

CHARTER TOWNSHIP
OF YPSILANTI
PLANNING COMMISSION

**SALLY RICHIE, CHAIR
BILL SINKULE, VICE CHAIR
LARRY KREIG, SECRETARY
ELIZABETH EL-ASSADI
MUDDASAR TAWAKKUL
STAN ELDRIDGE
LARRY DOE**

MAY 25, 2021

Regular Meeting – 6:30 p.m.

**Meeting being held via Zoom. Please go
to www.ytown.org for more information.**

CHARTER TOWNSHIP OF YPSILANTI

PLANNING COMMISSION

7200 S. Huron River Drive, Ypsilanti, MI 48197

REGULAR MEETING AGENDA

TUESDAY, MAY 25, 2021

6:30 P.M.

Due to the COVID-19 pandemic, Ypsilanti Township will be conducting this public meeting virtually pursuant to the State of Michigan Open Meetings Act.

To view and/or participate in the public meeting, please visit www.ytown.org.

To provide comments on the public hearing, or ask questions regarding business that will be considered at the meeting, please email planning@ytown.org or call 734-485-3943 by 3:00pm on the date of the meeting. Additionally, letters may be sent to Ypsilanti Township Planning Department, 7200 S. Huron River Dr., Ypsilanti, MI 48197.

If you need any assistance due to a disability please contact the Planning Department at least 48 hours in advance of the meeting at planning@ytown.org or 734-485-3943.

1. CALL TO ORDER
2. ROLL CALL
3. APPROVAL OF THE MARCH 23, 2021 and APRIL 27, 2021 REGULAR MEETING MINUTES
4. APPROVAL OF AGENDA
5. PUBLIC HEARINGS
 - A. **1327 HURON STREET K-11-16-360-001 – SPECIAL CONDITIONAL USE – ZIPPY AUTO WASH – TO CONSIDER A SPECIAL CONDITIONAL USE REQUEST TO CONSTRUCT AN AUTOMOBILE WASH ON A PARCEL ZONED B-3 (GENERAL BUSINESS).**
6. NEW BUSINESS
 - A. **1327 HURON STREET K-11-16-360-001 - FULL SITE PLAN – ZIPPY AUTO WASH – TO CONSIDER A REQUEST TO CONSTRUCT A 4,843 S.F. AUTOMOBILE WASH ON A PARCEL ZONED B-3 (GENERAL BUSINESS).**
7. OPEN DISCUSSION FOR ISSUES NOT ON THE AGENDA
 - A. CORRESPONDENCE RECEIVED
 - B. PLANNING COMMISSION MEMBERS
 - C. MEMBERS OF THE AUDIENCE

8. TOWNSHIP BOARD REPRESENTATIVE REPORT
9. ZONING BOARD OF APPEALS REPRESENTATIVE REPORT
10. TOWNSHIP ATTORNEY REPORT
11. PLANNING DEPARTMENT REPORT
12. OTHER BUSINESS
13. ADJOURNMENT

Please Note: This meeting is being recorded

CHARTER TOWNSHIP OF YPSILANTI

OFFICE OF COMMUNITY STANDARDS

Building Safety • Planning & Zoning • Ordinance Enforcement

Charter Township of Ypsilanti Public Meeting Notice Planning Commission Regular Meeting May 25, 2021 6:30pm

PLEASE TAKE NOTICE that the Charter Township of Ypsilanti Planning Commission will hold a Regular Meeting scheduled for May 25, 2021 at 6:30pm. This meeting will be conducted virtually (online and/or by phone), due to health concerns surrounding Coronavirus/COVID-19 pursuant to the State of Michigan Open Meetings Act.

Public comment will be handled by the “Raise Hand” method as instructed below within Participant Controls.

If you need any assistance due to a disability please contact the Planning Department at least 48 hours in advance of the meeting at planning@ytown.org or 734-485-3943.

Meeting Information:

When: May 25, 2021 06:30 PM Eastern Time (US and Canada)

Topic: Planning Commission Meeting - May 25, 2021

Please click the link below to join the webinar:

<https://ytown.zoom.us/j/93879364472>

Or One tap mobile :

US: +13126266799,,93879364472# or +19292056099,,93879364472#

Or Telephone:

Dial(for higher quality, dial a number based on your current location):

US: +1 312 626 6799 or +1 929 205 6099 or +1 301 715 8592 or +1 346 248 7799 or +1 669 900 6833 or +1 253 215 8782

Webinar ID: 938 7936 4472

International numbers available: <https://ytown.zoom.us/j/93879364472>

Zoom Instructions for Participants

To join the conference by phone:

1. On your phone, dial the teleconferencing number provided above.
2. Enter the Meeting ID number (also provided above) when prompted using your touch- tone (DTMF) keypad.

Before a videoconference:

1. You will need a computer, tablet, or smartphone with speaker or headphones. You will have the opportunity to check your audio immediately upon joining a meeting.
2. Details, phone numbers, and links to videoconference or conference call is provided below. The details include a link to “Join via computer” as well as phone numbers for a conference call option. It will also include the 9-digit Meeting ID.

To join the videoconference:

1. At the start time of your meeting, enter the link to join via computer. You may be instructed to download the Zoom application.
2. You have an opportunity to test your audio at this point by clicking on “Test Computer Audio.” Once you are satisfied that your audio works, click on “Join audio by computer.”

You may also join a meeting without the link by going to join.zoom.us on any browser and entering the Meeting ID provided.

If you are having trouble hearing the meeting, you can join via telephone while remaining on the video conference:

1. On your phone, dial the teleconferencing number.
2. Enter the Meeting ID number (also provided above) when prompted using your touch- tone (DTMF) keypad.
3. If you have already joined the meeting via computer, you will have the option to enter your 2- digit participant ID to be associated with your computer.

Participant controls in the lower left corner of the Zoom screen:



Using the icons in the lower left corner of the Zoom screen, you can:

- Mute/Unmute your microphone (far left)
- Turn on/off camera (“Start/Stop Video”)
- Invite other participants
- View Participant list – opens a pop-out screen that includes a “Raise Hand” icon that you may use to raise a virtual hand during Call to the Public
- Change your screen name that is seen in the participant list and video window
- Share your screen

Somewhere (usually upper right corner on your computer screen) on your Zoom screen you will also see a choice to toggle between “speaker” and “gallery” view. “Speaker view” shows the active speaker. “Gallery view” tiles all of the meeting participants.

If you have any further questions or concerns, please email or call the Planning Department at planning@ytown.org or 734-485-3943.

**CHARTER TOWNSHIP OF YPSILANTI
PLANNING COMMISSION
MINUTES OF THE MARCH 23, 2021 REGULAR MEETING**

Chair Sally Richie called the meeting to order at 6:30pm via Zoom due to COVID-19.

Commissioners Present: Chair Sally Richie, in Ypsilanti Township and Commissioners Gloria Peterson in Ypsilanti Township, Larry Doe in Ypsilanti Township, Bill Sinkule in Ypsilanti Township, Laurence Krieg in Ypsilanti Township, Elizabeth El-Assadi in Ypsilanti Township, and Muddasar Tawakkul at the Dallas Airport.

Commissioners Absent: None

Others in Attendance: Jason Iacoangeli, Planning Director; Belinda Kingsley, Planning & Development; Elliott Smith, OHM; Dennis McClain, Township Attorney; Brenda Stumbo, Township Supervisor; Michelle Towler, OCS Clerk; Audrey Stahrr, Township Resident; Fareed Mojaradi, Architect for Ypsilanti Tennis Club, Miodrag (Misha) Rakic, Property Owner 3160 W. Michigan Ave; Representative from Marriott-Kolbrook; Vince Carnes, Ypsilanti Township Resident.

1. CALL TO ORDER

2. ROLL CALL

3. APPROVAL OF THE FEBRUARY 9, 2021 REGULAR MEETING MINUTES

A motion was made by Commissioner Krieg, supported by Commissioner Sinkule to approve the Minutes of the February 9, 2021 Regular Meeting. The motion carried unanimously.

4. APPROVAL OF AGENDA

A motion was made by Commissioner Doe, supported by Commissioner Tawakkul to approve the agenda. The motion carried unanimously.

5. PUBLIC HEARINGS AND PLAN REVIEW

None

6. OLD BUSINESS

None

7. NEW BUSINESS

A. YPSILANTI TENNIS CLUB – 3160 W. MICHIGAN – FULL SITE PLAN – TO CONSIDER A FULL SITE PLAN FOR CONSTRUCTION OF A 39,700 S.F. TENNIS TRAINING FACILITY CONSISTING OF FIVE INDOOR AND SIX OUTDOOR TENNIS COURTS, ALONG WITH SUPPORT AREAS WITH LOCKERS, SHOWERS, SHOPS AND EXERCISE AREAS. LOCATED AT 3160 W. MICHIGAN AVE PARCEL K-11-18-340-001.

Jason Iacoangeli, Planning Director; stated that this site plan was a part of the conditional re-zoning of this property as part of this project. Property is zoned B3, General Business. It received its conditional rezoning from the Planning Commission and the Ypsilanti Township Board of Trustees.

Currently before the Planning Commission tonight is Approval for preliminary site plan and special land use approval after a Public Hearing for the use for outdoor recreation. Some of the things these folks in the staff report that you will see, have some issues that I'll let them speak to you on.

They have some Tree mitigation is looking to make a request with the Ypsilanti Townships Board of Trustee's based on the amount of tree's they're going to need to mitigate. The site is wood lot between I-94 and Michigan Avenue and the Pines of CloverLane on US-12. There is a substantial amount of tree's that will need to be mitigated and these folks are looking for relief on that portion of the Ordinance.

Also you have seen in the past, they are also asking for an Architectural Materials waiver, as the Planning Commission knows that the Planning Commission has the ability to waive the use of masonry material in lieu of other materials, for portions of the building that may not front on public roadways or because the expanse of the building length is considered extreme and it would be a detriment to the cost of building the building with that type of material for the sides that may not be seen by the public.

A condition of your approval Need to seek a variance for height, as this Tennis Facility's height will exceed the regular height allowed in the B3 district.

They have surveyed about 650 trees on that site that are 8 inches and above and 342 trees will be removed. In this instance there would be 100% tree replacement, so that is the portion of the Ordinance that they are looking to seek relief from.

Again these folks are going to need to get a waiver from the Planning Commission for building material, if you so choose or see that this is a hardship.

The Zoning Board of Appeals must approve the height variance, as it will exceed the B3 zoning standards.

Chair Richie asked if tree mitigation is supposed to be suggested by the Planning Commission, to the Board of Trustee's. Mr. Iacoangeli stated that the Planning Commission can recommend that the Board of Trustee's approve the waiver.

Commissioner Sinkule asked of Mr. Iacoangeli, regarding the building materials waiver and north and east side, visible sides of the building both of which are pretty visible. And

that is pretty concerning to me. He stated that he would like to see the building look good from the road.

Chair Richie asked if there are plans showing how the building would look from the highway side.

Fareed Mojaradi, Architect for project, stated that they don't have drawings showing the road side of the building. The elevations indicate that the brick is about 3 or so feet and we have extensive brick in the front and the back is all wooded. In the winter months the panel can be seen from the highway. We were told we could seek a waiver and generally speaking these buildings are all entirely metal except partially the front. A lot of brick would cost a lot of money.

Mr. Iacoangeli asked the Planning Commission to look at sheet L4, the nature preserve that will be kept in place, really wraps around the north side of the building and the Tennis Courts would be next to that and there is a small section where Commissioner Krieg isn't concerned about the appearance of it
Commissioner Doe stated Styrofoam was used at the Hampton, maybe this would be something that can be used.

Chair Richie isn't concerned with the look of it either. Because it will only be seen from the I-94 exit ramp.

Commissioner Tawakkul is good with the materials being requested.

Mr. Iacoangeli stated that the Special Land Use that these folks are looking to seek is for outdoor recreation which is a special land use in the B3 district. This is in support of the 6 outdoor tennis courts that will be at the side of this facility.

The public hearing opened at 6:47pm

Vince Carnes, Ypsilanti Township resident, residing at 4785 Munger Rd. What is the waiver for the height? Is that part of the Township decision? Or just the look of the building? What is the standard height for the building?

Mr. Mojaradi stated the Township Zoning maximizes the height of sports facilities to 25ft, however tournament tennis requires 37ft height at the midpoint. The PO will definitely have tournaments at this facility, so they would need the 37ft otherwise they wouldn't be able to construct this facility.

Mr. Carnes asked what the maximum height of the facility would be?

Mr. Mojaradi stated that the height would be just over 37ft to include the proper building materials.

Mr. Carnes asked if there was any consideration to the impact on Traffic flow.

Mr. Iacoangeli stated that the applicants have as a part of this overall plan and development had to submit Traffic Impact studies, looking at the traffic impact this particular facility would have on the surrounding area and the traffic impact study came back saying that the Tennis Facility will not create any more traffic than a regular shopping plaza. The hours the Tennis Facility would be utilized would be off-peak. MDOT already approved the Tennis Facility's permit.

Mr. Carnes asked what the Tennis Facility's hours would be, Mr. Rakic, owner of the proposed Tennis Facility, replied 7am-9pm.

Mr. Carnes asked if Mr. Rakic owns other Tennis Facilities, Mr. Rakic stated that he does not, but his brother does own the Ann Arbor Tennis Facility. ATP has created standards for the size of its tournament facilities. This proposed facility would not exceed that size.

Further discussion regarding the traffic in the area of the proposed facility occurred. The questions were already asked and answered above.

Chair Richie asked what kind of tournaments will be played at the facility.

Mr. Rakic stated that all types of tournaments will be played at the facility, from kids 10 & under to Adults. There wouldn't be a limit to the type of tournament that could be played at the facility but Mr. Rakic doubt's that there will be any Professional tournaments.

The public hearing closed at 6:56pm

Commissioner El-Assadi asked about lighting and security. Is there any lighting on the outside of the building besides the lighting on the tennis courts? Is there any kind of security or cameras?

Mr. Iacoangeli stated their lighting plan has a total of 48 light fixtures on site; 28 are pole parking lot lights, and drive aisle lights; 12 are building lights; 8 pole lights for the outdoor tennis courts. The plan has not discussed security cameras.

Commissioner Sinkule asked again if there is a security camera system outside. Mr. Iacoangeli stated that the plan doesn't have security cameras yet.

Commissioner Krieg stated that security cameras have been a requirement for about the last 5 or 10 years. The township requests businesses install high definition security cameras and 45 day storage capability to be shared with law enforcement, if requested. Is that a condition that the PO can meet? Can the video be shared with Law Enforcement?

The Property Owner, Mr. Rakic stated that he is very open to installing security cameras and is also willing to provide footage to law enforcement if needed.

A motion was made by Commissioner Sinkule, supported by Commissioner El-Assadi, to approve the request for Special Land Use permit for Ypsilanti Tennis Facility an outdoor recreational use located at 3160 W. Michigan parcel K-11-18-340-001 with the following conditions;

- 1. Applicant shall address remaining review comments from consultants, agencies, departments.**
- 2. Variance for building height to be considered and approved by Ypsilanti Township Zoning Board of Appeals to accommodate the additional height of the Tennis Facility.**
- 3. A waiver for the trees is granted by the Township Board of Trustee's or the Applicant will pay into the Township's Tree Fund or provide the required tree's on-site per Ordinance standards.**
- 4. Applicant will obtain all applicable agency permits.**
- 5. Applicant shall obtain on-site security camera system with a 45 day window to be reviewable by law enforcement.**

**Sinkule: Yes Krieg: Yes Doe: Yes El-Assadi: Yes Richie: Yes
Tawakkul: Yes Peterson: Yes**

A motion was made by Commissioner Krieg, supported by Commissioner El-Assadi, to approve Preliminary Site Plan for Ypsilanti Tennis Facility an outdoor recreational use located at 3160 W. Michigan parcel K-11-18-340-001 with the following conditions;

- 1. Applicant shall address remaining review comments from consultants, agencies, departments.**
- 2. Variance for building height to be considered and approved by Ypsilanti Township Zoning Board of Appeals to accommodate the additional height of the Tennis Facility.**
- 3. A waiver for the trees is granted by the Township Board of Trustee's or the Applicant will pay into the Township's Tree Fund or provide the required tree's on-site per Ordinance standards.**
- 4. Building materials shall be allowed to deviate from the standards of section 2125, as the proposed architecture of the building meets the spirit of the ordinance.**
- 5. Applicant will obtain all applicable agency permits.**
- 6. Applicant shall obtain on-site security camera system with a 45 day window to be reviewable by law enforcement.**

**Sinkule: Yes Krieg: Yes Doe: Yes El-Assadi: Yes Richie: Yes
Tawakkul: Yes Peterson: Yes**

**B. ANN ARBOR MARIOTT – PROPOSED BANQUET FACILITY – 1275 S. HURON ST. – TO CONSIDER A SKETCH SITE PLAN TO CONSTRUCT A ONE-STORY 4,970 S.F. BANQUET FACILITY ON A SLAB ADJACENT TO THE HOTEL.
LOCATED AT 1275 S. HURON ST. PARCEL K-11-38-150-007**

Mr. Iacoangeli, Planning Director, this is a project that is being done by Kolbrook Design on behalf of the Marriott. The Marriott has been utilizing a large commercial grade tent space for outdoor events, the last handful of years. What this project is attempting to do is to replace that space with a permanent building that can be used for weddings, gatherings, etc. We've required them to get sketch plan approval which requires your approval through site plan, really the location has already been set. A lot of the infrastructure as far as restrooms, sidewalks, and landscaping are already there. A few of the issues that will need to be addressed as a part of this project is the relocation of a fire hydrant to satisfy the Fire Marshall as well as providing some engineering drawings that basically prove the engineering feasibility of the access road that wraps around the side of the hotel back to this facility, in the event that it ever needs to be utilized by the fire department. We believe that they have demonstrated in their sketch plan the site plan. All of the bones of a site plan are here and we can work with the applicants to get the fire hydrant relocated to meet the concerns of the Fire Marshall and Township Engineer as well as to have them demonstrate the engineering feasibility for the access road. Mr. Iacoangeli asked Elliott Smith from OHM, Ypsilanti Townships Engineering firm to speak on this.

Elliott Smith, Engineer at OHM, stated the existing tent is on a concrete slab that is going to be removed and re-engineered for a permanent structure. It will be Fire Suppressed, and currently the big comment in our letter is comment #5. Comment #5 states part of the engineering standards requires that all hydrants cover 250 feet and enclose all building corners, currently that is not happening. The applicant has noted that during detailed engineering that they are more than willing to accommodate that. They can do that one of two ways; they can either extend the southern hydrant, move it more north towards the building; or they can do a loop system. But as far as site circulation for the sketch site plan review they are not adding any additional impervious surface, they are not adding any sidewalks, and nothing has influenced the ADA. Everything is really staying in place except for the existing concrete slab where the tent is at. We would recommend that the Planning Commission consider this and that any other outlying deficiencies can be addressed or in-detailed.

Chair Richie asked Mr. Iacoangeli if this would come back to the Planning Commission, and Mr. Iacoangeli stated that it would next go to the Administrative Final Site Plan and Engineering review stage and then after that they would be ready for a pre-construction meeting. Then they would proceed with Building Permit applications. Chair Richie asked if they are just to approve the concept of the Site Plan, and everything else will be worked out by the Planning/Building departments at Ypsilanti Township. Mr. Iacoangeli stated that between OHM and himself that they have committed to working out the remaining issues,

and nothing is really moving. The site is what it is, they are just going to be making a permanent building where there was once a temporary structure.

A motion was made by Commissioner Sinkule, supported by Commissioner Doe to approve the request for sketch site plan to construct a one story 4,970 S.F. BANQUET FACILITY ON A SLAB ADJACENT TO THE HOTEL.

LOCATED AT 1275 S. HURON ST. PARCEL K-11-38-150-007 with the following conditions;

- 1. Applicant shall address remaining review comments from consultants, agencies, departments.**
- 2. Applicant will obtain all applicable agency permits.**
- 3. Applicant will supply a set of detailed engineering plans satisfying the conditions of the Planning Department.**

Sinkule: Yes

Krieg: Yes

Doe: Yes

El-Assadi: Yes

Richie: Yes

Tawakkul: Yes

Peterson: Yes

C. 2020 PLANNING COMMISSION REPORT TO THE BOARD – TO CONSIDER SUBMITTING TO THE TOWNSHIP BOARD OF TRUSTEES THE PROVIDED 2020 PLANNING COMMISSION REPORT PURSUANT TO SECTION 19(2) OF THE MICHIGAN PLANNING ENABLING ACT, PA 33 OF 2008 AND SECTION 3C OF THE ADOPTED PLANNING COMMISSION BY-LAWS

Belinda Kingsley, Planning and Development stated, this is a report of what activities were undertaken last year, Calendar year 2020 by the Planning Commission. There were 10 meetings, 15 action items, and that was down a little bit from 2019 because of COVID and everything else was down a little bit. The 2nd page is the action summary that gives you the breakdown for each of the individual meetings and shows which meetings were cancelled. There is the full list of meeting dates for 2020. The last page is an attendance sheet that shows who was at each of the meetings and their attendance percentages at the end. The changes were that Jason resigned from the Planning Commission in order to take his current position at Ypsilanti Township. Elizabeth El-Assadi was appointed in the end of January to replace him. As was mentioned this will be forwarded to the Board of Trustee's.

8. OPEN DISCUSSION FOR ISSUES NOT ON THE AGENDA

A. CORRESPONDENCE RECEIVED

None

B. PLANNING COMMISSION MEMBERS

Commissioner Krieg stated that the Planning Commission Meeting minutes are beginning to look more appropriate.

(Thank you!! 😊)

C. MEMBERS OF THE AUDIENCE

None

9. TOWNSHIP BOARD REPRESENTATIVE REPORT

Commissioner Peterson stated on March 16th the 2nd reading of the Ordinance extending the time period on the prohibition of recreational marijuana establishments in Ypsilanti Township, we extended that for another year due to COVID.

Also, during the March 16th Board of Trustee's meeting, the proposed mileage is in the package to view. The Board will be taking a vote at the next meeting. Also to prepare the language to go to the county by the 27th and hopefully to be on the August 3rd ballot.

The Township is open now, also yard waste pickup begins on the 5th. Compost is open Monday through Saturday, there is no brush pickup. However, bundling's can be put out to the curb every week for pick up.

We have a couple of vacancies in employment, Clerk in the Court, an Ordinance Assistant job, Assistant Golf Pro job, and a Clerk III.

COVID-19 shots pop up's for 16 & up go to Washtenaw County Health Department to sign up.

Applied for a Grant for Clubview Tennis Courts, and we are working on Loonfeather Park. US12 improvements are out for bids.

Thursday, March 25th will be the last day for the free face mask give away at Ford Lake Park Ranger House between 10am and 2pm.

10. ZONING BOARD OF APPEALS REPRESENTATIVE REPORT

None

11. TOWNSHIP ATTORNEY REPORT

None

12. PLANNING DEPARTMENT REPORT

Mr. Iacoangeli stated the Planning Department is ramping up. Anticipate another April meeting with a pretty full agenda as well.

Commissioner Sinkule asked when the Planning Commission meetings would start up in person again.

Supervisor Stumbo spoke and stated that she does want to meet in person but the Washtenaw County Health Department declared a public emergency, so we cannot meet in person until that is lifted.

13. OTHER BUSINESS

None

A motion was made by Commissioner El-Assadi, supported by Commissioner Krieg to adjourn the meeting. The motion carried unanimously.

The meeting was adjourned at approximately 7:25pm

**CHARTER TOWNSHIP OF YPSILANTI
PLANNING COMMISSION
MINUTES OF THE APRIL 27, 2021 REGULAR MEETING**

Chair Sally Richie called the meeting to order at 6:30pm via Zoom due to COVID-19.

Commissioners Present: Chair Sally Richie in Ypsilanti Township and Commissioners Elizabeth El-Assadi in Farmington, Larry Doe in Ypsilanti Township, Bill Sinkule in Ypsilanti Township, Laurence Krieg in Ypsilanti Township, Gloria Peterson in Ypsilanti Township, and Muddasar Tawakkul driving through Dearborn.

Commissioners Absent: None

Others in Attendance: Jason Iacoangeli, Planning Director; Belinda Kingsley, Planning & Development; Elliott Smith, OHM; Dennis McClain, Township Attorney; Michelle Towler, OCS Clerk; Ardis Lewis, Tenant of 3011 E. Michigan Ave; Nick Talmes, Property Owner of 3011 E. Michigan Ave; Ken Moreland, Architect for 3011 E. Michigan Ave; Audrey Staher, Ypsilanti Township Resident.

1. CALL TO ORDER

2. ROLL CALL

3. APPROVAL OF THE MARCH 23, 2021 REGULAR MEETING MINUTES

The meeting minutes for the March 23, 2021 weren't complete at the time of this meeting, they will be approved at the next Planning Commission meeting.

4. APPROVAL OF AGENDA

A motion was made by Commissioner Krieg, supported by Commissioner Sinkule to approve the agenda. The motion carried unanimously.

5. PUBLIC HEARINGS AND PLAN REVIEW

None

6. OLD BUSINESS

None

7. NEW BUSINESS

- A. 3011 EAST MICHIGAN AVE. K-11-01-430-003 SKETCH PLAN - PRIVATE CLUB MEN LIKE US – TO CONSIDER A SKETCH PLAN FOR A THE REUSE OF AN EXISTING 5,400**

SQUARE FOOT BUILDING AT 3011 EAST MICHIGAN AVE FOR PRIVATE CLUB A
PERMITTED USE IN THE B-3 GENERAL BUSINESS DISTRICT.

Jason Iacoangeli, Planning Director, stated this is a sketch plan review for a private club which is a permitted use in the B3 general business district. The private club is called "Men Like Us." This building is located at 3011 E. Michigan Ave and the plans were sent out for review and had some review comments come back, particularly from the Carlisle-Wortman associates and OHM engineering. YCUA had no comments due to the fact that this is an existing building. This building was a restaurant and a carpet store previously. The Fire Department reviewed the plan as well and had no comments. They aren't proposing to do any work in the right away for Michigan Avenue, so MDOT had no comments. However, in reviewing this there were some comments on behalf of CW with regard to the plan that was submitted. Their recommendations were approval with the subject conditions to confirm that the applicant of removing a portion of the asphalt adjacent to the north and south sides of the existing building. Providing a lighting plan pursuant to section 2010 for site lighting and providing landscaping according to section 2108. Since the letter was written, the applicants have revised their plans to address most of these remaining issues called out by CW including some landscaping to be provided around the perimeter of the building also some additional landscaping both on the Holmes Road frontage and Michigan Avenue frontage which is consistent with the Townships Ordinance. Some of the other items that they are doing in order to bring the building into compliance, providing the necessary barrier free spaces in the front of the building as well as a new dumpster enclosure. This business doesn't have an existing dumpster enclosure, with building material that would match the building.

Elliott Smith, OHM stated that the letter in the Planning Commission packet from OHM dated April 6, 21, did not recommend approval at that time. April 15th the Applicant re-submitted and all of the comments in the letter from April 6th had been addressed, and now OHM would recommend approval. A few caveat's of recommendations for the Applicant, they are putting the dumpster enclosure on asphalt typically we like to see it on concrete with a little pad extended it's not a requirement but it definitely extends the life of the enclosure.

We would recommend this from an engineering standpoint.

Chair Richie asked if the lighting was addressed.

Mr. Iacoangeli stated, no it was not. Any approvals that the Planning Commission might have would likely be subject to some of the conditions that are provided in the Staff Report. We are recommending that any approval be conditioned to include a landscaping plan and a lighting plan, as well as;

1. Applicant shall address remaining review comments from consultants, agencies, departments.
2. Applicant will obtain all applicable agency permits.

3. Applicant shall obtain on-site security camera system with a 45 day window to be reviewable by law enforcement.

Commissioners questions regarding this project.

Commissioner El-Assadi asked about hours of operation, number of members?

Commissioner Krieg asked if they will be preparing meals at their facility.

Commissioner Doe asked how the group is funded.

Commissioner Peterson asked if private events are allowed, if so during what hours. Weddings?

Who will they be renting to?

Commissioner El-Assadi private rentals for only members or others?

Commissioner Sinkule asked what type of community events and philanthropic fundraising type of events?

Chair Richie asked Mr. McClain would they be able to get a temporary permit to serve liquor.

Dennis McClain, Township Attorney, stated private clubs are regulated by the liquor control commission as far as their liquor usage and if they have events.

Commissioner Tawakkul is wondering the intent of this organization. The plans state it is for mentoring and it now appears as if events will be held there.

Commissioner Krieg asked if the asphalt to the North & South is required to be removed or do we want to know what their plans are?

Commissioner Peterson what would the age group be for mentoring? Is there an educational program too?

Chair Richie asked if concrete can be used for the dumpster enclosure.

Ardis Lewis, Tenant of 3011 E. Michigan Ave. stated that would not be a problem.

Chair Richie asked for plans for the club and what they plan on doing.

Mr. Lewis, stated that they live locally in the Ypsilanti Community, the group is age 40 and up, they are grown men. Some of our brothers are married. We decided to come together to try and be a good force in the neighborhood/community. We have participated in community cleanup in the Parkridge neighborhood, with the Mayor of Ypsilanti. We were involved in a "Stop the Violence" rally this past weekend. We want to put together a group of men that are like-minded to be able to offer growth and development for young men in the community, because right now we don't have a lot of positive black males doing something in the neighborhood. We want to be a positive influence. As far as the mentoring, we will have speakers come in to mentor kids as far as teaching them pipe-fitting skills, or electrical skills. As far as weddings, only the 16 brothers that are members of the club would be allowed to utilize the club. They will not be renting the property out. They would like to be able to network with like-minded people.

Chair Richie asked what would be the age group of the kids that would be mentored. Where would the group's community events be held? What would be the hours at the club?

Mr. Lewis stated primarily teenagers would be the group they are mentoring. The group is made up of professional business men that all have something to give back to the community and would like to use this club to do so. They won't be using the kitchen at this time. Their events could be held in at the club, in their parking lot, or within the community. The hours aren't really set, but there could be someone at the club any time between 10am and 11pm.

Chair Richie asked where does the groups funding come from.

Mr. Lewis stated that the members pay dues and fundraising, accept donations

Commissioner Peterson is all for mentoring. She asked if they have a platform, what is your agenda for these men and what are they going to do this year.

Mr. Lewis is putting together plans like this. Teaching young men basic skills.

Commissioner Peterson asked if there would be a fee to attend.

Mr. Lewis stated that all programs are sponsored and free.

Commissioner Peterson would like to know if there was a lease submitted to the Township.

Mr. Lewis stated that yes, there was.

Commissioner El-Assadi asked if there was a membership fee, and application. What is the process to join? Is there insurance on the property?

Mr. Lewis stated that there is an application to join the club and a potential new member would go through an interview process with their Board of 5.

Mr. Lewis stated that there was a million dollar insurance policy on the property, under the non-profit.

Commissioner Tawakkul asked if they have thought about partnering Washtenaw My Brother's Keeper program. How are you selecting the kids? Once the non-profit is established, will most of your programs be run through that?

Mr. Lewis stated he would like to discuss this further with Mr. Tawakkul. We are starting with kids from the neighborhood and urban areas in Ypsilanti. Yes, once the non-profit is established all of their programs will be run as a part of that.

Commissioner Peterson asked what other events will be included in the lease?

Mr. Lewis stated that the Ordinance states that the property is approved for public assembly.

Commissioner Krieg stated that the community does need things like this. He'd like to thank Mr. Lewis for the initiative he's taking, and wish him the best.

A motion was made by Commissioner Sinkule, supported by Commissioner Doe to approve the request for a Sketch Site Plan for the "Men Like Us" private club located at 3011 EAST MICHIGAN AVE. K-11-01-430-003 with the following conditions;

- 1. Applicant shall address remaining review comments from consultants, agencies, departments, including the lighting plan and OHM.**
- 2. Applicant shall obtain on-site security camera system with a 45 day window to be reviewable by law enforcement.**
- 3. Applicant will obtain all applicable agency permits.**

The motion carried as follows;

Sinkule: Yes Krieg: Yes Doe: Yes El-Assadi: Yes Richie: Yes
Tawakkul: Yes Eldridge: Yes

B. 2020 PLANNING COMMISSION REPORT TO THE BOARD – TO CONSIDER SUBMITTING TO THE TOWNSHIP BOARD OF TRUSTEES THE PROVIDED 2020 PLANNING COMMISSION REPORT PURSUANT TO SECTION 19(2) OF THE MICHIGAN PLANNING ENABLING ACT, PA 33 OF 2008 AND SECTION 3C OF THE ADOPTED PLANNING COMMISSION BY-LAWS.

A motion was made by Commissioner Krieg, supported by Commissioner El-Assadi to approve the report prepared for the Board of Trustee's outlining the work of the Planning Commission for 2020. The motion carried unanimously.

The motion carried unanimously.

8. OPEN DISCUSSION FOR ISSUES NOT ON THE AGENDA

A. CORRESPONDENCE RECEIVED

None

B. PLANNING COMMISSION MEMBERS

Chair Richie appreciated how the Commissioners used the raise your hand function, for this meeting.

C. MEMBERS OF THE AUDIENCE

None

9. TOWNSHIP BOARD REPRESENTATIVE REPORT

None

10. ZONING BOARD OF APPEALS REPRESENTATIVE REPORT

None

11. TOWNSHIP ATTORNEY REPORT

None

12. PLANNING DEPARTMENT REPORT

Nothing at this time.

13. OTHER BUSINESS

Commissioner Krieg asked for a standard set of requests for the Security Camera usage. Can the Planning Dept work with Mr. McClain to make sure the language doesn't state that the security cameras are required, just requested.

Commissioner Peterson asked if the Crazy Krab is open. Yes

Commissioner Tawakkul the security camera requirement is not enforceable by law. Chair Richie asked about chickens and gardens.

Mr. Iacoangeil stated that the Planning Department is working on revising the Zoning laws in Ypsilanti Township, they are about 75-80% done, and they are now working with the Townships elected officials on the map changes.

There will be discussion in future Planning Commission meetings regarding the updating of some Ordinance's especially regarding Agriculture and chickens.

A motion was made by Commissioner Peterson, supported by Commissioner El-Assadi to adjourn the meeting. The motion carried unanimously.

The meeting was adjourned at approximately 7:13pm

Via E-Mail

May 24, 2021

Charter Township of Ypsilanti
Attn. Planning Commission
7200 South Huron Drive
Ypsilanti, Michigan 48198
planning@ytown.org

***Re: Opposition to Special Conditional Use and Site Plan Approval Application
1327 Huron Street K-11-16-360-001 – Proposed Zippy Auto Wash (the “Application”)***

Dear Commissioners,

Our Firm represents MFS Ypsilanti Holdings, LLC (“MFS”). MFS owns and operates the Marriott Hotel and Conference Center at Eagle Crest which is located at 1275 S. Huron Street, Ypsilanti, Michigan (the “Hotel”). As discussed herein, the Application does not satisfy the requirements to the Charter Township of Ypsilanti’s Zoning Ordinance (the “Ordinance”) and would have detrimental (if not devastating) impacts on surrounding properties. As such, we urge the Planning Commission to deny the Application.

Background

The Applicant is proposing a large commercial at the corner of Huron Street and James L. Hart Drive (the “Car Wash”). The Car Wash would be approximately 4,850 square feet, include exterior vacuum stations, automatic pay stations, outdoor parking and long traffic stacking lanes.

The corner of Huron Street and James L. Hart Drive serves as the entry to the Hotel and Eagle Crest Golf Club. The entry area serves as a transition from the traffic and activity of Huron Street and the I-94 interchange to the serene and natural experience of the Hotel, Golf Club, conference center and Ford Lake. If established, the large Car Wash would dominate the area and shatter the existing entry experience and transition to Ford Lake. It would inject vehicle traffic and emissions and a prominent commercial building into a formerly tranquil and natural environment.

The encroachment of intense commercial activity into the entry and transition area would have detrimental and potentially devastating impacts on the Hotel, conference center and Golf Club. The area has long served as a convenient retreat from intense commercial areas and as a primary source of attraction to the Township. The Hotel, conference center and Golf Club rely on their natural and placid environments to attract visitors and patrons. The erosion of the natural experience the businesses provide would threaten their long-term viability and the jobs they provide for the community.

The Township Staff and the Township Planning Consultant recognized these impacts and issued reports that **recommend denial** of the Application. Similarly, the Ann Arbor/Ypsilanti Regional Chamber of Commerce and the Convention and Visitors Bureau also oppose the Application. Given the impacts and the high stakes for the area, it is no surprise that the Application does not satisfy the requirements of the Ordinance. For all of these reasons, the Application should be denied.

May 24, 2021

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**The Application Does Not Satisfy All of the Requirements of the Ordinance
and Should be Denied**

Section 2119.5 of the Ordinance sets forth the requirements for approval of a special land use. All of the required standards must be satisfied for the Planning Commission to approve a special land use application. The required standards are:

- a. Will be harmonious, and in accordance with the objectives, intent and purpose of the Ordinance;
- b. Will be compatible with a natural environment and existing and future land uses in the vicinity;
- c. Will be compatible with township master plans;
- d. Will be served by essential public facilities and services;
- e. Will not be detrimental, hazardous or disturbing to existing or future neighboring uses, persons, property, or the public welfare; and
- f. Will not create additional requirements at public costs for public facilities and services.

