Park Commission

7200 S. Huron River Drive Ypsilanti, MI 48197 Phone: 734-544-3800 Fax: 734-544-3888 www.ytown.org



David Streeter, Chair Tajalli Hodge, Vice Chair Brad O'Conner, Treasurer Jeff Neel, Secretary

> Commissioners: Brad Hine Darrell Kirby Star Smith

Charter Township of Ypsilanti

YPSILANTI TOWNSHIP PARK COMMISSION

REGULAR MEETING

Date: Monday, April 5, 2021

Time: 6:30 P.M.

LOCATION

Online via Zoom Webinar Ypsilanti Township Civic Center 7200 S. Huron River Drive Ypsilanti, Michigan 48197

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Charter Township of Ypsilanti

Charter Township of Ypsilanti Public Meeting Notice Park Commission Regular Meeting April 5, 2021 at 6:30pm

PLEASE TAKE NOTICE that the Charter Township of Ypsilanti Park Commission will hold a Regular Meeting scheduled for April 5, 2021 at 6:30pm. This meeting will be conducted virtually (online and/or by phone), due to health concerns surrounding Coronavirus/COVID-19 under the Governor of Michigan's Executive Orders 2020-15 and 2020-21.

Public comment will be handled by the "Raise Hand" method as instructed below within Participant Controls.

If you need any assistance due to a disability please contact Mike Hoffmeister at least 48 hours in advance of the meeting at mhoffmeister@ytown.org or 734-544-3515.

Meeting Information:

You are invited to a Zoom webinar.

When: April 5, 2021 06:30 PM Eastern Time (US and Canada)

Topic: Charter Township of Ypsilanti Park Commission

Please click the link below to join the webinar:

https://ytown.zoom.us/i/93936756086

Webinar ID: 939 3675 6086

Or iPhone one-tap:

US: +13126266799, 93936756086# or +19292056099, 93936756086#

Or Telephone:

Dial (for higher quality, dial a number based on your current location):

US: +1 312 626 6799 or +1 929 205 6099 or +1 301 715 8592 or +1 346 248 7799 or +1 669 900 6833 or +1 253 215 8782

International numbers available: https://ytown.zoom.us/u/aJXjr2xBX

Zoom Instructions for Participants

To join the conference by phone:

- 1. On your phone, dial the teleconferencing number provided above.
- 2. Enter the Meeting ID number (also provided above) when prompted using your touch- tone (DTMF) keypad.

Before a videoconference:

- 1. You will need a computer, tablet, or smartphone with speaker or headphones. You will have the opportunity to check your audio immediately upon joining a meeting.
- 2. Details, phone numbers, and links to videoconference or conference call is provided below. The details include a link to "Join via computer" as well as phone numbers for a conference call option. It will also include the 9-digit Meeting ID.

To join the videoconference:

- 1. At the start time of your meeting, enter the link to join via computer. You may be instructed to download the Zoom application.
- You have an opportunity to test your audio at this point by clicking on "Test Computer Audio." Once you are satisfied that your audio works, click on "Join audio by computer."

You may also join a meeting without the link by going to join.zoom.us on any browser and entering the Meeting ID provided.

If you are having trouble hearing the meeting, you can join via telephone while remaining on the video conference:

- 1. On your phone, dial the teleconferencing number.
- 2. Enter the Meeting ID number (also provided above) when prompted using your touch- tone (DTMF) keypad.
- 3. If you have already joined the meeting via computer, you will have the option to enter your 2- digit participant ID to be associated with your computer.

Ypsilanti Township Park Commission

AGENDA OF THE APRIL 5, 2021 REGULAR MEETING

II. Roll Call

I.

- III. Determination of Quorum
- IV. Approval of Agenda

Call to Order

- V. Approval of Minutes
- VI. Citizens Participation
- VII. Reports
 - A. Staff Reports
 - **B.** Commissioner Reports
- **VIII.** Unfinished Business

A. Dog park – Update

- **IX.** New Business
- X. Announcements
- XI. Recommendations to the Township Board
- XII. Adjournment

CHARTER TOWNSHIP OF YPSILANTI PARK COMMISSION PROPOSED MINUTES OF THE MARCH 1, 2021 REGULAR MEETING

Park Commission Agendas and Minutes are available on the township website at https://ytown.org/park-commission

I. Call to Order

Commission Chair Streeter called the meeting to order at 6:32 p.m. via virtual public Zoom meeting.

II. Roll Call

Commissioners Present: Brad Hine, Tajalli Hodge, Darrell Kirby, Jeff Neel, Brad O'Conner, Star

Smith, David Streeter

Commissioners Not Present: none

Staff Present: Mike Hoffmeister, Angela Verges, John Hines, Robin Castle-Hine

III. Determination of Quorum

Quorum present

IV. Approval of Agenda

Motion to approve the agenda made by Darrell Kirby Seconded by Star Smith Motion Carried Unanimously

V. Approval of Minutes – October 5, 2020 Regular Meeting

Motion to approve February 1, 2020 minutes made by Darrell Kirby Seconded by Brad O'Conner Motion Carried Unanimously

VI. Citizens Participation

None

VII. Reports

A. Staff Reports

Mike Hoffmeister: 1) Loonfeather Park renovation plan will be made available soon. 2) Solomon Diving hired to inspect boat launch at Ford Lake Park - found 5 pipes sticking up and concern about concrete slabs sliding into lake due to voids under slabs. No decision yet about how to proceed. Also looking into adding more boat launches. 3) Hewen's Creek has largest ironwood tree in state – considering commissioning a plaque to commemorate. Also looking into expanding parking. 4) Investigating installing fence along Harris Road Park baseball fields abutting Amtrack route. There is a meeting on Wednesday with MDOT to explore options and hope is to get this done sometime during the summer. 5) New YMCA MOU moving forward to offer joint programs. 6) The skate park has been officially awarded a Facility Design Award by mParks.

Discussion: Mike Hoffmeister informed participants that the township budgets for maintenance, repair, and upkeep and that is a major source of funding for many projects, along with grants and awards from various agencies.

Angie Verges: Sierra Club will lead nature walks in April and May, more to follow. Applied for \$2500 Archery grant to purchase equipment. Applications being accepted for park rangers and

attendants. Brad O'Conner asked about limitations to events and gatherings at parks due to Covid restrictions. Angie said no new directions yet from governor/state.

Robin Castle: the township needs maintenance workers, park rangers and attendants, and golf grounds workers. Rosie the Riveter festival still on track. Tajalli Hodge asked about numbers of staff needed; varies by job but more is better to cover for vacations, etc.

B. Commissioner Reports

Brad Hine visited all proposed locations for dog parks. Thinks commissioners should visit as a group. Tajalli Hodge mentioned that if quorum (4 of 7) were to meet, it would constitute an official meeting and would need to be publicly posted 2 weeks in advance. David Streeter to investigate regulations.

Tajalli Hodge gave an update on Sugarbrush Park/Native Garden mParks grant for \$2500. Investigating additional grants for this program.

