARY

The Planning Department is in receipt of a preliminary site plan application from Scott Storrer from Eastern Michigan University for a golf training facility to be located at the Eagle Crest golf course at 1201 S. Huron Street. The applicant is seeking approval to a new 12,000 square foot performance center for the Eastern Michigan University Golf Program. The project would also include remodeling the existing clubhouse facility to install four (4) golf simulators for year round use. The remodel would include a new 2,200 square foot addition.

APPLICANT

Scott Storrer
Eastern Michigan University
875 Ann Street, 204 Pierce Hall
Ypsilanti MI, 48197

CROSS REFERENCES

Zoning Ordinance citations:

- Article V, Form Based Districts (Town Center TC)
- Article IX, Site Plan Review

ANALYSIS

The plan has been reviewed by Township staff and consultants in accordance with our procedures.

Planning Consultants (Carlisle/Wortman Associates): CWA reviewed the preliminary site plan and has recommended approval in their letter dated April 19, 2022. All of CWA's comments have been addressed by the applicant.

Engineering Consultants (OHM): The Township Engineer recommended approval for this stage of the process in their April 26, 2022 review letter. OHM has provided preliminary detailed engineering comments that will be addressed at the time of Final Site Plan and Detailed Engineering.

Ypsilanti Community Utilities Authority: YCUA reviewing agent Scott Westover has recommended preliminary site plan approval in a letter dated April 29, 2022. YCUA still has some outstanding comments with regard to the sanitary sewer design. The comments will need to be addressed at the time of Final Site Plan and Detailed Engineering.

Ypsilanti Township Fire Department: YTFD Fire Marshall Steve Wallgren recommends preliminary site plan approval with the conditions that a Knox Box be installed on the new building and that Fire Suppression Calculations are provided during the Building Permit review process.

Washtenaw County Water Resources Commission: WCWRC reviewing agent Theresa Marsik has comments as they pertain to a resubmittal of plans in a letter dated August 12, 2021. The applicant is continuing to work with WCWRC to resolve outstanding issues with regard to storm water. The applicant will have to secure final approval prior to be approved for Final Site Plan and Detailed Engineering.

Washtenaw County Road Commission: The Road Commission will not be requiring a permit for this project as it will not substantially contribute to additional traffic. See email dated July 6, 2021 from Project Manager Gary Streight.

Suggested motions: *The following suggested motions and conditions are provided to assist the Planning Commission in making the most appropriate motion for this application. The Commission may utilize, add or reject any conditions suggested herein, as they deem appropriate.*

Preliminary Site Plan Approval

Motion to table:

*“I move to table the request for **Preliminary Site Plan** approval for the EMU Golf Training Facility based on.....*

Motion to approve:

*“I move to approve the request for a **Preliminary Site Plan** for the EMU Golf Training Facility to be located at 1201 S. Huron Street, parcel K-11-37-420-004 with the following conditions:*

- 1. Applicant shall address remaining review comments from consultants, agencies, and departments.*
- 2. Applicant shall obtain all applicable outside agency permits.*

Motion to deny:

*“I move to deny the request for **Preliminary Site Plan** approval for the EMU Golf Training Facility to be located at 1201 S. Huron Street, parcel K-11-37-420-004, due to the following reasons:*

- 1. _____*
- 2. _____”*

Respectfully submitted,

Jason Iacoangeli

Jason Iacoangeli, AICP
Planning Director

Planning Director's Report

Project Name: EMU Golf Training Facility (GameAbove)

Location: 1201 S. Huron Street

Date: 05.05.2022

- | | |
|---|---|
| <input checked="" type="checkbox"/> Full Preliminary Site Plan Review # 2
<input type="checkbox"/> Sketch Preliminary Site Plan Review #
<input type="checkbox"/> Administrative Preliminary Site Plan Review #
<input type="checkbox"/> Detailed Engineering/Final Site Plan Review #
<input type="checkbox"/> Special Use Permit
<input type="checkbox"/> Public Hearing | <input type="checkbox"/> Rezoning
<input type="checkbox"/> Tentative Preliminary Plat
<input type="checkbox"/> Final Preliminary Plat
<input type="checkbox"/> Final Plat Process
<input type="checkbox"/> Planned Development Stage I
<input type="checkbox"/> Planned Development Stage II |
|---|---|

Contact / Reviewer	Consultants, Departments, & Agencies	Approved	Approved with Conditions	Denied	N/A	See email/letter attached or comments below
Jason Iacoangeli, Planning Director	Township Planning Department	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See Directors Comments Below
Carlisle/Wortman Associates	Planning Consultant	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 04.19.22
OHM / Stantec	Engineering Consultant	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 04.26.2022
Steve Wallgren, Fire Marshal	Township Fire Department	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 07.06.2021
Dave Bellers, Building Official	Township Building Department	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Brian McCleery, Deputy Assessor	Township Assessing Department	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Scott Westover, Engineering Manager	Ypsilanti Community Utilities Authority	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 04.26.2022
Gary Streight, Project Manager	Washtenaw County Road Commission	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	See email dated 07.06.2021
Theresa Marsik, Stormwater Engineer	Washtenaw County Water Resources Commission	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Plans under Storm Water Review
James Drury, Permit Agent	Michigan Department of Transportation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Planning Director's Recommended Action:

At this time EMU Golf Training Facility is eligible for consideration for Preliminary Site Plan approval by the Planning Commission. This project is being placed on the Planning Commission agenda for Tuesday, May 24th 2022 at the regularly scheduled meeting. It would be the Planning Departments recommendation that the Planning Commission grant Preliminary Site Plan approval as this project meets the conditions of Township Zoning Ordinance for a facility of this type. The approval should be contingent on the applicant addressing the remaining engineering comments required as a part of the Final Site Plan / Detailed Engineering Design.



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: June 21, 2021
April 19, 2022

**Preliminary Site Plan
For
Ypsilanti Charter Township, Michigan**

Applicant: Scott Storrer, EMU
Project Name: EMU Golf Practice Facility
Plan Date: June 10, 2021
Location: 1201 S. Huron Street
Zoning: RM-2, Multiple Family Residential
Action Requested: Preliminary Site Plan Approval

PROJECT AND SITE DESCRIPTION

An application has been submitted for an addition to the Eagle Crest Golf Course clubhouse and the construction of a new +/- 12,000 sq/ft player performance center to be used by the men's and women's Eastern Michigan University golf teams. The purpose of the 758 sq/ft clubhouse addition is to install four (4) golf simulators.

The new player performance center is a multi-purpose building that includes two levels. The first level includes meeting rooms, coaches room, players lounge, and a kitchenette. The second level includes the short game practice areas, hitting stations, two (2) simulators, locker room, bag racks, and club fixing area.

The proposed addition and new building are located just east of the existing clubhouse. The area of the addition and new facility is currently grass. Other site improvements include new landscaping and lighting. Due some small reconfiguring of the parking lot the applicant will lose three (3) parking spaces. The proposed addition and new building are considered permitted uses.

In 1986, the Township and Eastern Michigan University entered into an agreement where the Township would lease the property to the University to develop the hotel and conference center and the golf course. I have read the agreement and do not think the addition or new player performance center are in violation of any land use regulations in the agreement. In previous reviews, we had asked the applicant to clarify what should happen to the buildings and their use if there is a change in user, especially the performance center.

Their response:

The addition and new building are proposed to enhance and supplement the opportunities for golfers from both the general public and Eastern Michigan University students. Given the specialized nature of the site and buildings, the potential for a change in use is highly unlikely. The use of the facility does not change whether the University is using it or not.

Location of Subject Property:

General Location of proposed work:



Surrounding Property Details:

The proposed golf facility is completely surrounded by the golf course, and hotel. Surrounding uses and zoning to the entire property include:

Direction	Zoning	Use
North	RM-2	Township Park

South	NA / IRO	Ford Lake / Vacant
East	NA	Ford Lake
West	B3	Various Commercial Uses

Size of Site:

The total area of the subject site is +/-140 acres

Current Use of Site:

The site is currently Golf Course and Hotel

Proposed Use of Site:

Golf Course and Hotel with additional accessory uses

MASTER PLAN

The future land use plan designates the proposed site as a Township Core, which is intended to be the central core of the township. It includes the governmental center of the township with the Civic Center, County Courthouse, and the district library. Huron Street and the immediately surrounding area is meant to host a mix of uses from multiple-family residential to commercial to light industrial. The continued and improved use of the property is consistent with the Master Plan.