As discussed below the Application does **not** satisfy standards a., b., c., and e. and must be denied.

The Car Wash is Not Compatible with the Township Master Plans

Standard c. requires that the proposed use be compatible with Township Master Plans. It is a clear and objective requirement – and it is not satisfied.

As described in detail in the Township Staff Report dated May 4, 2021 (the “**Staff Report**”) and the Preliminary Site Plan and Special Use Review prepared by Carlisle Wortman dated March 24, 2021 (the “**Consultant Report**”), the Car Wash is **not** compatible with the Township Master Plans. The Reports clearly and objectively indicate that this essential requirement is not satisfied, stating in part:

“On its face an automobile use is not consistent with the Master Plan. Additional automobile uses were not the intent nor an envisioned use of this area. Additional automobile oriented uses could . . . hinder overall development of the corridor as envisioned in the Master Plan.” Consultant Report, P.4 (Emphasis added)

“The location of an automobile car wash at the corner is **not** consistent with the existing uses on the east side of S. Huron, with the Marriott and Eagle Crest Golf Course, nor is it consistent with any future uses as envisioned in the 2040 Master Plan.” Staff Report, P.3.

The failure of the proposed Car Wash to be compatible with the Township Master Plan (and actually hindering the objectives of the Master Plan) mandates denial of the Application. **The standard is required, must be satisfied and it is not.** As such, the Application should be denied on this basis standing alone.

May 24, 2021

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**The Car Wash Will Not Be Harmonious with the Objectives of the Ordinance;
Will Not Be Compatible with Existing and Future Land Uses; and
Will Be Detrimental to Existing and Future Neighboring Uses**

Standards a. b. and e. require compatibility with existing and future uses and furthering the objectives of the Ordinance. The Application fails to satisfy any of these requirements and must be denied.

As discussed above, the area serves as a gateway to the Township from I-94 and as entry area for the Hotel, golf club and recreational areas therein. It is intended to be developed with natural, recreational and less intense (and lower volume) uses than the Car Wash. The size, scale and intensity of the Car Wash would dominate, disrupt and forever damage the area.

If the Car Wash is established in the proposed location, it would become the “front door” to the Hotel, conference and Golf Club and would have detrimental (and potentially devastating) impacts on them. The neighboring uses rely on their natural, serene and comparatively calm environments to attract patrons to their businesses and to promote the community. A large, intense and high volume commercial car wash would shatter the existing environment and diminish the most important qualities of the neighboring businesses. Over time, the presence of the Car Wash in the heart of what was formerly a placid environment, could have devastating impacts on the businesses, the jobs they provide and the important contributions they provide to the Township.

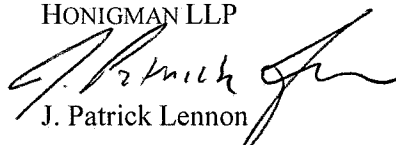
As such, the requirements of Standards a., b. and e. are not satisfied and the Application should be denied on any or all of those grounds.

Conclusion

As discussed herein, the Application fails to satisfy the requirements set forth in the Ordinance and would have detrimental (if not devastating) impacts on neighboring properties and the area. As such, the Application should be denied.

Very truly yours,

HONIGMAN LLP



J. Patrick Lennon

cc: Steven Hurowitz
Jamie Vecchioni



May 20, 2021

Charter Township of Ypsilanti
Planning Commission
7200 South Huron Drive
Ypsilanti, MI 48198

Dear Commissioners:

We urge you to fully consider the impact of placing a car wash facility in front of the Ann Arbor Marriott Ypsilanti at Eagle Crest property on Huron Street in Ypsilanti Township. As it is currently sited, this property, with both its golf course and the hotel building, serve as a welcoming and dignified entry way into the greater Ypsilanti area. Ford Lake serves as a wonderful backdrop to the property, and the combination of the golf course and hotel property convey the appearance of a resort.

As we compete in a globalized world, it is vital to attract and retain talented employees. It is also important to continue to excel in attracting individual and group visitors to our community for conventions, gatherings, and vacations. The physical appearance of community entry points, such as Eagle Crest, serve as powerful tools to remind visitors and residents as to why they find the community so special. For any company seeking to relocate to the Ypsilanti area, this site sends a strong message in favor of that decision. We hope you will make the decision to amplify the benefit of the Marriott site by ensuring it remains an attractive entry way to our community.

Thank you for your attention to correspondence. If you have any questions regarding this issue or anything else, please do not hesitate to contact me at (734) 214-0101.

Sincerely,

Diane Keller

A handwritten signature in black ink that reads "Diane Keller". The signature is written in a cursive, flowing style.

President & CEO
Ann Arbor/Ypsilanti Regional Chamber



May 20, 2021

Dear Ypsilanti Township Planning Commission,

We are writing this letter to communicate our organization's opposition to the possible development of a car wash being built on a vacant parcel adjacent to the Ann Arbor Marriott Ypsilanti at Eagle Crest and its golf course.

We are concerned with how a car wash will affect the aesthetics of this serene, pristine area. We feel this would, in turn, serve as deterrent for future bookings for Eagle Crest - a true destination for conferences, weddings, golf events and sports business to our region. In the experience of Destination Ann Arbor's Sports Commission this location and its unique, surrounding beauty has proven vital for attracting top sporting events on a local, regional and national scale, including the NAIA Women's Golf National Championship.

We understand not all vacant land can necessarily remain as such forever and that development on that property would bring new tax revenue to the Township. But at what cost? As long-time purveyors of developments that make sense for the region we are also proponents of placing entities appropriate and complementary to a particular area or community - in this case, one with a long-standing resort tradition that embraces nature, leisure and relaxation.

A car wash at this location (in particular with one already existing nearby) would prove detrimental and cause harm to this area and our region for all of the reasons stated above. We ask you and your colleagues to do what is best for the community at large as well as the successful, long-time operators of the business(es) adjacent to this property whose work has benefited our area for decades. Let's not damage what is a nationally recognized crown jewel - for Ypsilanti Township and its surroundings.

Sincerely,

A handwritten signature in black ink, appearing to read "Mary Kerr", written in a cursive style.

Mary Kerr
President & CEO
Destination Ann Arbor



Catholic Renewal & Evangelization

May 21, 2021

Charter Township of Ypsilanti
Planning Commission
7200 S. Huron River Drive
Ypsilanti, MI 48197

Dear Sir or Madam,

I am writing as a long-time and repeat customer of the Ypsilanti Marriott at Eagle Crest Resort located in your community at 1275 S. Huron Street. Our organization has held a major annual event at this premier facility for each of the past ten years. The guests who attend our event from throughout the United States and Canada consistently give the facility very high marks for the high quality of the hotel and services, but also for the tranquil setting, the beautiful grounds and the overall aesthetic. They are also always pleasantly surprised to find such a high-caliber facility located right off of the highway! It truly is a treasure.

We are concerned that locating a car wash at or near the entrance to the resort/hotel will disrupt the overall pleasant experience that participants enjoy when they attend events at the Ypsilanti Marriott at Eagle Crest.

We believe that moving forward with the current scenario of the Zippy's Car Wash would negatively impact the appeal of this attractive amenity in your community.

It is our hope that a solution that works for both entities and maintains the high quality, easy access, and aesthetic of the Ypsilanti Marriott property can be found.

Thank you.

Kathleen Kittle
Missions & Conferences Director
Renewal Ministries

May 24, 2021

Dear Members of the Planning Commission,

The employees at the Ann Arbor Marriott Ypsilanti at Eagle Crest oppose the proposed project of a Zippy's Car Wash, adjacent to the hotel and golf course, located at the main entrance.

The last year and a half has not been an easy road for the hospitality industry and its employees. Everyone is eager for hotel business to come back in the coming months and have a sense of "normalcy". The investments our owners continue to put into the hotel are making the property more and more attractive to businesses, groups and events and most importantly, employment. As we prepare to host groups again at the Marriott Eagle Crest, we feel the car wash will negatively impact our business,

As the car wash looks like a very thought out plan and business opportunity, we strongly oppose it to be located on 1327 Huron Street, next to the Marriott hotel and Eagle Crest Golf Course. It does not fit into the overall aesthetic of the land and the destination feel the hotel is trying to achieve. This would be detrimental to the neighboring sites as it will dominate the entry and cause traffic issues. It would also lose its sense of tranquility and calmness as you enter into the property. This will be viewed poorly by our customers.

Additionally, the car wash could potentially have a devastating impact on our jobs that we have been loyal to for so many years.

We are very proud of our work at the hotel and conference center and do not want to see this added business impact our ability to continue providing a first-class hospitality experience.

Thank you,

The Marriott Eagle Crest Staff

Amy Ser 8 years
Luis 29 years

Michael Dineen 3 years
Leticia Smith 8 yrs

R
SILVANO 23 YRS
Michele & Sin 3 YEARS

Mrs. L 19 years
Arlene 13 years
Kim Mack 4 years

Jackie Reed 7
Nancy
J
Jacqueline 7 yrs
Meghan 1 year



12786 Currie Ct
Livonia, MI 48150

To The Town of Ypsilanti Planning Commission,

Utsav Planners works closely with the Ypsilanti Marriott hotel for huge scale weddings and events that bring in large sums of revenue to the city of Ypsilanti. The weddings we bring into the city are valuable events to both the hotel and local businesses who profit from visitors.

We have heard of the decision to build a car wash alongside Ypsilanti Marriott hotel. Unfortunately, we have some concerns to express with this decision. We sell this venue to our clients based on the resort atmosphere that we can't get anywhere else in Michigan. We bring in multiple events every year to the Marriott, and we fear that a car wash so close in proximity will bring down the value of the hotel in the eyes of our clients.

We hope that you will consider our fears regarding the construction of this car wash as city planners. We would hate to lose Ypsilanti Marriott as one of our most popular venue choices and sense clients starting to steer away from the venue based on this.

Sincerely,

The Team at Utsav Planners

May 24, 2021

Dear Ypsilanti Township Planning Commission,

This letter is to inform the planning commission of my opposition towards permitting land use for a Zippy's Car Wash at 1327 S. Huron St., located at the entrance of the Ann Arbor Marriott Ypsilanti at Eagle Crest and the Eagle Crest Golf Course.

Our ownership is continually investing in the Marriott Eagle Crest to create a resort style property and a one-of-a-kind experience in Southeast Michigan. In addition to the multimillion dollar renovation to our guestrooms, the 40,000+ sq. ft. of flexible meeting space and ongoing public area renovations, we are also building a year-round permanent 4800 sq. ft. structure in our backyard overlooking the beautiful Eagle Crest Golf Course and Ford Lake. In the coming years, we will also be renovating our concierge lounge to convert to a 24-hour M club, revitalizing the fitness center and creating ways to activate Ford Lake (such as water activities, a bike program and creating a new trail around the perimeter of the hotel).

Having a car wash at the main entrance is a deterrent to the aesthetic and feel of the property we are trying to achieve. Additionally, it would be detrimental for new groups and guests to arrive at the hotel with the car wash dominating the entry and creating traffic issues.

This last year and half has been incredibly difficult for the hospitality industry. We are finally starting to see demand pick back up with social groups and leisure travel. As we prepare to host groups again at the Marriott Eagle Crest, we feel the car wash will negatively impact not only our business but also employment as we try so desperately to bring people back.

We are very proud of the work we have put in to make this property feel like a destination. We do not want to see this potential business impact our ability to continue providing a first-class hospitality experience.

Sincerely,

Jamie Vecchioni

Jamie Vecchioni
General Manager
Ann Arbor Marriott Ypsilanti at Eagle Crest

May 24, 2021

Via Email only

Ypsilanti Township Planning Commission Members
7200 S. Huron River Dr.
Ypsilanti, MI 48197

Re: Eagle Crest Resort & Front Entrance

Dear Members:

As the Director of Golf Operations at Eagle Crest Golf Club (“ECGC”), I am pleased to let you know that our golf course, clubhouse and grounds continue to operate to benefit the community, as well as the guests who lodge at the Marriott Hotel and Conference Center (“Marriott Hotel”). Over the last 30 years, we have made continuing investments to improve and enhance the golf course and resort experience for everyone. We are making additional investments now to further enhance the overall experience.

The golf course itself, on the shores of beautiful Ford Lake, is an unmistakable true gem in Ypsilanti Township which is very much appreciated and enjoyed by the thousands of golfers that come to play the course each year. That said, the Huron Street entrance to ECGC and the Marriott Hotel is the first visual, the first impression, that guests see when arriving at our beautiful property. The entrance sets the tone of what is to come as guests arrive at the resort. (Additionally, guests teeing off on holes 9 and 11 or approaching hole 8 have a direct view of the resort entrance). It is for these reasons that we respectfully request the Planning Commission consider the impact of allowing a commercial operation to operate at the very entrance of the resort.

We understand the Planning Commission has received proposed plans to build a commercial operation at the very entrance of our location. We would offer that such a significant departure from the environment that we have worked hard to build, maintain and grow will negatively impact the significant progress we have made through the years. In my 35 years of playing golf and playing at courses across the country, I have never entered into a golf resort with a commercial operation at its entrance.

On behalf of Eagle Crest Golf Club, I thank you for your time and consideration.

Sincerely,

Wes Blevins, PGA
Director of Golf
Eagle Crest Golf Club



APPLICANT RESPONSE TO MAY 4, 2021 STAFF REPORT

- **PLEASE DISTRIBUTE TO PLANNING COMMISSIONERS IMMEDIATELY.**
- **THIS RESPONSE IS TO BE MADE A PART OF THE OFFICIAL MAY 25, 2021 YPSILANTI TOWNSHIP PLANNING COMMISSION PUBLIC HEARING RECORD**

THANK YOU!



Maria Harshe

May 25, 2021

Planning Commission for the
Charter Township of Ypsilanti
c/o Jason Iacoangeli, AICP
Planning Director
Ypsilanti Township
via email: jiacoangeli@ytown.org

Re: 1327 Huron Street, Ypsilanti, MI 48197
Application for Preliminary Site Plan and Special Land Use Review
(the "Application")

Esteemed Members of the Charter Township of Ypsilanti Planning Commission:

This law firm represents Corey and Michelle Weaver (the "Applicant") and this letter is in response to the May 4, 2021 Planning Department Staff Report recommending that the Planning Commission deny the Applicant's request for a special land use for 1327 Huron Street. The Planning Commission's decision with regard to the Application must comply with Michigan law which *requires* approval of a special land use when the standards established in the applicable zoning ordinance for a special land use have been satisfied. As described below, because the auto wash use proposed in the instant Application satisfies all the requirements for a special land use set forth in the Charter Township of Ypsilanti Zoning Ordinance (the "Zoning Ordinance") and, by reference, the Ypsilanti Township 2040 Master Plan (the "Master Plan") and because the Staff Report recommendation of denial erroneously relies on considerations extraneous to the Zoning Ordinance and Master Plan, the instant Application for Special Land Use must be approved. To do otherwise would violate the Zoning Ordinance and applicable Michigan law.

I. BACKGROUND

Given the Planning Department's only recently raised last-minute objections to the use for the Site after months of collaborative planning with the Applicant, a description of the facts and circumstances giving rise to the Application may be helpful at this juncture.

On September 1, 2020, the Applicant entered into an agreement to purchase from Eastern Michigan University Foundation approximately 2.81 acres of vacant land zoned B-3 in the Charter Township of Ypsilanti with a commonly known address of 1327 S. Huron Street and a Parcel Number of K-11-16-360-001 (the "Site" or "Property"). The Site is located near a highway interchange on the busiest corridor in Ypsilanti Township in a commercial district with numerous vehicle-based businesses. The Applicant intends to utilize the Property, which has been openly marketed for sale for years, for the construction and operation of a Zippy Auto Wash, an upscale, professionally managed automated car wash, which is a Special Land Use for B-3 zoning.

On September 11, 2020, the Applicant first contacted the Ypsilanti Planning Department (“Planning Staff”) regarding its proposed plans for the Site and on October 1, 2020, the Applicant met via zoom with several members of the Planning Staff and its consultant, Carlisle Wortman, to present a detailed power point presentation for the auto wash proposal (the “Project”). The Applicant received **positive** feedback for its plans at that meeting and, after the meeting, was told by Planning Staff that the auto wash use for the site could be “a win-win project for your business, and the Township” subject only to the need for Applicant to address some “materials” and “gateway” architectural issues.

At the encouragement of and with regular guidance from Planning Staff, the Applicant then proceeded for the following several months to refine its auto wash plans for the Site based on feedback from Planning Staff and various other governmental agencies and consultants including Carlisle Wortman, OHM, the Ypsilanti Township Fire Department, the Ypsilanti Community Utilities Authority, the Washtenaw County Road Commission and Washtenaw County Water Resources Commission. Numerous pre-meetings, meetings, tests, submissions, re-submissions, surveys, studies, including an over \$10,000 traffic study, permit applications and the like were undertaken, often at the recommendation of and in coordination with Planning Staff and ultimately at significant personal cost to the Applicant (approximating \$40,000). In the dozens of detailed interactions with Planning Staff, at no time was the suitability of the auto wash use for the Site raised as a significant concern.¹ In fact, the *only* reference to the use was made late in the process in a March 2021 Carlisle Wortman report advising that “the Applicant should explain how the use is consistent with the Master Plan of Mixed-Use Core and the Township goal of improvement of Huron Street.”

On April 15, 2021, the Planning Staff indicated in its second Director’s Report that most of the outstanding issues for the proposal had been resolved and that the plans for the auto wash were ready to submit to the Planning Commission for review, subject only to the need to address fire marshal comments. Again, no concern regarding the auto wash use was raised. The April 15, 2021 Planning Director’s Recommended Action were as follows:

The site plan for the Zippy Auto Wash at 1327 S. Huron needs to be revised and resubmitted to address the Fire Marshall’s comments. Once we have the revised plans we will back-check them to make sure they have addressed the remaining issues. Please include a response letter along with the drawings. Also, we are waiting for a complete Special Condition Use application that includes the owners [sic] permission to make application for a SCU. Further, because this property is owned by the EMU Foundation we will need a corporate resolution or letter from the Foundation granting signing authority to whomever signs the application on behalf of the Foundation. Once we have a complete application we will move forward with scheduling a public hearing to be held by the Planning Commission. Please feel free to contact my office if you have any questions or concerns.

Upon receipt of Director’s Report, the Applicant followed the instructions of Planning Staff, obtained a letter from the EMU Foundation granting signing authority, and submitted the Application.

If the auto wash use for the Site were manifestly unacceptable according to zoning standards (it is not), it would seem that the time to raise that issue should have been very early on in the planning process before recommendations were made for the Applicant to undertake time-consuming and expensive measures to finalize its proposal. Except for the

¹ The Planning Department for months had literally dozens of opportunities to raise the issue of the suitability of the auto wash use for the Site. Following are various dates on which Planning Staff had meaningful meetings/communications with the Applicant (not including numerous additional emails and telephone calls) but did not raise the use as a significant concern: 09/11/20, 1st contact with Planning Department regarding proposed site plan, Vanston O’Brien requests for information on site plan process; 9/24/20, Meeting with Planning Department, preliminary concept plan layout, summary presentation; 10/01/20, Meeting w/ Planning Department and agencies including Carlisle Wortman, concept plan layout, summary presentation, 10/07/20, Planning Department provides feedback to Applicant regarding 10/01/20 meeting and describes the use as “win-win”; 10/23/20, Planning meeting with Washtenaw County Road Commission; 11/17/20, Pre-App meeting with Planning Department and agencies including Carlisle Wortman, summary presentation, minutes issued by Planning Department with no mention of use; 12/21/20, Meeting with Planning Department and Washtenaw County Water Resource Commission; 01/20/21, Meeting with Planning Department regarding building design renderings; 02/15/21, 1st Preliminary Site Plan Draft submitted; 03/10/21, 1st Planning Director’s Report issued; 03/24/21, Applicant comments and presentation submitted; 2nd Preliminary Site Plan Draft submitted; 04/11/21, Access easement documents submitted; 04/15/21, 2nd Planning Director’s Report issued, 04/20/21, Special conditional use authorization submitted; 04/23/21, Response to ingress / egress plat notes submitted.

Carlisle Wortman report referenced earlier, however, **at no time** in the over seven-month period during which the Applicant was regularly working with Planning Staff to complete and refine its submission to the Planning Commission did Planning Staff ever hint that it had any objections to the proposed use of an auto wash for the Site. To the contrary until the Applicant downloaded the Staff Report, as described below, the *only* messages Planning Staff provided regarding the auto wash use were positive including that the use could be “win-win” for the Applicant and the Township.

II. THE STAFF REPORT

On May 20, 2021 the Applicant first became aware of the May 4, 2021 Staff Report recommending denial of its Application when it discovered and downloaded the report from the Planning Commission website. (Over the past several weeks and as recently as Monday, May 17, the Applicant has interfaced with Planning Staff numerous times but was not informed of any new or recent issues with the Project causing it to recommend denying the Application. As of the date of this letter, Planning Staff has neither apprised the Applicant of the reversal of its prior support for the Application and Project; nor has it provided Applicant a copy of the Staff Report). Because Planning Staff had indicated no objections to the Project or use, the Applicant was astonished to discover by reading the Staff Report that Planning Staff is now recommending denial of the Special Land Use for the development of an auto wash, claiming for the first time that the Applicant is aware, that the auto wash use does not satisfy the standard requirements for Special Land Use set forth in Section 2119 of the Zoning Ordinance.

In support of the recommendation to deny the Application, Planning Staff makes the following representations:

- That the location of the Site in the Master Plan’s Township Core “is the area of the Township in which a pedestrian scale mixed use corridor is contemplated” favoring “uses with a community wide draw-such as hotels, restaurants, sh[o]pping and public park spaces, including government offices and a community center”;
 - As described below, however, the Site is located more specifically within a Regional Mixed-Use Corridor of the Town Core that expressly permits and envisions auto-oriented uses such as an auto wash;
- That the Site is “considered a gateway to Ypsilanti Township” for which the Township is attempting to provide pedestrian pathways;
 - As described below, however, pedestrian pathways are already incorporated into the proposal. Moreover, the Applicant is not aware of if or how “gateways” are defined in the Zoning Ordinance, if the Site meets a zoning definition for a “gateway,” and, if the Site is in fact a “gateway,” what additional zoning requirements apply.
- That the Site is located at the “entrance way to the Eagle Crest Golf Course and Marriott Facility” and, further, that Marriott is planning a permanent outdoor banquet facility and the golf course is expanding the clubhouse to accommodate year-round golf simulators;
 - As described below, however, although the legal relevance of this information is unclear, both the clubhouse and the hotel (including its proposed facility) are at least 1,300 feet (one quarter of a mile) from the proposed building; nearly all of the playable area of the golf course is at least hundreds, and in most cases, thousands of feet from the proposed building; and a significant percentage of the playable area of the golf course is closer to S Huron Street and I-94 than to the proposed building which will be situated on the southwest corner of the Site with landscaping designed to screen it from and otherwise integrate with these neighboring uses.
- With the addition of two hotels and commercial development, “the area has a strong framework for taking the next step into mixed use development that is contemplated by the Township Master Plan.”
 - As described below, however, the proposed auto wash use is compatible with the Master Plan, which allows for auto-oriented uses within this Regional Mixed-Use Corridor, and incorporates many, if not most of the architectural features described in the Master Plan.

The Staff Report concludes that an auto wash use at the Site is “not consistent with the existing uses on the east side of S. Huron, with the Marriot[t] and Eagle Crest Golf Course, nor is it consistent with any future uses as envisioned in the 2040 Master Plan.” In its proposed Motion to Deny the Application, the Staff Report asserts that “The Special Conditional Use of an automobile car wash at 1327 Huron does not meet all of the standards of Section 2119 Special Conditional Uses, including items b, c, and e.”

III. LEGAL ANALYSIS

The Michigan Zoning Enabling Act, 2006 PA 110, provides in pertinent part that a “request for approval of a [special] land use or activity **shall be approved** if the request is in compliance with the standards stated in the zoning ordinance [and] the conditions imposed under the zoning ordinance...” MCL §125.3504(3)(emphasis added). The Staff Report alleges that the proposed auto wash use fails to meet the standards set forth in items 5(b), (c) and (e) of Section 2119 of the Zoning Ordinance in support of the recommendation to deny the Application. As set forth below, however, the proposed use for the Site meets all required standards for Special Land Use within the Zoning Ordinance. Moreover, the Planning Commission cannot legally rely on conditions, qualities or circumstances raised in the Staff Report or otherwise that are extraneous to the appropriate standards for special land uses as established under Michigan law. Because the instant Application satisfies the requirements for approval of a special land use, the only appropriate outcome for the Application is for it to be approved.²

A. THE PROPOSED USE OF AN AUTO WASH FOR THE SITE MEETS ALL REQUIRED STANDARDS FOR SPECIAL LAND USE WITHIN THE ZONING ORDINANCE.³

As described below, the proposed auto wash use for the Site satisfies items 5(b) and 5(c) of Section 2119 because it is compatible with (1) existing land uses in the vicinity and (2) future land uses in the vicinity including those set forth in the township master plans. The auto wash use also satisfies the requirements set forth in item 5(e) of Section 2119, because this commercial use in this commercial setting is in no way “detrimental, hazardous, or disturbing to existing or future neighboring uses, persons, property, or the public welfare.” Contrary to the assertions and recommendations in the Staff Report, the proposed use *is* “in compliance with the standards in the zoning ordinance” and “the conditions imposed under the zoning ordinance” and therefore must be approved.

1. THE AUTO WASH USE IS COMPATIBLE WITH EXISTING USES IN THE VICINITY

The proposed Site for the auto wash, located near a busy I-94 interchange and fronted on Huron Street, a five-lane commercial corridor and the busiest corridor in Ypsilanti Township, is surrounded by an eclectic mix of commercial and industrial uses. Existing commercial uses proximate to, and often within line of sight of, the Property include a gas station, a Hampton Inn hotel, a Fairfield Inn hotel, a KIA car dealership, a McDonald’s restaurant, a drive-thru Tim Horton’s donut shop, another gas station with a quick stop convenience store, a Nu Wave fried fish and chicken restaurant, and a Buffalo Wild Wings restaurant. On the east side of Huron Street next to the Site and continuing south are, at 1349 S Huron Street (adjacent to the Site), a commercial and industrial building built in 1988 and, at 1401 S Huron Street, a building complex including one commercial and three industrial buildings built variously in 2000, 2003 and 2006.

² The Applicant acknowledges the Commission’s authority to place reasonable conditions on the approval of the Application and the Applicant fully intends to comply with and satisfy such conditions.

³ Section 2119 of the Zoning Ordinance sets forth six required standards for granting a special land use. While the auto wash use for the Site satisfies all six of the standards, this Response will address only the requirements of Subsections 5(b), 5(c) and 5(e) of Section 2119 since the Staff Report cites only those provisions as forming the basis for the recommendation for the Application’s denial.

Another commercial use proximate to the Site is a Marriott Hotel on the east side of Huron Street nestled one quarter of a mile back from the Site. The Eagle Crest Golf Course operated by Eastern Michigan University, an affiliate of Eastern Michigan University Foundation, the owner and seller of the Site, surrounds the Marriott and, as described previously, nearly all of the playable area of the golf course is at least hundreds, and in most cases, thousands of feet from the proposed auto wash building and a significant percentage of the playable area of the golf course is closer to S Huron Street and I-94 than to the proposed building.⁴ The proposed auto wash will be sited on the southwest portion of the lot, fronting on Huron Street, with mature trees and landscaping screening the auto wash from the view of those situated to its north and east.

Section 1100 of the Zoning Ordinance describes the intent for the B-3 General Business District zoning for the Site as follows: *“the B-3 general business districts are designed to provide sites for more diversified business types which would often be incompatible with the pedestrian movement in the local business district or community business district.”* Included among the permitted and special uses for the Site’s B-3 zoning are commercial kennels, minor automotive repair business, concert halls, assembly halls, drive-thru restaurants, second-hand apparel businesses, bus passenger stations, gas stations and convenience stores, used car, boat and trailer dealerships, outdoor children’s amusement parks, and automobile car washes.

The proposed auto wash use for the Site fits compatibly with the abundant and eclectic existing commercial and industrial uses within the vicinity of this high traffic corridor and arguably is one of the most suitable B-3 uses for the location. The foregoing clearly establishes that the proposed auto use satisfies the requirement that it is compatible with existing uses within the vicinity.

2. THE PROPOSED AUTO WASH USE IS COMPATIBLE WITH FUTURE USES WITHIN THE VICINITY AND THE TOWNSHIP’S MASTER PLAN

While assertions in both the Staff Report and the Carlisle Wortman report are accurate that the Site is located generally in the future “Town Core” under the Master Plan, it is also true that the Master Plan places the Site, which fronts on Huron Street, more specifically within a Regional Mixed-Use Corridor, a distinctive sector within the Town Core with its own envisioned characteristic uses. The Master Plan describes Regional Mixed-Use Corridors as follows:

Regional Mixed Use Corridors areas are located along the busiest corridors, which support a high volume of both local and regional traffic. This area may include large regional chains, regional retailers, and **auto-oriented uses** that draw customers both regionally and locally.

Ypsilanti Township 2040 Master Plan at page 57 (emphasis added). Among the uses envisioned along the Huron Street Regional Mixed-Use corridor in the Master Plan are:

- Auto-oriented commercial such as gas stations, auto repair, and car dealerships; and
- Drive-through uses

The proposed automated car wash is not only compatible with the Master Plan, it is precisely the type of use envisioned in the Master Plan for this Regional Mixed-Use Corridor. The auto wash use is compatible both with future uses in the vicinity and the Township’s Master Plan in satisfaction of the Special Land Use requirements set forth in Section 2119 5(b) and 5(c) in the Zoning Ordinance.

3. THE AUTO WASH USE WILL NOT BE DETRIMENTAL, HAZARDOUS OR DISTURBING TO NEIGHBORS

Section 2119 5(e) of the Zoning Ordinance requires that a special land use not be “detrimental, hazardous or disturbing” to neighboring properties. Though the Staff Report offers no specific evidence to demonstrate *how* the

⁴ Not insignificantly, title documents establishing the golf course and hotel make clear that future commercial uses were envisioned for and permitted in the entire area adjacent to the golf course fronting Huron Street, including the Site.

operation of an upscale, professionally managed automated car wash would fail to meet the 5(e) requirements, it does generally describe as significant the Site’s location at the “entrance way to the Eagle Crest Golf Course and Marriott Facility.”

As described in Section III(A)(1) above, the Marriot Hotel and the golf course clubhouse are situated one quarter of a mile (or more) from the proposed building at the eastern end of James L. Hart Parkway and the playable area of the golf course is at least hundreds, and in most cases, thousands of feet from the proposed auto wash building with a significant percentage of the playable area of the golf course being closer to S Huron Street and I-94 than to the proposed building. Mature trees and landscaping provide ample visual screening to the north and west of the building.

Particularly under these conditions, the presence of an auto wash in an area that is zoned for commercial uses, near a busy highway interchange, fronted on a highly trafficked five-lane corridor, and surrounded by an eclectic mix of industrial and commercial uses is neither detrimental, hazardous nor disturbing to a golf course and hotel that elect to be located in proximity to that same commercial corridor. Though neighboring properties may desire a different use for the Site, personal desire or preference for a different use does not render an otherwise permissible and compatible use “detrimental, hazardous or disturbing.” The auto wash use for the Site therefore satisfies subsection 5(e) of Section 2119 of the Zoning Ordinance.

B. THE COMMISSION MUST FOLLOW THE EXISTING ZONING ORDINANCE AND CANNOT RELY ON CONDITIONS, QUALITIES OR CIRCUMSTANCES THAT ARE EXTRANEOUS TO THE APPROPRIATE LEGAL ANALYSIS

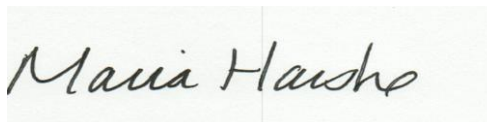
Applicable law makes clear that the Planning Commission is constrained to approve the Application if, as is the case with the instant Application, the request is in compliance with the standards stated in and the conditions imposed under the Zoning Ordinance. See MCLA §125.2504(3). In support of its recommendation to deny the Application, however, the Staff Report references conditions, qualities and circumstances that are extraneous to the Zoning Ordinance and the Master Plan, including: describing Town Core uses and standards for the Site that do not account for the fact that the Site is located within the Mixed-Use Regional Corridor of the Town Core that permits and envisions auto-oriented businesses just like the auto wash; artificially creating arbitrary zoning “districts” such as the *eastern* side of Huron Street not reflected in and inconsistent with the Zoning Ordinance, the Master Plan; referencing general plans for future pedestrian improvements (that, incidentally are already incorporated into the Project proposal); and describing neighboring plans for future development that are remotely located from the Site. These factors, however, are not properly part of the legal analysis in reviewing the Application and must be disregarded because they are not part of the Zoning Code or Master Plan requirements for a special land use. Because the special use requested in the Application *is* in compliance with all of the existing special land use requirements set forth in the Zoning Ordinance and Master Plan, it must be approved.

IV. CONCLUSION

For the foregoing reasons, the Applicant respectfully requests that the Application for special land use be approved. The Applicant looks forward to working cooperatively with Ypsilanti Township to ensure a successful Project that serves and benefits the Ypsilanti Township community.

Respectfully submitted,

HARSHE LAW



Maria Harshe

May 25, 2021 Planning Commission Agenda item

Mon, May 24, 2021 08:39 AM

From : Roy Wilbanks <roywilbanks1014@gmail.com>**Subject :** May 25, 2021 Planning Commission Agenda item**To :** planning@ytown.org

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

To: Ypsilanti Township Planning Commission

As a lifelong Ypsilanti resident, a former trustee of the Ypsilanti Township Board for 10 years, and a former member of the Ypsilanti Township Planning Commission, I write to express my strong opposition to the request before you to consider a car wash at the entrance of the Marriott Hotel and Conference Center and Eagle Crest Golf Course.

The Marriott Hotel complex and the Eagle Crest Golf Course represent one of the true gems in Ypsilanti, in Washtenaw County and in Southeast Michigan. Many of you know that while at Eastern Michigan University, I took a leadership role to bring the southeast corner of Huron Street and I-94 to life, and create a hotel, conference center and golf course that would serve as an economic engine for the benefit of our community. Eastern Michigan University led this effort, and together with a private developer, the complex was opened in 1989.

Today, some 32 years later, that location remains a center of pride for our community. The economic benefit cannot be overstated, including the employment opportunities for many Ypsilanti Township residents over the years, and the revenues generated by hotel stays and golf course activities. You will not be surprised by my continuing interest in the strong performance of these activities; nor will you be surprised that I take more than a passing interest in seeing and encouraging the golf course improvements over the years.

The vision of creating a “sense of arrival” for guests and patrons of the hotel, conference center and golf course remains as strong today as it was in 1989. Continuing investments to improve the golf course property and the hotel and conference center have helped to maintain that “sense of arrival” and a first class experience.

I respectfully submit that the location of a car wash on the property immediately adjacent to the entranceway of this community gem and point of pride is incompatible with the goals of maintaining a first class experience. I urge the planning commission to deny the proposal before you.

Thank you for considering my views.

Roy Wilbanks
6025 Vista Drive
Ypsilanti, MI 48197

CHARTER TOWNSHIP OF YPSILANTI

OFFICE OF COMMUNITY STANDARDS

Building Safety • Planning & Zoning • Ordinance Enforcement

Staff Report

1327 Huron Street, Ypsilanti, MI 48197 Preliminary Site Plan and Special Land Use Review

May 4, 2021

CASE LOCATION AND SUMMARY

The Office of Community Standards is in receipt of a preliminary site plan and special land use application from Corey and Michelle Weaver to construct 4,843 square foot auto wash at 1327 Huron Street. Automobile car washes are a Special Conditional Use in the B-3, General Business District.

APPLICANT

Corey and Michelle Weaver
P.O. Box 550
Saline, MI 48176

CROSS REFERENCES

Zoning Ordinance citations:

- Article XI, Section 1100, B-3 General Business District
- Article XXI, Section 2115, Site Plan Review
- Article XXI, Section 2119, Special Land Uses
- Article XXI, Section 1833 , Automobile Car Wash

ANALYSIS

The Special Conditional Use for an Automobile Car Wash is subject to Section 2119 – Special Land Uses. The Planning Commission shall review the **“particular circumstances and facts of each proposed use in terms of the following standards”** and make a finding as to whether the Special Conditional Use **“meets all the required standards”** as follows:

- a. Will be harmonious, and in accordance with the objectives, intent, and purpose of this ordinance; and
- b. Will be compatible with a natural environment and existing and future land uses in the vicinity;

- c. Will be compatible with the township master plans; and
- d. Will be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage ways and structures, refuse disposal, or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately for such services; and
- e. Will not be detrimental, hazardous, or disturbing to existing or future neighboring uses, persons, property, or the public welfare; and
- f. Will not create additional requirements at public costs for public facilities and services that will be detrimental to the economic welfare of the community.

