

**CHARTER TOWNSHIP
OF YPSILANTI
PLANNING COMMISSION**

**SALLY RICHIE, CHAIR
BILL SINKULE, VICE CHAIR
LARRY KRIEG, SECRETARY
GLORIA PETERSON, BOARD LIAISON
ELIZABETH EL-ASSADI
MUDDASAR TAWAKKUL
LARRY DOE**

January 11, 2022

Regular Meeting – 6:30 p.m.

CHARTER TOWNSHIP OF YPSILANTI

PLANNING COMMISSION

7200 S. Huron River Drive, Ypsilanti, MI 48197

REGULAR MEETING AGENDA

Tuesday, January 11, 2022

6:30 P.M.

If you need any assistance due to a disability please contact the Planning Department at least 48 hours in advance of the meeting at planning@ytown.org or 734-485-3943.

1. CALL TO ORDER
2. ROLL CALL
3. APPROVAL OF THE NOVEMBER 23, 2021 REGULAR MEETING MINUTES
4. APPROVAL OF AGENDA
5. PUBLIC HEARINGS
 - A. **SHOOT POINT BLANK - 660 JAMES L HART PARKWAY (PACEL K-11-17-361-021) – TO CONSIDER REQUEST TO AMEND THE PLANNED DEVELOPMENT STAGE II APPROVAL ALONG WITH ASSOCIATED DEVELOPMENT AGREEMENT TO PROVIDE FOR AN INDOOR GUN RANGE (INDOOR RECREATION), CLASSROOM, AND RETAIL SALES**
6. OLD BUSINESS
 - A. **DRAFT YPSILANTI TOWNSHIP ZONING ORDINANCE AND ZONING MAP—TO CONSIDER REVISED ZONING ORDINANCE AND MAP PER COMMENTS RECEIVED AT THE NOVEMBER 23, 2021 PUBLIC HEARING**
7. NEW BUSINESS
 - A. **SHOOT POINT BLANK - 660 JAMES L HART PARKWAY (PACEL K-11-17-361-021) - FULL SITE PLAN – TO CONSIDER A FULL SITE PLAN FOR CONSTRUCTION OF A 15,019 SQUARE FOOT BUILDING TO PROVIDE FOR AN INDOOR GUN RANGE (INDOOR RECREATION), CLASSROOM, AND RETAIL SALES**
 - B. **ADOPTION OF REGULAR PLANNING COMMISSION MEETING DATES FOR THE 2022 CALENDAR YEAR**
8. OPEN DISCUSSION FOR ISSUES NOT ON THE AGENDA
 - A. CORRESPONDENCE RECEIVED
 - B. PLANNING COMMISSION MEMBERS
 - C. MEMBERS OF THE AUDIENCE
9. TOWNSHIP BOARD REPRESENTATIVE REPORT

10. ZONING BOARD OF APPEALS REPRESENTATIVE REPORT

11. TOWNSHIP ATTORNEY REPORT

12. PLANNING DEPARTMENT REPORT

13. OTHER BUSINESS

14. ADJOURNMENT

Please Note: This meeting is being recorded

**CHARTER TOWNSHIP OF YPSILANTI
ZONING BOARD OF APPEALS
Wednesday, November 23rd, 2021
6:30pm**

COMMISSIONERS PRESENT

Sally Richie, Chair - EXCUSED
Bill Sinkule, Vice Chair
Larry Kreig, Secretary
Elizabeth El-Assadi, ZBA Liaison
Larry Doe
Muddasar Tawakkul
Gloria Peterson- Board Liaison

STAFF AND CONSULTANTS

Jason Iacoangeli, Planning Director
Amy Steffens, Planning and Development Coordinator
Fletcher Reyher, Staff Planner
Denny McLain, McLain and winters
Megan Masson-Minock, Carlisle Wortman Associates
Ben Carlisle, Carlisle Wortman Associates

MEMBERS OF THE PUBLIC

i. CALL TO ORDER/ESTABLISH QUORUM

MOTION: Mr. Sinkule called the meeting to order at 6:30pm.

II. APPROVAL OF AGENDA

MOTION: Ms. El-Assadi **MOVED** to approve the agenda as presented. The **MOTION** was **SECONDED** by Mr. Kreigand **PASSED** by unanimous consent.

III. APPROVAL OF OCTOBER 21stMEETING MINUTES

MOTION: Mr. Doe **MOVED** to approve the previous Board Meeting Minutes as presented. The **MOTION** was **SECONDED** by Ms. El-Assadi and **PASSED** by unanimous consent.

IV. PUBLIC HEARING

DRAFT YPSILANTI TOWNSHIP ZONING ORDINANCE AND ZONING MAP – To receive comments from the public on the draft Ypsilanti Township Zoning Ordinance and Zoning Map

Mr. Iacoangeli stated that the work on the zoning ordinance has taken over a year, and is the product of a lengthy process, while creating the Ypsilanti 2040 master plan. He also mentioned

that the draft was ready to be reviewed by the public for any comments. Mr. Iacoangeli also stated that as part of this drafting process, the statutory requirement is, for the public notice to be presented in a paper of publishable quality, which was executed 15 days prior to this meeting in accordance to the state law and other requirements. The Ypsilanti Township, planning department, sent notices to about 700 property owners, notifying them of the possible zoning change, and also requesting them, to reach out to the planning departments, if there were any concerns. The notice also included the dates and times with contact numbers and emails, for any comments.

Mr. Iacoangeli informs the board that they have received letters which was submitted to the board to be acknowledged as part of the record for the public hearing. He also mentioned that Carlisle Wortman, who has partnered with the township for the drafting of the zoning ordinance, was present for the public hearing. Carlisle Wortman would introduce some of the high points and the background to public, before the public hearing.

Mr. Iacoangeli also mentioned that during the public hearing, the public would be able to give their comments and questions will be answered at the end of the hearing. The highly technical questions would be addressed in a timely manner.

Ms. Megan Massen Minock (Senior Planner, Carlisle Wortman) presented to the board and public, that there is two parts to the zoning ordinance - Zoning Map and Zoning Text, both would have significant changes. She mentioned that are two zoning maps, a current zoning map and a proposed zoning map. The zoning map is identified by the color that's laid over a piece of property. It lays down rules and regulations, of what can happen over a property, its uses and helps in identifying whether its residential or an office property. It also helps in identifying, where a building can be built. The form-based zoning districts would have additional regulations – design of the building/roadways/ proposed location of the building.

Ms. Minock also mentions about the things that won't have a change between the current zoning and the proposed zoning map. She points out that, the purple spots with numbers would continue being the same, since they are the planned developments, and are called contract zoning. When the township has a certain agreement with a property owner, for them to do certain things, there won't be any changes to the zoning map. The yellow and green spots identify the single-family districts. If the property falls in (R1, R2, R3, R4, R5) districts, the zoning doesn't change for the individual home owners. Ms. Minock mentions that in some cases the single-family designation has expanded to things that are presently zoned multiple family. This is to preserve the neighborhoods. She also stated that there were some consolidations on the maps where the key on the current zoning map is longer and the prints are smaller than the key on the proposed zoning map.

The major zoning map changes proposed is the agricultural overlay, this is marked with the green shading, the zoning under the agricultural overlay could be residential or industrial. This would give the property owner additional property rights to have a farm operation, agrotourism with special land uses and small-scale onsite processing. This was part of the master plan to benefit the agricultural businesses in the township.

Ms. Minock, also stated that there were some eliminations and renaming of multiple family districts (RM1, RM2, RM3, RM4, RM5), RM1 and RM5 are been eliminated. RM2, RM3, RM4 would be renamed as low, medium and high-density multiple family. There would not be any changes to the bulk stair treads, but adding a height limit to the high-density multiple- family and there is no rezoning of any properties in the RM district.

The other map proposed changes are the office district (1) and the neighborhood business district (2- B1 and B2), these are proposed to be form based districts. There is a proposal for elimination of parking district, there are areas designated for zone parking. With the multiple requests from the township for semi-truck parking, the teams involved in this development has allocated the P1 – Parking District to accommodate the uses in the township. This addition was not in the master plan, but with request of the leadership, it was implemented.

Ms. Minock, also stated the renaming of the industrial district (IRO and I1) as Innovation Technology, these would be located in the same location. I2 and I3 are proposed to become logistic and manufacturing, they would also be located in the same location. Industrial Commercial proposed to continue to use the same name, but the district boundaries would split and expand to accommodate range of creative uses and marijuana businesses.

There is also a creation of form-based districts, 3 type of neighborhoods (Ecorse and Packard Regional /Washtenaw, Michigan Avenue and Town Centre/Huron). The major changes to these districts are the regulations for the location of the buildings, on different lots based on their sizes. The proposal is to push the buildings closer to the street with the parking allocation to the side or behind the buildings. This would emphasize the mix use of both commercial and residential either in the same building or the same complex. These buildings would maintain a high architectural standard, and in some cases, its tailored to that particular district, especially in the Town Centre.

Each of the form-based districts would have a regulating plan, and it's represented by the color of shades of blue on the map. The color changes are based on the type of building and its uses. The East Michigan houses that's zoned as industrial, which would change to its regional corridor, and the proposed uses would be for big box retailers, automotive, automobile oriented as gas stations, auto repair car dealerships, special land uses for day-to-day services like grocery stores, convenience stores, personal services; Restaurants, cafes, bars, professionals, medical office, multiple family mixture and public institutions like schools, places of worship, police stations and community centers.

Ms. Minock stated to the public that if there zoning has changed, their business or property would be called non-conforming, and they are permitted to continue the use and occupation of the building. She also mentioned that Ypsilanti Township is called a nonconforming A status, where a property owner who has a non-conforming use or non-conforming building and they wanted to expand it, they can present their case at the Township, for a public hearing and a site plan review process. The expansion can happen once all the conditions are met. The section maps of the township are available to the public for a magnified view of individual lots.

Ms. Minock presented the zoning text changes with regards to the Articles 19. The purpose of the Article is to implement the master plan and the things that do that are those form-based

corridors and agricultural overlays. It also makes a traditional subdivision with a special land use and an open space development. Residential development with open space option is the preferred option, and the opting for a traditional subdivision would require a special land use hearing with the Planning Commission.

There are new sections on solar energy systems, geothermal, parking requiring bicycle and pedestrian accommodations due to the emphasis on sustainability and options for people in the Township, and also the landscape was updated for the allowance of public art. Ms. Minock also stated that there changes in the district titles. The Article 4, consolidates the intent, supplemental standards, and the stand-alone standards for each district. One of the mandates is when any updates are made to any local ordinances; the article would need to be updated per state and federal law. Tools were provided to ensure quality development in Ypsilanti Township and additional regulations for recreational vehicles, essential services, and utilities. The site plan has new sections and completion guarantees, certificate of occupant's development agreements. There are additional building design requirements in neighborhood business and general business districts and also the environmental article has been updated with performance standards.

Ms. Minock concluded by encouraging the public to share their concerns, during the hearing. She also mentioned that Planning Commission would conduct the public hearing partnering with their consultants, and the public concern would help in directing in making any revisions in the zoning ordinance. By state law the Planning Commission have to recommend these changes in the zoning ordinance and map as presented in a changed form to the Township Board.

PUBLIC HEARING OPENED AT 6:59 PM:

- The Resident Thomas Cliché, residing at 7447 Stony Creek Rd, shared his concern that his property and surrounding properties have agricultural designations on top of their residential designation, and this has not been reflected on the zoning map. He requested the Planning Commission to get this corrected.
- Mr. Prater, residing at 86 Wiard, requested the Planning Commission to re zone his property as C designation on the zoning map.
- Bob and Paula Sawitski, residing at 7185 Stony Creek appreciated the Planning Commission for the support and with the new agricultural zoning designation to Ypsilanti Township.
- April King, resident of 7875, Thorn hill in the Partridge Creek subdivision, representing AGC Automotive (1401 S Huron St), stated that a letter was sent to the Commission requesting them their operating activity should be considered as Type D instead of Type C.
- Joe Pizzo, resident of 8811 Trillium Dr, Whispering Meadows enquired if a land that is proposed to be agricultural, and if it is approved by the township, can this revert back to residential or does it have to come back to the commission with the proposal.

PUBLIC HEARING CLOSED AT 7:13PM

Mr. Iacoangeli, explained to the public that Agricultural District is actually an overlay, that sits on top of the residential property. In the event, when someone want to develop that property, the

zoning underneath would govern how it would be developed. The agricultural overlay allows the owner to enjoy the benefits. Agricultural overlay, permits properties around the Township as being agricultural land use, and there are additional uses that would be allowed that wouldn't be permitted for residential uses. Another benefit is, it opens agricultural properties to be eligible for agricultural preservation programs at state and federal level.

Ms. Minock explained on what the reasons, were to determine, areas to get the agricultural overlay designation on the proposed zoning map. They check the existing land use that was in the master plan, in consultation with the assessor, aerial photos and driving the township. She also cautions by mentioning that sometimes existing agricultural operations could have been missed, and the Planning Commission is open to these requests for any expansions, either through designations or research.

Mr. Carlisle explained on how the form-based corridors work. He mentions that there are 3 types of form-based districts (regional, neighborhood and Town Center). The regional is separated from the neighborhood corridors because the regional corridors are for larger intensity, with regards to existing uses, traffic width of the road and the size of the parcels are much larger. The neighborhood has smaller scaled corridors with smaller lots, narrow roads, less intense development with single family adjacent to them. Each individual corridor in individual parcel on the corridor has assigned with a designation ABCD. The designation depends on some general standards of lot size, location, etc. It's within the purview of the Planning Commission to reclassify the designations based on requests.

Ms. Minock, stated that all the concerns and recommendations would be taken including the correspondence that's been received, and it would be presented to the Planning Commission at the next meeting. The Planning Commission would then present these recommendations with conditions to the Township Board for consideration.

Mr. Sinkule recommended that the Commissioners could agree, to take into consideration everything that was shared, along with correspondence to be presented at the next board meeting.

V. NEW BUSINESS

None to report

VI. OPEN DISCUSSION FOR ISSUES NOT ON THE AGENDA

Mr. Kreig, expressed his opinion and concerns with Section 1205, relating to parking regulations. He recommends a revision of that's been proposed. He suggests that parking space requirements is to be decided by the business itself. He also expresses, that in order to encourage people to come into the township and develop, curbing down the imposed restrictions would help in the economic development of the township.

VII. TOWNSHIP BOARD REPRESENTATIVE REPORT

None to report

VIII. ZONING BOARD OF APPEALS REPRESENTATIVE REPORT

None to report

IX. TOWNSHIP ATTORNEY REPORT

None to report

X. PLANNING DEPARTMENT REPORT

Mr. Iacoangeli stated that they would consider all the comments and sort out the recommendations, with a new draft of the ordinance with the map changes. This would be presented to the Planning Commission for a review during the December meeting.

XI. OTHER BUSINESS

None to report

XII. ADJOURNMENT

MOTION: Ms. Peterson **MOVED** to adjourn at 7:39pm. The **MOTION** was **SECONDED** by Ms. El-Assadi and **PASSED** by unanimous consent.

Respectfully submitted by Minutes Services

CHARTER TOWNSHIP OF YPSILANTI

OFFICE OF COMMUNITY STANDARDS

Building Safety • Planning & Zoning • Ordinance Enforcement

Staff Report
Range USA
660 James L. Hart Parkway
Preliminary Site Plan Review

December 16, 2020

CASE LOCATION AND SUMMARY

The Planning Department is in receipt of a preliminary site plan application from Kimley Horn for Range USA. The applicant is seeking approval to construct a 15,000 square foot building indoor gun range with 20 shooting lanes and teaching classrooms. This property is zoned Planned Development the underlying zoning for the project is B-3 General Business.

APPLICANT

Kimley Horn
4201 Winfield Road, Suite 600
Warrenville, IL 60555

CROSS REFERENCES

Zoning Ordinance citations:

- Article XI, Section 1100, B-3 General Business District
- Article XXI, Section 2115, Site Plan Review
- Article XXI, Section 2119, Special Land Uses

ANALYSIS

The plan has been reviewed by Township staff and consultants in accordance with our procedures.

Planning Consultants (Carlisle/Wortman Associates): CWA reviewed the preliminary site plan and in their letter dated December 2, 2021 and recommended that the applicant address the following items:

1. Landscape plan needs to be sealed by a licensed landscape architect.

Engineering Consultants (OHM): The Township Engineer recommended approval for this stage of the process in their December 21, 2021 review letter. OHM has provided preliminary detailed engineering comments that will be addressed at the time of Final Site Plan and Detailed Engineering.

Ypsilanti Community Utilities Authority: YCUA reviewing agent Scott Westover had additional comments in his letter dated December 16, 2021. The comments deal with the length and the diameter of pipe required for the water main for the project. The comments will need to be addressed at the time of Final Site Plan and Detailed Engineering.

Ypsilanti Township Fire Department: YTFD reviewing agent Dan Kimball requested additional information on the Building Construction Type in order to identify the number of required fire hydrants.

Washtenaw County Water Resources Commission: WCWRC reviewing agent Theresa Marsik as notified the Township that the applicant has held a pre-application meeting with the developer on December 8, 2021.

Washtenaw County Road Commission: The applicant has submitted plans to the Washtenaw County Road Commission for approval for the existing driveway location to be utilized for the new business. As of January 5th the Road Commission still had the project under review.

Suggested motions: The following suggested motions and conditions are provided to assist the Planning Commission in making the most appropriate motion for this application. The Commission may utilize, add or reject any conditions suggested herein, as they deem appropriate.

Preliminary Site Plan Approval

Motion to table:

*“I move to table the request for **Preliminary Site Plan** approval for Range USA for 15,000 square foot indoor shooting range to consider the comments presented during the public hearing portion of meeting.*

Motion to approve:

*“I move to approve the request for a **Preliminary Site Plan** for Range USA to be located at 660 James L. Hart Parkway, parcel K-11-17-361-021 with the following conditions:*

1. Applicant shall address remaining review comments from consultants, agencies, and departments.
2. Interior and exterior camera systems shall be held for 45 days and be made available to law enforcement on request.
3. The development is to include a minimum of two (2) EV parking spaces as a part of the overall off-street parking arrangement.
4. Range USA will agree to use eco-friendly landscaping and landscaping products for the development.
5. Applicant shall obtain all applicable outside agency permits.

Motion to deny:

*“I move to deny the request for **Preliminary Site Plan** approval for Range USA to be located at 660 James L. Hart Parkway, parcel K-11-17-361-021, due to the following reasons:*

1. _____
2. _____”

**Recommendation to the Ypsilanti Township Board of Trustees for
Planned Development (PD) Stage I Approval**

Motion to table:

*“I move to table the recommendation to the Ypsilanti Township Board of Trustees for **Preliminary Site Plan and PD Stage I** approval for Range USA to be located at 660 James L. Hart Parkway, parcel K-11-17-361-021, to consider the comments presented by the Public and the Planning Commission during discussion of the project”*

Motion to approve:

*“I move to recommend approval of **Preliminary Site Plan and PD Stage I** to the Ypsilanti Township Board of Trustees for Range USA an indoor gun range to be located at 660 James L. Hart Parkway, parcel K-11-17-361-021 with the following conditions:*

- 1. Applicant shall address remaining review comments from consultants, agencies, and departments.*
- 2. Interior and exterior camera systems shall be held for 45 days and be made available to law enforcement on request.*
- 3. The development is to include a minimum of two (2) EV parking spaces as a part of the overall off-street parking arrangement.*
- 4. Range USA will agree to use eco-friendly landscaping and landscaping products for the development.*
- 5. Applicant shall obtain all applicable outside agency permits.*

Motion to deny:

*“I move to deny the recommendation to the Ypsilanti Township Board of Trustees for **Preliminary Site Plan and PD Stage I approval** for Range USA an indoor gun range to be located at 660 James L. Hart Parkway, parcel K-11-17-361-021, due to the following reasons:*

- 1. _____*
- 2. _____”*

Respectfully submitted,

Jason Iacoangeli

Jason Iacoangeli, AICP
Planning Director

Planning Director's Report

Project Name: Range USA

Location: 660 James L. Hart Parkway K-11-17-361-021

Date: 01.04.2022

- | | |
|--|--|
| <input checked="" type="checkbox"/> Full Preliminary Site Plan Review # 2
<input type="checkbox"/> Sketch Preliminary Site Plan Review #
<input type="checkbox"/> Administrative Preliminary Site Plan Review #
<input type="checkbox"/> Detailed Engineering/Final Site Plan Review #
<input type="checkbox"/> Special Use Permit
<input checked="" type="checkbox"/> Public Hearing | <input type="checkbox"/> Rezoning
<input type="checkbox"/> Tentative Preliminary Plat
<input type="checkbox"/> Final Preliminary Plat
<input type="checkbox"/> Final Plat Process
<input checked="" type="checkbox"/> Planned Development Stage I
<input type="checkbox"/> Planned Development Stage II |
|--|--|

Contact / Reviewer	Consultants, Departments, & Agencies	Approved	Approved with Conditions	Denied	N/A	See email/letter attached or comments below
Jason Iacoangeli, Planning Director	Township Planning Department	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See Planning Department Comments Below
Carlisle/Wortman Associates	Planning Consultant	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See Carlisle Wortman letter dated 12.02.21
OHM / Stantec	Engineering Consultant	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See OHM letter dated 12.21.21
Dan Kimball, Fire Marshal	Township Fire Department	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See YTFD letter dated 12.16.21
Dave Bellers, Building Official	Township Building Department	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Brian McCleery, Deputy Assessor	Township Assessing Department	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Scott Westover, Engineering Manager	Ypsilanti Community Utilities Authority	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See YCUA letter dated 12.16.2022
Gary Streight, Project Manager	Washtenaw County Road Commission	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Theresa Marsik, Stormwater Engineer	Washtenaw County Water Resources Commission	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
James Drury, Permit Agent	Michigan Department of Transportation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Planning Director's Recommended Action:

At this time the Planning Department would recommend Preliminary Site Plan approval based on the attached reviews. The applicant has some YCUA utility comments that need to be addressed at the time of Final Site Plan that deal with the length and diameter of pipe for water service. Further, the applicant will need to provide the Fire Department with the Building Type so that the number of required Fire Hydrants can be identified. At this time both Carlisle Wortman and OHM Engineering are satisfied that all of the Preliminary Site Plan items have been addressed in order for this project to be considered by the Planning Commission. This project has been placed on the January 11th Planning Commission Agenda for the required Public Hearing and Preliminary Site Plan consideration.



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: November 9, 2021
December 2, 2021

**Site Plan Review
For
Ypsilanti Township, Michigan**

Applicant:	Development Management Group, LLC
Project Name:	Shoot Point Blank
Plan Date:	November 29, 2021
Location:	660 James L Hall Parkway, Ypsilanti Twp
Zoning:	PD, Planned Development
Action Requested:	Preliminary Site Plan Review.
Required Information:	As noted in this report.

PROJECT AND SITE DESCRIPTION

The applicant is proposing to construct a 15,000 square-foot building that includes gun sales, 20-lane shooting range, and teaching classrooms at 660 James L Hart Parkway. The use includes 108 parking spaces. The site is the vacant parking lot that was acquired by Bank Supplies. The total site is 2.76 acres. The site is controlled by the Burning Bush Planned Development, but must comply with the underlying B-3 General Business District regulations.

Indoor recreation facility is a permitted use in the underlying B-3 General Business District. An aerial photo of the subject site and surrounding area is shown in **Figure 1**.

Figure 1.
Subject Site



Size of Subject Property:

The parcel is 2.76 acres

Proposed Uses of Subject Parcel:

Gun Sales and Range

Current Use of Subject Property:

The subject property is currently vacant

Current Zoning:

The property is currently zoned R-1C, One-family Residential District.

Surrounding Property Details:

Direction	Zoning	Use
North	NA	Interstate 75
South	I-1, Light Industrial	Light Industrial/ Warehouse
East	I-1, Light Industrial	Vacant
West	PD, Planned Development	Bank Supplies

AREA, WIDTH, HEIGHT, SETBACKS

The dimensional requirements of the B-3, General Business District in noted in the table:

	Required	Provided	Compliance
Lot Area	None	2.7 acres	YES
Lot Width	None	Not provided	YES
Building Setbacks			
Front	20 feet	+20 feet	YES
Side	0 feet required	Over 0 feet	YES
Rear	20 feet	+20 feet	YES

Maximum Building Height	25 feet	23'-7"	YES
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The building complies with all B-3, General Business District zoning requirements.

Items to be Addressed: None

NATURAL RESOURCES

The site has been cleared and graded for a parking lot. No natural features exist on the site.

Items to be Addressed: None

BUILDING LOCATION AND SITE ARRANGEMENT

The proposed development is located within an existing vacant parking lot. For the most part the site arrangement remains as is, with the building placed towards the rear of the site with a full access drive around the building. The front part of the existing vacant parking lot will remain as is but the paving will be improved as necessary. The building location and site arrangement is logical based on existing site conditions.

Items to be Addressed: None

SITE ACCESS AND CIRCULATION

The site will be accessed via one (1) access on James L Parkway and one (1) shared access to the south (Bank Supplies) parcel. A fire truck turning template was submitted on Sheet C.3.1. The turning template should be reviewed by the Fire Marshall.

Items to be Addressed: None

PARKING, LOADING

Parking

Indoor Gun Range, classroom, and retail sales require the following parking as set forth in Section 2104:

	Required	Provided
Indoor Commercial Recreation: Two for each batting cage, archery range or similar activity.	20 lanes = 40 spaces	107 spaces
Classroom use: One for each 250 square feet of usable floor space.	785 sq.ft / 250 = 3 spaces	

Retail Sales: One for each 250 square feet of usable floor space	3,085 sq.ft / 250 = 13 spaces	
Barrier Free	5	5
Loading	1	0
Total	55 spaces	107 spaces

Though the parking exceeds the maximum, the site is an existing parking lot. The applicant is proposing to repurpose an existing parking lot into a functional use.

Loading

A loading space is not provided on the plans. The applicant notes that a “loading will be conducted outside of normal business hours, thus a designated loading zone is not proposed at this time.”

Items to be Addressed: Planning Commission to consider loading space waiver.

LANDSCAPING

A landscape plan has been provided as part of the site plan submittal. The landscape plan was not sealed by a registered landscape architect. The applicant notes that the landscape plan will be sealed as condition of final site plan.