Items to be Addressed: None

NATURAL RESOURCES

The area of the proposed work is turf grass. No natural resources exist at this location.

Items to be Addressed: None

HEIGHT, BULK, DENSITY AND AREA

Bulk requirements are set forth in Sec 306.

		Required / Allowed	Provided	Complies with Ordinance
Setback	Front	30 feet	+30 feet	Complies
	Rear	30 feet	+30 feet	Complies
	Side	30 feet	+30 feet	Complies
Building Height (Feet)		35 feet	+/- 28 feet as measured in the zoning ordinance	Complies
Building Height (Stories)		3	2	Complies

The addition and new building meet the requirements of the RM-2 zoning district.

Items to be Addressed: None

SITE ACCESS, CIRCULATION, AND TRAFFIC IMPACTS

The site will be accessed by the existing driveway and parking lot. There are no changes to access and circulation.

Items to be Addressed: None

PARKING AND LOADING

Section 13.06.G of the Zoning Ordinance requires:

Parking

	Required	Provided	Compliance
Golf Course w restaurant	Six for each one golf hole and one for each one employee, plus spaces required for each accessory use such as a restaurant or bar. 18 x 6 + 6 employees: 114 spaces	155	Complies
Restaurant	One for each 75 square feet of usable floor area or one for each two persons allowed within the maximum occupancy load as established by local, county or state fire, building or health codes, whichever is the greater. 1,275 sq.ft / 75 = 17 spaces		
Barrier Free	8	8	
Total	131	155 including 8 ADA spaces	

The site is currently under parked by ordinance requirements. In addition, the applicant notes that the simulator will be used in inclement weather, when the course is not open or playable, so the use will be non-concurrently with primary use of the golf course. Parking is sufficient.

Items to be Addressed: None

LIGHTING

A lighting plan is provided. New lighting includes thirty-eight (38) undermounted lights; and seven (7) bollard lights. Photometric levels and light fixture meet ordinance requirements.

Items to be Addressed: None

LANDSCAPING AND OPEN SPACE STANDARDS AND REQUIREMENTS

	Required	Provided	Complies
Plan prepared and stamped by registered Landscape Architect	Plan prepared and stamped by registered Landscape Architect	Plan was not stamped by a registered architect	Complies
General: 1 tree per 1000 sf of lawn area and 1 shrub per 500 sf of lawn area	7,414 sq/ft = 7 trees, 15 shrubs	7 trees and 15 shrubs	Complies

Items to be Addressed: None

FLOOR PLANS AND ELEVATIONS

Floor plans and elevations have been provided. The performance center and simulator addition is proposed with the same materials of masonry siding, aluminum louver, aluminum siding, and glass.

In previous reviews we noted that for the simulator addition, the south elevation is the visual interesting elevation with lots of glass as it looks out over the golf course, but the northern elevation facing the parking lot is rather stark. We asked for consideration of some form of fenestration or is that not possible due to the direction and layout of the simulators?

For the performance center, we noted that the north, south, and east elevations incorporate glass, however, the western elevations which will be visible from the hotel parking lot has no

windows or openings. Is there a way to incorporate some form of fenestration on the western elevation?

The applicant noted that the simulators are located on the northern elevation and adding additional fenestration is not possible. For the performing center they note that the western elevation is the driving practice area and so they want to limited glass due to damage by golf balls. They note large glass curtain walls have been provided along the northern and southern elevations to compensate for lack of transparency along western elevation.

Items to be Addressed: None

DUMPSTER ENCLOSER AND OTHER FEATURES

The applicant does not indicate a new dumpster for this use. The applicant confirms that the existing dumpers will be used.

Items to be Addressed: None

STORMWATER AND UTILITIES

We defer to the Washtenaw County Water Resource Commission, Township Engineer and YUCA regarding stormwater and utilities.

We defer to the appropriate agencies for further comment of stormwater and utilities.

RECOMMENDATIONS

We strongly support the significant investment and recommend preliminary site plan approval.



CARLISLE/WORTMAN ASSOC., INC.

Benjamin R. Carlisle, AICP, LEED AP

Principal



April 26, 2022

Mr. Jason Iacoangeli
Township Planning Director
Charter Township of Ypsilanti
7200 S. Huron River Drive
Ypsilanti, MI 48197

RE: EMU Golf Training Facility
1201 Huron St, Ypsilanti, MI 48197
Site Plan Review #2

Dear Mr. Iacoangeli:

We have completed the second site plan review of the plans dated April 14, 2022 and received by OHM Advisors on April 18, 2022.

At this time, the plans are recommended for approval. The following comments shall be addressed in the detailed engineering submittal process.

A brief description of the project has been provided below (Section A), followed by preliminary detailed engineering comments (Section B) and a list of anticipated required permits and approvals (Section C). Comments in Section B are detailed in nature, do not influence the overall site layout, and can be addressed during the detailed engineering drawing submittal.

A. PROJECT AND SITE DESCRIPTION

The project is proposing a new building to the northeast of the Marriott Hotel and west of the Eagle Crest Golf Club, which will be used as an indoor Game Above Golf Performance Center; additionally, a 2200 square-foot addition to the existing Eagle Crest Golf Club is also proposed, with the intent of housing golf simulators. The south section of the existing parking lot is to be removed for construction and reconstructed after the building is finished. The applicant is proposing private sanitary sewer, water main, and storm sewer.

B. PRELIMINARY DETAILED ENGINEERING PLAN COMMENTS

The following comments shall be addressed by the applicant during the detailed engineering drawing submittal, and do not affect the recommendation for approval to the Township of Ypsilanti Planning Commission. It should be noted that this is not an all-inclusive list and additional comments may be generated as new information is presented.

1. The applicant shall provide profiles for all utilities (water, sanitary, and storm sewer) on the plans. These profiles shall include diameters, materials, lengths, slopes, and services. In addition, the hydraulic grade lines shall be clearly indicated on all storm sewer profiles.
2. The applicant shall provide a utility crossing table with the engineering submittal to ensure proper clearance between existing and proposed utilities.



3. The applicant shall note that a minimum of 10-ft horizontal separation between watermain and sanitary and storm sewers. Additionally, a minimum of 5-ft horizontal separation shall be provided between the water main and other underground utilities.
4. The applicant shall provide proposed drainage area and updated storm water calculations to ensure that the increase in impervious surface can be properly managed with the existing infrastructure and detention basins. Additionally, the applicant shall show all roof drains on the plan to verify the drainage course.
5. The applicant shall provide the dimensions of the barrier free space and spot elevations at all four corners of proposed barrier-free parking space, access aisle, ramps, and level landings, as well as at 50-foot intervals along all sidewalks to ensure ADA compliance. The applicant shall note that the cross slope shall not exceed 2%.
6. The applicant shall include all pavement, sidewalk, and curb and gutter details within the plan set.
7. The applicant shall note that proposed landscaping shall not be placed directly above any existing or proposed utilities and shall revise accordingly.
8. The applicant shall provide an engineer's estimate of probable cost for the project with the final detailed engineering submittal.
9. Applicable Ypsilanti Township Standard Detail Sheets, including SESC, shall be included in the plan set. The applicant shall verify any details provided on the plan set do not conflict with the Ypsilanti Township Standard Detail Sheets. If so, the Ypsilanti Township Standard Detail Sheets shall govern.

C. REQUIRED PERMITS & APPROVALS

The following outside agency reviews and permits will be required for the project. Copies of any correspondence between the applicant and the review agencies, as well as the permit or waiver, shall be sent to both the Township and OHM Advisors (email: elliott.smith@ohm-advisors.com).