As the Planning Commission is aware, this location at 1327 Huron Street is a sub-area plan within the Township 2040 Master Plan that was adopted by the Township in May of 2020. The Township Master Plan identifies this area as the Township Core. This is the area of the Township in which a pedestrian scale mixed use corridor is contemplated. The Future Land Use plan for the Township Core identifies this parcel as Mixed-Use Core. The mixed use core designation is identified as ***“uses with a community wide-draw-such as hotels, restaurants, shipping and public parks spaces, including government offices and a community center”***.

Huron Street is the connection between the City of Ypsilanti and Ypsilanti Township. The intersection of Huron and James L. Hart Parkway at I-94 is considered a gateway to Ypsilanti Township. The Township is actively working with the City of Ypsilanti and the State of Michigan Department of Transportation (MDOT) to provide improved pedestrian pathways and lighting across the I-94 overpass. These pedestrian connects will provide walkability to North Bay Park, Eagle Crest, and a pedestrian signalized crossing at Huron and James L. Hart Parkway.

This corner of Huron is the entrance way to the Eagle Crest Golf Course and Marriot Facility. The Marriot was recently at the Planning Commission for a new permanent Outdoor Banquet Facility that will host outdoor events and weddings. Further, the golf course is starting a new project for a golf training facility building for the EMU Golf Program and an expansion of the clubhouse to accommodate year round golf simulators.

Further, the neighborhood character for South Huron has seen a dramatic change in the last decade. With the addition of two (2) hotels and commercial development along Anna J Stepp, the area has a strong framework for taking the step into mixed use development that is contemplated by the Township Master Plan. The location of an automobile car wash at the corner is **not** consistent with the existing uses on the east

side of S. Huron, with the Marriot and Eagle Crest Golf Course, nor is it consistent with any future uses as envisioned in the 2040 Master Plan.

Based on these facts the Planning Department is recommending denial of the Special Conditional Use for the development of an automobile car wash.

This proposed project has been reviewed by the Township's planning consultant, engineering consultant, Fire Department and outside agencies, and have provided the following letters and comments.

Planning Consultants (Carlisle/Wortman Associates): CWA reviewed the preliminary site plan and special land use permit in their letter dated March 24, 2021, and stated that the proposed use is inconsistent with the 2040 Master Plan, and the proposed building materials are not consistent with existing and desired future character of the corridor.

“On its face an automobile use is not consistent with the Master Plan. Additional automobile uses were not the intent nor an envisioned use for this area. Additional automobile oriented uses could be incompatible with those other desired uses listed and hinder overall redevelopment of the corridor as envisioned in the Master Plan. Furthermore, the layout and design of the site do not meet the envisioned design concept.”

Engineering Consultants (OHM): The Township Engineer recommended approval for this stage of the process in their April 1, 2020 review letter.

Ypsilanti Community Utilities Authority: YCUA reviewing agent Scott Westover states that the plans are acceptable to YCUA for preliminary site plan review in a letter dated March 25, 2021.

Ypsilanti Township Fire Department: YTFD reviewing agent Dan Kimball recommended approval in a letter dated May 4, 2021.

Washtenaw County Water Resources Commission: WCWRC reviewing agent Theresa Marsik stated the plans are technically correct and do not require revisions at this time in a letter dated April 5, 2021.

Washtenaw County Road Commission: WCRC reviewing agent Gary Streight stated that the County Highway Engineer believes that right in only access to Huron is a reasonable request. As of April 28, 2021 the applicant was still providing the WCRC with additional information. But it has been decided that right in only access to Huron is feasible.

In summary, while the proposed plan meets the standards of Engineering, YCUA, YTFD, WCWRC and WCRC, it does not conform to the vision of the 2040 Master Plan.

When the Planning Commission reviews the six (a)–(f) required standards, it will be clear that the proposed use is not harmonious and in accordance with the objectives, intent and purpose of this ordinance, is not compatible with a natural environment and existing and future land uses in the vicinity and is not compatible with the Township Master Plans. In order for the Township Planning Commission to grant a special land use there would need to be a finding that the applicant meets **all** of the required standards.

Suggested motions: *The following suggested motions and conditions are provided to assist the Planning Commission in making the most appropriate motion for this application. The Commission may utilize, add or reject any conditions suggested herein, as they deem appropriate.*

Special Land Use Permit

Motion to table:

*“I move to table the request for **special land use permit** approval for, an automobile car wash located at 1327 Huron, K-11-16-360-001, to consider the comments presented by the Planning Commission during discussion of the project”*

Motion to approve:

*“I move to approve the request for a **special land use permit** for an automobile car wash, located at 1327 Huron, parcel K-11-16-360-001, with the following conditions:*

- 1. Applicant shall address remaining review comments from consultants, agencies, and departments.*
- 2. Building material for the building will match the existing buildings across the street frontage that can be found on Anna J Stepp Drive.*
- 3. Planning Commission will decide on architectural details at Final Site Plan.*
- 4. Applicant shall obtain all applicable agency permits.*
- 5. _____”*

Motion to deny:

*“I move to deny the request for **special land use permit** approval for, an automobile car wash, located at 1327 Huron, parcel K-11-16-360-001, due to the following reasons:*

- 1. The Special Conditional Use of an automobile car wash at 1327 Huron does not meet all of the standards of Section 2119 Special Conditional Uses, including items b, c, and e.*
- 2. _____”*

Preliminary Site Plan

Motion to table:

“I move to table the request for **preliminary site plan** approval for an automobile car wash to be located at 1327 Huron , parcel K-11-16-360-001, to consider the comments presented by the Planning Commission during discussion of the project.”

Motion to approve:

“I move to approve the request for a **preliminary site plan** for the Zippy Auto Wash located at 1327 Huron , parcel K-11-16-360-001 with the following conditions:

1. Applicant shall address remaining review comments from consultants, agencies, and departments.
2. Final Site Plan to be brought back before the Planning Commission.
3. Final Building Architecture to be reviewed by the Planning Commission constant with Final Site Approval in the Township Ordinance.
4. Applicant shall obtain all applicable agency permits.
5. _____”

Motion to deny:

“I move to deny the request for **preliminary site plan** approval for the Zippy Auto Wash located at 1327 Huron , parcel K-11-16-360-001, due to the following reasons:

1. _____
2. _____”

Respectfully submitted,

Jason Iacoangeli

Jason Iacoangeli, AICP
Planning Director



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: March 4, 2021
March 24, 2021

**Preliminary Site Plan and Special Use Review
For
Ypsilanti Charter Township, Michigan**

GENERAL INFORMATION

Applicant: Corey and Michelle Weaver
Project Name: Zippy Auto Wash
Plan Date: March 18, 2021
Location: 1327 Huron Street. Ypsilanti, Michigan 48197
Zoning: B-3, General Business
Action Requested: Preliminary Site Plan and Special Use Review.

PROJECT SUMMARY

The applicant is proposing to construct a 4,843 square-foot auto wash at 1327 Huron Street. The auto wash will have a 150-foot fully automatic wash bay with mechanical dryers. There will be a heated exit and entrance and three (3) vacuum stations. Employee and customer parking will be located adjacent to the building. There will be two (2) automatic pay stations located at the rear of the site. The site is located in the B-3, General Business district. Automobile car washes are a special use in the B-3, General Business District. Automobile car washes are subject to conditions in Section 1833 in the Ypsilanti Township Zoning Ordinance.

As part of their review, the Planning Commission should consider consistency with the Master Plan. In addition, the Planning Commission should consider if the use of this highly visible corner to a gateway intersection as an auto wash is the intent of what the Township is trying to achieve.

Location of Subject Property:



Surrounding Property Details:

Direction	Zoning	Use
North	RM-2, Multiple Family Residential	Golf Club
South	B-3, General Business	Office
East	RM-2, Multiple Family Residential	Golf Club
West	B-3, General Business	Use Service Station

Size of Site:

+/- 2.91 Acres

Current Use of Site:

The site is currently vacant with two (2) tennis courts on the far east side.

MASTER PLAN

According to the Future Land Use Map in the Master Plan, the proposed automobile car wash is located in the *Township Core* where the intent is to be the central core of the township. *It includes the governmental center of the township with the Civic Center, County Courthouse, and the district library. Huron Street and the immediately surrounding area is meant to host a mix of uses from multiple-family residential to commercial to light industrial.*

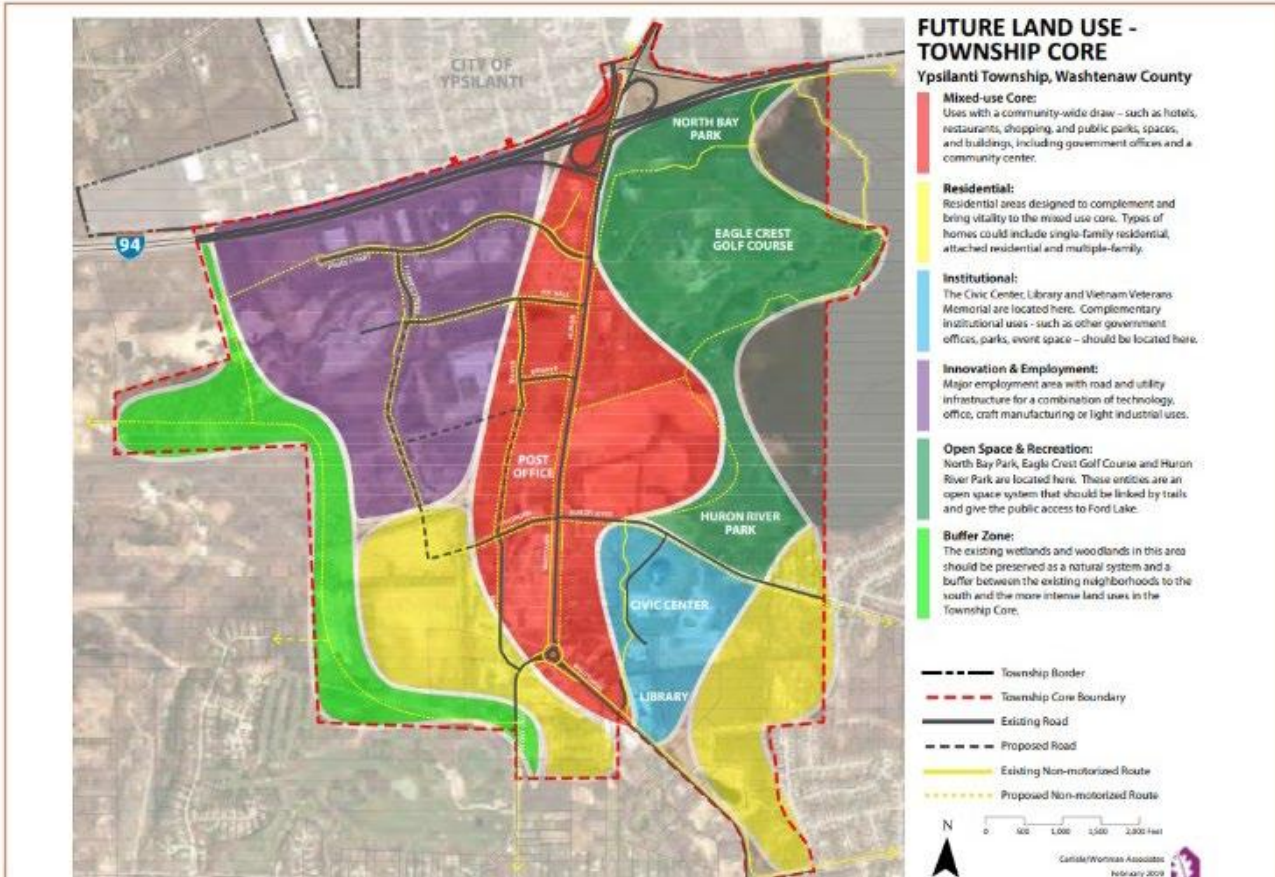
The Township Core will serve as the central gathering place and commercial base of the township. It will include the township governmental center of the Township Civic Center and the Ypsilanti District Library. Huron Street and the immediate area can serve a mix of uses from multiple-family residential to light industrial. The area is centrally located and is already well served with infrastructure, public transportation, established foundational uses, and convenient access. Buildout will be market responsive with a variety of uses including civic, regional and local commercial, hotels and restaurants, office, multiple-family housing, and open space that will meet the daily needs of Township residents.

Envisioned land uses for this section of Township Core:

- Day-to-day neighborhood scale retail and services such as grocery stores, convenience stores, dry cleaners, pharmacies and beauty services.
- Restaurants, cafes and bars that offer various food options.
- Hotels and lodging.
- Corporate, general and medical office.
- Multiple-family residential.
- Unique amenities such a community center, community parks, open space and the Eagle Crest Resort.
- Public buildings and government offices such as the Township Civic Center, and the Ypsilanti District Library.
- Clean light industrial and warehousing uses.

Envisioned design concepts:

- Large single and multi-story structures that may be freestanding or integrated as part of a connected retail or campus pattern.
- Mixed-use development with residential, office, and commercial uses.
- Architectural design must create an interesting visual experience for both sidewalk users at close range and for those viewing the skyline from a distance.
- Infill development should be encouraged to support existing infrastructure.
- Design creativity with regard to materials will be encouraged, although low quality materials or building designs that inhibit activity on the corridor will not be permitted.



More specifically this site is located within the Mixed-use Core of the Township Core. Uses in the mixed-use core include uses with a community-wide draw – such as hotels, restaurants, shopping, and public parks, spaces, and buildings, including government offices and a community center.

On its face, an automobile use is not consistent with the Master Plan. Additional automobile uses were not the intent nor an envisioned use for this area. Additional automobile oriented uses could be incompatible with those other desired uses listed and hinder overall redevelopment of the corridor as envisioned in the Master Plan. Furthermore, the layout and design of the site do not meet the envisioned design concepts. The Planning Commission should consider if the use of this highly visible corner to a gateway intersection as a car wash is the intent of what the Township is trying to achieve.

The applicant should explain how the use is consistent with the Township Master Plan of Mixed-Use Core and the Township goal of improvement of Huron Street.

Items to be Addressed: The applicant should explain how the use is consistent with the Township Master Plan of Mixed Use Core and the Township goal of improvement of Huron Street.

NATURAL RESOURCES & UTILITIES

Topography: The subject parcel is higher in elevation closer to Huron Street and James L. Hart Parkway. According to the topography, the elevation varies between 760 feet to 770 feet.

Woodlands: Per Section 24.67 (4):

The removal or relocation of trees or shrubs shall be limited to those instances:

- a. When necessary for the location of a structure or site improvement and when no feasible alternative location for the structure or improvements can be achieved without causing undue hardship.
- b. The tree is dead, diseased, injured and in danger of falling, is too close to proposed or existing structures, interferes with existing utility services, interferes with safe vision clearances, or conflicts with other ordinances or regulations.

Replacement of trees as provided in Section 24-68 shall not apply to removals permitted under this paragraph. This exemption shall not be construed by affected property owners as an exemption from providing new plantings on the development site as a part of a landscaping plan which may be required by the planning commission in order to address the loss of trees or other vegetation due to construction activity.

Replacement trees when required shall be provided as follows:

1. Tree replacement at 100 percent of trees removed will be required except in instances where the location of buildings, structures or grading are necessary to allow the development of the site and replacement of the trees cannot be accommodated on the site.
2. In instances where 100 percent tree replacement, is not feasible as provided in this section, the planning commission may allow reduction of the replacement trees to not less than 30 percent for industrial and business properties and not less than 50 percent replacement for residential properties.
3. Tree replacement as required shall be on the site in question; or, in lieu thereof, monies may be placed in escrow with the township at a fee established by the township for tree purchase and planting on public properties within the township.
4. Street trees required for subdivision may serve as a credit of 50 percent toward the number of replacement trees required.

The applicant has provided a full tree survey of the subject parcel on Sheet C-2. According to the survey, the applicant is required to mitigate with an additional 22 trees. The tree mitigation of 22 trees accounts for the Planning Commission granting a 30% tree mitigation reduction.

As set forth in Section 24-67:

In instances where 100 percent tree replacement, is not feasible as provided in this section, the planning commission may allow reduction of the replacement trees to not less than 30 percent for industrial and business properties and not less than 50 percent replacement for residential properties.

The applicant shall justify why 100 percent tree replacement is not feasible.

Wetlands: The subject site does not have any wetlands.

Items to be Addressed: 1).The applicant shall justify why 100 percent tree replacement is not feasible; and 2). Planning Commission shall consider the tree mitigation reduction request.

BUILDING AND SITE ARRANGEMENT

The automobile car wash will have a 150-foot fully automatic wash bay with mechanical dryers. There will a heated exit and entrance and three (3) vacuum stations. Employee and customer parking will be located adjacent to the building. There will be two (2) automatic pay stations located at the rear of the site.

Though not permitted yet, the Road Commission has conceptually approved a right-in/right-out on Huron and a full access off James L. Hart Parkway.

HEIGHT, BULK, DENSITY AND AREA

We find the structure and design layout the meets the height, bulk, density and area zoning ordinance requirements. We’ve reviewed the site with applicable zoning requirements:

B3, General Business				
	Required / Allowed	Provided	Complies with Ordinance	
Lot Area	N/A	2.91 Acres 126,716 SQFT	Complies	
Lot Width	N/A	269 Feet	Complies	
Setback	Front (north)	50 feet	50 Feet	Complies
	Front (west)	20 Feet	50 Feet	Complies
	Side	0 Feet	58.2 Feet	Complies
	Rear	20 Feet	303 Feet	Complies
Building Height (Feet)	2 stories, 25 Feet	25 Feet	Complies	

The applicant has met all bulk requirements.

Items to be Addressed: None

SITE ACCESS, CIRCULATION, AND TRAFFIC IMPACTS

Though not permitted yet, the Road Commission has conceptually approved a right-in/right-out on Huron and a full access off James L. Hart Parkway. The applicant has provided a stacking plan for the two (2) automatic pay stations that join to create one (1) lane for the car wash.

In a March 10, 2021 Memo, the Township Fire Marshall noted a need to provide a truck turning plan to confirm if site circulation is sufficient.

Items to be Addressed: *Confirm site circulation is sufficient by the Township Fire Marshall.*

PARKING

Per Section 2104 2.f.(3) the parking requirement is as follows:

Parking Requirements	Number of Spaces Required	Number of Spaces Provided
Auto Wash	One for each one employee. In addition, stacking spaces equal in number to five times the maximum capacity of the auto wash. Maximum capacity of the auto wash shall mean the greatest number of automobiles possible undergoing some phase of washing at the same time, which shall be determined by dividing the length in feet of each wash line by 24. 5 employees + 32 stacking spaces	9 Parking spaces, 32 stacking spaces
Barrier-Free Spaces	1 space	1 space
Total Number of Spaces	37 spaces	41 spaces

Parking is sufficient.

Items to be Addressed: *None.*

EXTERIOR LIGHTING

The ordinance requires the maximum overall height (as measured from grade level to the highest point of the fixture) for a freestanding pole to be twenty (20 feet high, where such fixtures are located more than 50 feet of a residential district or residential use. The poles the applicant is proposing comply with the zoning ordinance measuring twenty (20) feet high.

According to Section 2110.2(b), The intensity of light within a site shall not exceed 10.0 footcandles within any site and 1.0 footcandles at any zoning lot boundary or street right-of-way line. Where a zoning lot abuts a residential district or existing residential use, the intensity shall not exceed 0.5 footcandles at the zoning lot boundary. On the lighting plan, there are footcandles that exceed 1.0 in the James L. Hart Parkway right-of-way. Applicant should provide lighting plan that complies with Section 2110.2(b) with proper footcandle numbers.

The ordinance requires that all exterior lighting fixtures in non-residential districts shall be turned off between the hours of 11:00 p.m. and sunrise, except where used for security purposes or where the use of the property continues after 11:00 p.m. The applicant has added a note that the lights will be turned off at 11:00 p.m.

Items to be Addressed: Provide lighting plan that complies with Section 2110.2(b) with proper footcandle numbers.

LANDSCAPE STANDARDS AND REQUIREMENTS

Landscape requirements are set forth in Section 2108:

	Landscaping Required	Landscaping Provided
General Landscaping: 1 tree per 1,000 sq.ft of lawn area 1 shrub per 500 sq.ft of lawn area	26,744 sq.ft / 1,000 sq. ft. 27 Trees 26,744 sq.ft / 500 sq.ft 54 shrubs	61 Trees, 18 ornamental trees, and 127 shrubs
Street Yard Landscaping: 1 tree per 40 L.F. 1 ornamental tree per 100 L.F. 1 shrub per 10 L.F	726 L.F. / 40 L.F. = 19 Trees 726 L.F. / 100 L.F. = 8 Ornamental Trees 726 L.F. / 10 L.F. = 73 shrubs	
Parking Lot Landscaping: 1 tree per 3,000 sq.ft.	35,765 sq.ft / 3000 = 12 trees	
Mitigation	N/A on site plan	
Total Required	58 Trees, 8 Ornamental Trees, 127 shrubs *	

*Total required number does not include replacement trees.

Items to be Addressed: None

BUILDING ELEVATIONS AND FLOOR PLAN

The applicant has submitted basic black and white elevations and a colored rendering. There are complete floor plans for the car wash on Sheet A-1.

Renderings:



Zippy Auto Wash
March 24, 2021

Photo Examples from Development at James L Hart and Huron Drive Intersection:



Zippy Auto Wash
March 24, 2021



Zippy Auto Wash
March 24, 2021





In conversations with the applicant, we've noted a consistent architectural pattern, color scheme (red brick, dark roofs), and material use (brick) along the Huron Drive corridor, and specifically in the immediate area around the James L Hart and Huron Drive intersection. We advised the applicant that we wish to continue that pattern along the corridor for future development.

The applicant has provided a narrative noting the proposed design improvements including darkening material colors, material improvements, and the need for color and material branding.

Even with the noted improvements, we find that the proposed architecture, metal roof, and blue and grey color schemes are inconsistent from the existing fabric of the corridor. The applicant should amend architectural, material, and colors to be consistent with the existing and desired future character of the corridor.

Items to be Addressed: Amend architectural, material, and colors to be consistent with the existing and desired future character of the corridor.

DUMPSTER ENCLOSURE

Screening of the dumpster enclosure is indicated on the plans on Sheet C-7.

Items to be Addressed: None.

SPECIAL USE STANDARDS

Section 2119 of the Zoning Ordinance outlines the standards under which the Planning Commission is to review the Special Use:

1. *Will be harmonious, and in accordance with the objectives, intent, and purpose of this ordinance; and*
2. *Will be compatible with a natural environment and existing and future land uses in the vicinity; and*
3. *Will be compatible with the township master plans; and*
4. *Will be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage ways and structures, refuse disposal, or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately for such services; and*
5. *Will not be detrimental, hazardous, or disturbing to existing or future neighboring uses, persons, property, or the public welfare; and*
6. *Will not create additional requirements at public costs for public facilities and services that will be detrimental to the economic welfare of the community.*

Items to be Addressed: *Planning Commission to review standards*

AGENCY APPROVALS

The applicant will need to obtain the following preliminary approvals from the following agencies:

- (1) Washtenaw County Water Resources Commission

Items to be Addressed: *None*

SUMMARY

On its face, an automobile use is not consistent with the Master Plan. Additional automobile uses were not the intent nor an envisioned use for this area. Additional automobile oriented uses could be incompatible with those other desired uses listed and hinder overall redevelopment of the corridor as envisioned in the Master Plan. Furthermore, the layout and design of the site do not meet the envisioned design concepts.

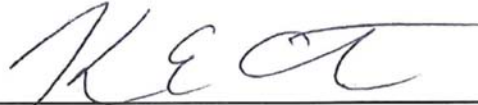
When the item is reviewed by the Planning Commission, the applicant will need to explain how the use is consistent with the with the Township Master Plan of Mixed-Use Core and the Township goal of improvement of Huron Drive and how the automobile use at highly visible corner to a gateway intersection is the intent of what the Township is trying to achieve.

However, prior to the Planning Commission consideration of the preliminary site plan and special use approval, the applicant shall resubmit the following items:

1. *Confirm site circulation is sufficient by the Township Fire Marshall.*
2. *Provide lighting plan that complies with Section 2110.2(b) with proper footcandle numbers.*
3. *Amend architectural, material, and colors to be consistent with the existing and desired future character of the corridor.*
4. *The applicant shall justify why 100 percent tree replacement is not feasible.*
5. *Provide outside agency approvals*
6. *Signs reviewed under a separate permit*



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, AICP, LEED AP
Principal



CARLISLE/WORTMAN ASSOC., INC.
Kristoffer Canty
Planner

April 1, 2021

Mr. Jason Iacoangeli
Township Planning Director
Charter Township of Ypsilanti
7200 S. Huron River Drive
Ypsilanti, MI 48197

RE: Zippy Auto Wash – 1327 Huron St
Site Plan Review #2

Dear Mr. Iacoangeli:

We have completed the second site plan review, with a latest revision date of March 18, 2021, and stamped received by OHM Advisors on March 19, 2021.

At this time, the plans are recommended for approval for the Planning Commission's consideration. This recommendation is contingent on the comments being addressed in Site Plan Review Letter comment #2, and when the comments are addressed, the revised plan set does not substantially change the overall site layout.

Preliminary detailed engineering comments have been provided to the applicant as a courtesy and shall be addressed prior to submitting detailed engineering plans for review.

A brief description of the project has been provided below (Section A), followed by our comments (Section B and C) and a list of anticipated required permits and approvals (Section D). Comments in Section C are detailed in nature, do not influence the overall site layout, and can be addressed during the detailed engineering drawing submittal.

A. PROJECT AND SITE DESCRIPTION

The applicant is proposing an automatic car wash with a 4,843 square-foot building. The proposed car wash facility includes a 150-foot fully automatic wash bay with mechanical dryers, heated exit, and entrance slab to the tunnel and vacuum stations. Vehicles will be queued onsite behind the building (to the east) via a private drive lane with access from James L. Hart Parkway. Access to the site is also shown from Huron St northbound.

The applicant is proposing a traditional underground stormwater system that will outlet into a proposed infiltration basin. The basin will include a 12-inch overflow outlet that drains to the east into the Huron Center Commercial and Office Drain. The applicant is proposing to connect and discharge into the existing 8-inch sanitary sewer that runs along the east side of the property.

B. SITE PLAN COMMENTS

General

1. Per the Washtenaw County Road Commission's (WCRC) correspondence dated February 23, 2021, the applicant shall provide an updated traffic impact study for the suggested traffic signal timing changes needed at the Huron Street and James L. Hart intersection. The applicant shall also provide WCRC approvals to this office and the Township for our records. **The applicant has sufficiently addressed the comment.**



2. The applicant shall provide a 250-foot radius coverage from existing (or proposed) fire hydrants that encloses on all four corners of the proposed building. Currently it appears that the existing fire hydrant coverage does not cover the south side of the proposed car wash. The applicant has proposed a fire hydrant that covers all four corners of the proposed building; however, per YCUA's March 25, 2021 letter, the proposed hydrant's location, in reference to the existing west hydrant located at the northwest corner of the parcel, will not be accepted by the Authority. Additionally, the proposed distance for a Fire Truck to back out of the proposed hydrant location is more than their allowable threshold of 150-feet. Addressing these comments may affect the overall site layout. The applicant shall revise accordingly.
3. The applicant shall provide a firetruck turning template through the site and obtain approval from the Township Fire Department. The applicant has sufficiently addressed the comment.
4. The applicant has noted 9 parking spaces including one handicapped space. However, only 8 are identified in the plans. The applicant shall revise accordingly. The applicant has sufficiently addressed the comment.
5. The applicants' proposed trash enclosure does not meet the minimum dimension requirements per the Township Ordinance (section 2107). The applicant shall revise accordingly. The applicant has sufficiently addressed the comment.

C. PRELIMINARY DETAILED ENGINEERING PLAN COMMENTS

The following comments shall be addressed by the applicant during the detailed engineering drawing submittal, and do not affect the recommendation for approval to the Township of Ypsilanti Planning Commission. It should be noted that this is not an all-inclusive list and additional comments may be generated as new information is presented.

1. The applicant shall provide spot elevations at all four (4) corners of all proposed ramps/level landings, ADA parking spaces and access aisles, as well as along both sides of all proposed sidewalk at 50-foot intervals. The cross-slope shall not exceed 2%, per ADA Standards. The applicant shall verify the proposed ramps (specifically the ramps at the southeast intersection of Huron St and James L Hart Parkway), sidewalk, and sidewalk crossing is ADA compliant. Additionally, the applicant shall include ADA compliant details for the proposed sidewalk and ramps (i.e. current MDOT R-28-J Series) on the plans.
2. The applicant shall provide utility profiles, including pipe diameter, material, length, slope, and hydraulic grade line (where applicable), for all proposed utilities (water, sanitary, storm) on the plans.
3. The existing roadway located on the northern side of the parcel (continued in series from James L. Hart Parkway) is privately owned. The applicant shall provide the original agreement for shared use access with the detailed engineering submittal.
4. The applicant shall provide clarification for structures TD5 and TD6. It is assumed that these may be trench drains; however, additional narrative and detail shall be provided of the proposed structures.
5. The applicant shall provide a geotechnical report with the next submittal that verifies the presented infiltration rate in the stormwater calculations. The applicant has sufficiently addressed the comment.
6. The applicant shall provide calculations and a detail for the proposed outlet control structure located within the proposed detention pond.
7. The applicant shall provide a detail of the sanitary sediment/reclaim denoted within the plan set.



8. The applicant shall provide a cross-section detail of the proposed pavers located at the northwest corner of the site. Additionally, the applicant shall also provide a detail for the proposed bench and repair station, located in the same vicinity.
9. All Soil Erosion and Sediment Control (SESC) measures should be listed out (i.e. silt fence, inlet protection) and shown on an SESC plan sheet. Additionally, the applicant shall include the Ypsilanti Township SESC Details sheet within the plan set. The sheet has been enclosed with this letter for the applicant's benefit.
10. Prior to a preconstruction meeting taking place the applicant shall provide an engineer's estimate of probable cost for the project.

D. REQUIRED PERMITS & APPROVALS

The following outside agency reviews and permits will be required for the project. Copies of any correspondence between the applicant and the review agencies, as well as the permit or waiver, shall be sent to both the Township and OHM Advisors (email: elliott.smith@ohm-advisors.com).

- ▶ **Ypsilanti Township Board of Trustees (BOT):** After approval of the site plan by the Township Planning Commission, detailed engineering drawings are required and approvals from all applicable agencies will be required for BOT approval.
- ▶ **Ypsilanti Community Utilities Authority (YCUA):** Letter received March 25, 2021. The applicant shall address YCUA comments.
- ▶ **Ypsilanti Township Fire Department:** Letter received March 10, 2021. Review and approval is required.
- ▶ **Washtenaw County Water Resources Commissioner's Office (WCWRC):** Review and approval is required.
- ▶ **Washtenaw County Road Commission (WCRC):** Review and approval is required for the Huron Street access approach.
- ▶ **Ypsilanti Township Office of Community Standards:** A Soil Erosion and Sedimentation Control permit shall be secured from the Ypsilanti Township Office of Community Standards.
- ▶ The Township's Planner will inspect the landscaping for this site.
- ▶ If dewatering should be needed, the contractor/applicant shall be responsible for obtaining necessary approvals from the Township and the Township Engineer, permission from all impacted adjacent properties and/or permits from MDOT, WCWRC's Office, or the WCRC.
- ▶ Record plans shall be provided to the Township Engineer following the completion of construction.

Should you have any questions regarding this matter, please contact this office at (734) 466-4580.

Sincerely,
OHM Advisors

Matthew D. Parks, P.E.

Elliot R. Smith

MDP/ERS/sls

cc: Mike Radzik, Township Community Standards Director
Belinda Kingsley, Township Planning and Development Coordinator
Doug Winters, Township Attorney
Dan Kimball, Township Fire Marshall



File

P:\0000_0100\SITE_YpsilantiTwp\2020\0098201170_1327 Huron_Zippy Auto Wash\MUNI\01_SITE\SP-2\1327_Huron_St_Zippy_Auto_Wash_SP2_2021_03_31.docx

RULE 323.1703

SOIL EROSION AND SEDIMENTATION CONTROL PLAN REQUIREMENTS.
 A PERSON SHALL PREPARE A SOIL EROSION AND SEDIMENTATION CONTROL PLAN FOR ALL PROJECTS INVOLVING EXCAVATION, EROSION, OR SEDIMENTATION AND SHALL IDENTIFY FACTORS THAT MAY CONTRIBUTE TO SOIL EROSION OR SEDIMENTATION, OR BOTH. THE PLAN SHALL INCLUDE, BUT NOT BE LIMITED TO, ALL OF THE FOLLOWING:

- (A) A MAP OR MAPS AT A SCALE OF NOT MORE THAN 200 FEET TO THE INCH OR AS OTHERWISE DETERMINED BY THE COUNTY OR LOCAL ENFORCING AGENCY. A MAP SHALL SHOW THE LOCATION OF ALL EXISTING AND PROPOSED ON-SITE TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES, PRE-EXISTING LAND FEATURES, AND CONTOUR INTERVALS OR SLOPE DESCRIPTION.
- (B) A SOIL SURVEY OR A WRITTEN DESCRIPTION OF THE SOIL TYPES OF THE EXPOSED LAND AREA CONTEMPLATED FOR THE EARTH CHANGES.
- (C) DETAILS FOR PROPOSED EARTH CHANGES, INCLUDING ALL OF THE FOLLOWING:
 - (i) A DESCRIPTION AND THE LOCATION OF ALL EXISTING AND PROPOSED ON-SITE EARTH CHANGE.
 - (ii) A DESCRIPTION AND THE LOCATION OF ALL EXISTING AND PROPOSED ON-SITE DRAINAGE AND DRAINAGE FACILITIES.
 - (iii) THE TIMING SEQUENCE OF EACH PROPOSED EARTH CHANGE.
 - (iv) THE LOCATION AND DESCRIPTION FOR INSTALLING AND REMOVING ALL PROPOSED TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES.
 - (v) A DESCRIPTION AND THE LOCATION OF ALL PROPOSED PERMANENT SOIL EROSION AND SEDIMENTATION MEASURES.
- (D) A PROGRAM PROPOSAL FOR THE CONTINUED MAINTENANCE OF ALL PERMANENT MEASURES, INCLUDING THE LOCATION OF ALL PERMANENT MEASURES, THE PERSON RESPONSIBLE FOR THE MAINTENANCE, MAINTENANCE RESPONSIBILITIES SHALL BECOME A PART OF ANY SALES OR EXCHANGE AGREEMENT FOR THE LAND ON WHICH THE PERMANENT SOIL EROSION CONTROL MEASURES ARE LOCATED.

