

**CHARTER TOWNSHIP
OF YPSILANTI
PLANNING COMMISSION**

**SALLY RICHIE, CHAIR
BILL SINKULE, VICE CHAIR
LARRY KRIEG, SECRETARY
ELIZABETH EL-ASSADI
MUDDASAR TAWAKKUL
STAN ELDRIDGE
LARRY DOE**

September 14, 2021

Regular Meeting – 6:30 p.m.

CHARTER TOWNSHIP OF YPSILANTI

PLANNING COMMISSION

CHARTER TOWNSHIP OF YPSILANTI CIVIC CENTER

7200 S. Huron River Drive, Ypsilanti, MI 48197

REGULAR MEETING AGENDA

TUESDAY, September 14, 2021

6:30 P.M.

If you need any assistance due to a disability please contact the Planning Department at least 48 hours in advance of the meeting at planning@ytown.org or 734-485-3943.

1. CALL TO ORDER
2. ROLL CALL
3. APPROVAL OF THE MAY 25, 2021 REGULAR MEETING MINUTES
4. APPROVAL OF AGENDA
5. NEW BUSINESS
 - A. **2555 STATE STREET –K11-13-256-002 - FULL SITE PLAN – HERCULES MATERIALS – TO CONSIDER A REQUEST TO CONSTRUCT A CONCRETE MIXING PLANT ON A PARCEL ZONED I-C (INDUSTRIAL COMMERCIAL).**
 - B. **43 EMERICK STREET – K-11-10-280-019 –PELIMINARY SITE PLAN AND CONDITIONAL ZONING EXTENTION REQUEST – R & L CARRIERS – TO CONSIDER AN EXTENTION TO THE PRELIMINARY SITE PLAN APPROVAL AND ZONING RECOMMENDATION FOR SIX (6) MONTHS**
6. OPEN DISCUSSION FOR ISSUES NOT ON THE AGENDA
 - A. CORRESPONDENCE RECEIVED
 - B. PLANNING COMMISSION MEMBERS
 - C. MEMBERS OF THE AUDIENCE
7. TOWNSHIP BOARD REPRESENTATIVE REPORT
8. ZONING BOARD OF APPEALS REPRESENTATIVE REPORT
9. TOWNSHIP ATTORNEY REPORT
10. PLANNING DEPARTMENT REPORT
11. OTHER BUSINESS
12. ADJOURNMENT

CHARTER TOWNSHIP OF YPSILANTI
7200 S. HURON RIVER DRIVE
YPSILANTI, MICHIGAN 48197

MINUTES OF THE PLANNING COMMISSION MEETING
MAY 25, 2021 6:00 P.M.

PLANNING COMMISSION MEMBERS:

Bill Sinkule	Vice Chair
Laurence Krieg	Secretary
Elizabeth El-Assadi	Commissioner
Muddasar Tawakkul	Commissioner
Larry Doe	Commissioner
Gloria Peterson	Commissioner

GUESTS:

Jason Iacoangeli	Planning Director
Ben Carlisle	Principal, Carlisle/Wortman Assoc. Inc.
Dennis McLain	Township Attorney
Pat Lennon	Partner, Hongman LLP
Cynthia Wilbanks	
Greg Heim	Engineer, Vanston/O'Brien Inc.
Heather Roe	Township Clerk
Michelle Weaver	Owner, Zippy Auto Wash LLC
Corey Weaver	Owner, Zippy Auto Wash LLC
Jamie Vecchioni	General Manager, Ann Arbor Marriott Ypsilanti Eagle Crest
Maria Harshe	Attorney, Harshe Law
Steven Hurowitz	
Dave Brewer	Vanston/O'Brien
Debbie Swanson	Board Member, Ypsilanti Township
Brenda Stumbo	Township Supervisor
Alvo Enderica	
Donalee Jacobson	
John Newman	Board Member, Ypsilanti Township
M. Malach	
William Shepard	Executive Director, EMU Foundation
Mike Radzik	Ypsilanti Township Office of Community Standards

ABSENT:

Sally Richie Chair

Minutes prepared by Abigail Pineda of Minutes Solutions Inc. from an audio/video recording.

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1. **CALL TO ORDER**

The meeting was officially called to order at 6:30 p.m.

2. **ROLL CALL**

Each Commissioner confirmed that he/she was at home in the Township of Ypsilanti.

3. **APPROVAL OF THE MARCH 23, 2021 AND APRIL 27, 2021 REGULAR MEETING MINUTES**

On a motion made by Mr. Krieg, seconded by Ms. El-Assadi, it was resolved to approve the regular meeting minutes dated March 23, 2021 and April 27, 2021. Motion carried.

4. **APPROVAL OF AGENDA**

On a motion made by Ms. Peterson, seconded by Ms. El-Assadi, it was resolved to approve the meeting agenda, as presented. Motion carried.

5. **PUBLIC HEARING**

1327 S. Huron River Dr. Parcel K-11-16-360-001 – Special Conditional Use – Zippy Auto Wash: Consider a special conditional use request to construct an automobile wash on a parcel zoned B-3 (General Business).

Mr. Iacoangeli reviewed the Special Conditional Use request to construct an automatic car wash which is considered a special conditional use in the B-3 zoning. Section 2119 Special Land Uses outlines the standards to be met for approval; the Planning Commission shall review the “particular circumstances and facts of each proposed use in terms of the following standards” and provide a finding as to whether the Special Conditional Use meets all the required standards.

Each standard under Section 2119 Special Land Uses was reviewed along with commentary from the Planning Department in response to the request:

a) *Will be harmonious and per the objectives, intent, and purpose of this ordinance; and*

The Planning Department believes that the intent and purpose of the ordinance is to separate incompatible uses through the creation of various Zoning Districts and to preserve the character of different areas of the community by regulating the use of the land. Therefore, Zippy Auto Wash is a conditional use and not a permitted use in the ordinance to give the Planning Commission the ability to determine if the automatic car wash is consistent with other adjacent uses and if it fits into the long-term development goals of the Township.

The Planning Commission will need to determine if the use of an automatic car wash at the proposed location of 1327 Huron Street is a harmonious use with the character of this area of the Township. After reviewing the completed application for Special Conditional Use, it is the Planning Department’s opinion that it is not a harmonious use.

- b) *Will be compatible with a natural environment and existing, and future land uses in the vicinity; and*

The parcel is located at the entrance to the Ann Arbor Marriott and is surrounded by the Eagle Crest Golf Course on two sides. North Bay Park is located less than a quarter mile to the north. The overall character of this area is a recreational resort where the natural environment is preserved by park space and the open space of the golf course. The traffic-driven use of an automatic car wash is not compatible with the existing land uses in the area and is much more intense and automobile-oriented.

A map was presented to indicate the area, a mixed-use corridor that is a development of transportation arteries with a mixture of residential, commercial, office, and employment uses. The intent is to improve the function, investment value, and aesthetics of the corridor. There are two types of mixed-use corridors, with Huron Street being regional. The caveat is that Huron Street is also marked as being within the special area plan boundary, which means that these areas have special plans in the Master Plan.

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The Township Core will serve as the central gathering place and commercial base of the Township. The area is centrally located and is already well served with infrastructure, public transportation, established foundational uses, and convenient access. Buildout will be market responsive with a variety of uses, including civic, regional, and local commercial, hotels and restaurants, office, multiple family housing, and open space that will meet the daily needs of Township residents. The Future Land Use Plan shows the appropriate locations for land use and proposed non-motorized routes and roads. See the "Township Core" section in Chapter 8: Future Land Use Plan for more specific land use information.

In the opinion of the Planning Department, the use of an automatic car wash is inconsistent with the future land use pattern for this area as a mixed-use core. Based on the plan for a mixed-use development focusing on community-wide draws such as hotels, restaurants, shopping, public parks and spaces, and public buildings.

- c) *Will be compatible with the Township master plans; and*

In the opinion of the Planning Department, an automatic car wash is an automobile-oriented use that is not consistent with the future land use for this area as a mixed-use core.

- d) *Will be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage ways and structures, refuse disposal, or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately for such services; and*

The Planning Department feels that the proposed automatic car wash would be served adequately by essential public facilities and services, such as highways, streets, police, and fire protection.

- e) *Will not be detrimental, hazardous, or disturbing to existing or future neighboring uses, persons, property, or the public welfare; and*

This corner of Huron Street is the entrance way to the Eagle Crest Golf Course and Marriott Facility. The Marriott was recently at the Planning Commission meeting requesting a new permanent outdoor banquet facility that will host outdoor events and weddings.

The neighborhood character for South Huron has seen a dramatic change in the last decade with two hotels and commercial development along with Anna J. Stepp. The area has a robust framework for taking the step into a mixed-use development that the Township Master Plan contemplates.

The Planning Department feels that this project will be detrimental and disturbing to the current and future neighboring uses and properties.

- f) *Will not create additional requirements at the public costs for public facilities and services that will be detrimental to the community's economic welfare.*

The Planning Department identified that an automatic car wash would not generate any public costs for public facilities or services at the detriment to the community's economic welfare.

In summary, per the Zoning Ordinance, all the criteria in Section 2119 must be met to grant a Special Land Use approval; criteria a., b., c., and f. have not been met.

Mr. Krieg asked why the area to the east of Huron Street was zoned as mixed-use rather than recreational if it was detrimental to commercial use. Mr. Iacoangeli responded that B3 general zoning is in place for that portion of the Township. Adopting the Master Plan with the future land use map will contemplate an entirely new zoning district for this area of the Township within the next four to five months; this will eliminate these types of uses for this zoning category and from this area of the Township. The auto-oriented uses are not consistent with the Township's future land use plan for this town core center.

Mr. Krieg indicated that there are gas stations and several drive-thru restaurants across the street from the proposed site, which is an inconsistency given the auto-oriented uses in the west. Mr. Carlisle responded by looking at the future land use plan. The Township core is a large area of the special area plan. Within this, there are sub-districts due to the size and differences in the Township core. Aligning both sides of Huron Street down to the south of the roundabout is the mixed-use core. A change is envisioned for the future land use in the area, which will be seen in the update of the draft of the zoning ordinates. Considering the Master Plan, the location of the car wash is not appropriate to what the Township is looking to achieve on the corridor, which is a more localized, walkable, mixed-use environment that does not get dominated by auto uses.

Mr. Tawakkul asked if the Planning Commission can overrule and approve the Special Conditional Use request if none of the elements of Section 2119 have been met. Mr. Iacoangeli responded that unless all conditions A through F have been met, the Special Conditional Use request should be denied; approving this would be doing so against the Township's ordinates.

Mr. and Mrs. Weaver provided a detailed PowerPoint presentation about Zippy Auto Wash and the request to approve the proposed site plan and Special Conditional Use for 1327 South Huron Street.

Zippy Auto Wash has been in business for over a decade, owning and operating three entirely new sites in the Ann Arbor area plus one new site under construction, one new site under contract, and one new site in negotiation. Zippy Auto Wash has earned the reputation as the area's highest quality auto wash as they provide outstanding customer service through professional staff and facilities. In addition, Zippy Auto Wash is proud to be one of the area's most environmentally friendly, responsible, and philanthropic small businesses. Finally, it is respected as an excellent corporate citizen via ethical conduct.

Mr. Weaver continued the presentation to state that Ypsilanti residents would benefit from having a modern, community-friendly express exterior auto wash. Ypsilanti Township residents have a choice of many dozens of modern drive-thru banks, coffee shops, pharmacies, and restaurants, while no selection of modern express exterior auto washes. The addition of Zippy Auto Wash would also provide quality employment opportunities and additional property tax and utility service revenues for Ypsilanti Township.

Mr. Weaver recognizes that South Huron Street is a community gateway and wishes to be consistent with the 2040 Master Plan, the Zoning Ordinance, and the existing and future character of the corridor. With significant guidance from Township Planning, the proposed Zippy Auto Wash has incorporated numerous architectural, design concepts, building material, landscaping upgrades, and incorporating meaningful pedestrian scale and community design features.

This proposed site plan meets the objectives, is compatible with the existing uses in the vicinity, and would provide Ypsilanti Township residents with a precious, day-to-day service that is presently absent. The Township 2040 Master Plan future use land map specifies this site as Township Core, mixed-use regional corridor; mixed-use regional corridor specifies high volume traffic, auto-oriented uses, and high-intensity commercial development, including gas stations repair, car dealerships, and drive-thru uses. The proposed Zippy Auto Wash meets every design concept and consideration from the mixed-use regional corridor specifications.

Ms. Harshe was also in attendance to represent Mr. and Mrs. Weaver. She advised that a detailed letter in response to the staff report was emailed to the Planning Department with a request that it be distributed to the Commissioners. The response letter recaps months and months of collaboration with the Planning Department dating back to September 2020, resulting in dozens of pre-meetings, meetings, submissions, re-submissions, surveys, engineering studies, and tests involving significant time and money spent by her client. The client only learned of the objection from the Planning Department to the use of the site as of last Thursday when the meeting packet was downloaded from the Planning Commission website. Ms. Harshe indicated that any concerns or objections to the site as an auto wash should have been raised through the planning process.

The auto wash is situated near a highway interchange in a five-lane corridor among numerous commercial and industrial vehicle-based uses; therefore, it is compatible with the existing uses in the vicinity, and the future uses in the Master Plan. Therefore, in Ms. Harshe's opinion, the appropriate action concerning applicable law is to approve the application for special use.

Mr. Iacoangeli responded by indicating that the future land use map shows this area as regional business. The area is also surrounded by a dotted line on the map, a sub-area plan that

specifically states that it is for hotels, shopping, and restaurants of a pedestrian scale. The sub-area has its own chapter in the Master Plan. Mr. Iacoangeli clarified that the Planning Department advised the applicant that any application for an auto wash would need its best effort to convince the Planning Commission that the auto wash meets all conditions. Mr. Carlisle sent two letters to the applicant in March stating that his planning firm does not believe that the proposed site plan is consistent with the Master Plan or neighborhood.

Mr. Carlisle echoed Mr. Iacoangeli's comments and emphasized that the burden is on the applicant to meet all standards, and it is the opinion of the Planning Department and his firm that the proposed site plan does not meet all the criteria. Mr. Carlisle indicated that he could work with Mr. Weaver to find an alternate site for the proposed Zippy Auto Wash.

Mr. Brewer and Mr. Heim acknowledged the great business provided by Mr. Weaver and hoped for an opportunity for approval at another location.

Mr. Doe supported the idea of finding an alternate location in the community.

Ms. El-Assadi noted that Mr. Weaver's presentation was focused on the site plan rather than the conditional use, which should be addressed before the site plan. Mr. Tawakkul agreed with Ms. El-Assadi's comment.

Ms. Peterson added that the proposed site plan is not compatible with the Master Plan and hopes to find another space for the proposal.

Mr. Iacoangeli provided a list of the correspondence received for and against the proposal:

- Honigman Law Firm in opposition, signed by J. Patrick Lennon
- Ann Arbor/Ypsilanti Regional Chamber in opposition, signed by Diane Keller, President, and CEO
- Destination Ann Arbor in opposition, signed by Mary Kerr, President, and CEO
- Renewal Ministries in opposition, signed by Kathleen Kittle, Missions and Conferences Director
- Ann Arbor Marriott Ypsilanti at Eagle Crest staff in opposition, marked by several staff members
- The team at Utsav Planning in opposition
- Ann Arbor Marriott Ypsilanti at Eagle Crest in opposition, signed by Jamie Vecchioni, General Manager
- Eagle Crest Golf Club in opposition, signed by Wes Blevins, Director of Golf
- Harshe Law PLLC in favor, signed by Maria Harshe
- Roy Wilbanks, resident in opposition
- Karen Lovejoy-Rowe, resident in opposition

The Chair received each letter into the official record.

The public hearing was opened at 7:59 p.m. for 1327 Huron Street K-11-16-360-001.

Mr. Lennon, attorney for MFS Ypsilanti Holdings (the owner of the Marriott), expressed opposition to the proposal as the location is not the right place for the carwash. In addition, the carwash could be detrimental to the Marriott as the nature of the business in this location.

The public hearing was closed at 8:05 p.m.

Mr. Krieg provided his opinion on the matter as he has been a Planning Commission member since 2008. Many commercial automobile businesses have been approved that prevent the area from becoming an entirely walkable, multi-use area. A significant effort is required to make the Township more pedestrian-friendly as the latest traffic count shows an average of 29,700 cars using the corridor. Mr. Krieg expressed his support for approving the Special Conditional Use permit for the proposed Zippy Auto Wash.

On a motion made by Ms. El-Assadi, seconded by Mr. Tawakkul, it was resolved to deny the request for Special Land Use permit approval for an auto wash at 1327 Huron Street K-11-16-360-001 due to the following reasons: the Special Conditional Use of an automatic car wash at 1327 Huron Street does not meet all the standards of Section 2119 Special Conditional Uses including items A, B, C, and E.

A roll call vote was taken:

Mr. Krieg:	Opposed
Mr. Doe:	In favor
Ms. Peterson:	In favor
Mr. Tawakkul:	In favor
Mr. Sinkule:	In favor
Ms. El-Assadi:	In favor

The motion was carried.

6. NEW BUSINESS

1327 Huron Street Parcel K-11-16-360-001 – Special Conditional Use – Zippy Auto Wash: To consider a special conditional use request to construct an automobile wash on a parcel zoned B-3 (General Business): Mr. McLain advised that this item is no longer required as the Special Conditional Use request has been denied.

7. OPEN DISCUSSION FOR ISSUES NOT ON THE AGENDA

Correspondence Received: There was no correspondence to discuss.

Planning Commission Members: There were no updates to discuss.

Members of the Audience: There were no updates to discuss.

8. TOWNSHIP BOARD REPRESENTATIVE REPORT

Ms. Peterson advised that there were no updates to discuss.

9. ZONING BOARD OF APPEALS REPRESENTATIVE REPORT

Ms. El-Assadi reported that the Center for Mobility was approved for a temporary permit to store automobiles for six months.

10. TOWNSHIP ATTORNEY REPORT

Mr. McLain advised that there were no updates to discuss.

11. PLANNING DEPARTMENT REPORT

Mr. Iacoangeli advised that there were no additional updates to discuss.

12. OTHER BUSINESS

Mr. Iacoangeli advised that there may not be any updates or business for the next Planning Commission meeting as several projects are currently underway.

13. ADJOURNMENT

On a motion made by Ms. El-Assadi, seconded by Mr. Doe, it was resolved to close the meeting at 8:17 p.m. Motion carried.

DISCLAIMER

The above minutes of the Planning Commission meeting should be used as a summary of the motions passed and issues discussed at the Planning Commission meeting of the Charter Township of Ypsilanti. This document shall not be considered a verbatim copy of every word spoken at the meeting.

Planning Director's Report

Project Name: Hercules Concrete Mixing Facility

Location: 2555 State Street K-11-13-256-002

Date: 08.23.2021

- | | |
|---|---|
| <input checked="" type="checkbox"/> Full Preliminary Site Plan Review # 1
<input type="checkbox"/> Sketch Preliminary Site Plan Review #
<input type="checkbox"/> Administrative Preliminary Site Plan Review #
<input type="checkbox"/> Detailed Engineering/Final Site Plan Review #
<input type="checkbox"/> Special Use Permit
<input type="checkbox"/> Public Hearing | <input type="checkbox"/> Rezoning
<input type="checkbox"/> Tentative Preliminary Plat
<input type="checkbox"/> Final Preliminary Plat
<input type="checkbox"/> Final Plat Process
<input type="checkbox"/> Planned Development Stage I
<input type="checkbox"/> Planned Development Stage II |
|---|---|

Contact / Reviewer	Consultants, Departments, & Agencies	Approved	Approved with Conditions	Denied	N/A	See email/letter attached or comments below
Jason Iacoangeli, Planning Director	Township Planning Department	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See Directors Comments Below
Carlisle/Wortman Associates	Planning Consultant	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See Letter Dated August 17th 2021
OHM / Stantec	Engineering Consultant	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See Letter Dated August 18th 2021
Dan Kimball, Fire Marshal	Township Fire Department	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Comments pending will forward when received.
Dave Bellers, Building Official	Township Building Department	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Brian McCleery, Deputy Assessor	Township Assessing Department	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Scott Westover, Engineering Manager	Ypsilanti Community Utilities Authority	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See Letter Dated August 17th 2021
Gary Streight, Project Manager	Washtenaw County Road Commission	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Theresa Marsik, Stormwater Engineer	Washtenaw County Water Resources Commission	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
James Drury, Permit Agent	Michigan Department of Transportation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Planning Director's Recommended Action:

The current review comments have recommended Preliminary Site Plan Approval. However, since the reviews have been completed the applicant has notified the Planning Department they will be relocating a parking area due to the relocation of a storm water pond. The applicant will need to provide revised plans so that the new layout can be reviewed prior to presenting at the Planning Commission. The applicant should use this time to address all of the remaining comments as well. The applicant has demonstrated FAA approval for the height of the concrete mixing facility as well as demonstrated that it meets the Zoning Requirements for the Wayne County Airport Authority (Willow Run).



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: August 17, 2021

Site Plan Review For Ypsilanti Township, Michigan

Applicant:	Crown Enterprises
Project Name:	Hercules Concrete Plant
Plan Date:	August 3, 2021
Location:	2555 State Street, Ypsilanti Twp
PID:	K-11-13-256-002
Zoning:	I-C, Industrial and Commercial Districts
Action Requested:	Final Site Plan Review.
Required Information:	As noted in this report.

PROJECT AND SITE DESCRIPTION

The applicant is proposing to construct a *8,300 square-foot*, 2-floor concrete batch plant on a **24.84-acre** site at 2555 State Street. The applicant also wants to add a trucking washing area to the rear of the proposed plant. The plant will employ 45 employees, and will have car and truck parking. The site is zoned I-C, Industrial and Commercial District. I-C industrial and commercial districts are designed to accommodate manufacturing, assembling and fabrication activities including business activities which are not well suited to locations in business districts due to their impact on abutting neighborhoods or due to their requirements for large site areas not available in the township's limited business districts. The I-C district is so structured as to permit the manufacturing, processing and compounding of semifinished or finished products from raw materials as well as from previously prepared material.

Hercules Concrete Plant
August 17, 2021

A concrete manufacturing business is a permitted use in the I-C, Industrial and Commercial District. The site is adjacent to the Ypsilanti Community Utility Authority to the East. An aerial photo of the subject site and surrounding area is shown in **Figure 1**.

Figure 1.
Subject Site



AREA, WIDTH, HEIGHT, SETBACKS

The dimensional requirements of the I-C district in noted in the table:

	Required	Provided	Compliance
Lot Area	None	24.84 acres	YES
Lot Width	None	Not provided	
Building Setbacks			
Front	50 feet	140 feet	YES
Side	40 feet (80 feet combined)	405.94 feet (north) 204.18 feet (south)	YES
Rear	50 feet	235 feet	YES
Maximum Lot Coverage	None	8,300 square feet	YES
Maximum Floor Area	None	8,300 square feet	YES
Maximum Building Height	50 feet	49.6 feet (2 floors)	YES

In regards to setbacks, all storage shall be in the rear yard and shall be completely screened with an obscuring wall or fence, not less than six (6) feet high, or with a chain link-type fence and a greenbelt planting so as to obscure all view from any adjacent residential, office or business district or from a public street. The height of the “tower” will be approximately 100-feet.

The applicant proposes six (6) piles of gravel storage in view of Watson Avenue. The applicant has provided a twelve (12) foot high concrete wall for screening. On nonresidential lots, a privacy fence or an obscuring wall up to six feet in height shall be permitted within a front yard only where necessary for buffering from adjacent uses and approved on a site plan by the planning commission. Applicant will need to obtain a variance from the Zoning Board of Appeals to allow for the height of the wall. The applicant should provide an elevation of the proposed wall.

Items to be Addressed: 1). Provide elevation of twelve (12) foot high concrete wall; and 2). Obtain variance for the twelve (12) foot tall wall.

NATURAL RESOURCES

Topography: The subject site appears fairly level.

Woodlands: The southern section of the site is heavily wooded and is not proposed for development at this time. The northern portion of the site has a mix of scrub tree and young trees that don’t qualify for protection. The applicant has filed a No Tree Affidavit Application on August 2, 2021

Wetlands: No wetlands are demonstrated on-site.

Soils: Soil information is provided on Sheet CS-300. The USDA web soil survey shown indicates WaA (Wasepi sandy loam 0 to 4 slopes) and MdA (Matherton sandy loam 0 to 4 slopes) on-site which do not demonstrate limitations for development.

Items to be Addressed: None

BUILDING LOCATION AND SITE ARRANGEMENT

The proposed development is on the east side of Watson Avenue. The 8,300 square foot is setback 140 feet from Watson Avenue with conveyors and gravel hoppers. The site will be paved with concrete. A 54-space parking lot is situated in the northwest corner of the site. There is a 34-space truck parking area along the east property line. A truck wash area is proposed approximately 35 feet to the east of the proposed concrete plant. There are three (3) proposed basins along Watson Avenue. There are six (6) gravel storage piles north of the plant with a twelve (12)-foot concrete screening wall. A 6-foot chain link fence surrounds the property. The dumpster enclosure is located in the northeast corner of the site.