VIII. Unfinished Business

Dog park—Chris Nordstrom: Carlisle Wortman. FAQ document discussion: Noise study, safety, sanitation, and location are main issues. Injuries are rare; dog owners are largely self-policing. Sanitation and run-off into lake are concerns but local dog parks in Saline and Whitmore Lake have not had any problems. Also, there are ways to set up barriers to filter run-off before entering the lake. Heritage, Ford Lake, or Lakeside are currently the 3 top locations. Ford Lake seems the best option due to gated entrance, parking, and facilities. Heritage has sufficient parking but close to residences and major location for sports and playground – and would involve lots of underbrush removal. Lakeside Park has insufficient parking and facility is heavily used by local rowing teams throughout summer and early fall.

Details of plan: https://en.calameo.com/read/0051076738fb6c2bdb77a

Web site for community feedback/exposure: https://www.ytowndogpark.com/

Tajalli Hodge expressed concerns about placing too close to roadways. Brad O'Conner asked about water availability; Chris Nordstrom replied water is not required but adds significant cost. Jeff Neel asked about rowing usage at Lakeside: Hoffmeister says heavily used throughout summer and into fall. Brad Hine asked about liability in case of dog bites, etc. Ford Lake is gated so can ensure that dogs are licensed, and prominent signage is extremely important in setting rules, addressing liability issues.

Chris Nordstrom will revisit Board after first survey closes to discuss results.

IX. New Business

Request for Spicer Group to apply on behalf of Ypsilanti Township for a Land and Water Conservation Fund MDNR grant to make improvements to Clubview Park. The tennis courts at Clubview Park have deteriorated to the point they are unsafe for use. The proposed improvements project is consistent with our Parks and Recreation Master Plan.

X. Public Hearing

Public comments regarding the Land and Water Conservation Fund grant application for improvements to Clubview Park. The township applied for two MDNR grants but was only awarded one grant; Spicer Group to help with proposal and application.

Official hearing opened at 7:45 pm

Motion to approve authorization of Spicer to help with application made by Brad O'Conner, Supported by Darrell Kirby.

Passed unanimously

No citizens in attendance Hearing closed at 7:47 pm.

XI. Announcements

None

XII. Recommendations to the Township Board

Recommendation to adopt a resolution to authorize submittal of a Land and Water Conservation Fund grant through the MDNR for improvements at Clubview Park. The resolution also commits to the required local match. Total project cost is estimated at \$295,000. This grant has a 50% local match requirement, so the grant will fund \$147,500 and will require \$147,500 of local funds.

XIII. Adjournment

Motion to adjourn made by Tajalli Hodge Seconded by Darrell Kirby Motion Carried Unanimously Meeting Adjourned at 7:48p.m.

Minutes taken and prepared by Jeff Neel, Secretary



YPSILANTI CHARTER TOWNSHIP

LOONFEATHER POINT PARK IMPROVEMENTS



FINAL PLAN SET
MARCH, 2021
PROJECT NUMBER: 2075154400



PROJECT LOCATION MAPS

NOT TO SCALE

CIVIL DRAWING INDEX						
Sheet Description	Sheet Number	Sheet Title				
G-001	01	COVER SHEET				
G-002	02	GENERAL NOTES, LEGEND, ABBREVIATIONS AND SYMBOLS				
C-001	03	OVERALL EXISTING CONDITIONS				
C-002	04	OVERALL PROPOSED SITE PLAN				
C-100	05	DEMOLITION AND SOIL EROSION CONTROL - NORTH				
C-101	06	DEMOLITION AND SOIL EROSION CONTROL - SOUTH				
C-300	07	TRAIL PLAN AND PROFILE				
C-301	08	TRAIL PLAN AND PROFILE				
C-400	09	DETAILED SITE PLAN - ADA CONNECTIONS				
C-401	10	DETAILED SITE PLAN - RAIN GARDEN				
C-500	11	PROJECT DETAILS I				
C-501	12	PROJECT DETAILS II				

ARCHITECTURAL DRAWING INDEX						
Sheet Description	Sheet Number	Sheet Title				
A-01A	13	FLOOR PLAN - GATEHOUSE				
A-01B	14	FLOOR PLAN - RESTROOMS				
A-01C	15	FLOOR PLAN - PAVILION A				
A-01D	16	FLOOR PLAN - PAVILION B				
A-02A	17	ELEVATIONS - GATEHOUSE				
A-02B	18	ELEVATIONS - RESTROOMS				
A-02C	19	ELEVATIONS - PAVILION A				
A-02D	20	ELEVATIONS - PAVILION B				
A-02E	21	ELEVATIONS - PAVILION B				
A-03	22	INTERIOR ELEVATIONS - RESTROOMS				
A-04	23	DETAILS - PAVILION BRACING REPLACEMENT				
P-01	24	SPEC AND FIXTURE SCHEDULE				

INVITED, AT A MINIMUM TO THE PRE-CONSTRUCTION MEETING.