FIGURE (B-1)

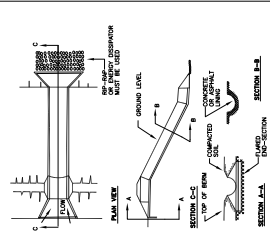


FIGURE (B-2)

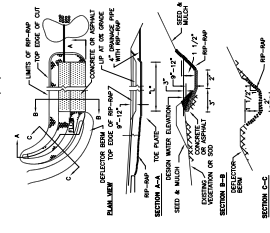


FIGURE (B-3)

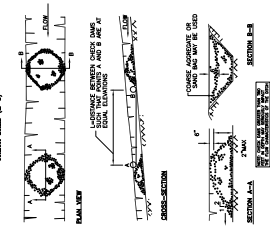


FIGURE (B-4)

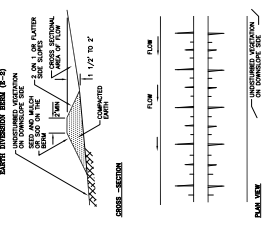


FIGURE (B-5)

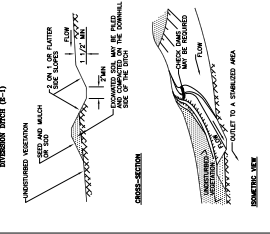


FIGURE (B-6)

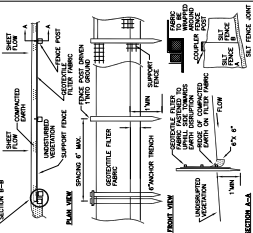


FIGURE (B-7)

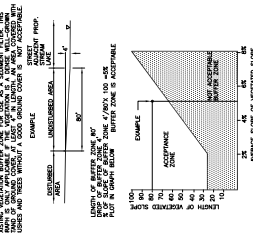


FIGURE (B-8)

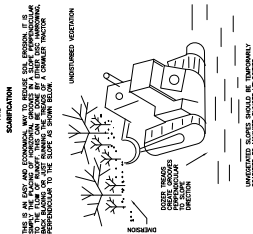


FIGURE (B-9)

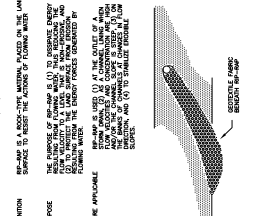


FIGURE (B-10)

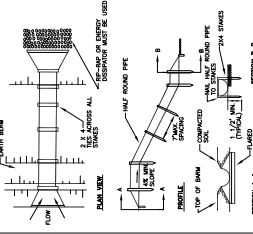


FIGURE (B-11)

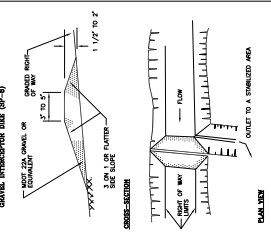


FIGURE (B-12)

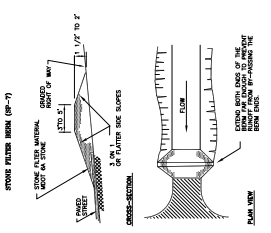


FIGURE (B-13)

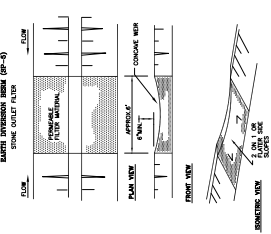


FIGURE (B-14)

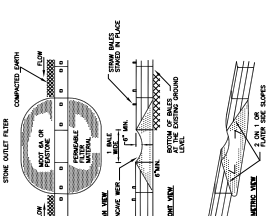


FIGURE (B-15)

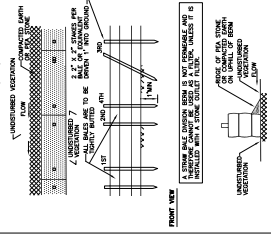


FIGURE (B-16)

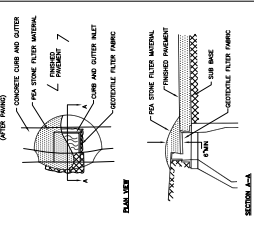


FIGURE (B-17)

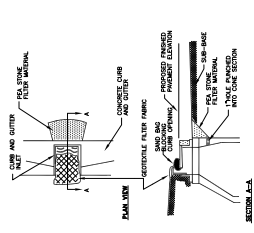


FIGURE (B-18)

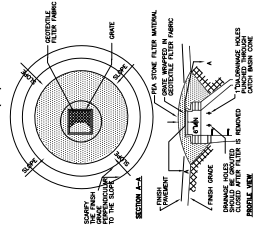


FIGURE (B-19)

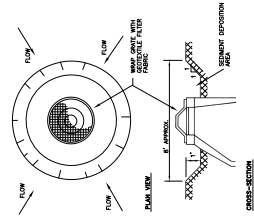
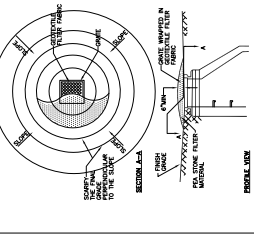


FIGURE (B-20)



YPSILANTI TOWNSHIP
TOWNSHIP STANDARD
SOIL EROSION CONTROL DETAILS

CLIENT: YPSILANTI TOWNSHIP
 DRAWING NAME: SEC. 249
 CLIENT: YPSILANTI TOWNSHIP

ORTHARD, HILTZ & McCORMICK, INC.
 1000 PLYMOUTH BLVD
 ANN ARBOR MI 48106
 (734) 769-2400 FAX
 (734) 769-2407 FAX

DATE: 03/25/04
 REVISION: 03/25/04
 PROJECT: SEC. 249
 SHEET: 249-01

DRAWN BY: J. HILTZ
 CHECKED BY: J. HILTZ
 APPROVED BY: J. HILTZ

YPSILANTI TOWNSHIP
 CLIENT: YPSILANTI TOWNSHIP

NO.	DATE	BY	REVISION
1	03/25/04	J. HILTZ	ISSUED FOR PERMIT
2	03/25/04	J. HILTZ	ISSUED FOR PERMIT
3	03/25/04	J. HILTZ	ISSUED FOR PERMIT
4	03/25/04	J. HILTZ	ISSUED FOR PERMIT
5	03/25/04	J. HILTZ	ISSUED FOR PERMIT
6	03/25/04	J. HILTZ	ISSUED FOR PERMIT
7	03/25/04	J. HILTZ	ISSUED FOR PERMIT
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11	03/25/04	J. HILTZ	ISSUED FOR PERMIT
12	03/25/04	J. HILTZ	ISSUED FOR PERMIT
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14	03/25/04	J. HILTZ	ISSUED FOR PERMIT
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16	03/25/04	J. HILTZ	ISSUED FOR PERMIT
17	03/25/04	J. HILTZ	ISSUED FOR PERMIT
18	03/25/04	J. HILTZ	ISSUED FOR PERMIT
19	03/25/04	J. HILTZ	ISSUED FOR PERMIT
20	03/25/04	J. HILTZ	ISSUED FOR PERMIT

CHARTER TOWNSHIP OF YPSILANTI FIRE DEPARTMENT

BUREAU OF FIRE PREVENTION

222 South Ford Boulevard, Ypsilanti, MI 48198



May 4, 2021

Jason Iacoangeli
Township Planning Director
Charter Township of Ypsilanti
7200 S. Huron River Drive
Ypsilanti, MI 48197

RE: Site Plan Review # 3
Project Name: Zippy Auto Wash
Project Location: 1327 S. Huron St.
Plan Date: 2/8/2021
Revised Date: 4/15/2021
Job Number: xxx
Applicable Codes: IFC 2018
Designer: Vanston/O'brien, Inc.
Designer Address: 8150 Jackson Road, Ste. A, Ann Arbor, Michigan 48103

Status of Review

Status of review: Approved as Submitted

Respectfully submitted,

A handwritten signature in black ink that reads "Dan Kimball". The signature is written in a cursive style and is positioned above a horizontal line.

Dan Kimball, Fire Marshal
Charter Township of Ypsilanti Fire Department
CFPS, CFI II, CFPE



YPSILANTI COMMUNITY UTILITIES AUTHORITY

2777 STATE ROAD
YPSILANTI, MICHIGAN 48198-9112
TELEPHONE: 734-484-4600
WEBSITE: www.ycua.org

March 25, 2021

VIA ELECTRONIC MAIL

Mr. Jason Iacoangeli, Planning Director
Office of Community Standards
CHARTER TOWNSHIP OF YPSILANTI
7200 S. Huron River Drive
Ypsilanti, MI 48197

Re: Preliminary (non-residential) Site Plan Review #2
Zippy Auto Wash
1327 S. Huron Street, Charter Township of Ypsilanti (Plan Date: 03-18-2021)

Dear Mr. Iacoangeli:

In response to the plans and related documents received via electronic mail from your office March 19, 2021, we have reviewed the referenced plans with regards to water supply and wastewater system design. The plans are acceptable to YCUA for this stage of review. However, the following comments need to be addressed by the Applicant and/or the Applicant's design engineer prior to Detailed Engineering plans being deemed acceptable to YCUA.

1. The existing water main alignment adjacent to the north and east parcel boundaries is not correct. The correct information is provided on the enclosed screenshot from the YCUA geographic information system.
2. Adding the proposed hydrant so close to the existing hydrant near the northwest corner of the parcel is unacceptable. In lieu of simply adding the new hydrant via a connection to the existing water main with a live tap, the water main shall be isolated using the 3 gate valves along the south side of James L. Hart Parkway, the new hydrant connected with a cut-in tee on the existing water main, the existing hydrant removed, and the existing tee plugged.

As noted in the March 3, 2021, letter from this office, connection fees apply to the proposed project. Please note that the total cash price for connection fees, **\$61,366.72 plus the construction phase escrow deposit, Authority administration fee, and record plan guarantee**, must be paid to the Authority by the Applicant, with a receipt delivered to the Township, before either the building or soil and grading permit is issued. The construction phase escrow deposit and associated fees and deposits and the entity responsible for maintaining those accounts will be determined during the Detailed Engineering phase of the project in conjunction with your office and the Township Engineer. Should there be any questions please contact this office.

Sincerely,

SCOTT D. WESTOVER, P.E., Engineering Manager
Ypsilanti Community Utilities Authority


Mr. Jason Iacoangeli, Planning Director
CHARTER TOWNSHIP OF YPSILANTI
March 25, 2021
Page 2

Enclosure as noted

cc: Mr. Jeff Castro, Mr. Mike Shaffer, File, YCUA
Mr. Mike Radzik, Ms. Belinda Kingsley, Charter Township of Ypsilanti
Mr. Eric Copeland, Mr. Dan Kimball, Township Fire Department
Mr. Matt Parks, P.E., Township Engineer
Mr. Gary Streight, P.E., WCRC
Mr. Corey Weaver, Applicant
Mr. Greg Heim, P.E., Applicant's design engineer

G:\CDproj\YpsiTwp\2021 - Zippy Auto Wash\PNRSP Rev#2.docx

Fwd: WCRC Permit App #17277 - Zippy Auto Wash - 1327 S Huron St - Modified Variance Request

From : Jason Iacoangeli <jiacoangeli@ytown.org> Thu, Feb 25, 2021 01:55 PM
Subject : Fwd: WCRC Permit App #17277 - Zippy Auto Wash - 1327 S Huron St - Modified Variance Request  1 attachment
To : Benjamin Carlisle <bcarlisle@cwaplan.com>, Elliot Smith <Elliot.Smith@ohm-advisors.com>
Cc : Belinda Kingsley <bkingsley@ytown.org>, mradzik <mradzik@ytown.org>

FYI

Jason Iacoangeli, AICP
Planning Director

From: "Gary Streight" <streightg@wcroads.org>
To: "mrweaver" <mrweaver@comcast.net>
Cc: "Dave Brewer" <dave.brewer@vanston.com>, "greg heim" <greg.heim@vanston.com>, "Jason Iacoangeli" <jiacoangeli@ytown.org>, "macdonellm" <macdonellm@wcroads.org>, "Mark McCulloch" <mccullochm@wcroads.org>, "schlackb" <schlackb@wcroads.org>
Sent: Tuesday, February 23, 2021 8:34:34 AM
Subject: RE: WCRC Permit App #17277 - Zippy Auto Wash - 1327 S Huron St - Modified Variance Request

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

!-----!

Corey,

Our office has reviewed your request for a waiver to gain a right in only access from Huron Street. The County Highway Engineer has determined it to be a reasonable request and has granted the waiver with the following condition:

- Provide an update to the traffic impact study for the suggested traffic signal timing changes needed at the Huron Street and James L. Hart intersection. The MDOT forms for signal timing may be used for the documentation.

Upon completion of the revised traffic impact study have been completed please send them electronically to me for review and final approval. If you have any questions feel free to contact me.

Gary Streight, P.E.
Project Manager



Washtenaw County Road Commission
555 N. Zeeb Road, Ann Arbor, Michigan

Direct: (734) 327-6692 | Main: (734) 761-1500
wcroads.org | [Follow us on Facebook](#)

From: mrweaver@comcast.net <mrweaver@comcast.net>
Sent: Wednesday, February 17, 2021 9:12 AM
To: Streight, Gary <streightg@wcroads.org>
Cc: 'Dave Brewer' <dave.brewer@vanston.com>; 'Greg Heim' <greg.heim@vanston.com>; 'Jason Iacoangeli' <jiacoaangeli@ytown.org>
Subject: WCRC Permit App #17277 - Zippy Auto Wash - 1327 S Huron St - Modified Variance Request

[External Sender]

Hi Gary,

Please find attached our modified variance request for WCRC Permit Application #17277 – Zippy Auto Wash – 1327 South Huron Street.

Please feel free to contact me at any time with questions or for further information.

Regards,

Corey Weaver
Owner, Zippy Auto Wash
233 West Ellsworth Road, Ann Arbor, MI 48108
1200 East Michigan Avenue, Saline, MI 48176
177 South Zeeb Road, Ann Arbor, MI 48103
Mobile: 734-904-3869
Fax: 734-503-6043
mrweaver@comcast.net



EVAN N. PRATT, P.E.

WATER RESOURCES COMMISSIONER
705 North Zeeb Road
P.O. Box 8645
Ann Arbor, MI 48107-8645

email: drains@ewashtenaw.org
<http://drain.ewashtenaw.org>

HARRY SHEEHAN
Chief Deputy Water Resources Commissioner

SCOTT A. MILLER, P.E.
Deputy Water Resources Commissioner

Telephone 734.222.6860
Fax 734.222.6803

April 5, 2021

Mr. Greg Heim, P.E.
Vanston/O'Brien Inc.
8150 Jackson Road, Suite A
Ann Arbor, Michigan 48103

RE: Zippy Auto Wash – Huron Street
Ypsilanti Township, Michigan
WCWRC Project No. 7170

Dear Mr. Heim:

This office has reviewed the site plans for the above-referenced project to be located in Ypsilanti Township. These plans have a date of March 18, 2021 and were received on March 23, 2021. As a result of our review, we would like to offer the following comments:

1. The design plans are technically correct and do not require revisions at this time. Please note any future revisions should be submitted to our office for further review.
2. Prior to construction activities at the site, a drain use permit is required. Please submit a drain use permit application, including an affidavit of pollution prevention and the associated fees, at your convenience.
3. Please see the attached invoice for the current fees and remit these fees upon receipt. As requested, the invoice is being submitted directly to Zippy Auto Wash, LLC.

If you have any questions, please contact our office.

Sincerely,

A handwritten signature in blue ink that reads 'Theresa M. Marsik'.

Theresa M. Marsik, P.E.
Stormwater Engineer
(permit\Zippy Auto Wash – Huron Street rev2)

cc: Corey Weaver, Zippy Auto Wash, LLC
Michael Radzik, Ypsilanti Township Office of Community Standards
Jason Iacoangeli, Ypsilanti Township Planning Director
Belinda Kingsley, Ypsilanti Township Planning & Zoning Coordinator
Doug Winters, McLain and Winters

SITE PLAN

ZIPPY AUTO WASH

K -11-16-360-001

1327 S. HURON ST.

YPSILANTI TOWNSHIP, MICHIGAN

ZIPPY HURON

DESIGNERS
Vanston/O'Brien, Inc.
B U I L D I N G

8150 Jackson Road, Ste. A
Ann Arbor, MI 48103
Tel: (734) 424-0661
Fax: (734) 424-0677
e-mail: design@vanston.com • www.vanston.com

ABBREVIATIONS

A	A.F.F.	ABOVE FINISH FLOOR
	AC	ACRE
	A/C	AIR CONDITION
	ALUM.	ALUMINUM
	ASPH.	ASPHALT
B	B.F.F.	BELOW FINISH FLOOR
	BIT.	BITUMINOUS
	BLDG.	BUILDING
C	CB	CATCH BASIN
	C.O.	CLEAN OUT
	COMP.	COMPRESSOR
	CONC.	CONCRETE
	CMU	CONCRETE MASONRY UNIT
	C.J.	CONTROL JOINT
D	DIA.	DIAMETER
	DIM.	DIMENSION
	DWG.	DRAWING
	D.I.	DUCTILE IRON
E	EA.	EACH
	ELEC.	ELECTRIC
	EL / ELEV.	ELEVATION
	EQ.	EQUAL
	EXIST. / EX.	EXISTING
	EXP.	EXPANSION
	E.J.	EXPANSION JOINT
	EXT.	EXTERIOR
F	FT.	FEET
	F.F.	FINISH FLOOR
	F.H.	FIRE HYDRANT
	FIXT.	FIXTURE
	FLR.	FLOOR
	F.A.R.	FLOOR/AREA RATIO
G	GA.	GAUGE
	GALV.	GALVANIZED
	GL.	GLASS
H	HT.	HEIGHT
	H.P.	HIGH POINT
	H.M.	HOLLOW METAL
	HORIZ.	HORIZONTAL
I	I.D.	INSIDE DIAMETER
	INT.	INTERIOR
	INV.	INVERT
J	JT.	JOINT
L	L.L.	LIVE LOAD
	L.L.H.	LONG LEG HORIZONTAL
	L.L.V.	LONG LEG VERTICAL
	L.P.	LOW POINT
M	MFR.	MANUFACTURER
	MH.	MANHOLE
	MAS.	MASONRY
	M.O.	MASONRY OPENING
	MAX.	MAXIMUM
	ML.	MILLIMETER
	MIN.	MINIMUM
	MTD.	MOUNTED
N	NOM.	NOMINAL
	N.I.C.	NOT IN CONTRACT
	NO.	NUMBER
O	O.C.	ON CENTER
	O.D.	OUTSIDE DIAMETER
	O.H.	OVERHEAD
	OE	OVERHEAD ELECTRIC
	OTE	OVERHEAD TELEPHONE & ELECTRIC
P	PTD.	PAINTED
	PSF	POUNDS PER SQUARE FOOT
	PSI	POUNDS PER SQUARE INCH
	PEMB	PRE-ENGINEERED METAL BUILDING
	PREFAB.	PREFABRICATED
R	RAD.	RADIUS
	REV.	REVISED
	R.O.W.	RIGHT OF WAY
	RTU	ROOF TOP UNIT
	RM.	ROOM
S	SAN.	SANITARY
	SCHED./SCH.	SCHEDULE/SCHEDULE
	SM.	SIMILAR
	S.P.A.	SITE PLAN APPROVAL
	SQ. FT. / S.F.	SQUARE FEET
	STD.	STANDARD
	ST. MH.	STORM MANHOLE
T	TV&S	TAPPING VALVE & SLEEVE
	T/C	TOP OF CURB
	T/P	TOP OF PAVEMENT
	T/W	TOP OF WALK
	TBR	TO BE REMOVED
	TYP.	TYPICAL
U	UE	UNDERGROUND ELECTRICAL
	UTE	UNDERGROUND TELEPHONE & ELECTRICAL
	U.N.O.	UNLESS NOTED OTHERWISE
	U.P.	UTILITY POLE
V	VERT.	VERTICAL
W	W/	WITH
	W/O	WITHOUT

LEGAL DESCRIPTION

LOT 1 OF HURON CENTER COMMERCIAL AND OFFICE PARK SUBDIVISION, ACCORDING TO THE RECORDED PLAT THEREOF, AS RECORDED IN LIBER 26 OF PLATS, PAGES 50 AND 51, WASHTENAW COUNTY RECORDS

PROPERTY TAX ID: K -11-16-360-001

PROJECT DESCRIPTION

The proposed use is an automatic car wash in a 4,843 sf building with a 150 foot fully automatic wash bay with mechanical dryers, heated exit and entrance slab to the tunnel, and vacuum stations. Two automatic pay stations located at the rear of the site provide ample stacking spaces for traffic queuing on site. The concrete entrance and exit ramps shall be heated to prevent freezing. Areas beyond these slab shall be salted regularly in freezing temperatures to prevent ice on paved surfaces. There shall be three vacuum islands located adjacent to the building with two vacuums each. Employee and customer parking is located adjacent to the building.

GENERAL NOTES:

- All site work shall meet all applicable codes, laws and regulations including Michigan Barrier-Free Design Requirements and ADA Accessibility Guidelines (ADAAG).
- Verify existing conditions on site. Notify architect/engineer of discrepancies prior to proceeding with construction.
- Provide signs per Michigan Barrier-Free Requirements at handicapped spaces. Van spaces shall have an additional sign, "VAN ACCESSIBLE" per ADAAG requirements.
- All work in R.O.W. shall conform to WCRC Standards and permitting guidelines.
- All roads leading to the site are designated Class A for all season travel.
- All work done shall be performed in accordance with the Township's current ordinances, standards and regulations.
- Existing utility information and locations are per existing records and may or may not have been field verified.

UTILITY NOTES

The existing utilities shown on the drawings represent the best information available as obtained by field surveys and from existing records. This information does not relieve the contractor of the responsibility to contact Miss Dig or to satisfy himself as to the accuracy of the location shown.

SEWER AND WATER	TELEPHONE
Ypsilanti Community	AT&T
Utilities Authority	5500 South Maple Road
2777 State Road	Ann Arbor, Michigan 48103
Ypsilanti, Michigan 48198	(734) 996-5351
734-484-4600	
ELECTRIC	GAS
DTE	Michigan Consolidated Gas Co.
8001 Haggerty Road	3150 East Michigan Avenue
Belleville, MI 48112	Ypsilanti, Michigan 48198
(734) 332-3322	(734) 485-8230

For protection of underground utilities, the contractor shall notify the Miss Dig Utility Location Service a minimum of 72 hours prior to excavation.

The improvements covered by these plans shall be done in accordance with the City of Saline's standards and supplemental specifications.

SITE INFORMATION

CURRENT ZONING: B-3 General Business
 SITE AREA: GROSS/NET = 2.91 AC.
 EXISTING USE: VACANT
 PROPOSED BUILDING USE: Automatic Car Wash
 PROPOSED BUILDING AREA: 4,843 SF - 1 Story

	REQUIRED	PROPOSED
MIN. LOT AREA	1 Acre	2.91 Acres NET (126,716 SF)
MIN. LOT WIDTH	150'	269'
MAX. LOT COVERAGE	30%	6.3%
FLOOR AREA RATIO	60%	6.3%
MAX. IMPERVIOUS	60%	48.4% (80,417 SF)
MAX. BUILDING HEIGHT	45' max., 2 stories	25', 1 story
FRONT SETBACK	25'/ 50' AUTO WASH	50'
SIDE SETBACK	0'	58.2'
REAR SETBACK	20'	30.3'

PARKING & LOADING:

Parking Spaces Required:
 One for each one employee. In addition, stacking spaces equal in number to five times the maximum capacity of the auto wash. Maximum capacity of the auto wash shall mean the greatest number of automobiles possible undergoing some phase of washing at the same time, which shall be determined by dividing the length in feet of each wash line by 24.

Total Required Parking Spaces: 5 spaces, plus 32 stacking spaces
 Parking Spaces Provided:
 8 parking spaces are provided, including 1 barrier-free space, 32+ Stacking spaces provided

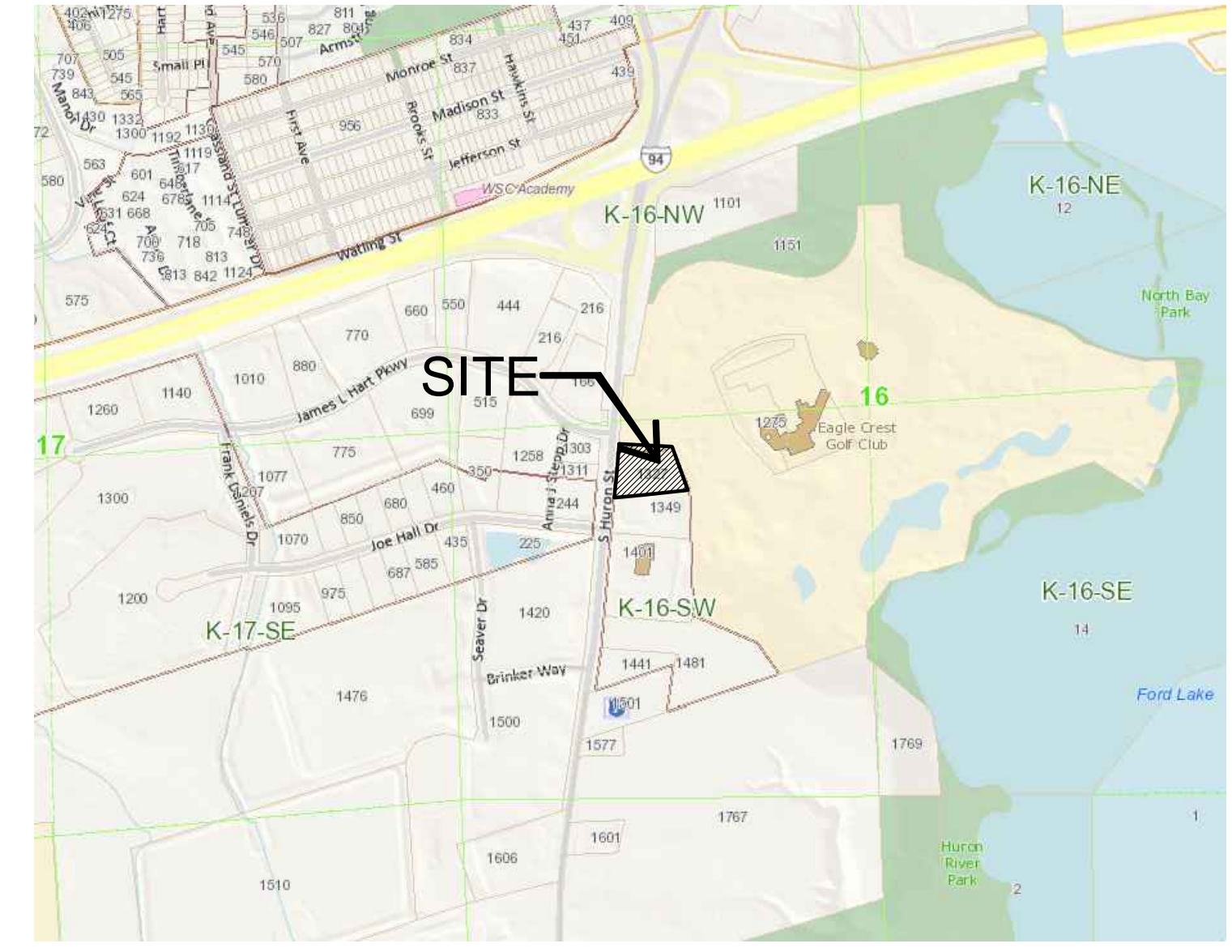
Loading Spaces:
 1 Loading Spaces Provided.

SOILS INFORMATION:

StB - St. Clair Loom, 2 to 6 Percent Slopes, D
 StB - Seward sandy loam, loamy subsoil variant, 2 to 6 percent slopes, A

NATURAL FEATURES:

NO wetlands, floodways drainage ways or floodplains exist on or near the site boundaries.



LOCATION MAP
SCALE: 1" = 1000'-0"

GENERAL INFORMATION

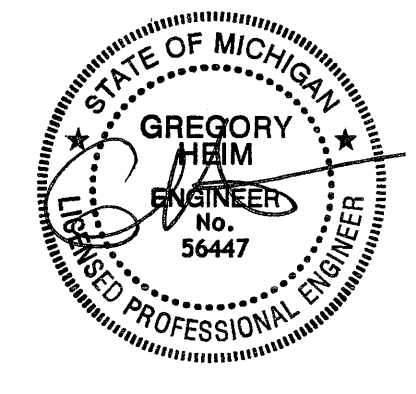
PROPERTY LOCATION:
 1327 S. Huron St.
 Ypsilanti, Michigan 48197

DEVELOPER/OWNER:
 Corey & Michelle Weaver, Zippy Auto Wash LLC
 P.O. Box 550
 Saline, Michigan 48176
 734-904-3869

SITE PLANNER/ENGINEER/CONTRACTOR:
 Vanston/O'Brien, Inc.
 8150 Jackson Road, Ste. A
 Ann Arbor, MI 48103
 (734) 424-0661

DRAWING INDEX:

C-1	TITLE SHEET
C-2	EXISTING CONDITIONS PLAN
C-3	SITE PLAN
C-4	GRADING PLAN
C-5	LANDSCAPE PLAN
C-6	LIGHTING PLAN
C-7	DETAIL SHEET
C-8	DRAINAGE PLAN
A-1	FLOOR PLAN & ELEVATIONS



Zippy Auto Wash
1327 S. Huron St.
Ypsilanti Township, Michigan

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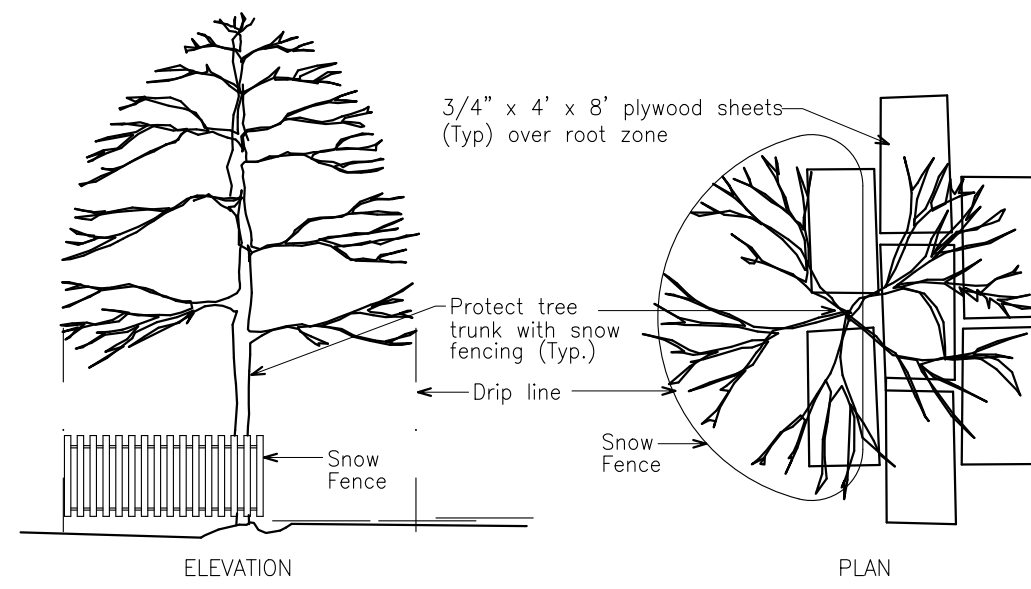
ISSUED FOR: DATE:
 PRELIMINARY 12-15-20
 SITE PLAN 2-8-21
 SITE PLAN REV 3-18-21

DRAWN BY: GAH
 JOB NO.: XXX

TITLE SHEET

SHEET NO.
C-1

NO.	COMMON	SCIENTIFIC	SIZE	CONDITION	REMOVE
101	Crabapple	Malus spp.	15"	Good	
102	Crabapple	Malus spp.	16"	Good	
103	Crabapple	Malus spp.	12"	Good	
104	Crabapple	Malus spp.	14.5"	Good	
105	Crabapple	Malus spp.	17.5"	Good	
106	Crabapple	Malus spp.	13"	Good	
107	Austrian Pine	Pinus nigra	14.5"	Poor	X
108	Austrian Pine	Pinus nigra	11"	Poor	
109	Austrian Pine	Pinus nigra	13"	Poor	
110	Austrian Pine	Pinus nigra	13"	Poor	
111	Austrian Pine	Pinus nigra	14"	Poor	
112	Austrian Pine	Pinus nigra	13"	Fair	
113	Austrian Pine	Pinus nigra	16"	Poor	
114	Maple	Acer spp.	38"	Excellent	
115	Walnut	Juglans	16.5"	Excellent	X
116	Walnut	Juglans	20"	Excellent	X
117	Austrian Pine	Pinus nigra	13"	Poor	
118	Austrian Pine	Pinus nigra	14"	Poor	
119	Austrian Pine	Pinus nigra	19.5"	Poor	
120	Austrian Pine	Pinus nigra	11.5"	DEAD	X
121	Austrian Pine	Pinus nigra	12.5", 8"	DEAD	X
122	Austrian Pine	Pinus nigra	8.75"	DEAD	X
123	Crabapple	Malus spp.	14.5"	Good	
124	Crabapple	Malus spp.	14.5"	Good	
125	Crabapple	Malus spp.	12.5"	Good	
126	Crabapple	Malus spp.	16.75"	Good	
127	Crabapple	Malus spp.	12"	Good	
128	Crabapple	Malus spp.	10.5"	Good	
129	Crabapple	Malus spp.	11"	Good	X
130	Crabapple	Malus spp.	13.5"	Good	X
131	Crabapple	Malus spp.	13"	Good	X
132	Crabapple	Malus spp.	13.25"	Good	X
133	Crabapple	Malus spp.	12.25"	Good	X
134	Crabapple	Malus spp.	9.5"	Good	X
135	Crabapple	Malus spp.	8.5"	Good	X
136	Crabapple	Malus spp.	10.5"	Good	X
137	Boxelder	Acer negundo	25.5"	Poor	X
138	Boxelder	Acer negundo	9.5", 10.75", 14", 14.5"	Poor	X
139	Walnut	Juglans	32.5"	Excellent	X
140	Boxelder	Acer negundo	15.5", 12.5", 17.5"	Fair	X
141	Boxelder	Acer negundo	15.5", 18"	Fair	X
142	Boxelder	Acer negundo	15.5"	Poor	X
143	Walnut	Juglans	22.5"	Good	
144	Boxelder	Acer negundo	26"	Poor	X
145	Walnut	Juglans	35.5"	Good	



STANDARD TREE PROTECTION
NOTE: Pull back fencing to install plywood when access in root zone is necessary.