	<u>Required:</u>	<u>Provided:</u>	<u>Compliance:</u>
General Site Landscaping: <i>All areas of a site shall remain in lawn area. A mixture of evergreen and deciduous trees shall be planted at the rate of one (1) tree for each 1,000 square feet or fraction thereof of lawn area, plus One (1) shrub for every 500 square feet or fraction thereof of lawn area.</i>	17 evergreen or deciduous trees And 33 shrubs	3 evergreen and 14 deciduous And 33 shrubs	Complies
Street Yard Landscaping: <i>A minimum of one large deciduous tree shall be planted for each 40 lineal feet of frontage, PLUS one ornamental tree shall be planted for each 100 lineal feet of frontage, PLUS one shrub shall be planted for each ten lineal feet of frontage.</i>	4 deciduous And 2 ornamental And 17 shrubs	4 deciduous And 2 ornamental And 17 shrubs	Complies

Parking Lot Trees: 1 tree every 3,000 square feet.	7 trees	7 trees	Complies
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Items to be Addressed: Seal Landscape Plan by a licensed landscape architect for final site plan

LIGHTING

The applicant has submitted a photometric plan and lighting fixtures. The applicant is proposing fifteen (15) pole lights and sixteen (16) building lights. Pole height complies with ordinance requirements. The lighting requirements of Section 2110 have been met.

Items to be Addressed: None

FLOOR PLAN AND ELEVATIONS

The applicant has provided floor plans and elevations. Primary material is masonry brick in brown and beige color. Exterior material requirements have been met as set for forth in Sec 2125.

The mechanical equipment in the rear is enclosed in a solid wood fence to provide screening.

Items to be Addressed: None

SEC 1840-INDOOR RECREATIONAL FACILITY

- a) All recreational activities shall be conducted within an enclosed building.

All uses are within the enclosed building.

- b) Structures shall be set back 100 feet from any abutting residential district, except the planning commission may reduce the setback to 50 feet where the adjacent residentially zoned property is a public park or recreation area.

The site is not within 100-feet of any residential district.

- c) The off-street parking, passenger loading/unloading and general size layout and its relationship to the surrounding land uses and roads shall be reviewed by the planning commission, who may impose reasonable restrictions or requirements to insure contiguous residential areas will be adequately protected.

Parking, loading, and layout seem reasonable based on the use and existing conditions. As part of their review, the Planning Commission may place reasonable restrictions or requirements.

- d) **A parking study shall be prepared to determine the required number of parking spaces. The study shall indicate to the maximum capacity of the facility, the maximum number of participants that can be involved in the events, with an overlap between two consecutive events, and the maximum number of spectators. Such study shall utilize parking generation estimates based upon the Institute of Transportation Engineers Parking Generation Manual and also a comparison of three similar facilities in the area.**

Applicant should provide retail sales and classroom square footage to determine if parking is sufficient.

- e) **The applicant shall provide documentation showing that the size of the site is adequate, using national facility standards.**

The applicant is required to comply with all national facility standards for this use.

- f) **Operational hours may be restricted by the planning commission in consideration of adjacent land uses and zoning. All outdoor activities, including floodlighting, public address systems, etc. must cease at 11:00 p.m.**

There appears to be no outside impact such as floodlighting, public address system, or other outside activity that would impact adjacent properties.

- g) **All buildings shall be permanent structures. Inflated domes are not permitted.**

Primary material is masonry brick in brown and beige color. Exterior material requirements have been met as set for forth in Sec 2125.

RECOMMENDATIONS

Planning Commission should discuss loading space waiver. Based upon that discussion, we recommend preliminary site plan approval with the following condition to be submitted as part of final site plan:

1. *Stamp Landscape Plan by licensed landscape architect*



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, AICP, LEED AP
Principal



December 21, 2021

Mr. Jason Iacoangeli
Township Planning Director
Charter Township of Ypsilanti
7200 S. Huron River Drive
Ypsilanti, MI 48197

RE: Shoot Point Blank
660 James L. Hart Parkway
Site Plan Review #2

Dear Mr. Iacoangeli:

We have completed the second site plan review of the plans dated November 29, 2021 and received by OHM Advisors on December 2, 2021.

At this time, the plans are recommended for approval for the Planning Commission's consideration.

A brief description of the project has been provided below (Section A), followed by our comments (Section B and C) and a list of anticipated required permits and approvals (Section D). Comments in Section C are detailed in nature, do not influence the overall site layout, and can be addressed during the detailed engineering drawing submittal.

A. PROJECT AND SITE DESCRIPTION

The applicant is proposing a new 15,019 square foot building to use as a gun sales shop and shooting range at 660 James L Hart Parkway. Roughly two-thirds of the parking lot is proposed for removal, with the majority of the lot being replaced in kind or as the new building footprint. The applicant will maintain two points of access on-site, located at the main entrance off of James L Hart, and a southwest connection to the western neighboring parcel. The existing northeast neighbor connection is proposed for removal.

The applicant is proposing to loop and extend a 6-inch watermain from the neighboring west parcel and connect to the existing 8-inch main extension located at the north side of James L Hart. Sanitary service is proposed to connect into the existing 10-inch main running parallel along the north side of James L Hart. The existing storm system on the south side of the site and the detention basin are to remain along with some catch basins as part of the existing drainage district.

B. SITE PLAN COMMENTS

Paving and Grading

1. The applicant shall note that it is recommended that the access drive to the west of the proposed building that is to be abandoned shall be removed to discourage improper use. The applicant noted in their November 29, 2021, letter that offsite work to close/remove the abandoned access drive will be coordinated with the adjacent property owner. The comment has been sufficiently addressed.



2. The applicant shall note that it is recommended that the access drive to the west of the proposed building that is to be abandoned shall be removed to discourage improper use. The comment has been sufficiently addressed.
3. The applicant shall either propose 7-ft sidewalk to the south of the building abutting the parking spaces or propose parking blocks to prevent car overhang and pedestrian hinderance. The comment has been sufficiently addressed.

Site Utilities

4. The applicant shall note that the minimum water main size for distribution is 8 inches. There is a proposed 6-in water main extension (approximately 300 feet in length) connecting to an existing fire hydrant to the west. The maximum allowable dead-end main lengths are 40 feet for 6-in fire hydrant lead and 600 feet for 8-in main. The comment has been sufficiently addressed.
5. The applicant shall show all applicable easements (ie. Water main, Sanitary, and Strom) on the property and on the adjacent property to the west. The comment has been sufficiently addressed.
6. The applicant shall provide a 250-foot radius coverage from existing (or proposed) fire hydrants that encloses on all four corners of the proposed building. The comment has been sufficiently addressed.

General

7. The applicant shall verify removal items as it is currently unclear and shall revise accordingly. Curb, storm structures, and other items are called out as removed on the removal sheet but are not shown as removed in the proposed construction site plan. The comment has been sufficiently addressed.
8. The applicant shall provide a separate turning template sheet for emergency vehicles and garbage trucks accessing the site to ensure full site circulation can be achieved. The comment has been sufficiently addressed.
9. The applicant shall note that MissDig is the point of contact for underground utility location. Note number six (6) in the Utility Notes box on sheet C6.0 states “Julie” (1-800-892-0123) as the point of contact for locating underground utilities. The comment has been sufficiently addressed.

C. PRELIMINARY DETAILED ENGINEERING PLAN COMMENTS

The following comments shall be addressed by the applicant during the detailed engineering drawing submittal, and do not affect the recommendation for approval to the Township of Ypsilanti Planning Commission. It should be noted that this is not an all-inclusive list and additional comments may be generated as new information is presented.

1. The applicant shall provide a minimum of two (2) NAVD88 benchmarks. Repeat comment; the applicant has one (1) benchmark.
2. The applicant shall verify the provided legal description is consistent on all applicable sheets. The applicant shall verify that the provided legal description matches the bearings provided on the plan view and that the correct legal description closes.
3. The applicant shall provide profiles for all utilities (water, sanitary, and storm sewer) on the plans. These profiles shall include diameters, materials, lengths, slopes, and services. In addition, the hydraulic grade lines shall be clearly indicated on all storm sewer profiles.



4. The applicant shall provide a utility crossing table with the engineering submittal to ensure proper clearance between existing and proposed utilities.
5. The applicant shall review the proposed joints/appurtenances at the water main junction in the middle of the south parking lot as it is currently unclear what is proposed. Additionally, all gate valves shall be properly delineated.
6. The applicant shall verify how storm water will be managed around the building (i.e. roof drains).
7. The applicant shall provide the dimensions of the barrier free space and spot elevations at all four corners of proposed barrier-free parking space, access aisle, ramps, and level landings, as well as at 50-foot intervals along all sidewalks to ensure ADA compliance. The applicant shall note that the cross slope shall not exceed 2%.
8. The applicant shall include all pavement, sidewalk, and curb and gutter details within the plan set.
9. The applicant shall provide an engineer's estimate of probable cost for the project with the final detailed engineering submittal.

D. REQUIRED PERMITS & APPROVALS

The following outside agency reviews and permits will be required for the project. Copies of any correspondence between the applicant and the review agencies, as well as the permit or waiver, shall be sent to both the Township and OHM Advisors (email: elliott.smith@ohm-advisors.com).

- ▶ **Ypsilanti Community Utilities Authority (YCUA):** Will require review and approval for the proposed water main, water connection, and sanitary connection.
- ▶ **Ypsilanti Township Fire Department:** Review and approval is required.
- ▶ **Washtenaw County Water Resources Commissioner's Office (WCWRC):** Review and approval will be required.
- ▶ **Michigan Department of Environment, Great Lakes & Energy (EGLE):** An EGLE Act 399 permit will be required for construction of all water main system improvements.
- ▶ **Ypsilanti Township Office of Community Standards:** A Soil Erosion and Sedimentation Control permit shall be secured from the Ypsilanti Township Office of Community Standards.
- ▶ The Township's Planner will inspect the landscaping for this site.
- ▶ If dewatering should be needed, the contractor/applicant shall be responsible for obtaining necessary approvals from the Township and the Township Engineer, permission from all impacted adjacent properties and/or permits from MDOT, WCWRC's Office, or the WCRC.
- ▶ Record plans shall be provided to the Township Engineer following the completion of construction.

Should you have any questions regarding this matter, please contact this office at (734) 466-4580.

Sincerely,
OHM Advisors

Matthew D. Parks, P.E.

Elliot R. Smith, P.E.

MDP/ERS/seb



cc: Amy Steffens, Township Planning and Development Coordinator
Fletcher Reyher, Township Staff Planner
Kristi Troy, Township Community Standards Executive Coordinator
Doug Winters, Township Attorney
Dan Kimball, Township Fire Marshall
File

P:\0000_0100\SITE_YpsilantiTwp\2021\0098211130_660 James Hart_Shoot Point Blank\MUNI\01_SITE\Review #2\Shoot Point
Blank_SP2.docx

CHARTER TOWNSHIP OF YPSILANTI FIRE DEPARTMENT

BUREAU OF FIRE PREVENTION

222 South Ford Boulevard, Ypsilanti, MI 48198



December 16, 2021

Jason Iacoangeli, Planning Director
Charter Township of Ypsilanti
7200 S. Huron River Drive
Ypsilanti, MI 48197

RE: Preliminary (non-residential) Site Plan Review #2
Project Name: Shoot Point Blank
Project Location: 660 James L. Hart Parkway
Plan Date: 10/19/2021
Project Number: 168921002
Applicable Codes: IFC 2018
Engineer: Kimley – Horn and Associates, Inc.
Engineer Address: 4201 Winfield Rd., Suite 600 Warrenville, Ill 60555

Status of Review

Status of review: Denied (see comments)

Pages C 0.0 – L 2.0 were reviewed.

Site Coverage - Hydrants

Comments:

All four corners of proposed building must be within 250 feet of a hydrant, depending on construction type more than one hydrant will be needed.

If the building is IIA or IIIA building type one additional hydrant is needed.

If the building is IIB or IIIB building type three hydrants are need.

Please provide construction building type.

Sincerely,

A handwritten signature in black ink that reads "Dan Kimball". The signature is written in a cursive style and is positioned above a horizontal line.

Dan Kimball, Fire Marshal
Charter Township of Ypsilanti Fire Department
CFPS, CFI II, CFPE



YPSILANTI COMMUNITY UTILITIES AUTHORITY

2777 STATE ROAD
YPSILANTI, MICHIGAN 48198-9112
TELEPHONE: 734-484-4600
WEBSITE: www.ycua.org

December 16, 2021

VIA ELECTRONIC MAIL

Mr. Jason Iacoangeli, Planning Director
Office of Community Standards
CHARTER TOWNSHIP OF YPSILANTI
7200 S. Huron River Drive
Ypsilanti, MI 48197

Re: Preliminary (non-residential) Site Plan Review #2
Shoot Point Blank
Charter Township of Ypsilanti (Plan Date: 11-29-2021)

Dear Mr. Iacoangeli:

In response to your electronic mail message dated December 2, 2021, we have reviewed the referenced plans with regards to water supply and wastewater system design. The plans are not acceptable to the Authority.

1. The minimum size pipe allowed for use in the water distribution system is 8" diameter.
2. Water main pipe material shall be ductile iron.
3. The maximum allowable length for 6" diameter fire hydrant service pipe is 40'.
4. An easement will need to be obtained from the adjacent property owner for any offsite water main located outside of existing right-of-way or easements.
5. Fire hydrants shall be located per the requirements of the Ypsilanti Township Fire Department and the current version of the International Fire Code. It is anticipated that the proposed water main alignment and hydrant locations will not be sufficient.

As noted in the November 8, 2021, letter from this office, connection fees apply to the proposed building. Please note that the total cash price for connection fees, **\$19,006.01 plus the construction phase escrow deposit, Authority administration fee, and record plan guarantee**, must be paid to the Authority by the Applicant, with a receipt delivered to the Township, before either the building or soil and grading permit is issued. The construction phase escrow deposit and associated fees and deposits and the entity responsible for maintaining those accounts will be determined during the Detailed Engineering phase of the project in conjunction with your office and the Township Engineer. Should there be any questions please contact this office.

Sincerely,

SCOTT D. WESTOVER, P.E., Engineering Manager
Ypsilanti Community Utilities Authority

Mr. Jason Iacoangeli
CHARTER TOWNSHIP OF YPSILANTI
December 16, 2021
Page 2

Enclosure as noted

cc: Mr. Jeff Castro, Mr. Luke Blackburn, Mr. Mike Shaffer, File, YCUA
Ms. Belinda Kingsley, Charter Township of Ypsilanti
Mr. Eric Copeland, Mr. Dan Kimball, Township Fire Department
Mr. Matt Parks, P.E., Mr. Elliot Smith, Township Engineer
Mr. Brad Copp, Applicant
Mr. Joe Mayer, Applicant's design engineer

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FINAL ENGINEERING PLANS

SHOOT POINT BLANK

660 JAMES L. HART PARKWAY

YPSILANTI TOWNSHIP, MI 48197



UTILITY AND GOVERNING AGENCY CONTACTS

PLANNING/ZONING DEPARTMENT
 CHARTER TOWNSHIP OF YPSILANTI
 7200 S. HURON RIVER DR.
 YPSILANTI, MI 48197
 TEL: (734) 485-3943
 CONTACT: JASON IACOANGELI, AICP

BUILDING DEPARTMENT
 CHARTER TOWNSHIP OF YPSILANTI
 7200 S. HURON RIVER DR.
 YPSILANTI, MI 48197
 TEL: (734) 485-3943

STORM SEWER SERVICE
 WASHTEENAW WATER RESOURCES
 COMMISSION & PUBLIC WORKS
 705 N. ZEEB ED
 ANN ARBOR, MI 48107
 TEL: (734) 222-6844
 CONTACT: THERESA MARSIK, P.E.

WATER SERVICE
 YPSILANTI COMMUNITY UTILITIES AUTHORITY
 2777 STATE ROAD
 YPSILANTI, MI 48198
 TEL: (734) 484-4600
 CONTACT: SCOTT WESTOVER, P.E.

ROADWAY AUTHORITY
 OFFICE OF WASHTEENAW COUNTY ROAD
 COMMISSIONER (WORC)
 535 NORTH ZEEB RD
 ANN ARBOR, MI 48103
 TEL: (734)327-6642
 CONTACT: GARY STREIGHT, P.E.

POWER COMPANY
 DTE ENERGY - WASHTEENAW DISTRICT
 8001 HAGGERTY ROAD
 BELLEVILLE, MI 48111
 TEL: (734) 397-4321

NATURAL GAS COMPANY
 DTE ENERGY - WASHTEENAW DISTRICT
 8001 HAGGERTY ROAD
 BELLEVILLE, MI 48111
 TEL: (734) 397-4321

TELEPHONE
 AT&T
 3787 CARPENTER ROAD
 YPSILANTI, MI 48197
 TEL: (734) 677-0707

PROJECT TEAM

DEVELOPER
 COMPTON ADDY
 3805 EDWARDS RD, SUITE 390
 CINCINNATI, OHIO 45209
 CONTACT: BRAD COPP

APPLICANT/OWNER'S AGENT
 DEVELOPMENT MANAGEMENT GROUP, LLC
 4209 GALLATIN PIKE
 NASHVILLE, TN 37216
 TEL: (615) 227-5863
 CONTACT: KEN KNUCKLES

GEOTECH
 ASFE
 8811 COLESVILLE ROAD, SUITE G106
 SILVER SPRING, MD 20910
 TEL: (301) 565-2733

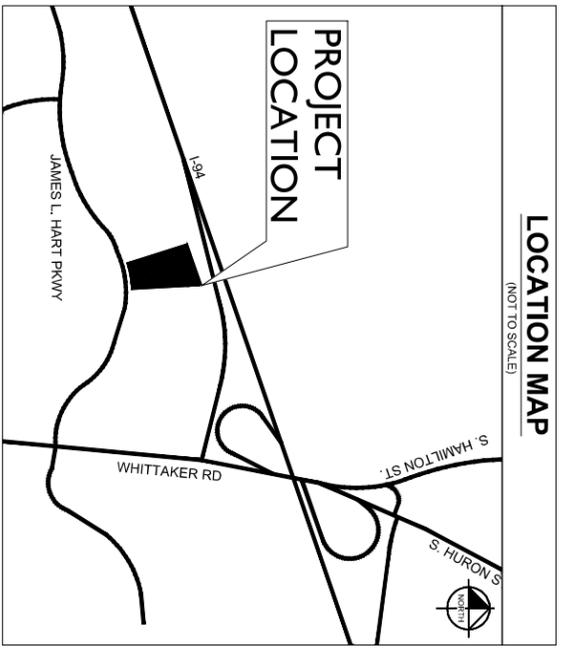
CIVIL ENGINEER
 KIMLEY-HORN OF MICHIGAN, INC.
 39111 SIX MILE RD.
 LIVONIA, MI 48152
 TEL: (630) 487-5550
 EMAIL: JOE.MAYER@KIMLEY-HORN.COM
 CONTACT: JOE MAYER

LANDSCAPE ARCHITECT
 KIMLEY-HORN OF MICHIGAN, INC.
 39111 SIX MILE RD.
 LIVONIA, MI 48152
 EMAIL: (630) 487-3415
 EMAIL: DANIEL.GROVE@KIMLEY-HORN.COM
 CONTACT: DANIEL GROVE, PLA

SURVEYOR
 MIDWESTERN CONSULTING
 3815 PLAZA DRIVE
 ANN ARBOR, MI 48108
 TEL: (734) 995-0200
 CONTACT: PATRICK L. HASTINGS

LEGAL DESCRIPTION

LEGAL DESCRIPTION OF A PARCEL OF LAND LOCATED IN FRENCH CLAIM #680, TOWN 3 SOUTH, RANGE 7 EAST, YPSILANTI TOWNSHIP, WASHTEENAW COUNTY, MICHIGAN



BENCHMARKS
SITE BENCHMARKS: TOP OF THE NORTH SIDE OF A CONCRETE LIGHT POLE BASE LOCATED ±81' NORTH OF THE CENTERLINE OF JAMES L. HART PARKWAY, ±107' WEST OF THE ENTRANCE TO LOT #3, ±41.5' NORTH-NORTHWEST OF THE SOUTHWEST CORNER OF LOT #9; ELEVATION = 755.30' (NAVD88 DATUM)

LOCATION MAP

(NOT TO SCALE)

Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	GENERAL NOTES
V0.0	ALTA SURVEY
C2.0	DEMOLITION PLAN
C3.0	SITE PLAN
C3.1	FIRE AND TRASH ROUTING PLAN
C4.0	EROSION CONTROL PLAN
C4.1	EROSION CONTROL NOTES & DETAILS
C5.0	GRADING PLAN & DRAINAGE PLAN
C5.1	STORM SEWER PLAN
C6.0	UTILITY PLAN
C6.1	STORM SEWER PROFILES
C6.2	SANITARY & WATERMAIN PROFILES
C7.0	SITE CONSTRUCTION DETAILS
C8.0	YPSILANTI TOWNSHIP STORM DETAILS
C8.1	YPSILANTI TOWNSHIP STORM DETAILS
C8.2	YPSILANTI TOWNSHIP WATERMAIN DETAILS
C8.3	YPSILANTI TOWNSHIP WATERMAIN DETAILS
C8.4	YPSILANTI TOWNSHIP WATERMAIN DETAILS
C8.5	YPSILANTI TOWNSHIP WATERMAIN DETAILS
C8.6	YPSILANTI TOWNSHIP SANITARY DETAILS
C8.7	YPSILANTI TOWNSHIP SANITARY DETAILS
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE NOTES AND DETAILS

PROFESSIONAL ENGINEER'S CERTIFICATION

I, JUSTIN MULLER, A LICENSED PROFESSIONAL ENGINEER OF MI, HEREBY CERTIFY THAT THIS SUBMISSION, PERTAINING ONLY TO THE "C" SERIES CIVIL SHEETS LISTED ABOVE BUT EXCLUDING DETAILS PREPARED BY OTHERS, WAS PREPARED ON BEHALF OF COMPTONADDY BY KIMLEY-HORN OF MICHIGAN, INC. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

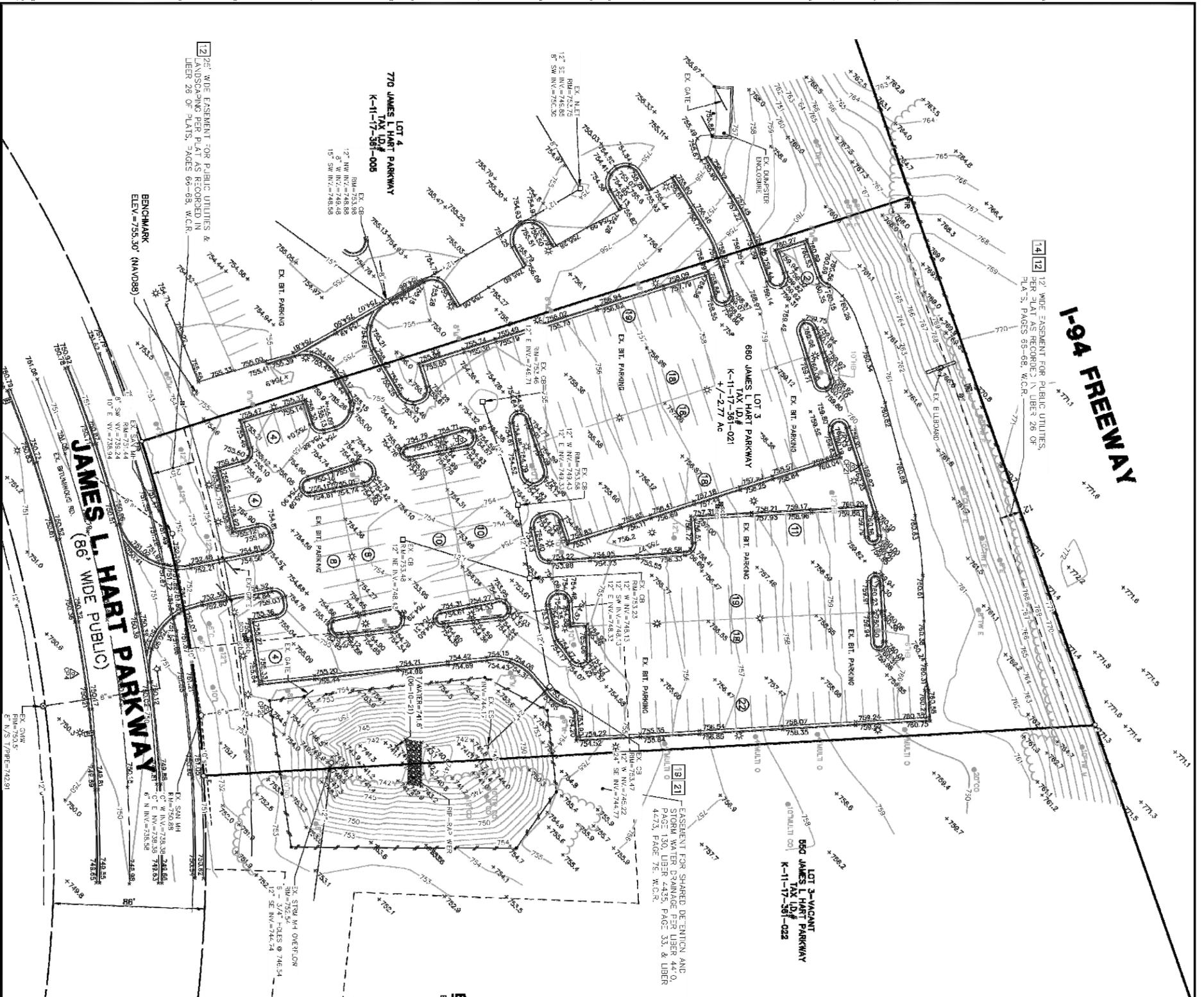
DATED THIS 29TH DAY OF NOVEMBER, A.D., 2021.

JUSTIN MULLER
 LICENSED PROFESSIONAL ENGINEER 6201055212
 MY LICENSE EXPIRES ON OCTOBER 31, 2022
 DESIGN FIRM REGISTRATION NUMBER: 184002012-0006



SHOOT POINT BLANK 660 JAMES L. HART PARKWAY YPSILANTI TOWNSHIP, MI	COVER SHEET		SCALE: AS NOTED DESIGNED BY: JPM DRAWN BY: BMH CHECKED BY: JMM	 © 2021 KIMLEY-HORN OF MICHIGAN, INC. 39111 SIX MILE ROAD LIVONIA, MI 48152 PHONE: 734-591-7208 WWW.KIMLEY-HORN.COM	TOWNSHIP COMMENTS: 11/29/21 JPM REVISIONS: DATE BY
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ORIGINAL ISSUE: 10/19/2021
 KHA PROJECT NO. 168921002
 SHEET NUMBER
C0.0



12' WIDE EASEMENT FOR PUBLIC UTILITIES PER PLAT AS RECORDED IN LIBER 28 OF PLATS, PAGES 68-69, W.C.R.