Items to be Addressed: None.

SITE ACCESS AND CIRCULATION

The site will be accessed via three (3) proposed driveways from Watson Avenue. Two (2) 40-foot-wide driveways for concrete mixer trucks, and one (1) 25-foot-wide driveway for the employee parking lot. Turning radii for trucks and concrete mixers are provided on the circulation plan on Sheet CS-101. There is a turnstile for pedestrians to enter the property, and there is a five (5)-foot sidewalk along the employee parking lot with a tapered curb.

Items to be Addressed: None.

PARKING, LOADING

Parking

Industrial establishments require Five (5) plus one (1) for every one and a half (1 1/2) employees in the largest working shift OR one (1) for each 500 square feet of usable floor area. The applicant states that 45 employees will be working at the industrial establishment. The required amount of parking spaces is 35 spaces. The applicant provides 54 employee parking spaces, including 3 ADA barrier-free spaces. The applicant provides 34 concrete mixer spaces in the rear of the building. Parking is sufficient.

Loading

There are is no loading information on the site plan. There are gravel hoppers and a concrete pad for loading inside the building for loading cement.

Items to be Addressed: None.

LANDSCAPING

A landscape plan has been provided as part of the site plan submittal. The landscape plan has been sealed by a registered landscape architect. The plant list and plant quantities have been provided on Sheet LP-1.

General Site Landscaping: *All areas of a site shall remain in lawn area. A mixture of evergreen and deciduous trees shall be planted at the rate of one (1) tree for each 1,000 square feet or fraction thereof of lawn area, plus One (1) shrub for every 500 square feet or fraction thereof of lawn area.* The applicant provides a seeded lawn, 30 Norway Spruce trees along the concrete screening wall, 12 Lilac

shrubs, 22 yew shrubs, 18 upright arborvitae to block view of the trash enclosure, and 36 sumac shrubs.

Street Yard Landscaping: *A minimum of one large deciduous tree shall be planted for each 40 lineal feet of frontage, PLUS one ornamental tree shall be planted for each 100 lineal feet of frontage, PLUS one shrub shall be planted for each ten lineal feet of frontage.*

The property fronts two (2) streets [Wilwood Avenue and Watson Avenue]. **Wildwood Avenue** has 2 Serviceberry trees, 3 maple trees, 4 eastern redbud trees, 4 sweetgum trees, and 56 shrubs. **Watson Avenue** has 6 Serviceberry trees, 12 maple trees, 8 redbud trees, 8 sweetgum trees, 12 red oak trees, and 120 shrubs.

Detention Ponds: *Detention/retention ponds shall be landscaped to provide a natural setting in open space areas which are removed from residential lots. Where possible, ponds or basins shall be "free form" following the natural shape of the land to the greatest practical extent. One (1) deciduous shade or evergreen tree and ten (10) shrubs shall be planted for every 50 lineal feet of pond perimeter as measured along the top of the bank elevation.* The applicant proposes 3 basins, 2 north and a large south basin. The applicant proposes 2 deciduous trees, 10 evergreen trees and 60 shrubs for the 2 north basins. The applicant proposes 122 shrubs, 21 evergreen trees, and 4 deciduous trees.

Parking Lot Landscaping: *One (1) large deciduous tree shall be required for each 3,000 square feet of paved driveway and parking lot surface, provided that no less than two trees are provided. Trees shall be distributed evenly throughout the parking area. In large parking areas, islands should be approximately every ten spaces. Each tree shall be provided with an open land area of not less than 150 square feet to provide area for infiltration.* The applicant provides 7 deciduous trees in the parking lot. The amount of shrubs are not noted on the landscape plan and refers to the landscape contractor for the quantity of Happy Return Daylilies. The applicant should submit all landscaping information for final site plan review.

Woodland Protection: The application provides a No Tree Affidavit Application and has sworn that the property obtained does not contain any historic trees, specimen trees, endangered species of plant life, any significant tree over 36-inches in diameter, canopy trees at least 10,00 square feet formed by trees, linkage strips, or trees at least 8-inches in diameter that are located within 20-feet of the edge of a roadway.

Items to be Addressed: *The applicant should submit all landscaping information for final site plan review.*

LIGHTING

Lighting plan has not been provided with the submission. The applicant should submit a lighting plan pursuant of Section 2110 of the Ypsilanti Township Zoning Ordinance.

Items to be Addressed: *Provide lighting/photometric plan for final site plan review.*

FLOOR PLAN AND ELEVATIONS

Floor plans and elevation drawings have been provided on the site plan. Exterior will be constructed with metal panels. As set forth in Sec 2125, buildings in industrial districts can only be 75% metal. However the Planning Commission may waive this requirement when “a particular building design and the materials or combination of materials proposed to be used in exterior walls are found by the planning commission, after consultation and review by an appropriate design professional, to be in keeping with the intent and purpose of this section, but which may differ from the strict application of the schedule regulating material.”

Items to be Addressed: *Planning Commission to consider building material waiver.*

RECOMMENDATIONS

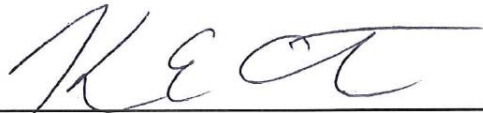
Planning Commission to consider waiving of exterior building material requirement.

We recommend preliminary site plan approval with the following conditions:

1. *Provide elevation of twelve (12) foot high concrete wall.*
2. *Obtain variance for the twelve (12) foot tall wall or reduce wall to six (6) feet in height.*
3. *Submit all landscaping information.*
4. *Provide lighting/photometric plan pursuant of Section 2110.*



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, AICP, LEED AP
Principal



CARLISLE/WORTMAN ASSOC., INC.
Kristoffer Canty
Planner

August 18, 2021

Mr. Jason Iacoangeli
Township Planning Director
Charter Township of Ypsilanti
7200 S. Huron River Drive
Ypsilanti, MI 48197

RE: Hercules Concrete Plant
2555 State Street
Site Plan Review #1

Dear Mr. Iacoangeli:

We have completed the first site plan review of the plans dated August 3, 2021 and received by OHM Advisors on August 3, 2021.

At this time, the plans are recommended for approval contingent on the comments below being addressed (Section B).

A brief description of the project has been provided below (Section A), followed by our comments (Section B and C) and a list of anticipated required permits and approvals (Section D). Comments in Section C are detailed in nature, do not influence the overall site layout, and can be addressed during the detailed engineering drawing submittal.

A. PROJECT AND SITE DESCRIPTION

The project is located at 2555 State Street at the southeast corner of the intersection at Wildwood Avenue and State Street. The parcel and all adjacent parcels are zoned I – C (Industrial and Commercial). The applicant is proposing an 8,300 square foot concrete batch plant with a truck wash area to the east in between the building and truck parking. There are thirty-four (34) proposed truck parking spaces to the southeast, fifty-one (51) proposed car parking spaces to the northwest, and three (3) proposed barrier free parking spaces. The applicant is proposing one (1) forebay and two (2) connected (via culvert) detention basins to the west of the concrete plant building. There are various proposed collection points throughout the proposed concrete parking areas that empty into the proposed basins. There are sanitary, water, and gas services proposed into the proposed building. The applicant is proposing to connect to an existing 8-inch water main on the east and an existing 24-inch watermain on the west side of the site, thereby looping the system. There is one (1) proposed and three (3) existing fire hydrants.

B. SITE PLAN COMMENTS

Site Utilities

1. It currently appears that the proposed sanitary sewer locations on the utility plan sheet and the landscaping sheet differ. The applicant shall ensure there is no direct conflict between proposed trees and the proposed underground infrastructure and revise accordingly.



General

2. The applicant shall ensure that the provided benchmarks are current NAVD-88 elevations as it appears to be missing that distinction. Additionally, the applicant shall verify the bearings of the site. The legal description and plan view do not match.

C. PRELIMINARY DETAILED ENGINEERING PLAN COMMENTS

The following comments shall be addressed by the applicant during the detailed engineering drawing submittal, and do not affect the recommendation for approval to the Township of Ypsilanti Planning Commission. It should be noted that this is not an all-inclusive list and additional comments may be generated as new information is presented.

1. The applicant shall provide profiles for all utilities (water, sanitary, and storm sewer) on the plans. These profiles shall include diameters, materials, lengths, slopes, and services. In addition, the hydraulic grade lines shall be clearly indicated on all storm sewer profiles.
2. The applicant shall provide a utility crossing table to ensure proper clearance between existing and proposed utilities.
3. The applicant shall provide the designed forebay volume to the total required detention volume (ie. 5%). Additionally, the applicant shall provide a detail for the proposed Outlet Control Structure and include First Flush, Bankfull, and 100 Year Elevation orifices.
4. The applicant shall provide the dimensions of the barrier free space and spot elevations at all four corners of proposed barrier-free parking space, access aisle, ramps, and level landings, as well as at 50-foot intervals along all sidewalks to ensure ADA compliance. The applicant shall note that the cross slope shall not exceed 2%.
5. There appears to be a concrete pad proposed on Sheet CS-100 proposing a connection to a ramp and a conveyor system. The applicant shall verify if the entire paved areas have the same cross section. If not, a cross-sectional detail of the proposed concrete pad shall be provided.
6. The applicant shall provide a cross-sectional detail for the proposed truck washing station or note the appropriate proposed detail.
7. The applicant shall update the 4-inch sidewalk cross-sectional detail to include four (4) inches of Class II sand in addition to the concrete in the detail.
8. The applicant shall provide specification for the proposed PCC (ie. 3500 PSI) and a detail of base course used in the concrete cross section, found on sheet CS-500.
9. The applicant shall provide a detail for the proposed bollards proposed to the north of the concrete plant building.
10. The applicant shall provide an engineer's estimate of probable cost for the project with the final detailed engineering submittal.
11. Applicable Ypsilanti Township Standard Detail Sheets, including SESC, shall be included in the plan set. The applicant shall verify any details provided on the plan set do not conflict with the Ypsilanti Township Standard Detail Sheets. If so, the Ypsilanti Township Standard Detail Sheets shall govern.



D. REQUIRED PERMITS & APPROVALS

The following outside agency reviews and permits will be required for the project. Copies of any correspondence between the applicant and the review agencies, as well as the permit or waiver, shall be sent to both the Township and OHM Advisors (email: elliott.smith@ohm-advisors.com).

- ▼ **Ypsilanti Community Utilities Authority (YCUA):** Will require review and approval for the proposed water and sanitary utilities.
- ▼ **Ypsilanti Township Fire Department:** Review and approval is required.
- ▼ **Washtenaw County Water Resources Commissioner's Office (WCWRC):** Review and approval is required.
- ▼ **Washtenaw County Road Commission (WCRC):** Review and approval is required.
- ▼ **Michigan Department of Environment, Great Lakes & Energy (EGLE):** An EGLE Act 399 and Part 41 permit will be required for construction of all public water main and sanitary sewer systems improvements.
- ▼ **Ypsilanti Township Office of Community Standards:** A Soil Erosion and Sedimentation Control permit shall be secured from the Ypsilanti Township Office of Community Standards.
- ▼ The Township's Planner will inspect the landscaping for this site.
- ▼ If dewatering should be needed, the contractor/applicant shall be responsible for obtaining necessary approvals from the Township and the Township Engineer, permission from all impacted adjacent properties and/or permits from MDOT, WCWRC's Office, or the WCRC.
- ▼ Record plans shall be provided to the Township Engineer following the completion of construction.

Should you have any questions regarding this matter, please contact this office at (734) 466-4580.

Sincerely,
OHM Advisors

Matthew D. Parks, P.E.

Elliot R. Smith, P.E.

MDP/ERS/scb

cc: Belinda Kingsley, Township Planning & Development Coordinator
Doug Winters, Township Attorney
Dan Kimball, Township Fire Marshall
File

P:\0000_0100\SITE_YpsilantiTwp\2021\0098211100_2555 State St_Hercules Concrete Plant\MUNI\01_SITE\Review #1\1_SP-Hercules Conc Plant.docx



YPSILANTI COMMUNITY UTILITIES AUTHORITY

2777 STATE ROAD
YPSILANTI, MICHIGAN 48198-9112
TELEPHONE: 734-484-4600
WEBSITE: www.ycua.org

August 17, 2021

VIA ELECTRONIC MAIL

Mr. Jason Iacoangeli, Planning Director
Office of Community Standards
CHARTER TOWNSHIP OF YPSILANTI
7200 S. Huron River Drive
Ypsilanti, MI 48197

Re: Preliminary (non-residential) Site Plan Review #1
Hercules Concrete Plant
Charter Township of Ypsilanti (Plan Date: 08-03-2021)

Dear Mr. Iacoangeli:

In response to the electronic mail message from your office dated August 3, 2021, we have reviewed the referenced plans with regards to water supply and wastewater system design. The plans are acceptable to the Authority.

1. The proposed water main alignment is unacceptable. A marked-up copy of the proposed utility plan sheet showing an acceptable alignment is enclosed. In particular, an existing gate valve just north of the end of the existing 8" diameter water main on Watson Avenue eliminates the need for a tapping sleeve and valve and the connection to the existing 24" diameter water main parallel to the east property line needs to be made south of the existing gate valve.
2. The utility plan shows both a 2" diameter water service and a 4" diameter water service to the proposed building. It is unclear why two separate water services are necessary.
3. The upstream terminus of the existing sanitary sewer on Watson Avenue is located just northwest of the existing 8" diameter gate valve noted in item 1 above. This manhole may provide a more cost effective connection location for the wastewater discharge from the proposed facility.

Enclosed is an Estimate of Costs – Application for Services, dated August 16, 2021, indicating connection fees for the proposed building addition. Please note that the total cash price for connection fees, **\$10,589.76 plus the construction phase escrow deposit, Authority administration fee, and record plan guarantee**, must be paid to the Authority by the Applicant, with a receipt delivered to the Township, before either the building or soil and grading permit is issued. The construction phase escrow deposit and associated fees and deposits and the entity responsible for maintaining those accounts will be determined during the Detailed Engineering phase of the project in conjunction with your office and the Township Engineer. Should there be

Mr. Jason Iacoangeli
CHARTER TOWNSHIP OF YPSILANTI
August 17, 2021
Page 2

any questions please contact this office.

Sincerely,



SDW Digital Signature

SCOTT D. WESTOVER, P.E., Engineering Manager
Ypsilanti Community Utilities Authority

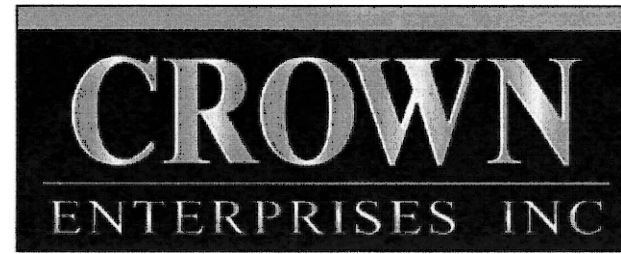
Enclosures as noted

cc: Mr. Jeff Castro, Mr. Mike Shaffer, File, YCUA
Ms. Belinda Kingsley, Charter Township of Ypsilanti
Mr. Eric Copeland, Mr. Dan Kimball, Township Fire Department
Mr. Matt Parks, P.E., Mr. Elliot Smith, Township Engineer
Mr. Daniel Onifer, Applicant
Mr. Fadi Khalil, P.E., Applicant's design engineer

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PROPOSED HERCULES CONCRETE PLANT

CLIENT



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ISSUES		
No.	DESCRIPTION	DATE
1	PRELIMINARY SITE PLAN	08-03-2021
2	REV. PRELIMINARY SITE PLAN	08-30-2021

LEGAL DESCRIPTION:

Tax Id Number(s): K-11-13-200-001, K-11-13-256-002
Land situated in the Township of Ypsilanti in the County of Washtenaw in the State of MI

Parcel 1: Part of the Northwest 1/4 of Section 13, Town 3 South, Range 7 East, described as follows: To find the point of beginning, commence at the Northwest corner of said Section 13; thence North 85°57'20" East, 1254.43 feet along the North line of said Section 13 to the true point of beginning; thence continuing North 85°57'20" East, 100.12 feet; thence South 01°12'00" East, 2695.47 feet to the East-West 1/4 line of said Section 13; thence South 86°57'00" West, 100.05 feet along said East-West 1/4 line; thence North 01°12'00" West, 2693.74 feet to the point of beginning.

Parcel 2: Lots 187 through 193, inclusive and Lots 212 through 244, inclusive and Lots 280 through 312, inclusive and Lots 317 through 353, inclusive, Watsonia Park Subdivision, according to the plat thereof as recorded in Liber 6 of Plats, Page 33, Washtenaw County Records. Also, the portions of vacated Edgewood Avenue, vacated Cadillac Avenue and the vacated public alley adjacent to said lots, more particularly: Part of the Northwest 1/4 of Section 13, Town 3 South, Range 7 East, described as follows: commence at the Northwest corner of said Section 13; thence North 85°57'20" East, 1254.43 feet along the North line of said Section 13, thence South 01°12'00" East, 963.60 feet to the point of beginning; thence South 01°12'00" East, 1400.28 feet; thence South 87°00'40" West, 356.87 feet; thence South 01°35'20" East, 287.01 feet; thence South 87°00'40" West, 145.00 feet; thence North 01°35'20" West, 1687.02 feet; thence North 87°00'40" East, 511.38 feet to the point of beginning.

The land shown in this survey is the same as that described in Fidelity National Title Insurance Company, Commitment #, 65097643 dated November 1, 2018.

PROJECT DESCRIPTION:

- THE PROJECT CONSISTS OF THE FOLLOWING:
- 1- CONCRETE BATCH PLANT
 - 2- TRUCK WASH AREA
 - 3- 34 TRUCK PARKING
 - 4- 55 CAR PARKING

PARKING ANALYSIS:

NUMBER OF PROPOSED EMPLOYEES	45
PARKING PROVIDED	55 (52 + 3 ADA)
(CONCRETE MIXERS) PARKING PROVIDED	34

SITE LOCATION
2555 STATE ST.,
YPSILANTI, MI.

LOCATION MAP



Sheet List Table	
Sheet Number	Sheet Title
CS1-100	COVER SHEET
CS-100	SITE PLAN
CS-100	CIRCULATION PLAN
CG-100	GRADING PLAN
CG-101	DRAINAGE AREA PLAN
CU-100	UTILITY PLAN
CU-101	STORM SEWER PLAN
CU-102	STORM SEWER CALCULATIONS AND DETAILS
CS-300	SOIL EROSION AND SEDIMENTATION PLAN
CS-500	SITE DETAILS
SH-1	TOPOGRAPHICAL SURVEY
SH-2	TOPOGRAPHICAL SURVEY

REFERENCE SHEETS:

- 1- LP-1 LANDSCAPING PLANTING PLAN
- 2- LP-2 LANDSCAPE NOTES & DETAILS
- 3- A-101 FIRST FLOOR PLAN
- 4- A-102 SECOND FLOOR PLAN
- 5- A-201 EXTERIOR ELEVATIONS
- 6- PHOTOMETRIC PLAN

NOT FOR CONSTRUCTION

CONSULTANTS

SITE DATA:

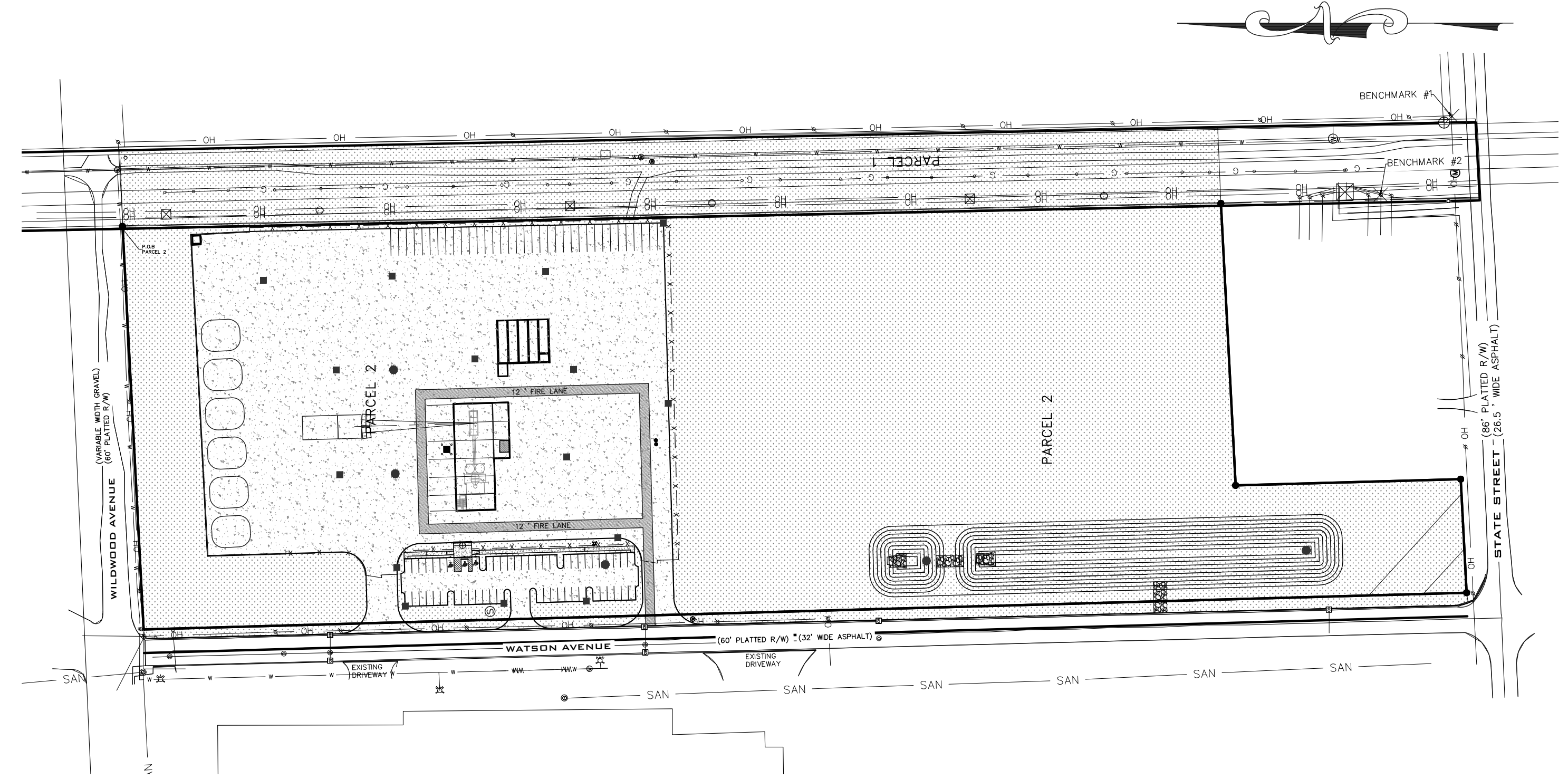
NET ACREAGE:	23.68 ACRES
TOTAL ACREAGE INCLUDING R.O.W.	24.84 ACRES

SITE ZONING:

EXISTING ZONING DISTRICT	"I-C" (INDUSTRIAL AND COMMERCIAL)
--------------------------	--------------------------------------

SETBACK:

MAXIMUM HEIGHT OF STRUCTURES	REQUIRED 50'	PROPOSED REFER TO ARCHITECTURAL PLANS
MINIMUM FRONT YARD	40'	140'
MINIMUM REAR YARD	50'	235'
MINIMUM SIDE YARD LEAST	40'	
MINIMUM SIDE YARD TOTAL OF TWO	80'	REFER TO PLANS



BENCHMARK

BENCHMARK #1 (SITE BENCHMARK)
SPIKE SET IN POWER POLE
ELEVATION = 716.19
NAVD-88

BENCHMARK #2 (SITE BENCHMARK)
SPIKE SET IN POWER POLE
ELEVATION = 717.15
NAVD-88

LEGEND

- ⊙ = PROP. CV & W; OR T S V & W
- ⊗ = EX. CV & W; OR T S V & W
- ⊕ = PROP. FIRE HYDRANT
- ⊗ = EX. FIRE HYDRANT
- ⊙ = PROP. SANITARY MH
- ⊗ = EX. SANITARY MH
- = CLEANOUT
- ⊙ = PROP. MANHOLE
- ⊗ = EX. MANHOLE
- ⊙ = PROP. REAR YARD CB
- = PROP. CATCH BASIN
- ⊕ = EX. CATCH BASIN
- ⊏ = END SECTION
- ▨ = PROPOSED RIP-RAP
- ▨ = PROPOSED CONCRETE
- ▨ = PROPOSED ASPHALT
- ▨ = PROPOSED GRASS
- SAN — SAN — SAN = SANITARY PIPE
- ST — ST — ST = STORM PIPE
- W — W — W = WATER PIPE
- FG-xxx.xx = PROPOSED FINISH GRADE
- TC-xxx.xx = PROPOSED TOP & GUTTER
- EP-xxx.xx = PROPOSED HIGH POINT LINE



Angle Design & Engineering
22417 Cranbrooke Drive, Novi, Michigan, 48375
Phone: (313) 258-2036 Email: Fadi@AngledesignLLC.com

PROJECT
HERCULES CONCRETE PLANT
2555 STATE ST.
YPSILANTI, MI 48198

PROJECT NO: 2021-100	SCALE: NTS
DRAWN BY: M. K.	CHECKED BY: F. K.
PROJECT MGR: F. K.	APPROVED BY: F. K.