- 1. PRE-CONSTRUCTION MEETING A PRE-CONSTRUCTION MEETING SHALL BE HELD PRIOR TO ANY WORK BEING PERFORMED ON THE PROJECT. THE MEETING TIME, PLACE, AND ATTENDEES SHALL BE ARRANGED BY THE PROJECT ENGINEER. WASHTENAW COUNTY WATER RESOURCES COMMISSION AND YPSILANTI CHARTER TOWNSHIP SHALL BE
- 2. SHOP DRAWINGS AND MATERIAL CERTIFICATES PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL FURNISH MATERIAL SOURCE LISTS AND CERTIFICATIONS TO THE PROJECT ENGINEER. VERIFYING THAT ALL MATERIALS USED ON THE PROJECT ARE IN ACCORDANCE WITH MICHIGAN DEPARTMENT OF TRANSPORTATION 2012 STANDARD SPECIFICATIONS FOR CONSTRUCTION. SHOP DRAWINGS AND/OR CATALOG CUTS SHALL BE REQUIRED FOR MAJOR MATERIALS.
- 3. MISS DIG UTILITY ALERT AND FIELD LOCATION OF UTILITIES THREE (3) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT MISS DIG UTILITY PROTECTION SERVICE (811) TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES. UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THE PLANS WERE OBTAINED FROM UTILITY OWNERS AND WERE NOT FIELD LOCATED. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. ALL UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED WITH LIKE MATERIAL IN ACCORDANCE WITH THE UTILITY OWNER'S REQUIREMENTS. THE CONTRACTOR SHALL VERIFY THE DEPTH AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES. THE EXACT LOCATION OF EXISTING UTILITIES SHALL BE DETERMINED BY HAND DIGGING.
- UTILITY INFORMATION PUBLIC UTILITY INFORMATION IS DELINEATED IN ACCORDANCE WITH LOCATIONS PROVIDED BY UTILITY OWNERS. THE DESIGN ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION OR THE LOCATION AT WHICH THESE SERVICES EXIST. DIFFERING FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- THE LOCATION OF ALL PUBLIC UTILITIES SHOWN ON THE PLANS ARE TAKEN FROM THE BEST AVAILABLE DATA. THE OWNER WILL NOT BE RESPONSIBLE FOR ANY OMISSION OR VARIATIONS FROM THE LOCATIONS SHOWN.
- CONSTRUCTION OPERATIONS SHALL BE CONDUCTED IN A MANNER AS TO INSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED. REPARATIONS OF UTILITIES DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR IN ACCORDANCE WITH THE AFFECTED UTILITY OWNERS REQUIREMENTS.
- ALL PRIVATE UTILITY STRUCTURES WILL BE ADJUSTED TO GRADE BY THE OWNER OF THE FACILITY. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH THREE (3) WORKING DAYS NOTICE PRIOR TO THE START OF SUCH WORK.
- 5. STORMWATER DRAINAGE DURING CONSTRUCTION THE CONTRACTOR SHALL MAINTAIN DITCH DRAINAGE DURING CONSTRUCTION AND SHALL NOT OBSTRUCT SUMP PUMP LEADS DISCHARGING TO THE DITCH. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT ALL STORM SEWER FACILITIES SUCH AS CATCH BASINS, CULVERTS AND HEADWALLS DURING CONSTRUCTION. CULVERTS AND CATCH BASINS CONTAMINATED DURING CONSTRUCTION SHALL BE CLEANED AND THE COSTS SHALL BE INCLUDED IN THE EROSION CONTROL AND PROJECT CLEAN UP PAY ITEMS.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING SANITARY SEWER, WATER OR STORM SEWER SERVICE CONNECTIONS IN SERVICE THROUGHOUT THE
- CONSTRUCTION PERIOD. THE CONTRACTOR SHALL PROVIDE OR ARRANGE FOR TEMPORARY SUPPORT OF GAS MAIN AND UTILITY POLES WHERE NEEDED. ALL STORM SEWERS DAMAGED OR REMOVED OR RELOCATED BY THE CONTRACTOR SHALL BE REPLACE WITH THE SAME SIZE AND QUALITY PIPE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE PROJECT. ALL UTILITIES UNDERMINED BY THE EXCAVATION SHALL HAVE COMPACTED CLASS II SAND BACKFILL PLACED UNDER THEM.
- COORDINATION OF RELOCATED UTILITIES WILL BE PERFORMED AND COMPLETED PRIOR TO INSTALLATION OF THE PATH. FOR UTILITIES THAT NEED TO BE RELOCATED DURING CONSTRUCTION, THE CONTRACTOR WILL COORDINATE WITH THE RESPECTIVE UTILITY OWNER TO COMPLETE THIS TASK. THE COST TO RELOCATE UTILITIES WILL BE PAID FOR BY OTHERS. NO ADDITIONAL COST FOR COORDINATION EFFORTS INCURRED BY THE CONTRACTOR WILL BE
- 8. PROTECTION OF HAZARDOUS AREAS / OPEN EXCAVATIONS EXCAVATIONS AND HAZARDOUS AREAS SHALL BE PROTECTED BY BARRICADES OR SNOW FENCE.
- THE PLACEMENT OF PROTECTIVE FENCING MEETING MIOSHA STANDARDS IS REQUIRED AROUND ALL OPEN EXCAVATIONS. THIS WILL NOT BE PAID FOR
- SEPARATELY, BUT WILL BE CONSIDERED AS HAVING BEEN IN THE CONTRACT UNIT PRICE BID FOR MINOR TRAFFIC DEVICES.
- 9. DISPOSAL OF EXCESS EXCAVATED MATERIAL ALL EXCESS EXCAVATED MATERIALS SHALL BE DISPOSED OF BY THE CONTRACTOR AT A LOCATION PROVIDED BY THE CONTRACTOR. ADJACENT PROPERTY OWNERS SHALL BE GIVEN PREFERENCE FOR DISPOSAL SITES.
- 10. SALVAGED MATERIALS SALVAGEABLE MATERIALS SHALL BECOME THE PROPERTY OF THE OWNER, AND SHALL BE STORED AS DIRECTED BY THE ENGINEER.
- ALL SIGNS RELOCATED BY CONSTRUCTION SHALL BE REPLACED. SIGNS AND POSTS REMOVED SHALL BE STOCKPILED AT A LOCATION SPECIFIED BY THE
- ALL SAW CUTS SHOWN ON THE PLANS OR AS SPECIFIED WILL NOT BE PAID FOR SEPARATELY, BUT WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN PAVEMENT REMOVAL ITEMS.
- PRIOR TO GRADING/CLEARING, ALL TREES TO REMAIN SHALL BE PROTECTED USING FENCE, PROTECTIVE. THE FENCING SHALL BE PLACED AT THE DRIP LINE
- AROUND THE ENTIRE CIRCUMFERENCE.
- PRIOR TO ANY TREE REMOVAL, ENGINEER SHALL MARK TREE WITH APPROVED TAPE AND COORDINATE REMOVAL OF TREE WITH YPSILANTI TOWNSHIP 72 HOURS IN ADVANCE. 14. HERBICIDE APPLICATION
- WITHIN 48 HOURS OF TREE AND BRUSH REMOVAL, CONTRACTOR SHALL APPLY GLYSOPHATE (OR APPROVED EQUAL) VEGETATION SOLUTION AT MANUFACTURER'S RECOMMENDED APPLICATION RATE TO ALL EXPOSED ROOT MATERIAL. PAID FOR AS; _GRADING, MODIFIED.
- 15. GRADING LIMITS THE GRADING/CLEARING LIMIT LINES SHOWN ON THE PLANS ARE GENERAL LIMITS PROVIDED IN ADDITION TO THE PATH PROFILE TO GUIDE THE CONTRACTOR IN ESTIMATING DISTURBANCE AREAS, AS WELL AS EXCAVATION AND EMBANKMENT. AREAS TO BE GRADED MAY EXTEND PAST THESE LIMITS WHEN WITHIN THE PARK PROPERTY WITH THE PERMISSION OF THE ENGINEER THE CONTRACTOR SHALL ESTIMATE RESTORATION IMPACTS BASED ON THEIR ANALYSIS OF THE INFORMATION PROVIDED, AND NOT NECESSARILY THE GRADING LIMIT LINES SHOWN ON THE PLANS, AND SHALL BE RESPONSIBLE FOR PROVIDING ALL SITE RESTORATION FOR A SQUARE YARD AMOUNT AS PROVIDED IN SLOPE RESTORATION AND PROJECT CLEAN UP PAY ITEMS. DISTURBANCE LIMITS SHALL BE MINIMIZED TO PROTECT ALL NATURAL AREAS. ALL DISTURBED AREAS SHALL BE RESTORED AS NEW.
- 16. COVERS AND CASTINGS ALL FINAL ELEVATIONS OF MANHOLE CASTINGS, HYDRANTS, VALVES AND VALVE BOXES SHALL BE DETERMINED BY THE ENGINEER IN THE FIELD. CASTINGS
- DAMAGED BY THE CONTRACTOR SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR, WITH MATERIALS APPROVED BY THE ENGINEER.
- FOR GRAVEL SHOULDERS CONTAMINATED BY CONSTRUCTION THE CONTRACTOR SHALL RE-GRAVEL WITH 23A CRUSHED LIMESTONE TO MICHIGAN DEPARTMENT OF TRANSPORTATION 2012 STANDARD SPECIFICATIONS FOR CONSTRUCTION. FOR SHOULDERS REMOVED BY CONSTRUCTION THE MINIMUM REPLACEMENT SHALL BE 4' WIDE BY 4" DEEP, INCIDENTAL TO OTHER PAY ITEMS.