1-94 FREEMWAY

12' WIDE EASEMENT FOR SHARED DETENTION AND STORM WATER DRAINAGE PER USER 44.0, PAGE 130, LIBER 433, PAGE 33 & LIBER 4273, PAGE 78, W.C.R.

SCALE: 1" = 30'
0 30 60 90



811
Non-emergencies below.
Call before you dig.

LEGEND

- 333 EXIST. CONTOUR
- x856.2 EXIST. SPOT ELEVATION
- ⊗ EXIST. TRANSFORMER
- ⊕ EXIST. LIGHT POLE
- ⊖ EXIST. TELEPHONE LINE
- ⊙ EXIST. ELECTRIC LINE
- ⊘ EXIST. GAS LINE
- ⊚ EXIST. WATER MAIN
- ⊛ EXIST. HYDRANT
- ⊜ EXIST. GATE VALVE IN BOX
- ⊝ EXIST. GATE VALVE IN WELL
- ⊞ EXIST. STORM SEWER
- ⊟ EXIST. CATCH-BASIN OR INLET
- ⊠ END SECTION
- ⊡ EXIST. SANITARY SEWER
- ⊢ MALIBOX
- ⊣ TELEPHONE RISER
- ⊤ ELECTRIC METER
- ⊥ SPRINKLER CONTROL BOX
- ⊦ POST
- ⊧ SINGE TREE
- ⊨ FENCE
- ⊩ TREE OR BRUSH LIMIT
- ⊪ FOUND IRON PIPE
- ⊫ FOUND IRON ROD
- ⊬ CONTROL PT.
- ⊭ PARKING SPACE COUNT
- ⊮ EXCEPTION #

TREE LEGEND

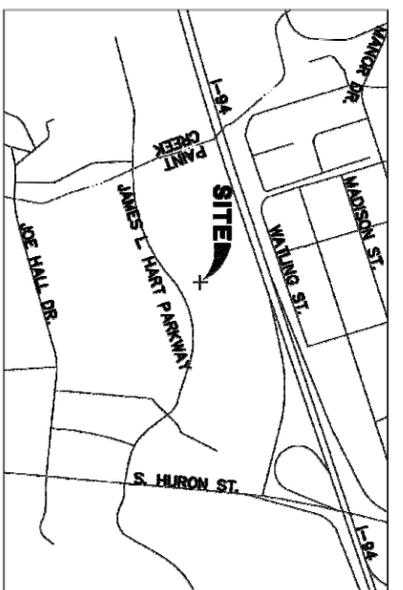
- COTTONWOOD
- ELM
- ⊙ HACKBERRY
- ⊙ LOCUST
- ⊙ MAPLE
- ⊙ OAK
- ⊙ RUSSIAN OLIVE

BENCHMARK

TOP OF THE NORTH SIDE OF A CONCRETE LIGHT POLE BASE LOCATED AT THE INTERSECTION OF THE CENTER LINE OF HART PARKWAY AND THE CENTER LINE OF THE ENTRANCE TO LOT 43, 4/41 ST. NORTH-NORTHWEST OF THE SOUTHWEST CORNER OF LOT 43.
ELEVATION = 755.30' (NAVD89 DATUM)

NOTES

- 1) THIS SURVEY WAS PREPARED USING NEAR NORTH TITLE GROUP, TITLE COMMITMENT No. M 2127221 WITH AN EFFECTIVE DATE OF MARCH 28, 2021.
- 2) THE LEGAL DESCRIPTION DESCRIBES THE SAME PROPERTY AS INSURED IN THE TITLE COMMITMENT AND ANY EXCEPTIONS HAVE BEEN NOTED HEREIN.
- 3) BEARINGS ARE BASED ON HURON CENTER COMMERCIAL & INDUSTRIAL PARK, AS RECORDED IN LIBER 28 OF PLATS, PAGES 68-69.
- 4) SAID DESCRIBED PROPERTY IS NOT LOCATED WITHIN A 100-YEAR FLOOD PLAIN ZONE PER FLOOD INSURANCE RATE MAP NO. 26161C0426 WITH AN EFFECTIVE DATE OF APRIL 3, 2012, IN WASHTENAW COUNTY, STATE OF MICHIGAN, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.
- 5) THERE IS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- 6) THERE IS NO OBSERVED EVIDENCE OF THIS BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- 7) THERE IS NO OBSERVED EVIDENCE INDICATING ANY CEMENTERIES ARE LOCATED ON THE PARCEL HEREIN DESCRIBED.
- 8) THERE IS NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES, OR EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- 9) THE PARCEL HEREIN DESCRIBED HAS 175 REGULAR STRIPPED PARKING SPACES AND 0 HANDICAP SPACES.
- 9) SITE ADDRESS: 660 JAMES L. HART PARKWAY, YPSILANTI, MI



VICINITY MAP



LEGAL DESCRIPTION

LEGAL DESCRIPTION OF A PARCEL OF LAND LOCATED IN TOWNSHIP 3 SOUTH, RANGE 7 EAST, YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

That part of Lot 3 of HURON CENTER COMMERCIAL & INDUSTRIAL PARK, described as:

BEGINNING at the Northwest corner of Lot 3 of HURON CENTER COMMERCIAL & INDUSTRIAL PARK, as recorded in Liber 26 of Plats, Pages 66, 67 and 68, Washtenaw County Records;

thence North 71 degrees 06 minutes 30 seconds East 311.97 feet along the North line of said Lot 3 and the South line of 1-94 Freeway;

thence South 02 degrees 57 minutes 43 seconds East 306.14 feet;

thence S83.83 West along the arc of a 770 foot radius horizontal circular curve to the left, chord bearing South 79 degrees 19 minutes 53 seconds West 183.32 feet, along the South line of said Lot 3 and the North line of 1-94 Freeway;

thence North 17 degrees 23 minutes 05 seconds West 457.58 feet along the West line of said Lot 3 to the POINT OF BEGINNING.

SUBJECT TO

11. Any limitation on access to and from the land across the limited access right of the way 1-94 abutting the property, BLANKET IN NATURE
12. Right(s) of Way and/or Easement(s) and other rights, if any, as delineated or as offered for dedication on the map of said plat: Huron Center Commercial & Industrial Park, as recorded in Liber 26 of Plats, Pages 66-68, Washtenaw County Records, PLOTTED
13. Covenants, conditions and restrictions set forth in the document recorded in Liber 1807, Page 472. Reassigned per Liber 5136, Page 994, Washtenaw County Records, BLANKET IN NATURE
14. Right(s) of Way and/or Easement(s) and rights incidental thereto in favor of The Detroit Edison Company as set forth in Liber 1858, Page 274, Washtenaw County Records, PLOTTED
15. Building and use restrictions as set forth in the document recorded in Page 990, Reassigned per Liber 5136, Page 993 and modified per Liber 5149, Page 941, Washtenaw County Records, BLANKET IN NATURE
16. Covenants, conditions and restrictions set forth in the document recorded in Liber 3335, Page 602, Washtenaw County Records, BLANKET IN NATURE
17. Covenants, conditions and restrictions set forth in the document recorded in Liber 3715, Page 287 and amended per Liber 5412, Page 399, BLANKET IN NATURE
18. Covenants, conditions and restrictions set forth in the document recorded in Liber 3822, Page 181, Washtenaw County Records, BLANKET IN NATURE
19. Right(s) of Way and/or Easement(s) and rights incidental thereto in favor of Ypsilanti Community Utilities Authority, a Michigan municipal corporation, as set forth in Liber 4410, Page 130, Washtenaw County Records, PLOTTED
20. Covenants, conditions and restrictions set forth in the document recorded in Liber 4410, Page 130, Washtenaw County Records, BLANKET IN NATURE
21. Right(s) of Way and/or Easement(s) and rights incidental thereto as set forth in Liber 4435, Page 33 and amended per Liber 4473, Page 79, PLOTTED

SURVEYORS CERTIFICATE

We, SA Property Acquisitions, LLC, Ban/Surplus Holdings, LLC, a Michigan limited liability company, and Near North Title Group,

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 7(a), 8, 9, 11(b), 13, 14, 16, and 17 of Table A thereof. The fieldwork was completed on June 11, 2021

By: Patrick L. Hastings, P.S. No. 27377

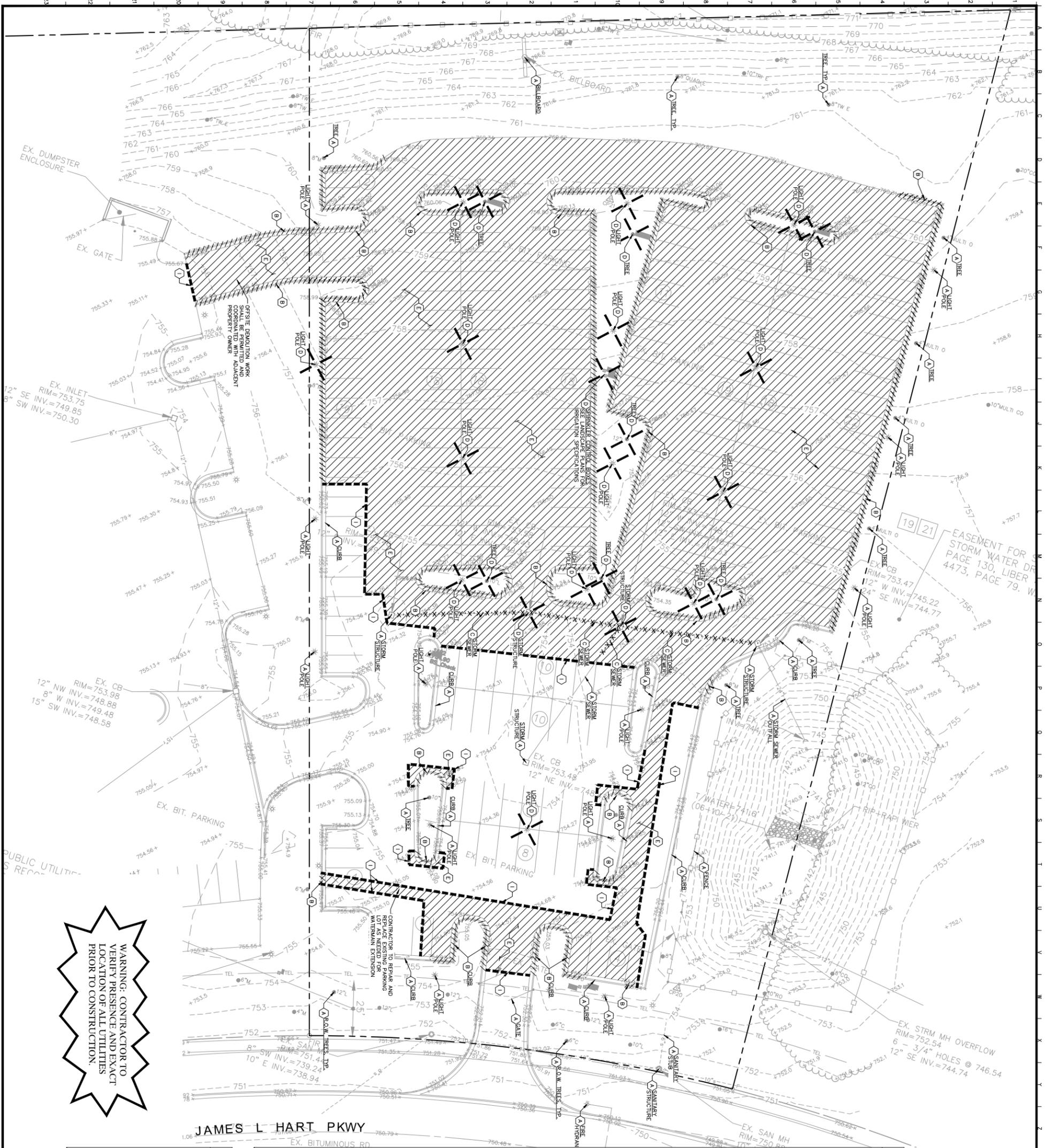
Date: _____

JOB No.	21151	DATE:	06-15-2021
REVISIONS:		SHEET:	1 OF 1
		CDR:	pk
		ENC:	
		PLT:	pk
		TECH:	trb
		21151:	Alta.dwg
			FB:1045

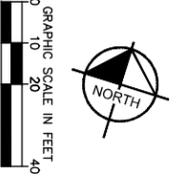
770 JAMES L. HART PARKWAY
ALTA/NSPS LAND TITLE SURVEY OF A PARCEL OF LAND
LOCATED IN THE NORTHEAST 1/4 OF SECTION 17, T3S, R7E,
YPSILANTI TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

CLIENT
ComptonAddy
3805 Edwards Road, Suite 390
Cincinnati, OH 45209

MIDWESTERN CONSULTING
3815 Plaza Drive Ann Arbor, Michigan 48108
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WARNING: CONTRACTOR TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.



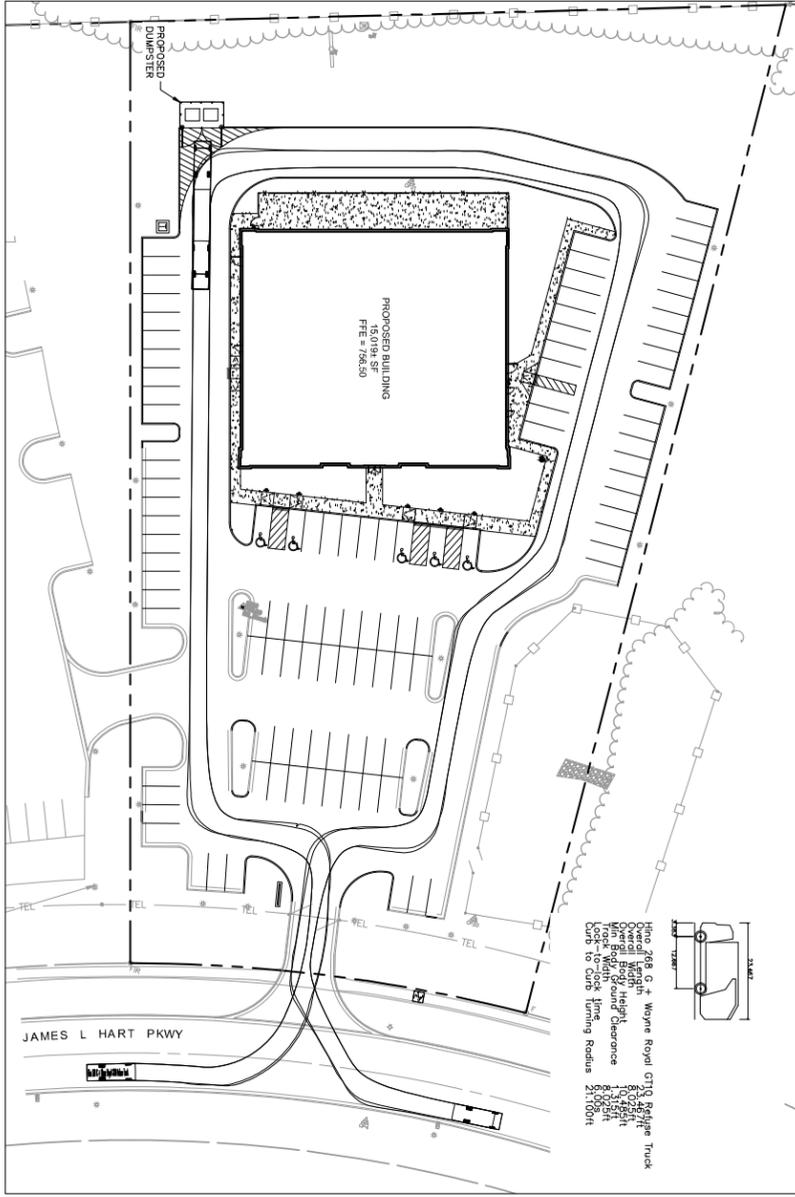
DEMOLITION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION AND/OR REPAIRS. ALL DEBRIS SHALL BE PLACED IN LOCAL, STATE AND/OR FEDERAL REGULATORY GOVERNING SOLID WASTE OVERSEEN.
- THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROTECT ADJACENT PROPERTIES AND UTILITIES FROM DAMAGE. THE CONTRACTOR SHALL BE HELD SOCIALLY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OR UTILITIES. THE CONTRACTOR SHALL NOT DEGRADE ANYTHING OUTSIDE THE OWNERS LEASE/PROPERTY LINE UNLESS SPECIFICALLY MENTIONED ON THIS SHEET.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, FIELD SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND/OR DEPTH OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE ADJACENT OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL CONTACT THE ADJACENT OWNER AND DEVELOP A TRAFFIC CONTROL PLAN. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING DOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TRAFFIC CONTROL MUST BE ESTABLISHED PRIOR TO ANY WORK ON SITE INCLUDING DEMOLITION.
- QUANTITIES DEPicted ON THIS SHEET SHALL SERVE AS A GUIDE ONLY. CONTRACTOR TO VERIFY ALL DEMOLITION QUANTITIES.
- REFER TO GEOTECHNICAL REPORT PROVIDED BY OTHERS FOR ALL SUBSURFACE INFORMATION.
- CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BAYS FOR RELOCATED UTILITIES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS POSSIBLE. CONTRACTOR SHALL VERIFY THE LOCATION AND/OR DEPTH OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS INCLUDING DEMOLITION.
- THE EXTENT OF SITE DEMOLITION WORK IS AS SHOWN ON THE CONTRACT DOCUMENTS AND AS SPECIFIED HEREIN.
- CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE. IF CONTRACTOR DEPENDS TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL, ASBESTOS, WHICH DO NOT SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES BEFORE STARTING DEMOLITION OPERATIONS. EXISTING UTILITIES TO BE REMOVED SHALL BE MARKED WITH RED X'S. ALL UNDERGROUND UTILITIES TO BE REMOVED SHALL BE BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS SPECIFIED ON THIS SHEET. CONTRACTOR SHALL VERIFY THE LOCATION AND/OR DEPTH OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- UNDERGROUND UTILITIES SHOWN ARE BASED ON UTILITIES AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR SHOULD CALL MISCING (1-800-482-7171) TO CORROBORATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE OPERATING ANY BACKHOES OR EXCAVATORS. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITIES TO BE REMOVED SHALL BE MARKED WITH RED X'S. CONTRACTOR SHALL BE DIRECTED BY THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO BE REMANED SHALL BE REPAIRED TO ORIGINAL CONDITION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL EXISTING MATERIALS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL EXISTING MATERIALS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL EXISTING MATERIALS.
- USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE MEASURES TO PREVENT DUST AND PARTICULATE MATTER FROM BEING BLOWN TO THE LOWEST LEVEL. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. SEE EROSION CONTROL SHEETS FOR FURTHER EROSION CONTROL REQUIREMENTS.
- COMPLETELY FILL BELOW-GRADE AREAS AND Voids RESULTING FROM CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL EXISTING MATERIALS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL EXISTING MATERIALS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL EXISTING MATERIALS.

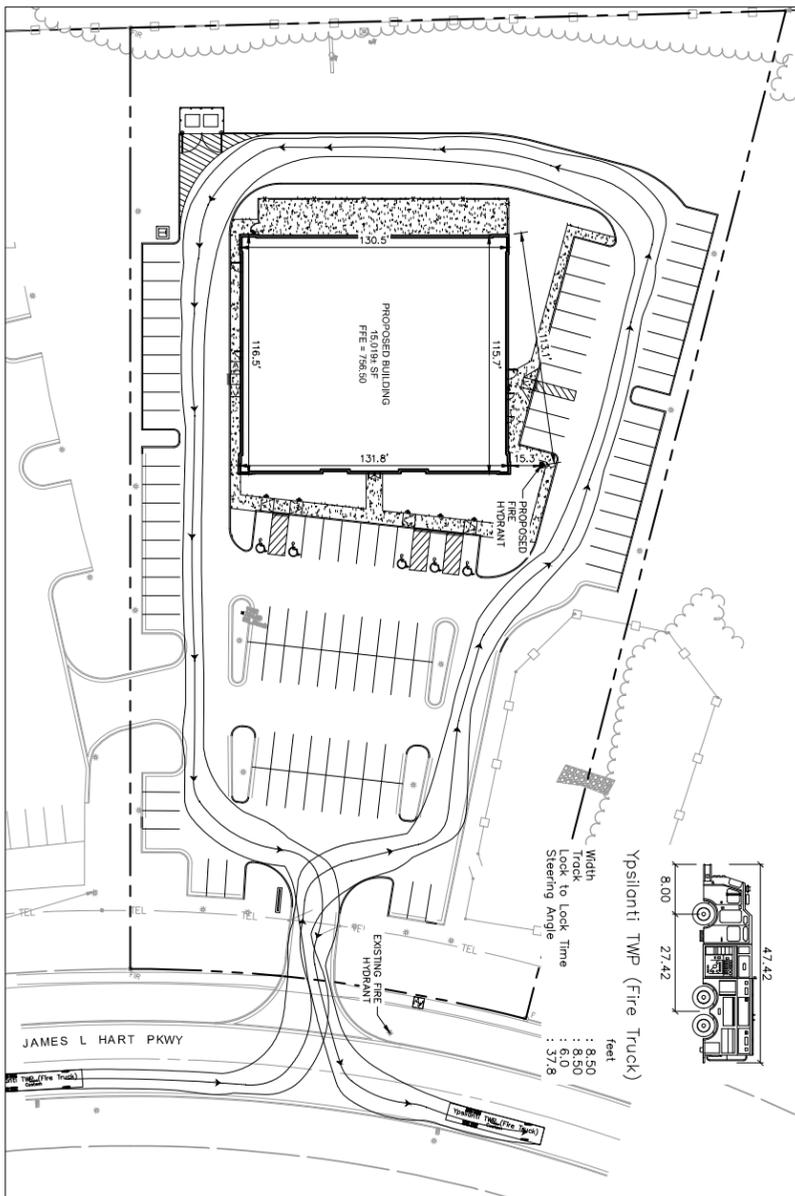
DEMOLITION LEGEND

- (A) ITEM TO REMAIN, PROTECT DURING CONSTRUCTION
- (B) CURB REMOVAL
- (C) UTILITY REMOVAL
- (D) ITEM TO BE REMOVED
- (E) FULL-DEPTH ASPHALT PAVEMENT REMOVAL
- (F) CONCRETE REMOVAL (NOT USED)
- (G) BUILDING REMOVAL (NOT USED)
- (H) ASPHALT 1.5" MILL (NOT USED)
- (I) SANCT LINE
- (J) FENCE REMOVAL (NOT USED)

<p>SHOOT POINT BLANK</p> <p>660 JAMES L. HART PARKWAY YPSILANTI TOWNSHIP, MI</p>	<p>DEMOLITION PLAN</p>		<p>SCALE: AS NOTED</p> <p>DESIGNED BY: JPM</p> <p>DRAWN BY: BMH</p> <p>CHECKED BY: JMM</p>	<p>Kimley-Horn of Michigan, Inc.</p> <p>© 2021 KIMLEY-HORN OF MICHIGAN, INC. 39111 SIX MILE ROAD LYONIA, MI 48132 PHONE: 734-591-7208 WWW.KIMLEY-HORN.COM</p>	<p>TOWNSHIP COMMENTS</p> <p>11/29/21 JPM</p> <p>REVISIONS</p> <p>DATE BY</p>
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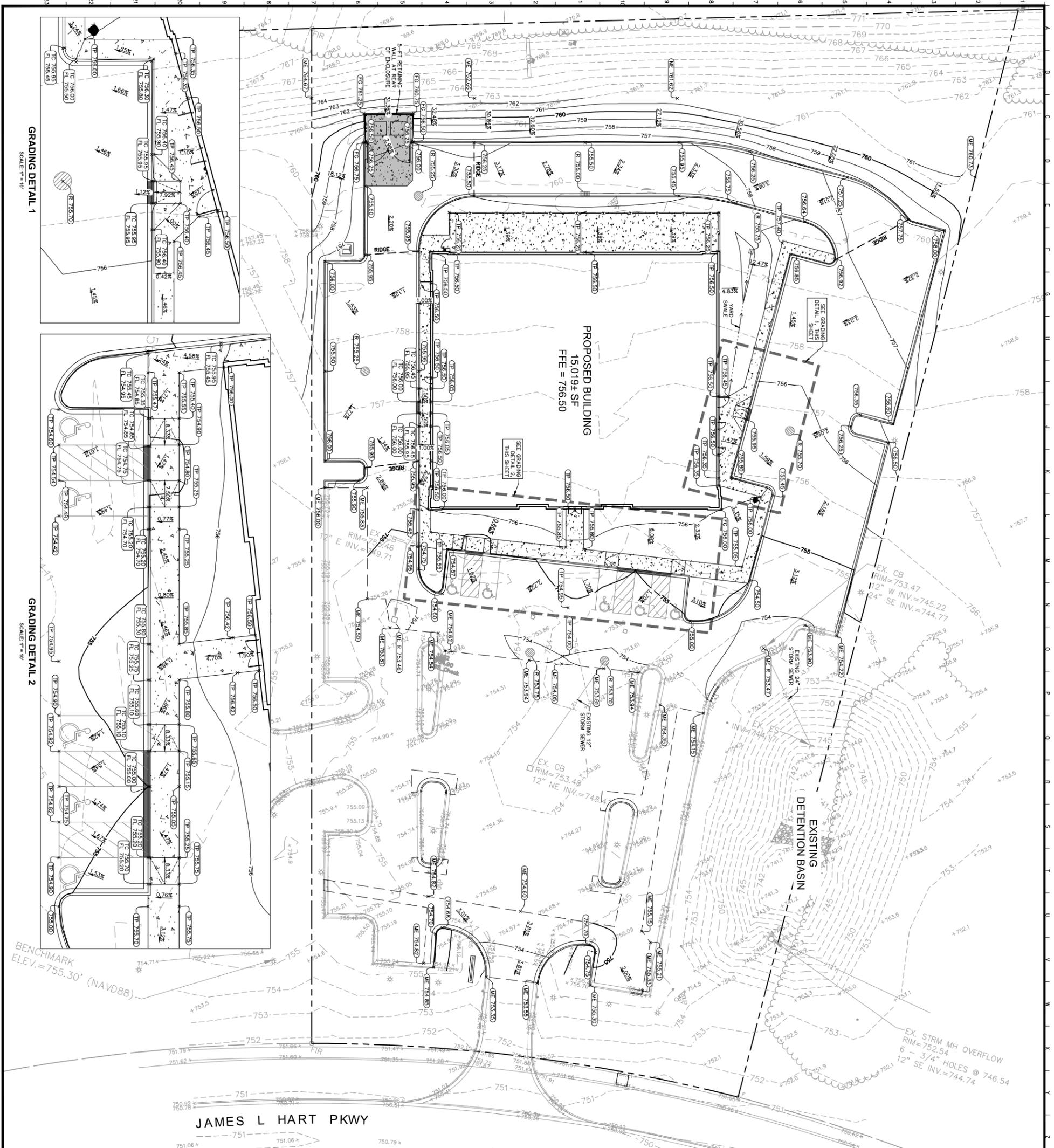
REFUSE TRUCK
SCALE: 1"=40'



TOWNSHIP FIRE TRUCK
SCALE: 1"=40'



ORIGINAL ISSUE: 10/19/2021 KHA PROJECT NO. 168921002 SHEET NUMBER C3.1	SHOOT POINT BLANK 660 JAMES L. HART PARKWAY YPSILANTI TOWNSHIP, MI	FIRE AND TRASH ROUTING PLAN 	SCALE: AS NOTED DESIGNED BY: JPM DRAWN BY: BMH CHECKED BY: JMM	 © 2021 KIMLEY-HORN OF MICHIGAN, INC. 39111 SIX MILE ROAD LYONS, MI 48182 PHONE: 734-591-7208 WWW.KIMLEY-HORN.COM	TOWNSHIP COMMENTS REVISIONS	11/29/21 DATE	JPM BY
			No.		DATE	BY	

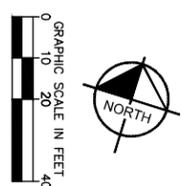


GRADING DETAIL 1
SCALE: 1" = 10'

GRADING DETAIL 2
SCALE: 1" = 10'

BENCHMARK
ELEV. = 755.30' (NAVD88)

JAMES L HART PKWY



GRADING NOTES

- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE PROPERTY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
- ALL PAVED AREAS SHALL BE REPAIRED TO ORIGINAL FINISH ELEVATIONS UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS SHOWN DEPict FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TROUSER THICKNESS FOR LANDSCAPE AND PAVING AREAS TO BE ESTABLISHED SUBGRADE ELEVATIONS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
- NO EXISTING SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
- MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2:08 IN ALL DIRECTIONS.
- MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
- WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE DUTTER PIT.
- MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.