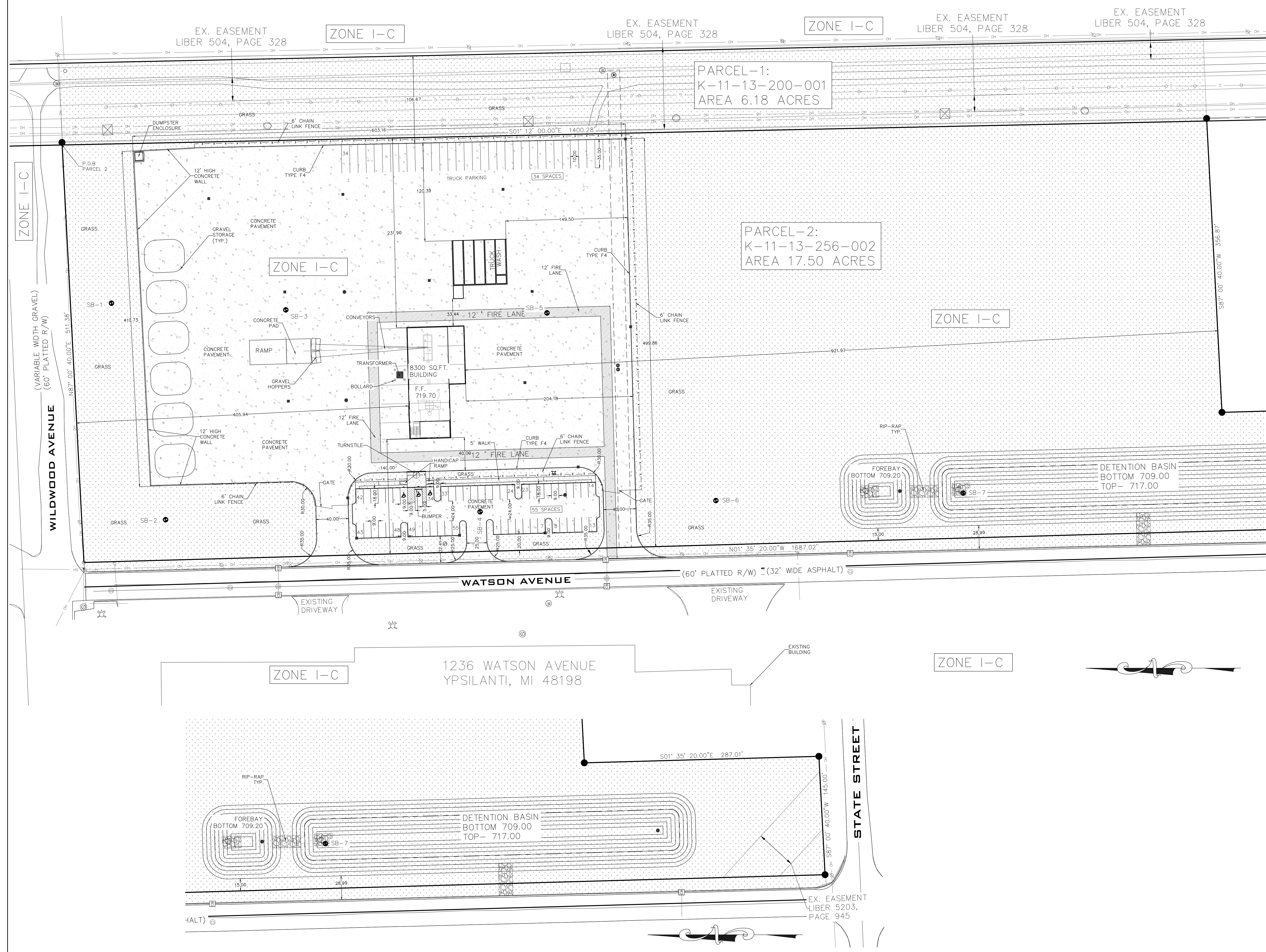
SHEET TITLE
COVER SHEET

SHEET NUMBER CS1-100	ISSUE
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DEVELOPER
CLIENT :
CROWN ENTERPRISES, INC.
12225 STEPHENS ROAD
WARREN, MI 48089

ENGINEER
FADI KHALIL, PE. (313-258-2036)
ANGLE DESIGN & ENGINEERING LLC.
22417 CRANBROOKE DRIVE,
NOVI, MI 48375



EX. EASEMENT
LIBER 504, PAGE 328

ZONE I-C

EX. EASEMENT
LIBER 504, PAGE 328

ZONE I-C

EX. EASEMENT
LIBER 504, PAGE 328

EX. EASEMENT
LIBER 504, PAGE 328

PARCEL-1:
K-11-13-200-001
AREA 8.18 ACRES

PARCEL-2:
K-11-13-256-002
AREA 17.50 ACRES

ZONE I-C

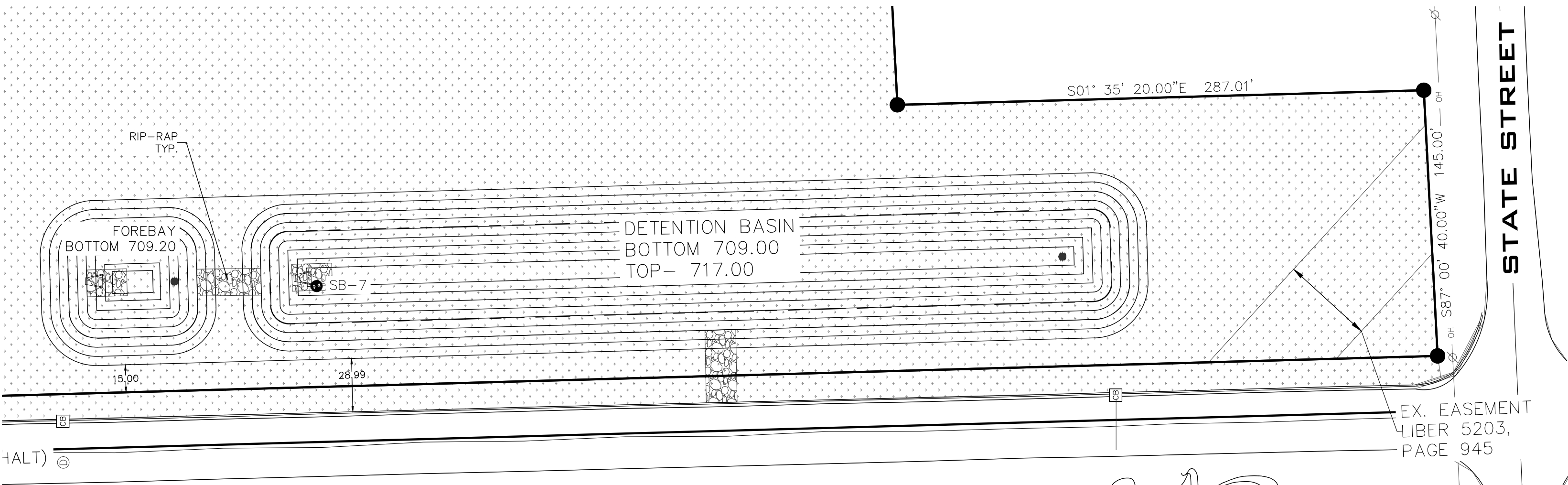
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ZONE I-C

ZONE I-C

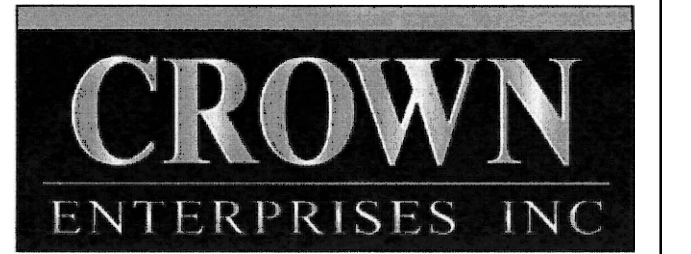
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1236 WATSON AVENUE
YPSILANTI, MI 48198



EX. EASEMENT
LIBER 5203,
PAGE 945

CLIENT



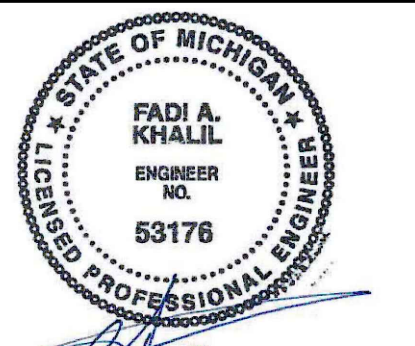
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ISSUES		
No.	DESCRIPTION	DATE
1	PRELIMINARY SITE PLAN	08-03-2021
2	REV. PRELIMINARY SITE PLAN	08-30-2021

**NOT FOR
CONSTRUCTION**

CONSULTANTS

SEAL



08-03-2021

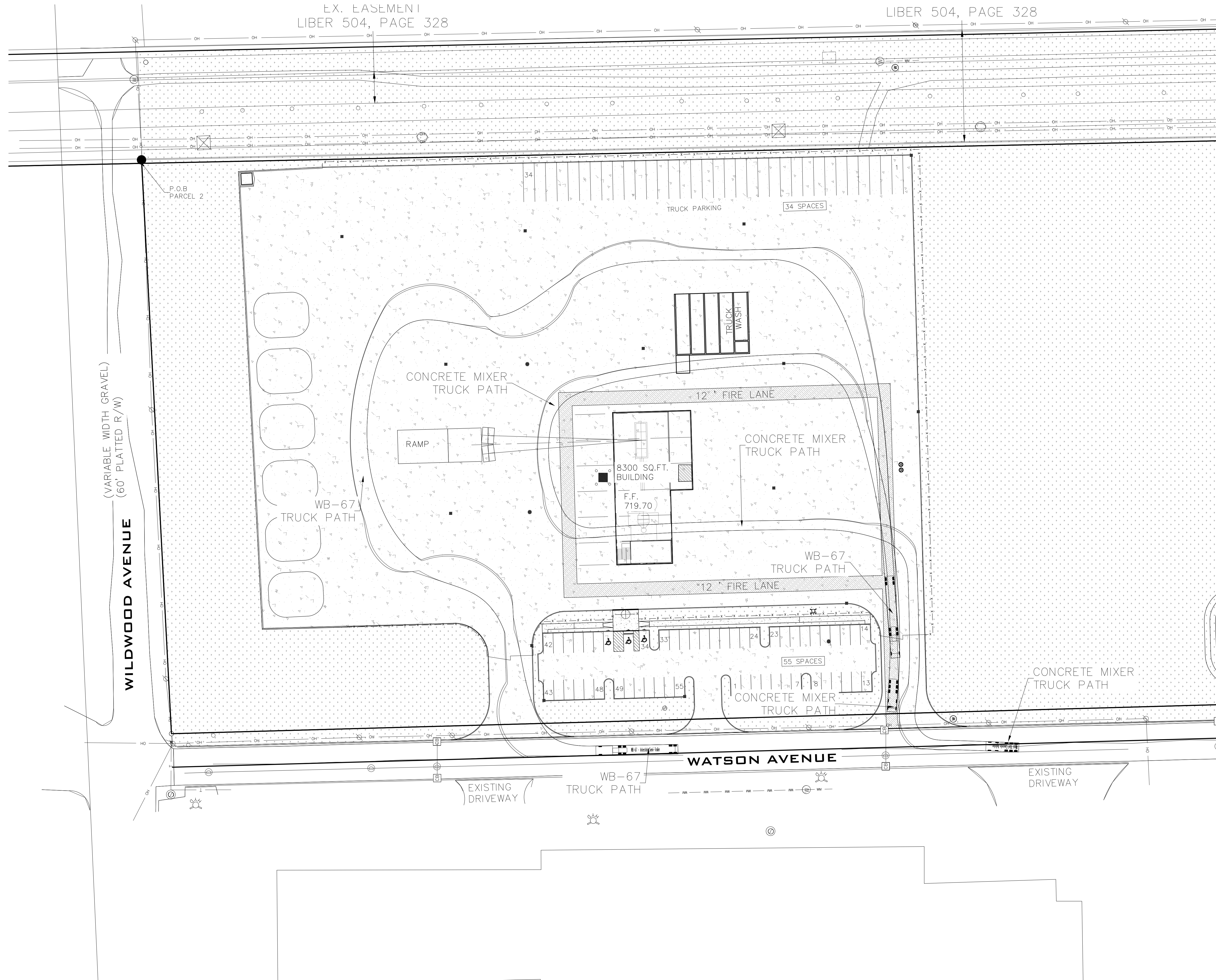
Angle Design & Engineering
22417 Cranbrooke Drive, Novi, Michigan, 48375
Phone: (313) 258-2036 Email: Fadi@AngledesignLLC.com

PROJECT
HERCULES CONCRETE PLANT
2555 STATE ST.
YPSILANTI, MI 48198

PROJECT NO: 2021-100	SCALE: 1"=50'
DRAWN BY: M. K.	CHECKED BY: F. K.
PROJECT MGR: F. K.	APPROVED BY: F. K.

SHEET TITLE
SITE PLAN

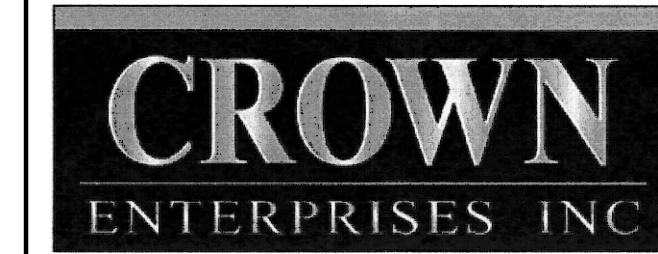
SHEET NUMBER CS-100	ISSUE
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EX. EASEMENT
LIBER 504, PAGE 328

LIBER 504, PAGE 328

CLIENT



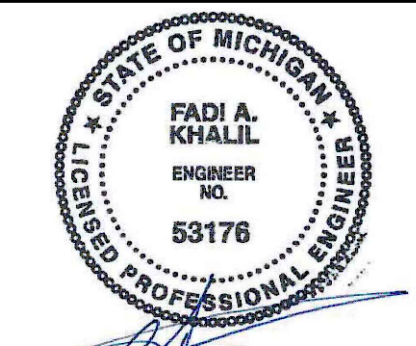
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NOT FOR CONSTRUCTION

CONSULTANTS

SEAL



08-03-2021

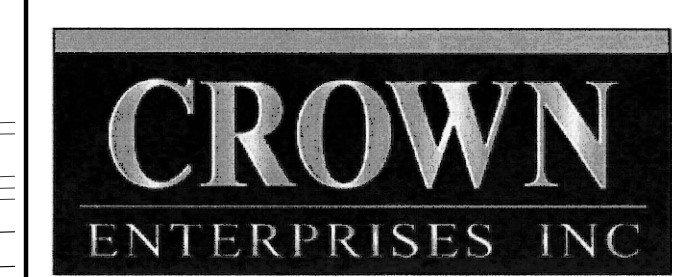
Angle Design & Engineering
22417 Cranbrooke Drive, Novi, Michigan, 48375
Phone: (313) 258-2036 Email: Fadi@AngledesignLLC.com

PROJECT
HERCULES CONCRETE PLANT
2555 STATE ST.
YPSILANTI, MI 48198

PROJECT NO: 2021-100	SCALE: 1"=40'
DRAWN BY: M. K.	CHECKED BY: F. K.
PROJECT MGR: F. K.	APPROVED BY: F. K.

SHEET TITLE
CIRCULATION PLAN

SHEET NUMBER CS-101	ISSUE
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	2	REV. PRELIMINARY SITE PLAN	08-30-2021

NOT FOR CONSTRUCTION

CONSULTANTS

SEAL



08-03-2021

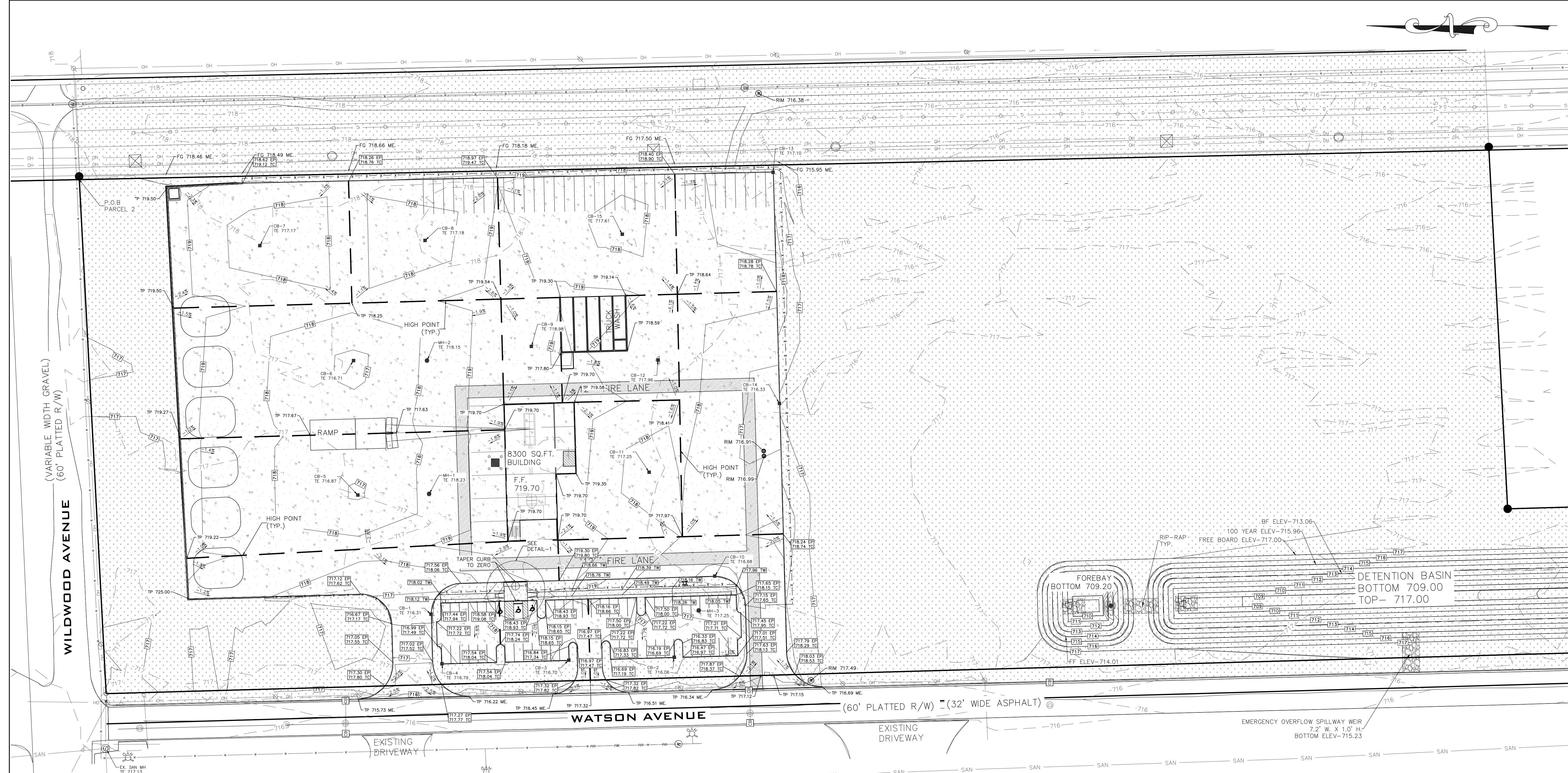
Angle Design & Engineering
22417 Cranbrook Drive, Novi, Michigan, 48375
Phone: (313) 258-2036 Email: Fadi@AngledesignLLC.com

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HERCULES CONCRETE PLANT
2555 STATE ST.
YPSILANTI, MI 48198

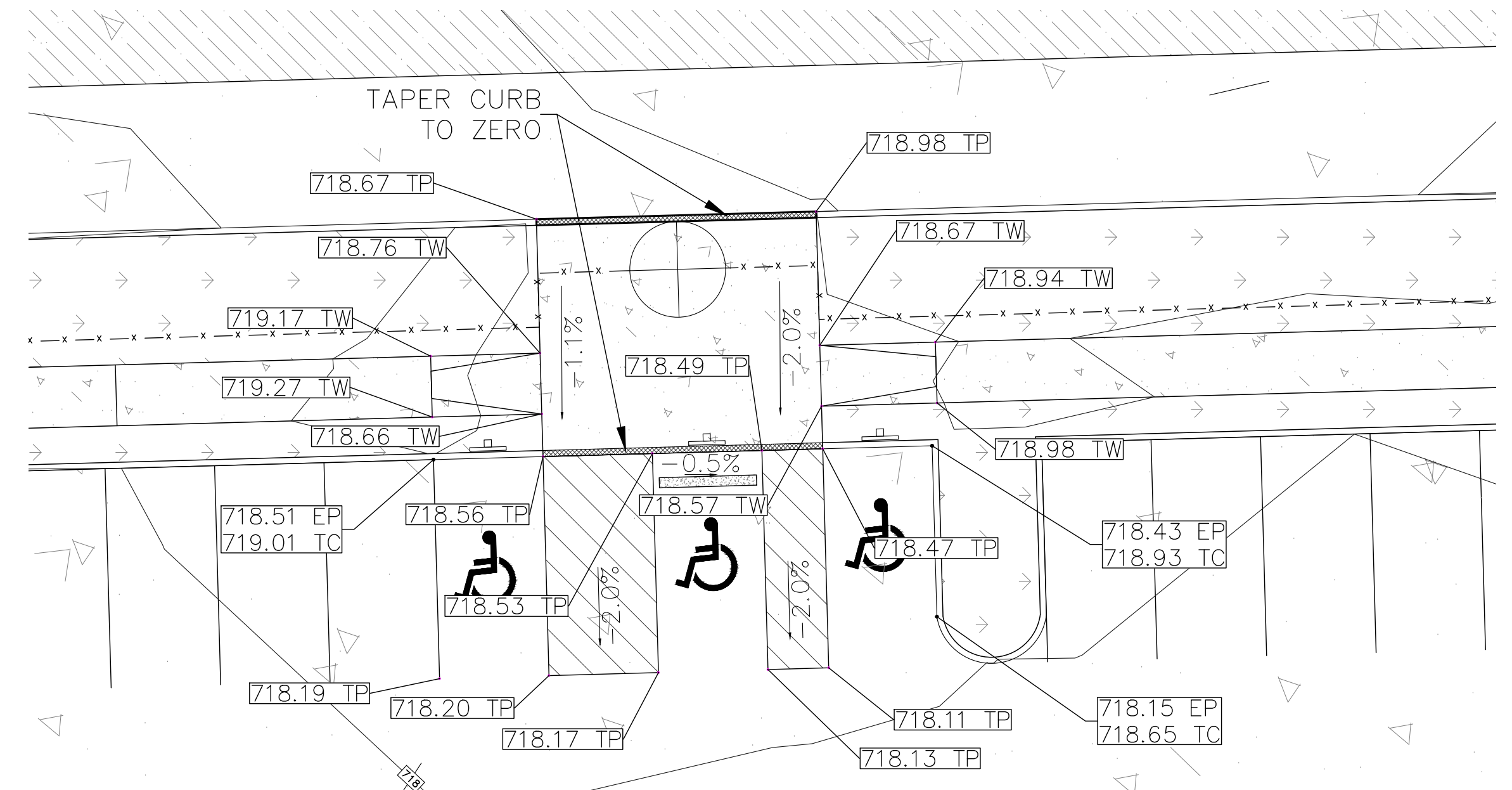
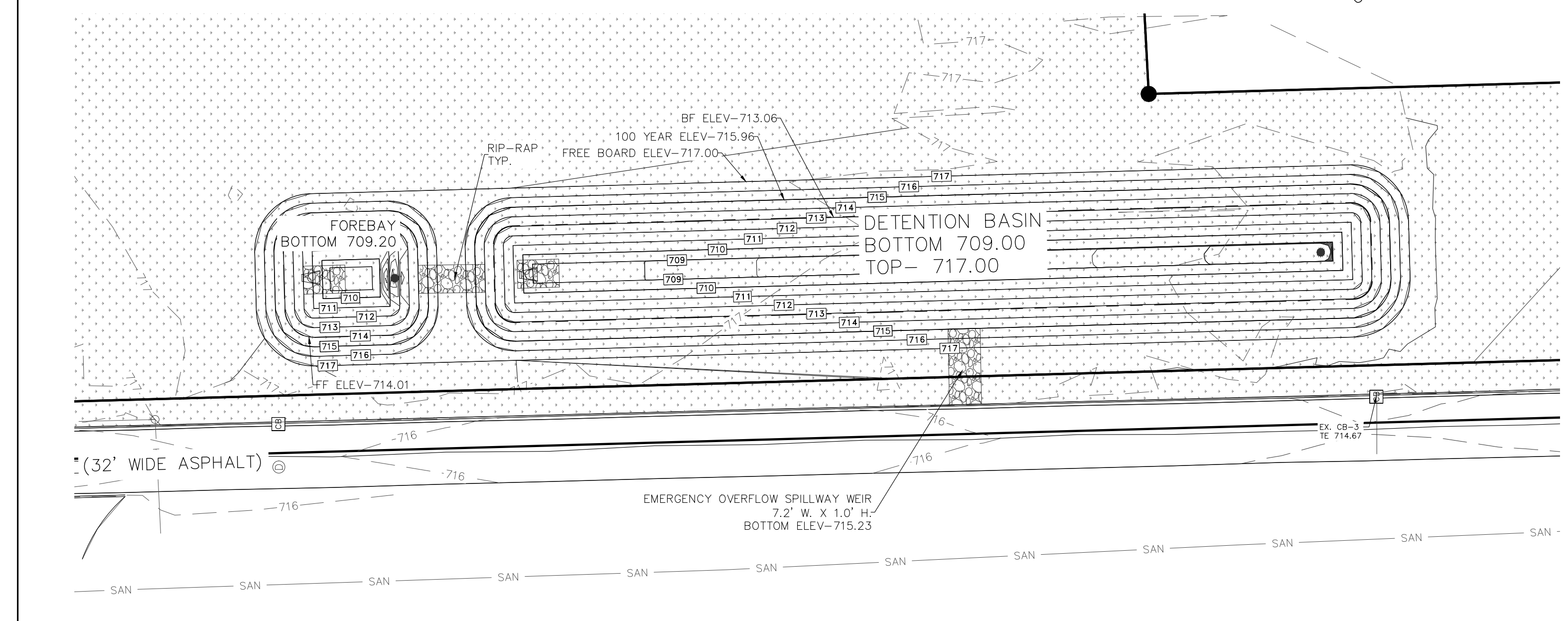
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DRAWN BY: M. K.	CHECKED BY: F. K.
PROJECT MGR: F. K.	APPROVED BY: F. K.