- ▶ **Ypsilanti Community Utilities Authority (YCUA):** Will require review and approval for the proposed water and sanitary main.
- ▶ **Ypsilanti Township Fire Department:** Review and approval is required.
- ▶ **Washtenaw County Water Resources Commissioner's Office (WCWRC):** Review and approval may be required.
- ▶ **Michigan Department of Environment, Great Lakes & Energy (EGLE):** An EGLE Act 399 and Part 41 permit will be required for construction of all water main and sanitary sewer systems improvements.
- ▶ **Ypsilanti Township Office of Community Standards:** A Soil Erosion and Sedimentation Control permit shall be secured from the Ypsilanti Township Office of Community Standards.
- ▶ The Township's Planner will inspect the landscaping for this site.
- ▶ If dewatering should be needed, the contractor/applicant shall be responsible for obtaining necessary approvals from the Township and the Township Engineer, permission from all impacted adjacent properties and/or permits from MDOT, WCWRC's Office, or the WCRC.
- ▶ Record plans shall be provided to the Township Engineer following the completion of construction.



Should you have any questions regarding this matter, please contact this office at (734) 466-4580.

Sincerely,
OHM Advisors

Matthew D. Parks, P.E.

Elliot R. Smith, P.E.

MDP/ERS/seb

cc: Amy Steffens, Township Planning and Development Coordinator
Fletcher Reyher, Township Staff Planner
Doug Winters, Township Attorney
Steven Wallgren, Township Fire Marshall
File

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CHARTER TOWNSHIP OF YPSILANTI FIRE DEPARTMENT

BUREAU OF FIRE PREVENTION

222 South Ford Boulevard, Ypsilanti, MI 48198



July 6, 2021

Jason Iacoangeli, Planning Director
Charter Township of Ypsilanti
7200 S. Huron River Drive
Ypsilanti, MI 48197

RE: Preliminary (non-residential) Site Plan Review #1
Project Name: EMU Golf Training Facility
Project Location: 1201 Huron St. Ypsilanti, MI 48197
Plan Date: 6/10/2021
Project Number: 76040012
Applicable Codes: IFC 2018
Architect: Progressive AE
Architect Address: 1811 Four Mile Rd. Grand Rapids, MI 49525

Status of Review

Status of review: Approved Conditionally (see comments)

Site Coverage - Hydrants

Comments: The proposed new building: IFC 2018 requires at least one hydrant to be no closer than 40 feet from the FDC and no farther than 100 feet from the FDC.

The proposed addition: Fire suppression calculations will need to be provided to show that the proposed additional fire suppression heads can be supported by the existing supply demand.

Site Coverage - Access

Comments: Meets IFC 2018

Interior

Comments: Looking forward to seeing the interior plan set.

Sincerely,

A handwritten signature in black ink that reads "Dan Kimball". The signature is written in a cursive style and is positioned above a horizontal line.

Dan Kimball, Fire Marshal
Charter Township of Ypsilanti Fire Department
CFPS, CFI II, CFPE



YPSILANTI COMMUNITY UTILITIES AUTHORITY

2777 STATE ROAD
YPSILANTI, MICHIGAN 48198-9112
TELEPHONE: 734-484-4600
WEBSITE: www.ycua.org

April 29, 2022

VIA ELECTRONIC MAIL

Mr. Jason Iacoangeli, Planning Director
Office of Community Standards
CHARTER TOWNSHIP OF YPSILANTI
7200 S. Huron River Drive
Ypsilanti, MI 48197

Re: Preliminary (non-residential) Site Plan Review #2
EMU Golf Training Facility at Eagle Crest
Charter Township of Ypsilanti (Plan Date: 04-14-2022)

Dear Mr. Iacoangeli:

In response to the electronic mail message from your office dated April 18, 2022, we have reviewed the referenced plans with regards to water supply and wastewater system design. The plans are acceptable to the Authority for this stage of review. However, the following comments need to be addressed by the Applicant and/or the Applicant's design engineer prior to Detailed Engineering plans being deemed acceptable to the Authority.

1. The proposed sanitary sewer design is unacceptable. The design does not appear to satisfy either of the following requirements:
 - a. The 0.8 depth flow line of gravity sanitary sewers shall be matched at structures when changing sizes of gravity sanitary sewers.
 - b. An allowance of 0.1' in grade shall be made for loss of head through a manhole where gravity sanitary sewer horizontal alignment is deflected 30 degrees or more. It is believed that a 10" diameter sanitary sewer installed at the minimum allowable slope of 0.3% will be required.
2. The minimum grade for building sewers is 1% for 6" diameter pipe and 2% for 4" diameter pipe.

Connection fees will be determined as part of a future review once more accurate information is presented, in particular proposed building sizes. Please note that the connection fees must be paid to the Authority by the Applicant, with a receipt delivered to the Township, before either the building or soil and grading permit is issued. The construction phase escrow deposit and associated fees and deposits and the entity responsible for maintaining those accounts will be determined during the Detailed Engineering phase of the project in conjunction with your office and the Township Engineer. Should there be any questions please contact this office.

Sincerely,

SCOTT D. WESTOVER, P.E., Engineering Manager
Ypsilanti Community Utilities Authority

Mr. Jason Iacoangeli
CHARTER TOWNSHIP OF YPSILANTI
April 29, 2022
Page 2

Enclosures as noted

cc: Mr. Luke Blackburn, Mr. Mike Shaffer, File, YCUA
Ms. Belinda Kingsley, Charter Township of Ypsilanti
Mr. Eric Copeland, Mr. Dan Kimball, Township Fire Department
Mr. Matt Parks, P.E., Township Engineer
Mr. Scott Storrar, EMU, Applicant
Mr. Steve Teitsma, P.E., Applicant's design engineer

G:\CDproj\YpsiTwp\2021 - EMU Golf Training Facility\PNRSP Rev#2.docx

RE: EMU Golf Training Facility / Clubhouse Addition - Preliminary Site Plan Review #1 - 06.17.2021

From : Streight, Gary <streightg@wcroads.org>

Tue, Jul 06, 2021 01:44 PM

Subject : RE: EMU Golf Training Facility / Clubhouse Addition - Preliminary Site Plan Review #1 - 06.17.2021

 1 attachment

To : Belinda Kingsley <bkingsley@ytown.org>, Elliot Smith <Elliot.Smith@ohm-advisors.com>

Cc : jason <jiacoangeli@ytown.org>, Michael Radzik <mradzik@ytown.org>

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Belinda,

This site will not require a permit from our office as the addition will not substantially contribute to the existing traffic.

Gary Streight, P.E.
Project Manager



Washtenaw County Road Commission
555 N. Zeeb Road, Ann Arbor, Michigan

Direct: (734) 327-6692 | Main: (734) 761-1500
wcroads.org | [Follow us on Facebook](#)

From: Belinda Kingsley <bkingsley@ytown.org>
Sent: Friday, July 2, 2021 8:49 AM
To: Elliot Smith <Elliot.Smith@ohm-advisors.com>; swestover@ycua.org; Streight, <streightg@wcroads.org>
Cc: jason <jiacoangeli@ytown.org>; Michael Radzik <mradzik@ytown.org>
Subject: Re: EMU Golf Training Facility / Clubhouse Addition - Preliminary Site Plan #1 - 06.17.2021

[External Sender]

Good morning,

As we head into the holiday weekend, we wanted to remind you that we have requested comments back on the EMU Golf Training Facility Site Plan on Tuesday, July 5, 2021.

Have a great weekend!

Thank you,

Belinda Kingsley

Belinda Kingsley
Planning & Development Coordinator
Charter Township of Ypsilanti
734-485-3943

From: "jason" <jiacoangeli@ytown.org>
To: "Benjamin Carlisle" <bcarlisle@cwaplan.com>, "Elliot Smith" <Elliot.Smith@ohm-advisors.com>



EVAN N. PRATT, P.E.