GENERAL NOTES

- 1. IF PROJECT DISTURBANCE AREA EXCEEDS 5 ACRES, CONTRACTOR MUST APPLY FOR NOTICE OF COVERAGE FROM EGLE.
- 2. PATHWAY TO MEET ALL BARRIER FREE UNIVERSAL ACCESS REQUIREMENTS.
- 3. THERE IS EXTENSIVE BRUSH ADJACENT TO THE PROPOSED PATH. BRUSH LIMITS ARE NOT SHOWN ON THE PLANS, CONTRACTOR TO FIELD VERIFY PRIOR TO SUBMITTING BID, AND INCLUDE COST OF ALL BRUSH CLEARING NECESSARY TO CONSTRUCT THE PATHWAY
- 4. ALL PATH RAMPS ARE TO BE ADA COMPLIANT AND BE CONSTRUCTED WITH 6" THICK CONCRETE WITH THE INSTALLATION OF DETECTABLE WARNING SURFACES PER MDOT STANDARD DETAIL.

TRAFFIC NOTES

- 1. ACCESS TO PARK DRIVEWAY MUST BE MAINTAINED AT ALL TIMES. STAGING LOCATION TO BE APPROVED BY ENGINEER.
- 2. ALL TRAFFIC CONTROL DEVICES AND THEIR USAGE MUST CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES
- 3. ALL EXISTING PAVEMENT MARKINGS THAT ARE REMOVED FOR TRAFFIC CONTROL OR OBLITERATED DURING CONSTRUCTION OPERATIONS MUST BE REPLACED WITH POLYUREA FOR THE LONGITUDINAL, LANE LINES.
- 4. ALL SIGNS MATERIALS AND SUPPORTS MUST MEET NCHRP-350 CRASH WORTHY REQUIREMENTS.
- 5. THERE MUST BE NO HAULING OF MATERIALS INCLUDING TRUCKS ENTERING AND EXITING IN OR OUT OF THE SITE (WORK ZONE) BETWEEN THE HOURS OF 6:00 A.M. TO 9:00 A.M. AND 2:00 P.M. TO 7:00 P.M., MONDAY THROUGH FRIDAY.

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
		3 Y IVIDUL	EXIST. CURB AND GUTTER
835	EXIST. CONTOUR PROP. CONTOUR		PROP. CURB AND GUTTER
× 854.6	EXIST. SPOT ELEVATION		CENTERLINE OF DITCH
× 854.6	PROP. SPOT ELEVATION		EDGE OF WATER
T/C	TOP OF CURB		EDGE OF WETLAND
T/P	TOP OF PAVEMENT		EXISTING FENCE
G	GUTTER		PROPOSED FENCE
12"ST	EXIST. STORM SEWER		TREE PROTECTION FENCE
12"ST —	PROP. STORM SEWER		SILT FENCE
(D) (S) (E)	EXIST. MANHOLE		CLEARING LIMITS
00	PROP. MANHOLE	00000.	EXIST. GUARDRAIL
<u> </u>	PROP. EDGE DRAIN	00000.	PROP. GUARDRAIL
	EXIST. CATCH BASIN/INLET	P	PROPERTY LINE
	PROP. CATCH BASIN/INLET	<u> </u>	CENTERLINE
	END SECTION/HEAD WALL	<u> </u>	EXIST. SIGN
<u>, </u>	CULVERT		PROP. SIGN
®	INLET FILTER		ENCLOSED TRASH AREA
●C.O.	PROP. CLEANOUT		DRAINAGE DIRECTION
8"S —	EXIST. SANITARY SEWER	IR	SIDEWALK RAMP
8"S —	PROP. SANITARY SEWER	<u>.</u>	BARRIER FREE PARKING
8"W	EXIST. WATER MAIN	F.F.	FINISH FLOOR ELEV.
8"W —	PROP. WATER MAIN	F.G.	FINISH GRADE ELEV.
	EXIST. HYDRANT	B.F.	BASEMENT FLOOR ELEV.
PROP. HYDRANT		G.F.	GARAGE FLOOR ELEV.
,P.I.V.	EXIST. POST INDICATOR VALVE	•	SECTION CORNER
	EXIST. GATE VALVE AND BOX/STOP BOX		CONTROL POINT
<u> </u>	PROP. CURB STOP BOX	0	FOUND IRON PIPE
	EXIST. GATE VALVE AND WELL		SET IRON PIPE
	PROP. GATE VALVE AND WELL	○ S ◎	FOUND CONCRETE MONUMENT
	PROP. REDUCER	 ⊚ s	SET CONCRETE MONUMENT
ī	PROP. END CAP	X F	FOUND PK NAIL
— OHP — — —	EXIST. OVERHEAD ELECTRIC	×s	SET PK NAIL
— OHP — — —	PROP. OVERHEAD ELECTRIC	×F	FOUND LEADED CHISEL HOLE
UGE	EXIST. UNDERGROUND ELECTRIC	× S	SET LEADED CHISEL HOLE
UGE —	PROP. UNDERGROUND ELECTRIC	○ F-RR	FOUND REROD
\	EXIST. LIGHT POLE	+	APPROX. LOCATION OF SOIL BORING
*	PROP. LIGHT POLE	•	APPROX. LOCATION OF MONITORING WE
0 U.P.	EXIST. UTILITY POLE	•	APPROX. LOCATION OF PENETRATION T
C—	GUY WIRE		EXIST. DECIDUOUS TREE
e	EXIST. ELECTRIC TRANSFORMER	£'	EXIST. EVERGREEN TREE
Ē	PROP. ELECTRIC TRANSFORMER	©	EXIST. SHRUB
OHT	EXIST. OVERHEAD TELEPHONE	~~~~~~~	EXIST. TREE OR BRUSH LIMIT
— OHT — —	PROP. OVERHEAD TELEPHONE	₩	TREE TO BE REMOVED
UGT	EXIST. UNDERGROUND TELEPHONE		DEMOVE AND DEDLAGE
—UGT — —	PROP. UNDERGROUND TELEPHONE		REMOVE AND REPLACE
2"G	EXIST. GAS		DITUMENOUS DAY/ENENIT
2"G	PROP. GAS		BITUMINOUS PAVEMENT
МВ	EXIST. MAILBOX		ODAVEL DAVENEST
	EXIST. GAS RISER		GRAVEL PAVEMENT
	EXIST. TELEPHONE RISER	<u> </u>	COMODETE DAY (TATALET
			CONCRETE PAVEMENT



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Notes

CAM MDP 2021.03.01 CAM MDP 2021.02.09 FINAL PLANS Appd YYYY.MM.DD Issued JDA CAM MDP 2020.03.10
Dwn. Dsgn. Chkd. YYYY.MM.DD File Name: 154400_G-002

Permit/Seal

PRELIMINARY NOT FOR CONSTRUCTION

Not for permits, pricing or other official purposes. This document has not been completed or checked and is for general information or comment only.