SHEET TITLE
GRADING PLAN

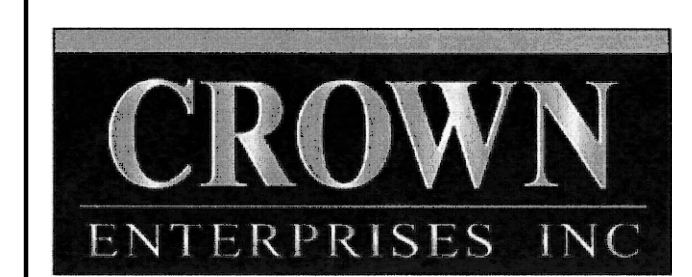
SHEET NUMBER CG-100	ISSUE
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DETAIL-1
SCALE: 1"=10'



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ISSUES		
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CONSULTANTS

SEAL



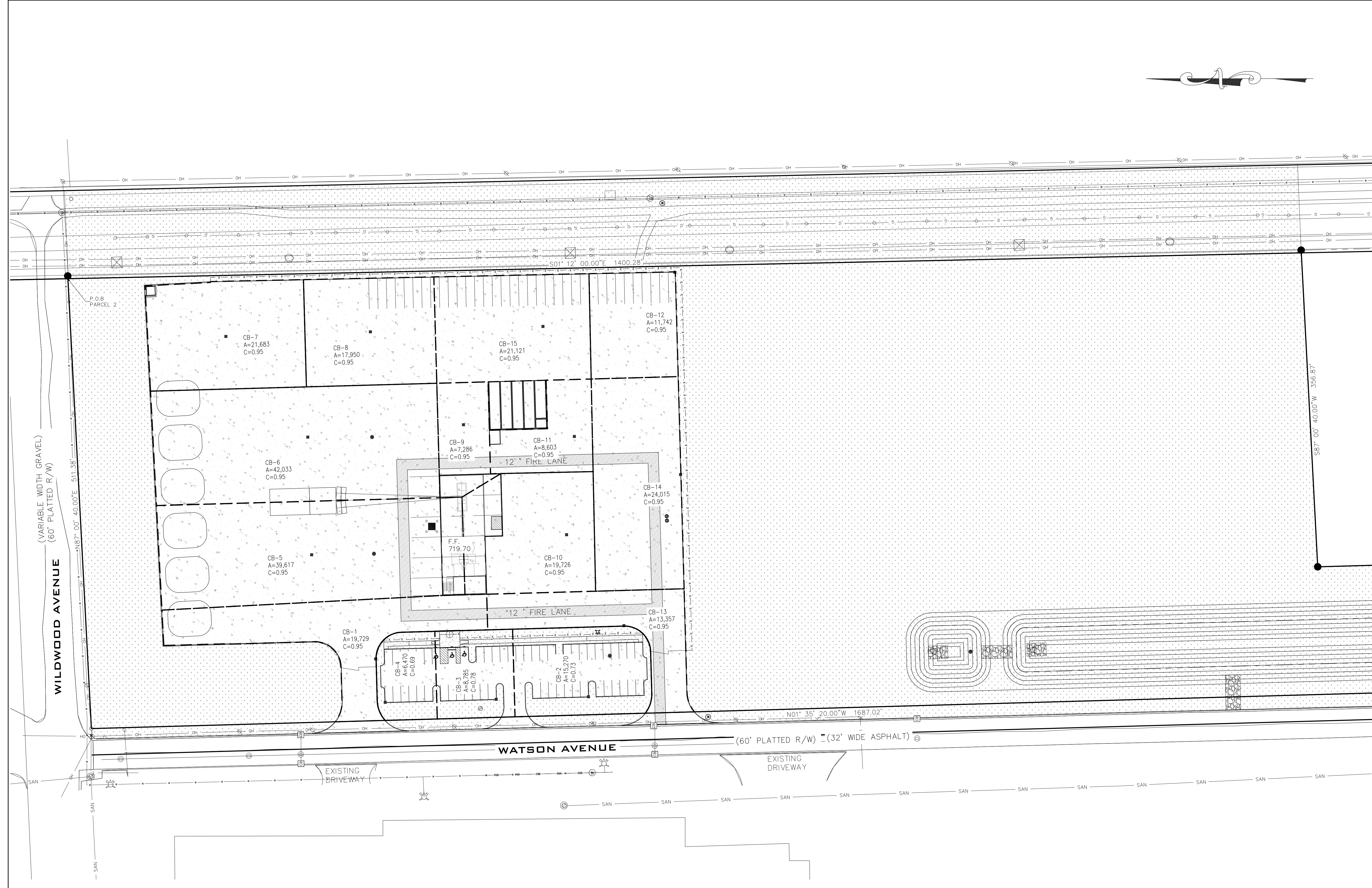
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PROJECT
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2555 STATE ST.
YPSILANTI, MI 48198

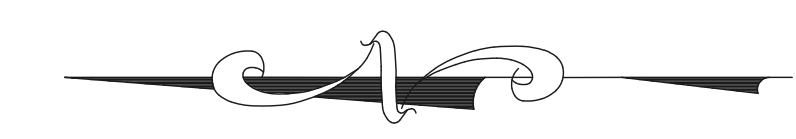
PROJECT NO: 2021-100	SCALE: 1"=50'
DRAWN BY: M. K.	CHECKED BY: F. K.
PROJECT MGR: F. K.	APPROVED BY: F. K.

SHEET TITLE
DRAINAGE AREA PLAN

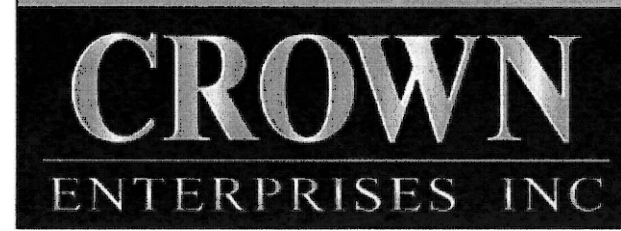
SHEET NUMBER CG-101	ISSUE
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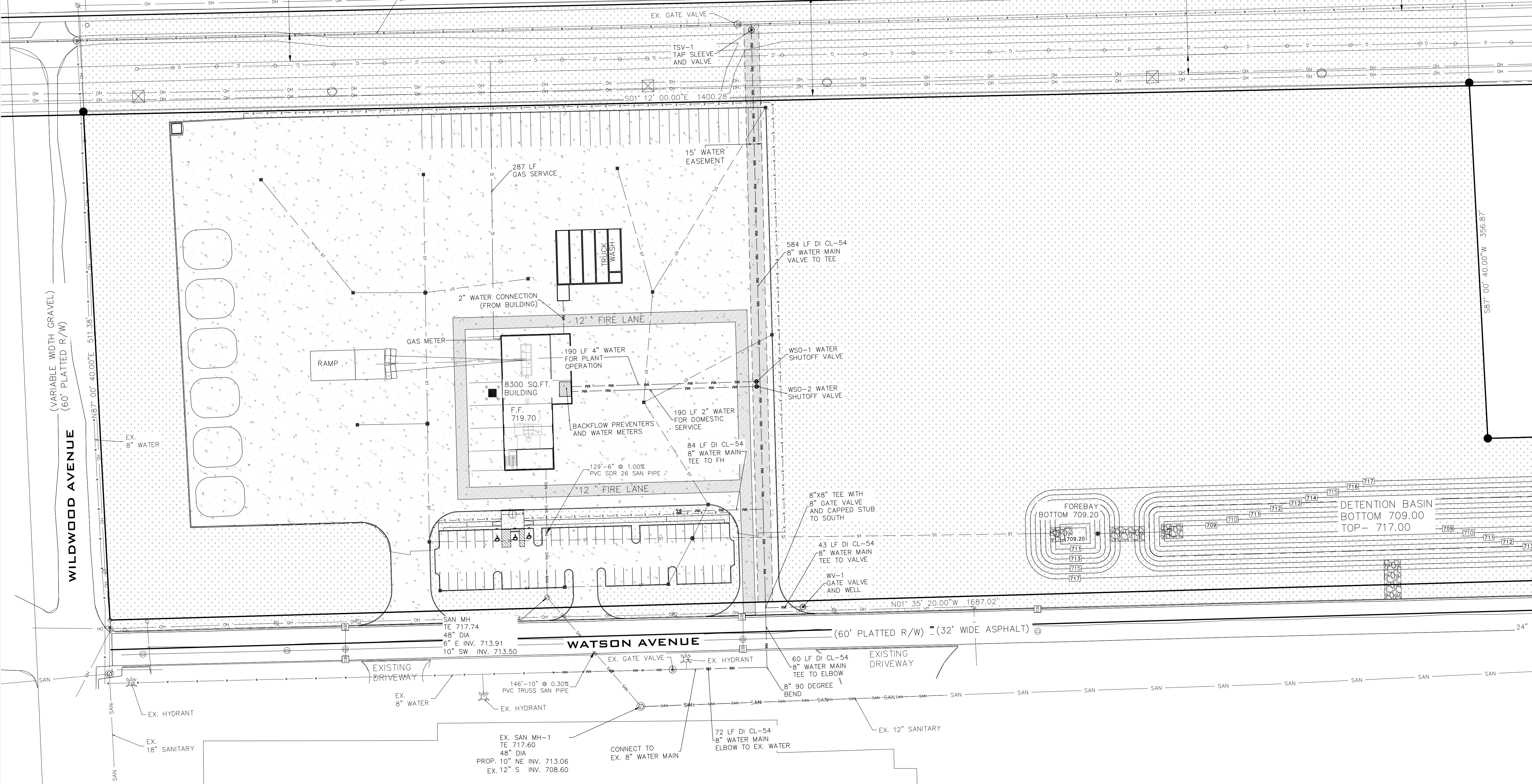


EX. EASEMENT
LIBER 504, PAGE 328

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LIBER 504, PAGE 328



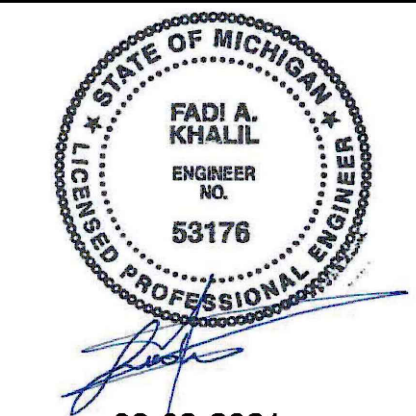
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	1	PRELIMINARY SITE PLAN	08-03-2021
	2	REV. PRELIMINARY SITE PLAN	08-30-2021

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08-03-2021

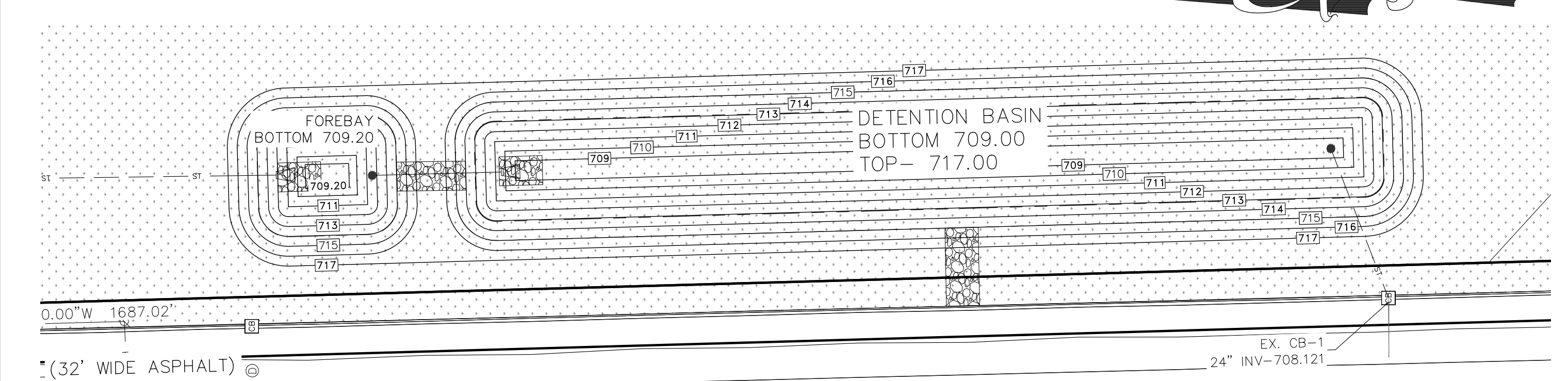
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PROJECT
HERCULES CONCRETE PLANT
2555 STATE ST.
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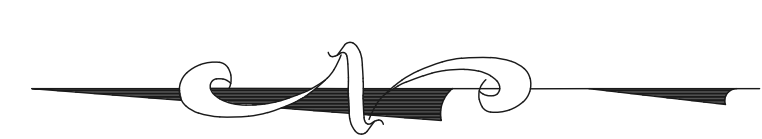
PROJECT NO: 2021-100	SCALE: 1"=50'
DRAWN BY: M. K.	CHECKED BY: F. K.
PROJECT MGR: F. K.	APPROVED BY: F. K.

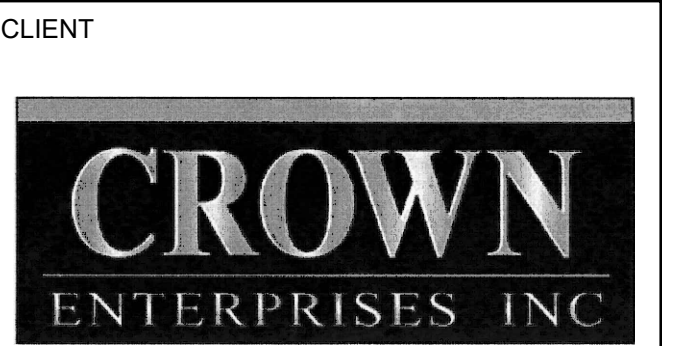
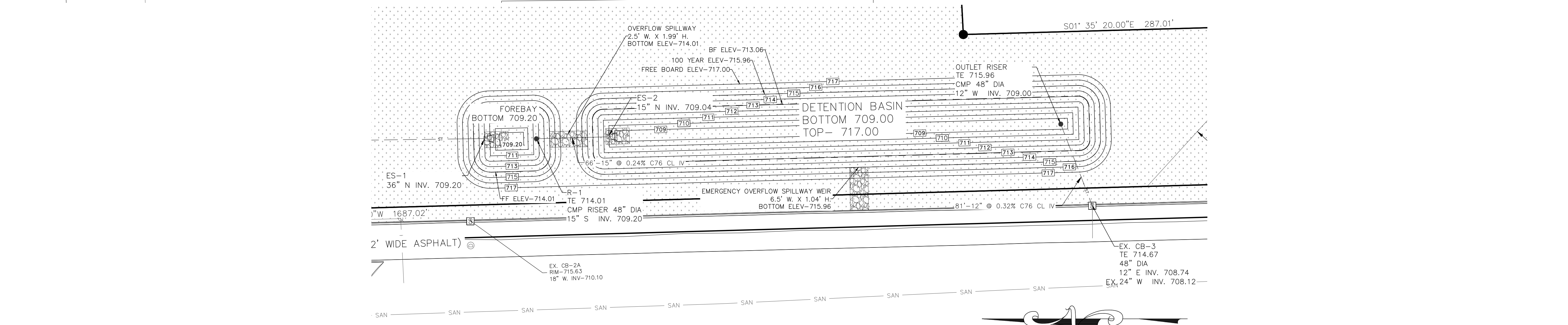
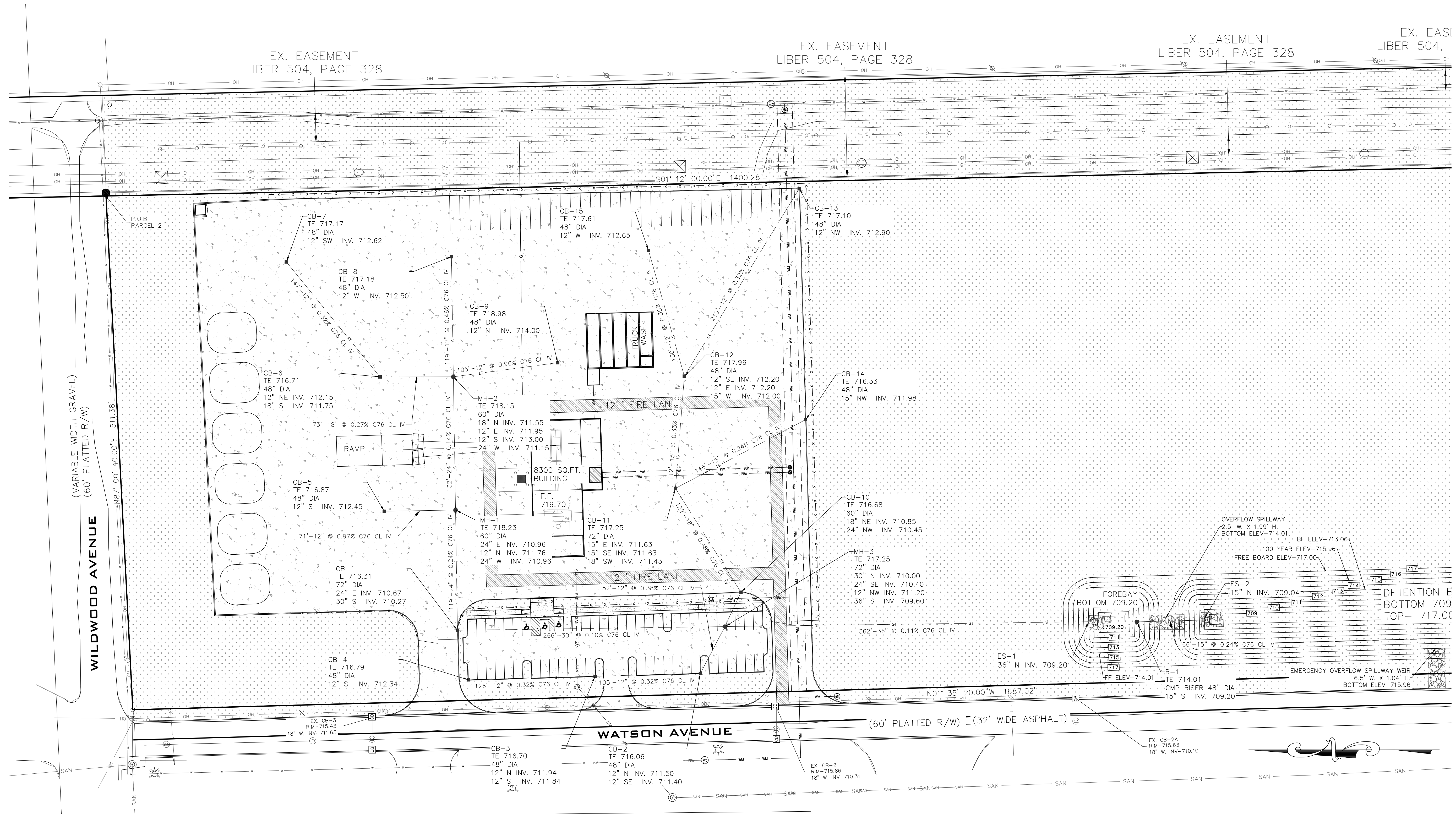
SHEET TITLE
UTILITY PLAN

SHEET NUMBER CU-100	ISSUE
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0.00"W 1687.02'
(32' WIDE ASPHALT)





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DRAWN BY: M. K.	CHECKED BY: F. K.
PROJECT MGR: F. K.	APPROVED BY: F. K.