WATER RESOURCES COMMISSIONER
705 North Zeeb Road
P.O. Box 8645
Ann Arbor, MI 48107-8645

email: drains@ewashtenaw.org
<http://drain.ewashtenaw.org>

HARRY SHEEHAN
Chief Deputy Water Resources Commissioner

SCOTT A. MILLER, P.E.
Deputy Water Resources Commissioner

Telephone 734.222.6860
Fax 734.222.6803

August 12, 2021

Mr. Steve Teitsma, P.E.
Progressive AE
1811 4 Mile Road NE
Grand Rapids, Michigan 49525

RE: EMU Golf Training Facility
Ypsilanti Township, Michigan
WCWRC Project No. 7600

Dear Mr. Teitsma:

This office has reviewed the provided drainage area maps and runoff calculation worksheets W1 and W2 for the above-referenced project to be located in Ypsilanti Township. These plans have a file number of 76040012, a print date of July 29, 2021, and were received via e-mail on July 29, 2021. As a result of our review, we would like to offer the following comments:

1. Construction activities are planned within existing drain easement on the site. A drain use permit will be required. However, the permit application can be submitted once the design is finalized.
2. The next plan submittal should consist of a complete plan set and include all of the requirements noted in the rules of this office.
3. The plans should be signed and sealed by a registered, professional engineer.
4. The Huron Center Commercial and Office Park drain easements – including the on-site pond that will receive the stormwater runoff – must be depicted on the plans.
5. The engineer's certificate of outlet, accompanied by corresponding calculations and documentation, should be submitted to our office for review.
6. The infiltration testing report, signed and sealed by a licensed geotechnical engineer, should be submitted to our office for review.
7. A storm water narrative should be prepared and included in the plan set.

8. A storage volume chart for the on-site basin should be included in the plan set. In addition, calculations showing the current (existing conditions) storage elevation and the proposed (post construction) storage elevation must be provided.
9. As discussed during the pre-application meeting, we require that the first flush volume for the proposed new development area be detained on-site. In addition, since the soils at this site do not meet the minimum design requirements for infiltration, a penalty will be assessed that will require additional on-site detention. The penalty is 20% of the calculated 100-year storm volume as determined on Worksheet W13. At a minimum, Worksheets W1 through W3, W5, W7 through W10 and W13 should be included with the next submittal.
10. Please see the attached invoice for the current fees and remit these fees upon receipt.

At your convenience, please send us a complete set of revised plans and the additional information requested above so that we may continue our review. If you have any questions, please contact our office.

Sincerely,



Theresa M. Marsik, P.E.
Stormwater Engineer
(permit\EMU Golf Training Facility rev1)

cc: Jason Iacoangeli, Ypsilanti Township Planning Director
Belinda Kingsley, Ypsilanti Township Planning & Zoning Coordinator
Michael Radzik, Ypsilanti Township Office of Community Standards
Doug Winters, McLain and Winters
Elliot Smith, Township Engineer (OHM)

SITE PLAN REVIEW APPLICATION

I. APPLICATION/DEVELOPMENT TYPE

Development:

- Subdivision
- Multi-family/Condominium
- Site Condominium
- Planned Development
- Non-residential

Application:

- Administrative Site Plan Review
- Sketch Site Plan Review
- Full Site Plan Review
- Revisions to approved plan
- Tentative Preliminary Plat
- Final Preliminary Plat
- Final Plat Process
- Stage I (for Planned Development)
- Stage II (for Planned Development)

II. PROJECT LOCATION

Address: 1201 S Huron Street City: Ypsilanti State: MI Zip: 48197
Parcel ID #: K-11- 37-420-004 Zoning RM-2 (multifamily Residential)
Lot Number: _____ Subdivision: _____
Property dimensions: see drawings Acreage: 137.97 acres
Name of project/Proposed development: EMU Golf Training Facility at Eagle Crest
Legal description of Property: _____

see attached plans

Describe Proposed Project (including buildings/ structures/ # units):

Addition to existing Club house and new performance training center building for use by the EMU Golf Team

III. APPLICANT INFORMATION

Applicant: Robert Densic, Eastern Michigan University, Scott Sturaw Phone: 734-487-1200
Address: 875 Ann Street, 204 Pierce Hall City: Ypsilanti State: MI Zip: 48197
Fax: _____ Email: rdensic@emich.edu sssturaw@emich.edu
Property owner (if different than applicant): _____ Phone: _____
Address: _____ City: _____ State: _____ Zip: _____
Fax: _____ Email: _____
Engineer: Steve Teitsma, Progressive AE Phone: _____
Address: 1811 4 Mile Road, NE City: Grand Rapids State: MI Zip: 49525
Fax: _____ Email: teitsmas@progressiveae.com

SITE PLAN REVIEW APPLICATION

VI. SCHEDULE OF FEES

Preliminary Site Plan Review		
	Non-refundable fee	Refundable deposit
Full	\$500	Less than one (1) acre: \$2,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres
Sketch	\$500	Less than one (1) acre: \$1,500 One (1) acre to five acres: \$2,000 Over five (5) acres to ten (10) acres: \$2,500 Greater than ten (10) acres: \$2,500 + \$50 per acre over ten (10) acres
Administrative	\$100	Less than one (1) acre: \$1,000 One (1) acre to five acres: \$1,200 Over five (5) acres to ten (10) acres: \$1,500 Greater than ten (10) acres: \$1,500 + \$50 per acre over ten (10) acres
Planned Development Stage I and Rezoning	\$1,500 + \$20 per acre	Less than one (1) acre: \$3,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres
Final Site Plan Review		
	Non-refundable fee	Refundable deposit
Full	\$500	Less than one (1) acre: \$3,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres
Sketch	\$500	Less than one (1) acre: \$1,500 One (1) acre to five acres: \$2,000 Over five (5) acres to ten (10) acres: \$2,500 Greater than ten (10) acres: \$2,500 + \$50 per acre over ten (10) acres
Administrative	\$100	Less than one (1) acre: \$1,000 One (1) acre to five acres: \$1,200 Over five (5) acres to ten (10) acres: \$1,500 Greater than ten (10) acres: \$1,500 + \$50 per acre over ten (10) acres
Planned Development Stage I and Rezoning	\$1,500 + \$20 per acre	Less than one (1) acre: \$3,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres

\$ 4500 FEE TOTAL

V. APPLICANT SIGNATURE

Applicant Signature

Scott Starnes

Robert Densic

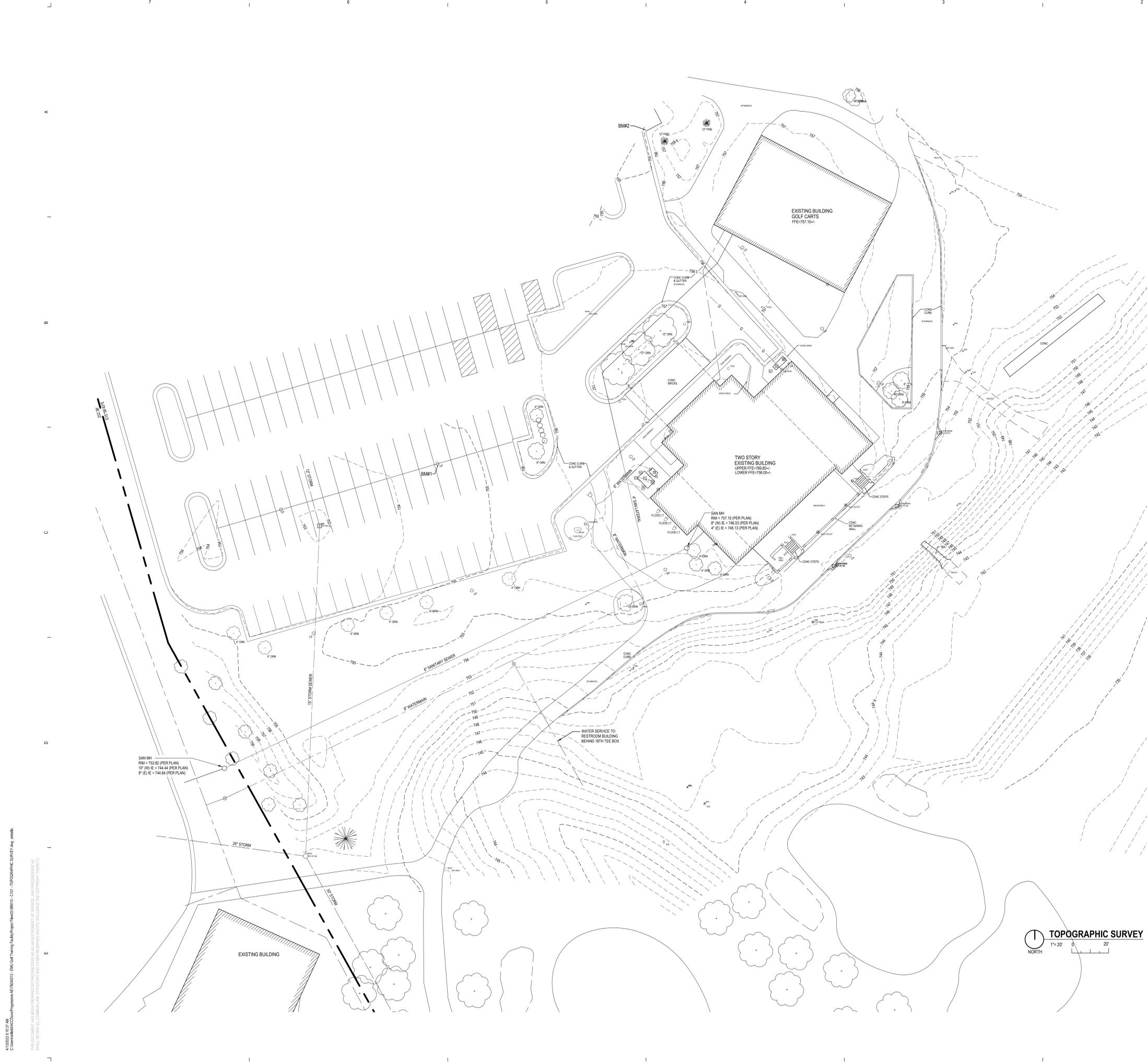
Print Name

6-11-2021

Date

SITE PLAN REVIEW APPLICATION

Site Plan Review applications	
<input checked="" type="checkbox"/> The application is filled out in its entirety and includes the signature of the applicant and, if different than the applicant, the property owner.	<input checked="" type="checkbox"/> Proposed Plans
<input checked="" type="checkbox"/> Fees	<input checked="" type="checkbox"/> One (1) signed and sealed copies (24"x36") of the proposed plan
<input type="checkbox"/> Check made out to Ypsilanti Township with appropriate fees. <i>Please note: The same preliminary site plan review fee will be charged for each subsequent submittal</i>	<input checked="" type="checkbox"/> One (1) copy (11"x17") of the proposed plan
<input type="checkbox"/> Fees paid separately to Ypsilanti Community Utilities Authority	<input checked="" type="checkbox"/> One (1) PDF digital copy of the proposed plan
<input type="checkbox"/> Fees paid separately to Washtenaw County Road Commission and Water Resources Commissioner's Office	<input type="checkbox"/> All contents detailed on the next pages for administrative, sketch, and full site plans.
<input type="checkbox"/> Additional Documents:	
<input type="checkbox"/> Woodland Protection application or the No Tree Affidavit, if applicable	
<input type="checkbox"/> Traffic Impact Questionnaire	
<input type="checkbox"/> Appropriate application and plans submitted to the Washtenaw County Road Commission and Water Resources Commissioner's Office	



CALL 811 NOTE:
 CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

SURVEY LEGEND

●	MONUMENT
○	PROPERTY IRON SET
○	PROPERTY IRON FOUND
○	TRAFFIC SIGNAL POLE
○	BOLLARD LIGHT
○	LIGHT POLE
○	FLOOD LIGHT
○	SIGN
○	FLAG POLE
○	CLEANOUT
○	POWER POLE
○	TELEPHONE POLE
○	ELECTRICAL HAND HOLE
○	TEL. ELEC. CATV. GAS. WATER RISER
○	TEL. ELEC. GAS. WATER MANHOLE
○	TEL. ELEC. CATV. GAS MARKER
○	CATCH BASIN
○	MANHOLE
○	SPRINKLER
○	VALVE & BOX
○	HYDRANT
○	SPOT ELEVATION
---	MAJOR CONTOUR - 5 FT. INTERVAL
---	MINOR CONTOUR - 1 FT. INTERVAL
---	GUARD RAIL
---	FENCE LINE
---	STORM SEWER
---	SANITARY SEWER
---	WATERMAIN
---	GAS MAIN
---	UNDERGROUND TELEPHONE LINE
---	UNDERGROUND FIBER OPTIC LINE
---	UNDERGROUND ELECTRIC LINE
---	DITCH CENTERLINE, TOE OF SLOPE
○	DECIDUOUS TREE
○	CONIFEROUS TREE
○	TREE & BRUSH LINE
□	BUILDING

SURVEY NOTES

- EXISTING UTILITIES ARE LOCATED TO THE BEST OF OUR KNOWLEDGE. THE CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING EXISTING UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN EXISTING UTILITY SERVICES AT ALL TIMES.
- SERVICE PROVIDED IS A TOPOGRAPHIC SURVEY. NOT A BOUNDARY SURVEY. PROPERTY LINES ARE SHOWN IN APPROXIMATE LOCATION.

BENCHMARKS:

BM # 1	CHEELED "Y" ON TOP OF EAST SIDE OF CONCRETE BASE TO LIGHT POLE 100' +/- SOUTHWEST OF SW BUILDING CORNER TO GOLF SHOP.	ELEVATION = 756.71
BM # 2	PAINT SPOT ON TOP OF SE CORNER OF CONCRETE PAD 56' +/- WEST OF SW BUILDING CORNER TO GOLF CART BUILDING.	ELEVATION = 755.64

SURVEY

DATE:	11/10/2020
PAE(P) LOG BOOK NO.:	20-00
PAGES:	15
DATUM:	NAVD 88

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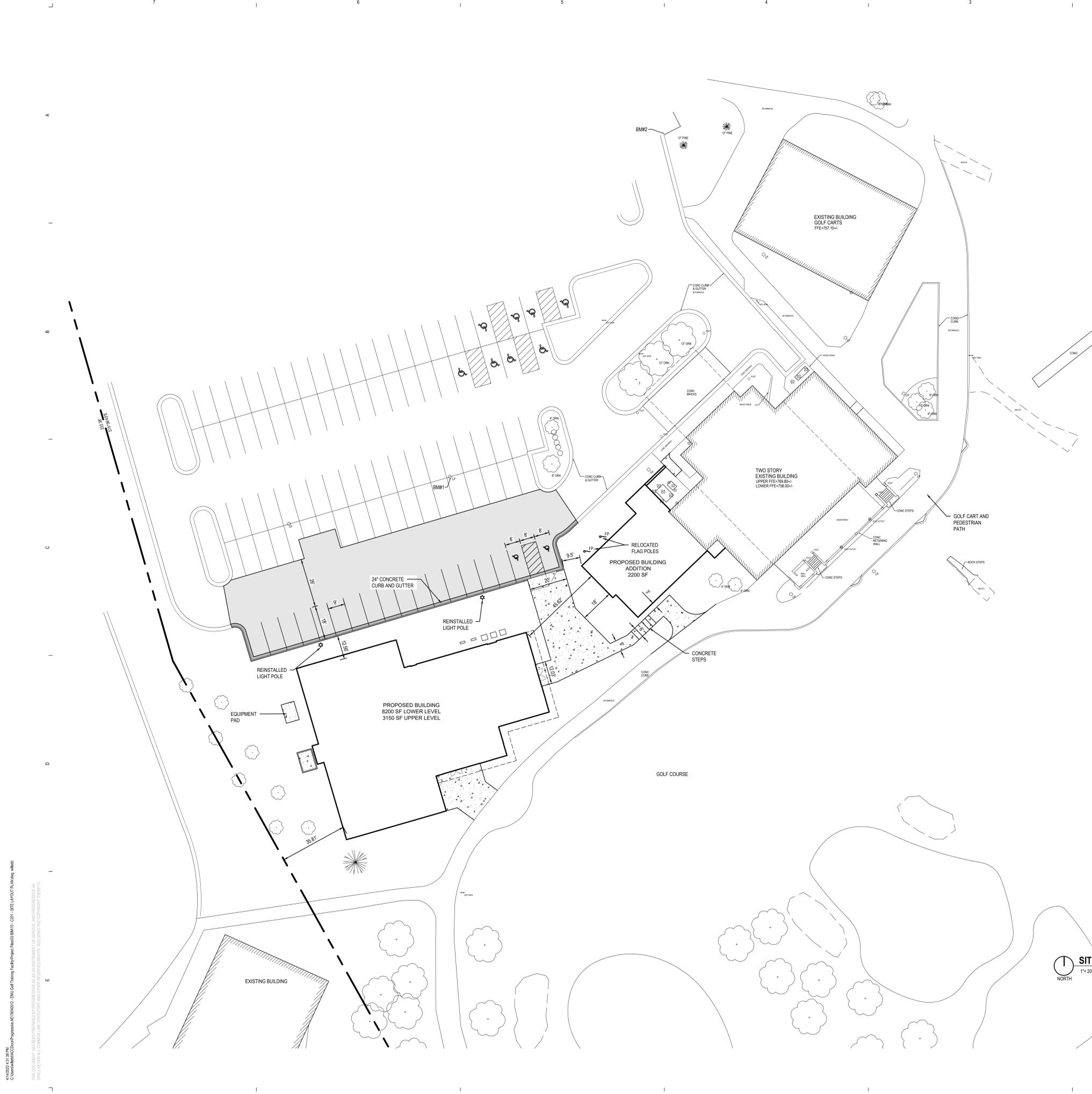
FILE NUMBER: 76040012
 PROJECT MANAGER: SDH
 PROFESSIONAL: SXT
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 CHECKED BY:



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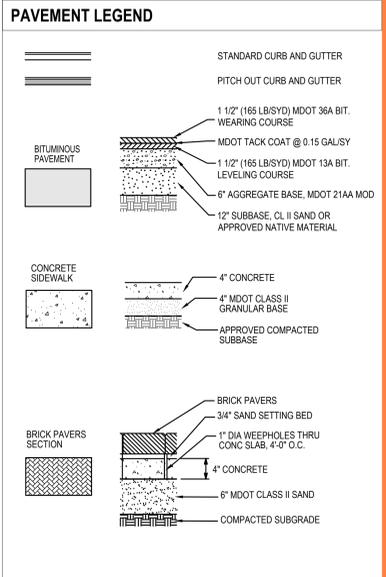
TOPOGRAPHIC SURVEY C101

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- GENERAL SITE LAYOUT NOTES**
- ALL WORKMANSHIP AND MATERIALS SHALL BE ACCORDING TO THE CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION (M.D.O.T.) STANDARD SPECIFICATIONS FOR CONSTRUCTION.
 - CONTACT "MISS DIG" TOLL FREE AT 1-800-482-7171 THREE (3) DAYS PRIOR TO THE START OF CONSTRUCTION, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS.
 - NO DIMENSION MAY BE SCALED. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.
 - DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED AS B-B (BACK TO BACK) OR E-E (EDGE OF METAL TO EDGE OF METAL).
 - CONTRACTOR TO PAINT STRIPE ALL PARKING SPACES SHOWN. PAINT COLOR TO BE YELLOW.
 - UPON REQUEST, ELECTRONIC INFORMATION WILL BE PROVIDED FOR SITE LAYOUT PURPOSES. CONTRACTOR SHALL REQUEST ALL INFORMATION IN WRITING THROUGH PROGRESSIVE AE. LAYOUT OF ALL NEW CONSTRUCTION SHALL BE DONE BY A LICENSED SURVEYOR.
 - ALL CONCRETE JOINTS SHALL BE TOOLED PER SPECIFICATIONS.
 - CONTRACTOR MUST RESTORE AND REPAIR ANY EXISTING CONDITIONS DISTURBED BY CONSTRUCTION. THIS IS TO INCLUDE BURIED UTILITIES, LIGHTING, LANDSCAPING, SPRINKLING, ETC.
 - ANY AREA DISTURBED BY CONSTRUCTION TO BE RESTORED TO CONDITION EQUAL TO OR BETTER THAN BEFORE CONSTRUCTION BEGAN.

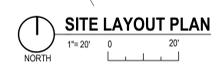


ZONING NOTES

ZONE DISTRICT: RM-2 (MULTIPLE FAMILY RESIDENTIAL DISTRICT)
 ADJACENT ZONING: RM-2, B-3 AND RD
 PARCEL SIZE: 131.97 ACRES

SETBACKS:
 SETBACKS NOT SHOWN DUE TO LOCATION OF DEVELOPMENT IN CENTER OF THE PROPERTY

EXISTING PARKING SPACES: 157 SPACES
 TOTAL PARKING PROVIDED:
 (8'X18') PARKING = 147
 ADA PARKING = 9
 TOTAL PARKING = 156 SPACES



ISSUANCE
 SITE PLAN RESUBMITTAL
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SITE LAYOUT PLAN C201

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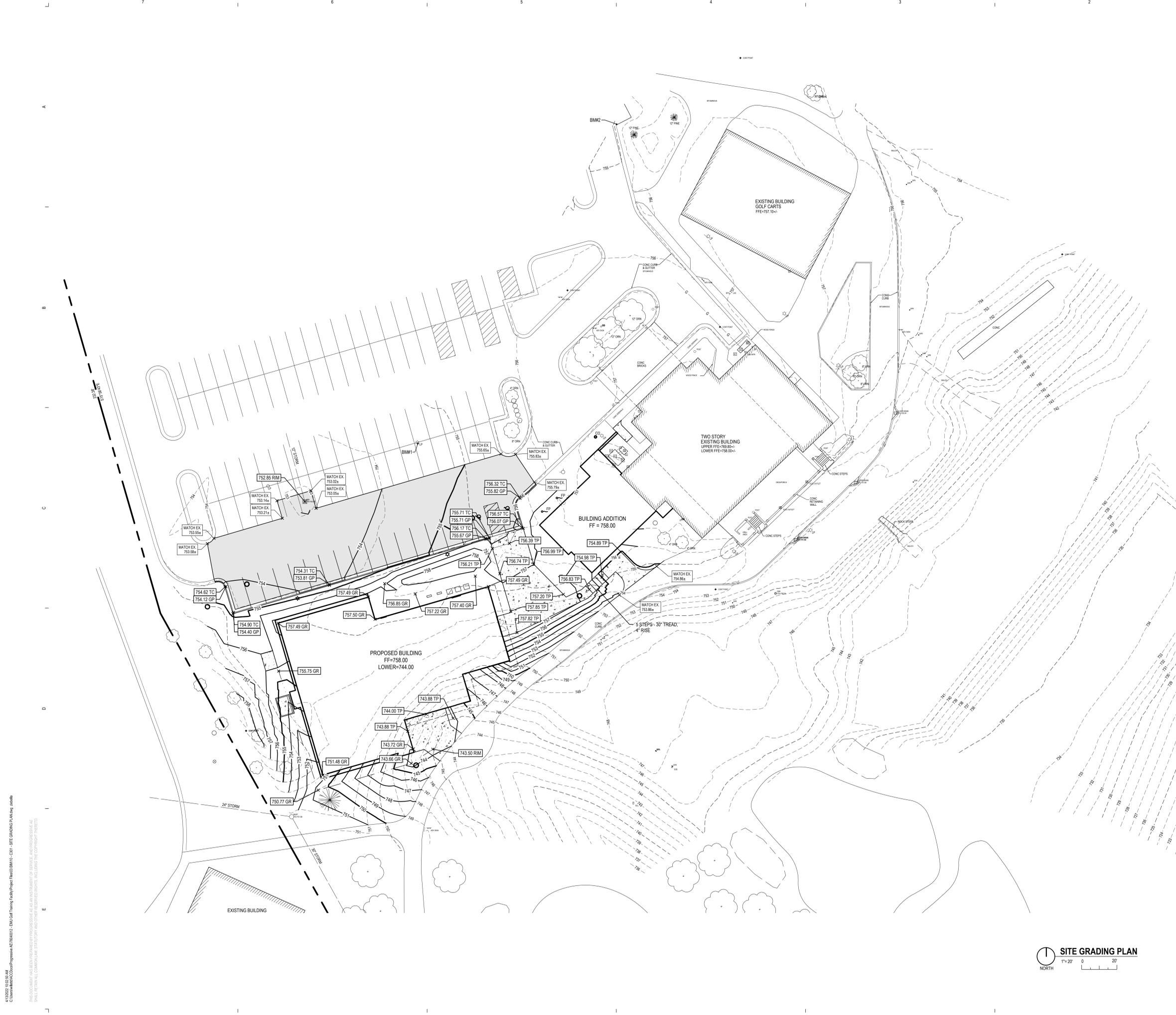
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GOLF TRAINING FACILITY AT EAGLE CREST