LEGEND

TP = TOP OF PAVEMENT
 FL = FLOW LINE
 TC = TOP OF CURB
 ME = MATCH ELEVATION
 R = RIM ELEVATION
 FG = FINISHED GRADE
 TW = TOP OF WALL

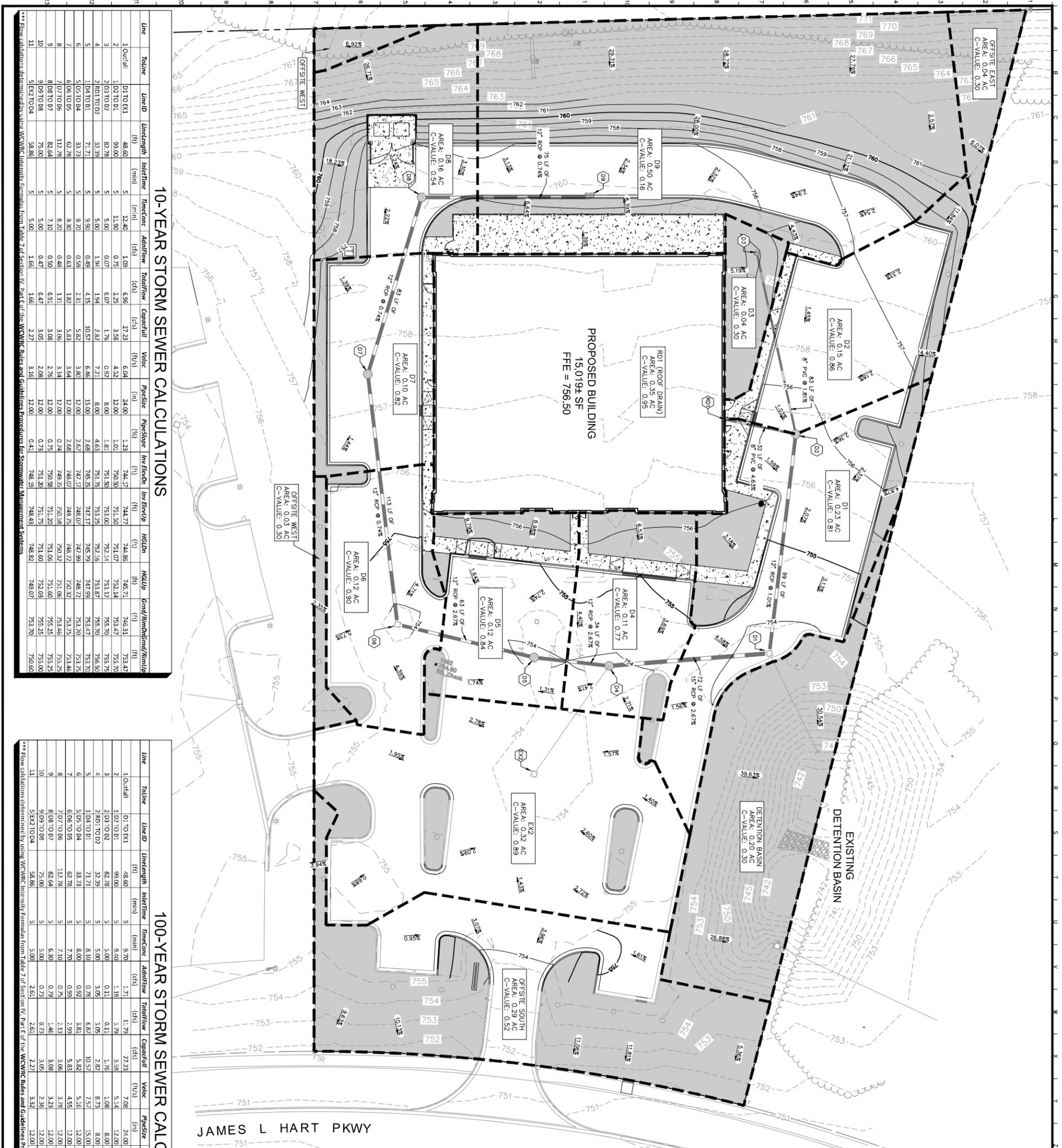
PROPOSED CONTOUR
 EXISTING CONTOUR

SLOPE AND FLOW DIRECTION
 100-YEAR OVERLAND OVERFLOW ROUTE
 REVERSED PITCH CURB AND OUTLET

PROPOSED STORM STRUCTURES

EXISTING STORM DRAIN LINE

<p>SHOOT POINT BLANK</p> <p>660 JAMES L. HART PARKWAY YPSILANTI TOWNSHIP, MI</p>	<p>GRADING PLAN & DRAINAGE PLAN</p> <p>COMPTON ADDY COMMERCIAL REAL ESTATE</p>	<p>SCALE: AS NOTED</p>	<p>Kimley-Horn of Michigan, Inc.</p> <p>© 2021 KIMLEY-HORN OF MICHIGAN, INC. 59111 SIX MILE ROAD LIVONIA, MI 48150 PHONE: 734-591-7208 WWW.KIMLEY-HORN.COM</p>	<p>TOWNSHIP COMMENTS</p>	<p>11/29/21</p>	<p>JPM</p>
		<p>DESIGNED BY: JPM</p> <p>DRAWN BY: BMH</p> <p>CHECKED BY: JMM</p>		<p>No. REVISIONS</p>	<p>DATE</p>	<p>BY</p>
<p>C5.0</p> <p>SHEET NUMBER</p>	<p>ORIGINAL ISSUE: 10/19/2021 KHA PROJECT NO. 168921002</p>					



10-YEAR STORM SEWER CALCULATIONS

Line	Totline	LineID	LineLength (ft)	InletTime (min)	TimeConc (min)	AddFlow (cfs)	TotFlow (cfs)	Capacity (cfs)	Veloc (ft/s)	PipeSize (in)	PipeSlope (%)	Inv Elevation (ft)	Inv Elevation (ft)	HGLDn (ft)	HGLUP (ft)	Struc/Bench/Man/Inj (ft)
1	Outfall	D1 TO EX1	48.60	5	12.46	1.09	6.96	27.23	6.04	24.00	1.23	744.37	744.86	746.31	753.47	750.60
2		D1 TO D1	99.00	5	11.96	0.75	2.25	3.58	4.32	12.00	1.01	750.50	751.07	751.14	753.47	755.76
3		D1 TO D2	82.78	5	5.00	0.07	0.07	1.76	0.97	8.00	1.81	751.50	753.16	753.16	755.70	755.76
4		D1 TO D1	32.29	5	5.00	1.94	1.94	2.92	7.21	8.00	4.63	751.75	753.16	753.87	755.70	756.52
5		D1 TO D4	71.21	5	3.90	0.49	4.15	10.57	6.46	15.00	2.68	745.25	747.99	748.47	753.47	753.70
6		D1 TO D4	33.73	5	9.70	0.39	2.31	5.82	3.80	12.00	2.67	747.17	748.07	748.72	753.70	753.48
7		D1 TO D6	62.78	5	9.30	0.63	1.82	5.83	3.64	12.00	2.68	748.07	749.75	750.32	753.46	753.48
8		D1 TO D6	112.78	5	8.20	0.48	1.31	3.06	3.14	12.00	0.74	749.75	750.88	751.06	753.46	753.25
9		D1 TO D8	82.64	5	7.10	0.50	0.91	3.08	2.76	12.00	0.75	750.88	751.20	751.06	753.46	753.25
10		D1 TO D8	75.00	5	5.00	0.47	0.47	3.05	2.08	12.00	0.73	751.20	751.06	751.03	753.46	753.00
11		D1 TO D4	58.86	5	5.00	1.66	1.66	2.27	3.16	12.00	0.41	748.19	748.82	748.07	753.70	750.60

*** Flow calculations determined using WCVRC Intensity Formulas from Table 7 of Section IV, Part C of the WCVRC Rules and Guidelines Procedures for Stormwater Management Systems.

100-YEAR STORM SEWER CALCULATIONS

Line	Totline	LineID	LineLength (ft)	InletTime (min)	TimeConc (min)	AddFlow (cfs)	TotFlow (cfs)	Capacity (cfs)	Veloc (ft/s)	PipeSize (in)	PipeSlope (%)	Inv Elevation (ft)	Inv Elevation (ft)	HGLDn (ft)	HGLUP (ft)	Struc/Bench/Man/Inj (ft)
1	Outfall	D1 TO EX1	48.60	5	9.70	1.71	11.79	27.23	7.08	24.00	1.23	744.37	745.09	746.00	753.47	750.60
2		D1 TO D1	99.00	5	9.40	1.18	3.79	3.58	5.14	12.00	1.01	750.50	751.50	752.39	753.47	755.76
3		D1 TO D2	82.78	5	5.00	0.11	0.11	2.82	1.08	8.00	1.81	751.50	753.00	753.16	755.70	755.76
4		D1 TO D1	32.29	5	5.00	3.05	3.05	4.73	8.00	4.63	4.63	751.75	753.80	754.56	755.70	756.52
5		D1 TO D4	71.21	5	8.00	0.78	6.87	10.57	7.57	15.00	2.68	745.25	747.17	748.22	753.47	753.70
6		D1 TO D4	33.73	5	8.00	0.92	3.81	5.82	5.16	12.00	2.67	747.17	748.07	748.48	753.47	753.48
7		D1 TO D6	62.78	5	7.70	0.99	5.93	4.55	3.78	12.00	2.68	748.07	749.75	750.49	753.46	753.48
8		D1 TO D6	112.78	5	7.10	0.75	2.13	3.06	3.23	12.00	0.74	749.75	750.88	751.20	753.46	753.25
9		D1 TO D8	82.64	5	6.30	0.79	1.46	3.08	3.23	12.00	0.75	750.88	751.20	751.71	753.46	753.25
10		D1 TO D8	75.00	5	5.00	0.73	0.73	3.05	2.36	12.00	0.73	751.20	751.71	751.11	753.46	753.00
11		D1 TO D4	58.86	5	5.00	2.61	2.61	2.27	3.32	12.00	0.41	748.19	748.49	749.19	753.70	750.60

*** Flow calculations determined using WCVRC Intensity Formulas from Table 7 of Section IV, Part C of the WCVRC Rules and Guidelines Procedures for Stormwater Management Systems.

JAMES L HART PKWY

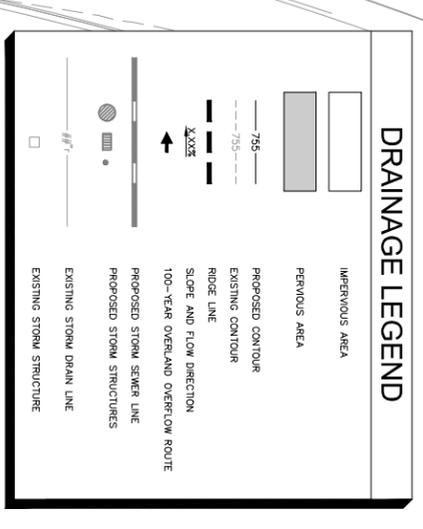
STORM STRUCTURE TABLE

STRUCTURE NAME	DETAILS	STRUCTURE NAME	DETAILS
D1	CONNECT TO EXISTING RIM: 753.47 INV IN: 750.50 (N, 12°) INV IN: 749.75 (W, 12°) INV IN: 745.25 (E, 12°) INV OUT: 747.17 (E, 12°)	D6	CONNECT TO EXISTING RIM: 753.47 INV IN: 749.75 (W, 12°) INV IN: 751.75 (E, 12°) INV OUT: 750.58 (E, 12°)
D2	4" DIA. STORM MH RIM: 755.70 INV IN: 751.50 (W, 8°) INV IN: 751.75 (E, 12°) INV OUT: 751.20 (E, 12°)	D7	4" DIA. STORM MH WITH OPEN GRATE RIM: 755.70 INV IN: 750.58 (N, 12°) INV IN: 751.20 (S, 12°) INV OUT: 751.20 (S, 12°)
D3	12-INCH AREA DRAIN RIM: 753.00 (E, 8°) INV IN: 753.00 (E, 8°)	D8	4" DIA. STORM MH WITH OPEN GRATE RIM: 755.70 INV IN: 752.50 (E, 12°) INV IN: 751.20 (S, 12°) INV OUT: 751.20 (S, 12°)
D4	4" DIA. STORM MH RIM: 753.70 INV IN: 748.19 (S, 12°) INV IN: 747.17 (E, 12°)	D9	4" DIA. STORM MH RIM: 755.00 INV IN: 751.75 (E, 12°) INV OUT: 753.25 (E, 8°)
D5	4" DIA. STORM MH RIM: 755.75 INV IN: 748.07 (E, 12°)	R01	ROOF DRAIN CONNECTION INV OUT: 753.25 (E, 8°)

STORM SEWER SUMMARY

Basin ID	Tributary Area (AC)	Previous Area (AC)	Impervious Area (AC)	Rainoff Coefficient	Time of Conc. (min)
EX1	0.32	0.03	0.29	0.89	5
D1	0.23	0.05	0.18	0.81	5
D2	0.15	0.02	0.13	0.86	5
D3	0.04	0.04	0.00	0.30	5
D4	0.11	0.03	0.08	0.77	5
D5	0.12	0.02	0.10	0.84	5
D6	0.12	0.01	0.11	0.90	5
D7	0.02	0.02	0.08	0.82	5
D8	0.16	0.10	0.06	0.54	5
D9	0.50	0.34	0.16	0.95	5
R01 (ROOF)	0.30	0.01	0.29	0.95	5
DETENTION BASIN	0.20	0.20	0.00	0.30	5
OFFSITE SOUTH	0.29	0.19	0.10	0.52	5
OFFSITE WEST	0.03	0.03	0.00	0.30	5
OFFSITE EAST	0.04	0.04	0.00	0.30	5
TOTAL	2.76	1.12	1.64	0.69	

NOTES: RAINOFF COEFFICIENTS PERVIOUS = 0.30



GRAPHIC SCALE IN FEET
0 10 20 40

NORTH

Kimley-Horn
of Michigan, Inc.

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LIVONIA, MI 48150
PHONE: 734-591-7208
WWW.KIMLEY-HORN.COM

TOWNSHIP COMMENTS: 11/29/21 JPM
REVISIONS: No. DATE BY

STRUCTURE NAME	DETAILS
S1	CONNECT TO EXISTING SEWER STUB WITH SANITARY DROFF MH INV: 752.50 (N, 6') INV OUT: 728.70 (S, 6')
S2	1" DIA. SANITARY MH INV: 755.20 (N, 6') INV OUT: 746.85 (S, 6')
S3	4" DIA. SANITARY MH INV: 754.58 (N, 6') INV OUT: 746.50 (S, 6')
S4	6" CLEANOUT INV: 750.34 (N, 6') INV OUT: 751.34 (S, 6')
S5	SANITARY BUILDING CONNECTION INV OUT: 751.50 (S, 6')

UTILITY NOTES

- ALL WATER LINES $\geq 3"$ SHALL BE DUCTILE IRON PIPE, CLASS 52.
- ALL SANITARY SEWER LINES SHALL BE PVC WETING, ASTM D-3034 400 26 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN. THIS PIPE SHALL BE AMMA C900 (UNLESS WATER MAIN CASING IS UTILIZED). PROVIDE 42" MINIMUM COVER.
- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- ALL ELECTRICAL AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. UTILITY COMPANIES SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL APPROVED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
- CONTRACTOR TO CALL "MESSAGE" (1-800-487-7177) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE BEGINNING MATTERS IMMEDIATELY FOLLOWING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR TO CALL "MESSAGE" (1-800-487-7177) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE BEGINNING MATTERS IMMEDIATELY FOLLOWING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR SHALL COMPLETELY WITH THE LATEST STANDARDS OF EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION, EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
- CONTRACTOR TO AVOID DISRUPTION OF ANY ADJACENT TENANTS TRAFFIC OPERATIONS DURING INSTALLATION OF UTILITIES.
- ALL DIMENSIONS ARE TO CENTERLINE OF PIPE OR CENTER OF MANHOLE UNLESS NOTED OTHERWISE.
- SEE ARCHITECTURAL AND MEP PLANS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDINGS.
- SEE SITE LIGHTING PLANS BY OTHERS FOR MORE INFORMATION.
- SEE DETAILS FOR LOCATING STORM STRUCTURES WITHIN THE CURB LINE.

UTILITY CROSSING LEGEND

Symbol	Description	Notes
15" STORM	15" STORM	6"/7" = 745.38
6" WATER	6" WATER	6"/7" = 744.38
6" SAN.	6" SAN.	6"/7" = 749.40
15" STORM	15" STORM	6"/7" = 747.39
6" WATER	6" WATER	6"/7" = 745.24
6" SAN.	6" SAN.	6"/7" = 749.49
6" WATER	6" WATER	6"/7" = 744.38
6" SAN.	6" SAN.	6"/7" = 749.34
6" WATER	6" WATER	6"/7" = 744.24
6" SAN.	6" SAN.	6"/7" = 749.34
6" WATER	6" WATER	6"/7" = 745.95
6" SAN.	6" SAN.	6"/7" = 745.95

NOTE: WHERE THERE IS LESS THAN 10 FT HORIZONTAL OR VERTICAL CLEARANCE BETWEEN UTILITIES, THE CONTRACTOR SHALL PROTECT THE EXISTING UTILITIES UNDER A SEWER WATER MAIN OR 6" WATER MAIN CROSSES UNDER A SEWER WATER MAIN. EXISTING UTILITIES TO BE EXPOSED. PROTECT EXISTING UTILITIES WITH APPROPRIATE PROTECTION. THE DISTANCE BETWEEN THE WATER MAIN AND SEWER IS AT LEAST 6 FT ACCEPTABLE WATER MAIN QUALITY PIPE MEETING ASTM D3120 OR DUCTILE IRON PIPE, RCP STORM SEWER WITH FLEXIBLE OR CASSETT JOINTS MEETING ASTM C911 OR ASTM C945 IS ALSO ACCEPTABLE AT CROSSES.

UTILITY LEGEND

Symbol	EX. WATER LINE
Symbol	EX. HYDRANT
Symbol	EX. SANITARY SEWER LINE
Symbol	EX. SANITARY SEWER MANHOLE
Symbol	EX. STORM DRAIN LINE
Symbol	EX. STORM STRUCTURE/INLET
Symbol	EX. UNDERGROUND TELEPHONE LINE
Symbol	EX. TELEPHONE RISER
Symbol	EX. LIGHT POLE
Symbol	EX. UNDERGROUND ELECTRIC LINE
Symbol	GAS LINE (BY GAS COMPANY)
Symbol	PROPOSED PHONE LINE
Symbol	PROPOSED STORM SEWER LINE
Symbol	PROPOSED OPEN LD STORM STRUCTURE (PAVEMENT USE NENM4H R-2540)
Symbol	PROPOSED CLOSED LD STORM STRUCTURE (PAVEMENT USE NENM4H R-1727)
Symbol	PROPOSED COMBINATION CURB INLET (B&I 12 C&G USE NENM4H R-3281-A)
Symbol	PROPOSED SANITARY SEWER LINE
Symbol	PROPOSED SANITARY MANHOLE
Symbol	PROPOSED WATER LINE
Symbol	PROPOSED VALVE VAULT
Symbol	PROPOSED FRIE HYDRANT
Symbol	PROPOSED LIGHT POLE
Symbol	PROPOSED TRANSFORMER PAD (FOR REFERENCE ONLY)
Symbol	RIP RAP (SEE DETAILS)

SHOOT POINT BLANK

660 JAMES L. HART PARKWAY
 YPSILANTI TOWNSHIP, MI

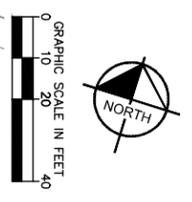
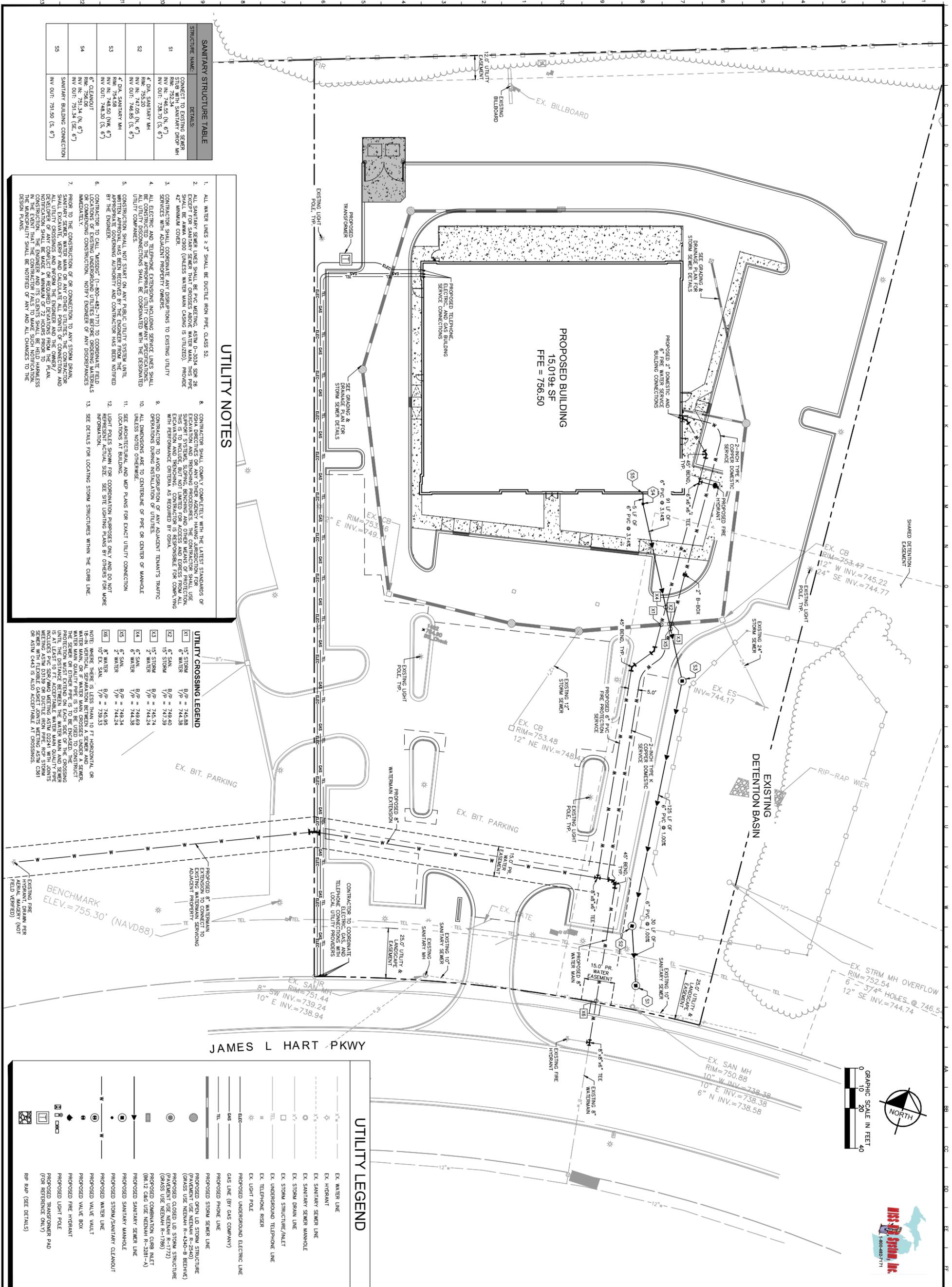
UTILITY PLAN