SHEET TITLE
STORM SEWER PLAN

SHEET NUMBER CU-101	ISSUE
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W1 DETERMINING POST-DEVELOPMENT COVER TYPES, AREAS, CURVE NUMBERS, AND RUNOFF COEFFICIENTS

TOTAL SITE AREA= 23.52 ac
 TOTAL SITE AREA EXCLUDING "SELF-CREDITING" BMP's = 7.86 ac

COVER TYPE	SOIL TYPE	AREA (ft2)	AREA (ac)	RUNOFF COEFFICIENT C	C * AREA
CONC./ASPHALT		266,610	6.12	0.95	5.81
ROOF		-	-	0.95	-
GRAVEL		-	-	0.95	-
GRASS	D	-	-	0.45	-
GRASS	D	52,562	1.21	0.15	0.18
Basin/BF elevation		23,327	0.54	1	0.54
TOTAL C*A					6.53
TOTAL AREA (ac)					7.86
WEIGHTED C					0.83

PERVIOUS COVER TYPE	SOIL TYPE	AREA (ft2)	AREA (ac)	CURVE NUMBER CN	CN * AREA
GRASS	D	-	-	80	-
GRASS	D	52,562	1.21	80	96.53
TOTAL CN*A					96.53
TOTAL AREA (ac)					1.21
WEIGHTED CN					80

IMPERVIOUS COVER TYPE	SOIL TYPE	AREA (ft2)	AREA (ac)	CURVE NUMBER CN	CN * AREA
CONC./ASPHALT		266,610	6.12	98	599.81
ROOF		-	-	98	-
GRAVEL		-	-	91	-
Basin/BF elevation		23,327	0.54	98	52.48
TOTAL CN*A					652.29
TOTAL AREA (ac)					6.66
WEIGHTED CN					98

W10 STANDARD METHOD RUNOFF VOLUME CALCULATIONS

DETENTION/RETENTION REQUIREMENT

- DETENTION**
- A. $Q_p = 238.6 T_c^{-0.82}$ (PEAK OF THE UNIT HYDROGRAPH) = $Q_p = 416$ cfs/in-mi2
- B. TOTAL SITE AREA (AC) EXCLUDING "SELF-CREDITING" BMPs = $A = 7.86$ ac
- C. $Q_{100} = Q_{100-per} + Q_{100-imp} = 130,831$ in
 NOTE: Q100-per AND Q100-imp FROM W6 AND W7, RESPECTIVELY
- D. PEAK FLOW (PF) = $(Q_p / (cfs \cdot in \cdot mi^2)) \cdot Q_{100} \cdot AREA(ac) / 640 = PF = 669,432$ cfs
- E. $\Delta = PF(cfs) \cdot 0.15 \cdot AREA(ac) = \Delta = 669,430$ cfs
- F. $V_{det} = (\Delta(cfs) / PF(cfs)) \cdot V_{100}(ft^3) = V_{det} = 130,831$ ft3
- Vdet=CALCULATED DETENTION (ft3). NOT INCLUDING VOLUME REDUCTION CREDIT FOR INFILTRATION OR PENALTY
- RETENTION**
- A. $V_{ret} = 2(V_{100}) = V_{ret} = 261,662$ ft3

W11 STANDARD METHOD RUNOFF VOLUME CALCULATIONS

PROPOSED BMP	AREA(ft2)	STORAGE VOLUME(ft3)		AVE. DESIGN INFILTRATION RATE (IN/HR)	INFILTRATION VOLUME DURING STORM (ft3)	TOTAL VOLUME REDUCTION (ft3)
		SURFACE	SOIL			
PERVIOUS PAVEMENT W/INFILTRATION BED						
INFILTRATION BASIN						
SUBSURFACE INFILTRATION BED						
INFILTRATION TRENCH						
BIORETENTION SYSTEMS						
RAIN GARDENS						
DRY WELL						
BIOSWALE						
VEGETATED FILTER STRIP						
GREEN ROOF						

TOTAL VOLUME REDUCTION CREDIT BY PROPOSED STRUCTURAL BMPs (ft3) =
 RUNOFF VOLUME INFILTRATION REQUIREMENT (Vinf) FROM WORKSHEET 9 =
 RUNOFF VOLUME CREDIT (ft3) =

W12 STANDARD METHOD RUNOFF VOLUME CALCULATIONS

EXISTING NATURAL RESOURCES	MAPPED (yes, no, n/a)	TOTAL AREA (ac)	PROTECTED/UNDISTURBED AREA(ac)
WATERBODIES			
FLOODPLAINS			
RIPARIAN AREAS			
WETLANDS	N/A	0.00	0.00
WOODLAND			
NATURAL DRAINAGE AREA			
STEEP SLOPES, 15%-25%			
STEEP SLOPES, OVER 25%			
SPECIAL HABITAT AREAS			
OTHER			
TOTAL EXISTING (ac)		0.00	

W2 STANDARD METHOD RUNOFF VOLUME CALCULATIONS

FIRST FLUSH RUNOFF CALCULATIONS (Vff)

TOTAL SITE AREA EXCLUDING "SELF-CREDITING" BMP's (A) = 7.86 ac
 WEIGHTED C = 0.83

A. $V_{ff} = (1'')(1/12'')(43560ft^3/1ac)AC = 23,708$ ft3

W3 STANDARD METHOD RUNOFF VOLUME CALCULATIONS

THE PRE-DEVELOPMENT BANKFULL RUNOFF CALCULATIONS (Vbf-pre)

- A. 2 YEAR/24 HOUR STORM EVENT $P = 2.35$ in
- B. THE PRE-DEVELOPMENT CN = CN = 78
- C. $S = (1000/CN) - 10 = S = 2.82$ in
- D. $Q = (P - 0.25)^2 / (P + 0.85) = Q = 0.69$ in
- E. TOTAL SITE AREA (sf) EXCLUDING "SELF CREDITING" BMP's (A) = A = 342,499 sf
- F. $V_{bf-pre} = Q(1/12)A = V_{bf-pre} = 19,762$ ft3

W4 STANDARD METHOD RUNOFF VOLUME CALCULATIONS

PERVIOUS COVER POST-DEVELOPMENT BANKFULL RUNOFF CALCULATIONS (Vbf-per-post)

- A. 2 YEAR/24 HOUR STORM EVENT $P = 2.35$ in
- B. PERVIOUS COVER CN FROM W1 = CN = 80
- C. $S = (1000/CN) - 10 = S = 2.50$ in
- D. $Q = (P - 0.25)^2 / (P + 0.85) = Q = 0.79$ in
- E. PERVIOUS COVER AREA FROM W1 = A = 52,562 sf
- F. $V_{bf-per-post} = Q(1/12)A = V_{bf-per-post} = 3,446$ ft3

W5 STANDARD METHOD RUNOFF VOLUME CALCULATIONS

IMPERVIOUS COVER POST-DEVELOPMENT BANKFULL RUNOFF CALCULATIONS (Vbf-imp-post)

- A. 2 YEAR/24 HOUR STORM EVENT $P = 2.35$ in
- B. PERVIOUS COVER CN FROM W1 = CN = 98
- C. $S = (1000/CN) - 10 = S = 0.20$ in
- D. $Q = (P - 0.25)^2 / (P + 0.85) = Q = 2.12$ in
- E. PERVIOUS COVER AREA FROM W1 = A = 289,937 sf
- F. $V_{bf-imp-post} = Q(1/12)A = V_{bf-imp-post} = 51,263$ ft3

W6 STANDARD METHOD RUNOFF VOLUME CALCULATIONS

PERVIOUS COVER POST-DEVELOPMENT 100-YEAR STORM RUNOFF CALCULATIONS (V100-per-post)

- A. 100 YEAR STORM EVENT $P = 5.11$ in
- B. PERVIOUS COVER CN FROM W1 = CN = 80
- C. $S = (1000/CN) - 10 = S = 2.50$ in
- D. $Q = (P - 0.25)^2 / (P + 0.85) = Q = 2.99$ in
- E. PERVIOUS COVER AREA FROM W1 = A = 52,562 sf
- F. $V_{100-per-post} = Q(1/12)A = V_{100-per-post} = 13,093$ ft3

W7 STANDARD METHOD RUNOFF VOLUME CALCULATIONS

IMPERVIOUS COVER POST-DEVELOPMENT 100-YEAR STORM RUNOFF CALCULATIONS (V100-imp-post)

- A. 100 YEAR STORM EVENT $P = 5.11$ in
- B. PERVIOUS COVER CN FROM W1 = CN = 98
- C. $S = (1000/CN) - 10 = S = 0.20$ in
- D. $Q = (P - 0.25)^2 / (P + 0.85) = Q = 4.87$ in
- E. PERVIOUS COVER AREA FROM W1 = A = 289,937 sf
- F. $V_{100-imp-post} = Q(1/12)A = V_{100-imp-post} = 117,739$ ft3

W8 STANDARD METHOD RUNOFF VOLUME CALCULATIONS

DETERMINE TIME OF CONCENTRATION FOR APPLICABLE FLOW TYPES (Tc-hrs)

FLOW TYPE	K	CHANGE IN ELEVATION	LENGTH (L)	Slope % (S)	S^0.5	V=k*S^0.5	Tc=L/(V*3600)
SHEET FLOW	0.48	3	300	1.00	1.00	0.48	0.174
WATERWAY	1.2						
SMALL TRIBUTARY	2.1						
CONVEYANCE SYSTEM							0.333
TOTAL TIME OF CONCENTRATION (Tc-hrs) =							0.507

W9 STANDARD METHOD RUNOFF VOLUME CALCULATIONS

RUNOFF SUMMARY & ONSITE INFILTRATION REQUIREMENT

- A. RUNOFF SUMMARY FROM PREVIOUS WORKSHEETS**
- FIRST FLUSH VOLUME (Vff) = 23,708 ft3
 - PRE-DEVELOPMENT BANKFULL RUNOFF VOLUME (Vbf-pre) = 19,762 ft3
 - PERVIOUS COVER POST-DEVELOPMENT BANKFULL VOLUME (Vbf-per-post) = 3,446 ft3
 - IMPERVIOUS COVER POST-DEVELOPMENT BANKFULL VOLUME (Vbf-imp-post) = 51,263 ft3
 - TOTAL BF VOLUME (Vbf-post) = 54,709 ft3**
 - PERVIOUS COVER POST-DEVELOPMENT 100-YEAR VOLUME (V100-per-post) = 13,093 ft3
 - IMPERVIOUS COVER POST-DEVELOPMENT 100-YEAR VOLUME (V100-imp-post) = 117,739 ft3
 - TOTAL 100-YEAR VOLUME (V100) = 130,831 ft3**
- B. DETERMINE ONSITE INFILTRATION REQUIREMENT**
- SUBTRACT THE PRE-DEVELOPMENT BANKFULL FROM THE POST-DEVELOPMENT BANKFULL VOLUME
- TOTAL POST-DEVELOPMENT BANKFULL VOLUME (Vbf-post) = 54,709 ft3
 - PRE-DEVELOPMENT BANKFULL RUNOFF VOLUME (Vbf-pre) = 19,762 ft3
 - BANKFULL VOLUME DIFFERENCE = 34,947 ft3
- COMPARE THE BANKFULL VOLUME DIFFERENCE WITH THE FIRST FLUSH VOLUME. THE GREATER OF THE TWO IS THE ONSITE INFILTRATION REQUIREMENT.
- ONSITE INFILTRATION REQUIREMENT (Vinf) = 34947 ft3**

W13 STANDARD METHOD RUNOFF VOLUME CALCULATIONS

SUMMARY SITE SUMMARY OF INFILTRATION & DETENTION

- A. STORMWATER MANAGEMENT SUMMARY**
- MINIMUM ONSITE INFILTRATION REQUIREMENT, Vinf = 34,947 ft3
 - DESIGNED/PROVIDED INFILTRATION VOLUME = - ft3
 - % MINIMUM REQUIRED INFILTRATION PROVIDED = 0% %
 - TOTAL CALCULATED DETENTION VOLUME, Vdet = 130,831 ft3
 - NET REQUIRED DETENTION VOLUME (Vdet-DESIGNED/PROVIDED INFILTRATION VOLUME) = 130,831 ft3

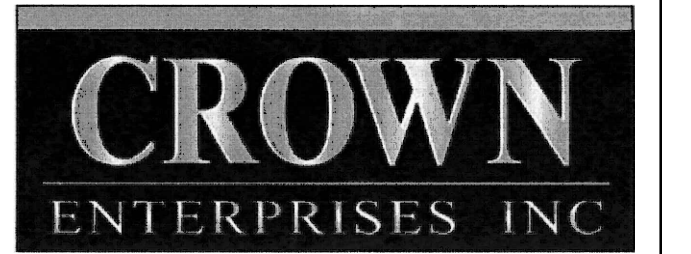
B. DETENTION VOLUME INCREASE FOR SITES WHERE THE REQUIRED INFILTRATION VOLUME CANNOT BE ACHIEVED

- %REQUIRED INFILTRATION NOT PROVIDED (100%-%MINIMUM REQUIRED INFILTRATION PROVIDED) = 100% %
- NET % PENALTY (20% *% REQUIRED INFILTRATION NOT PROVIDED) = 20.0% %

TOTAL REQUIRED DETENTION VOLUME, INCLUDING PENALTY [(100 %+ NET % PENALTY) * NET REQUIRED DETENTION VOLUME] =	156,997	ft3
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Forebay Volume = 5% of total	7,849.86	ft3
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PROJECT NO: 2021-100	SCALE: NTS
DRAWN BY: M. K.	CHECKED BY: F. K.
PROJECT MGR: F. K.	APPROVED BY: F.K.

SHEET TITLE
STORM SEWER CALCULATIONS AND DETAILS

SHEET NUMBER
CU-102

STANDARD SOIL EROSION AND SEDIMENT CONTROL NOTES:

- NO EARTH MOVEMENT OR EXCAVATION SHALL BEGINS UNTIL A VALID SOIL EROSION PERMIT HAS BEEN OBTAINED.
- THE CONTRACTOR SHALL CONDUCT HIS OPERATION IN SUCH A MANNER AS TO MINIMIZE EROSION AND SEDIMENTATION OF DISTURBED SOIL. THE CONTRACTOR SHALL MEET ALL REQUIREMENTS OF THE STATE, COMPANY AND MUNICIPALITY AND THE FOLLOWING:
- PROMPTLY REMOVE ALL SOIL, MISCELLANEOUS DEBRIS AND OTHER MATERIAL SPILLED, DUMPED OR OTHERWISE DEPOSITED ON PUBLIC STREETS DURING TRANSIT TO AND FROM THE CONSTRUCTION SITE. PROVIDE TEMPORARY SITE TRAPS BY PLACING FILTER AS SHOWN.
 - MAINTAIN EFFICIENCY OF THE TRAPS BY REMOVING ACCUMULATED SEDIMENT FROM FILTERS ON A REGULAR BASIS OR AS NEEDED.
 - DIRECT RUN-OFF WATER FROM THE CONSTRUCTION AREA TO TEMPORARY SILT TRAPS.
 - DISCHARGE WATER FROM PUMPING OPERATIONS TO THE SILT TRAPS OR HEAVILY GRASSED AREAS.
 - ALL CONSTRUCTION INCLUDING OPEN CUT AND TUNNEL, CONDUCT, STRUCTURES, SURFACE RESTORATION AND REMOVAL OF EXCESS EXCAVATED MATERIAL SHALL BE ACCOMPLISHED IN ONE CONTINUOUS OPERATION. FINAL OR TEMPORARY STABILIZATION SHALL FOLLOW COMPLETION OF OPEN CUT CONSTRUCTION.
 - PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL DISTURBED AREAS SHALL BE COMPLETED WITHIN 5 CALENDAR DAYS AFTER FINAL GRADING HAS BEEN COMPLETED.
 - WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA OR WHERE THE ACTIVITY CEASES FOR MORE THEN 15 CALENDAR DAYS, TEMPORARY EROSION CONTROL MEASURES SHALL BE INITIATED WITHIN 5 CALENDAR DAYS OF EXPIRATION OF THE INITIAL 15 DAYS PERIOD AND SHALL BE COMPLETED WITHIN 10 CALENDAR DAYS OF INITIATION. ALL TEMPORARY MEASURES SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS AFFECTED.
 - ALL TEMPORARY EROSION CONTROL FACILITIES SHALL BE REMOVED AT THE COMPLETION OF CONSTRUCTION UNLESS ORDERED BY ENGINEER TO BE LEFT IN PLACE. CARE SHALL BE TAKEN DURING REMOVAL TO MINIMIZE SILTATION IN NEARBY DRAINAGE COURSES.
 - THE CONTRACTOR SHALL ADHERE TO THE FOLLOWING GENERAL CONSTRUCTION PRINCIPLES:
 - WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED.
 - WHERE INADEQUATE VEGETATION EXIST, TEMPORARY OR PERMANENT VEGETATION SHALL BE ESTABLISHED.

TIMING AND SEQUENCE OF CONSTRUCTION OPERATIONS:

- EACH PROPOSED EARTH CHANGE.
 - TEMPORARY CONTROL MEASURES AT EACH STEP
 - PERMANENT CONTROL MEASURES
 - COMPLETION DATES OR TIME FRAMES AT EACH STEP
- TIMING REQUIREMENTS**
- CRUSHED ROCK CONSTRUCTION DRIVEWAY – DAY 1
 - SILT FENCE – DAY 1
 - DETENTION / SEDIMENT BASIN
 - APPROVED OUTLET INSTALLED – WITHIN 5 DAYS OF EXCAVATING BASIN
 - PERMANENTLY STABILIZED WITH SEED AND MULCH BLANKET WITHIN 5 DAYS
 - CRITICAL SLOPES, CHANNELS, SWALES
 - TEMPORARY STABILIZATION – WITHIN 15 DAYS OF EARTH DISTURBANCE
 - PERMANENT STABILIZATION – WITHIN 5 DAYS OF FINAL GRADE
 - ROAD RIGHT OF WAY – TEMP. STABILIZED WITHIN 5 DAYS OF COMPLETE PAVING
 - RIP – RAP WITHIN 24 HOURS OF PLACING OUTLET/CULVERT.

- MAINTENANCE REQUIREMENTS**
- * STREET SCRAPING – DAILY
 - * STREET SWEEPING – WEEKLY MINIMUM
 - * STRUCTURAL SEDIMENT CONTROLS – INSPECT AND MAINTAIN AND RECORD IN A LOGBOOK ONCE A WEEK AND WITHIN 24 HOURS AFTER A STORM EVENT AS REQUIRED BY THE NPDES PERMIT
 - * SEDIMENT BASIN AND FORE BAY CLEANOUT (ANNUALLY MINIMUM) – MUST HAVE PERMANENT ACCESS FOR CLEANOUT AND FRESH STONE REPLACEMENT OF THE RISER PIPE (STANDPIPE)

- RESTORATION REQUIREMENTS**
- DISTURBED EARTH PERMANENTLY STABILIZED
 - ACCUMULATED SEDIMENT REMOVED FROM STORM SEWER SYSTEM
 - ACCUMULATED SEDIMENT REMOVED FROM DETENTION / SEDIMENT BASINS
 - RESTORE DETENTION / SEDIMENT BASIN TO DESIGN STANDARDS
 - REMOVE ALL TEMPORARY CONTROLS AFTER GETTING APPROVED BY THE WASHTENAW COUNTY SOIL EROSION INSPECTOR

SESC NOTE:

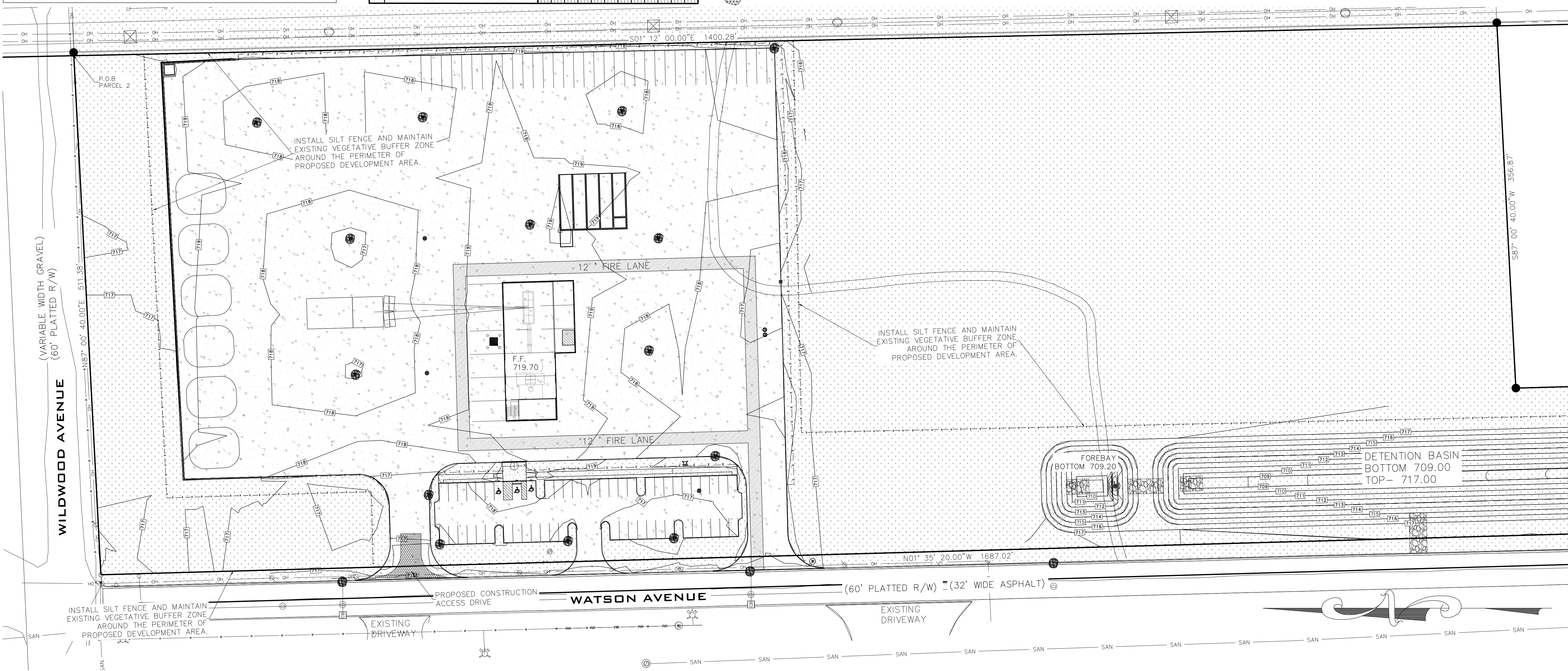
- * THIS PLAN ILLUSTRATES THE MINIMUM SESC MEASURES NEEDED TO PREVENT SOILS FROM LEAVING THE SITE AND IS SUBJECT TO CHANGE AS CONDITIONS IN THE FIELD WARRANT.
- * A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT IS REQUIRED FROM WASHTENAW COUNTY HEALTH DEPARTMENT
- * NOTIFY WASHTENAW COUNTY SOIL EROSION OFFICE 48 HOURS BEFORE WORK IS TO BEGIN. (734) 222-6860

CONSTRUCTION SEQUENCE	OPERATION TIME SCHEDULE											
	2021						2022					
	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG
A SOIL EROSION CONTROL MEASURES												
B MASS GRADING & UTILITIES CONSTRUCTION												
C PERMANENT SEEDING & SODDING												
D ROADWAY PAVING												
E BUILDING CONSTRUCTION												

LEGEND

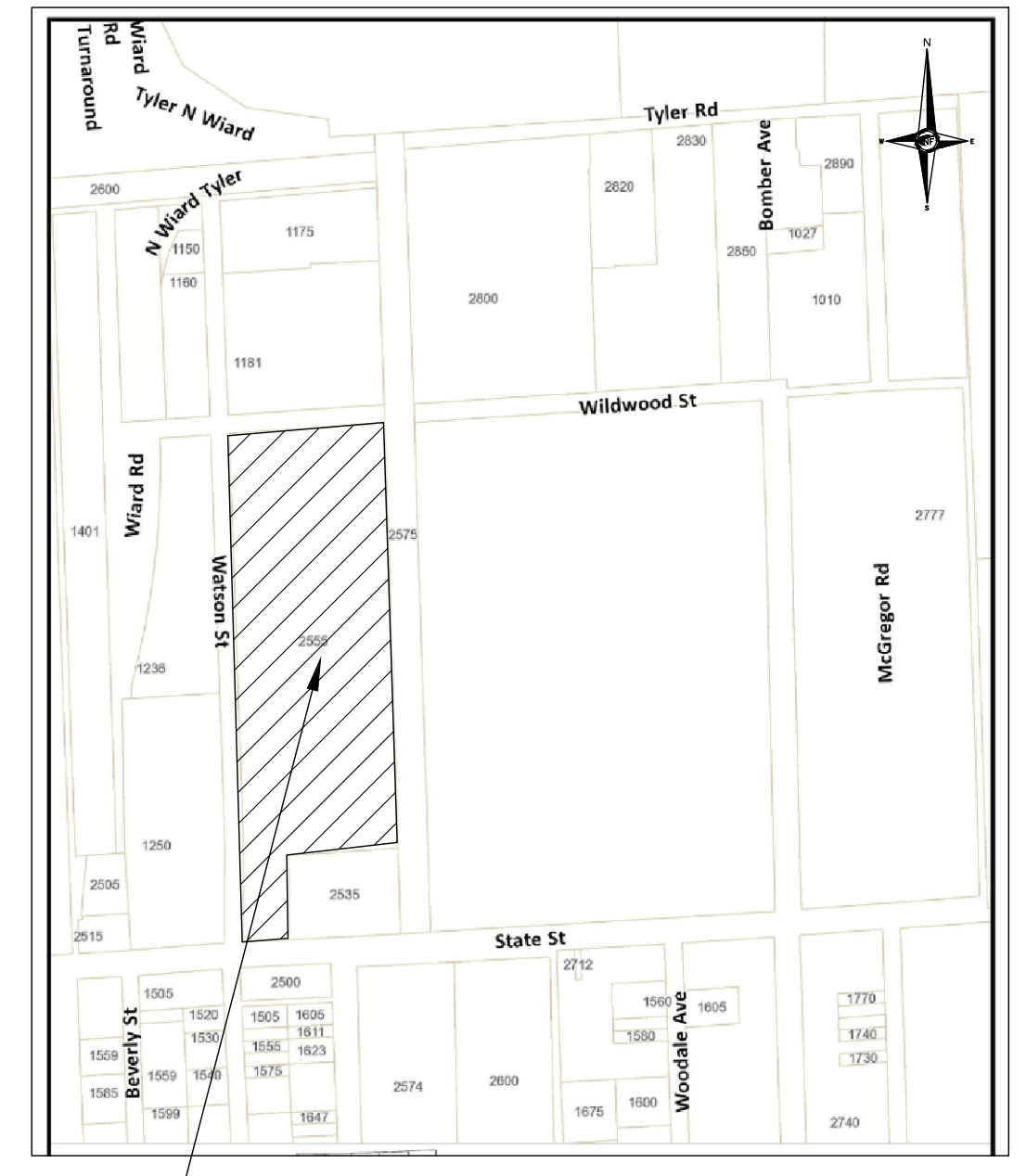
- STABILIZE WITH SEED AND EROSION CONTROL MULCH, BLANKETS OR SOG WITHIN 5 DAYS OF GRADING.
- STONE TRACKING PAD WITH GEOTEXTILE LINER
- RIP RAP WITH GEOTEXTILE LINER
- MONOFILAMENT CATCH BASIN FABRIC FILTER (SILT SACKS OR APPROVED EQUAL) – STREET
- MONOFILAMENT CATCH BASIN FABRIC FILTER (SILT SACKS OR APPROVED EQUAL) – YARD

TOTAL DISTURBED AREA = 9.37 ACRES

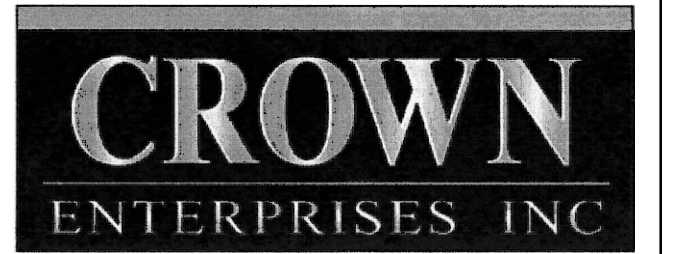


Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
Gf	Gilford sandy loam, 0 to 2 percent slopes	2.7	9.4%
MGA	Matherton sandy loam, 0 to 4 percent slopes	8.3	28.6%
WaA	Wasepi sandy loam, 0 to 4 percent slopes	18.0	61.9%
Totals for Area of Interest		29.0	100.0%