Client/Project Logo



IE LOCATIONS AND ELEVATIONS OF EXISTING IDERGROUND UTILITIES AS SHOWN ON THIS RAWING ARE ONLY APPROXIMATE. NO JARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING MISS DIG PRIOR TO CONSTRUCTION.

811

Know what's below.

Client/Project YPSILANTI TOWNSHIP

LOONFEATHER POINT PARK **DEVELOPMENT**

Ypsilanti, Michigan

GENERAL NOTES, LEGEND, ABBREVIATIONS AND SYMBOLS

Project No. 2075154400

Drawing No.

Scale

02 of 24

Revision Sheet

EXISTING — GROVE RD. SIDEWALK (BORDER TO BORDER TRAIL) EXISTING PATHWAY — EXISTING GATEHOUSE - EXISTING SANITARY LEAD EXISTING BENCH — EXISTING WATER SERVICE EXISTING SOCCER FIELD EXISTING
ELECTRICAL
SERVICE PROPERTY BOUNDARY FORD LAKE EXISTING 12" STORM SEWER — EXISTING ADA — PARKING SPACES EXISTING PAVILION A -EXISTING ADA -PICNIC TABLE EXISTING STAIRS — - EXISTING PAVILION B EXISTING BENCH — - EXISTING PLAYGROUND - EXISTING STORM OUTLET - EXISTING BENCH APPROX. LOCATION OF EXISTING TREES LEXISTING FISHING PIER



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1. TOPOGRAPHY DATE: 01/29/2019 RESOURCE: HTTPS://CONTOURS.SEMCOG.ORG/

2. EXISTING UTILITY DATA WITHIN PARK IS BASED ON DATA FROM 1990 AS-BUILT PARK PLANS. UTILITIES MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO DIGGING.

FINAL PLANS Issued JDA CAM MDP 2020.03.10
Dwn. Dsgn. Chkd. YYYY.MM.DD File Name: 154400C-001

Permit/Seal

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Client/Project YPSILANTI TOWNSHIP