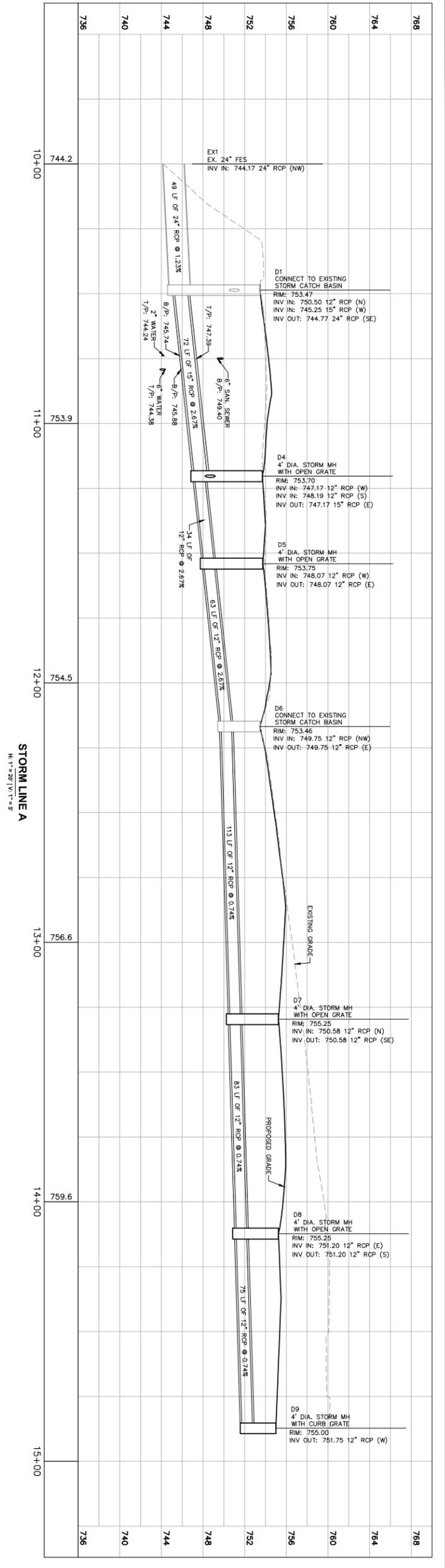
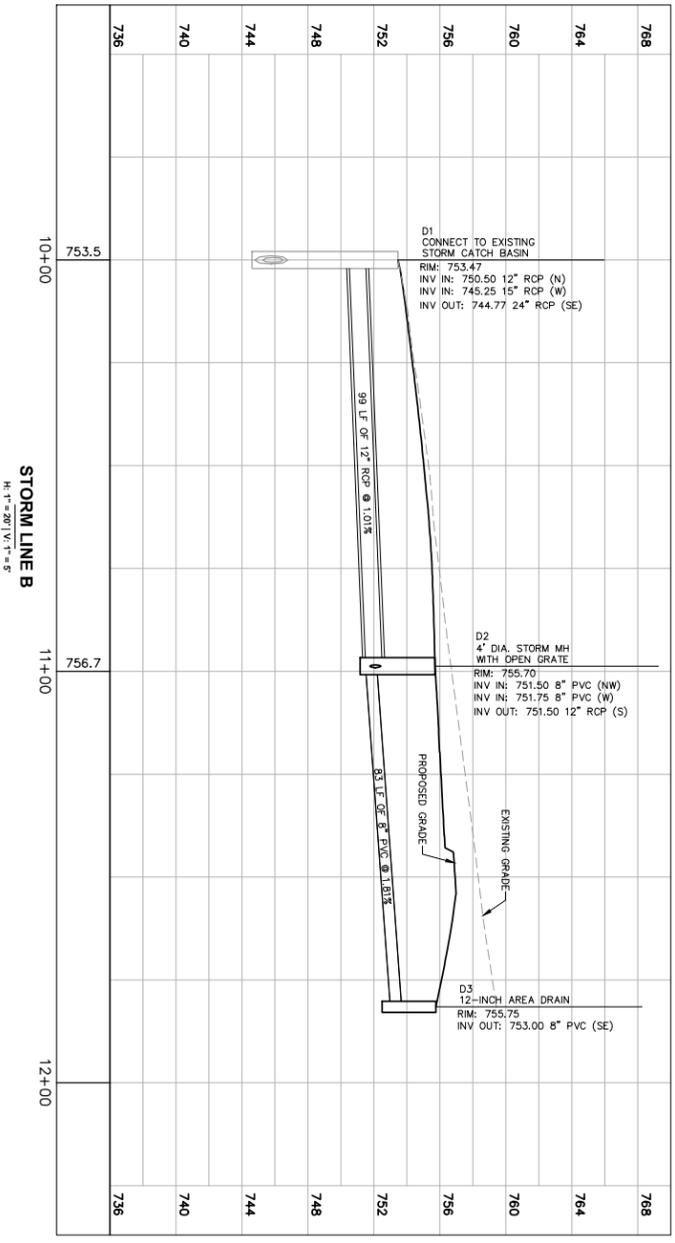
SCALE: AS NOTED
 DESIGNED BY: JPM
 DRAWN BY: BMH
 CHECKED BY: JMM

Kimley-Horn
 of Michigan, Inc.
 © 2021 KIMLEY-HORN OF MICHIGAN, INC.
 39111 SIX MILE ROAD
 LYONS, MI 48185
 PHONE: 734-591-7208
 WWW.KIMLEY-HORN.COM

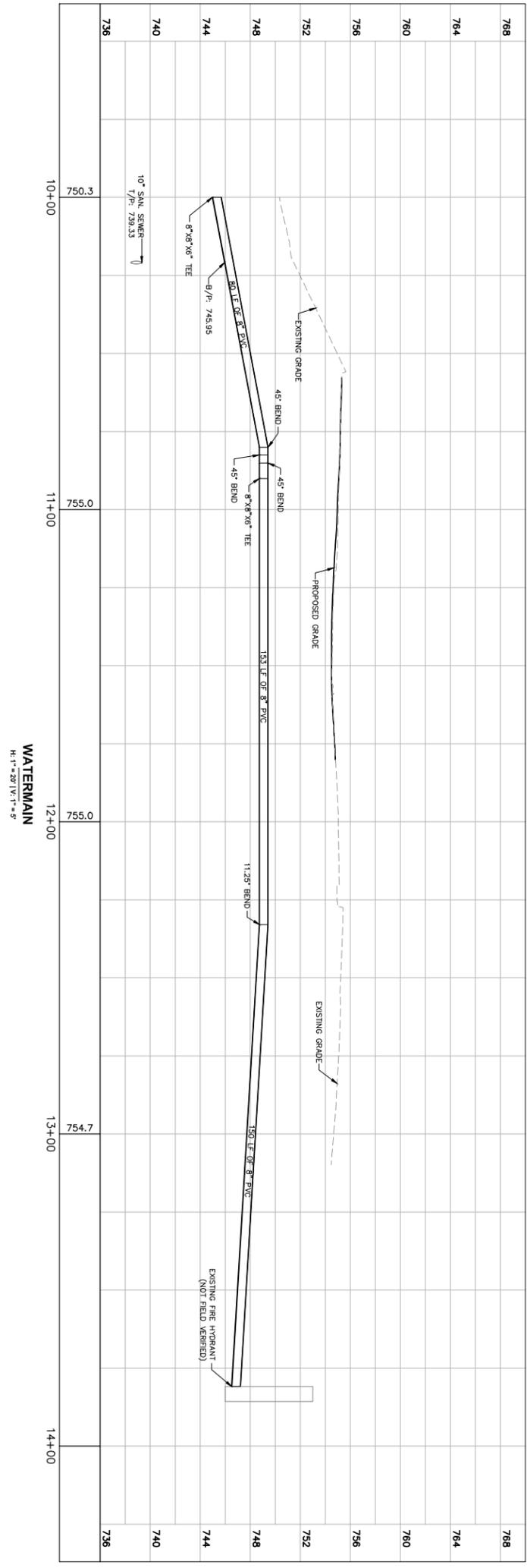
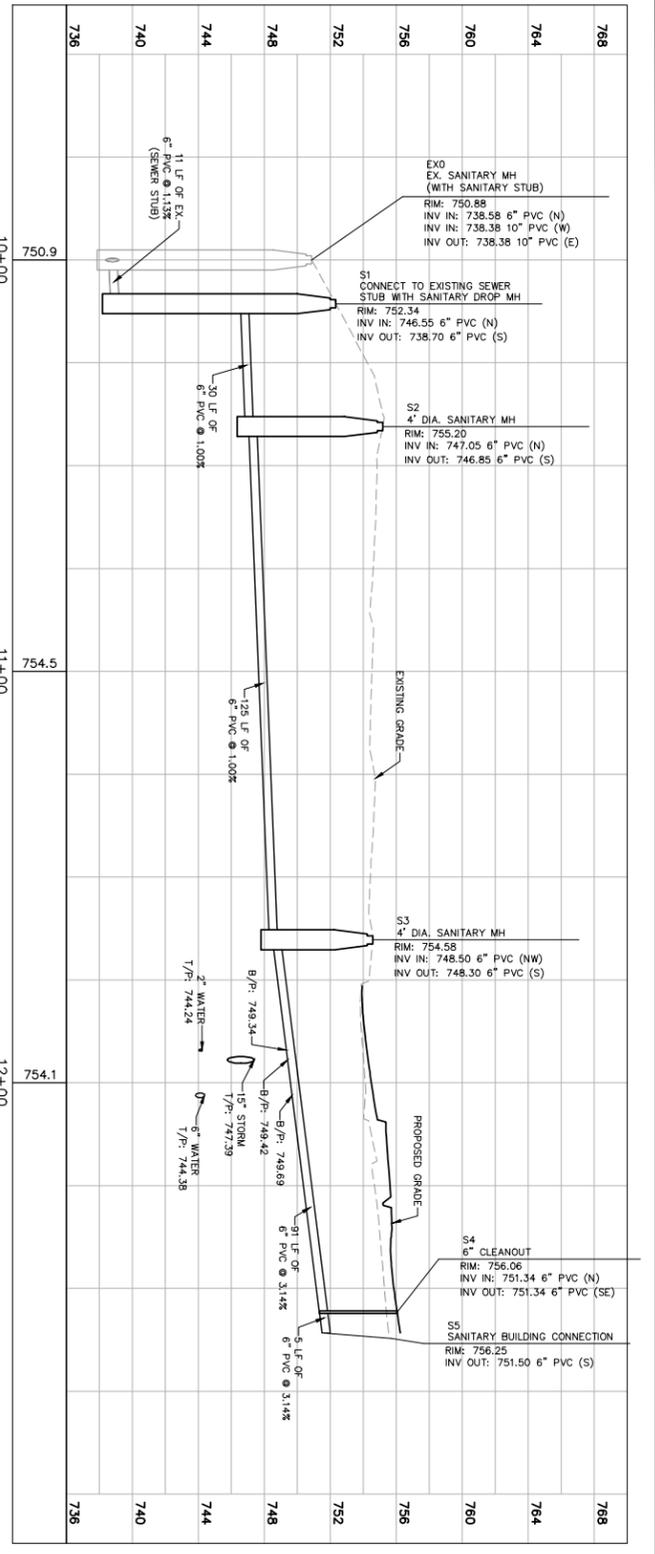
No.	REVISIONS	DATE	BY
	TOWNSHIP COMMENTS	11/29/21	JPM



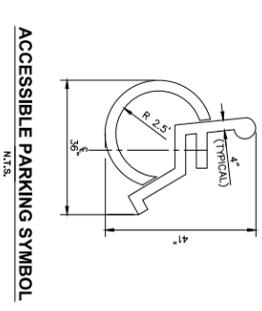
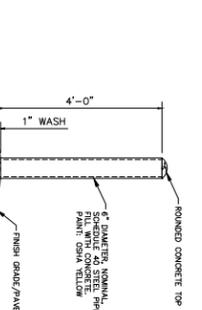
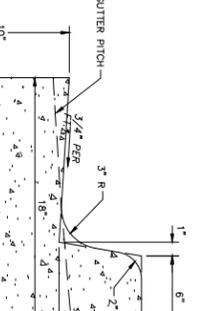
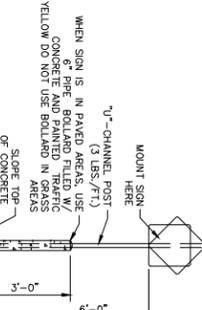
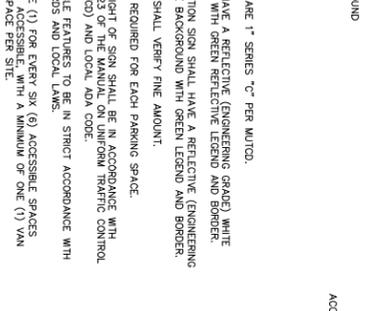
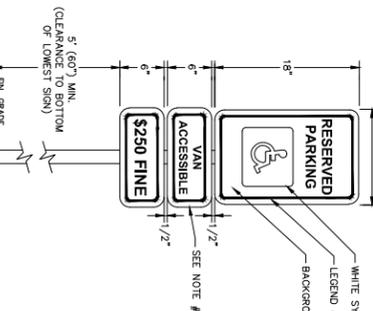
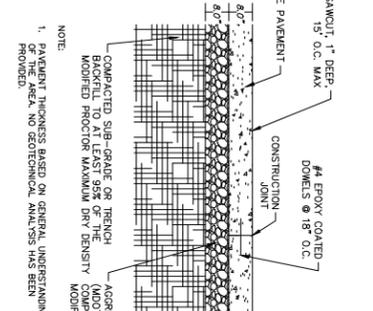
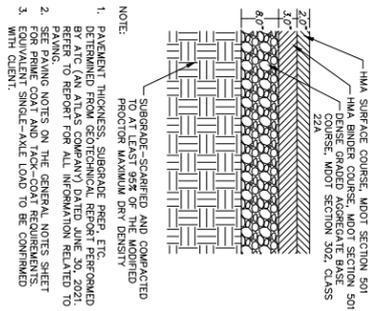
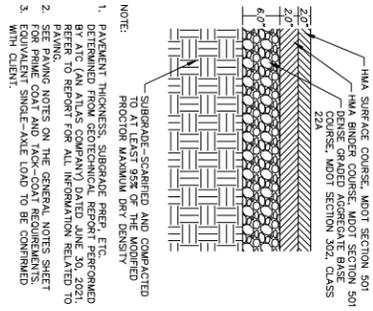
ORIGINAL ISSUE: 10/19/2021
 KHA PROJECT NO. 169921002
 SHEET NUMBER C6.0



CG.1 SHEET NUMBER	SHOOT POINT BLANK 660 JAMES L. HART PARKWAY YPSILANTI TOWNSHIP, MI	STORM SEWER PROFILES		SCALE: AS NOTED DESIGNED BY: JPM DRAWN BY: BMH CHECKED BY: JMM	 <small>© 2021 KIMLEY-HORN OF MICHIGAN, INC. 39111 SIX MILE ROAD LYONS, MI 48135 PHONE: 734-591-7208 WWW.KIMLEY-HORN.COM</small>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 70%;">TOWNSHIP COMMENTS</td> <td style="width: 10%;">11/29/21</td> <td style="width: 20%;">JPM</td> </tr> <tr> <td>No. REVISIONS</td> <td>DATE</td> <td>BY</td> </tr> </table>	TOWNSHIP COMMENTS	11/29/21	JPM	No. REVISIONS	DATE	BY
TOWNSHIP COMMENTS	11/29/21	JPM										
No. REVISIONS	DATE	BY										



ORIGINAL ISSUE: 10/19/2021 KHA PROJECT NO. 168921002 SHEET NUMBER C6.2	SHOOT POINT BLANK 660 JAMES L. HART PARKWAY YPSILANTI TOWNSHIP, MI	SANITARY & WATERMAIN PROFILES		SCALE: AS NOTED DESIGNED BY: JPM DRAWN BY: BMH CHECKED BY: JMM	 © 2021 KIMLEY-HORN OF MICHIGAN, INC. 59111 SIX MILE ROAD LYONS, MI 48132 PHONE: 734-591-7208 WWW.KIMLEY-HORN.COM	TOWNSHIP COMMENTS REVISIONS	11/29/21 DATE	JPM BY
				No.		DATE	BY	

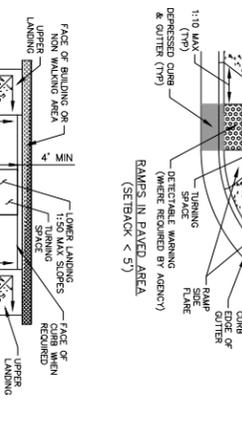
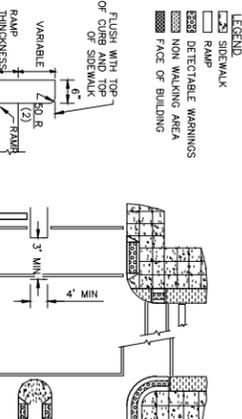


CONCRETE SIDEWALK
 N.T.S.

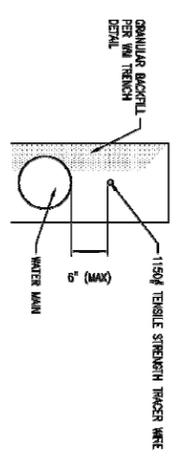
1. PROVIDE 1/2" EXPANSION JOINTS AT 20' MAXIMUM SPACING AND FILLED WITH PROVED BRIMMONDS EXPANSION JOINT FILLER MATERIAL. EXPANSION JOINTS SHALL HAVE #4 BOWTIES (EMBEDDED 18" LONG, AT 1/2" CENTERS) FROM EDGE.
 2. PROVIDE 3/8" GROoved CONTROL JOINTS AT 6' CENTERS.
 3. ABOVE SLAB BOTTOM.
 4. PROVIDE 1/2" BRIMMONDS EXPANSION JOINT FILLER MATERIAL WHERE WALK ABUTS EXISTING IMPROVEMENTS AND AT ALL CHANGES IN GRADE.
 5. PROVIDE 1/2" BRIMMONDS EXPANSION JOINT FILLER MATERIAL FOR NEW SIDEWALK AND CONNECTIONS TO EXISTING SIDEWALK.
 6. AT DRIVE APPROACHES, SIDEWALK PCC AND BASE THICKNESS SHALL MATCH THAT OF THE DRIVE.

GENERAL NOTES:

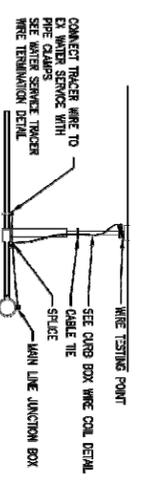
1. THE MAXIMUM SLOPE OF THE SIDE FLARE FOR TYPE B RAMPS SHALL BE 1:10. THE MAXIMUM SLOPE OF THE SIDE FLARE FOR TYPE C RAMPS SHALL BE 1:12. RAMP AND AN OBSTRUCTION IS LESS THAN 1.2m (4'-0") WHEN THE MAXIMUM SLOPE SHALL BE 1:12.
2. ALL SLOPE RATIOS ARE EXPRESSED AS UNITS OF VERTICAL DISPLACEMENT TO UNITS OF HORIZONTAL DISPLACEMENT (V:H).
3. ALL DIMENSIONS ARE IN INCHES UNLESS OTHERWISE SHOWN.
4. RAMP DETAILS TO BE COORDINATED PER VILLAGE REQUIREMENTS WHICH MAY VARY FROM THE ABOVE.
5. CONTRAST VISUALLY WITH ADJACENT SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.
6. CONTRACTOR TO SELECT ADA DETECTABLE WARNING PERMEABLE PAVERS OR CONCRETE WITH ADA DETECTABLE WARNING DOMES FOR RAMPS.



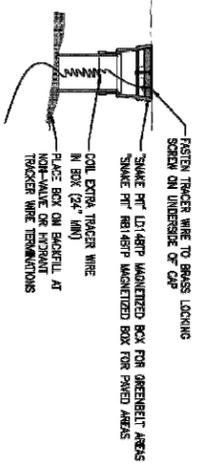
TRACER WIRE SHALL BE INCLUDED WITH ALL PVC WATER MAIN INSTALLATIONS



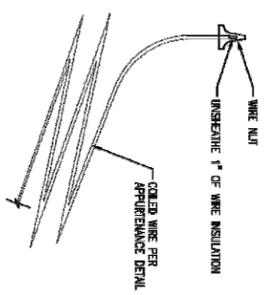
OPEN CUT MAIN LINE TRENCH
N.T.S.



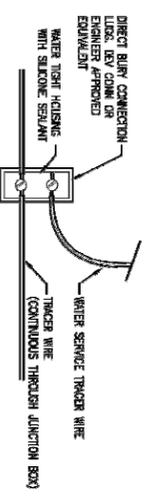
CURB STOP CONNECTION
N.T.S.



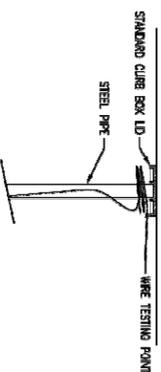
TRACER WIRE TEST POINT
N.T.S.



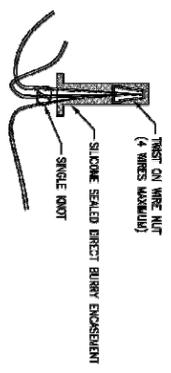
WIRE TESTING POINT
N.T.S.



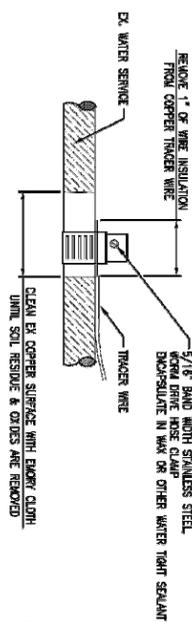
MAIN LINE JUNCTION BOX
N.T.S.



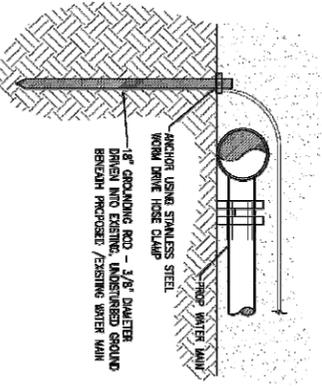
CURB BOX WIRE COIL
N.T.S.



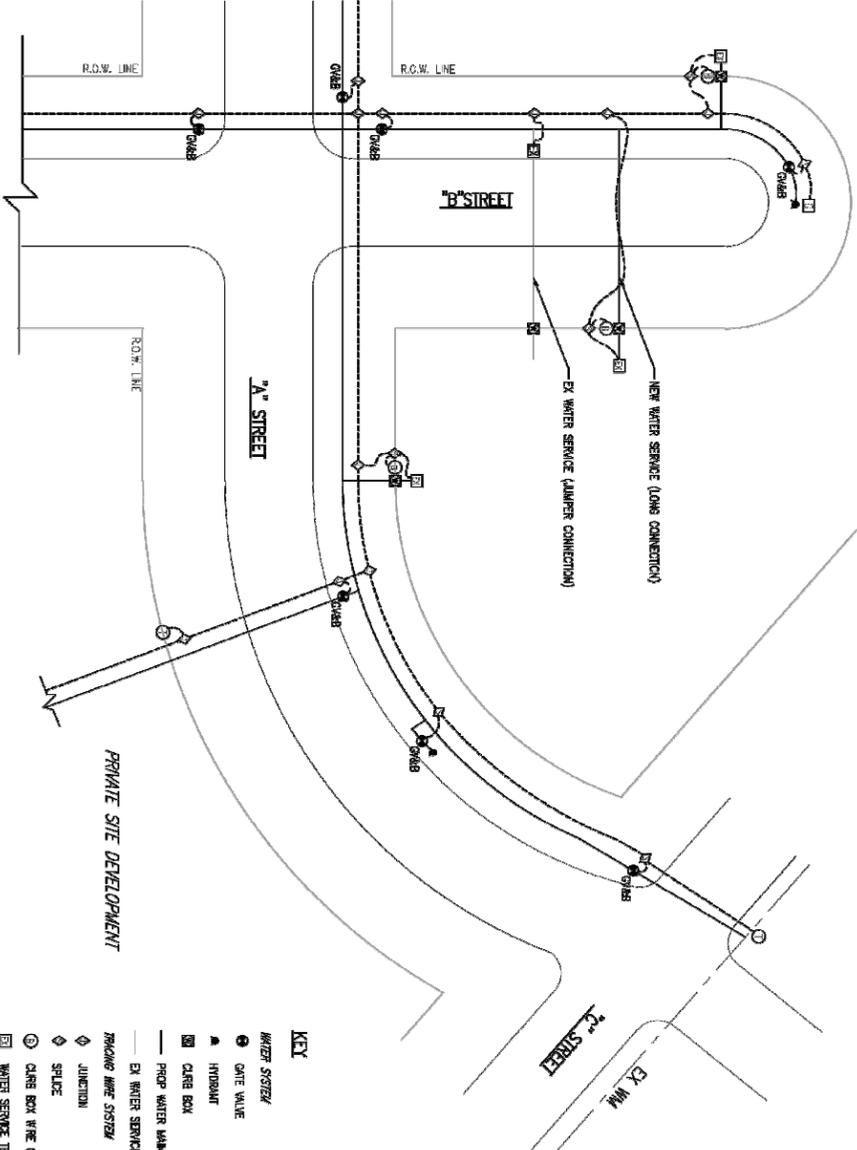
SPlice CONNECTOR
N.T.S.



WATER SERVICE TERMINATION
N.T.S.



GROUNDING ROD TERMINATION
N.T.S.