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 YPSILANTI, MI 48198

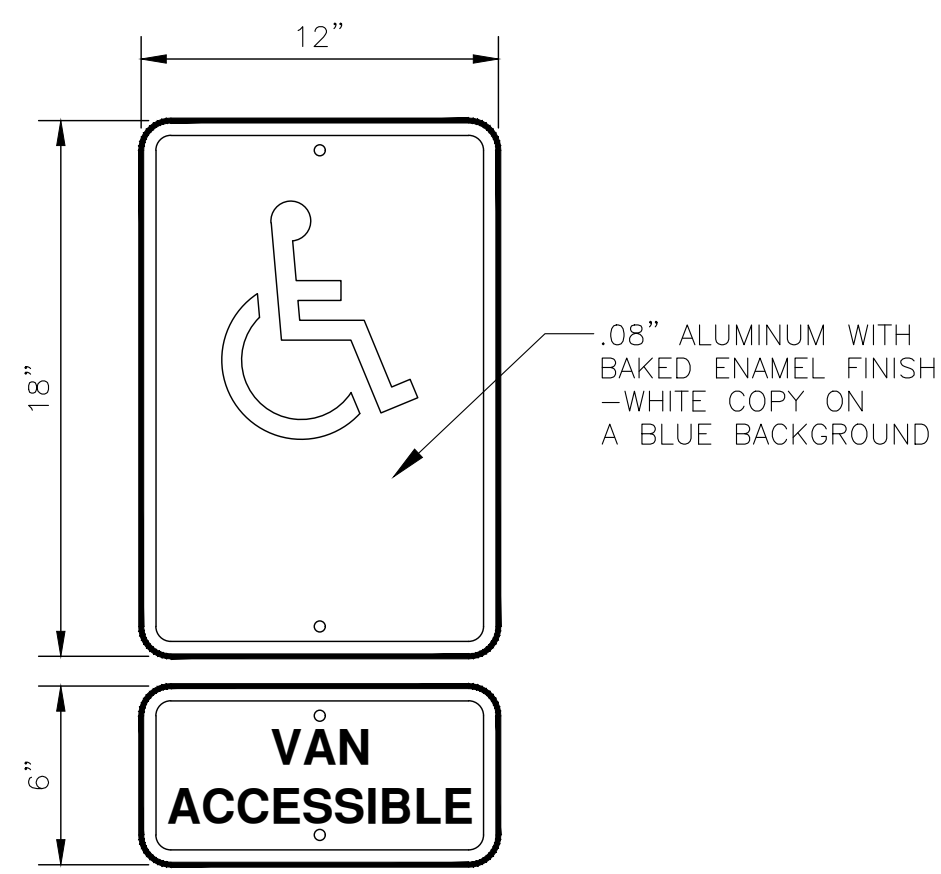
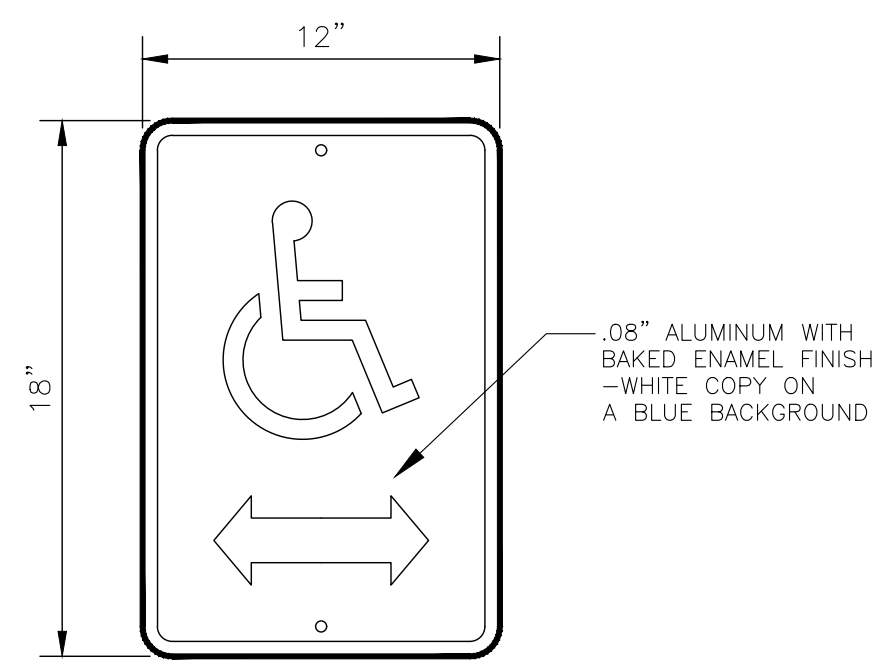
PROJECT NO: 2021-100 **SCALE:** 1"=50'

DRAWN BY: M. K. **CHECKED BY:** F. K.

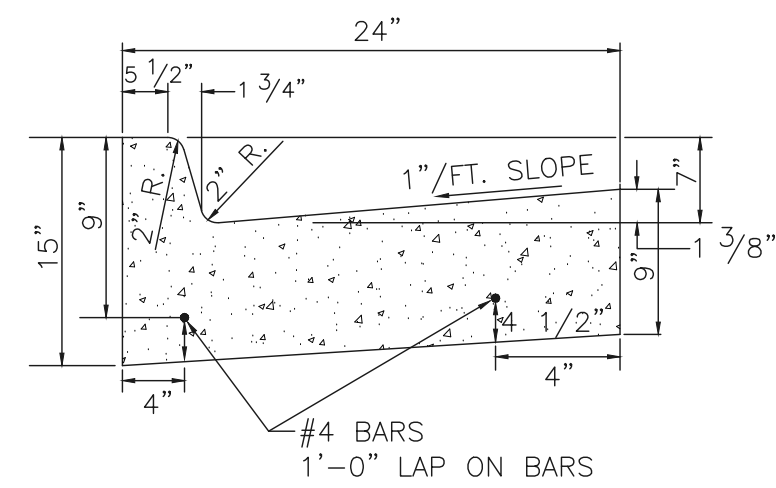
PROJECT MGR: F. K. **APPROVED BY:** F. K.

SOIL EROSION AND SEDIMENTATION PLAN

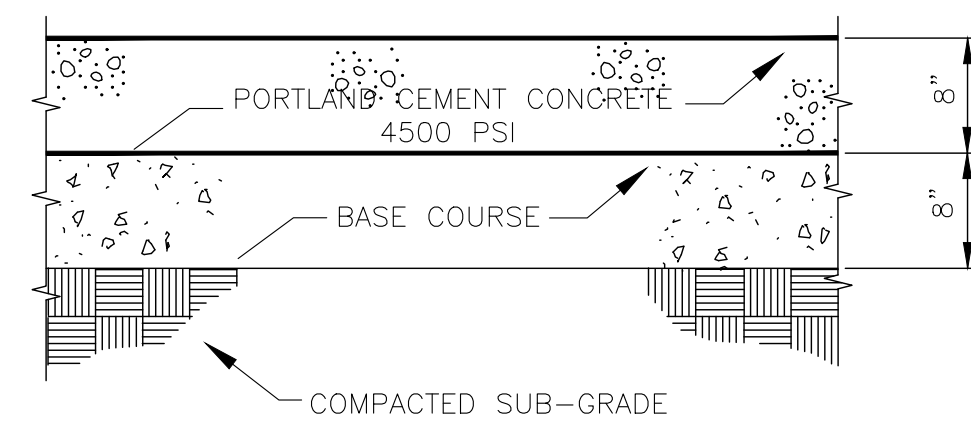
SHEET NUMBER CS-300 **ISSUE**



HANDICAP PARKING SIGN

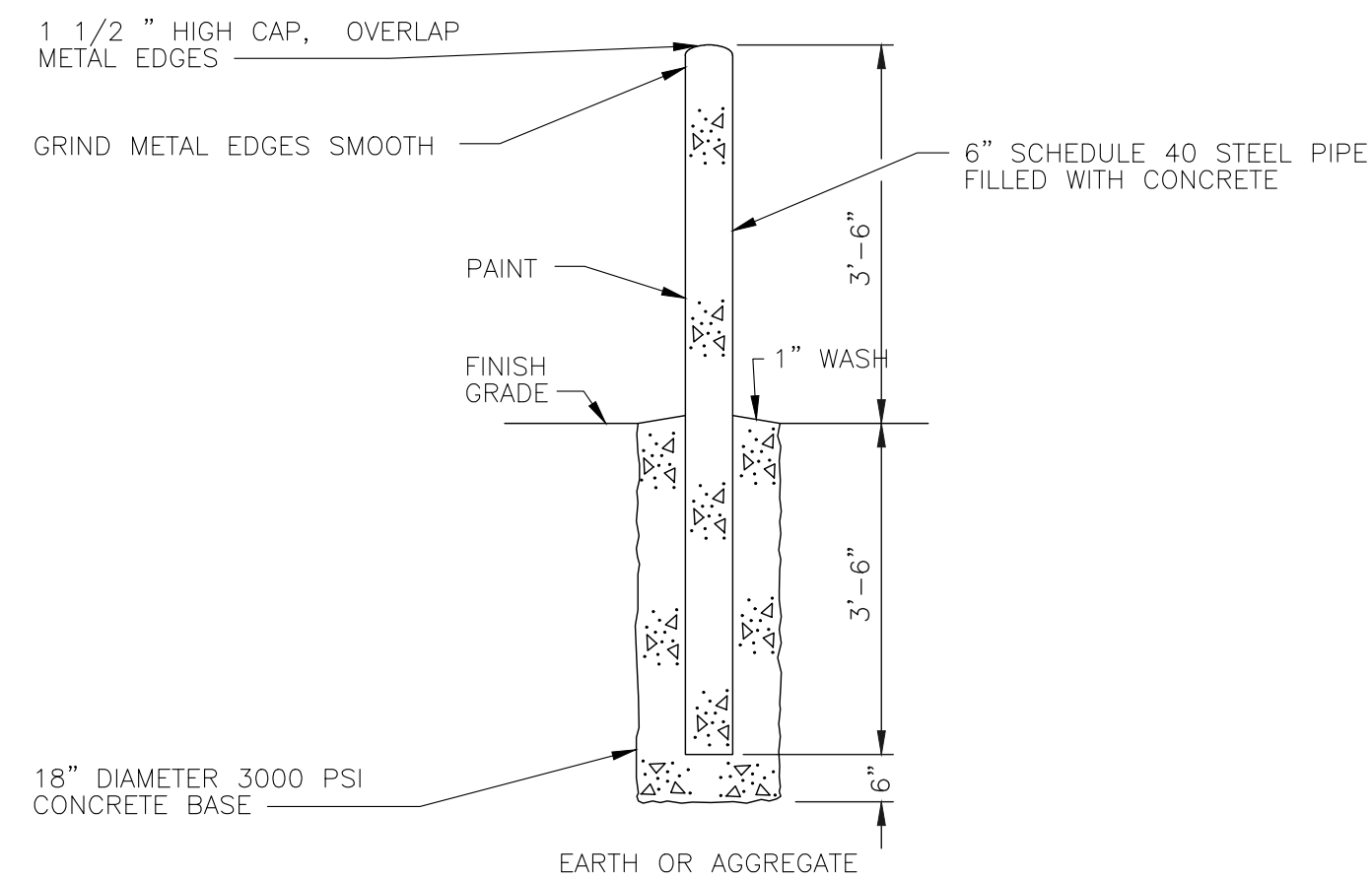


CONCRETE CURB & CUTTER DETAIL
M.D.O.T. F-4 (FOR DRIVEWAY)
NOT TO SCALE



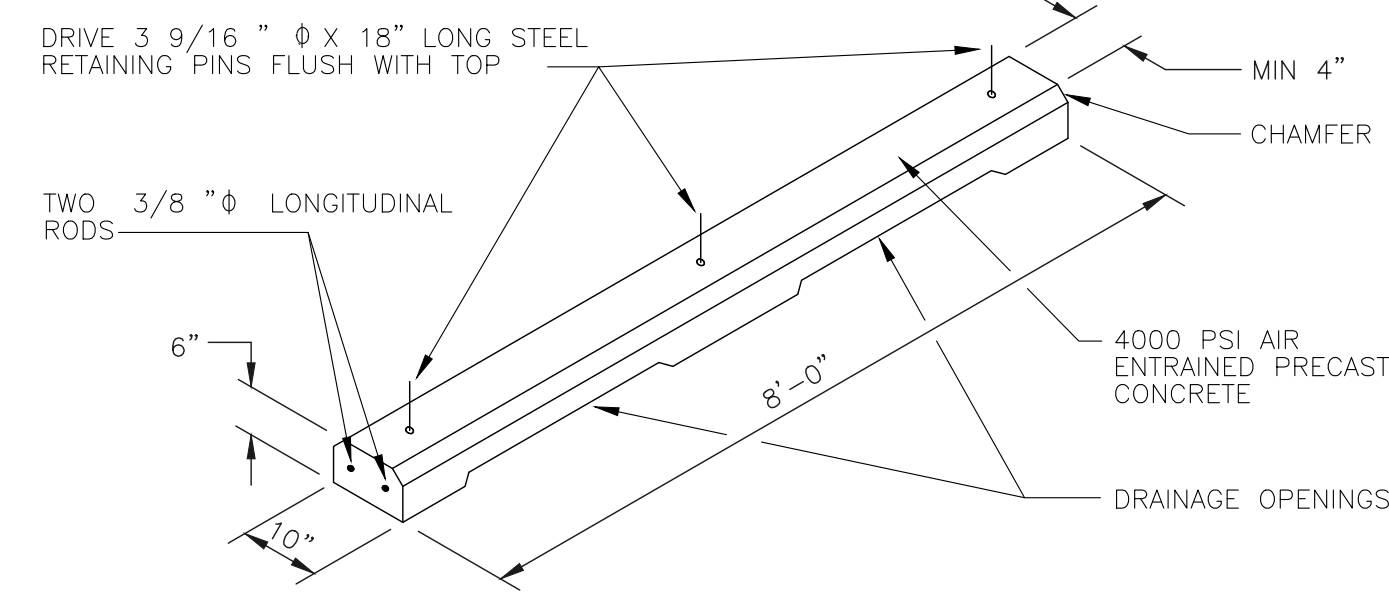
NOTES:
1. PANEL SIZE SHALL BE NO GREATER THAN 15' LONGITUDINAL BY 15' TRANSVERSE

CONCRETE PAVEMENT

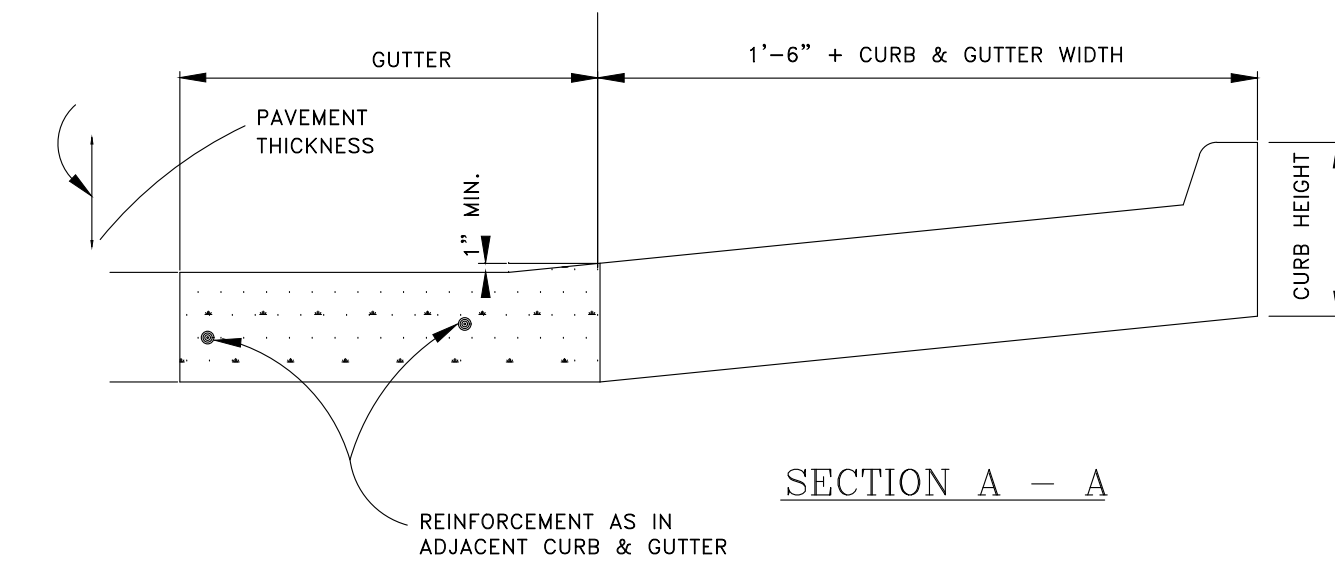
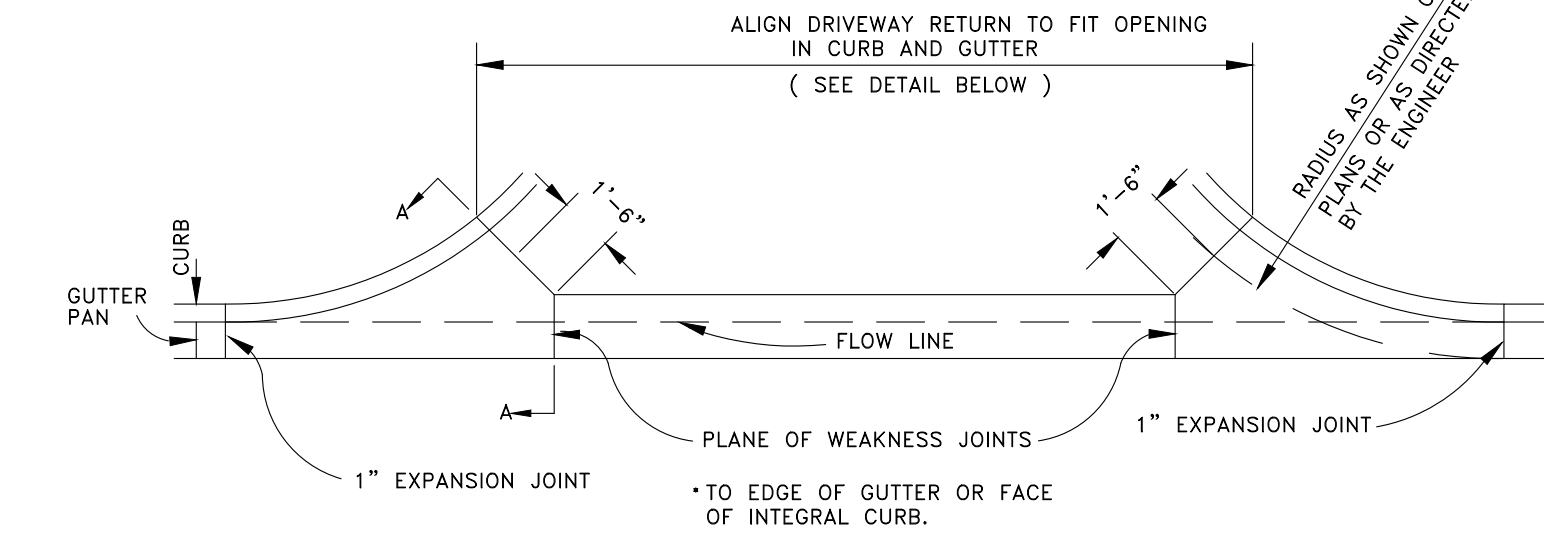
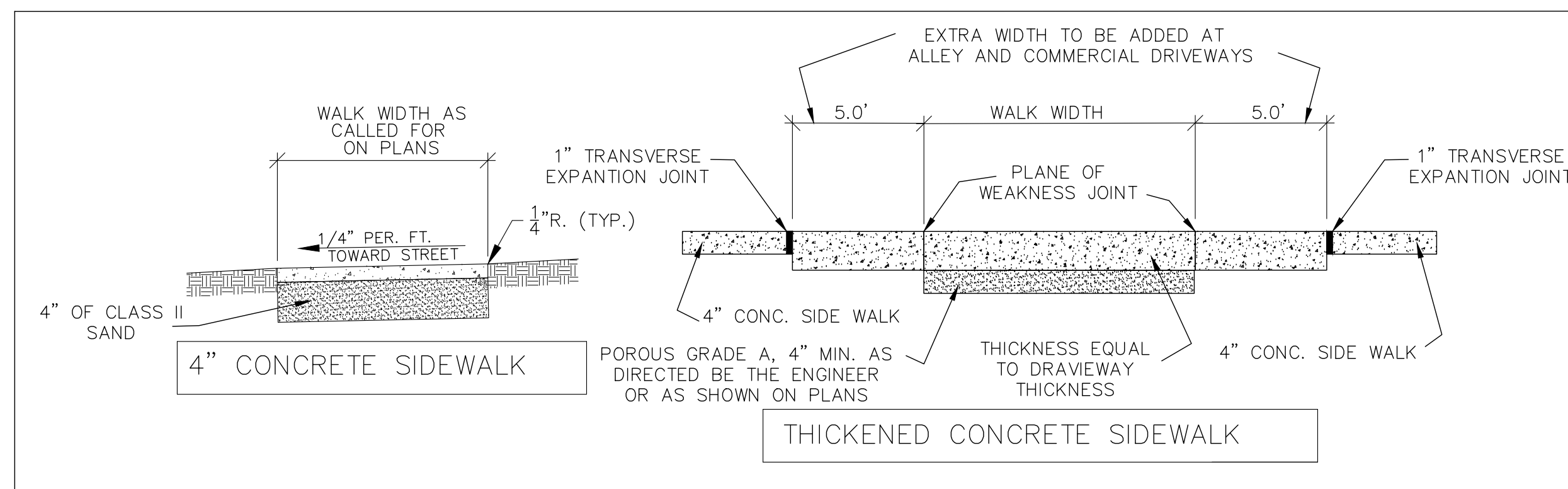


TYPICAL SECTIONS
STEEL GUARD POST

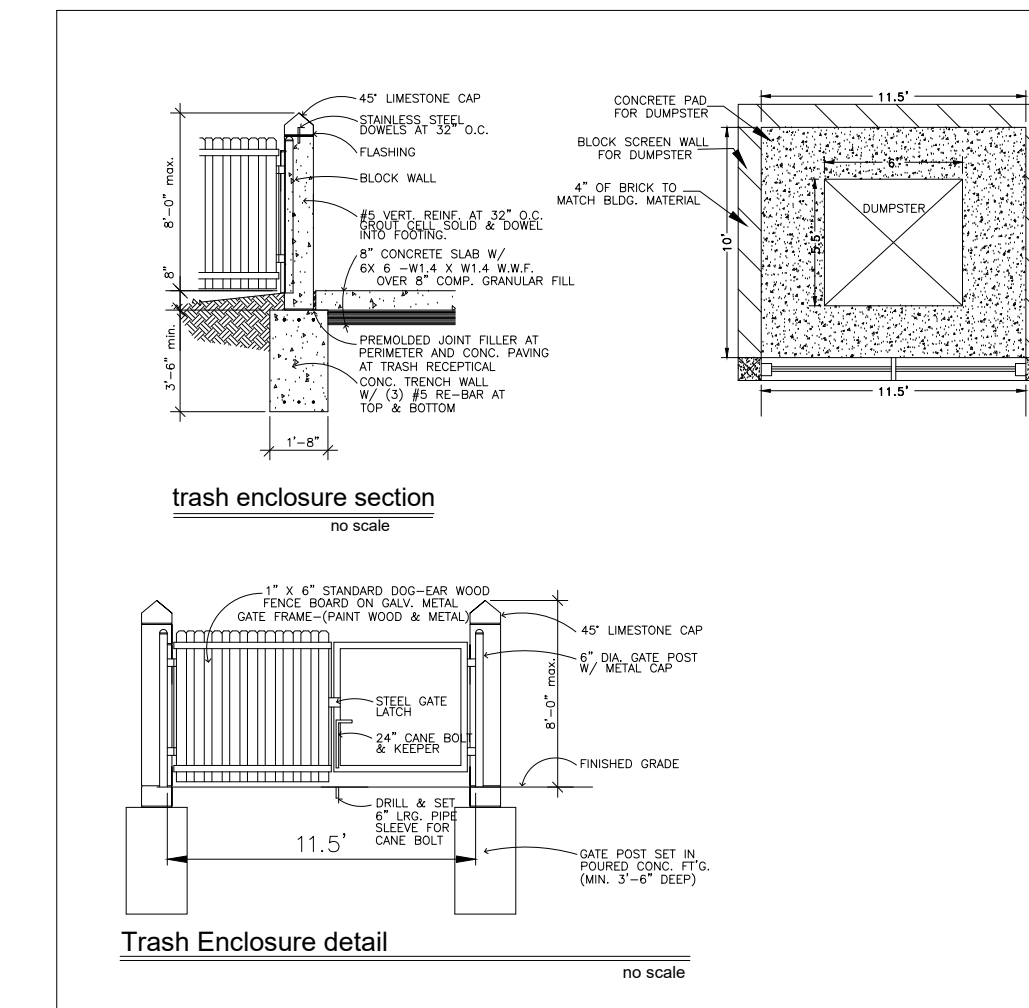
NOTE: LOCATE CENTERLINE 2' FROM PAVEMENT EDGE EXCEPT AS INDICATED.