LOONFEATHER POINT PARK DEVELOPMENT

Ypsilanti, Michigan

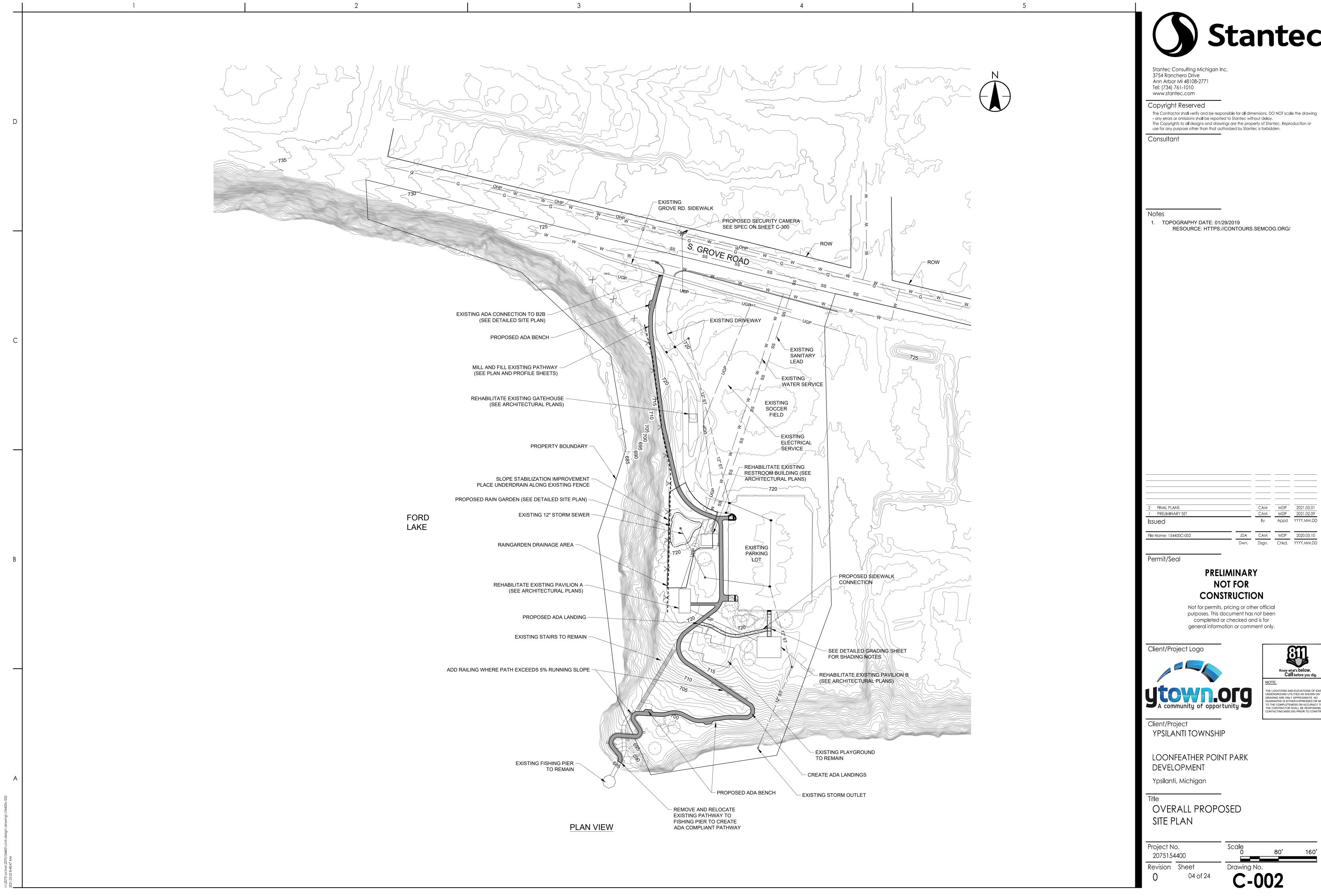
EXISTING CONDITIONS

03 of 24

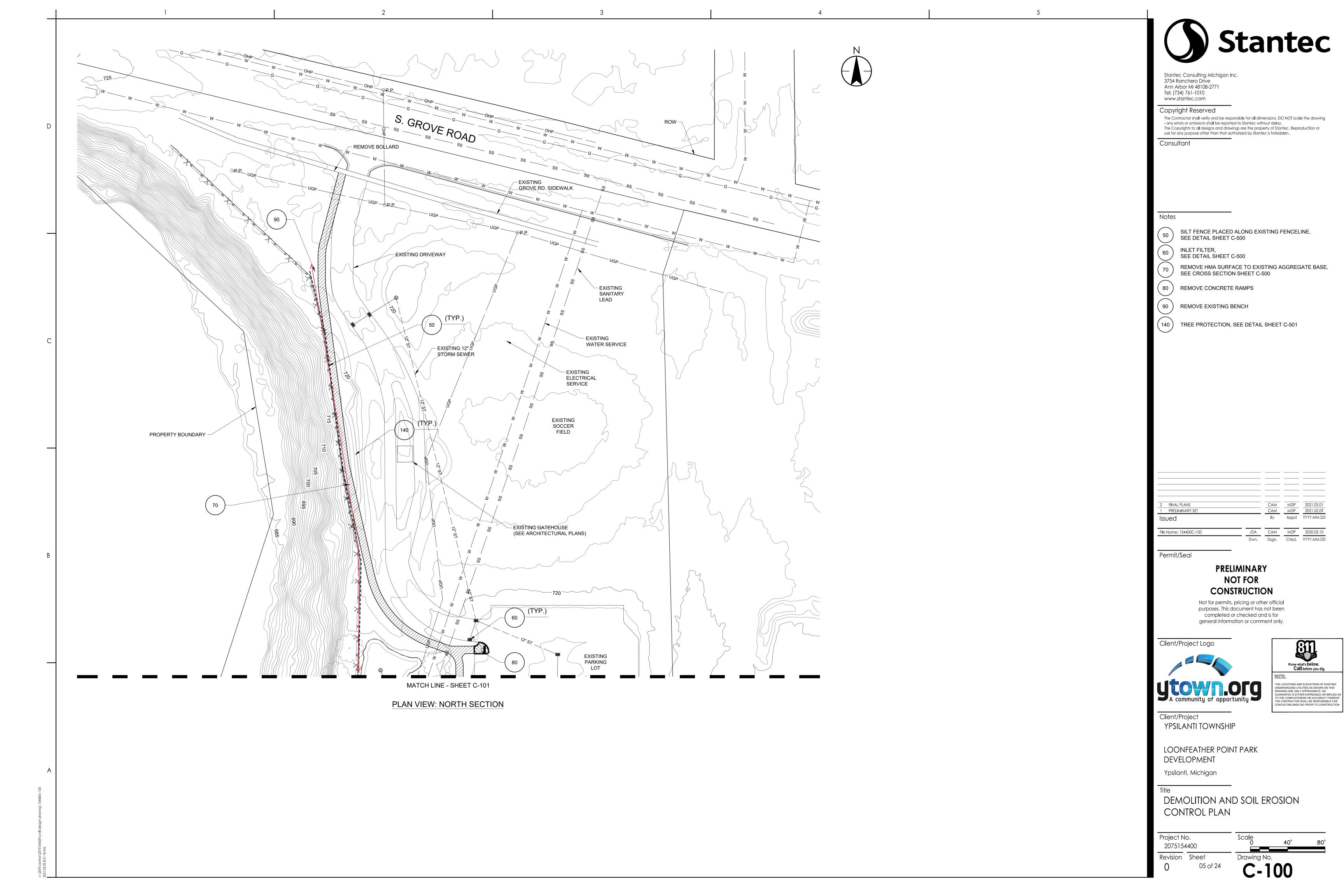
Project No. 2075154400 Revision Sheet Drawing No.

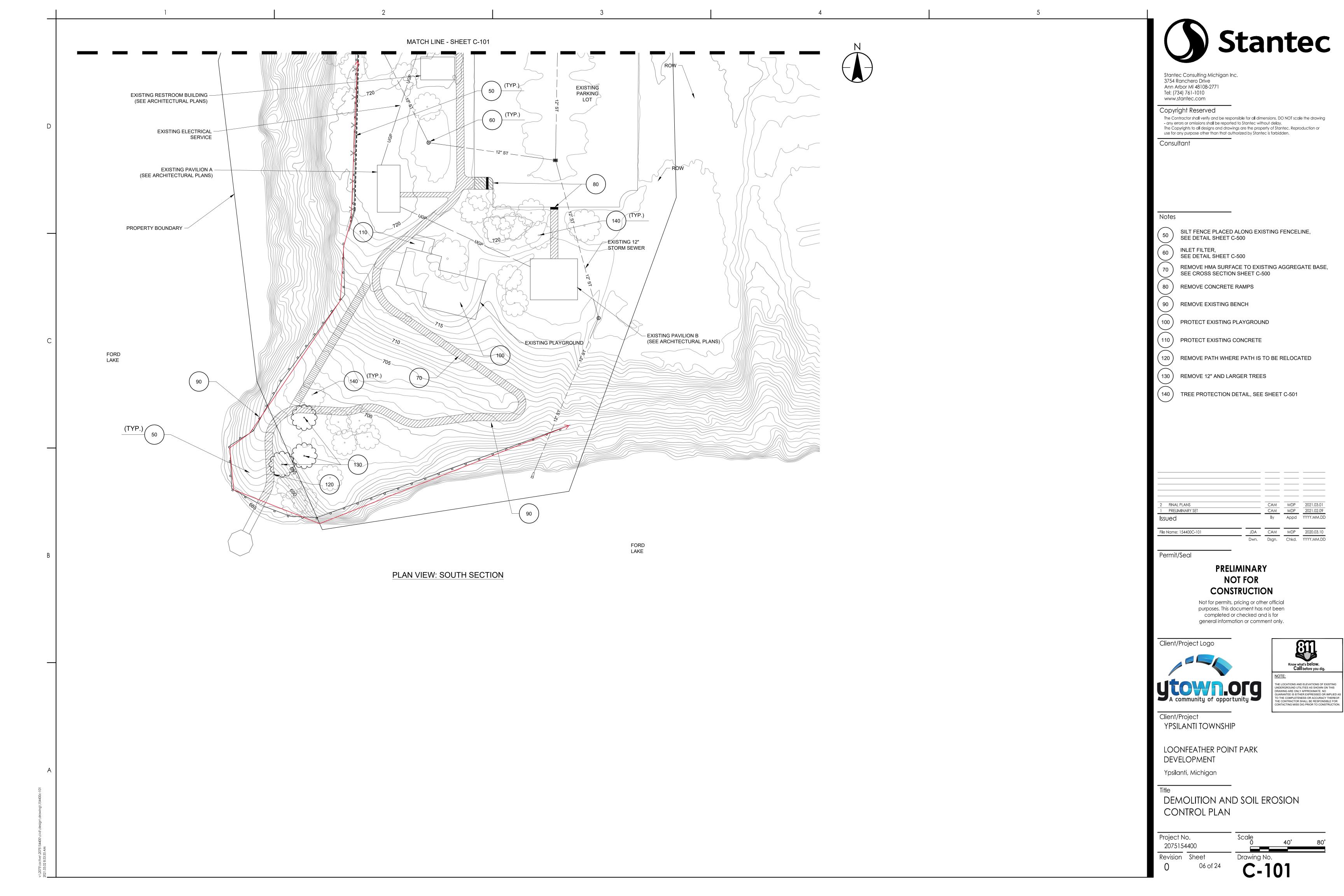
C-001

PLAN VIEW



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PROFILE BASED ON 2017 WASHTENAW COUNTY GIS DATA. CONTRACTOR TO FIELD VERIFY ADA COMPLIANCE OF PATHWAY

AND FILL BASE AS NECESSARY CREATE CROSS SLOPES LESS THAN 2% AND RUNNING SLOPES LESS THAN 5%, UNLESS

- any errors or omissions shall be reported to Stantec without delay.

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GENERAL NOTES:

OTHERWISE INDICATED.