K-11-37-361-022
1303 ANNA J STEFF DR
THE KROGER CO OF
MICHIGAN
ZONED B-3 - USE SERVICE
STATION

K-11-37-361-023
1311 ANNA J STEFF DR
TIM DONUT US LIMITED INC
RYAN PROPERTY TAX
SERVICES
ZONED B-3 - USE DRIVE
THRU RESTURANT

K-11-17-363-001
244 JOE HALL DR
JOE HALL ROAD
INVESTMENT LLC
ZONED B-3 - USE SERVICE
STATION



EXISTING CONDITIONS PLAN
SCALE: 1" = 30'-0"

LEGEND			
---	PROPERTY LINE	□	EXISTING BUILDING
- - -	SETBACK EASEMENT	□	EXISTING PAVING
- - -	PROPOSED STORM	□	PROPOSED CONCRETE
- - -	PROPOSED UNDERGROUND	□	PROPOSED BUILDING
- - -	PROPOSED SANITARY	□	
- - -	PROPOSED GAS	□	
- - -	EXISTING WATER	○	
- - -	EXISTING TELEPHONE	○	
- - -	EXISTING ELECTRIC	○	
- - -	EXISTING UNDERGROUND CABLE	○	
- - -	EXISTING GAS	○	
- - -	EXISTING SANITARY	○	
- - -	EXISTING CENTERLINE OF DITCH	○	
- - -	EXISTING CONTOUR	○	
- - -	PROPOSED CONTOUR	○	
+	NEW SOFFIT LIGHTING	○	
+	NEW BUILDING MOUNTED LIGHTING	○	
+	NEW POLE-MOUNTED LIGHT	○	
+	EXISTING UTILITY POLE	○	
+	EXISTING MANHOLE	○	
+	EXISTING CATCH BASIN	○	
+	S-1 PROPOSED MANHOLE	○	
+	R-1 NEW CATCH BASIN	○	
+	EXISTING FIRE HYDRANT	○	
+	NEW #3 NEW FIRE HYDRANT	○	
+	PROPOSED ELEVATION	○	
+	EXISTING ELEVATION	○	
+	LINE OF TREE PROTECTION DRAINAGE AREA	○	

DESIGNERS
Vanston/O'Brien, Inc.
BUILDERS

8150 Jackson Road, Ste. A
Ann Arbor, MI 48103
Tel: (734) 424-0661
Fax: (734) 424-0677
e-mail: design@vanston.com • www.vanston.com

ZIPPY AUTO WASH
1327 S. Huron St.
Ypsilanti Township, Michigan

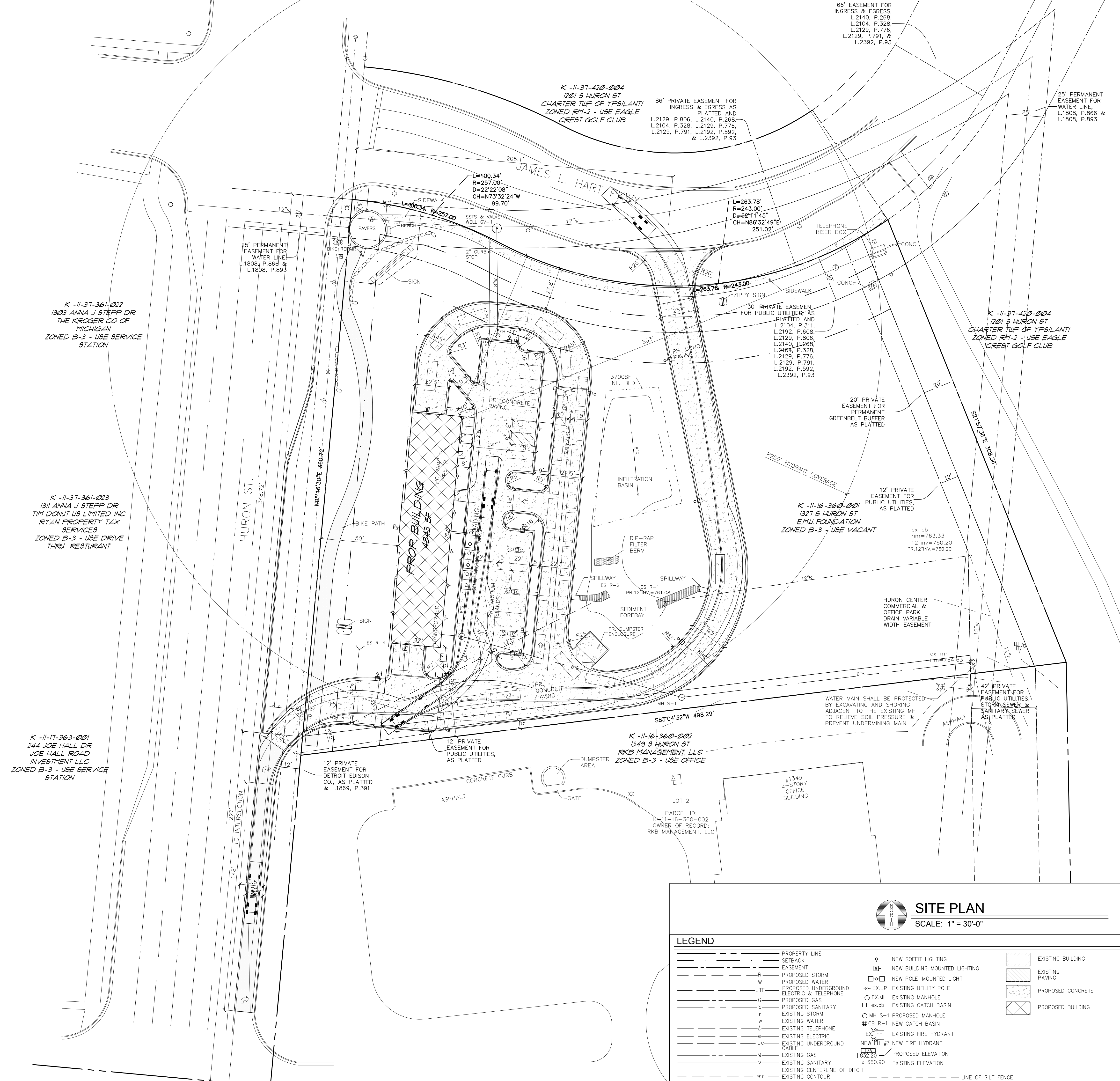
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ISSUED FOR: DATE:
PRELIMINARY 12-15-20
SITE PLAN 2-9-21
SITE PLAN REV 3-16-21

DRAWN BY: GAH
JOB NO.: XXX

EXISTING CONDITIONS PLAN
SHEET NO.
C-2

\\FILESERVER1\DesignData\PROJECT - FILES\2516 Zippy - Huron\AUTOCAD\DWG\SPAC-2.dwg, 3/19/2021 12:32:57 PM



K -11-37-361-022
1303 ANNA J STEFF DR
THE KROGER CO OF
MICHIGAN
ZONED B-3 - USE SERVICE
STATION

K -11-37-361-023
1311 ANNA J STEFF DR
TIM DONUT US LIMITED INC
RYAN PROPERTY TAX
SERVICES
ZONED B-3 - USE DRIVE
THRU RESTAURANT

K -11-17-363-001
244 JOE HALL DR
JOE HALL ROAD
INVESTMENT LLC
ZONED B-3 - USE SERVICE
STATION

K -11-37-410-004
1201 S HURON ST
CHARTER TWP OF YPSILANTI
ZONED RM-2 - USE EAGLE
CREST GOLF CLUB
66' PRIVATE EASEMENT FOR
INGRESS & EGRESS AS
PLATTED AND
L.2129, P.806, L.2140, P.268,
L.2104, P.328, L.2129, P.776,
L.2129, P.791, L.2192, P.592,
& L.2392, P.93

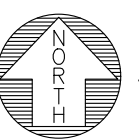
66' EASEMENT FOR
INGRESS & EGRESS,
L.2140, P.268,
L.2104, P.328,
L.2129, P.776,
L.2129, P.791, &
L.2392, P.93

25' PERMANENT
EASEMENT FOR
WATER LINE,
L.1808, P.866 &
L.1808, P.893

K -11-37-410-004
1201 S HURON ST
CHARTER TWP OF YPSILANTI
ZONED RM-2 - USE EAGLE
CREST GOLF CLUB

K -11-16-360-001
1327 S HURON ST
EMW FOUNDATION
ZONED B-3 - USE VACANT

K -11-16-360-002
1349 S HURON ST
RKB MANAGEMENT, LLC
ZONED B-3 - USE OFFICE

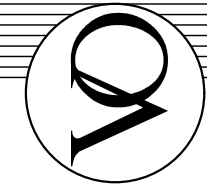


SITE PLAN

SCALE: 1" = 30'-0"

LEGEND			
---	PROPERTY LINE	□	EXISTING BUILDING
---	SETBACK	□	EXISTING PAVING
---	EASEMENT	□	PROPOSED CONCRETE
-R-	PROPOSED STORM	□	PROPOSED BUILDING
-W-	PROPOSED WATER	○	
-UTE-	PROPOSED UNDERGROUND ELECTRIC & TELEPHONE	○	
-G-	PROPOSED GAS	○	
-S-	PROPOSED SANITARY	○	
-r-	EXISTING STORM	○	
-w-	EXISTING WATER	○	
-t-	EXISTING TELEPHONE	○	
-e-	EXISTING ELECTRIC	○	
-uc-	EXISTING UNDERGROUND CABLE	○	
-g-	EXISTING GAS	○	
-s-	EXISTING SANITARY	○	
-910	EXISTING CENTERLINE OF DITCH	○	
-910	EXISTING CONTOUR	○	
-910	PROPOSED CONTOUR	○	
+	NEW SOFFIT LIGHTING	○	
+	NEW BUILDING MOUNTED LIGHTING	○	
+	NEW POLE-MOUNTED LIGHT	○	
-o-	EXISTING UTILITY POLE	○	
○	EXISTING MANHOLE	○	
○	EXISTING CATCH BASIN	○	
○	PROPOSED MANHOLE	○	
○	PROPOSED CATCH BASIN	○	
○	EXISTING FIRE HYDRANT	○	
○	PROPOSED FIRE HYDRANT	○	
○	EXISTING ELEVATION	○	
○	PROPOSED ELEVATION	○	
○	EXISTING ELEVATION	○	
---	LINE OF SILT FENCE	---	
---	DRAINAGE AREA	---	

ZIPPY HURON



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DESIGNERS
BUILDERS

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1327 S. Huron St.
Ypsilanti Township, Michigan

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ISSUED FOR:	DATE:
PRELIMINARY	12-15-20
SITE PLAN	2-8-21
REVISED	2-15-21
SITE PLAN REV	3-18-21

DRAWN BY: GAH
JOB NO.: XXX

SITE PLAN

SHEET NO.
C-3

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SOIL EROSION CONTROL NOTES

1. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF WASHINGTON COUNTY.
2. DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR FOR EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES AND WHEN NECESSARY, REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
3. EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS, WHICH INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
4. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THIS SITE.
5. THE OWNER SHALL OBTAIN OR CAUSE HIS CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS, PAY ALL FEES AND POST ALL BONDS TO EACH AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER EROSION CONTROL MEASURES ON THIS PROJECT.
6. THE CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES WHEN REQUIRED AND AS DIRECTED ON THIS PLAN. HE SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES AND OTHER CHANNELS HAVE BEEN ACCOMPLISHED.
7. SILT FENCE SHALL BE INSTALLED & MAINTAINED AROUND THE PERIMETER OF TOP SOIL STOCK PILE, AND BROUGHT IN FILL AREA IF STOCK PILE WILL BE LARGE AND IS EXPECTED TO BE ON-SITE FOR A PERIOD OF TIME.
8. TOP SOIL STOCK PILE SHALL BE SEEDED FOR TEMPORARY STABILIZATION AND UNRAINED WITH SILT FENCE DURING THE FILL OPERATION. AT THE COMPLETION OF THE FILL, THE FILL SHALL BE LEVELED OUT AND SEEDED WITH A MIN. 4" OF TOPSOIL.
9. ALL MUD, DIRT AND DEBRIS TRACKED ONTO EXISTING ROADS FROM THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR AND/OR SUB-CONTRACTOR. ALL MUD, DIRT AND DEBRIS TRACKED ONTO PAVED SURFACES WITHIN THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR AND/OR SUB-CONTRACTOR.
10. ANY SOIL EROSION CONTROL MEASURES DAMAGED BY THEIR CONTRACTOR'S OPERATION SHALL BE REPLACED THE SAME DAY.
11. THE CONTRACTOR IS TO PROTECT AS MUCH EXISTING VEGETATION AS POSSIBLE. WHERE EXCAVATION HAS BEEN THROUGH LAWN AREAS, THE CONTRACTOR SHALL RESTORE THE DISTURBED AREA BY PLACING TOPSOIL AND SEEDING OR SODDING OVER FINAL BACKFILL.
12. THE CONTINUED MAINTENANCE OF THE PERMANENT EROSION CONTROL DEVICES WILL INCLUDE REMOVAL OF ANY SEDIMENT IN THE CATCH BASIN Sumps AND IN THE SEDIMENTATION BASIN ON A YEARLY BASIS OR AS REQUIRED. THE MAINTENANCE WILL BE PERFORMED BY THE OWNER OR ANOTHER PARTY. ONCE THE VEGETATIVE COVER IS ESTABLISHED THAT LITTLE, IF ANY, MAINTENANCE OF THE PERMANENT EROSION CONTROL DEVICES WILL BE REQUIRED.
13. LONG TERM MAINTENANCE OF THE RETENTION BASIN AND FOREBAY. SEDIMENT REMOVAL FROM THE FOREBAY SHALL OCCUR WHEN THE SEDIMENT REACHES 1 FOOT IN DEPTH. BASIN WILL ALSO REQUIRE PERIODIC REMOVAL OF SCRUB VEGETATION. COSTS ASSOCIATED WITH REMOVAL SHOULD BE APPROX. \$500.00, BUT WILL VARY BASED ON EXTENT.
14. AREA OF DISTURBANCE EQUALS 3.0 AC.
15. SEE LANDSCAPE PLAN FOR SITE STABILIZATION DETAILS (C-5) AND DETAIL SHEET C-1 FOR ADDITIONAL SEDIMENTATION AND EROSION CONTROL DETAILS AND MAINTENANCE PLAN.

SOIL EROSION & SEDIMENTATION CONTROL MEASURES

KEY	DETAIL	CHARACTERISTICS
6	Seeding with 1/2" and/or 1/4" Piling	Facilitates establishment of vegetative cover. Effective for drainage up to low velocity. Easily placed and quickly by experienced personnel. Should include prepared topsoil base.
15	Piling	Protects areas upon which otherwise be protected but increases runoff volume and velocity. Irregular surface will help slow velocity.
54	Silt Filter	Impervious and easy to construct. Filters sediment from runoff. May be required if damaged. Silt mats with beaver dam for curb lines.
55	Detachable Silt Fence	Use geotextile fabric and posts or stakes. May be constructed in pre-packaged. Easy to construct and locate as necessary.

OWNER/OPERATOR:
ZIPPY AUTO WASH, LLC.
 P.O. Box 550
 Saline, MI 48176
 Contact: COREY & MICHELLE WEAVER
OWNER ABOVE IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE OF ALL PERMANENT BEING FEATURES THAT REMAIN AFTER PROJECT COMPLETION.

PERMANENT MAINTENANCE TASKS AND SCHEDULE:

COMPONENTS	STORM DRAINAGE SYSTEM	CATCH BASIN Sump	CATCH BASIN INLET CASINGS	CHANNELS	OUTFLOW CONTROL STRUCTURES	RIP-RAP	FILTRATION BASIN	INFILTRATION/RETENTION BASINS	WETLANDS	EMERGENCY OVERFLOW	SCHEDULE
OWNER'S RESPONSIBILITY TASKS											
INSPECT FOR PROPER OPERATION	X	X	X	X	X	X	X	X	X	X	AFTER STORM EVENTS OF 1" OR MORE
INSPECT FOR SEDIMENT ACCUMULATION	X	X	X	X	X	X	X	X	X	X	ANNUALLY
REMOVAL OF SEDIMENT ACCUMULATION	X	X	X	X	X	X	X	X	X	X	EVERY 3-5 YEARS AS NEEDED (SEE NOTE)
INSPECT FOR FLOATABLES AND DEBRIS	X	X	X	X	X	X	X	X	X	X	ANNUALLY
CLEANING FOR FLOATABLES AND DEBRIS	X	X	X	X	X	X	X	X	X	X	AS NEEDED (SEE NOTE)
INSPECT FOR EROSION	X	X	X	X	X	X	X	X	X	X	EVERY 3-5 YEARS AS NEEDED (SEE NOTE)
REESTABLISH PERMANENT VEGETATION ON ERODED SLOPES	X	X	X	X	X	X	X	X	X	X	SEMI-ANNUALLY
REPLACEMENT OF GRAVEL JOINTS	X	X	X	X	X	X	X	X	X	X	TO 2 TIMES PER YEAR
MOWING	X	X	X	X	X	X	X	X	X	X	ANNUALLY
INSPECT STRUCTURAL ELEMENTS DURING WET WEATHER AND COMPARE TO AS-BUILT PLANS (BY PROFESSIONAL ENGINEER REPORTING TO THE OWNER)	X	X	X	X	X	X	X	X	X	X	AS NEEDED (SEE NOTE)
MAKE ADJUSTMENTS OR REPLACEMENTS AS DETERMINED BY ANNUAL WET WEATHER INSPECTION	X	X	X	X	X	X	X	X	X	X	ANNUALLY
KEEP RECORDS OF ALL INSPECTIONS AND MAINTENANCE ACTIVITIES AND REPORT TO OWNER	X	X	X	X	X	X	X	X	X	X	ANNUALLY
KEEP RECORDS OF ALL COSTS FOR INSPECTIONS, MAINTENANCE AND REPAIRS. REPORT TO OWNER	X	X	X	X	X	X	X	X	X	X	ANNUALLY
REVIEW COST EFFECTIVENESS OF THE PREVENTATIVE MAINTENANCE PROGRAMS AS NEEDED	X	X	X	X	X	X	X	X	X	X	AS NEEDED (SEE NOTE)
OWNER TO HAVE A PROFESSIONAL ENGINEER CARRY OUT EMERGENCY INSPECTIONS UPON IDENTIFICATION OF SEVERE PROBLEMS.	X	X	X	X	X	X	X	X	X	X	AS NEEDED (SEE NOTE)

NOTE: "AS NEEDED" MEANS WHEN SEDIMENT HAS ACCUMULATED TO A MAXIMUM OF ONE FOOT DEPTH OR THE JACKET HAS BEEN CLOGGED WITH SEDIMENT DUE TO CONSTRUCTION ACTIVITIES.
 NO CHEMICALS SHALL BE USED WITHIN STORM WATER FEATURES OR BUFFER ZONES EXCEPT FOR INVASIVE SPECIES MAY BE TREATED BY A CERTIFIED APPLICATOR. MOWING IS ONLY ALLOWED TWICE PER YEAR.

RESPONSIBILITY AND MAINTENANCE
 A. DURING CONSTRUCTION, IT IS THE DEVELOPER'S RESPONSIBILITY TO PERFORM THE MAINTENANCE.
 B. FOLLOWING CONSTRUCTION, IT WILL BE THE RESPONSIBILITY OF THE OWNER TO PERFORM MAINTENANCE.
 C. ROUTINE MAINTENANCE SHALL BE COMPLETED WITHIN 48 HOURS OF WRITTEN NOTIFICATION THAT ACTION IS REQUIRED UNLESS OTHER ACCEPTABLE ARRANGEMENTS ARE MADE WITH THE TOWNSHIP/CITY OR COUNTY COMMISSIONER.
 EMERGENCY MAINTENANCE SHALL BE PERFORMED IMMEDIATELY UPON RECEIPT OF WRITTEN NOTICE SHOULD THE OWNER FAIL TO ACT WITHIN THESE TIME FRAMES. THE TOWNSHIP/CITY OR COUNTY MAY PERFORM THE NEEDED MAINTENANCE AND ASSUMES THE COSTS AGAINST THE OWNER.

MAINTENANCE TASKS AND SCHEDULE DURING CONSTRUCTION:

COMPONENTS	STORM DRAINAGE SYSTEM	CATCH BASIN Sump	CATCH BASIN INLET CASINGS	CHANNELS	OUTFLOW CONTROL STRUCTURES	RIP-RAP	FILTRATION BASIN	INFILTRATION/RETENTION BASINS	WETLANDS	EMERGENCY OVERFLOW	SCHEDULE
CONTRACTOR'S RESPONSIBILITY TASKS											
INSPECT FOR SEDIMENT ACCUMULATION	X	X	X	X	X	X	X	X	X	X	WEEKLY
REMOVAL OF SEDIMENT ACCUMULATION	X	X	X	X	X	X	X	X	X	X	AS NEEDED (SEE NOTE) 4 PRIOR TO TURNOVER
INSPECT FOR FLOATABLES AND DEBRIS	X	X	X	X	X	X	X	X	X	X	QUARTERLY
CLEANING FOR FLOATABLES AND DEBRIS	X	X	X	X	X	X	X	X	X	X	QUARTERLY 4 AT TURNOVER
INSPECT FOR EROSION	X	X	X	X	X	X	X	X	X	X	WEEKLY
REESTABLISH PERMANENT VEGETATION ON ERODED SLOPES	X	X	X	X	X	X	X	X	X	X	AS NEEDED (SEE NOTE) 4 PRIOR TO TURNOVER
REPLACEMENT OF GRAVEL JOINTS	X	X	X	X	X	X	X	X	X	X	AS NEEDED (SEE NOTE)
MOWING	X	X	X	X	X	X	X	X	X	X	TO 2 TIMES PER YEAR
INSPECT STRUCTURAL ELEMENTS DURING WET WEATHER AND COMPARE TO AS-BUILT PLANS (BY PROFESSIONAL ENGINEER REPORTING TO THE OWNER)	X	X	X	X	X	X	X	X	X	X	ANNUALLY 4 AT TURNOVER
MAKE ADJUSTMENTS OR REPLACEMENTS AS DETERMINED	X	X	X	X	X	X	X	X	X	X	AS NEEDED (SEE NOTE)

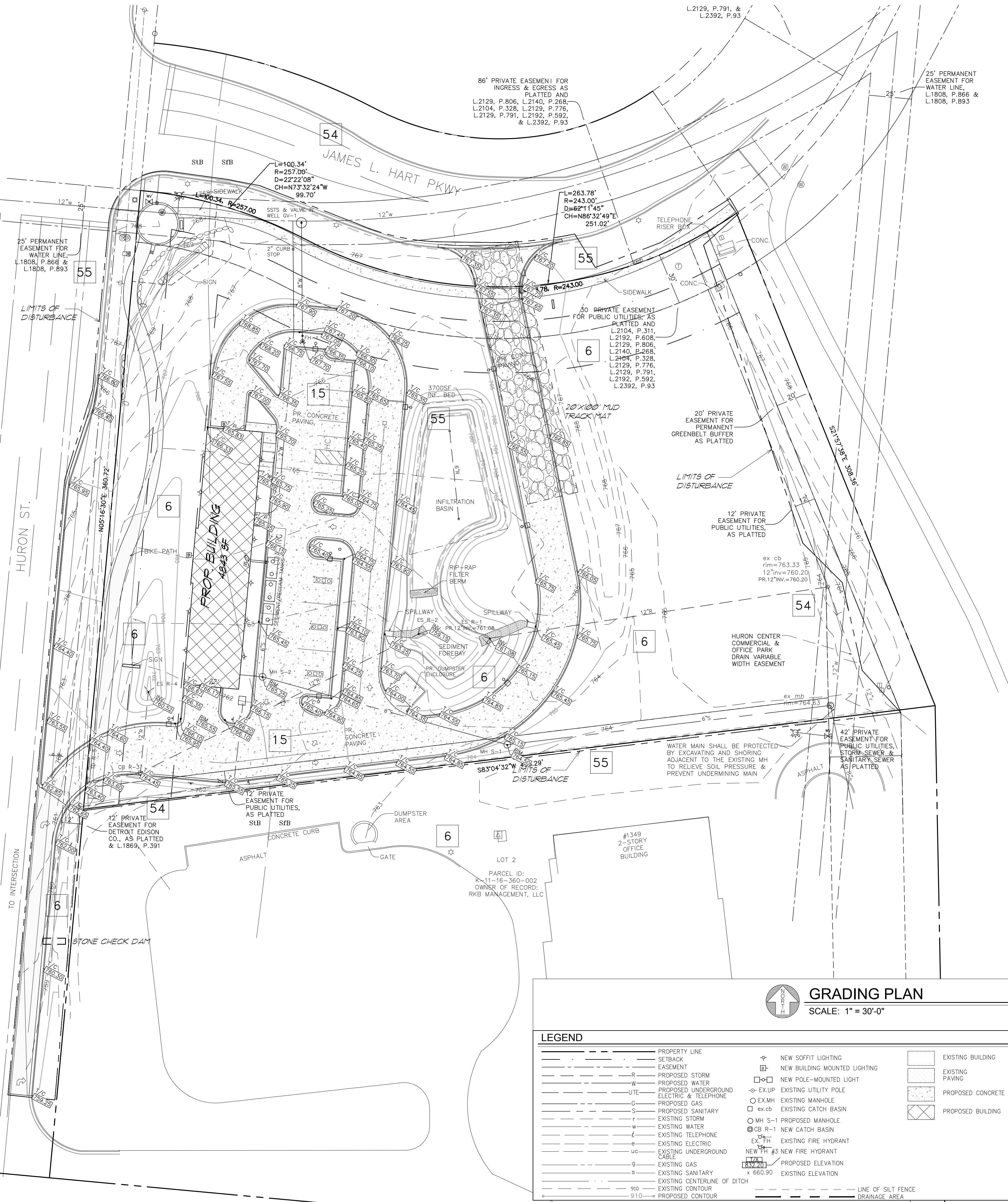
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SOIL EROSION CONTROL SEQUENCE:

1. Install all perimeter erosion and sedimentation control measures.
2. Install storm drainage system, including rip-rap and parking lot inlet filter.
3. Rough grade site, stock pile top soil in location approved by owner and engineer.
4. Install sanitary sewer and water services.
5. Maintain Erosion and Sedimentation control measures, as required.
6. Install all utilities (Phone, Gas and Electric).
7. Bring pavement areas to sub-base grade and install concrete curb and gutter.
8. Install pavement complete, repair or replace inlet filter as required.
9. Finish grade, redistribute top soil, seed and mulch in all disturbed areas.
10. Complete construction of building.
11. Remove all temporary soil erosion and sedimentation control measures after stabilization.

MAINTENANCE PLAN BUDGET:

Annual inspection for sedimentation accumulation	100.00
Removal of sediment accumulation every 3 years as needed	1000.00
Inspect for floatables and debris annually and after major storms	100.00
Removal of floatables and debris annually and after major storms	150.00
Inspect system for erosion annually and after major storms	100.00
Reestablish permanent vegetation of eroded slopes as needed	350.00
Replacement of gravel jackets every 3-5 years as needed	400.00
Mowing @ 2 times per year	100.00
Inspect structural elements during wet weather and compare to as built plans every 2 years.	150.00
Make structural adjustments or replacements as determined by inspection as needed	400.00
Have Professional Engineer carry out emergency inspections upon identification of severe problems.	200.00
TOTAL ANNUAL BUDGET:	1325.00



GRADING PLAN
 SCALE: 1" = 30'-0"

LEGEND	
—	PROPERTY LINE
- - -	SETBACK
- - -	EASEMENT
- - -	PROPOSED STORM
- - -	PROPOSED WATER
- - -	PROPOSED UNDERGROUND ELECTRIC & TELEPHONE
- - -	PROPOSED SANITARY
- - -	EXISTING STORM
- - -	EXISTING WATER
- - -	EXISTING TELEPHONE
- - -	EXISTING ELECTRIC
- - -	EXISTING UNDERGROUND CABLE
- - -	EXISTING GAS
- - -	EXISTING SANITARY
- - -	EXISTING CENTERLINE OF DITCH
- - -	PROPOSED CONTOUR
- - -	NEW SOFFIT LIGHTING
- - -	NEW BUILDING MOUNTED LIGHTING
- - -	NEW POLE-MOUNTED LIGHT
- - -	EXISTING UTILITY POLE
- - -	EXISTING MANHOLE
- - -	EXISTING CATCH BASIN
- - -	EXISTING FIRE HYDRANT
- - -	EXISTING ELEVATION
- - -	PROPOSED ELEVATION
- - -	EXISTING CONTOUR
- - -	EXISTING CONTOUR
- - -	LINE OF SILT FENCE
- - -	DRAINAGE AREA
- - -	EXISTING BUILDING
- - -	EXISTING PAVING
- - -	PROPOSED CONCRETE
- - -	PROPOSED BUILDING

Vanston/O'Brien, Inc.
 DESIGNERS
 BUILDERS

8150 Jackson Road, Ste. A
 Ann Arbor, MI 48103
 e-mail: design@vanston.com • www.vanston.com

Tel: 734/424-0661
 Fax: 734/424-0677

Zippy Auto Wash
 1327 S. Huron St.
 Ypsilanti Township, Michigan

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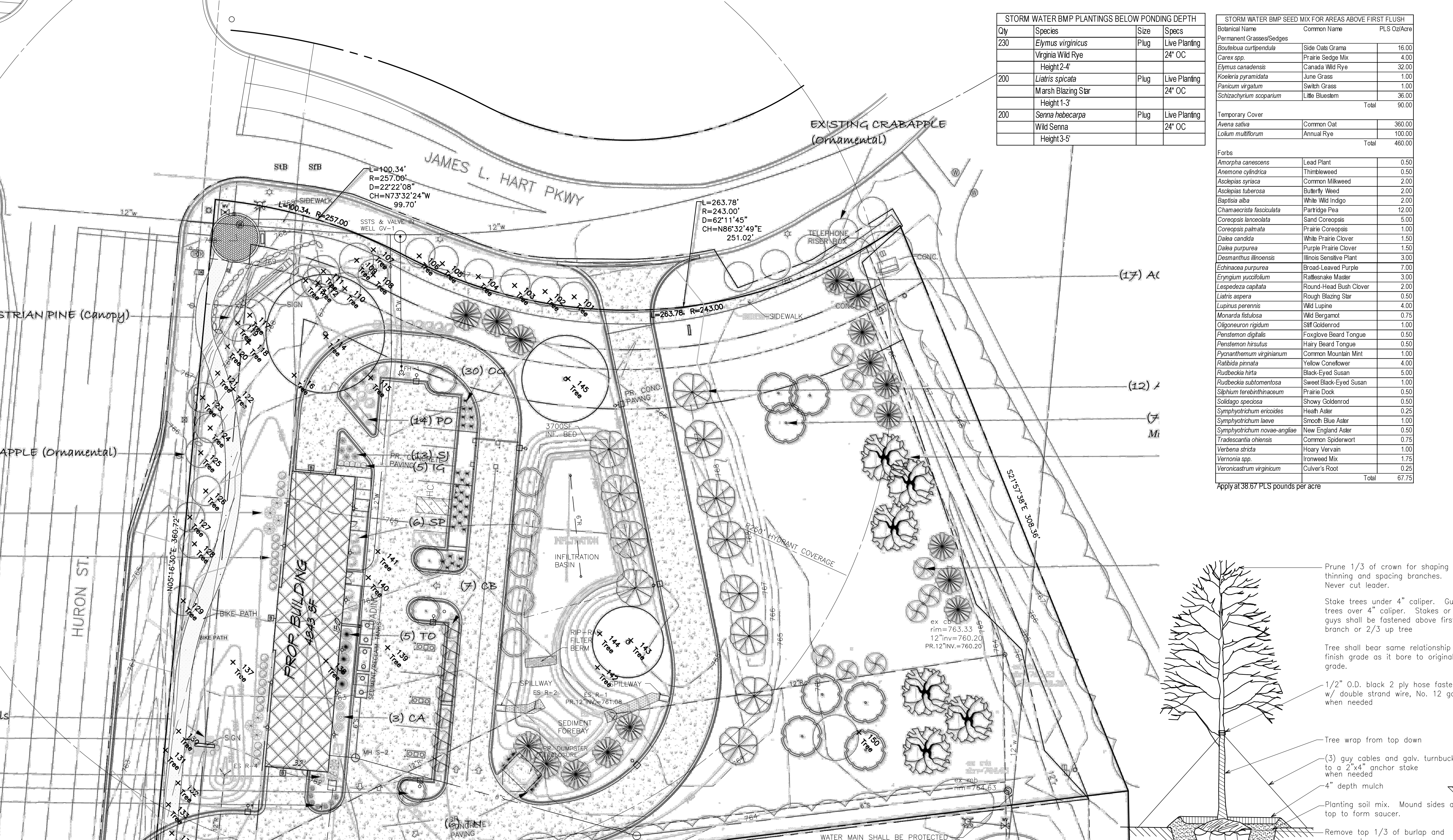
ISSUED FOR: DATE:
 PRELIMINARY 12-15-20
 SITE PLAN 2-9-21
 SITE PLAN REV 3-18-21

DRAWN BY: GAH
 JOB NO.: XXX

GRADING PLAN

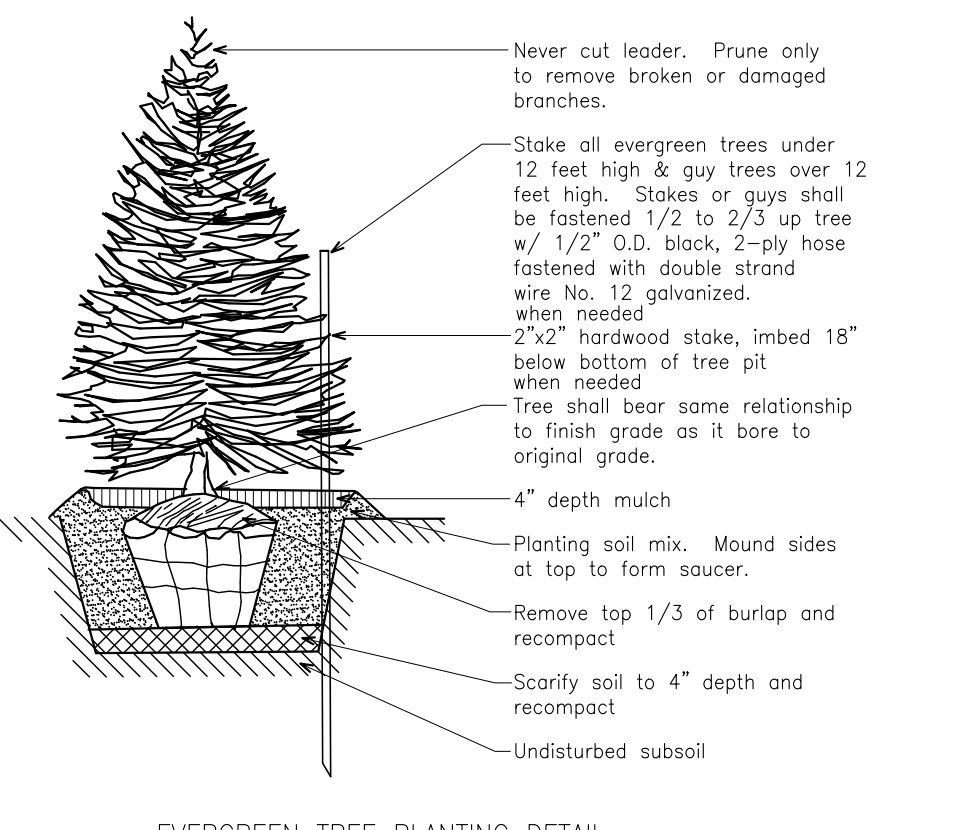
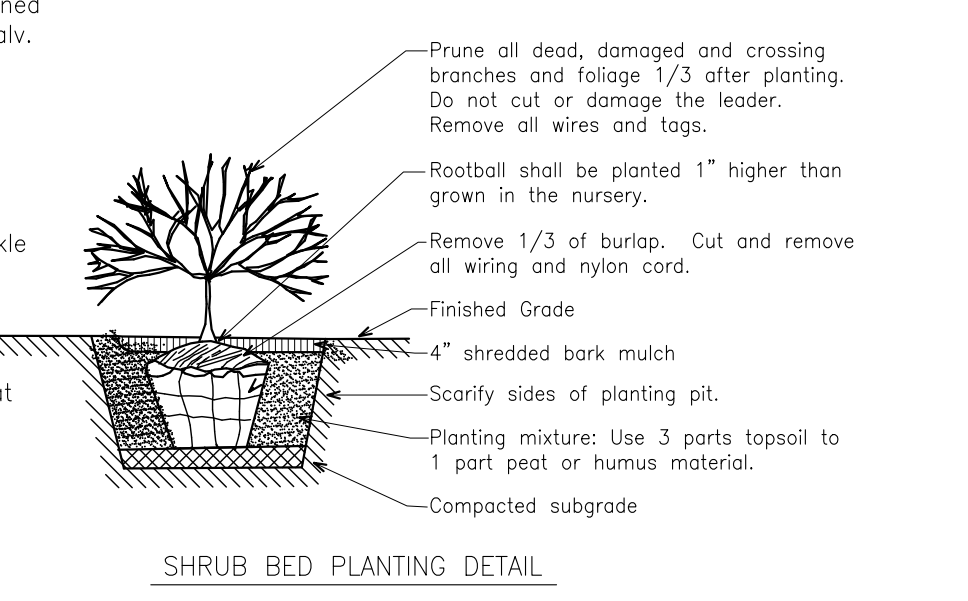
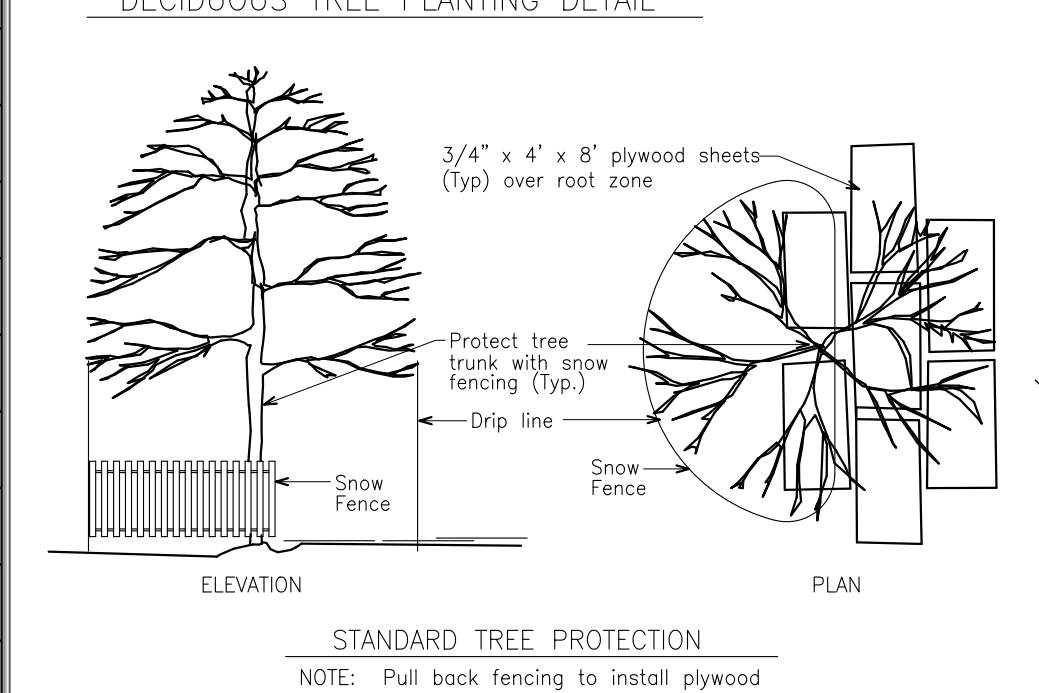
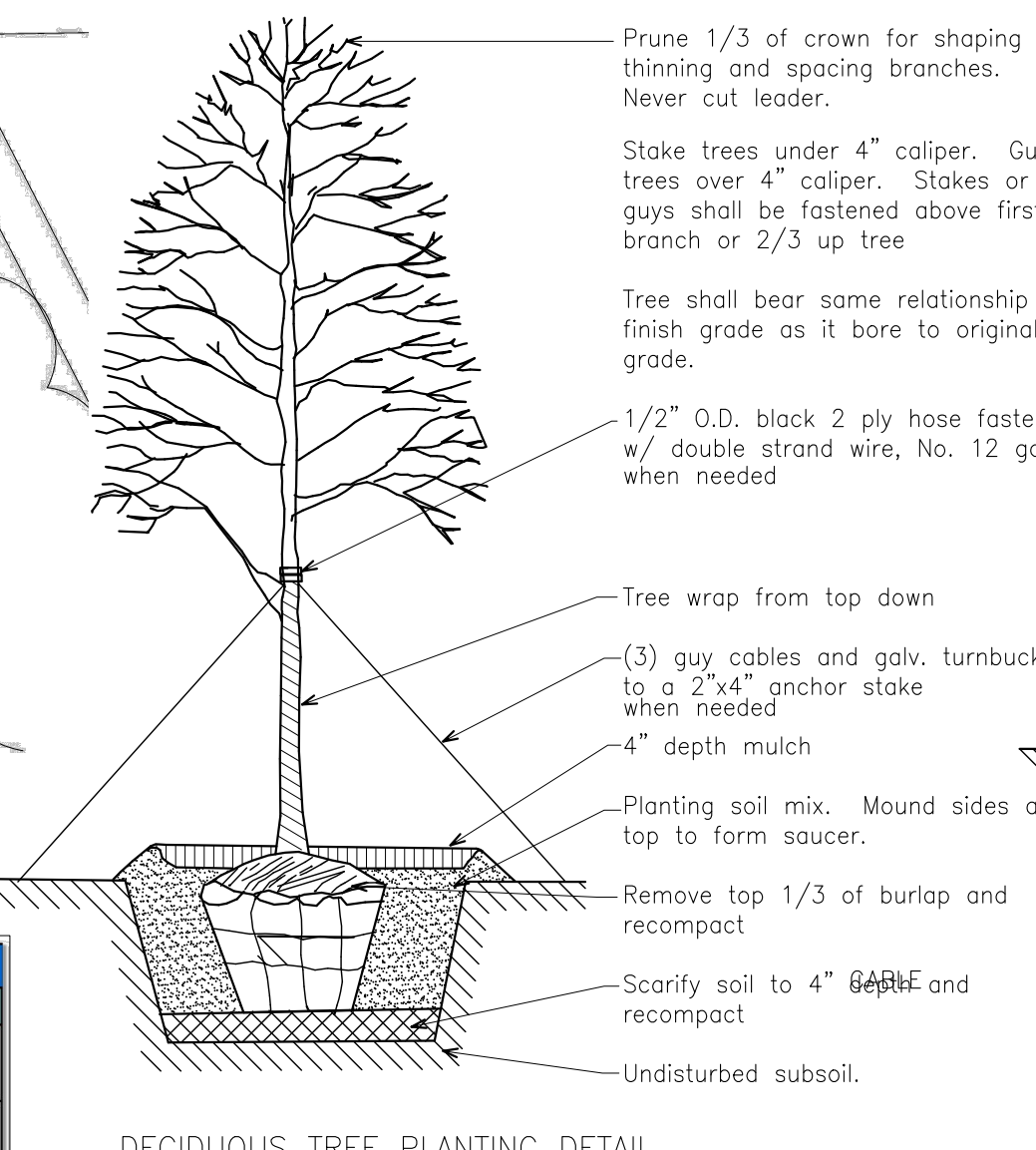
SHEET NO.
C-4