NOT FOR CONSTRUCTION

1201 S HURON ST. YPSILANTI, MI 48197
 1111 4 Mile Rd NE Grand Rapids, MI 49525 (616) 381-7264 www.progressiveae.com



CALL 811 NOTE:
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GRADING LEGEND

—	FLOW ARROW
TP	TOP OF PAVEMENT
TC	TOP OF CURB
TW	TOP OF WALL
BW	BOTTOM OF WALL
GR	GROUND
GP	GUTTER PAN
FF	FINISH FLOOR ELEVATION
EX	EXISTING ELEVATION
HP	HIGH POINT
LP	LOW POINT
L	LANDING
R	RAMP

EARTHWORK & GRADING NOTES

- EARTHWORK AND PAVEMENT CONSTRUCTION ARE TO BE PERFORMED IN ACCORDANCE WITH THE 2012 EDITION OF THE MDT STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE FOLLOWING ITEMS.
- THE SUBGRADE SHALL BE THOROUGHLY PROOFROLLED USING THE EQUIVALENT OF A FULLY LOADED TANDEM AXLE TRUCK HAVING A MINIMUM AXLE WEIGHT OF 10 TONS. SOFT OR YIELDING AREAS THAT CANNOT BE MECHANICALLY STABILIZED SHOULD BE REMOVED AND REPLACED WITH ENGINEERED FILL.
- PROOFROLLING SHALL BE PERFORMED UNDER THE OBSERVATION OF A GEOTECHNICAL/PAVEMENT ENGINEER.
- FINISHED SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.1 FEET ABOVE OR BELOW ESTABLISHED FINISHED SUBGRADE ELEVATIONS AND ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS. FINISHED DITCHES SHALL BE GRADED TO ALLOW FOR PROPER DRAINAGE WITHOUT PONDING AND IN A MANNER THAT WILL MINIMIZE EROSION.
- GRADE THE AGGREGATE BASE MATERIAL TO PROVIDE POSITIVE DRAINAGE AT A MINIMUM OF 1.5 PERCENT.
- THE AGGREGATE BASE AND SUBBASE SHALL EXTEND 12 INCHES BEYOND THE PAVED EDGE.
- THE EXISTING (SOIL TYPE) MAY BE UTILIZED AS ENGINEERED FILL PROVIDED ALL DELETERIOUS OR ORGANIC MATERIALS ARE REMOVED FROM THE SOILS. ANY ON-SITE SOILS USED FOR ENGINEERED FILL SHALL BE EVALUATED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
- ENGINEERED FILL LOCATED WITHIN PAVEMENT AND BUILDING AREAS SHALL BE PLACED IN 8 INCH MAXIMUM LOOSE THICKNESS AND MOISTURE CONDITIONED TO WITHIN 2 PERCENT OF OPTIMUM MOISTURE CONTENT. COMPACT TO MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY PER ASTM D-1557, MODIFIED PROCTOR METHOD.
- ALL FILL OPERATIONS SHALL BE OBSERVED BY A QUALIFIED SOIL TECHNICIAN. A MINIMUM OF ONE COMPACTION TEST SHALL BE CONDUCTED PER 2,500 SFT AREA AT EACH LIFT. WITHIN TRENCH EXCAVATIONS, ONE TEST SHALL BE CONDUCTED FOR EACH 100 LINEAR FEET PER LIFT.
- SIDE SLOPES SHALL NOT EXCEED 1 VERTICAL OVER 3 HORIZONTAL SLOPE UNLESS SHOWN OTHERWISE.
- EXCESS TOPSOIL SHALL BE SPOILED ON SITE IN LOCATION DETERMINED WITH OWNER AND ENGINEER AND SEEDED.
- PARKING LOT CURBS SHALL BE BUILT WITH REVERSE SLOPE ON THE DOWNHILL SIDE OF THE ISLAND TO ASSURE POSITIVE STORM WATER RUNOFF TO CATCH BASINS.
- UNLESS SHOWN OTHERWISE, FINISH GRADES OF LANDSCAPE ADJACENT TO BUILDING WALLS SHALL BE 6" BELOW FINISH FLOOR ELEVATION.
- PLACE 6" MINIMUM TOPSOIL IN ALL LANDSCAPE AREAS TO BE SEEDED. PROVIDE POSITIVE DRAINAGE AT ALL TIMES TO ENSURE NO STANDING WATER WITHIN PAVEMENT, BUILDING PAD, OR GREEN AREAS.
- FOR ALL CURB ISLANDS, CENTER OF ISLANDS TO BE A MINIMUM OF 6" HIGHER THAN TOP OF CURB.

BARRIER FREE NOTES

- BARRIER FREE PARKING AND ACCESSIBLE ROUTE(S) MUST COMPLY WITH THE AMERICANS WITH DISABILITIES ACT, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- 2% MAXIMUM CROSS SLOPE ON ACCESSIBLE ROUTE(S)
- 5% MAXIMUM LONGITUDINAL SLOPE (DIRECTION OF TRAVEL) UNLESS AT BARRIER FREE RAMP
- 2% MAXIMUM SLOPE LONGITUDINAL AND TRANSVERSE SLOPES AT BARRIER FREE PARKING SPACES AND ASSOCIATED ACCESS AISLES
- ACCESSIBLE ENTRIES - 2% MAXIMUM SLOPE IN ANY DIRECTION FOR THE FIRST 5' FROM ENTRY DOOR
- CONTRACTOR TO CONTACT ENGINEER PRIOR TO PAVING IF BARRIER FREE SLOPES DO NOT COMPLY OR FOR CLARIFICATION OF ANY DISCREPANCIES.

NOT FOR CONSTRUCTION

EASTERN MICHIGAN UNIVERSITY
GOLF TRAINING FACILITY AT EAGLE CREST

PROGRESSIVE

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1201 S HURON ST YPSILANTI, MI 48197

ISSUANCE
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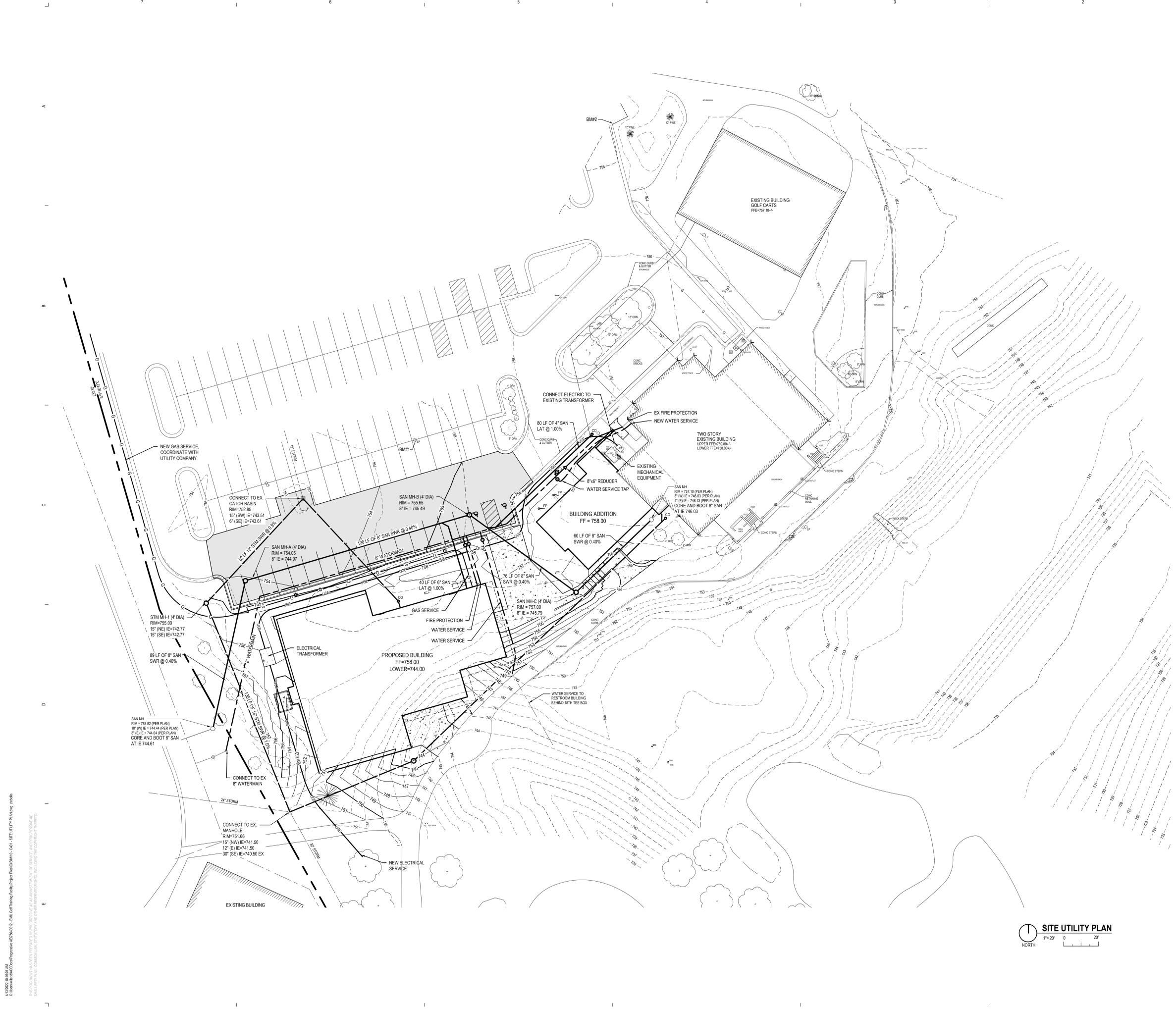
SITE GRADING PLAN
 1"=20'
 NORTH