KEY NOTES:

2-1/2" HMA ON COMPACTED EXISTING AGGREGATE BASE. SUPPLEMENT BASE AS NEEDED, SEE PATH CROSS SECTION SHEET C-500

SLOPE STABILIZATION: UNDERDRAIN ALONG EXISTING FENCELINE, SEE DETAIL SHEET C-501

SLOPE STABILIZATION: UNDERDRAIN OUTLET

PROPOSED BOLLARD, SEE DETAIL SHEET C-500

PROPOSED ADA CURB RAMP, SEE DETAIL SHEET C-500

PROPOSED SECURITY CAMERA

PROPOSED ADA BENCH, SEE DETAIL SHEET C-500

Dynamic Range, 180 degree view. Avigilon ACC7 Enterprise License - ACCENT Programming and Configuration Avigilon Pendant Wall Arm mounting bracket - IRPTZ-MNT-Wall1
Avigilon Pendant Mount Adapter - H4AMH-AD-Pend1 Avigilon pole mount kit for multi-sensor - H4-MT-POLE1 Avigilon clear dome bubble cover - H4AMH-DO-COVR1 Avigilon IR illumination ring - H4AMH-AD-IRIL1 Avigilon 60W PoE++ injector - POE-INJ-60W-NA Hoffman NEMA 4 Enclosure - A-181610CHSCFG Hoffman 18x16x10 steel backplate - A-18P16

Miscellaneous seal-tite, conduit and banding as required. Plectrical outlet with breaker inside NEMA enclosure

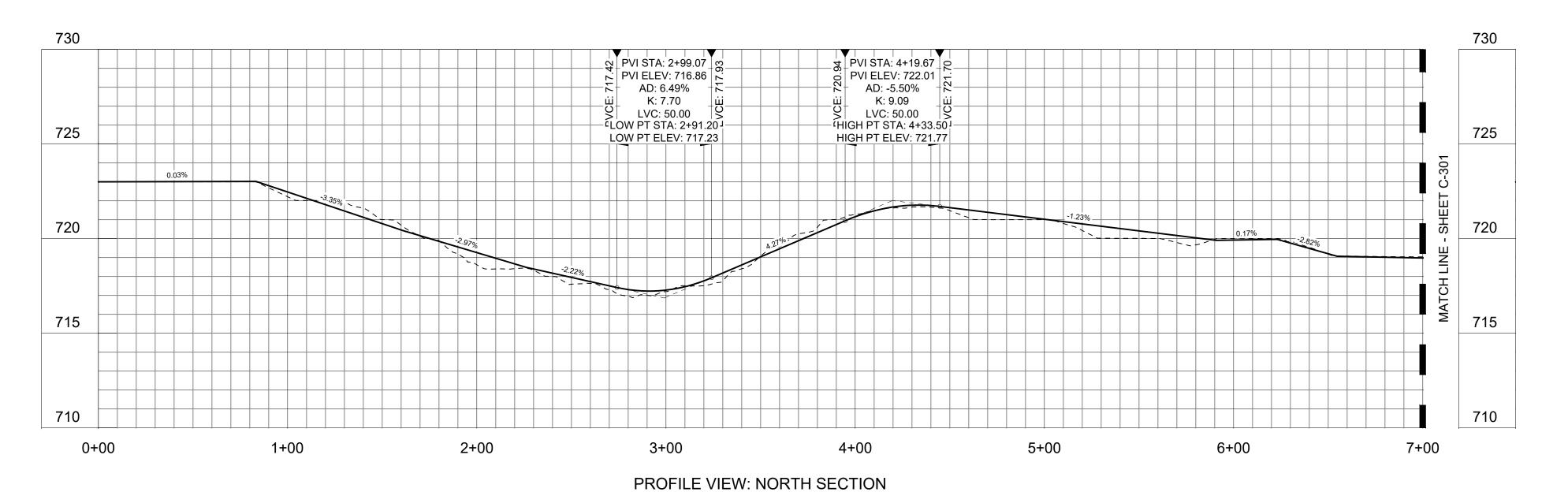
Coil cable above enclosure.

PROPOSED SECURITY CAMERA SPECIFICATIONS: 1. Provide and install pole-mounted security camera with license: Outdoor Avigilon 15C-H4A-3MH-180 15 (3 X 5) Mega Pixel resolution, Wide

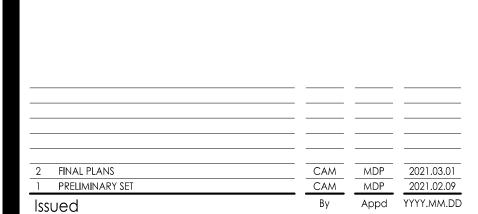
Hoffman Pole Mount Kit for NEMA - C-PMK16 Hoffman NEMA heater kit - D-AH1001A

2. Final connections will be by utility. Coordinate through owner.

PLAN VIEW: NORTH SECTION



HORZ. SCALE: 1" = 40' VERT. SCALE: 1" = 4'



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Client/Project YPSILANTI TOWNSHIP

LOONFEATHER POINT PARK DEVELOPMENT

Ypsilanti, Michigan

TRAIL PLAN AND PROFILE STA. 0+00 TO STA. 7+00

Project No. 2075154400

Drawing No.