- Storm Water BMP Plantings Below Ponding Depth**
- | Qty | Species | Size | Specs |
|-----|--------------------------|--------|---------------|
| 230 | <i>Elymus virginicus</i> | Plug | Live Planting |
| | Virginia Wild Rye | 24" OC | |
| 200 | <i>Liatis spicata</i> | Plug | Live Planting |
| | Marsh Blazing Star | 24" OC | |
| 200 | <i>Senna hebecarpa</i> | Plug | Live Planting |
| | Wild Senna | 24" OC | |
| | Height 1-3' | | |
| | Height 3-5' | | |
- Storm Water BMP Seed Mix For Areas Above First Flush**
- | Botanical Name | Common Name | PLS Oz/Acre |
|--------------------------------|-------------------|---------------|
| Permanent Grasses/Sedges | | |
| <i>Bouteloua curtipendula</i> | Side Oats Grama | 16.00 |
| <i>Carex spp.</i> | Prairie Sedge Mix | 4.00 |
| <i>Elymus canadensis</i> | Canada Wild Rye | 32.00 |
| <i>Koeleria pyramidata</i> | June Grass | 1.00 |
| <i>Panicum virgatum</i> | Switch Grass | 1.00 |
| <i>Schizachyrium scoparium</i> | Little Bluestem | 36.00 |
| | Total | 90.00 |
| Temporary Cover | | |
| <i>Avena sativa</i> | Common Oat | 360.00 |
| <i>Lolium multiflorum</i> | Annual Rye | 100.00 |
| | Total | 460.00 |
- Herb**
- | Botanical Name | Lead Plant | PLS Oz/Acre |
|--------------------------------------|--------------------------|--------------|
| <i>Amorpha canescens</i> | Lead Plant | 0.50 |
| <i>Anemone cylindrica</i> | Thimbleweed | 0.50 |
| <i>Asclepias syriaca</i> | Common Milkweed | 2.00 |
| <i>Asclepias tuberosa</i> | Butterfly Weed | 2.00 |
| <i>Baptisia alba</i> | White Wild Indigo | 2.00 |
| <i>Chamaecrista fasciculata</i> | Partridge Pea | 12.00 |
| <i>Coneopogon canadensis</i> | Sand Coneopogon | 5.00 |
| <i>Coneopogon palmata</i> | Prairie Coneopogon | 1.00 |
| <i>Dalea candida</i> | White Prairie Clover | 1.50 |
| <i>Dalea purpurea</i> | Purple Prairie Clover | 1.50 |
| <i>Desmanthus illinoensis</i> | Illinois Sensitive Plant | 3.00 |
| <i>Echinacea purpurea</i> | Broad-Leafed Purple | 7.00 |
| <i>Eryngium yuccifolium</i> | Rattlesnake Master | 3.00 |
| <i>Lespedeza capitata</i> | Rough Seed Bush Clover | 2.00 |
| <i>Liatis spicata</i> | Rough Blazing Star | 0.50 |
| <i>Lupinus perenne</i> | Wild Lupine | 4.00 |
| <i>Monarda fistulosa</i> | Wild Bergamot | 0.75 |
| <i>Oligoneuron rigidum</i> | Stiff Goldenrod | 1.00 |
| <i>Penstemon digitalis</i> | Foxglove Beard Tongue | 0.50 |
| <i>Penstemon hirsutus</i> | Hairy Beard Tongue | 0.50 |
| <i>Pycnanthemum virginicum</i> | Common Mountain Mint | 1.00 |
| <i>Ratibida pinnata</i> | Yellow Coneflower | 4.00 |
| <i>Rudbeckia hirta</i> | Black-Eyed Susan | 5.00 |
| <i>Rudbeckia subtomentosa</i> | Sweet Black-Eyed Susan | 1.00 |
| <i>Siphium teranthinaceum</i> | Prairie Dock | 0.50 |
| <i>Solidago speciosa</i> | Show Goldenrod | 0.50 |
| <i>Symphoricarpos racemosa</i> | Heath Aster | 0.25 |
| <i>Symphoricarpos lewisii</i> | Smooth Blue Aster | 1.00 |
| <i>Symphoricarpos noveboracensis</i> | New England Aster | 0.50 |
| <i>Tridax canadensis</i> | Common Spiderwort | 0.75 |
| <i>Verbena stricta</i> | Hairy Vervain | 1.00 |
| <i>Vernonia spp.</i> | Ironweed Mix | 1.75 |
| <i>Veronicastrum virginicum</i> | Culver's Root | 0.25 |
| | Total | 67.75 |
- Apply at 38.67 PLS pounds per acre



Plant Legend

Symbol	Qty	Common	Botanical	Size
(Symbol)	7	TA American Basswood	<i>Tilia americana</i> (Mitigation)	2.5" B&B
(Symbol)	9	LS American Sweetgum	<i>Liquidambar styraciflua</i>	2.5" B&B
(Symbol)	5	TO Arborvitae	<i>Thuja occidentalis</i> 'Emerald Green'	5-6' B&B
(Symbol)	6	TN Arborvitae	<i>Thuja occidentalis</i>	5-6' B&B
(Symbol)	7	HM Bigleaf Hydrangea	<i>Hydrangea macrophylla</i> 'Endless Summer'	#5 cont.
(Symbol)	7	AM Black Chokeberry	<i>Aronia melanocarpa</i>	#3 cont.
(Symbol)	14	PO Common Ninebark	<i>Physocarpus opulifolius</i> 'Nugget'	#5 cont.
(Symbol)	30	OG Dallas Blues Switch Grass	<i>Panicum virgatum</i> 'Dallas Blues'	#1 cont.
(Symbol)	5	IG Densa Inkberry	<i>Ilex glabra</i>	#3 cont.
(Symbol)	20	TM Dense Spreading Yew	<i>Taxus x media</i> 'Densiformis'	24-30" B&B
(Symbol)	9	CF Flowering Dogwood	<i>Cornus florida</i> 'Alba' (Mitigation)	2.5" B&B
(Symbol)	13	SJ Japanese Spirea	<i>Spiraea japonica</i> 'Goldmound'	#3 cont.
(Symbol)	6	SP Manchurian Lilac	<i>Syringa patula</i> 'Miss Kim'	#5 cont.
(Symbol)	6	PAN Nest Spruce	<i>Picea abies</i> 'Nidiformis'	#3 cont.
(Symbol)	6	QR Northern Red Oak	<i>Quercus Rubra</i> (Mitigation)	2.5" B&B
(Symbol)	12	AR Red Maple	<i>Acer Rubrum</i>	2.5" B&B
(Symbol)	3	HQ Snowflake Hydrangea	<i>Hydrangea quercifolia</i> 'Snowflake'	#5 cont.
(Symbol)	32	RA Fragrant Sumac	<i>Rhus aromatica</i> 'Gro-Low'	#3 cont.
(Symbol)	3	CA Tatarian Dogwood	<i>Cornus alba</i> 'Ivory Halo'	#5 cont.
(Symbol)	7	CB Upright European Hornbeam	<i>Carpinus betulus</i> 'Fastigiata'	2-2.5" B&B
(Symbol)	17	AC White Fir	<i>Abies concolor</i>	7-8' B&B

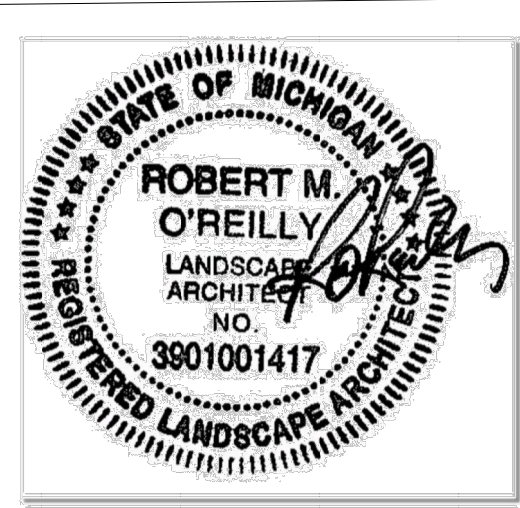


LANDSCAPE PLAN
 SCALE: 1" = 30'-0"

---	PROPERTY LINE	◆	NEW SOFFIT LIGHTING	▭	EXISTING BUILDING
- - -	SETBACK EASEMENT	□	NEW BUILDING MOUNTED LIGHTING	▨	EXISTING PAVING
- - -	PROPOSED STORM	□	NEW POLE-MOUNTED LIGHT	▩	PROPOSED CONCRETE
- - -	PROPOSED WATER	○	EXISTING UTILITY POLE	▧	PROPOSED BUILDING
- - -	PROPOSED UNDERGROUND ELECTRIC & TELEPHONE	○	EXISTING MANHOLE	▦	EXISTING CATCH BASIN
- - -	PROPOSED GAS	○	EXISTING CATCH BASIN	▥	PROPOSED WATER
- - -	PROPOSED SANITARY	○	EXISTING STORM	▤	EXISTING WATER
- - -	EXISTING STORM	○	EXISTING WATER	▣	EXISTING TELEPHONE
- - -	EXISTING WATER	○	EXISTING ELECTRIC	▢	EXISTING UNDERGROUND CABLE
- - -	EXISTING TELEPHONE	○	EXISTING UNDERGROUND CABLE	□	EXISTING GAS
- - -	EXISTING ELECTRIC	○	EXISTING SANITARY	■	EXISTING CENTERLINE OF DITCH
- - -	EXISTING UNDERGROUND CABLE	○	EXISTING CENTERLINE OF DITCH	▯	PROPOSED CONTOUR
- - -	EXISTING GAS	○	PROPOSED CONTOUR	▮	PROPOSED CONTOUR
- - -	EXISTING SANITARY	○	LINE OF SILT FENCE	▭	DRAINAGE AREA
- - -	EXISTING CENTERLINE OF DITCH	○	LINE OF SILT FENCE	▭	DRAINAGE AREA
- - -	PROPOSED CONTOUR	○	LINE OF SILT FENCE	▭	DRAINAGE AREA
- - -	PROPOSED CONTOUR	○	LINE OF SILT FENCE	▭	DRAINAGE AREA

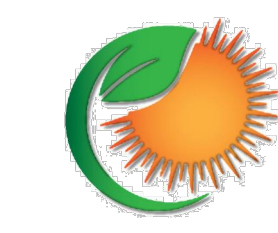
LANDSCAPE REQUIREMENT CHART

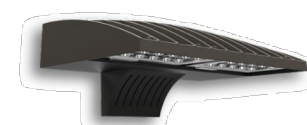
	Required	Existing	Proposed	Total Provided
STREET YARD LANDSCAPING				
Street frontage	726 l.f.			
1 Canopy Tree per 40 lineal feet	19	11	8	19
1 Ornamental Tree per 100 lineal feet	8	18	0	18
1 Shrub per 10 lineal feet	73	0	73	73
MITIGATION				
Total dbh removed = 274 less 93.5 dbh that are in poor condition and applying the 30% reduction for business/commercial results in 54.15 dbh	54.15	22	0	22
PARKING LOT LANDSCAPING				
Paved driveway and parking lot surface	35,765 s.f.			
1 Tree per 3,000 square feet	12		12	12
SITE LANDSCAPING				
1 Tree per 1,000 square feet of lawn area	26,744 s.f.	27	2	25
1 Shrub per 500 square feet of lawn area	54		54	54
ENTRANCE SIGN LANDSCAPING				
See Plans				
DUMPSTER SCREENING LANDSCAPING				
See Plans				



(Revised 3/18/21)

LANDSCAPE PLAN PREPARED BY:
ECO Landscape & Design, LLC
 Waterford, Michigan
 (734) 276-8446



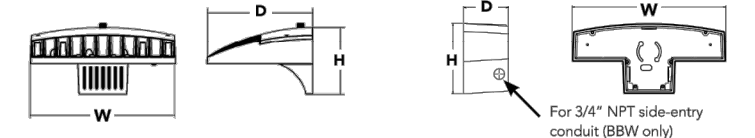


D-Series Size 1 LED Wall Luminaire

Catalog Number	
Name	
Type	

d-series

Specifications Luminaire	
Width:	13-3/4" (34.9 cm)
Depth:	10" (25.4 cm)
Height:	6-3/8" (16.2 cm)
Weight:	12 lbs (5.4 kg)



Introduction

The D-Series Wall Luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance. With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

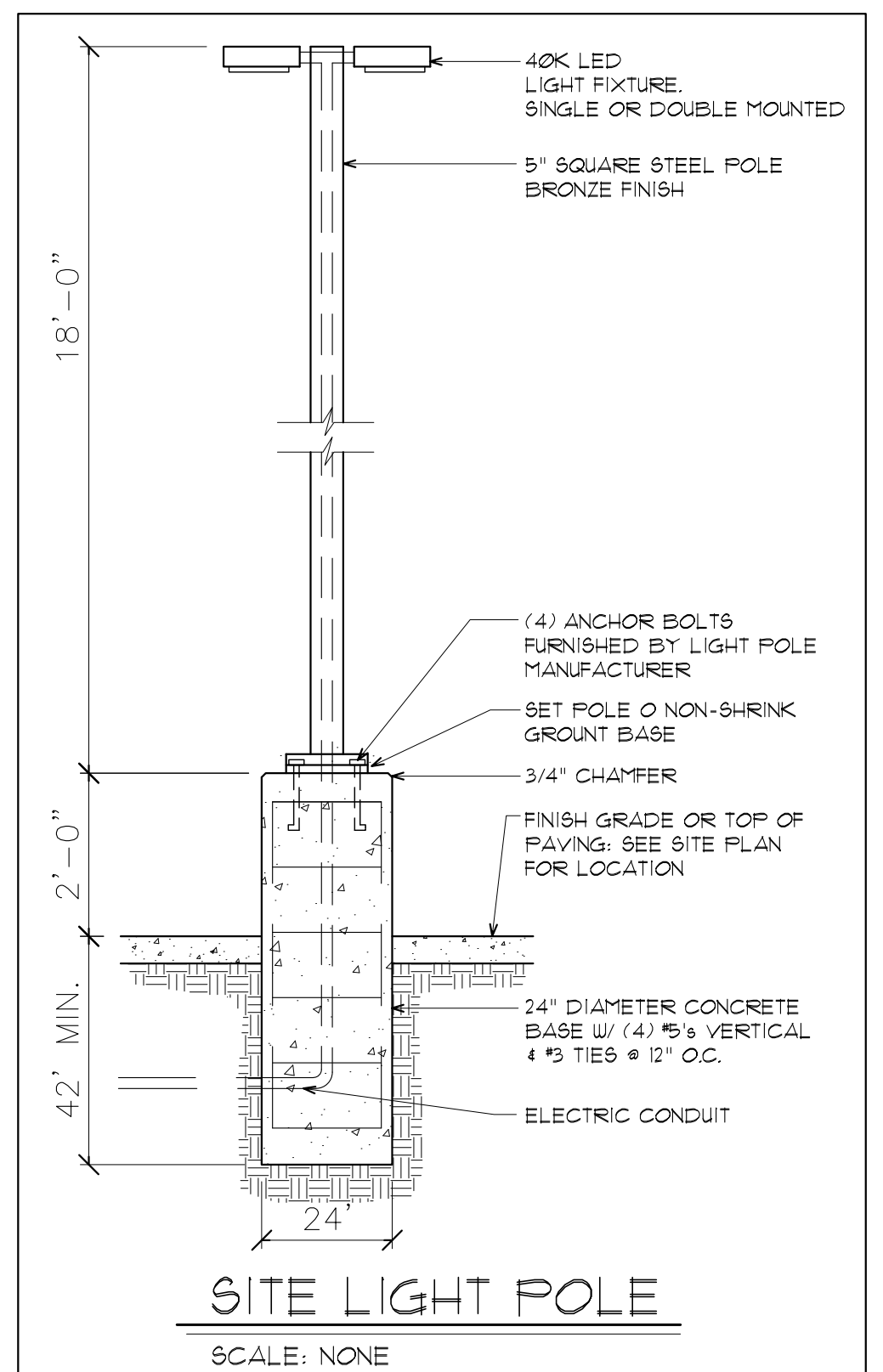
Ordering Information

Series	LEDs	Drive Current	Color Temperature	Distribution	Voltage	Mounting	Control Options
DSXW1 LED	10C (10 LEDs, line engine) 20C (20 LEDs, line engine) 30C (30 LEDs, line engine)	350 mA 700 mA 1050 mA (1 A)	30K 40K 50K	T5 T5 T5	120V 277V 347V	SHIPPED INCLUDED SHIPPED SEPARATELY	None None None

Finish	Finish	Finish	Finish	Finish	Finish
DSXW1	DSXW2	DSXW3	DSXW4	DSXW5	DSXW6
Dark bronze	Black	Natural aluminum	White	Sandstone	Textured white

- Accessories**
- DSXW1: None
 - DSXW2: None
 - DSXW3: None
 - DSXW4: None
 - DSXW5: None
 - DSXW6: None

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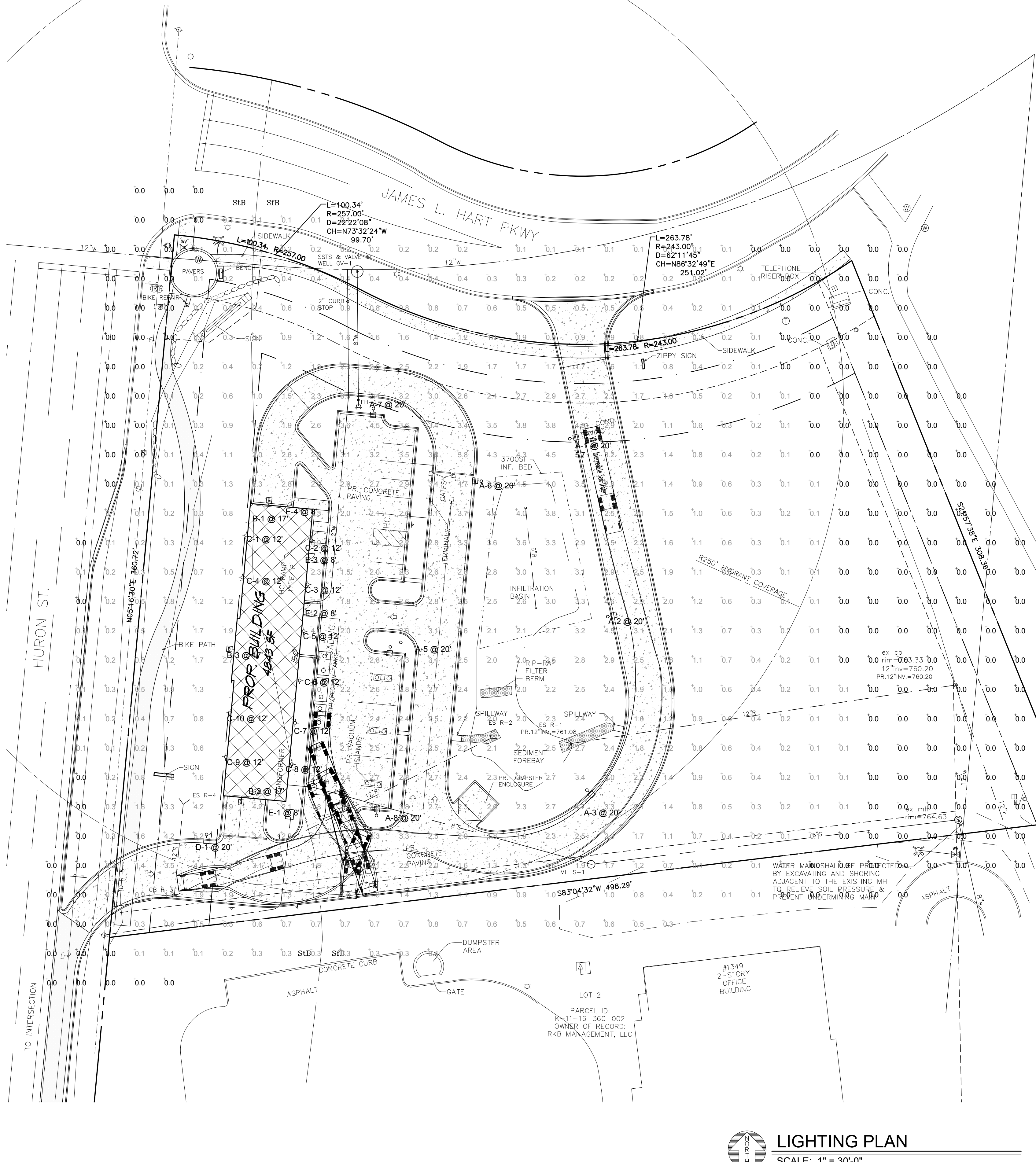
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Site #1		1.1 ft	5.7 ft	0.0 ft	N/A	N/A

Luminaire Locations										
No.	Label	X	Y	Z	MH	Orientation	Tilt	X	Y	Z
1	A	13326450.00	264646.00	20.00	20.00	77.17	0.00	13326450.00	264646.30	0.00
2	A	13326460.00	264556.20	20.00	20.00	78.80	0.00	13326460.00	264556.40	0.00
3	A	13326390.00	264541.50	20.00	20.00	129.99	0.00	13326390.00	264540.00	0.00
4	A	13326400.00	264625.60	20.00	20.00	274.47	0.00	13326400.00	264625.70	0.00
5	A	13326340.00	264663.20	20.00	20.00	186.01	0.00	13326340.00	264662.10	0.00
6	A	13326350.00	264454.60	20.00	20.00	5.99	0.00	13326350.00	264455.70	0.00
7	A	13326290.00	264613.20	17.00	17.00	23.67	0.00	13326290.00	264613.30	0.00
8	A	13326280.00	264463.60	17.00	17.00	192.88	0.00	13326280.00	264463.50	0.00
9	B	13326270.00	264539.00	17.00	17.00	279.87	0.00	13326270.00	264539.00	0.00
10	C	13326310.00	264595.70	12.00	12.00	0.00	0.00	13326310.00	264595.70	0.00
11	C	13326280.00	264576.90	12.00	12.00	0.00	0.00	13326280.00	264576.90	0.00
12	C	13326310.00	264550.50	12.00	12.00	0.00	0.00	13326310.00	264550.50	0.00
13	C	13326310.00	264522.80	12.00	12.00	0.00	0.00	13326310.00	264522.80	0.00
14	C	13326300.00	264501.30	12.00	12.00	0.00	0.00	13326300.00	264501.30	0.00
15	C	13326300.00	264480.70	12.00	12.00	0.00	0.00	13326300.00	264480.70	0.00
16	C	13326270.00	264448.30	12.00	12.00	0.00	0.00	13326270.00	264448.30	0.00
17	C	13326270.00	264506.60	12.00	12.00	0.00	0.00	13326270.00	264506.60	0.00
18	D	13326250.00	264446.00	20.00	20.00	170.54	0.00	13326250.00	264444.90	0.00
19	E	13326290.00	264462.50	8.00	8.00	180.00	0.00	13326290.00	264462.50	0.00
20	E	13326310.00	264560.00	8.00	8.00	95.80	0.00	13326310.00	264560.00	0.00
21	E	13326310.00	264587.40	8.00	8.00	96.54	0.00	13326310.00	264587.40	0.00
22	E	13326300.00	264612.10	8.00	8.00	15.95	0.00	13326300.00	264612.10	0.00

Series	LEDs	Color Temperature	Distribution	Voltage	Mounting	Control Options	Shipped Included
DSX1 LED	Forward optics P1 P1 P1 P2 P2 P2 P3 P3 P3	30K 3000K 40K 4000K 50K 5000K	T15 Type I short (widebeam) T25 Type II short T35 Type III short T45 Type IV short T55 Type V short T65 Type VI short T75 Type VII short T85 Type VIII short T95 Type IX short T105 Type X short T115 Type XI short T125 Type XII short T135 Type XIII short T145 Type XIV short T155 Type XV short T165 Type XVI short T175 Type XVII short T185 Type XVIII short T195 Type XIX short T205 Type XX short T215 Type XXI short T225 Type XXII short T235 Type XXIII short T245 Type XXIV short T255 Type XXV short T265 Type XXVI short T275 Type XXVII short T285 Type XXVIII short T295 Type XXIX short T305 Type XXX short	120V 277V 347V	SHIPPED INCLUDED SHIPPED SEPARATELY	None None None	None None None

Schedule						
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Wattage
□	A	7	Lithonia Lighting	DSX1 LED P9 40K T5W MVOLT	DSX1 LED P9 40K T5W MVOLT	241
□	B	3	Lithonia Lighting	DSXW1 LED 20C 1000 40K TFTM MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE TFTM OPTIC, 4000K, 1000mA.	73.2
⊕	C	10	Lithonia Lighting	6BPMW HL LED	6" 3000K CCT, 950 Lumens 120v Matte White LED Module, 60CRI	15.26
□	D	1	Lithonia Lighting	DSX1 LED P4 40K TSS MVOLT	DSX1 LED P4 40K TSS MVOLT	125
□	E	4	Lithonia Lighting	ERE SGL SQ	LED Weather proof or Indoor Remote Light Head, SQUARE (ONE HEAD ONLY)	0

All exterior lighting fixtures shall be turned off between 11:00PM and sunrise except for where used for security purposes.



D-Series Size 1 LED Area Luminaire

Catalog Number	
Name	
Type	

d-series

Specifications	
EPA:	1.01 ft (308mm)
Length:	33" (838mm)
Width:	13" (330mm)
Height H1:	7-1/2" (190mm)
Height H2:	3-1/2" (89mm)
Weight (max):	27 lbs (12.2kg)



Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficiency, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

Series	LEDs	Color Temperature	Distribution	Voltage	Mounting	Control Options	Shipped Included
DSX1 LED	Forward optics P1 P1 P1 P2 P2 P2 P3 P3 P3	30K 3000K 40K 4000K 50K 5000K	T15 Type I short (widebeam) T25 Type II short T35 Type III short T45 Type IV short T55 Type V short T65 Type VI short T75 Type VII short T85 Type VIII short T95 Type IX short T105 Type X short T115 Type XI short T125 Type XII short T135 Type XIII short T145 Type XIV short T155 Type XV short T165 Type XVI short T175 Type XVII short T185 Type XVIII short T195 Type XIX short T205 Type XX short T215 Type XXI short T225 Type XXII short T235 Type XXIII short T245 Type XXIV short T255 Type XXV short T265 Type XXVI short T275 Type XXVII short T285 Type XXVIII short T295 Type XXIX short T305 Type XXX short	120V 277V 347V	SHIPPED INCLUDED SHIPPED SEPARATELY	None None None	None None None

Series	LEDs	Color Temperature	Distribution	Voltage	Mounting	Control Options	Shipped Included
DSX1 LED	Forward optics P1 P1 P1 P2 P2 P2 P3 P3 P3	30K 3000K 40K 4000K 50K 5000K	T15 Type I short (widebeam) T25 Type II short T35 Type III short T45 Type IV short T55 Type V short T65 Type VI short T75 Type VII short T85 Type VIII short T95 Type IX short T105 Type X short T115 Type XI short T125 Type XII short T135 Type XIII short T145 Type XIV short T155 Type XV short T165 Type XVI short T175 Type XVII short T185 Type XVIII short T195 Type XIX short T205 Type XX short T215 Type XXI short T225 Type XXII short T235 Type XXIII short T245 Type XXIV short T255 Type XXV short T265 Type XXVI short T275 Type XXVII short T285 Type XXVIII short T295 Type XXIX short T305 Type XXX short	120V 277V 347V	SHIPPED INCLUDED SHIPPED SEPARATELY	None None None	None None None

Series	LEDs	Color Temperature	Distribution	Voltage	Mounting	Control Options	Shipped Included
DSX1 LED	Forward optics P1 P1 P1 P2 P2 P2 P3 P3 P3	30K 3000K 40K 4000K 50K 5000K	T15 Type I short (widebeam) T25 Type II short T35 Type III short T45 Type IV short T55 Type V short T65 Type VI short T75 Type VII short T85 Type VIII short T95 Type IX short T105 Type X short T115 Type XI short T125 Type XII short T135 Type XIII short T145 Type XIV short T155 Type XV short T165 Type XVI short T175 Type XVII short T185 Type XVIII short T195 Type XIX short T205 Type XX short T215 Type XXI short T225 Type XXII short T235 Type XXIII short T245 Type XXIV short T255 Type XXV short T265 Type XXVI short T275 Type XXVII short T285 Type XXVIII short T295 Type XXIX short T305 Type XXX short	120V 277V 347V	SHIPPED INCLUDED SHIPPED SEPARATELY	None None None	None None None

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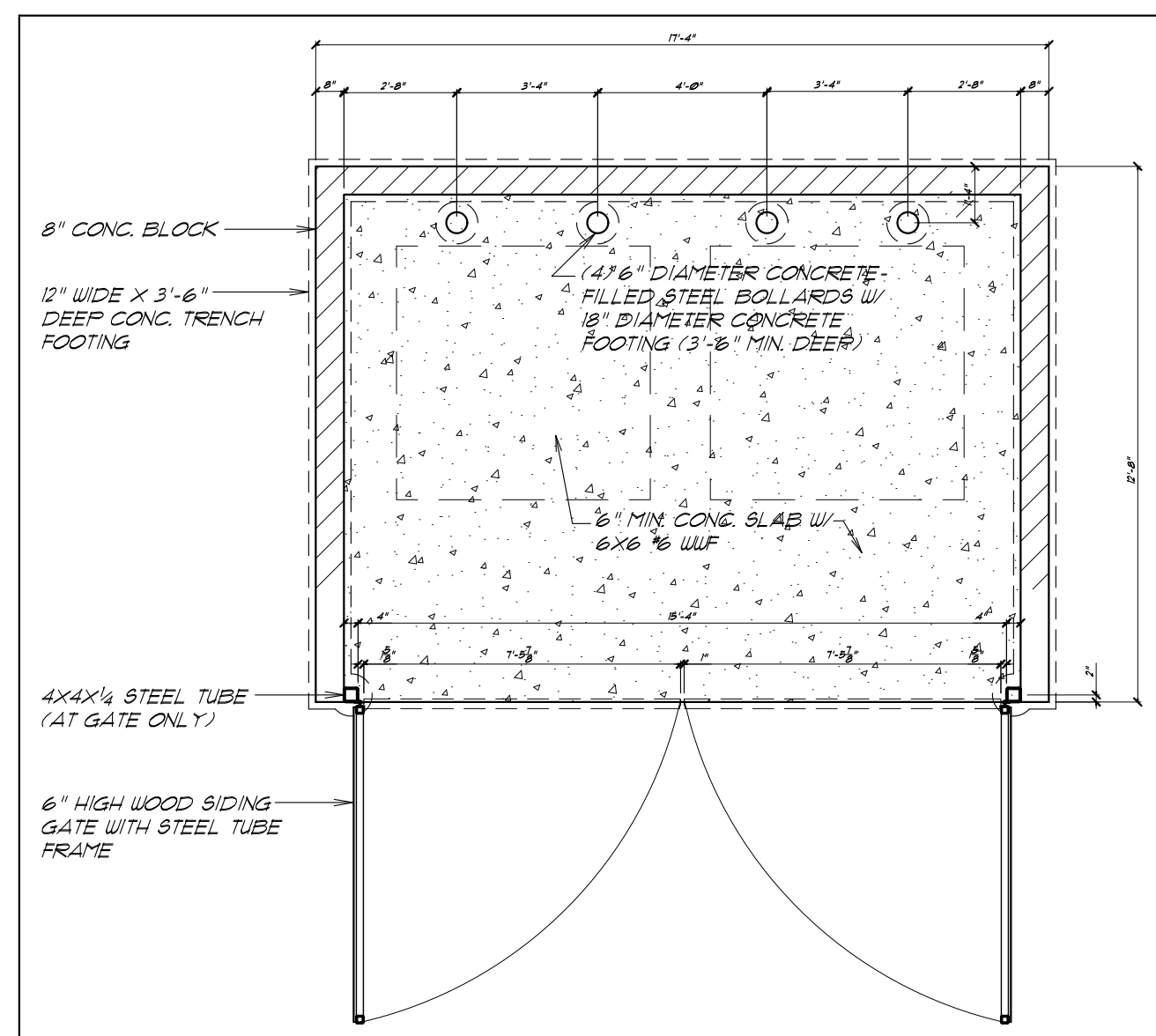
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ISSUED FOR: DATE:
PRELIMINARY 12-15-20
SITE PLAN 2-9-21
SITE PLAN REV 3-18-21

LIGHTING PLAN
SCALE: 1" = 30'-0"