SITE GRADING PLAN C301

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- WATERMAIN NOTES**
1. INSTALL WATERMAIN WITH MINIMUM 5' OF COVER TO TOP OF PIPE.
 2. PROVIDE A MINIMUM 18" OF VERTICAL SEPARATION AND 10' OF HORIZONTAL SEPARATION BETWEEN WATERMAIN AND ALL SANITARY AND STORM SEWERS.
 3. PROVIDE APPROVED MECHANICAL RESTRAINED JOINTS AT ALL WATERMAIN BENDS FOR A MINIMUM DISTANCE FROM THE FITTINGS AS SHOWN IN THE PIPE RESTRAINT TABLE.
 4. WATERMAIN MATERIAL AND CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH YPSILANTI COMMUNITY UTILITY AUTHORITY (YCUA) SPECIFICATIONS.
 5. 4" AND LARGER WATERMAIN PIPE SHALL BE DUCTILE IRON PIPE.
 6. 2" AND SMALLER DOMESTIC WATER SERVICE SHALL BE TYPE K COPPER PIPE.

- STORM SEWER NOTES**
1. STORM SEWER PIPE 12" DIA. OR LARGER SHALL BE ASTM C-76 CL IV REINFORCED CONCRETE PIPE OR ASTM F2306 HIGH DENSITY POLYETHYLENE PIPE. STORM SEWER PIPE SMALLER THAN 12" SHALL BE SDR 35 PVC.
 2. YARD DRAINS (YD) TO BE 12" SQUARE DRAINTECH CATCH BASIN BY NDS WITH SQUARE POLYPROPYLENE GRATE OR APPROVED EQUAL.
 3. CATCH BASINS (CB) TO BE 4' DIA. UNLESS NOTED OTHERWISE.
 4. CONNECT ALL ROOF DRAINS TO PROVIDED STORM SEWER UNLESS OTHERWISE NOTED.

- SANITARY SEWER NOTES**
1. CONTRACTOR SHALL OBTAIN PERMIT TO CONNECT TO SANITARY SYSTEM FROM YPSILANTI COMMUNITY UTILITY AUTHORITY.
 2. SANITARY SEWER MATERIAL AND CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH YPSILANTI COMMUNITY UTILITY AUTHORITY (YCUA) SPECIFICATIONS.
 3. CLEANOUTS TO BE PROVIDED WITHIN 5 FEET OF THE BUILDING EXTERIOR WALL ON ALL LATERALS EXITING THE BUILDING.
 4. SANITARY SEWER LATERALS WITHIN SITE SHALL BE (ASTM D-3034) SDR 26.
 5. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.

SITE UTILITY PLAN
 1"=20'
 NORTH



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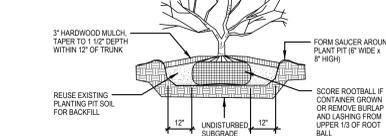
SITE UTILITY PLAN C401

LANDSCAPE MAINTENANCE SCHEDULE

TASK	MONTH	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
CARE OF PLANTS													
MONITORING													
PRUNING (AS NEEDED)													
DEADHEAD PLANTS													
FERTILIZATION													
CUT BACK													
WATERING AS NEEDED													
MONITORING													
PLANTING BEDS													
EDGING													
WEEDING AS NEEDED													
MULCHING													
SOIL TESTING													
LEAF REMOVAL													
PEST MANAGEMENT													
MONITORING													
LAWNS													
FERTILIZE/LIME													
SEEDING													
WINTER CLEAN UP													

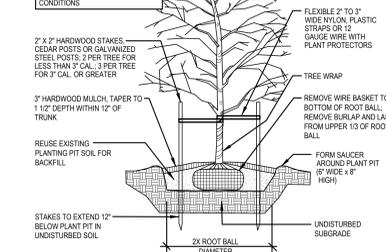
THE SCHEDULE SHOWN ABOVE IS FOR GUIDANCE ONLY. SCHEDULING OF MAINTENANCE ACTIVITY SHOULD BE COORDINATED WITH SEASONAL WEATHER CONDITIONS.

ALL PLANTS TO BE NURSERY GROWN STOCK IN SOIL SIMILAR TO SITE CONDITIONS



1 SHRUB PLANTING DETAIL
NOT TO SCALE

ALL PLANTS TO BE NURSERY GROWN STOCK IN SOIL SIMILAR TO SITE CONDITIONS



2 DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

PLANT MATERIAL LEGEND

- EXISTING EVERGREEN TREE
- EXISTING DECIDUOUS TREE
- LAWN SEED MIX - FAST GROWING SEED MIX BY DEBRILLY SEED (50% PERENNIAL RYEGRASS 20% KENTUCKY BLUEGRASS 15% TURF-TYPE TALL FESCUE 10% ANNUAL RYEGRASS)

GENERAL LANDSCAPE NOTES

- CONTRACTOR RESPONSIBLE FOR UNDERSTANDING PROJECT CONDITIONS AND VERIFYING PLANT QUANTITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY PLAN DISCREPANCIES.
- PLANT APPROVALS TO BE STAKED IN THE FIELD FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT AND OWNER. CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING ALL EXISTING UNDERGROUND UTILITIES. CONTACT THE APPROPRIATE UTILITY COMPANY FOR FIELD STAKING ALL LINES.
- ALL AREAS DISTURBED BY CONSTRUCTION TO BE TOPSOILED AND SEEDED UNLESS SHOWN OTHERWISE ON PLANS.
- CONTRACTOR TO CONTACT MISS DIG AT PHONE NUMBER 811 AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES.
- CONTRACTOR TO COORDINATE PLANTING SCHEDULE WITH IRRIGATION CONTRACTOR.
- NOTIFY LANDSCAPE ARCHITECT IF AREAS OF POOR DRAINAGE OR OTHER UNUSUAL SUB-GRADE CONDITIONS ARE ENCOUNTERED DURING EXCAVATION FOR PLANTING PITS.
- SHRUB PLANTING BEDS AND TREE SAUCERS TO RECEIVE 3\"/>

LANDSCAPE REQUIREMENTS

LANDSCAPE AND OPEN SPACE REQUIREMENTS:
GENERAL: 1 TREE PER 1000 SF OF LAWN AREA AND 1 SHRUB PER 500 SF OF LAWN AREA
** REQUIRED: 7,414 SF - 7 TREES, 15 SHRUBS
** PROVIDED: 7 TREES, 15 SHRUBS

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
AG	4	ACER GINNALA / AMUR MAPLE	B & B	2\"/>	

LANDSCAPE PLAN
1\"/>

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 LANDSCAPE PLAN
L101