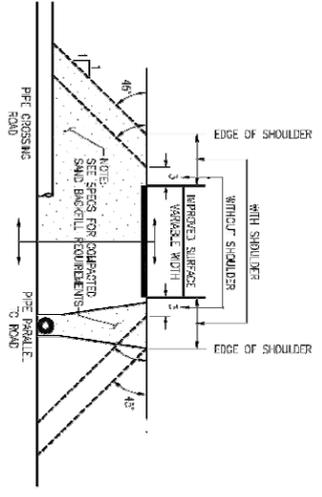


TRACER WIRE SYSTEM SCHEMATIC

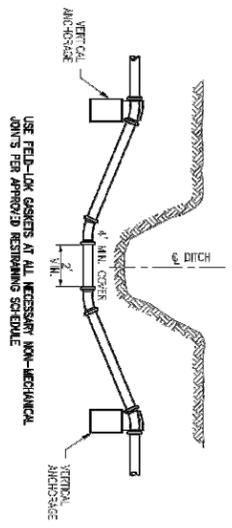


REVISIONS			
DATE	BY	NO. SCALE	
07/24/18			
STANDARD WATER MAIN DETAILS		YPSILANTI COMMUNITY ENGINEERING & PLANNING 2277 STATE STREET YPSILANTI, MI 48198-3112 PHONE: 734-484-4000 FAX: 734-484-7211 WWW.YPSI.COM	DATE: 07/24/18 SCALE: AS SHOWN NO. SCALE:

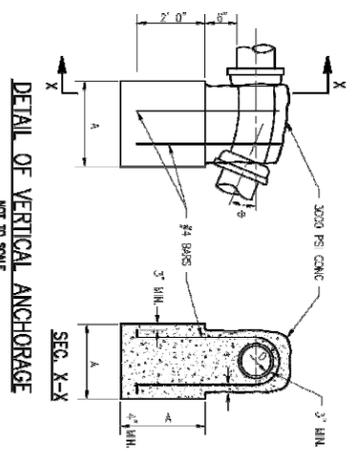
- KEY**
- WATER SYSTEM
 - DATE VALUE
 - HYDRANT
 - CURB BOX
 - PROP. WATER MAIN
 - EX. WATER SERVICE
 - TRACER WIRE SYSTEM
 - JUNCTION
 - SPlice
 - CURB BOX WIRE COIL
 - WATER SERVICE TERMINATION
 - TEST POINT
 - GROUNDING ROD TERMINATION
 - TRACER WIRE



BACKFILL IN THE AREA OF STREETS, ALLEYS, SIDEWALKS, DRIVES & PARKING LOTS
 NOT TO SCALE

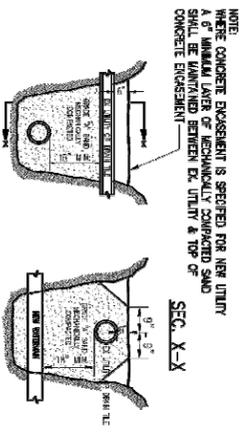


STANDARD DITCH CROSSING
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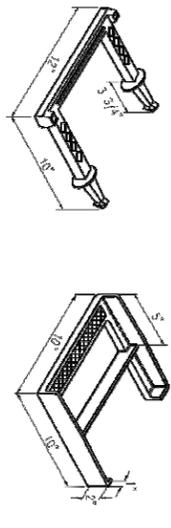


DETAIL OF VERTICAL ANCHORAGE
 NOT TO SCALE

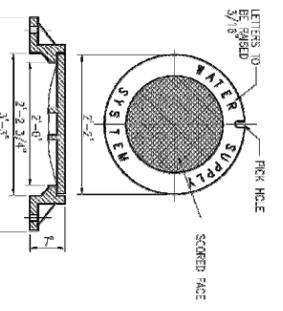
DI. OF WATER MAIN	BEND	A	NUMBER OF BARS
6"	22 1/2"	2'-0"	3
8"	22 1/2"	2'-0"	3
10"	22 1/2"	2'-0"	3
12"	22 1/2"	2'-0"	3
14"	22 1/2"	2'-0"	3
16"	22 1/2"	2'-0"	3
18"	22 1/2"	2'-0"	3
20"	22 1/2"	2'-0"	3
24"	22 1/2"	2'-0"	3



STANDARD PIPE SUPPORT
 NOT TO SCALE



MANHOLE STEP
 USE AS REQUIRED
STANDARD MANHOLE STEP
 USE AS REQUIRED



STANDARD FRAME & COVER
 USE AS REQUIRED

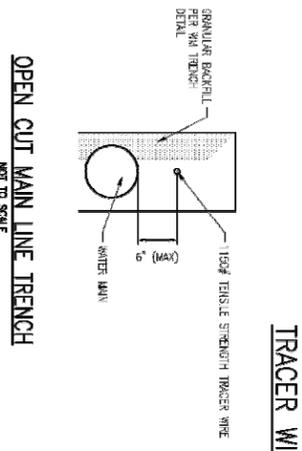
PIPE RESTRAINT SCHEDULE

THE FOLLOWING TABLE IS A JOINT RESTRAINT SCHEDULE (JPRS) FOR GROUND-BASED DUCTILE IRON OR PVC PIPE. LENGTHS OF THE RESTRAINT ARE GIVEN IN FEET.

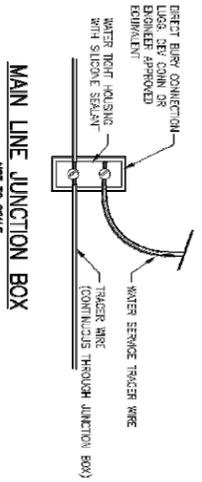
PIPE DIAMETER (INCHES)	TEST PRESSURE (PSI)	48\"/>
6"	150	25
8"	150	25
10"	150	25
12"	150	25
14"	150	25
16"	150	25
18"	150	25
20"	150	25
24"	150	25

BASED UPON:
 INTERNAL PRESSURE: 150
 PIPE WEIGHT: 5
 BEDDING CLASS: 4
 SOIL TYPE: GOOD SAND
 SAFETY FACTOR: 2

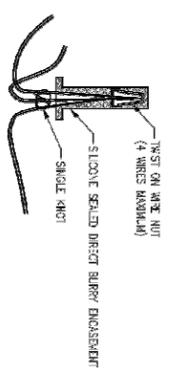
- IF PIPE DIAMETER IS NOT LISTED IN THIS TABLE, THE NEXT LARGEST PIPE SHALL BE USED. THIS TABLE IS BASED ON A TEST PRESSURE OF 150 PSI (OPENING PRESSURE PLUS WATER HEAD).
- FOR OTHER TEST PRESSURES, ALL VALUES TO BE INCREASED OR DECREASED PROPORTIONALLY. THE VALUES PROVIDED OF THIS SCHEDULE ARE BASED ON THE POINT OF DEFLECTION OR TENSILE BREAK FOR TESTS AT WHICH ONLY THE BEND IN THE DIRECTION OF THE STEEL.
- IF THE JOINTS ARE USED, USE FOUR RINGS MINIMUM AND 400 1/2 INCH TO BAR DIAMETER AS COMPRESSION ALLOWANCE. SIZE REDUCTION IS BASED UPON THE PIPE DIAMETER SHOWN IN THIS TABLE.
- MANUFACTURER'S RESTRAINT SCHEDULE AND SPECIFIC SITE CONDITIONS MAY VARY THE ABOVE SCHEDULE. ANY ALTERNATIVE SCHEDULE SHALL BE SUBMITTED TO YOUR APPROVAL.



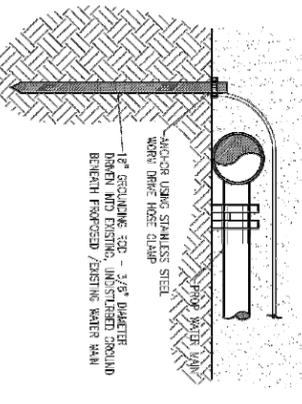
OPEN CUT MAIN LINE TRENCH
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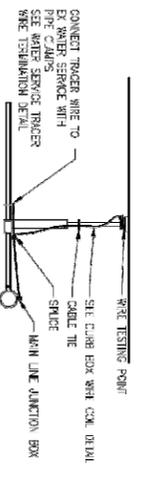
MAIN LINE JUNCTION BOX
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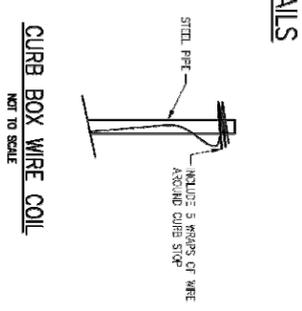
SPLICE CONNECTOR
 NOT TO SCALE



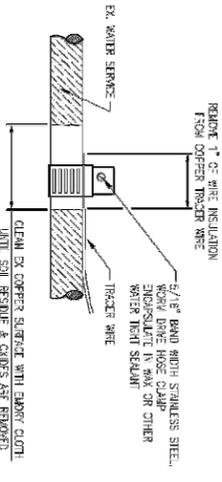
GROUNDING ROD TERMINATION
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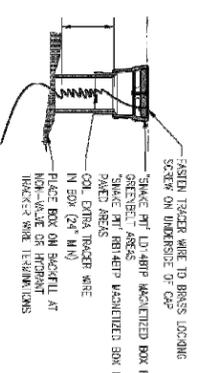
CURB STOP CONNECTION
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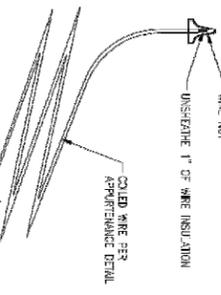
CURB BOX WIRE COIL
 NOT TO SCALE



WATER SERVICE TERMINATION
 NOT TO SCALE



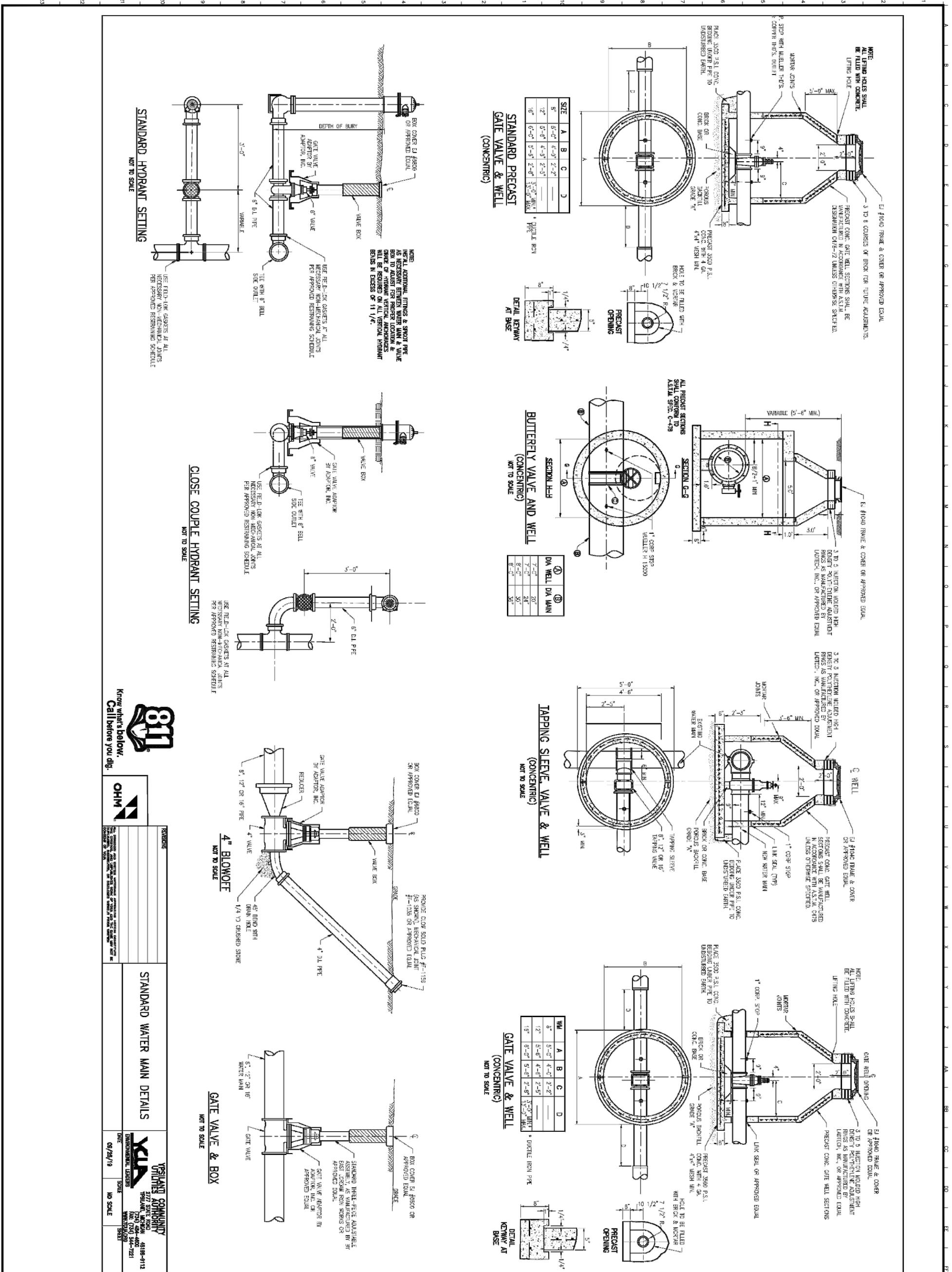
TRACER WIRE TEST POINT
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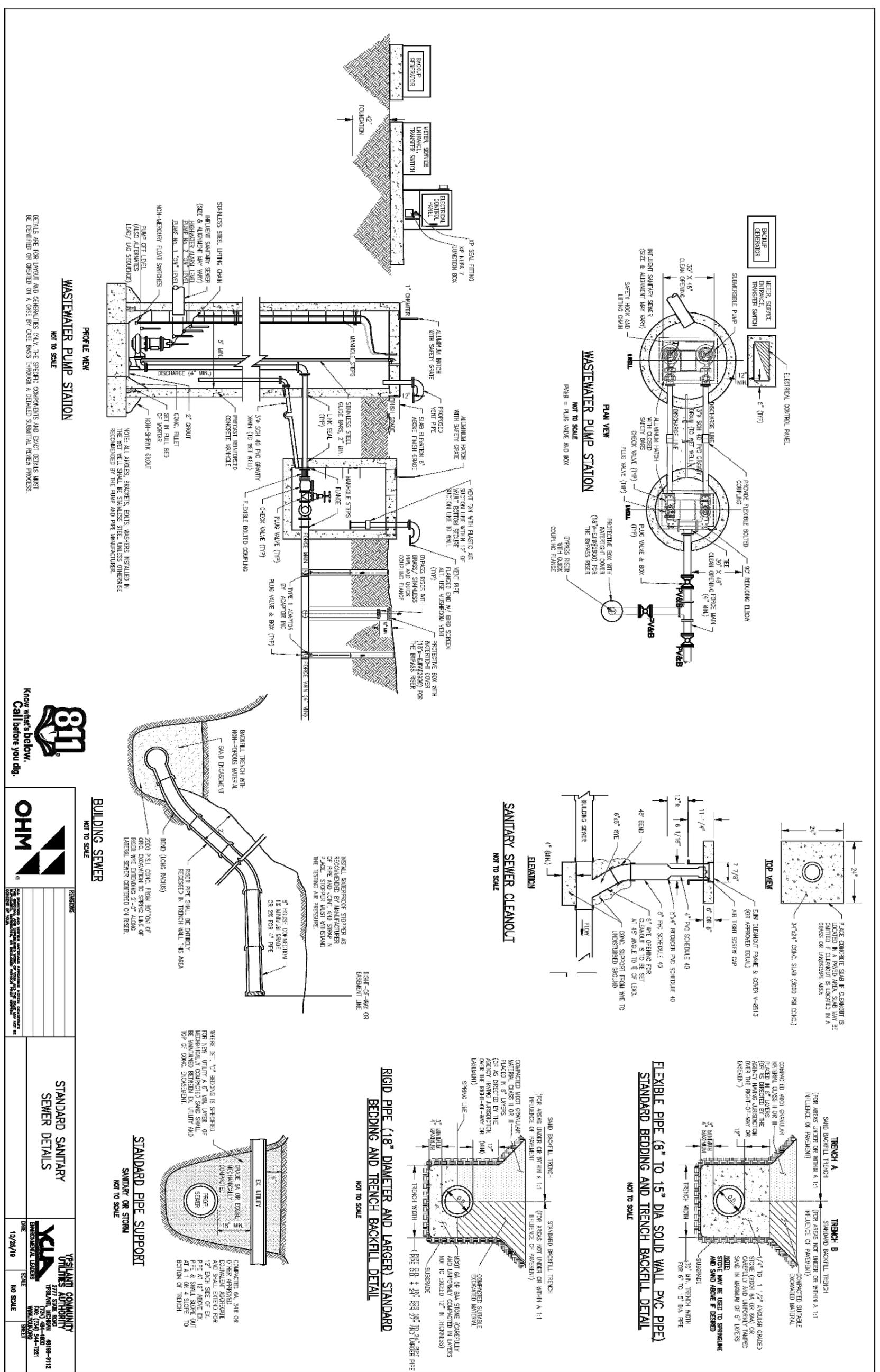
WIRE TESTING POINT
 NOT TO SCALE



<p>STANDARD WATER MAIN DETAILS</p> <p>DATE: 09/29/19</p> <p>SCALE: 1/8\"/> </p>	<p>YPSILANTI COMMUNITY UTILITIES AUTHORITY</p> <p>2277 STATE STREET, SUITE 200 YPSILANTI, MI 48198-4112 PHONE: 313.486.4400 FAX: 313.486.7261 WWW.YPSILANTI.MI</p>
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811 Know what's below. Call before you dig.		STANDARD WATER MAIN DETAILS	YPSILANTI COMMUNITY UTILITIES AUTHORITY 2277 WEST LANSING ROAD ANN ARBOR, MI 48106-4112 (734) 964-4000 (734) 964-7211 WWW.YPSILANTI.ORG	DATE: 09/29/19 SCALE: AS SHOWN NO SCALE
SHOOT POINT BLANK 660 JAMES L. HART PARKWAY YPSILANTI TOWNSHIP, MI	YPSILANTI TOWNSHIP WATERMAIN DETAILS		Kimley-Horn of Michigan, Inc. 39111 SIX MILE ROAD LYNDEN, MI 48135 PHONE: 734-591-7208 WWW.KIMLEY-HORN.COM	SCALE: AS NOTED DESIGNED BY: JPM DRAWN BY: BMH CHECKED BY: JMM
		TOWNSHIP COMMENTS: 11/29/21 JPM		REVISIONS:



REVISIONS	
DATE	10/26/19
SCALE	NO SCALE
STANDARD SANITARY SEWER DETAILS	
YPSILANTI COMMUNITY DEVELOPMENT 7777 STATE STREET, SUITE 100 YPSILANTI, MI 48198-4112 (313) 484-4800 (313) 484-7211 WWW.YPSILANTI.MI	

SHOOT POINT BLANK
 660 JAMES L. HART PARKWAY
 YPSILANTI TOWNSHIP, MI

YPSILANTI TOWNSHIP SANITARY DETAILS

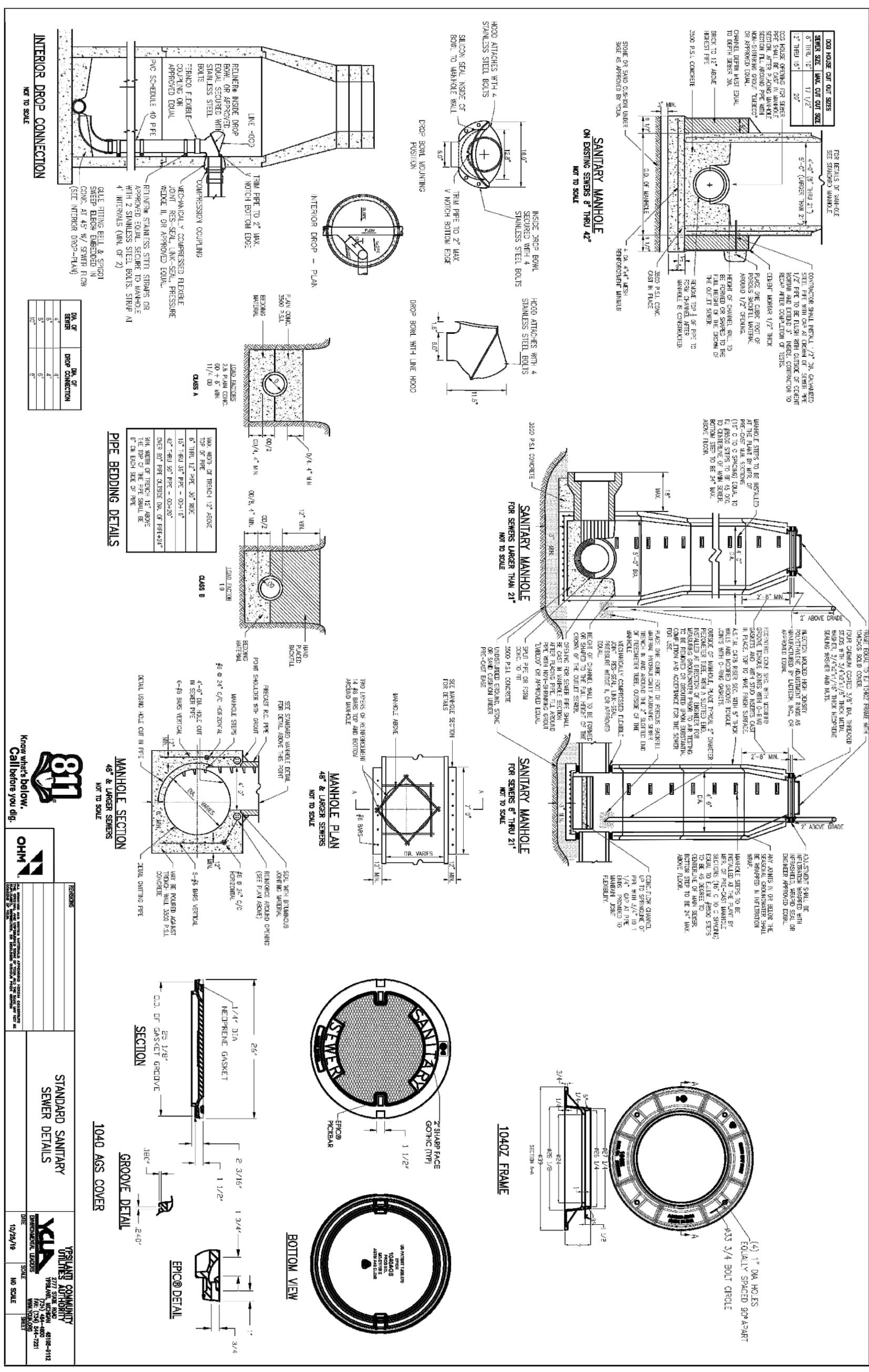


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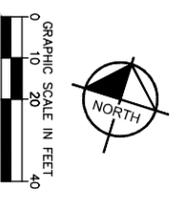
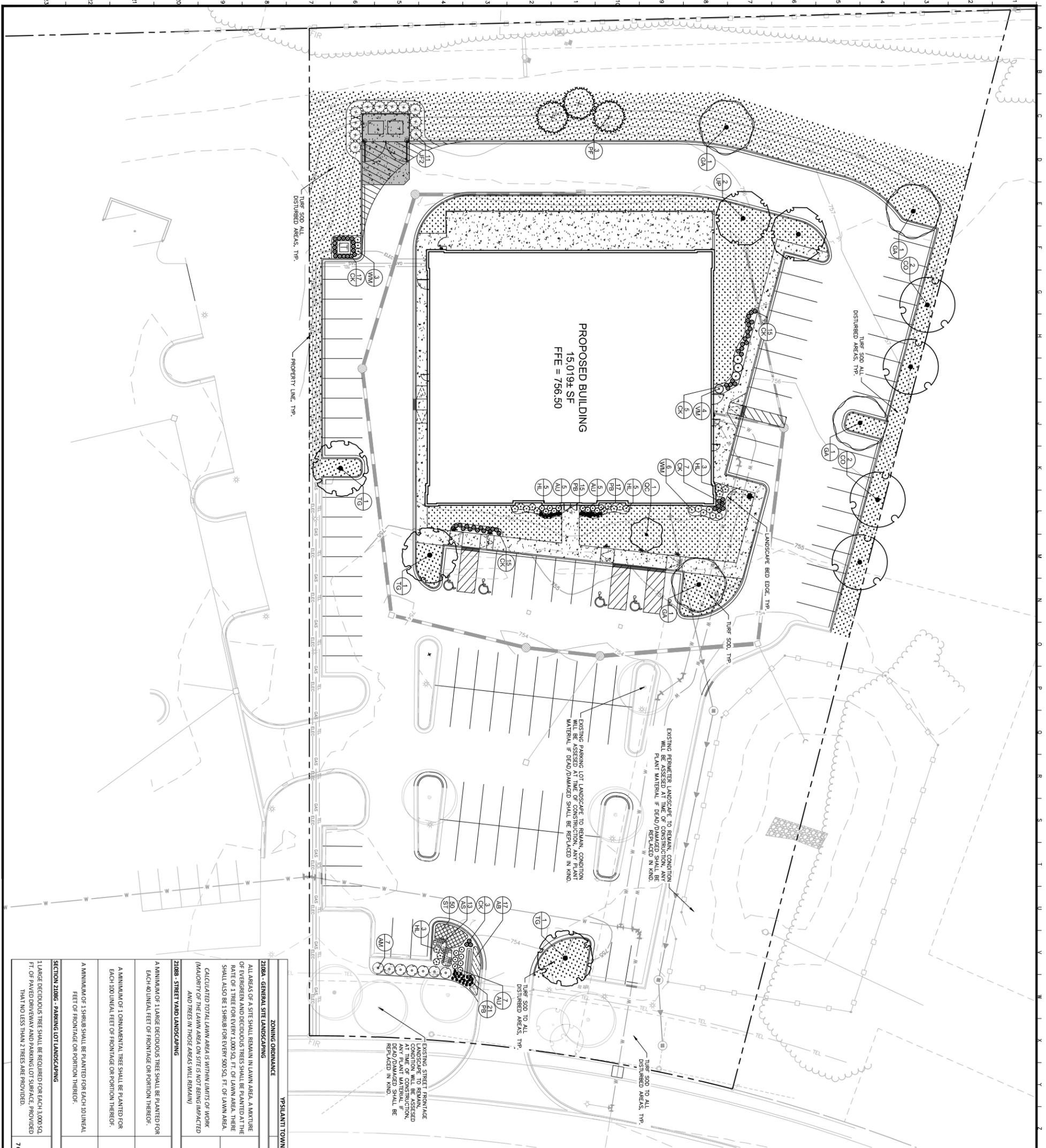
Kimley-Horn
 of Michigan, Inc.
 2021 KIMLEY-HORN OF MICHIGAN, INC.
 59111 SIX MILE ROAD
 LIVONIA, MI 48150
 PHONE: 734-591-7208
 WWW.KIMLEY-HORN.COM

TOWNSHIP COMMENTS	11/29/21	JPM
REVISIONS	DATE	BY
No.		