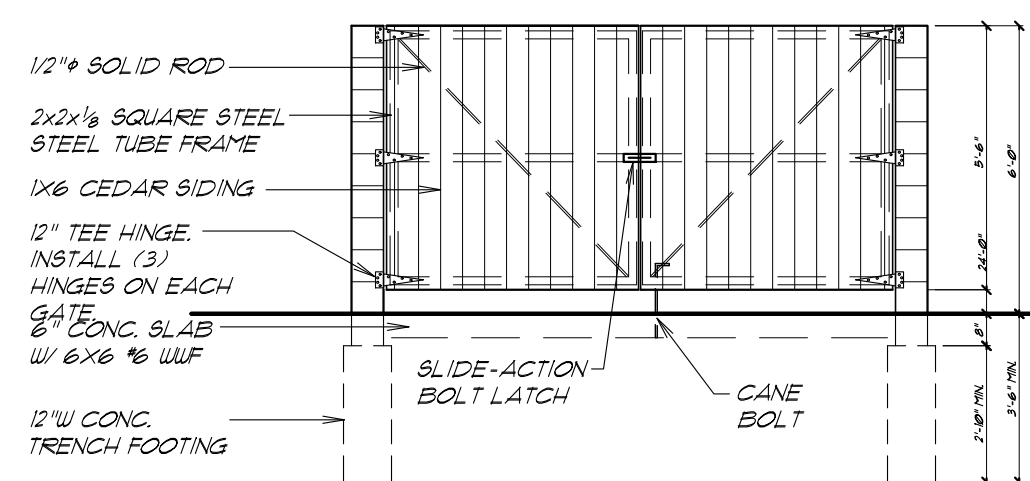
DRAWN BY: GAH
JOB NO.: XXX

LIGHTING PLAN
SHEET NO.
C-6



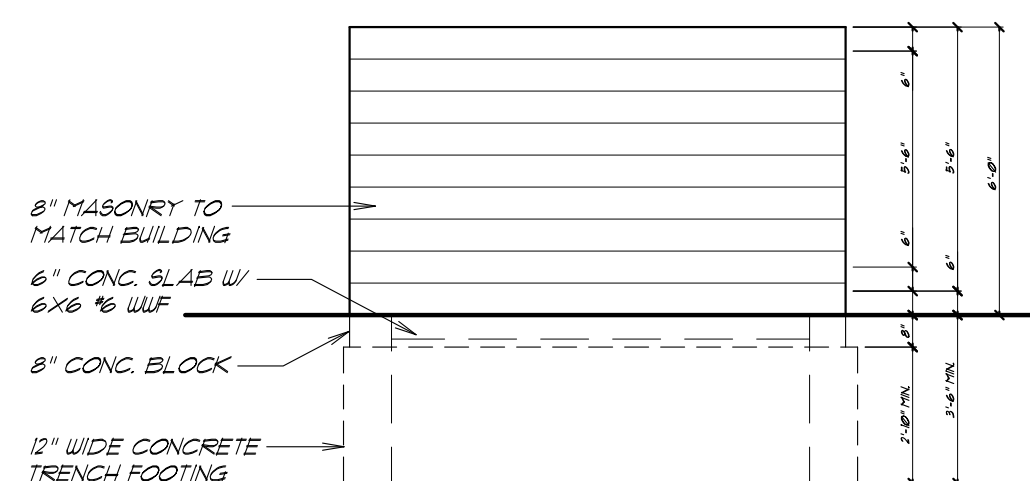
REFUSE STATION PLAN

SCALE: NONE



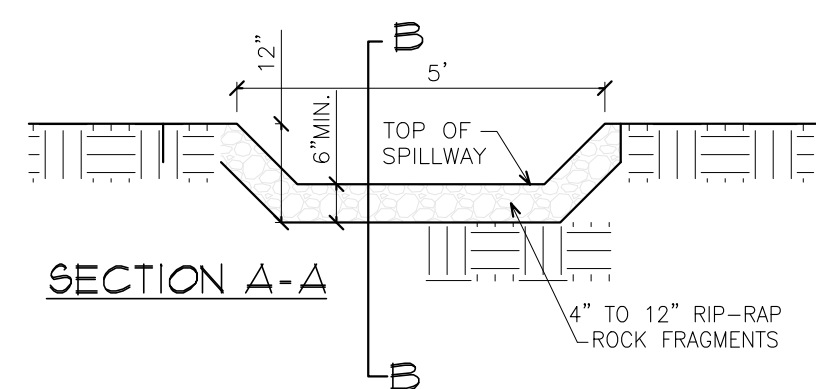
FRONT ELEVATION

SCALE: NONE



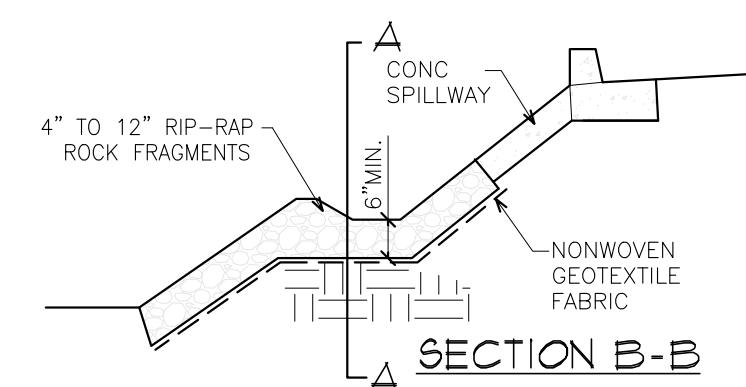
SIDE ELEVATION

SCALE: NONE



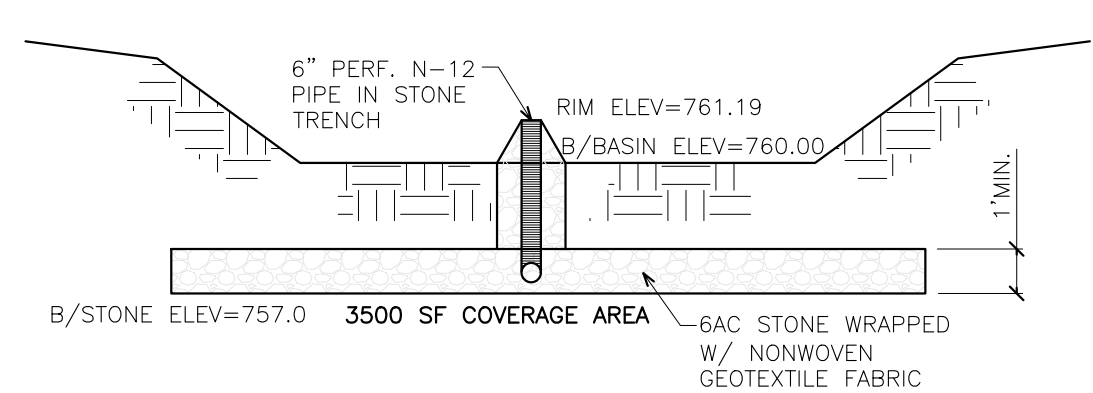
SECTION A-A

NO SCALE



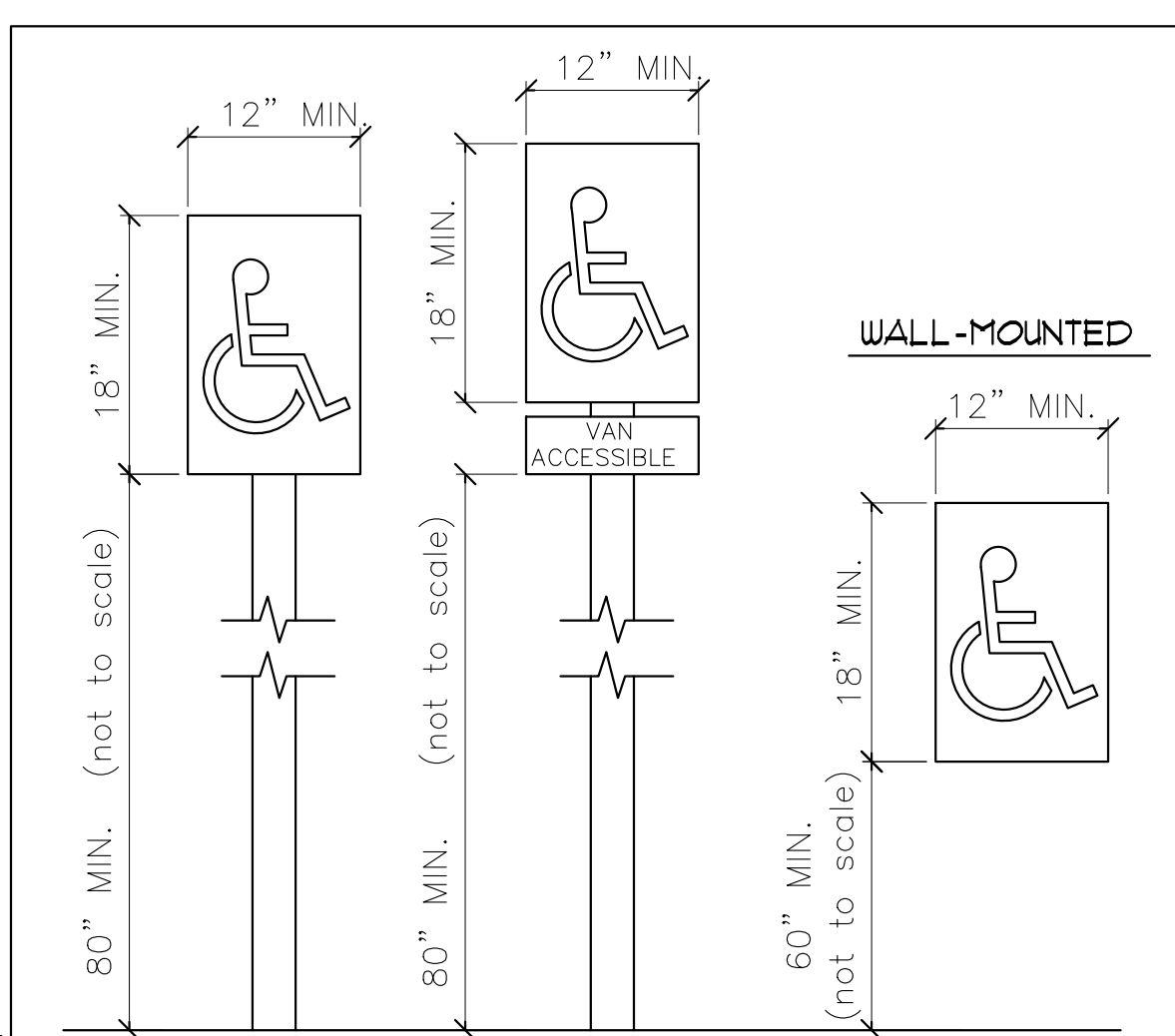
SECTION B-B

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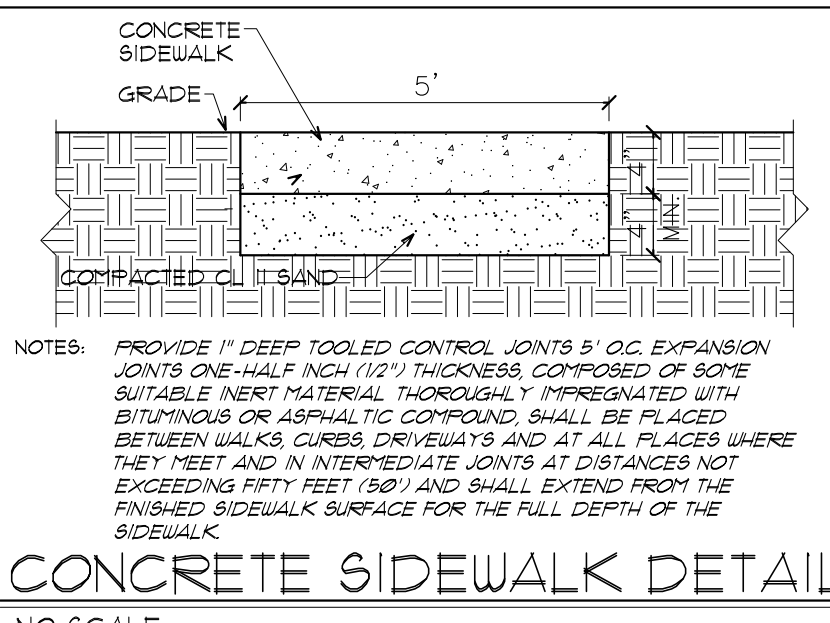
INFILTRATION BED SECTION

NO SCALE



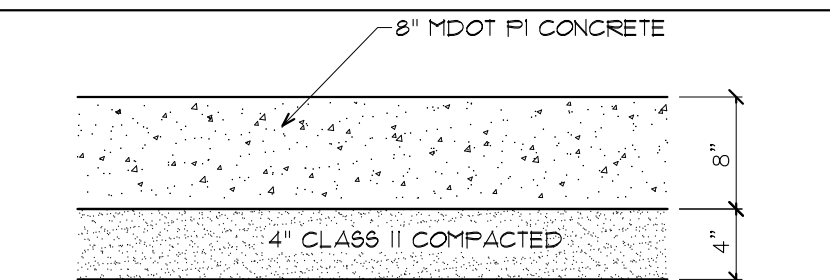
BARRIER-FREE PARKING SIGN

NOTE: EACH ACCESSIBLE PARKING SPACE IS REQUIRED TO HAVE A SIGN. THE SIGN SHALL BE CENTERED IN THE PARKING SPACE. VAN ACCESSIBLE SPACES SHALL BE DESIGNATED "VAN ACCESSIBLE" ON THE FACE OF THE SIGN OR SHALL HAVE AN ADDITIONAL SIGN "VAN ACCESSIBLE" MOUNTED BELOW THE REQUIRED SIGN.



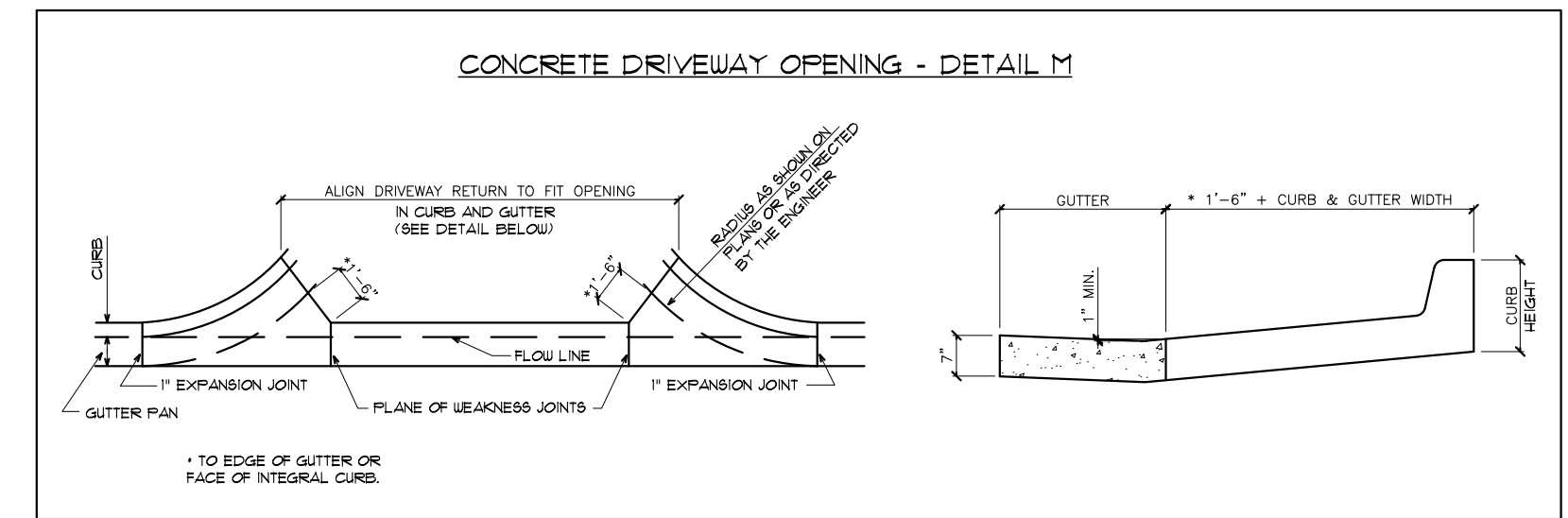
CONCRETE SIDEWALK DETAIL

NO SCALE



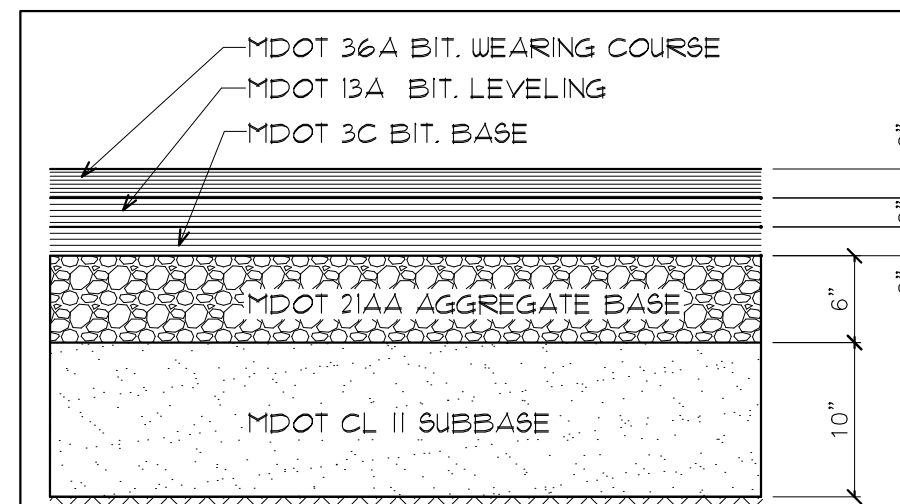
TYPICAL CONC. PAVEMENT SECTION

NO SCALE



CONCRETE DRIVEWAY OPENING - DETAIL M

NO SCALE



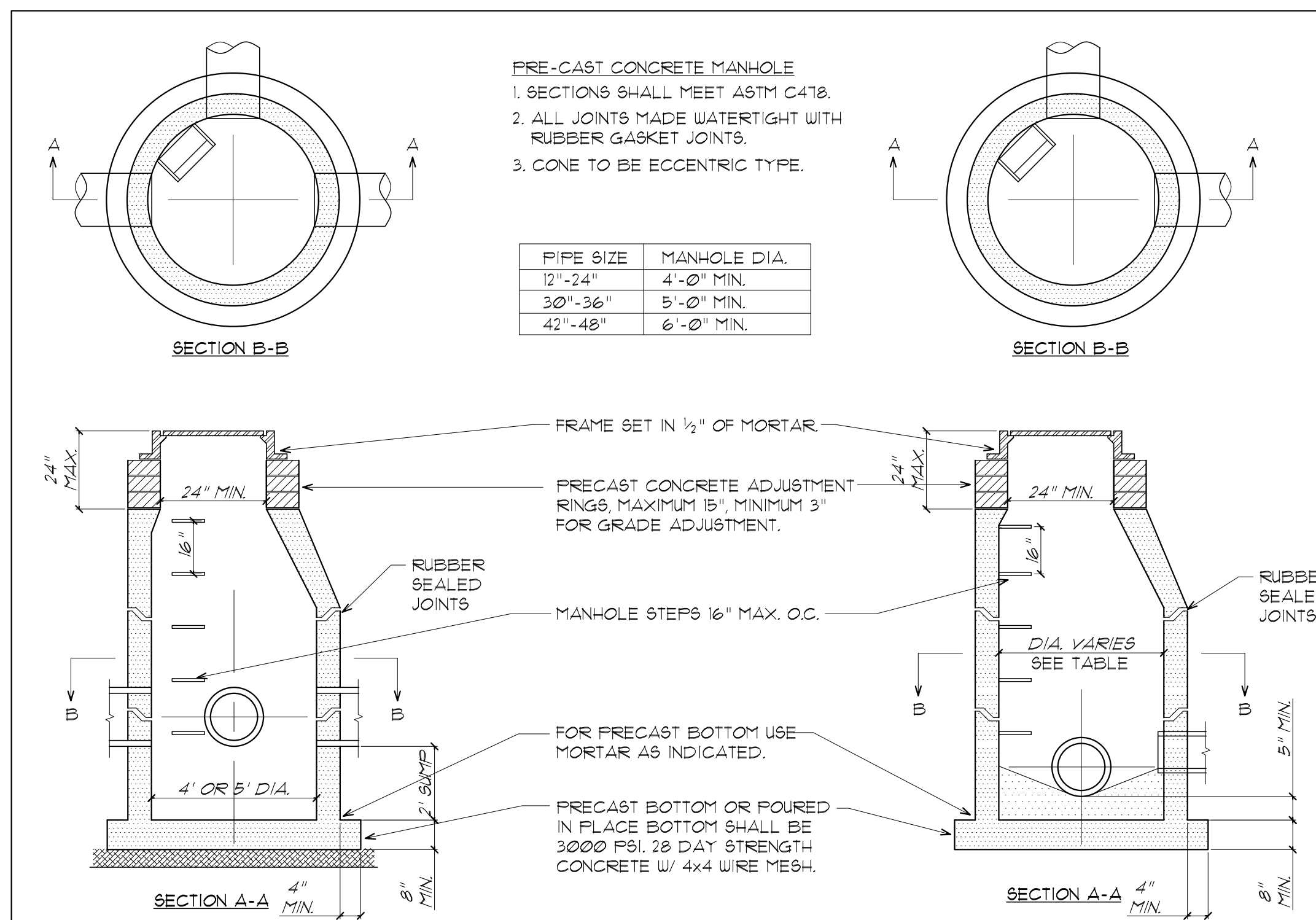
ASPHALT PAVEMENT SECTION

NO SCALE



R.O.W. CONC. PAVEMENT SECTION

NO SCALE

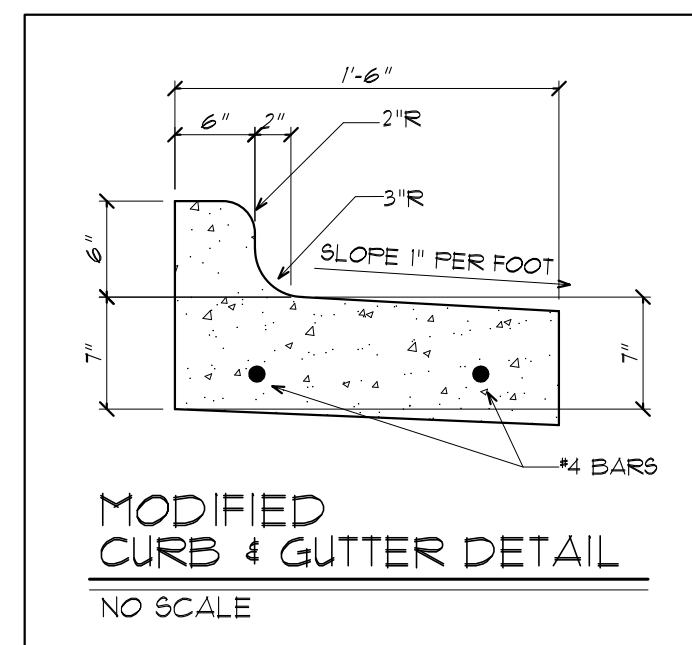


4' OR 5' DIAMETER CATCH BASIN

NO SCALE

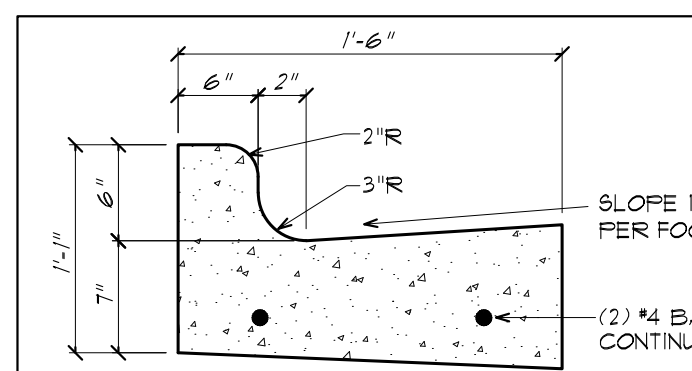
SEWER MANHOLE

NO SCALE



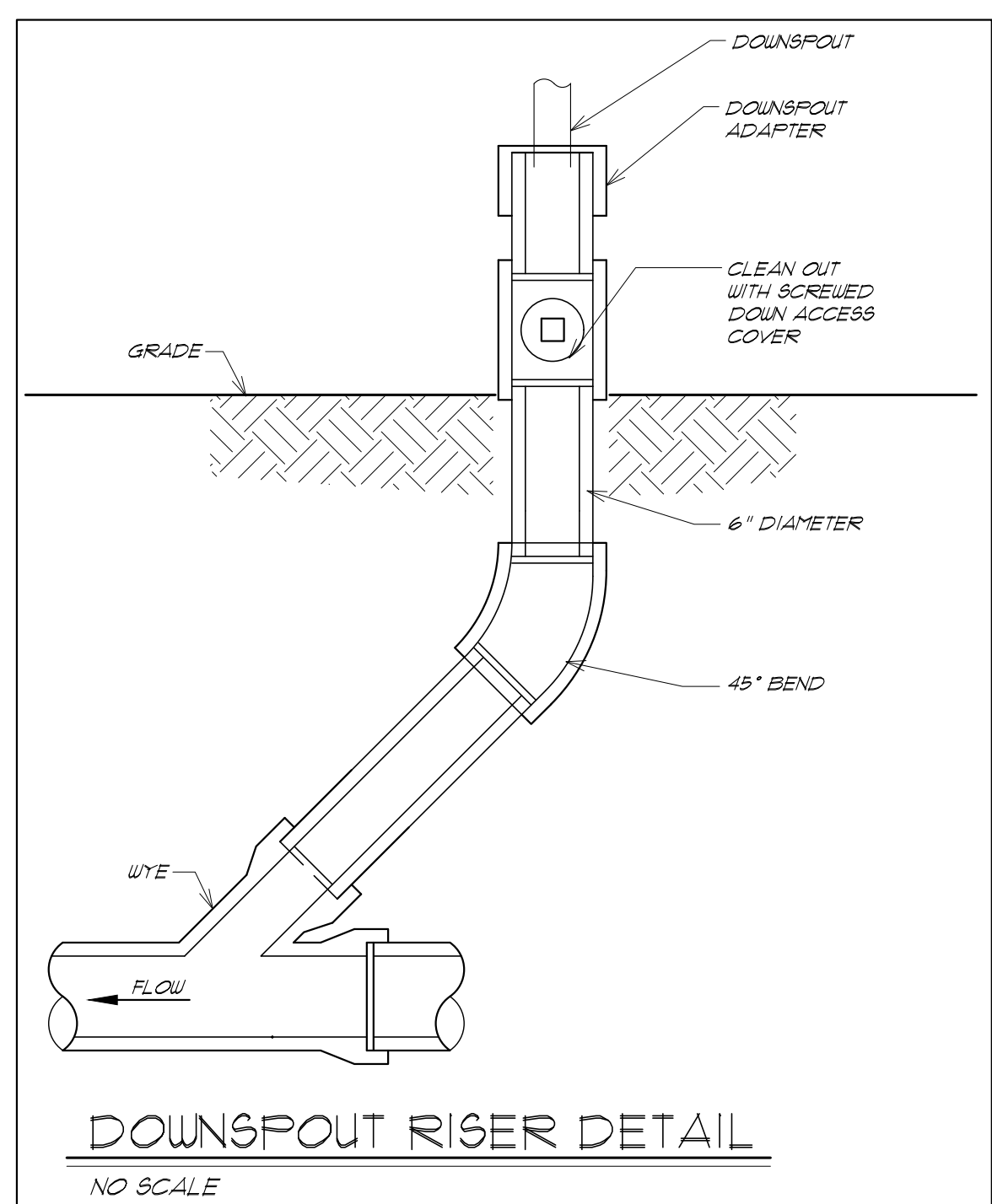
MODIFIED CURB & GUTTER DETAIL

NO SCALE



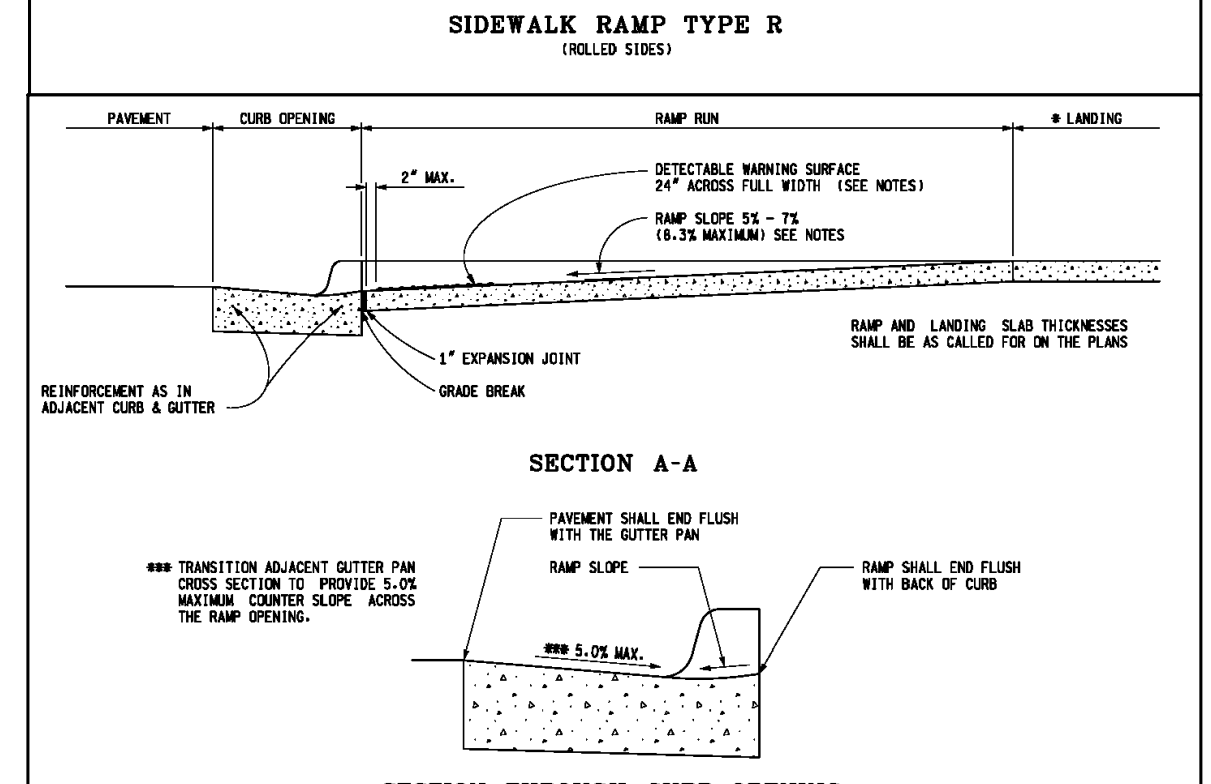
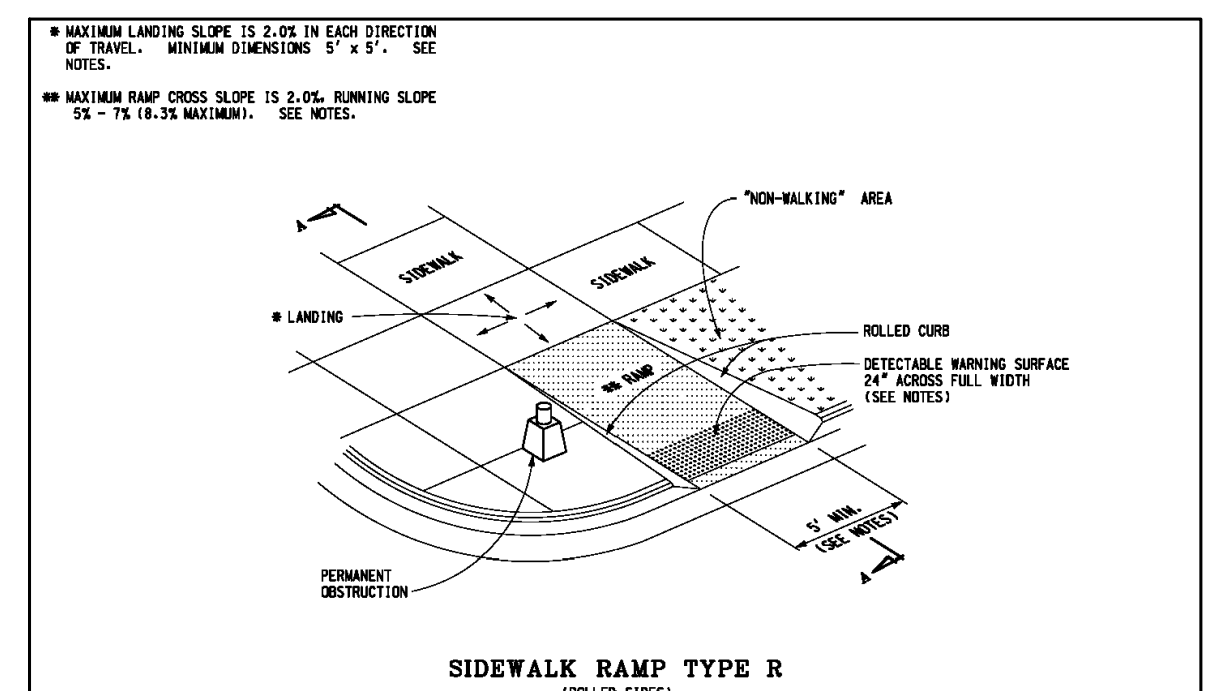
CURB & GUTTER DETAIL

NO SCALE



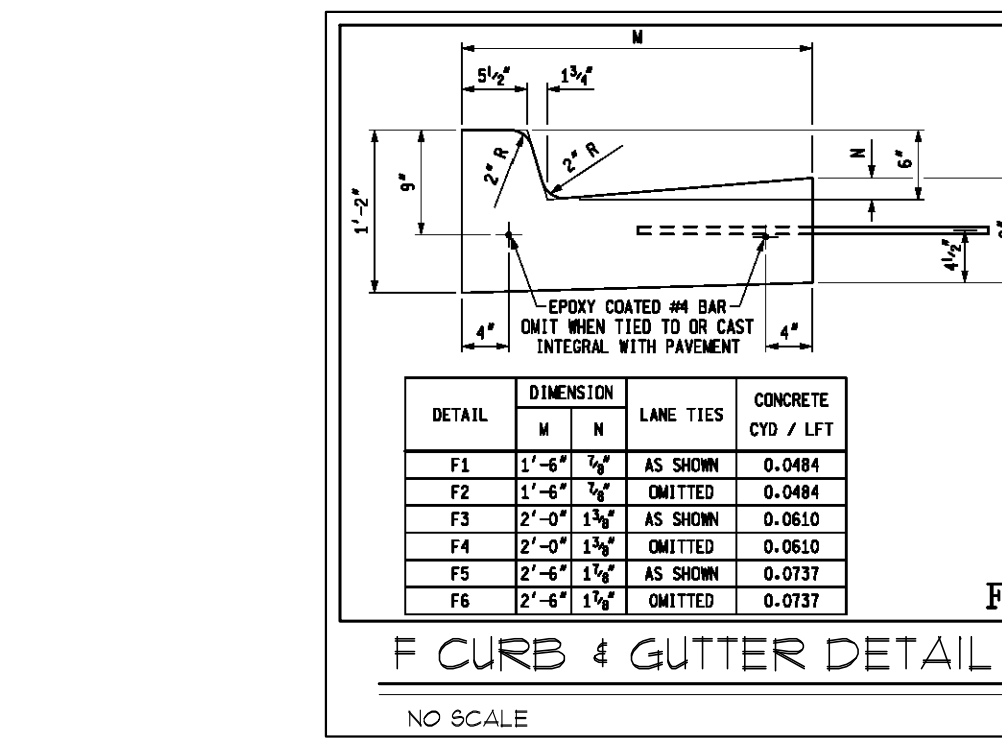
DOWNSPOUT RISER DETAIL

NO SCALE



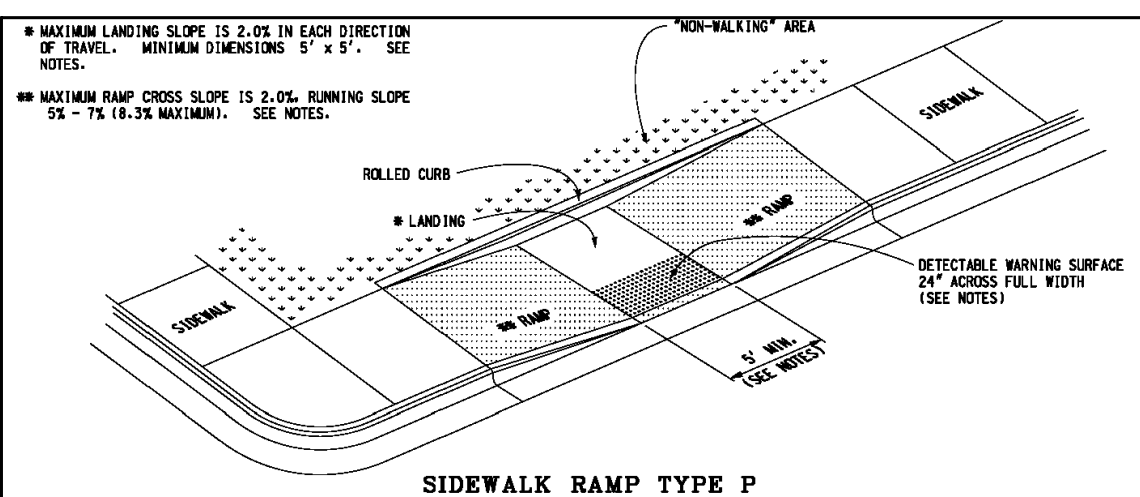
SECTION A-A

NO SCALE



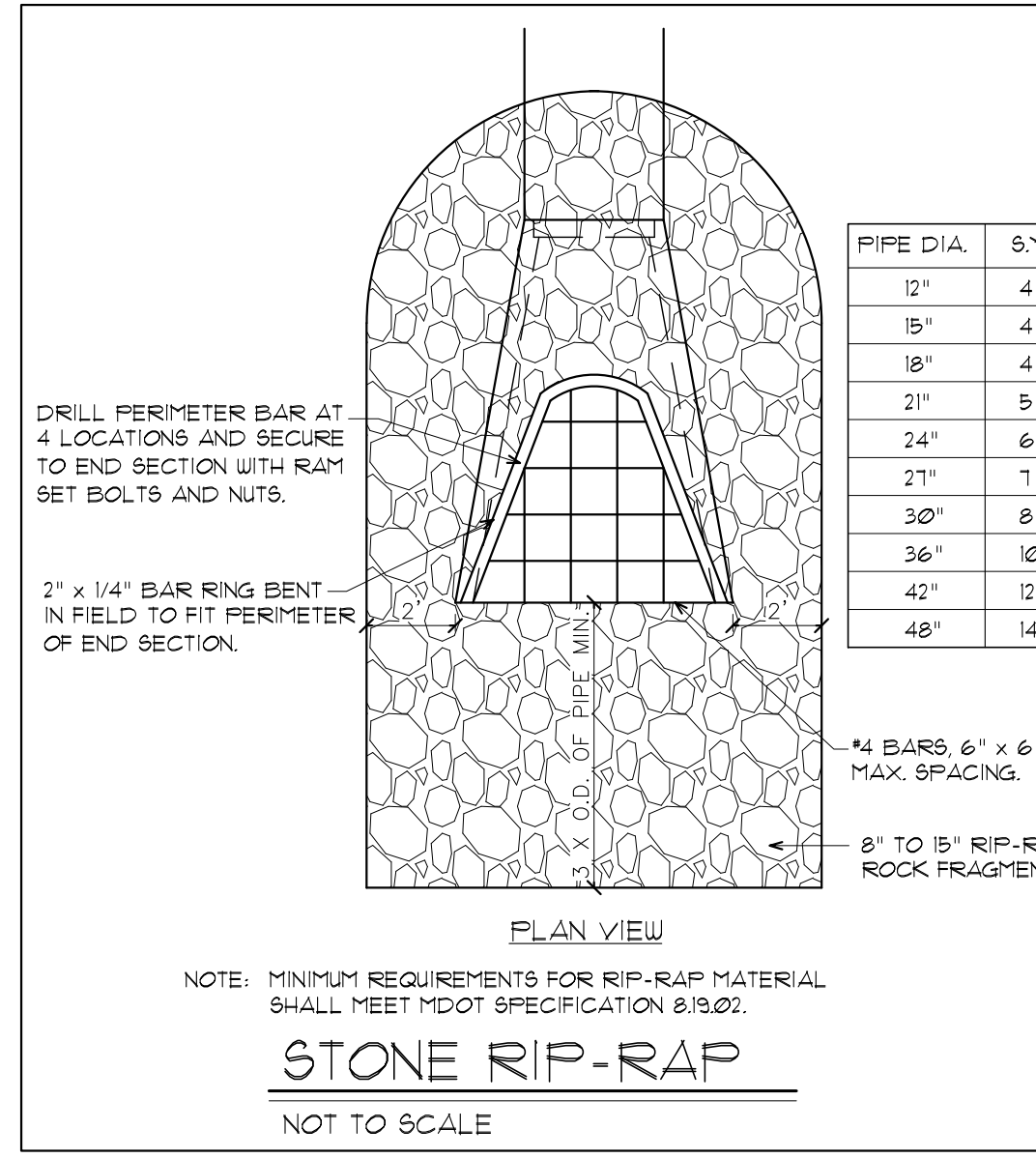
F CURB & GUTTER DETAIL

NO SCALE



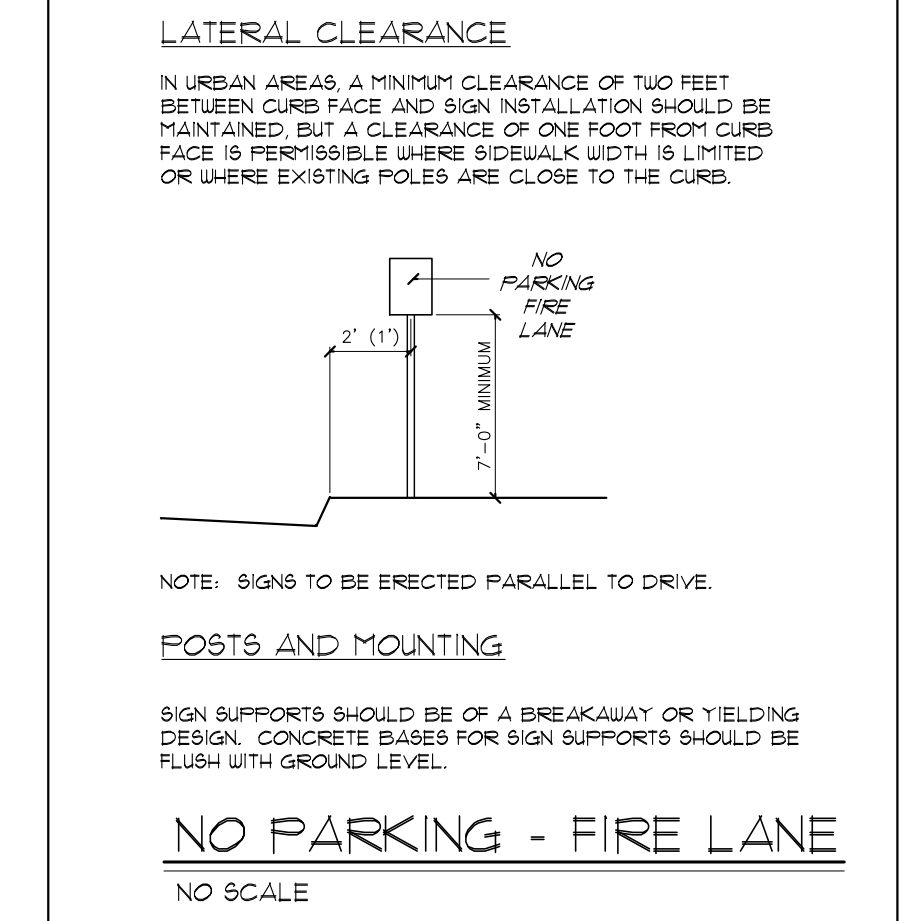
SIDEWALK RAMP TYPE P

NO SCALE



STONE RIP-RAP

NO SCALE



LATERAL CLEARANCE

NOTE: SIGNS TO BE ERRECTED PARALLEL TO DRIVE.