CONCRETE
PARKING BUMPER

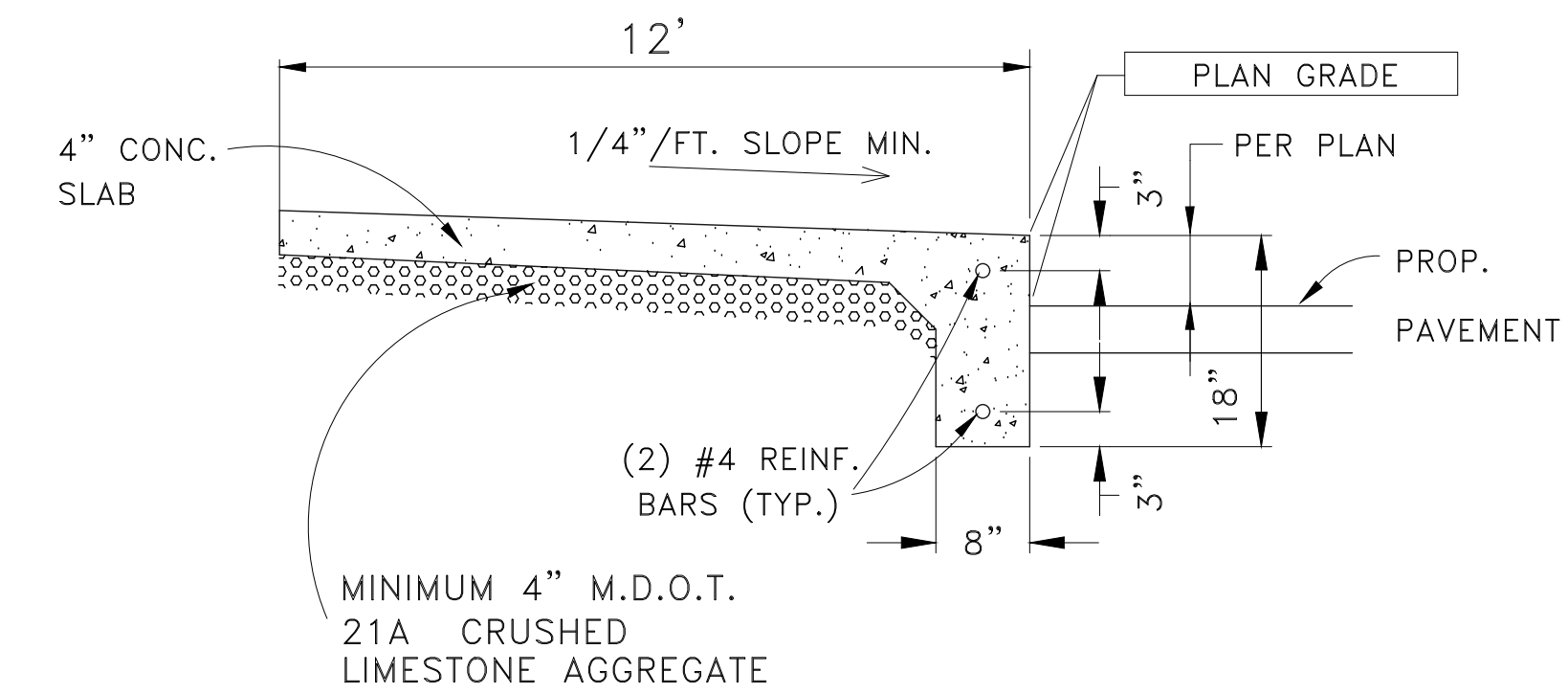


CONCRETE DRIVEWAY OPENING - DETAIL M
NOT TO SCALE

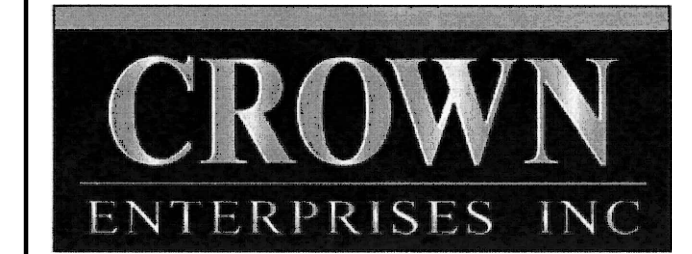


Trash enclosure section
NO SCALE

Trash Enclosure detail
NO SCALE



SIDEWALK CURB DETAIL
NO SCALE



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ISSUES		
No.	DESCRIPTION	DATE
1	PRELIMINARY SITE PLAN	08-03-2021
2	REV. PRELIMINARY SITE PLAN	08-30-2021

NOT FOR CONSTRUCTION

CONSULTANTS



Angle Design & Engineering
22417 Cranbrooke Drive, Novi, Michigan, 48375
Phone: (313) 258-2036 Email: Fadi@AngledesignLLC.com

PROJECT
HERCULES CONCRETE PLANT
2555 STATE ST.
YPSILANTI, MI 48198

PROJECT NO: 2021-100	SCALE: NTS
DRAWN BY: M. K.	CHECKED BY: F. K.
PROJECT MGR: F. K.	APPROVED BY: F. K.

SHEET TITLE
SITE DETAILS

SHEET NUMBER CS-500	ISSUE
-------------------------------	-------

1 TITLE DESCRIPTION

Tax Id Number(s): K-11-13-200-001, K-11-13-256-002
Land situated in the Township of Ypsilanti in the County of Washtenaw in the State of MI
Parcel 1: Part of the Northwest 1/4 of Section 13, Town 3 South, Range 7 East, described as follows: To find the point of beginning, commence at the Northwest corner of said Section 13; thence North 85°57'20" East, 1254.43 feet along the North line of said Section 13 to the true point of beginning; thence continuing North 85°57'20" East, 100.12 feet; thence South 01°12'00" East, 2695.47 feet to the East-West 1/4 line of said Section 13; thence South 86°57'00" West, 100.05 feet along said East-West 1/4 line; thence North 01°12'00" West, 2693.74 feet to the point of beginning.
Parcel 2: Lots 187 through 193, inclusive and Lots 212 through 244, inclusive and Lots 280 through 312, inclusive and Lots 317 through 353, inclusive, Watsonia Park Subdivision, according to the plat thereof as recorded in Liber 6 of Plats, Page 33, Washtenaw County Records. Also, the portions of vacated Edgewood Avenue, vacated Cadillac Avenue and the vacated public alley adjacent to said lots, more particularly: Part of the Northwest 1/4 of Section 13, Town 3 South, Range 7 East, described as follows: commence at the Northwest corner of said Section 13; thence North 85°57'20" East, 1254.43 feet along the North line of said Section 13, thence South 01°12'00" East, 963.60 feet to the point of beginning; thence South 01°12'00" East, 1400.28 feet; thence South 87°00'40" West, 356.87 feet; thence South 01°35'20" East, 287.01 feet; thence South 87°00'40" West, 145.00 feet; thence North 01°35'20" West, 1687.02 feet; thence North 87°00'40" East, 511.38 feet to the point of beginning.
The land shown in this survey is the same as that described in Fidelity National Title Insurance Company, Commitment #, 65097643 dated November 1, 2018.

2 TITLE INFORMATION

The Title Description and Schedule B items herein are from Fidelity National Title Insurance Company, Commitment #, 65097643 dated November 1, 2018.

3 SCHEDULE 'B' ITEMS

NOTES CORRESPONDING TO SCHEDULE "B":

- 7 Easement contained in Deed recorded January 26, 1949 in LIBER 504, PAGE 328. (as to Parcel 1) AFFECTS AS SHOWN.
8 Site Lease by Omnipoint Holdings, Inc., a Delaware corporation f/k/a Omnipoint Communications Midwest Operations, LLC, a Delaware Limited Liability Company ("Tenant"), evidenced of record by Memorandum of Site Lease dated December 31, 2002 and recorded January 17, 2003 in LIBER 4207, PAGE 805. (as to Parcel 1) AFFECTS AS SHOWN.
9 Notification of Lease by by Omnipoint Holdings, Inc., a Delaware corporation f/k/a Omnipoint Communications Midwest Operations, LLC, a Delaware Limited Liability Company ("Lessee"), dated April 22, 2003 and recorded April 29, 2003 in LIBER 4250, PAGE 929. (as to Parcel 1) AFFECTS AS SHOWN.
10 Building and Use Restrictions contained in Quit Claim Deed recorded March 29, 1955 in LIBER 692, PAGE 260, but omitting any covenant or restriction based on race, color, religion, sex, handicap, familial status, or national origin. (as to Parcel 2) AFFECTS BLANKET OVER PARCEL 2.
11 Resolution recorded February 13, 1975 in LIBER 1502, PAGE 815. (as to Parcel 2) AFFECTS AS SHOWN.
12 Grant of Easement in favor of Nexus Gas Transmission, LLC recorded April 28, 2017 in LIBER 5203, PAGE 945. (as to Parcel 2) AFFECTS AS SHOWN.
13 Notice of Commencement recorded April 19, 2018 in LIBER 5254, PAGE 29. (as to Parcel 2 and covers other land) AFFECTS BLANKET OVER PARCEL 2.

4 SURVEYOR CERTIFICATION

To Crown Enterprises Inc., Fidelity National Title Insurance Company, Commercial Due Diligence Services:
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 7(a), 7(b)(1), 8, 9, 11, and 20 of Table A thereof.
The fieldwork was completed on May 17, 2019.
Date of Plat or Map: May 22, 2019
Jay M. Schwandt, PS, JD
Michigan Registration No. 47974
surveyor@firstam.com

5 FLOOD INFORMATION

By graphic plotting only, this property is located in Zone "X" of the Flood Insurance Rate Map, Community Panel No. 28161C0435E, which bears an effective date of April 3, 2012 and is NOT in a special flood hazard area. No field surveying was performed to determine this Zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.
Zone "X" denotes areas of minimal flood hazard.

6 CEMETERY

There is no visible evidence of cemeteries on the subject property at the time of survey.

7 STATEMENT OF ENCROACHMENTS

NON OBSERVED

8 ZONING INFORMATION

No Zoning information provided.

12 PARKING INFORMATION

0 Standard Spaces
0 Disabled Spaces
0 Total Parking Spaces

10 BASIS OF BEARINGS

The bearing N.85°57'20"E, being the North line of Section 13, Town 3 South, Range 7 East.

11 SURVEYOR'S NOTES

- 1. No observable evidence of earth moving work, building construction or building additions within recent months.
2. No observable evidence of changes in street right of way lines completed, and available from the controlling jurisdiction and no observable evidence of recent street or sidewalk construction or repairs.
3. Property has physical access to Tyler Road on the north, Wildwood Avenue on the north, Watson Avenue on the west, and State Street on the south, duly dedicated public right of ways.
4. All statements within the certification, and other references located elsewhere hereon, related to: utilities, improvements, structures, buildings, party walls, parking, easements, servitudes, and encroachments are based solely on above ground, visible evidence, unless another source of information is specifically referenced hereon.

13 LAND AREA

(PARCEL 1) 269454.28 square feet or 6.1858 Acres
(PARCEL 2) 755041.61 square feet or 17.3334 Acres
TOTAL = 1024485.89 square feet or 23.5192 Acres

14 BUILDING AREA

VACANT NO BUILDINGS

15 BUILDING HEIGHT

VACANT NO BUILDINGS

Key to CDS ALTA Survey

- 1 TITLE DESCRIPTION
2 TITLE INFORMATION
3 SCHEDULE 'B' ITEMS
4 SURVEYOR CERTIFICATION
5 FLOOD INFORMATION
6 CEMETERY
7 POSSIBLE ENCROACHMENTS
8 ZONING INFORMATION
9 LEGEND
10 BASIS OF BEARING
11 SURVEYOR'S NOTES
12 PARKING INFORMATION
13 LAND AREA
14 BUILDING AREA
15 BUILDING HEIGHT
16 VICINITY MAP
17 NORTH ARROW / SCALE
18 CLIENT INFORMATION BOX
19 SURVEY DRAWING
20 PROJECT ADDRESS

18 ALTA/NSPS Land Title Survey

This survey prepared in accordance with the "2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys" (Effective February 23, 2016)

This Work Coordinated by: FA Commercial Due Diligence Services Co.

CDS COMMERCIAL DUE DILIGENCE SERVICES
3550 W. Robinson Street, Third Floor
Norman, Oklahoma 73072
Office: 405-253-2444
website: www.firstamcdis.com
Toll Free: 888.322.7371

Table with 2 columns: Field Name, Value. Includes Drwn By: TBK, Surveyor Ref No: 19190A, Aprvd By: JMS, Field Date: MAY 17, 2019, Scale: 1"=100', Date, Revision.

Prepared For:
Title No: SH-1
Site No: Property No:

20 PROJECT ADDRESS

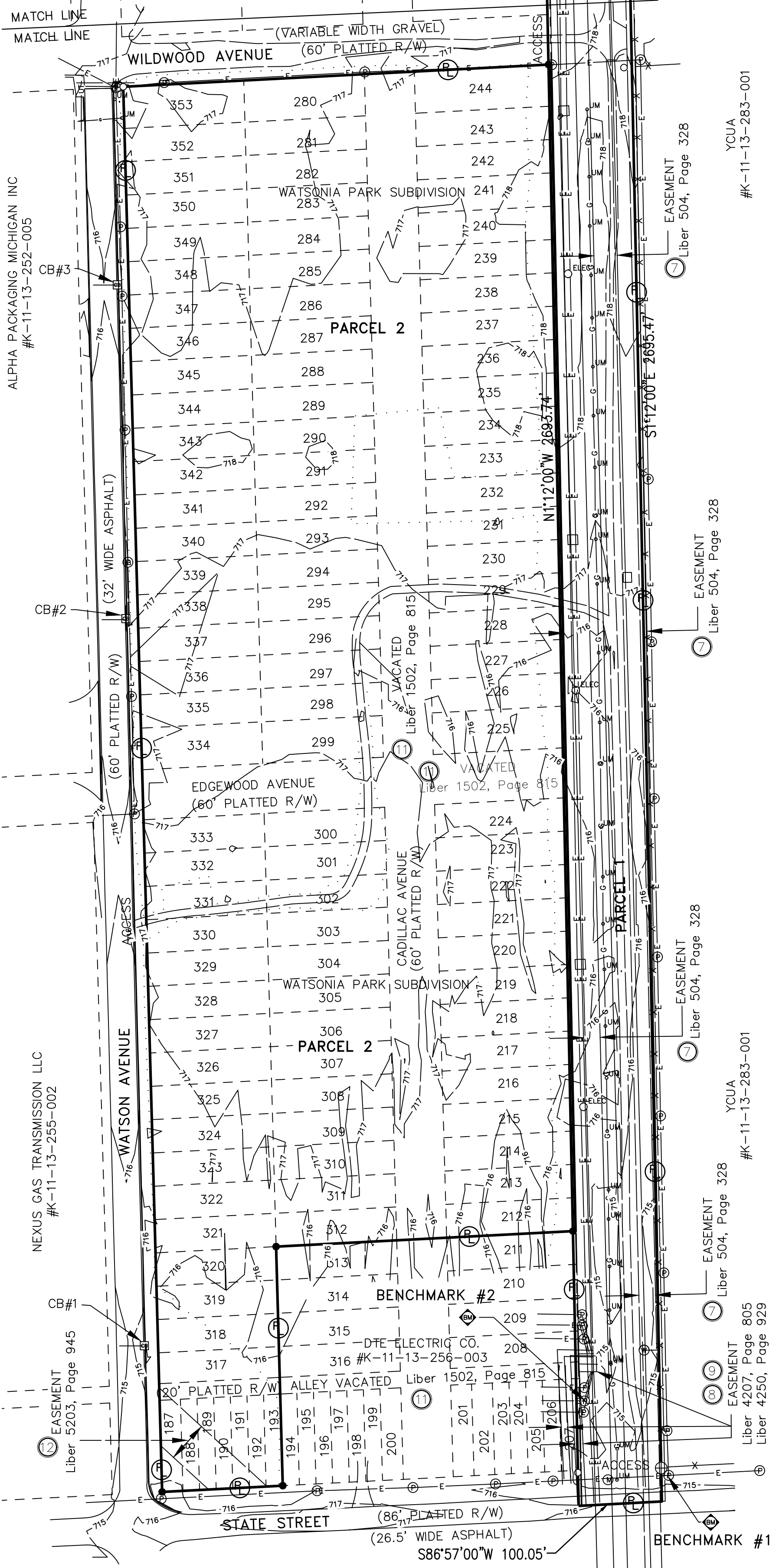
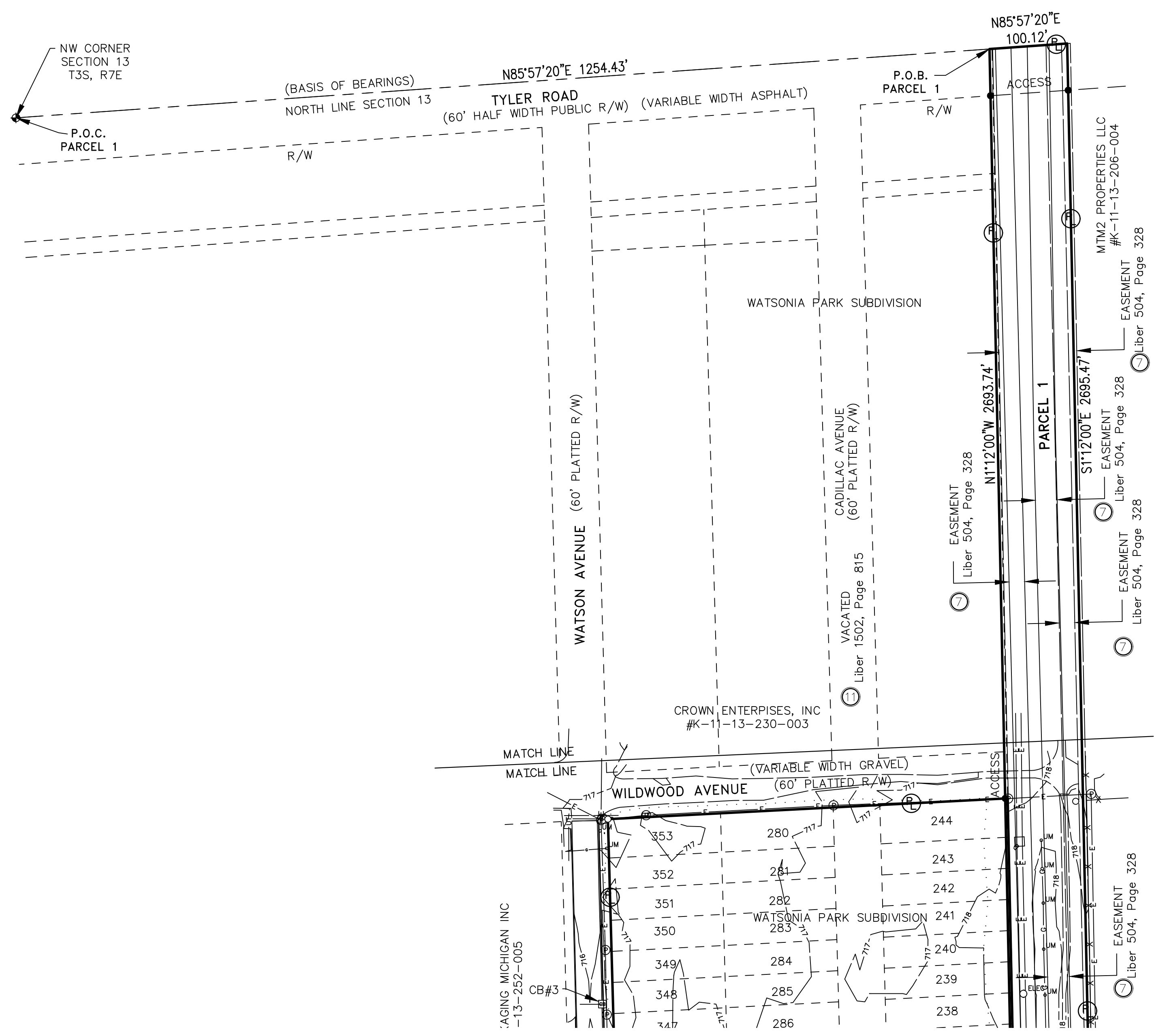
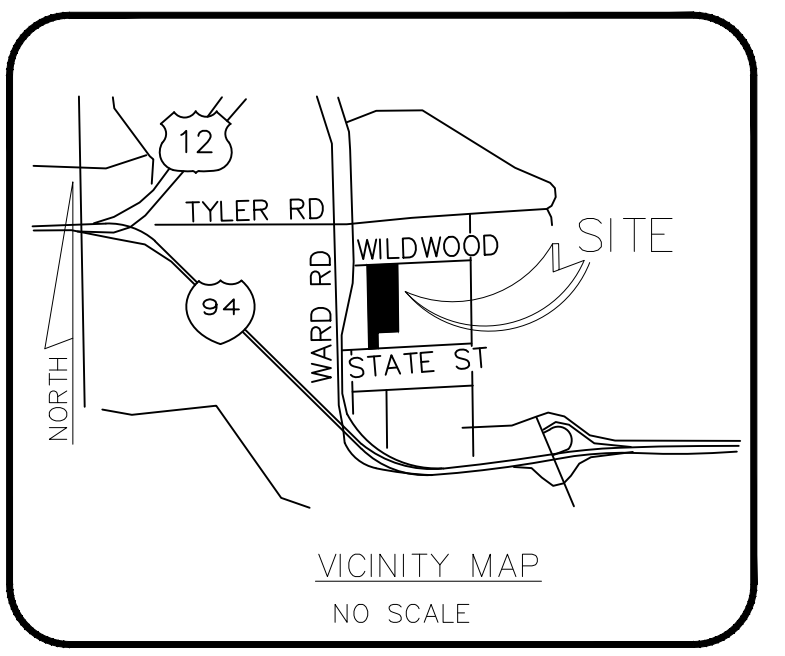
2575 STATE ST., YPSILANTI, MI

Project Name: CROWN - YPSILANTI, MI
CDS Project Number: 18-11-0273

Approved CDS Surveyor Global Land SOLUTIONS
Solutions that work for you.
Corporate Office: 5065 12 Mile Road NE Rockford, Michigan 49341 (989) 352-5617
www.GlobalLandSolutions.com
Serving The Great Lakes Region MICHIGAN * OHIO * INDIANA * WISCONSIN

19 SURVEY DRAWING

16 VICINITY MAP



BENCHMARK #1
SPIKE SET IN POWER POLE
ELEVATION = 716.19
NAVD-88
BENCHMARK #2
SPIKE SET IN POWER POLE
ELEVATION = 717.15
NAVD-88

17 NORTH ARROW / SCALE



9 LEGEND

Table with 3 columns: Monument Found (e.g., 5/8" Iron, Section Corner, Power Pole), Fire Hydrant, Sanitary Manhole, Storm Catch Basin, Storm Sewer Manhole, Overhead Electric, Building Line, Fence, Building Setback Line, Easement Line, Property Line, Point of Commencement, Point of Beginning.