ORIGINAL ISSUE: 10/19/2021
 KHA PROJECT NO. 168921002
 SHEET NUMBER C8.6

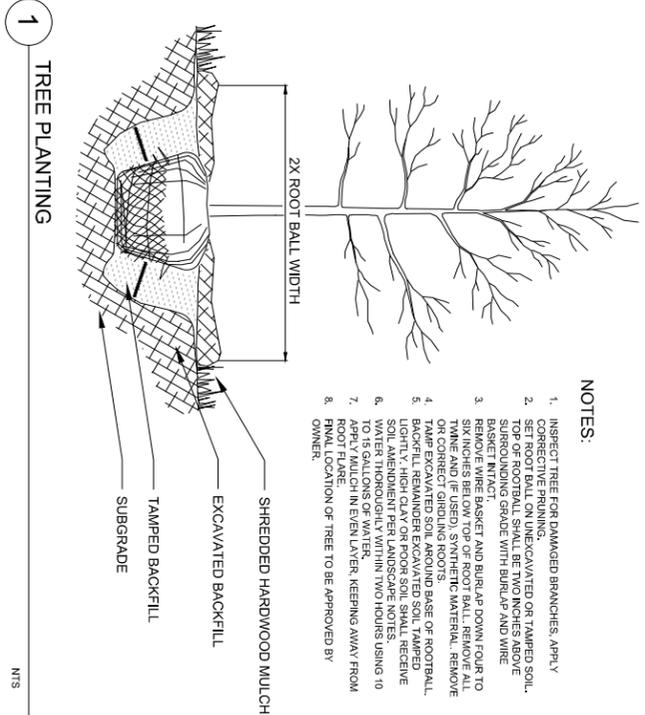


<p>REVISIONS</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	DESCRIPTION				<p>STANDARD SANITARY SEWER DETAILS</p>	<p>YPSILANTI COMMUNITY UTILITIES AUTHORITY 7777 STATE STREET, SUITE 200 YPSILANTI, MI 48198-4112 (313) 481-4000 FAX (313) 481-7211 WWW.YCA.ORG</p>
NO.	DATE	DESCRIPTION						
<p>DATE: 10/29/19</p>	<p>SCALE: 1/8" = 1'-0"</p>	<p>SCALE: 1/8" = 1'-0"</p>						

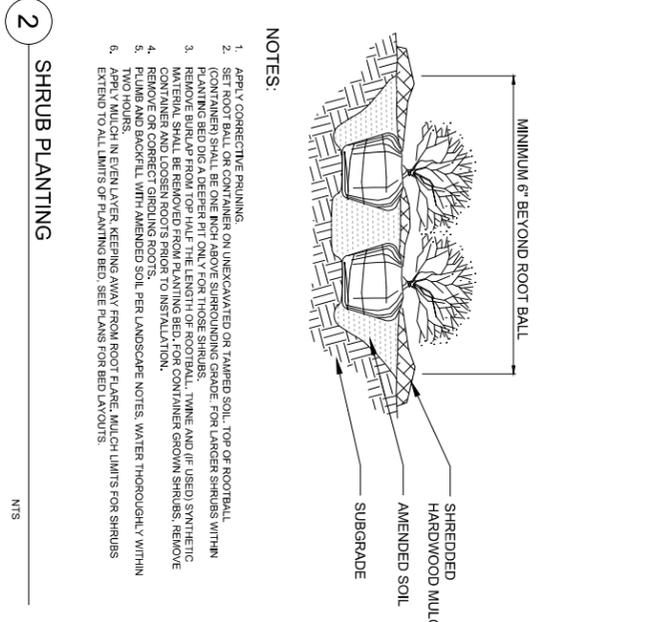


ZONING ORDNANCE	REQUIRED	PROPOSED
Z108A - GENERAL SITE LANDSCAPING ALL AREAS OF A SITE SHALL REMAIN IN LAWN AREA. A MIXTURE OF EVERGREEN AND DECIDUOUS TREES SHALL BE PLANTED AT THE RATE OF 1 TREE FOR EVERY 1,000 SQ. FT. OF LAWN AREA. THERE SHALL ALSO BE 1 SHRUB FOR EVERY 500 SQ. FT. OF LAWN AREA. CALCULATED TOTAL LAWN AREA IS WITHIN LIMITS OF WORK (MAJORITY OF THE LAWN AREA ON SITE IS NOT BEING IMPACTED AND TREES IN THOSE AREAS WILL REMAIN)	TOTAL LAWN AREA = 16,564.96 SQ. FT. 16,564.96 SQ. FT. / 1,000 SQ. FT. = 16.56 17 EVERGREEN OR DECIDUOUS TREES REQUIRED TOTAL LAWN AREA = 16,564.96 SQ. FT. 16,564.96 SQ. FT. / 500 SQ. FT. = 33.13 33 SHRUBS REQUIRED	3 EVERGREEN AND 14 DECIDUOUS TREES PROVIDED WITHIN LIMITS OF WORK ON SITE 47 SHRUBS PROVIDED WITHIN LIMITS OF WORK ON SITE
Z108B - STREET YARD LANDSCAPING A MINIMUM OF 1 LARGE DECIDUOUS TREE SHALL BE PLANTED FOR EACH 40 LINEAL FEET OF FRONTAGE OR PORTION THEREOF.	LENGTH ALONG JAMES L. HART PARKWAY = 167.73 LF 167.73 LF / 40 LF = 4.19 4 LARGE DECIDUOUS TREES REQUIRED	4 EXISTING LARGE DECIDUOUS TREES TO REMAIN ALONG JAMES L. HART PARKWAY
A MINIMUM OF 1 ORNAMENTAL TREE SHALL BE PLANTED FOR EACH 100 LINEAL FEET OF FRONTAGE OR PORTION THEREOF.	LENGTH ALONG JAMES L. HART PARKWAY = 167.73 LF 167.73 LF / 100 LF = 1.67 2 ORNAMENTAL TREES REQUIRED	2 EXISTING ORNAMENTAL TREES TO REMAIN ALONG JAMES L. HART PARKWAY
A MINIMUM OF 1 SHRUB SHALL BE PLANTED FOR EACH 10 LINEAL FEET OF FRONTAGE OR PORTION THEREOF.	LENGTH ALONG JAMES L. HART PARKWAY = 167.73 LF 167.73 LF / 10 LF = 16.77 17 SHRUBS REQUIRED	17 SHRUBS PROVIDED ALONG JAMES L. HART PARKWAY
SECTION Z108C - PARKING LOT LANDSCAPING 1 LARGE DECIDUOUS TREE SHALL BE REQUIRED FOR EACH 3,000 SQ. FT. OF PAVED DRIVEWAY AND PARKING LOT SURFACE, PROVIDED THAT NO LESS THAN 2 TREES ARE PROVIDED.	TOTAL PARKING LOT SURFACE = 22,385.67 SQ. FT. 22,385.67 SQ. FT. / 3,000 SQ. FT. = 7.46 7 CANOPY TREES REQUIRED THROUGHOUT THE PARKING LOT	7 TREES PROVIDED THROUGHOUT THE PARKING LOT AREA

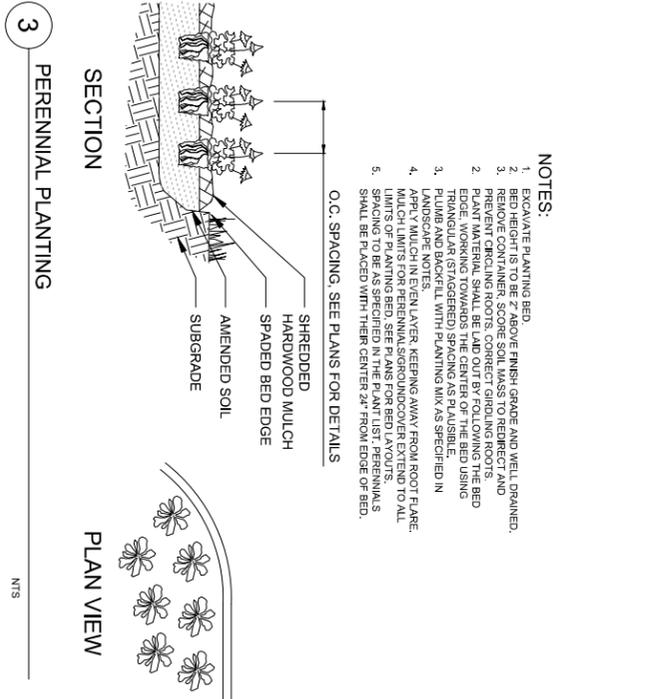
SHOOT POINT BLANK 660 JAMES L. HART PARKWAY YPSILANTI TOWNSHIP, MI	LANDSCAPE PLAN		SCALE: AS NOTED DESIGNED BY: JPM DRAWN BY: BMH CHECKED BY: JMM	Kimley-Horn of Michigan, Inc. <small>© 2021 KIMLEY-HORN OF MICHIGAN, INC. 39111 SIX MILE ROAD LYONNA, MI 48152 PHONE: 734-591-7208 WWW.KIMLEY-HORN.COM</small>	TOWNSHIP COMMENTS REVISIONS	11/29/21 DATE	JPM BY
			ORIGINAL ISSUE: 10/19/2021 KHA PROJECT NO. 169921002 SHEET NUMBER L1.0	No.	No.	No.	



- NOTES:**
- INSPECT TREE FOR DAMAGED BRANCHES. APPLY CORRECTIVE PRUNING.
 - SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL. PREVENT ROOTS FROM CONTACTING SUBGRADE. SURROUNDING GRADE WITH BURLAP AND WIRE BASKET INTACT.
 - REMOVE WIRE BASKET AND BURLAP DOWN FOUR TO SIX INCHES BELOW TOP OF ROOT BALL. REMOVE ALL OR CORRECT GIRDLING ROOTS.
 - TAMP EXCAVATED SOIL AROUND BASE OF ROOTBALL. BACKFILL REMAINDER EXCAVATED SOIL TAMPED SOIL. AMENDMENT PER LANDSCAPE NOTES.
 - WATER THOROUGHLY WITHIN TWO HOURS USING 10 TO 15 GALLONS OF WATER.
 - APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT BALL.
 - FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.



- NOTES:**
- APPLY CORRECTIVE PRUNING.
 - SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL (SHRUBS) SHALL BE ONE INCH ABOVE SURROUNDING GRADE. FOR LARGER SHRUBS WITHIN PLANTING BED DIG A DEEPER PIT ONLY FOR THOSE SHRUBS.
 - REMOVE BURLAP FROM TOP HALF THE LENGTH OF ROOTBALL. TWINE AND JIF USED SYNTHETIC MATERIAL SHALL BE REMOVED FROM PLANTING BED FOR CONTAINER GROWN SHRUBS. REMOVE AND CORRECT GIRDLING ROOTS TO INSTALLATION.
 - REMOVE OR CORRECT GIRDLING ROOTS.
 - FLUME AND BACKFILL WITH AMENDED SOIL PER LANDSCAPE NOTES. WATER THOROUGHLY WITHIN TWO HOURS.
 - APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR SHRUBS EXTEND TO ALL LIMITS OF PLANTING BED. SEE PLANS FOR BED LIMITS.



- NOTES:**
- EXCAVATE PLANTING BED.
 - BED HEIGHT IS TO BE 2\"/>

LANDSCAPE NOTES

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT. PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- ALL PLANTS TO BE SPECIMEN GRADE, WELL BRANCHED, HEALTHY, FULL, PRE-INOCULATED AND FERTILIZED. PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, AND SCARS. PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES. PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES. TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS PART OF THIS CONTRACT.
- THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
- ALL NURSERY STOCK SHALL BE GUARANTEED, BY THE CONTRACTOR, FOR ONE YEAR FROM DATE OF FINAL INSPECTION. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
- PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
- PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
- TOPSOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO 6 INCHES BELOW FINISHED GRADE IN TURF AREAS AND 18 INCHES IN PLANTING AREAS.
- PLANTING AREA TOPSOIL SHALL BE AMENDED WITH 25% SPHAGNUM PEATMOSS, 5% HUMUS AND 70% PULVERIZED SOIL FOR ALL NON TURF SEED/SOD LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SEED/SOD ALL AREAS WHICH ARE DISTURBED BY GRADING WITH THE SPECIFIED SEED/SOD MIXES.
- SEED/SOD LIMIT LINES UNLESS INDICATED OTHERWISE ON THE PLANS. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. A SPADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDDED AREAS. A SPADED EDGE IS NOT REQUIRED ALONG CURBED EDGES.
- CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD MULCH AT A 3\"/>

LANDSCAPE AND IRRIGATION NOTES FROM OWNER

- THE CONTRACTOR SHALL FURNISH AND INSTALL A COMPLETE, AUTOMATED UNDERGROUND IRRIGATION SYSTEM ON A DESIGN/BUILD BASIS. SYSTEM SHALL PROVIDE 100% COVERAGE IN ALL GRASSED OR LANDSCAPED AREAS ONSITE.
- AN IRRIGATION PLAN MUST BE PROVIDED TO THE OWNER FOR APPROVAL.
- IRRIGATION SYSTEM SHALL INCLUDE A MASTER SHUT-OFF VALVE, A BACKFLOW DEVICE, A PRESSURE REGULATOR, A TIME CLOCK-BASED CONTROLLER, AND A MOISTURE OR RAIN SENSOR. THE IRRIGATION SYSTEM MUST ALSO BE PLACED ON A SEPARATE METER FROM THE DOMESTIC SERVICE.
- LANDSCAPE CONTROLS SHALL BE SET TO RUN AT OPTIMAL TIMES OF THE DAY TO MINIMIZE EVAPORATION LOSS AND BUSINESS DISRUPTION. BROADCAST SYSTEMS SHOULD NOT BE SET TO RUN DURING TENANT'S NORMAL BUSINESS HOURS.
- COVER DRIP IRRIGATION SYSTEMS TO BE PROVIDED IN ALL BED AREAS AND SHALL BE COVERED WITH A MINIMUM OF 3\"/>

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	OTHER
	CO	4	CELTIS OCCIDENTALIS / COMMON HACKBERRY	B & B	2\"/>	



Kimley-Horn
 of Michigan, Inc.
 2021 KIMLEY-HORN OF MICHIGAN, INC.
 39111 SIX MILE ROAD
 LYNDEN, MI 48187
 PHONE: 734-591-7208
 WWW.KIMLEY-HORN.COM

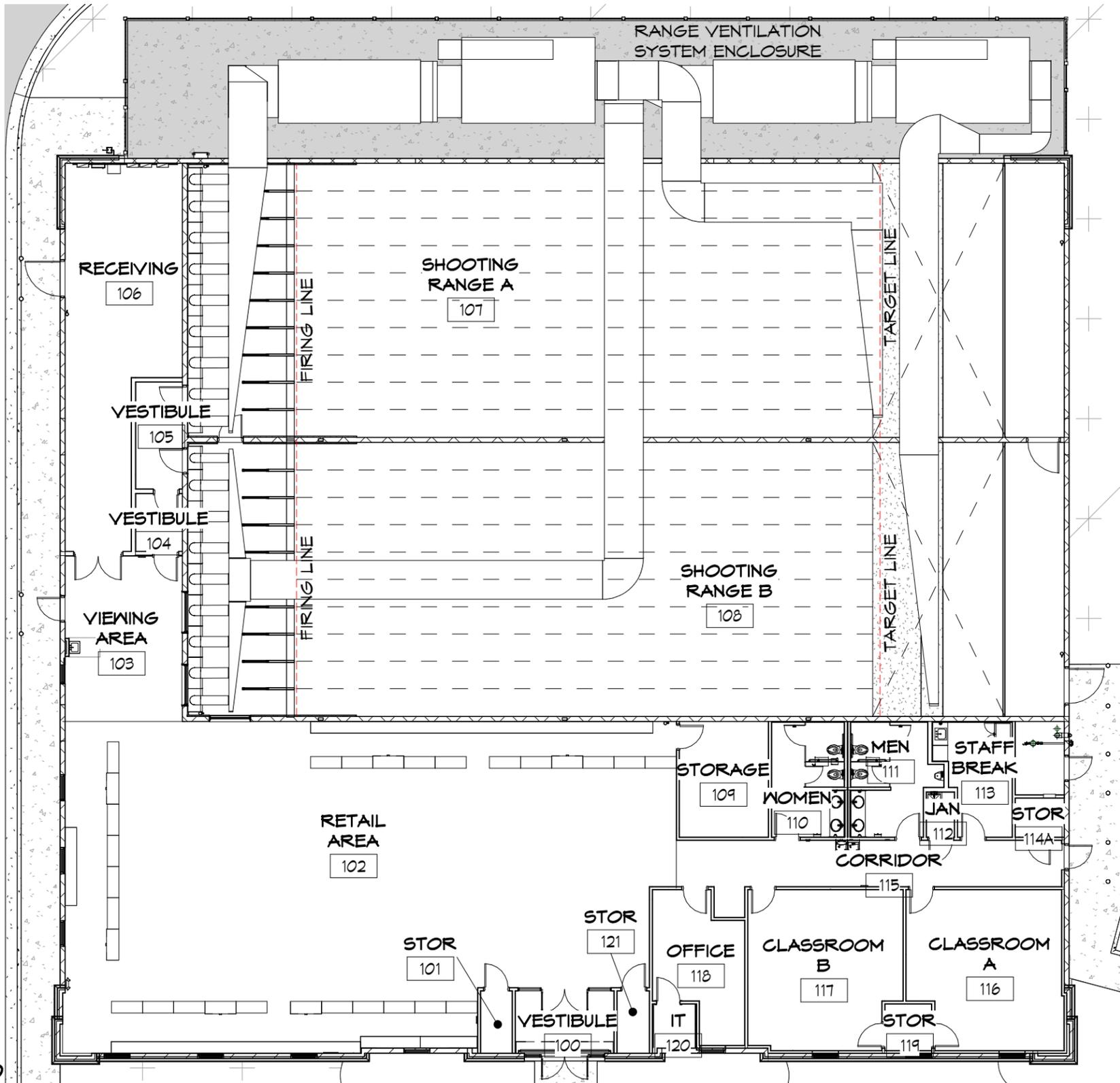
SCALE: AS NOTED
 DESIGNED BY: JPM
 DRAWN BY: BMH
 CHECKED BY: JMM

TOWNSHIP COMMENTS	11/29/21	JPM
REVISIONS	DATE	BY
No.		

LANDSCAPE NOTES AND DETAILS

SHOOT POINT BLANK
 660 JAMES L. HART PARKWAY
 YPSILANTI TOWNSHIP, MI

ORIGINAL ISSUE: 10/19/2021
 KHA PROJECT NO. 168921002
 SHEET NUMBER
L2.0



1 FLOOR PLAN-PRES
 SCALE: 1/16" = 1'-0"



600 Emerson Street, Suite 210, Creve Coeur, MO 63141
 www.esd@esdarch.com Office: 704-373-1900

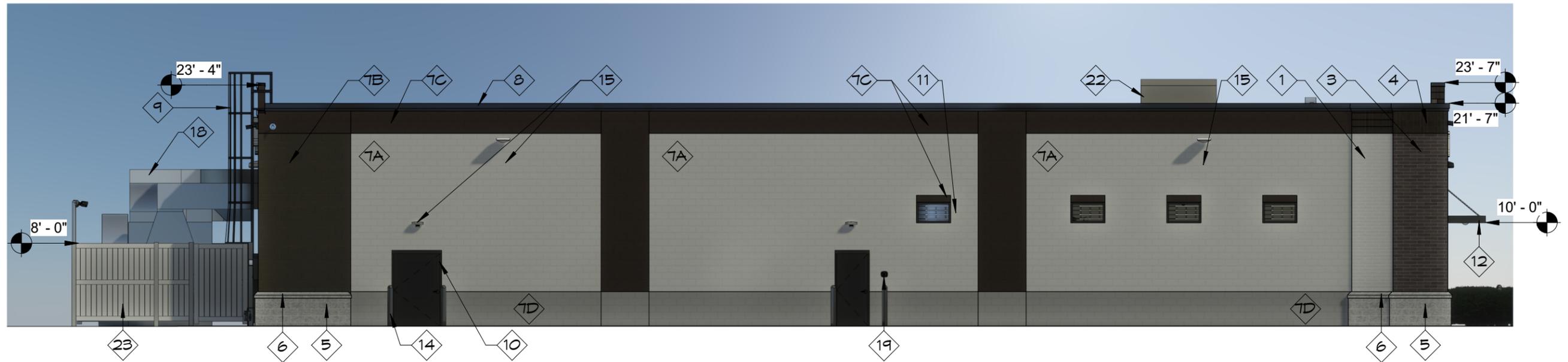
SHOOT POINT BLANK™

660 JAMES L HART PARKWAY
 YPSILANTI TOWNSHIP, MI

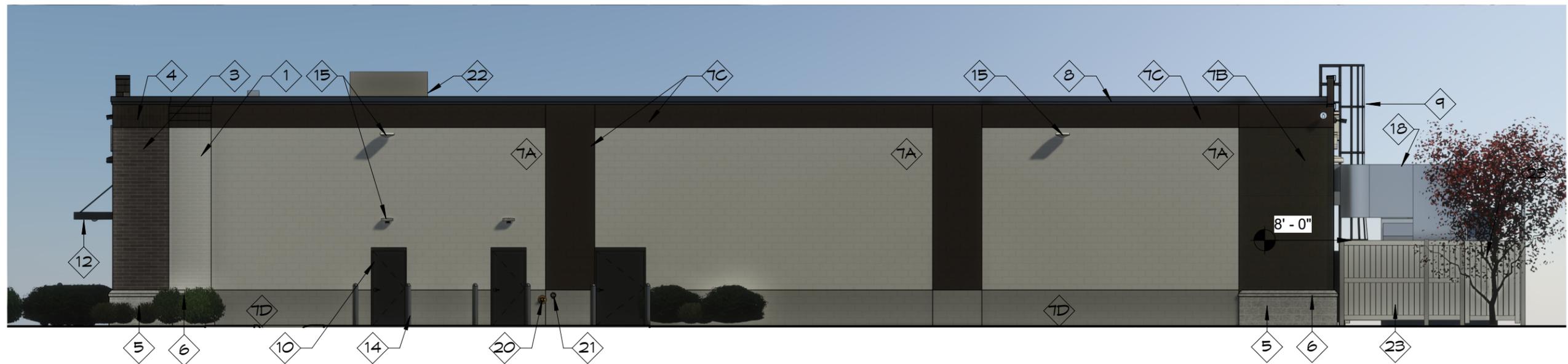
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11/12/2021

PROJ # 21-161



1 EAST ELEVATION-PRES
SCALE: 3/32" = 1'-0"



2 WEST ELEVATION-PRES
SCALE: 3/32" = 1'-0"



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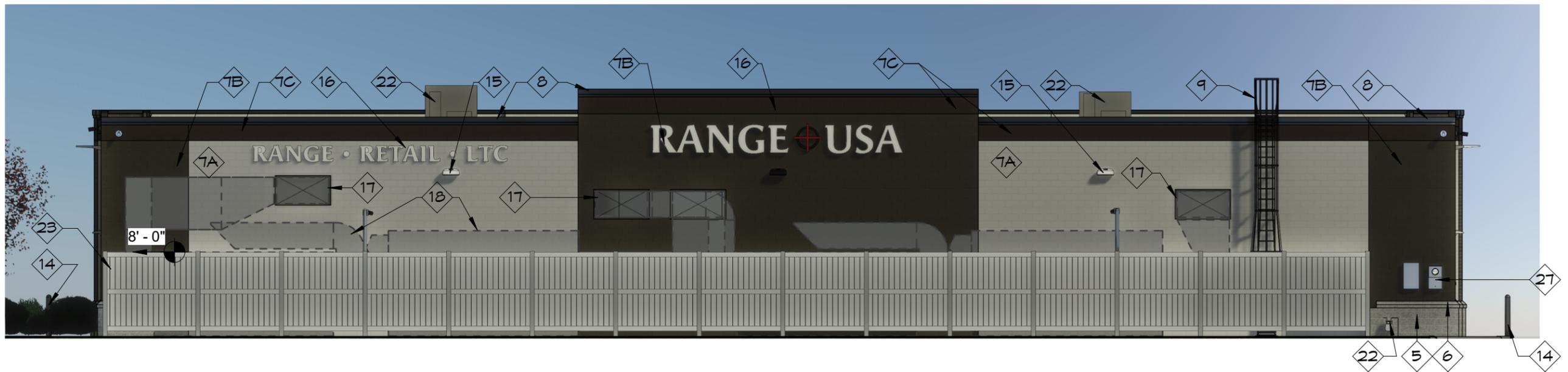
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11/12/2021