POSTS AND MOUNTING

SIGN SUPPORTS SHOULD BE OF A BREAKAWAY OR YIELDING DESIGN. CONCRETE BASES FOR SIGN SUPPORTS SHOULD BE FLUSH WITH GROUND LEVEL.

NO PARKING - FIRE LANE

NO SCALE

Pre-Development Cover Type Soil Type AREA(sf) AREA(ac) C Value CN CN'A

WASHTENAW COUNTY DETENTION VOLUME CALCULATIONS SITE DRAINAGE CALCULATION ACRES ON-SITE

FIRST FLUSH VOLUME VFI = (1*(1/12))^(43560SF/1ac) x A x C =

Pre-Development Bankfull Volume 2-year/24 hour storm event P= 2.35 in. Pre-Development CN CN= 39

Pervious Cover Post-Development Bankfull Volume 2-year/24 hour storm event P= 2.35 in. Pervious Cover CN CN= 46

Impervious Cover Post-Development Bankfull Volume 2-year/24 hour storm event P= 2.35 in. Impervious Cover CN CN= 98

100-year storm event P= 5.11 in. Pervious Cover CN CN= 46

Impervious Cover Post-Development 100-Year Volume 100-year storm event P= 5.11 in. Impervious Cover CN CN= 98

Runoff Summary Va = 5384 cf VFI = 430 cf VFI-per post = 0.36 cf

Time of Concentration Flow Type K Elev. Change Length (L) Slope % (S) S^0.5 V=K * S^0.5 TL=L / (V^3600)

Qp = 238.6 x Tc^0.625 Total Site Area (ac) excl. SC-BMPs A= 2.91 ac Q100 = 1020 cfs

DETENTION VOLUME OFFSITE Vdet = Vp - VFI-per = 10735 cf

On-Site Infiltration Requirement Greater of First Flush Volume or Difference between pre and post development bankfull volumes

INfiltration DESIGN Required Infiltration Vreqd = 8001 cf Depth of basin storage db = 1 ft

On-Site Infiltration Proposed On-Site design soil infiltration rate Isp = 3.00 in/hr PROPOSED INFILTRATION Vinf = 11572 cf

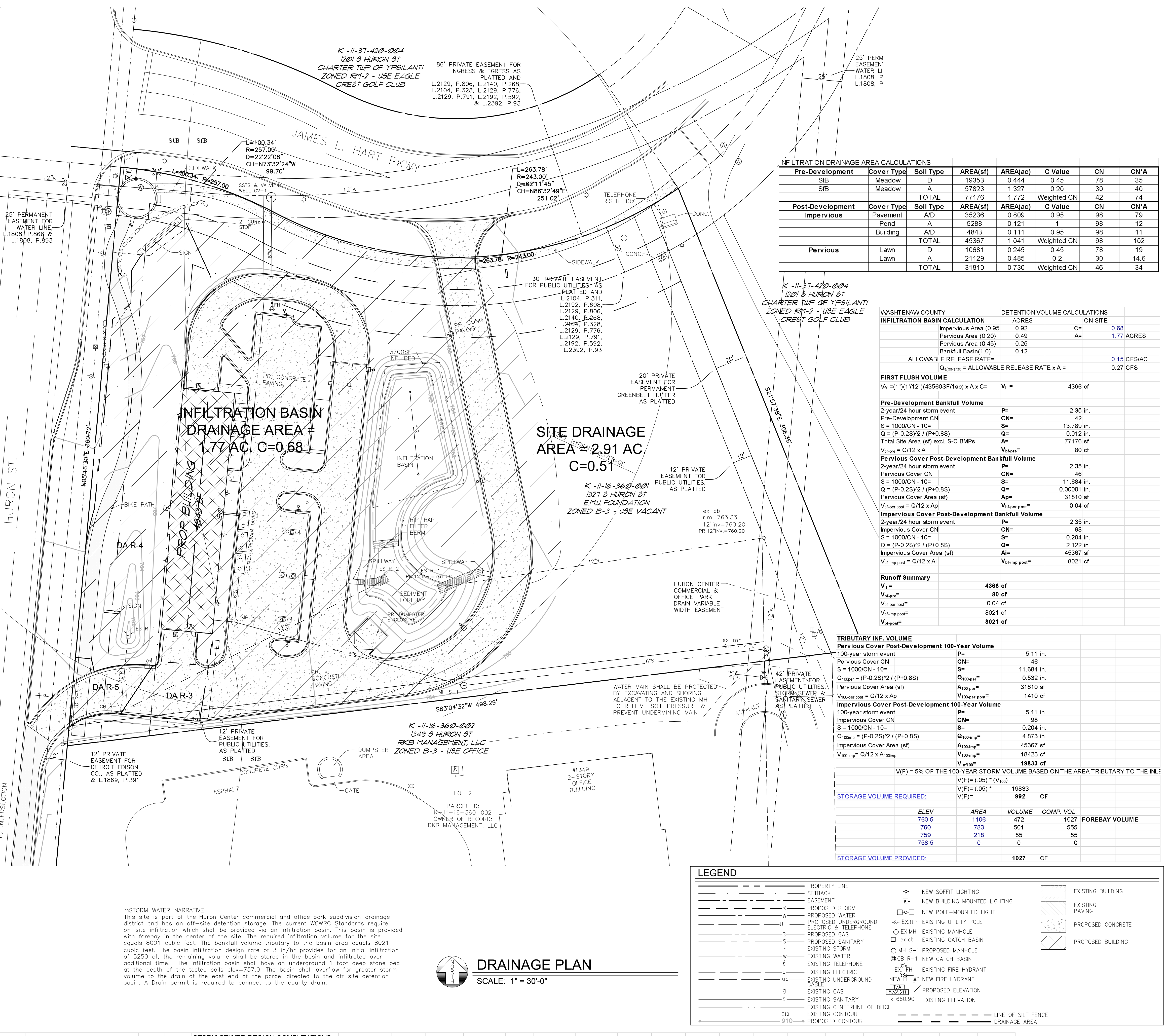
INfiltration BASIN STORAGE PROVIDED ELEV. AREA (FT^2) DEPTH (FT) VOLUME (FT^3) TOTAL VOLUME (FT^3)

BOTTOM OF BASIN Xb = 758.50 BASIN STORAGE Xs = 761.08 OVERFLOW OUTLET

STORM SEWER DESIGN COMPUTATIONS FROM TO ACRES IMPERV PERV COEFF C

LEGEND PROPERTY LINE SETBACK EASEMENT PROPOSED STORM PROPOSED WATER

DRAINAGE PLAN SCALE: 1" = 30'-0"



INFLTRATION BASIN CALCULATION Pre-Development Cover Type Soil Type AREA(sf) AREA(ac) C Value CN CN'A

WASHTENAW COUNTY DETENTION VOLUME CALCULATIONS INFLTRATION BASIN CALCULATION ACRES ON-SITE

FIRST FLUSH VOLUME VFI = (1*(1/12))^(43560SF/1ac) x A x C =

Pre-Development Bankfull Volume 2-year/24 hour storm event P= 2.35 in. Pre-Development CN CN= 39

Pervious Cover Post-Development Bankfull Volume 2-year/24 hour storm event P= 2.35 in. Pervious Cover CN CN= 46

Impervious Cover Post-Development Bankfull Volume 2-year/24 hour storm event P= 2.35 in. Impervious Cover CN CN= 98

100-year storm event P= 5.11 in. Pervious Cover CN CN= 46

Impervious Cover Post-Development 100-Year Volume 100-year storm event P= 5.11 in. Impervious Cover CN CN= 98

Runoff Summary VFI = 4366 cf VFI-per post = 0.04 cf

TRIBUTARY INF. VOLUME Pervious Cover Post-Development 100-Year Volume 100-year storm event P= 5.11 in.

STORAGE VOLUME REQUIRED: (V(F)) = 5% OF THE 100-YEAR STORM VOLUME BASED ON THE AREA TRIBUTARY TO THE INF.

STORAGE VOLUME PROVIDED ELEV. AREA VOLUME COMP. VOL FOREBAY VOLUME

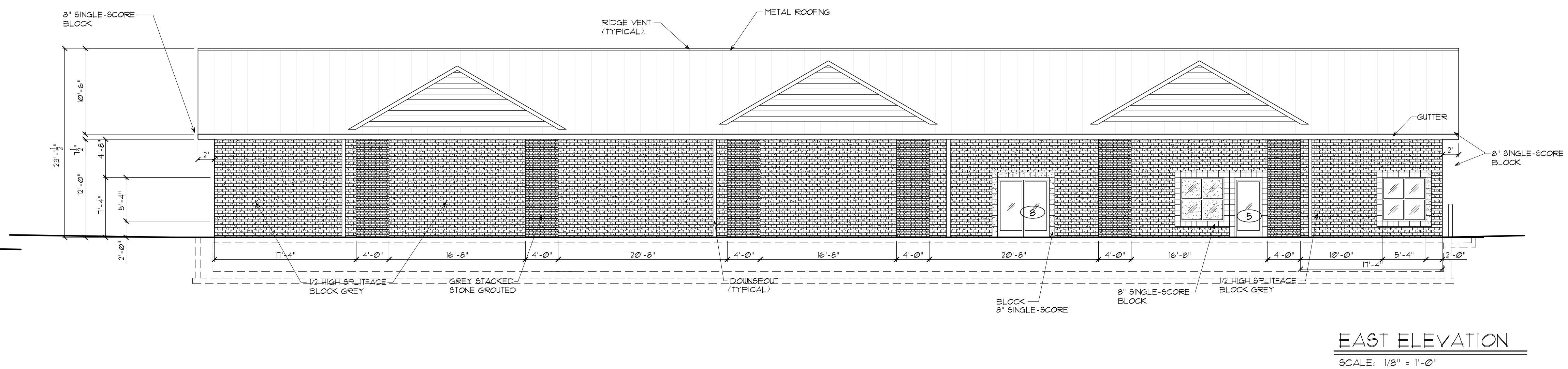
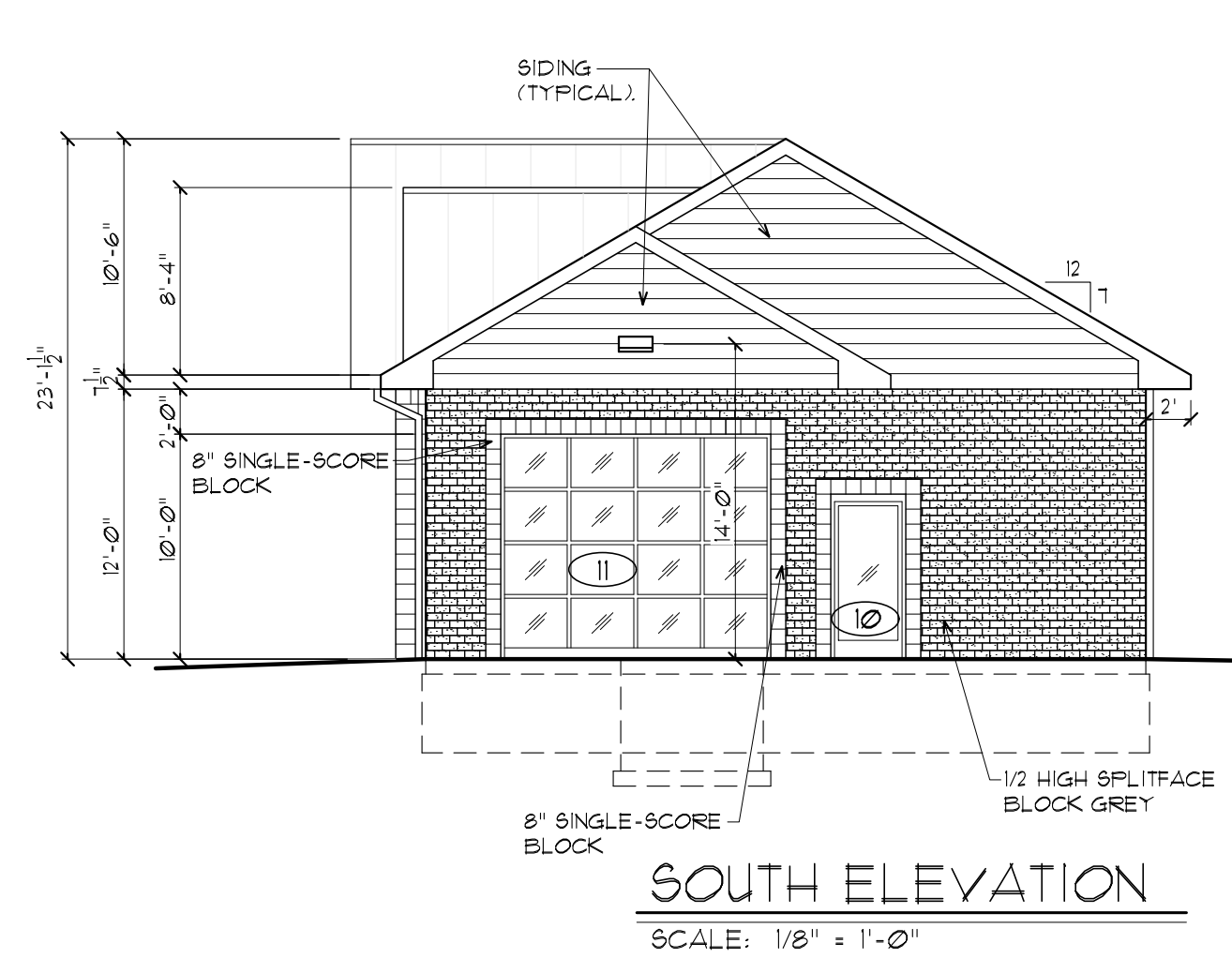
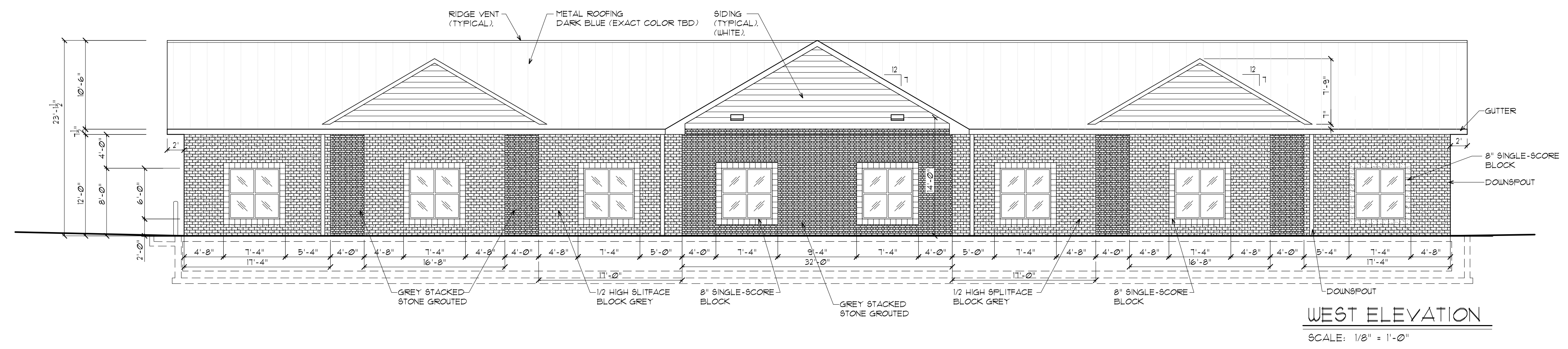
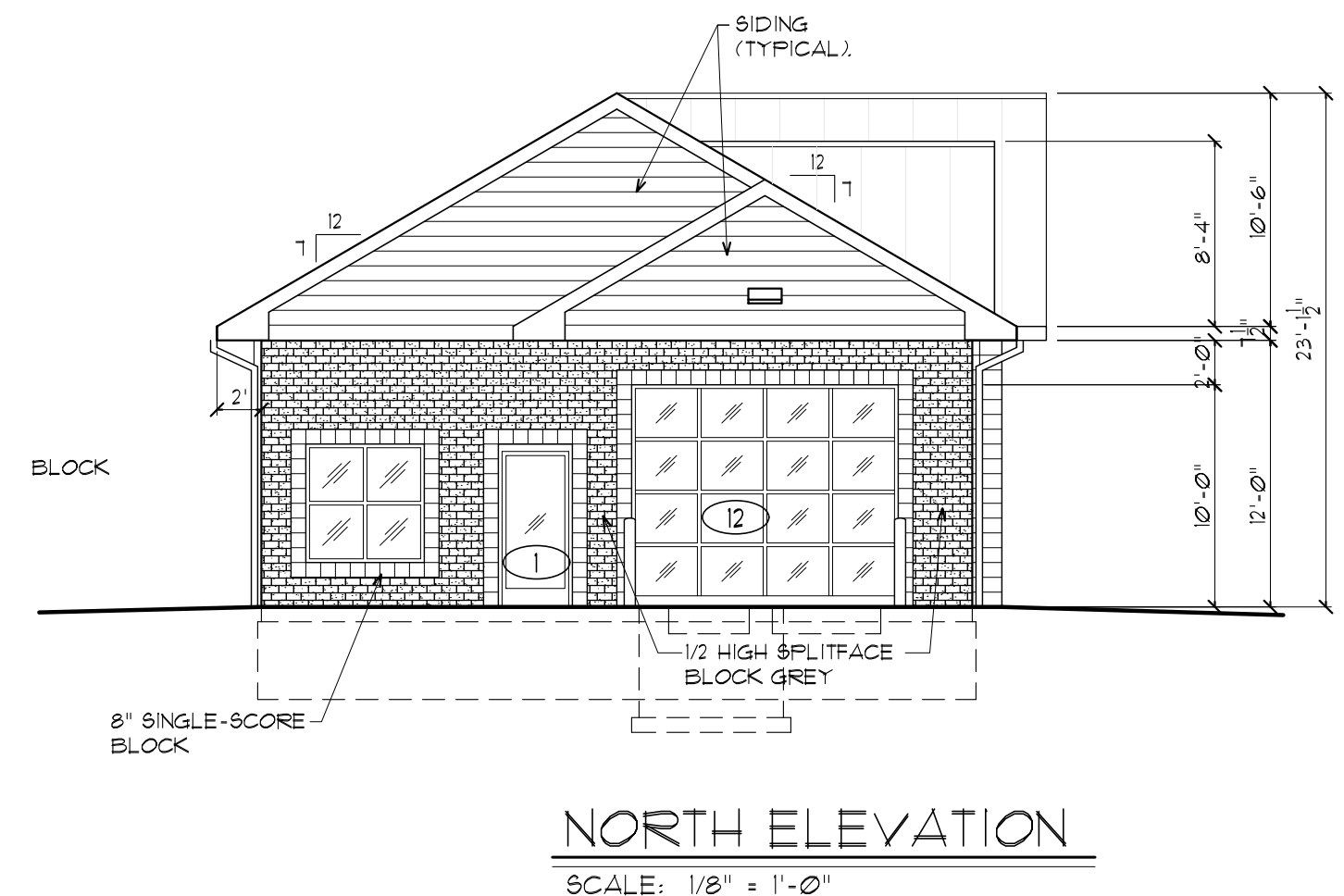
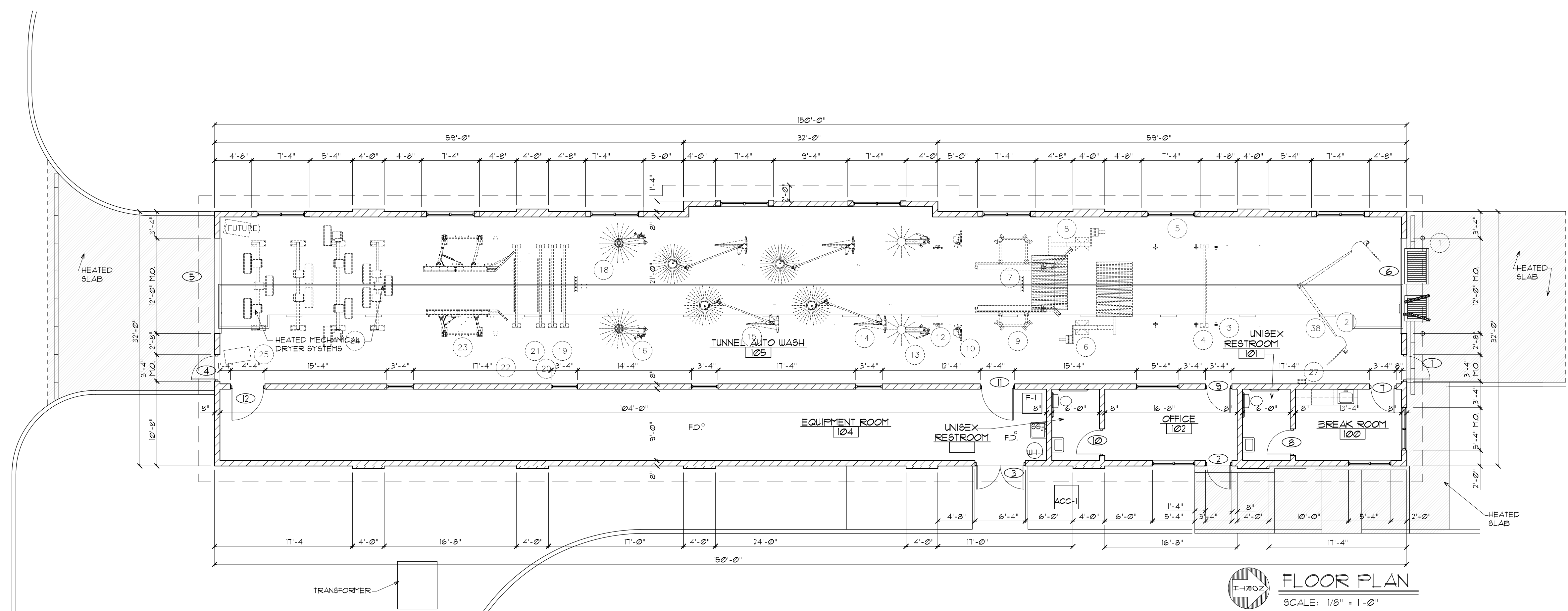
STORM SEWER DESIGN COMPUTATIONS FROM TO ACRES IMPERV PERV COEFF C

LEGEND PROPERTY LINE SETBACK EASEMENT PROPOSED STORM

DRAINAGE PLAN SCALE: 1" = 30'-0"

Zippy Auto Wash 1327 S. Huron St. Ypsilanti Township, Michigan. Vanston/O'Brien, Inc. BUILDERS. 8150 Jackson Road, Ste. A Ann Arbor, MI 48103. Tel: 734-424-0661 Fax: 734-424-0677 e-mail: design@vanston.com www.vanston.com

DRAINAGE PLAN SHEET NO. C-8



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 ISSUED FOR: PRELIMINARY PLANNING
 DATE: 10-29-20
 02-11-21

DRAWN BY: RL
 JOB NO.: 2776

BUILDING FLOOR PLAN & ELEVATIONS
 SHEET NO.

A-1

\\FILESERVER1\DesignData\PROJECT FILES\2576 Zippy - Huron\AUTOCAD\DWG\SP\A-1-rev1.dwg, 3/19/2021 12:34:34 PM

Charter Township of Ypsilanti

Office of Community Standards

7200 S. Huron Drive, Ypsilanti, MI 48197

Phone: (734) 485-3943

Website: <https://ytown.org>

OFFICE USE ONLY

All special conditional use applications

- | | |
|---|--|
| <ul style="list-style-type: none"><input type="checkbox"/> The application is filled out in its entirety and includes the signature of the applicant and, if different than the applicant, the property owner.<input type="checkbox"/> Name(s) and address(es) of all record owner(s) and proof of ownership. If the applicant is not the property owner, written and signed permission from the property owner is required<input type="checkbox"/> A detailed description of the proposed use.<input type="checkbox"/> A site plan, if requested by the planning commission<input type="checkbox"/> Fees | <ul style="list-style-type: none"><input type="checkbox"/> Scaled and accurate survey drawing, correlated with a legal description and showing:<ul style="list-style-type: none"><input type="checkbox"/> All property lines and dimensions<input type="checkbox"/> All existing and proposed structures and dimensions<input type="checkbox"/> Locations of drives, sidewalks, and other paved areas on the property and on the adjacent streets<input type="checkbox"/> Location and dimensions of the nearest structures on adjacent properties<input type="checkbox"/> Easements and dimensions, if applicable |
|---|--|



April 16, 2021

Charter Township of Ypsilanti
Office of Community Standards
7200 S. Huron Drive
Ypsilanti, MI 48197

RE: Special Conditional Use/Uses Subject to Special Conditions Application for 1327 S. Huron St.

To Whom It May Concern:

The purpose of this letter is to confirm that the Eastern Michigan University Foundation is giving Corey Weaver, on behalf of Zippy Auto Wash, permission to make a formal request for consideration of a Special Conditional Use for an Auto Wash Facility in Ypsilanti Township on property we own at 1327 S. Huron St., Ypsilanti, MI 48197.

Being duly sworn by the EMU Foundation to do so, signed this day April 16, 2021 by:

A handwritten signature in black ink, appearing to read 'W. Shepard', written over a horizontal line.

William Shepard
Executive Director
EMU Foundation

A handwritten signature in black ink, appearing to read 'Laura E. Wilbanks', written over a horizontal line.

Laura E. Wilbanks
Chief Financial Officer
EMU Foundation

**SPECIAL CONDITIONAL USE/
 USES SUBJECT TO SPECIAL
 CONDITIONS APPLICATION**

I. PROJECT LOCATION

Address: 1327 S. Huron St Parcel ID #: K-11- 16-360-001 Zoning B-3

Lot Number: 1 Subdivision: Huron Center Commercial ...

Describe proposed use: The proposed use is an automatic car wash in a 4,843 sf building with a 150 foot fully automatic car wash.

II. APPLICANT/PROPERTY OWNER

Applicant: Corey & Michelle Weaver - Zippy Auto Wash LLC Phone: 734-904-3869

Address: P.O.Box 550 City: Saline State: MI Zip: 48176

Property Owner (if different than applicant): Eastern Michigan University Foundation Phone: 734-484-1322

Address: 112 Welch Hall, 850 W. Cross St. City: Ypsilanti State: MI Zip: 48197


III. FEES

Total: \$ <u>2000</u>	Breakdown of fee:	Non-refundable:	\$1,000
		Refundable:	\$1,000

IV. APPLICANT SIGNATURE

The following are attached to this application:

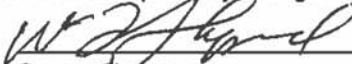
- Name(s) and address(es) of all record owner(s) and proof of ownership.
 - If applicant is not the fee-simple owner, the owner's signed authorization for application must be attached to this application.
- Scaled and accurate survey drawing, correlated with a legal description and showing all existing buildings, drives and other improvements.
- Section of Zoning Ordinance involved in this request 2122.(1): Sec. 1833 - Automobile Car Wash
- [Daycare only]
- Copy of State license.
- Copy of inspection reports.
- Drawing or pictures of the house layout, showing the rooms that you will utilize for the daycare.

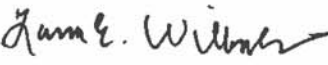
 Corey Weaver 2-11-21
 Applicant Signature Print Name Date

Approved
 Denied

 Zoning Administrator Signature Print Name Date

Please note: Application cannot be appealed to the Board of Appeals. If denied by the Planning Commission, re-application can be made to the Planning Commission after 365 days, after the date of this application, except on the grounds of new evidence or proof of changed conditions found by the Planning Commission to be valid.

 William Shepard/Exec. Director 4/16/21
 Owner Signature Print Name/Capacity Date

 7200 S. Huron River Drive • Ypsilanti, MI 48197 • (734) 485-3943
 Laura E. Wilbanks, CFO 4/16/21

SITE PLAN REVIEW APPLICATION

I. APPLICATION/DEVELOPMENT TYPE

Development:

- Subdivision
- Multi-family/Condominium
- Site Condominium
- Planned Development
- Non-residential

Application:

- Administrative Site Plan Review
- Sketch Site Plan Review
- Full Site Plan Review
- Revisions to approved plan
- Tentative Preliminary Plat
- Final Preliminary Plat
- Final Plat Process
- Stage I (for Planned Development)
- Stage II (for Planned Development)

II. PROJECT LOCATION

Address: 1327 S. Huron St. City: Ypsilanti State: MI Zip: 48197

Parcel ID #: K-11-16-360-001 Zoning B-3

Lot Number: 1 Subdivision: Huron Center Commercial ...

Property dimensions: _____ Acreage: 2.91

Name of project/Proposed development: Zippy Auto Wash

Legal description of Property:

LOT 1 OF HURON CENTER COMMERCIAL AND OFFICE PARK SUBDIVISION, ACCORDING TO THE RECORDED PLAT THEREOF, AS RECORDED IN LIBER 26 OF PLATS, PAGES 50 AND 51, WASHTENAW COUNTY RECORDS

Describe Proposed Project (including buildings/ structures/ # units):

The proposed use is an automatic car wash in a 4,843 sf building with a 150 foot fully automatic wash bay with mechanical dryers, heated exit and entrance slab to the tunnel, and vacuum stations. Two automatic pay stations located at the rear of the site provide ample stacking spaces for traffic queuing on site. There shall be three vacuum islands located adjacent to the building with two vacuums each. Employee and customer parking is located adjacent to the building.

III. APPLICANT INFORMATION

Applicant: Corey & Michelle Weaver Zippy Auto Wash LLC Phone: 734-904-3869

Address: P.O.Box 550 City: Saline State: MI Zip: 48176

Fax: _____ Email: mrweaver@comcast.net

Property owner (if different than applicant): _____ Phone: _____

Address: _____ City: _____ State: _____ Zip: _____

Fax: _____ Email: _____

Engineer: Vanston/O'Brien, Inc. - Gregory Heim Phone: 734 424-0661

Address: 8150 Jackson Rd, Ste. A City: Ann Arbor State: MI Zip: 48103

Fax: 734-424-0661 Email: greg.heim@vanston.com

**SITE PLAN REVIEW
 APPLICATION**

VI. SCHEDULE OF FEES

Preliminary Site Plan Review		
	Non-refundable fee	Refundable deposit
Full	\$500	Less than one (1) acre: \$2,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres
Sketch	\$500	Less than one (1) acre: \$1,500 One (1) acre to five acres: \$2,000 Over five (5) acres to ten (10) acres: \$2,500 Greater than ten (10) acres: 25,500 + \$50 per acre over ten (10) acres
Administrative	\$100	Less than one (1) acre: \$1,000 One (1) acre to five acres: \$1,200 Over five (5) acres to ten (10) acres: \$1,500 Greater than ten (10) acres: \$1,500 + \$50 per acre over ten (10) acres
Planned Development Stage I and Rezoning	\$1,500 + \$20 per acre	Less than one (1) acre: \$3,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres
Final Site Plan Review		
	Non-refundable fee	Refundable deposit
Full	\$500	Less than one (1) acre: \$3,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres
Sketch	\$500	Less than one (1) acre: \$1,500 One (1) acre to five acres: \$2,000 Over five (5) acres to ten (10) acres: \$2,500 Greater than ten (10) acres: \$2,500 + \$50 per acre over ten (10) acres
Administrative	\$100	Less than one (1) acre: \$1,000 One (1) acre to five acres: \$1,200 Over five (5) acres to ten (10) acres: \$1,500 Greater than ten (10) acres: \$1,500 + \$50 per acre over ten (10) acres
Planned Development Stage I and Rezoning	\$1,500 + \$20 per acre	Less than one (1) acre: \$3,000 One (1) acre to five acres: \$4,000 Over five (5) acres to ten (10) acres: \$5,500 Greater than ten (10) acres: \$5,500 + \$50 per acre over ten (10) acres

\$ 4500 FEE TOTAL

V. APPLICANT SIGNATURE



Applicant Signature

Corey Weaver

Print Name

2-11-21

Date

Charter Township of Ypsilanti

Office of Community Standards

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Phone: (734) 485-3943

Website: <https://ytown.org>

**SITE PLAN REVIEW
APPLICATION**

Site Plan Review applications	
<input type="checkbox"/> The application is filled out in its entirety and includes the signature of the applicant and, if different than the applicant, the property owner.	<input type="checkbox"/> Proposed Plans
<input type="checkbox"/> Fees	<input type="checkbox"/> Eight (8) signed and sealed copies (24"x36") of the proposed plan
<input type="checkbox"/> Check made out to Ypsilanti Township with appropriate fees. <i>Please note: The same preliminary site plan review fee will be charged for each subsequent submittal</i>	<input type="checkbox"/> Two (2) signed and sealed copies (24" x 36") shall be provided to the Washtenaw County Road Commission and Water Resources Commissioner's Office for Review. The applicant is responsible for delivery of the plans, application, and applicable review fees to these agencies. The Township will complete distribution to Ypsilanti Community Utility Authority (YUCA), but separate payment is required.
<input type="checkbox"/> Fees paid separately to Ypsilanti Community Utilities Authority	<input type="checkbox"/> One (1) copy (11"x17") of the proposed plan
<input type="checkbox"/> Fees paid separately to Washtenaw County Road Commission and Water Resources Commissioner's Office	<input type="checkbox"/> One (1) PDF digital copy of the proposed plan
<input type="checkbox"/> Additional Documents:	<input type="checkbox"/> All contents detailed on the next pages for administrative, sketch, and full site plans.
<input type="checkbox"/> Woodland Protection application or the No Tree Affidavit, if applicable	
<input type="checkbox"/> Traffic Impact Questionnaire	
<input type="checkbox"/> Appropriate application and plans submitted to the Washtenaw County Road Commission and Water Resources Commissioner's Office	