CB#1 RIM ELEVATION = 714.67
24" RCP ~ WEST ~ INVERT = 708.12
CB#2 RIM ELEVATION = 715.86
18" RCP ~ WEST ~ INVERT = 710.31
CB#3 RIM ELEVATION = 715.43
18" RCP ~ WEST ~ INVERT = 711.63

Key to CDS ALTA Survey

- 1 TITLE DESCRIPTION
- 2 TITLE INFORMATION
- 3 SCHEDULE 'B' ITEMS
- 4 SURVEYOR CERTIFICATION
- 5 FLOOD INFORMATION
- 6 CEMETERY
- 7 POSSIBLE ENCROACHMENTS
- 8 ZONING INFORMATION
- 9 LEGEND
- 10 BASIS OF BEARING
- 11 SURVEYOR'S NOTES
- 12 PARKING INFORMATION
- 13 LAND AREA
- 14 BUILDING AREA
- 15 BUILDING HEIGHT
- 16 VICINITY MAP
- 17 NORTH ARROW / SCALE
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18 ALTA/NSPS Land Title Survey

This survey prepared in accordance with the "2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys" (Effective February 23, 2016).
This Work Coordinated By:
FA Commercial Due Diligence Services Co.
CDS COMMERCIAL DUE DILIGENCE SERVICES
3550 W. Robinson Street, Third Floor
Norman, Oklahoma 73072
Office: 405-253-2444
website: www.firstamcads.com
Toll Free: 888.322.7371

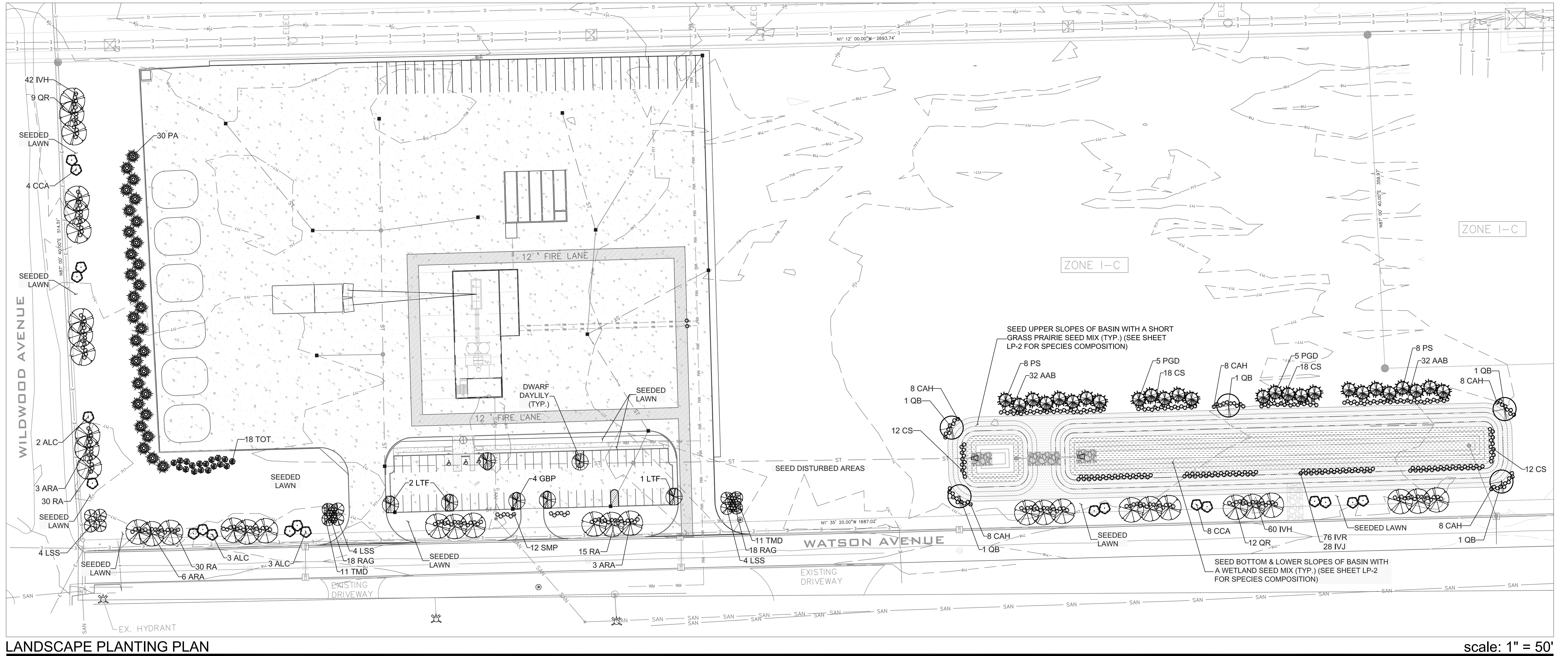
Table with 2 columns: Field (Drwn By, Surveyor, Ref No., Aprvd By, Field Date, Scale) and Date/Revision.

Prepared For:
Title No: SH-2
Site No: Property No:

20 PROJECT ADDRESS

2575 STATE ST., YPSILANTI, MI
Project Name:
CROWN - YPSILANTI, MI
CDS Project Number:
18-11-0273

Approved CDS Surveyor
Global Land SOLUTIONS
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Michigan 49341
(989) 352-5617
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LANDSCAPE PLANTING PLAN

scale: 1" = 50'

PLANT LIST

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
GENERAL SITE LANDSCAPING									
PA	30	<i>Picea abies</i>	Norway Spruce	6' ht. B&B	AAB	64	<i>Aronia arbutifolia</i> 'Brilliantissima'	Brilliant Red Chokeberry	30" ht., 5 gal. pot
RAG	36	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac	24" ht., 3 gal. pot	CAH	40	<i>Clethra alnifolia</i> 'Hummingbird'	Hummingbird Summersweet	24" ht., 3 gal. pot
SMP	12	<i>Syringa meyeri</i> 'Palibin'	Dwarf Korean Lilac	36" ht., 5 gal. pot	CS	60	<i>Cornus sericea</i>	Red Twig Dogwood	24" ht., 3 gal. pot
TMD	22	<i>Taxus x media</i> 'Densiformis'	Densiformis Yew	24" ht. B&B	IVJ**	28	<i>Ilex verticillata</i> 'Jim Dandy'	Jim Dandy Michigan Holly	30" ht., 5 gal. pot
TOT	18	<i>Thuja occidentalis</i> 'Techny'	Techny Upright Arborvitae	4' ht. B&B	IVR	76	<i>Ilex verticillata</i> 'Red Sprite'	Red Sprite Michigan Holly	30" ht., 5 gal. pot
STREET YARD LANDSCAPING									
Wildwood Avenue									
ALC	2	<i>Amelanchier laevis</i> 'Cumulus'	Cumulus Alleghany Serviceberry	2' cal. B&B	PGD	10	<i>Picea glauca</i> 'Densata'	Black Hills White Spruce	6' ht. B&B
ARA	3	<i>Acer rubrum</i> 'Autumn Flame'	Autumn Flame Red Maple	2-1/2" cal. B&B	PS	16	<i>Pinus strobus</i>	Eastern White Pine	8' ht. B&B
CCA	4	<i>Cercis canadensis</i>	Eastern Redbud	2' cal. B&B	QB	5	<i>Quercus bicolor</i>	Swamp White Oak	3" cal. B&B
IVH	42	<i>Itea virginiana</i> 'Henry's Garnet'	Henry's Garnet Virginia Sweetspire	30" ht., 3 gal. pot	** Intersperse male plants throughout each grouping of shrubs.				
LSS	4	<i>Liquidambar styraciflua</i> 'Slender Silhouette'	Slender Silhouette	2-1/2" cal. B&B	PARKING LOT LANDSCAPING				
QR	9	<i>Quercus rubra</i>	Red Oak	2-1/2" cal. B&B	GBP	4	<i>Ginkgo biloba</i> 'Princeton Sentry'	Princeton Sentry Maidenhair Tree	3" cal. B&B
RA	14	<i>Rhus aromatica</i>	Fragrant Sumac	30" ht., 3 gal. pot	LTA	3	<i>Liriodendron tulipifera</i> 'Arnold'	Arnold Tuliptree	3" cal. B&B
Watson Avenue									
ALC	6	<i>Amelanchier laevis</i> 'Cumulus'	Cumulus Alleghany Serviceberry	2' cal. B&B	HHR	*	<i>Hemerocallis</i> sp. 'Happy Returns'	Happy Returns Daylily	1 gal. pot, 24" o.c.
ARA	12	<i>Acer rubrum</i> 'Autumn Flame'	Autumn Flame Red Maple	2-1/2" cal. B&B	* Landscape Contractor to determine the quantity in the field.				
CCA	8	<i>Cercis canadensis</i>	Eastern Redbud	2' cal. B&B					
IVH	60	<i>Itea virginiana</i> 'Henry's Garnet'	Henry's Garnet Virginia Sweetspire	30" ht., 3 gal. pot					
LSS	8	<i>Liquidambar styraciflua</i> 'Slender Silhouette'	Slender Silhouette	2-1/2" cal. B&B					
QR	12	<i>Quercus rubra</i>	Red Oak	2-1/2" cal. B&B					
RA	60	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac	24" ht., 3 gal. pot					

LANDSCAPE CALCULATIONS:

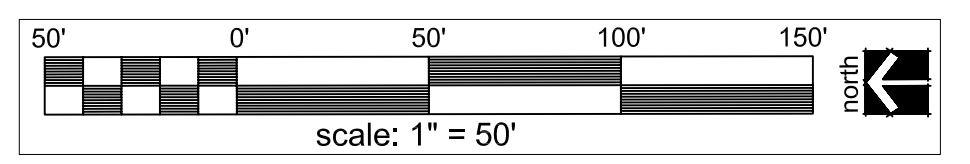
GENERAL SITE LANDSCAPING (29,928 sq. ft.)
 * Except for those areas occupied by buildings, loading areas, parking areas, patios, and walkways, all areas of a site shall remain in lawn areas.
 * One (1) deciduous tree or evergreen tree shall be planted at a rate of one (1) tree for every 1,000 square feet or fraction thereof of lawn space. 29,928 sq. ft. / one tree per 1,000 sq. ft. = 29.93 trees = 30 trees.
 * One (1) shrub for every 500 square feet or fraction thereof of lawn space. 29,928 sq. ft. / one tree per 500 sq. ft. = 59.86 shrubs = 60 shrubs.
 STREET YARD LANDSCAPING
 Wildwood Avenue (514.51 l.f.)
 * One (1) deciduous tree / 40 l.f. = 12.86 trees = 13 trees
 * One (1) ornamental tree / 100 l.f. = 5.15 trees = 6 trees
 Watson Avenue (1,178 l.f.)
 * One (1) deciduous tree / 40 l.f. = 29.45 trees = 30 trees
 * One (1) ornamental tree / 100 l.f. = 11.78 trees = 12 trees
 * One (1) shrub / 10 l.f. = 117.8 shrubs = 118 shrubs
 DETENTION POND PLANTINGS (1,334 l.f.)
 * One (1) deciduous tree or evergreen tree / 50 l.f. = 26.68 trees = 27 trees
 * Ten (10) shrubs / 50 l.f. = 266.8 shrubs = 267 shrubs
 PARKING LOT LANDSCAPING (18,122 sq. ft.)
 * One (1) large deciduous tree shall be required for each 3,000 square feet of paved driveway and parking lot surface
 * 18,122 divided by one tree per 3,000 sq. ft. equals 6.04 trees = 7 trees

LEGEND

- PROPOSED TREE FOR GENERAL SITE PLANTING
- PROPOSED FRONT YARD TREE
- PROPOSED STORMWATER FACILITY TREE
- PROPOSED PARKING LOT TREE
- PROPOSED ORNAMENTAL TREE
- PROPOSED DECIDUOUS SHRUB
- PROPOSED EVERGREEN SHRUB
- PROPOSED PERENNIALS
- PROPOSED WETLAND SEED MIX
- PROPOSED CUSTOM SHORT GRASS SEED MIX

NOTES:

* See Sheet LP - 2: LANDSCAPE NOTES & DETAILS for landscape development notes, landscape planting details, detention pond landscape development notes, and seed mix compositions.

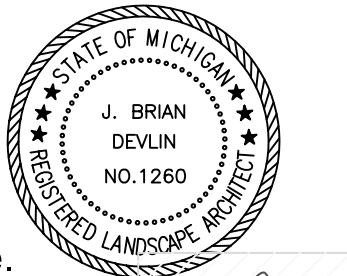


date: August 2, 2021
 revised: 08-31-2021 Revise for site plan changes.

LANDSCAPE PLAN FOR:
 Angle Design & Engineering, L.L.C.
 22417 Cranbrooke Drive
 Novi, Michigan 48375
 (313) 258-2036

PROJECT LOCATION:
 Hercules Concrete Plant
 2555 State Street
 Ypsilanti Township,
 Michigan

LANDSCAPE PLAN BY:
 Nagy Devlin Land Design
 31736 West Chicago Ave.
 Livonia, Michigan 48150
 (734) 634-9208



J. Brian Devlin
 AUTOCAD SIGNATURE
 ORIGINAL IN BLUE

**APPLICATION FOR PERMIT TO ERECT A STRUCTURE
DETROIT METROPOLITAN WAYNE COUNTY AIRPORT**

Zoning Permit Application Instructions

1. An original and two (2) copies of the following shall be submitted to the Zoning Administrator at the addresses listed below:
 - A. A letter that outlines the proposed construction project;
 - B. A completed “Application for Permit to Erect a Structure” (Detroit Metropolitan Wayne County Airport Form);
 - C. A copy of FAA form 7460-1 (if applicable);
 - D. A copy of FAA Airspace Determination (if applicable);
 - E. Specific information about the location, latitude and longitude, elevation, height, and top elevation of the proposed construction.
2. The Zoning Administrator will either approve or deny the zoning permit within 15 days of receipt of all required materials and fees.
3. In the event of a zoning permit denial, the applicant shall have 21 days to appeal the decision of the Zoning Administrator to the Zoning Board of Appeals.

NOTE: *It is the applicant’s responsibility to obtain any required FAA or State of Michigan or local government approvals prior to construction. Copies of Federal, State, or local permit applications will not routinely be forwarded by the Airport to other offices.*

ZONING ADMINISTRATOR:

Bryant Holt, Chief Development Officer
Detroit Metropolitan Airport
11050 Rogell Drive, Building 602
Detroit, MI 48242
(734)247-4923

With copies to:

Shannon Ozga, Assistant General Counsel
Detroit Metropolitan Airport
11050 Rogell Drive, Building 602
Detroit, MI 48242
(734)942-1519

Geoff Nelson, Permits Manager
Detroit Metropolitan Airport
11050 Rogell Drive, Building 602
Detroit, MI 48242
(734)247-4617

APPLICATION FOR PERMIT TO ERECT A STRUCTURE
Detroit Metropolitan Wayne County Airport - Zoning Application

Internal Use Only

WCAA Number: _____ - _____ OR FAA Number: _____ - _____

Sections 1- 6 to be completed by Applicant

Failure to provide complete information may result in a delay of review of denial of a permit.

If an FAA Form 7460-1, *Notice of Proposed Construction or Alteration*, has been submitted for review, include a copy of application and/or response letter from FAA with this application along with any other supporting documentation.

1. Contact Information

Applicant Information

Name: _____

Contact: _____

Address: _____

City, State, Zip: _____

Phone: _____

Fax: _____

Engineer/Architect Information

Name: _____

Contact: _____

Address: _____

City, State, Zip: _____

Phone: _____

Fax: _____

2. Structure Information

Type of Construction:

_____ New Construction

_____ Alteration

_____ Permanent

_____ Temporary

Elevations:

Ground Elevation _____ (MSL)

Height of Structure + _____ (AGL)

Top Elevation = _____ (MSL)

Description & Use of Structure (dimensions, type of construction, purpose, etc.):

3. Site Information

Site Address: _____

Township: _____ Section: _____

City, State, Zip: _____

Latitude: _____

Nearest Road Intersection: _____

Longitude: _____

4. Drawing Information

Request will not be considered without an engineered drawing/plan set which illustrates the following:

_____ Drawing identification (file name or #) and date

_____ Engineers Seal

_____ Scale

_____ Contact Information

_____ Site Map

_____ Profile View of Structure

APPLICATION FOR PERMIT TO ERECT A STRUCTURE

5. Remarks

6. Certification

I hereby certify that all statements on this application are true and correct.

Signature: [Handwritten Signature]

Date: 5-25-2021

Name & Title of person filing notice: DANIEL RONIFER

Phone: 586-939-7000 x2135

FOR INTERNAL USE ONLY

Detroit Metropolitan Wayne County Airport - Zoning Administrator Review

Site Location _____ Zone A _____ Zone B
_____ Zone C _____ Zone D

Elevation Information Ground Elevation at Site _____
Height of Structure _____
Top Elevation _____
Allowable Elevation _____

FAA Form 7460-1 Form Required _____ Yes _____ No
Date Submitted to FAA _____
Date of FAA Response _____
Response from FAA _____ Approved _____ Denied
FAA Comments _____

Permit Permit Approved _____
Permit Denied _____

Comments:

Any detention ponds must fully drain between rainfalls in accordance with AC 150/5200-33B

Detroit Metropolitan Wayne County Zoning Administrator Signature

Date: _____

Detroit Metropolitan Wayne County Zoning Administrator Name (Printed or Typed)



Mail Processing Center
Federal Aviation Administration
Southwest Regional Office
Obstruction Evaluation Group
10101 Hillwood Parkway
Fort Worth, TX 76177

Aeronautical Study No.
2021-AGL-12978-OE

Issued Date: 06/01/2021

Daniel Onifer
Crown Enterprises, Inc.
12225 Stephens
Warren, MI 48089

****DETERMINATION OF NO HAZARD TO AIR NAVIGATION FOR TEMPORARY STRUCTURE****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Construction Equipment Temporary concrete mix equipment
Location:	Ypsilanti Township, MI
Latitude:	42-13-49.00N NAD 83
Longitude:	83-33-33.00W
Heights:	718 feet site elevation (SE) 24 feet above ground level (AGL) 742 feet above mean sea level (AMSL)

This aeronautical study revealed that the temporary structure does not exceed obstruction standards and would not be a hazard to air navigation provided the condition(s), if any, in this letter is (are) met:

****SEE ATTACHMENT FOR ADDITIONAL CONDITION(S) OR INFORMATION****

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of a structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this temporary structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Aviation Administration Flight Procedures Office if the structure is subject to the issuance of a Notice To Airman (NOTAM).

If you have any questions, please contact our office at (847) 294-7458, or fred.souchet@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2021-AGL-12978-OE

Signature Control No: 480963714-483381080

(TMP)

Fred Souchet

Specialist

Additional Condition(s) or Information for ASN 2021-AGL-12978-OE

Proposal: To construct and/or operate a(n) Construction Equipment to a height of 24 feet above ground level, 742 feet above mean sea level.

Location: The structure will be located 1.39 nautical miles southwest of YIP Airport reference point.

Part 77 Obstruction Standard(s) Exceeded and Aeronautical Impacts, if any:

Aeronautical study revealed that the temporary structure will not exceed any Part 77 obstruction standard. Aeronautical study confirmed that the temporary structure will have no effect on any existing or proposed arrival, departure or en route instrument/visual flight rules (IFR/VFR) operations or procedures. Additionally, aeronautical study confirmed that the temporary structure will have no physical or electromagnetic effect on the operation of air navigation and communications facilities and will not impact any airspace and routes used by the military. Based on this aeronautical study, the FAA finds that the temporary structure will have no adverse effect on air navigation and will not impact any aeronautical operations or procedures.

Based on this aeronautical study, the structure would not constitute a substantial adverse effect on aeronautical operations or procedures because it will be temporary. The temporary structure would not be considered a hazard to air navigation provided all of the conditions specified in this determination are strictly met.

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

This determination expires on 12/01/2022 unless extended, revised, or terminated by the issuing office.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.



Mail Processing Center
Federal Aviation Administration
Southwest Regional Office
Obstruction Evaluation Group
10101 Hillwood Parkway
Fort Worth, TX 76177

Aeronautical Study No.
2021-AGL-12992-OE

Issued Date: 06/01/2021

Daniel Onifer
Crown Enterprises, Inc.
12225 Stephens
Warren, MI 48089

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Stack Concrete Plant Structure
Location:	Ypsilanti Township, MI
Latitude:	42-13-43.00N NAD 83
Longitude:	83-33-34.00W
Heights:	717 feet site elevation (SE) 95 feet above ground level (AGL) 812 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

This determination expires on 12/01/2022 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

If we can be of further assistance, please contact our office at (847) 294-7458, or fred.souchet@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2021-AGL-12992-OE.

Signature Control No: 480988217-483382362

Fred Souchet
Specialist

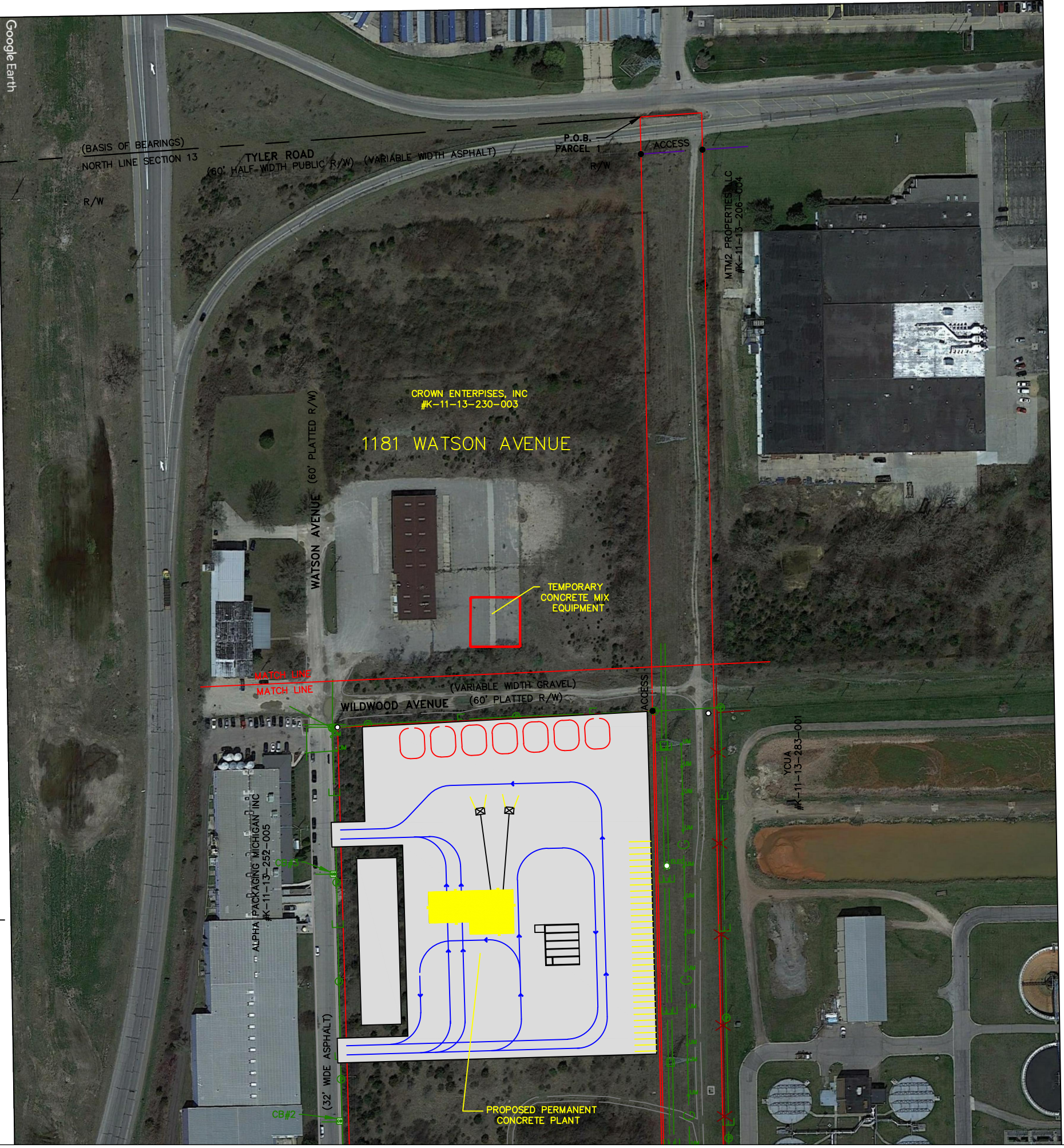
(DNE)

Attachment(s)

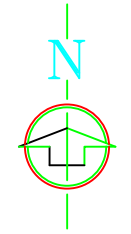
Map(s)

TOPO Map for ASN 2021-AGL-12992-OE





NW CORNER SECTION 13 T3S, R7E
P.O.C. PARCEL 1



PROPOSED CONCRETE PLANT WITH TEMPORARY CONCRETE MIX EQUIPMENT

PEA GROUP

7927 Nemco Way, Suite 115
Brighton, MI 48116

517.546.8583
peagroup.com

September 9, 2021
Project No: 2018-229

Mr. Jason Iacoangeli
Township Planning Director
Office of Community Standards
Charter Township of Ypsilanti
7200 S. Huron River Drive
Ypsilanti, MI 48197

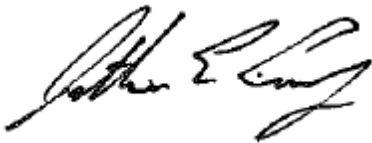
**RE: Conditional Rezoning & Preliminary Site Plan Extension
R + L Carriers
43 Emerick Street, Ypsilanti Township, MI**

Dear Mr. Iacoangeli:

On behalf of R+L Carriers, we are submitting this letter to request that the Planning Commission of the Charter Township of Ypsilanti grant a six-month extension of the Conditional Rezoning and Preliminary Site Plan approvals for R+L Carriers proposed expansion at 43 Emerick Street, 960 Minion Street, and 1441 Russell Street. The Project was originally approved for conditional rezoning and preliminary site plan on October 27, 2020.

Sincerely,

PEA Group



Jonathan E. Curry, PE
Sr. Project Manager

cc: Craig Kohring – R+L Carriers
Keith Pruett – R+L Carriers