PROJ # 21-161



2 SOUTH ELEVATION-PRES
SCALE: 3/32" = 1'-0"



1 NORTH ELEVATION-PRES
SCALE: 3/32" = 1'-0"

EXTERIOR ELEVATION KEYNOTES

- 1 LOAD BEARING CONCRETE BRICK MASONRY (8"X4"X16") - CBM-1, INTEGRAL COLOR (WHITE)
- 2 LOAD BEARING CONCRETE BRICK MASONRY (8"X4"X16") - CBM-2, INTEGRAL COLOR (GRAY)
- 3 LOAD BEARING CONCRETE BRICK MASONRY (8"X4"X16") - CBM-3, INTEGRAL COLOR (LIGHT BROWN)
- 4 LOAD BEARING CONCRETE BRICK MASONRY W/ VERTICAL "SOLDIER COURSE" REVEALS @ 4"OC (8"X8"X16") - CBM-4, INTEGRAL COLOR - (DARK BROWN)
- 5 LOAD BEARING SPLIT-FACE CONCRETE BLOCK (8"X12"X16") - CMU-1, INTEGRAL COLOR (GRAY)
- 6 LOAD BEARING SMOOTH-FACE CONCRETE SILL BLOCK (8"X12"X16") - CMU-2, INTEGRAL COLOR (GRAY)
- 7A LOAD BEARING SMOOTH-FACE CONCRETE BLOCK (8"X8"X16") - CMU-3, PAINTED TO MATCH CBM-1
- 7B LOAD BEARING SMOOTH-FACE CONCRETE BLOCK (8"X8"X16") - CMU-3, PAINTED TO MATCH CBM-3
- 7C LOAD BEARING SMOOTH-FACE CONCRETE BLOCK (8"X8"X16") - CMU-3, PAINTED TO MATCH CBM-4
- 7D LOAD BEARING SMOOTH-FACE CONCRETE BLOCK (8"X8"X16") - CMU-3, PAINTED TO MATCH CBM-2
- 8 PRE-FINISHED ALUMINUM COPING - COLOR TO MATCH PT-4
- 9 NOT USED
- 10 METAL DOOR PAINTED PT-4
- 11 PRE-FINISHED ALUMINUM STOREFRONT SYSTEM (AL-1), SEE GLAZING SCHEDULE FOR GLASS TYPES
- 12 PRE-MANUFACTURED, PRE-FINISHED METAL CANOPY, COLOR TO BE MATCH PT-4
- 14 6" DIAMETER STEEL PIPE BOLLARD SET IN CONCRETE AND FILLED SOLID WITH CONCRETE (PAINTED PT-4) SEE CIVIL DRAWINGS FOR LOCATIONS AND DETAILS
- 15 EXTERIOR WALL-MOUNTED LIGHT FIXTURE - SEE ELECT.
- 16 APPROXIMATE LOCATION OF OWNER PROVIDED SIGNAGE
- 17 MASONRY OPENING FOR RANGE VENTILATION SYSTEM
- 18 RANGE VENTILATION SYSTEM
- 19 RECESSED KNOX BOX, VERIFY TYPE AND LOCATION WITH LOCAL FIRE MARSHAL BEFORE ORDERING AND INSTALLING
- 20 FDC, VERIFY TYPE AND LOCATION WITH LOCAL FIRE MARSHAL BEFORE ORDERING AND INSTALLING
- 21 OVERFLOW ROOF DRAIN OUTLET ZURN Z199 DOWNSPOUT NOZZLE
- 22 MECHANICAL EQUIPMENT.
- 23 8' HIGH VINYL FENCE AROUND RANGE EQUIPMENT, SEE OTHER DRAWINGS
- 27 ELECTRICAL EQUIPMENT

EXTERIOR MATERIALS:

- CBM-1
LOAD BEARING CONCRETE BRICK MASONRY (8"X4"X16"), INTEGRAL COLOR
- CBM-2
LOAD BEARING CONCRETE BRICK MASONRY (8"X4"X16"), INTEGRAL COLOR
- CBM-3
LOAD BEARING CONCRETE BRICK MASONRY (8"X4"X16"), INTEGRAL COLOR
- CBM-4
LOAD BEARING CONCRETE BRICK MASONRY W/ VERTICAL "SOLDIER COURSE" REVEALS @ 4"OC (8"X8"X16") - CBM-3, INTEGRAL COLOR
- CMU-1
STANDARD SPLIT FACE 8" X 12" X 16" LOAD BEARING CONCRETE BLOCK, INTEGRAL COLOR
- CMU-2
SMOOTH-FACE 8" X 12" X 16" LOAD BEARING CONCRETE SILL BLOCK, INTEGRAL COLOR
- CMU-3
STANDARD C-90 SMOOTH-FACE 8" X 8" X 16" LOAD BEARING CONCRETE BLOCK, PAINTED
- AL-1 (ALL STOREFRONT FRAMES)
BLACK ANODIZED ALUMINUM
- PT-4 - SW CYBERSPACE (DARK GRAY/BLACK)



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www.esd@esdarch.com Office: 704-373-1900

SHOOT POINT BLANK™

660 JAMES L HART PARKWAY
YPSILANTI TOWNSHIP, MI

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11/12/2021

PROJ # 21-161

WP SERIES LED SECURITY WALL PACK

SPECIFICATIONS

DESCRIPTION

A revolutionary way to generate high-quality white light, WLS TrueWhite® Technology is a patented approach that delivers an exclusive combination of 90+ CRI, beautiful light characteristics and lifelong color consistency, all while maintaining high luminous efficacy – a true no compromise solution.

CONSTRUCTION & MATERIALS

- Slim, low profile design
- Luminaire housing specifically designed for LED applications with advanced LED thermal management and driver
- Luminaire mounting box designed for installation over standard single gang J-Boxes and mud ring single gang J-Boxes
- Luminaire can also be direct mounted to a wall and surface wired
- Secures to wall with four 3/16" (5mm) screws (by others)
- Conduit entry from top, bottom, sides, and rear
- Exclusive Colorfast DeltaGuard® finish features an E-coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Silver, black, white and bronze are available
- Weight: 2L, 4L, 6L - 11.0 lbs. (5.0kg); 8L - 11.8 lbs. (5.4kg)

ELECTRICAL SYSTEM

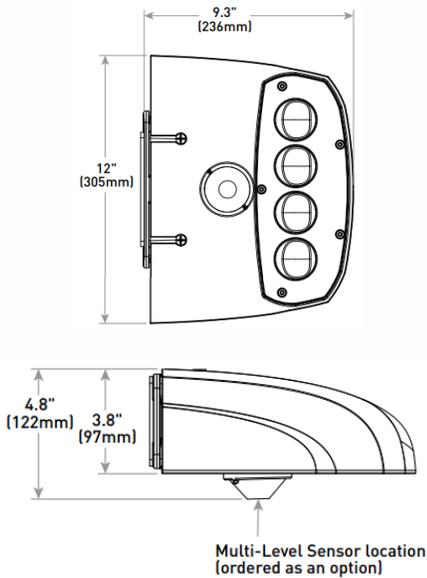
- Input Voltage: 120-277V or 347-480V, 50/60Hz
- Power Factor: > 0.9 at full load
- Total Harmonic Distortion: < 20% at full load
- Integral 10kV surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current
- Designed with 0-10V dimming capabilities. Controls by others
- 10V Source Current: 0.15 mA
- Operating Temperature Range: -40°C - +50°C (-40°F - +122°F)

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- Designed for downlight applications only
- Enclosure rated IP66 per IEC 60598
- 10kV surge suppression protection tested in accordance with IEEE/ANSI C62.41.2
- Meets FCC Part 15, Subpart B, Class A standards for conducted and radiated emissions
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- Meets Buy American requirements within ARRA
- RoHS compliant. Consult factory for additional details
- Dark Sky Friendly, IDA Approved when ordered with 30K CCT
- "WARNING: Cancer and Reproductive Harm - www.p65warnings.ca.gov"



DIMENSIONS



Lumen Package	Weight
2L, 3L, 6L	11.0 lbs. (5.0kg)
8L	11.8 lbs. (5.4kg)



Made in the U.S.A. of the U.S. and imported parts.
Meets Buy American requirements for ARRA.

Powered by **CREE**

Project Name: _____

Date: _____

Location: _____

Notes: _____

WP SERIES LED SECURITY WALL PACK

ORDERING INFORMATION SELECT APPROPRIATE CHOICE FROM EACH COLUMN TO FORMULATE ORDER CODE.

Refer to example below.

PRODUCT	VERSION	MOUNTING	OPTIC	LUMEN PACKAGE ¹	COLOR TEMPERATURE	VOLTAGE	COLOR OPTIONS	OPTIONS
WP	B	WM Wall	2ME Type II Medium 3ME Type III Medium 4ME Type IV Medium	2L 2,490 lumens 4L 4,270 lumens 6L 6,100 lumens 8L 8,475 lumens	30K 3000K - 70 CRI 40K 4000K - 70 CRI 50K 5000K - 90 CRI 57K 5700K - 70 CRI	UL Universal 120-277V UH Universal 347-480V 34 347V ^{2,3}	BK Black BZ Bronze SV Silver WH White	ML Multi Level ⁴ PC Photocell PML Programmable Multi Level ⁴ NO No Options

ORDER:

Example: WLS-WP-B-WM-3ME-2L-40K-UH-BK-NO

FOOTNOTES:

- 1 Lumen Package selection codes identify approximate light output only. Actual lumen output levels may vary depending on CCT and optic selection. Refer to Initial Delivered Lumen tables for specific lumen values
- 2 For use with PC option only
- 3 Consult factory for availability
- 4 Available with UL voltage only

Electrical Data									
Lumen Package	CCT/CRI	System Watts	Efficacy	Total Current (A)					
		120-480V		120V	208V	240V	277V	347V	480V
2L	30K/70 CRI	20	125	0.17	0.10	0.08	0.07	0.06	0.05
	40K/70 CRI	19	131	0.16	0.09	0.08	0.07	0.06	0.04
	50K/90 CRI	24	104	0.20	0.11	0.10	0.08	0.07	0.05
	57K/70 CRI	19	131	0.16	0.09	0.08	0.07	0.06	0.04
4L	30K/70 CRI	33	129	0.28	0.16	0.14	0.13	0.10	0.07
	40K/70 CRI	31	138	0.27	0.15	0.13	0.12	0.09	0.07
	50K/90 CRI	40	107	0.34	0.20	0.17	0.16	0.12	0.09
	57K/70 CRI	31	138	0.26	0.15	0.13	0.12	0.09	0.07
6L	30K/70 CRI	51	120	0.43	0.25	0.22	0.19	0.14	0.11
	40K/70 CRI	47	130	0.40	0.23	0.20	0.18	0.14	0.10
	50K/90 CRI	60	102	0.51	0.29	0.25	0.23	0.17	0.13
	57K/70 CRI	47	130	0.40	0.23	0.20	0.17	0.14	0.10
8L	30K/70 CRI	77	110	0.65	0.38	0.32	0.28	0.22	0.16
	40K/70 CRI	72	118	0.61	0.35	0.31	0.27	0.21	0.15
	50K/90 CRI	78	89	0.66	0.37	0.33	0.29	0.22	0.16
	57K/70 CRI	71	119	0.60	0.35	0.30	0.26	0.20	0.15

Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-480V +/- 10%



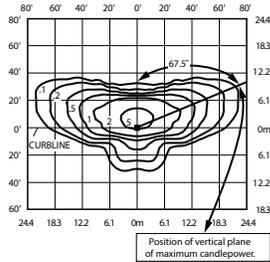
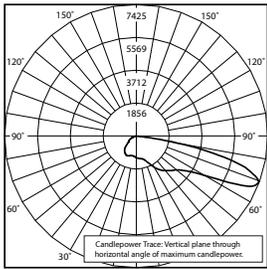
1919 Windsor Place
Fort Worth, TX 76110
800.633.8711

www.wslighting.com

Project Name: _____
Date: _____
Location: _____
Notes: _____

XSPW SERIES LED SECURITY WALL PACK

2ME



CESTL Test Report #: PL12798-001A
WLS-WP-B-**-2ME-8L-40K-UL
Initial Delivered Lumens: 8,622

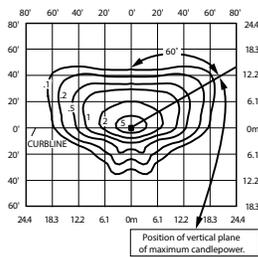
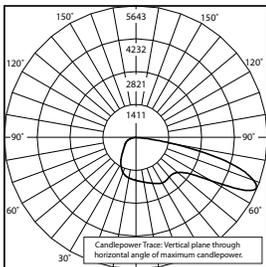
WLS-WP-B-**-2ME-8L-40K-UL
Mounting Height: 15' (4.6m) A.F.G.
Initial Delivered Lumens: 8,475
Initial FC at grade

Type II Medium Distribution								
Lumen Package	3000K		4000K		5000K		57000K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
2L	2,490	B1 U0 G1						
4L	4,270	B1 U0 G1						
6L	6,100	B1 U0 G2						
8L	8,475	B2 U0 G2	8,475	B2 U0 G2	6,925	B1 U0 G2	8,475	B2 U0 G2

* Initial delivered lumens at 25° C (77° F). Actual production yield may vary between -10 and +10% of initial delivered lumens.

** For more information on the IES BUG (Backlight - Uplight - Glare) Rating visit <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11bugratingsAddendum.pdf>

3ME



CESTL Test Report #: PL12366-007A
WLS-WP-B-**-3ME-8L-40K-UL
Initial Delivered Lumens: 8,543

WLS-WP-B-**-3ME-8L-40K-UL
Mounting Height: 15' (4.6m) A.F.G.
Initial Delivered Lumens: 8,475
Initial FC at grade

Type III Medium Distribution								
Lumen Package	3000K		4000K		5000K		57000K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
2L	2,490	B1 U0 G1						
4L	4,270	B1 U0 G1						
6L	6,100	B1 U0 G2						
8L	8,475	B2 U0 G2	8,475	B2 U0 G2	6,925	B1 U0 G2	8,475	B2 U0 G2

* Initial delivered lumens at 25° C (77° F). Actual production yield may vary between -10 and +10% of initial delivered lumens.

** For more information on the IES BUG (Backlight - Uplight - Glare) Rating visit <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11bugratingsAddendum.pdf>



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800.633.8711

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Project Name: _____

Date: _____

Location: _____

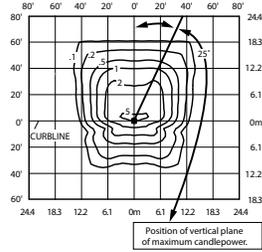
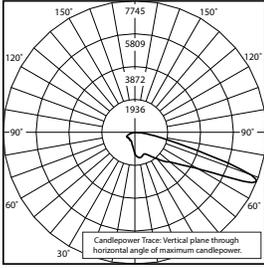
Notes: _____

29 REV. 07/20

Specifications subject to change without notice.

WP SERIES LED SECURITY WALL PACK

4ME



RESTL Test Report #: PL14415-001A
 WLS-WP-B-**-4ME-8L-40K-UL
 Initial Delivered Lumens: 8,763

WLS-WP-B-**-4ME-8L-40K-UL
 Mounting Height: 15' (4.6m) A.F.G.
 Initial Delivered Lumens: 8,475
 Initial FC at grade

Type IV Medium Distribution								
Lumen Package	3000K		4000K		5000K		57000K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
2L	2,490	B1 U0 G1						
4L	4,270	B1 U0 G1						
6L	6,100	B1 U0 G2						
8L	8,475	B1 U0 G2	8,475	B1 U0 G2	6,925	B1 U0 G2	8,475	B1 U0 G2

* Initial delivered lumens at 25° C (77° F). Actual production yield may vary between -10 and +10% of initial delivered lumens.

** For more information on the IES BUG (Backlight - Uplight - Glare) Rating visit <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11bugratingsAddendum.pdf>



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29 REV. 07/20
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CLXM SERIES LED AREA

SPECIFICATIONS

Optical System

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, 5W, FT and FTA.
- Silicone optical material does not yellow or crack with age and provides a maximum light transmittance of 93%.
- Zero uplight.
- Available in 5000K, 4000K, 3000K, 2700K and Amber (+/- 275K) color temperatures.
- Minimum CRI of 70.
- Integral Louver (IL) option available for improved back-light control without sacrificing street side performance.

Electrical

- High-performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- L80 Calculated Life: >100k Hours
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F)
- Power factor: >.90
- Input power stays constant over life.
- Field replaceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation.
- Terminal block provided accepts up to 10ga wire.
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square poles without need for pole adaptors.
- Luminaire is proudly made in the U.S. of U.S. and imported parts.
- IP66 rated luminaire protects integral components from harsh environments.
- 3G rated for ANSI C136.31 high vibration applications.
- Fixtures are finished with WLS's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard WLS finishes available.
- Shipping weight: 30 lbs in carton.

Controls

- Optional integral passive infrared motion and daylight sensor activates switching of luminaire light levels
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules.

Installation

- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment for installing/servicing.
- Included terminal block provides quick and easy on-site wiring.
- Utilizes WLS's traditional 3" drill pattern for easy fastening of WLS products.

Warranty

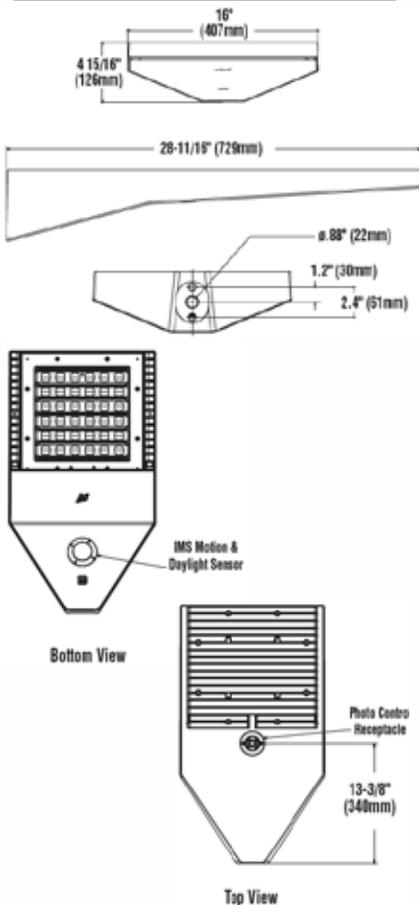
- WLS LED Fixtures carry a 5-year warranty.

Listings

- Listed to UL 1598 and UL 8750.
- RoHS Compliant.
- American Recovery and Reinvestment Act Funding Compliant.
- Suitable For wet Locations.
- IP66 rated Luminaire. IP66 rated optical chamber.
- 3G rated for ANSI C136.31 high vibration applications



DIMENSIONS



 Made in the U.S.A. of the U.S. and imported parts.
Meets Buy American requirements for ARRA.



Project Name: _____

Date: _____

Location: _____

Notes: _____

CLXM SERIES LED AREA

ORDERING INFORMATION SELECT APPROPRIATE CHOICE FROM EACH COLUMN TO FORMULATE ORDER CODE.

Refer to example below.

SERIES	LIGHT SOURCE	LUMENS PACKAGE	LIGHT OUTPUT	DISTIBUTION	ORIENTATION ¹	VOLTAGE	DRIVER	COLOR TEMPERATURE
CLXM	LED	9L 9,000 lms 12L 12,000 lms 18L 18,000 lms 24L 24,000 lms 30L 30,000 lms 36L 36,000 lms 42L 42,000 lms	SIL Silicone	2 Type 2 3 Type 3 5W Type 5 Wide FT Type Forward Throw FTA Forward Throw Automotive	(blank) - standard L Optics rotated left 90 R Optics rotated right 90	UNV Universal Voltage (120-277V) HV High Voltage (347-480V)	DIM 0-10v Dimming (0-10%)	27 2,700 CCT ² 30 3,000 CCT ² 40 4,000 CCT 50 5,000 CCT AMB Amber ^{2,3}

ORDER:

WLS-CLXM	LED		SIL				DIM	
----------	-----	--	-----	--	--	--	-----	--

COLOR RENDERING	CONTROLS	FINISH	OPTIONS
70CRI 70 CRI	EXT 0-10v Dimming (from external signal) IMS Integral Motion & Daylight Sensor ^{4,5}	BRZ Bronze BLK Black GPT Graphite MSV Metallic Silver WHT White PLP Platinum Plus SVG Satin Verde Green CC' Custom Color	(Blank) None Button Type Photocells ⁷ PC1120 120V PC1208-277 208-277V PC1347 347V CR7P 7 Pin Photoelectric Control Receptacle ⁶ IL Integral Louver HSS ¹

Example: WLS-CLXM-LED-30L-SIL-5W-UNV-DIM-40-70CRI-EXT-BRZ-IL

FOOTNOTES:

- 1 Not available on "Type 5W" distribution.
- 2 Consult factory for availability.
- 3 Only available in 9L and 12L lumen packages.
- 4 Not available in HV.
- 5 IMS is field adjustable, via a hand held Remote Configurator Tool, which must be ordered separately.
- 6 Control device must be ordered separately.
- 7 Factory installed CR7P option required.

LUMINAIRE EPA CHART - CLXM

	Single	0.6
	D180°	1.1
	D90°	0.9
	T90°	1.9
	TN120°	1.9
	Q90°	2.1

ELECTRICAL DATA

Lumens	Watts	120V	208V	240V	277V	347V	480V
9L	68.2	0.6A	0.3A	0.3A	0.2A	0.2A	0.1A
12L	93.1	0.8A	0.4A	0.4A	0.3A	0.3A	0.2A
18L	148.5	1.2A	0.7A	0.6A	0.5A	0.4A	0.3A
24L	188.8	1.6A	0.9A	0.8A	0.7A	0.5A	0.4A
30L	248.6	2.1A	1.2A	1.0A	0.9A	0.7A	0.5A
36L	317.8	2.6A	1.5A	1.3A	1.1A	0.9A	0.7A
42L	393.4	3.3A	1.9A	1.6A	1.4A	1.1A	0.8A



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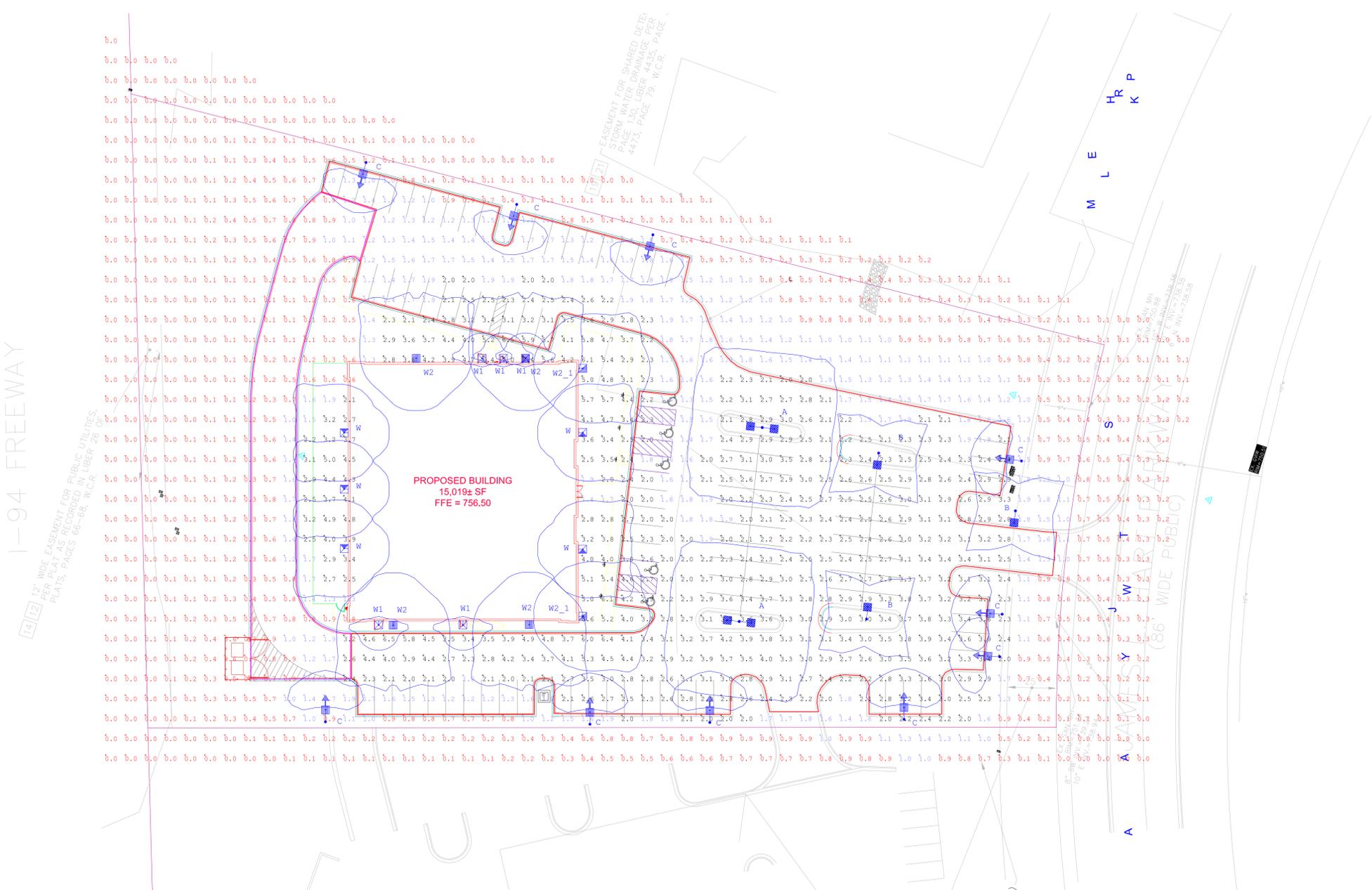
Notes: _____

01 REV. 01/19

Specifications subject to change without notice.

REVISIONS

REV #	DATE	BY:
1	11/16/21	J.P.
2	11/22/21	J.P.



**NOTE:
EXISTING POLES AND LOCATIONS WITH NEW FIXTURE**

Calculation Summary								
Label	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpcLr	PtSpcTb
PARKING	Fc	2.55	6.5	0.9	2.83	7.22	10	10
REAR	Fc	0.87	3.2	0.1	8.70	32.00		

Luminaire Schedule								
Symbol	Qty	Label	Lum. Lumens	LLF	Description	Lum. Watts		
WLS13830 RANGE USA YPSILANTI, MI PM: HOLLY PLEASE EMAIL US FOR PRICING AT HOLLY@WLSLIGHTING.COM								
	2	A	11735	0.950	WLS-CLXM-LED-12L-SIL-5W-40-70CRI-SLW 25' POLE 3' BASE	93.1		
	3	B	11735	0.950	WLS-CLXM-LED-12L-SIL-5W-40-70CRI-SLW 25' POLE 3' BASE	93.1		
	10	C	6086	0.950	WLS-CLXM-LED-09L-SIL-FT-40-70CRI-IL-SLW 25' POLE 3' BASE	68.2		
	5	W	6100	0.950	WLS-WP-B-WM-4ME-6L-40K-SLW 16' MOUNTING HEIGHT	47		
	5	W1	1448	0.950	LITHONIA DSXW1 LED 10C 350 40K T2M MVOLT 9'-10'' MOUNTING HEIGHT	13.3		
	4	W2	8873	0.950	WLS-WP-B-WM-4ME-8L-40K-SLW 18' MOUNTING HEIGHT	70.82		
	2	W2_1	8873	0.950	WLS-WP-B-WM-4ME-8L-40K-SLW 16' MOUNTING HEIGHT	70.82		

BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.
THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.

**RANGE USA
YPSILANTI, MI**

WLS LIGHTING
a WLS company

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FORT WORTH, TX 76126
WWW.WLSLIGHTING.COM