Revision Sheet 07 of 24

GROVE SSS /

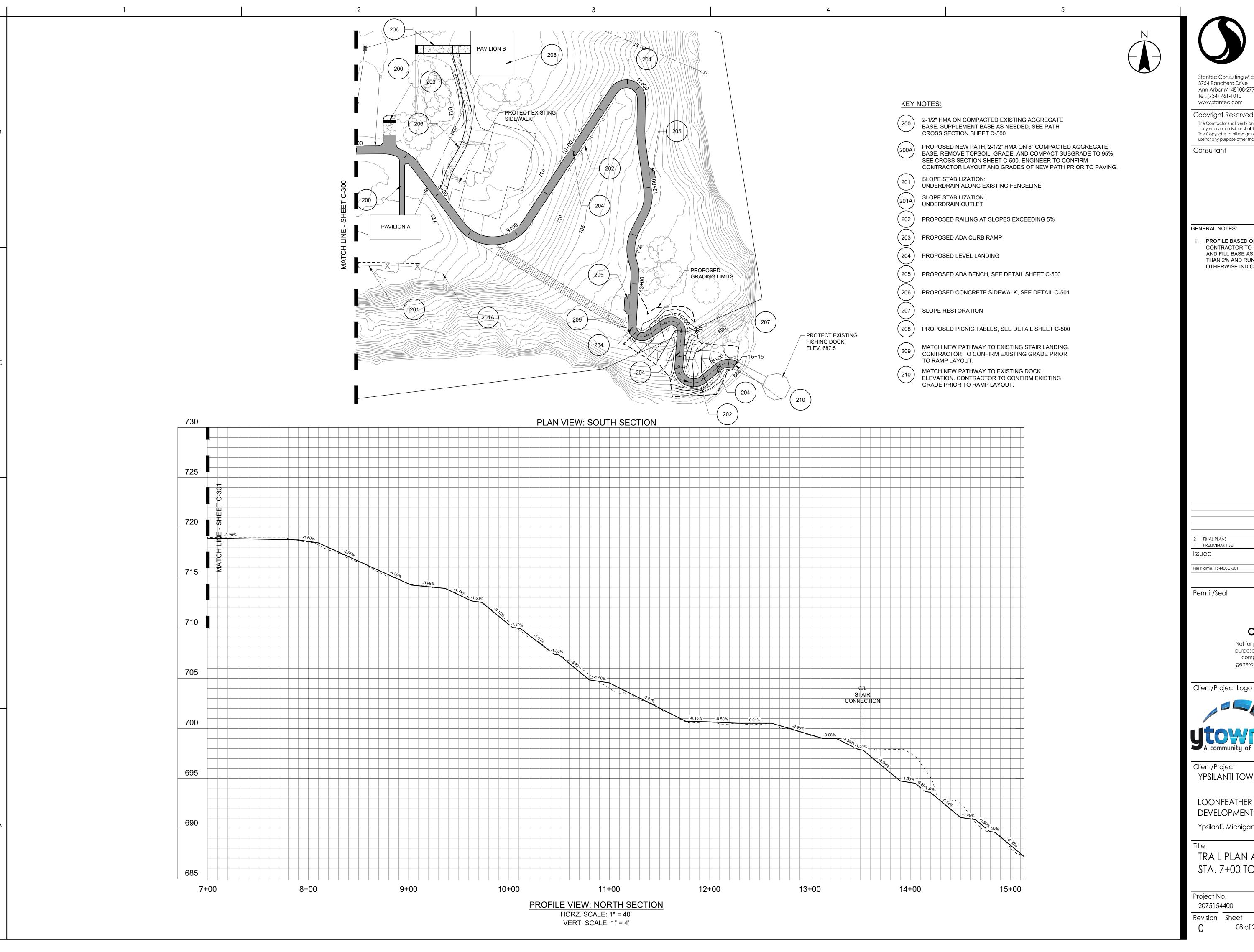
204/

202

CONNECTION TO

SEE SHEET C-400

EXISTING SIDEWALK,



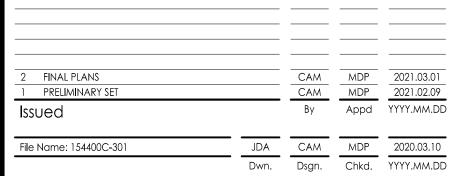


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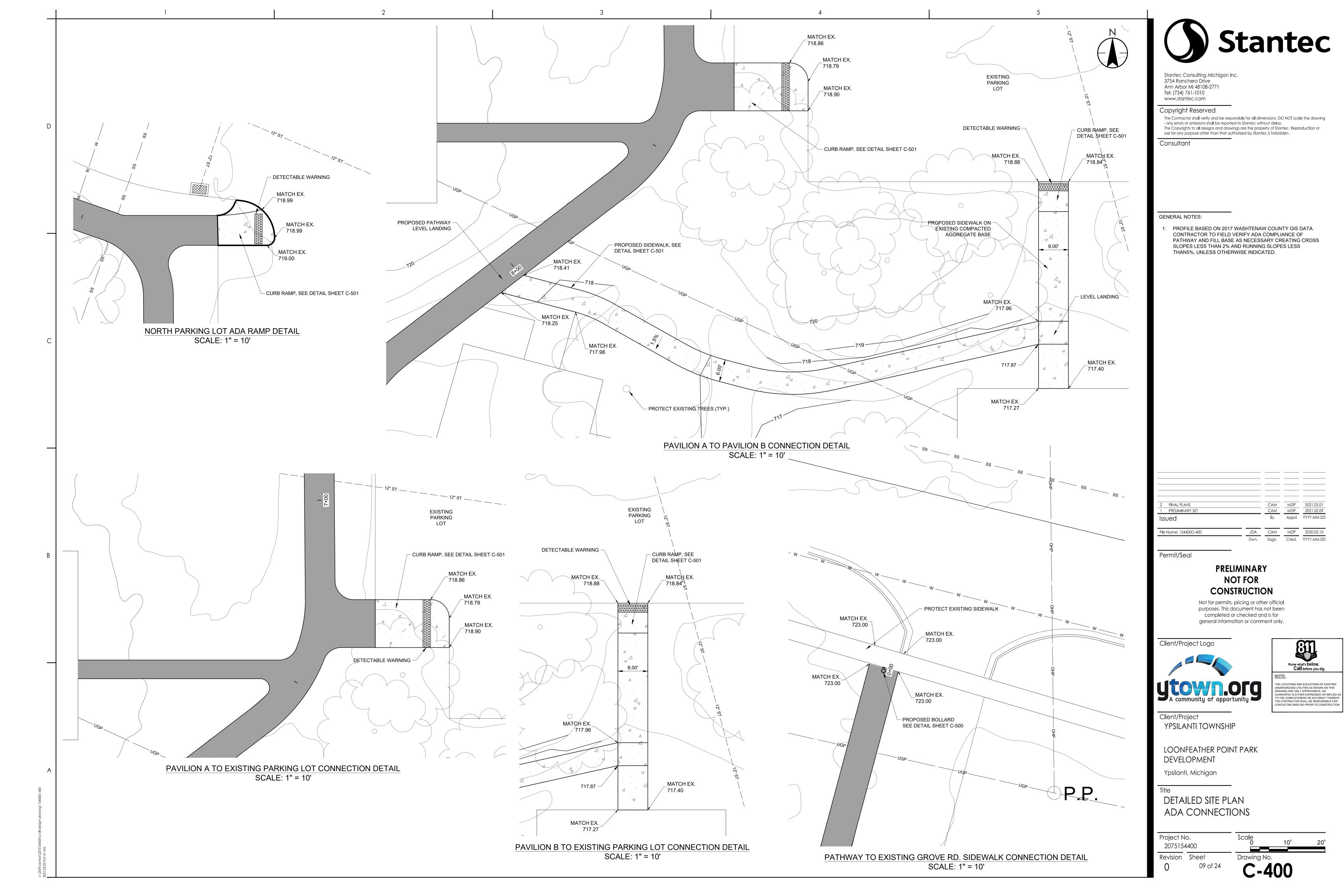
LOONFEATHER POINT PARK DEVELOPMENT

Ypsilanti, Michigan

TRAIL PLAN AND PROFILE STA. 7+00 TO STA. 15+15

2075154400

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Notes

APPROVAL OF THE FOLLOWING IS REQUIRED BY STAFF AT THE OFFICE OF THE WATER RESOURCE COMMISSIONER (WRC). TO COORDINATE APPROVAL, EMAIL CATIE WYRYCHAK AT WYTYCGAJC@WASHTENAW.ORG OR CALL AND LEAVE A MESSAGE AT 734-353-1208. -SUBGRADES WILL BE CONFIRMED BY ENGINEER PRIOR TO

PLACEMENT OF SOIL MIX. A WRC STAFFMEMBER'S APPROVAL IS REQUIRED ON THE GRADE. -FINISH GRADE WILL BE CONFIRMED BY ENGINEER PRIOR TO

ALL VEGETATION IN THE STORMWATER FEATURE.

PLACEMENT OF MULCH. A WRC STAFFMEMEBR'S APPROVAL IS REQUIRED ON THE GRADE. -AT THE TIME OF DELIVERY AND INSTALLATION, WRC STAFF MUST APPROVE THE SPECIES, QUANTITY AND PLANTING LOCATIONS OF

FINAL PLANS Issued

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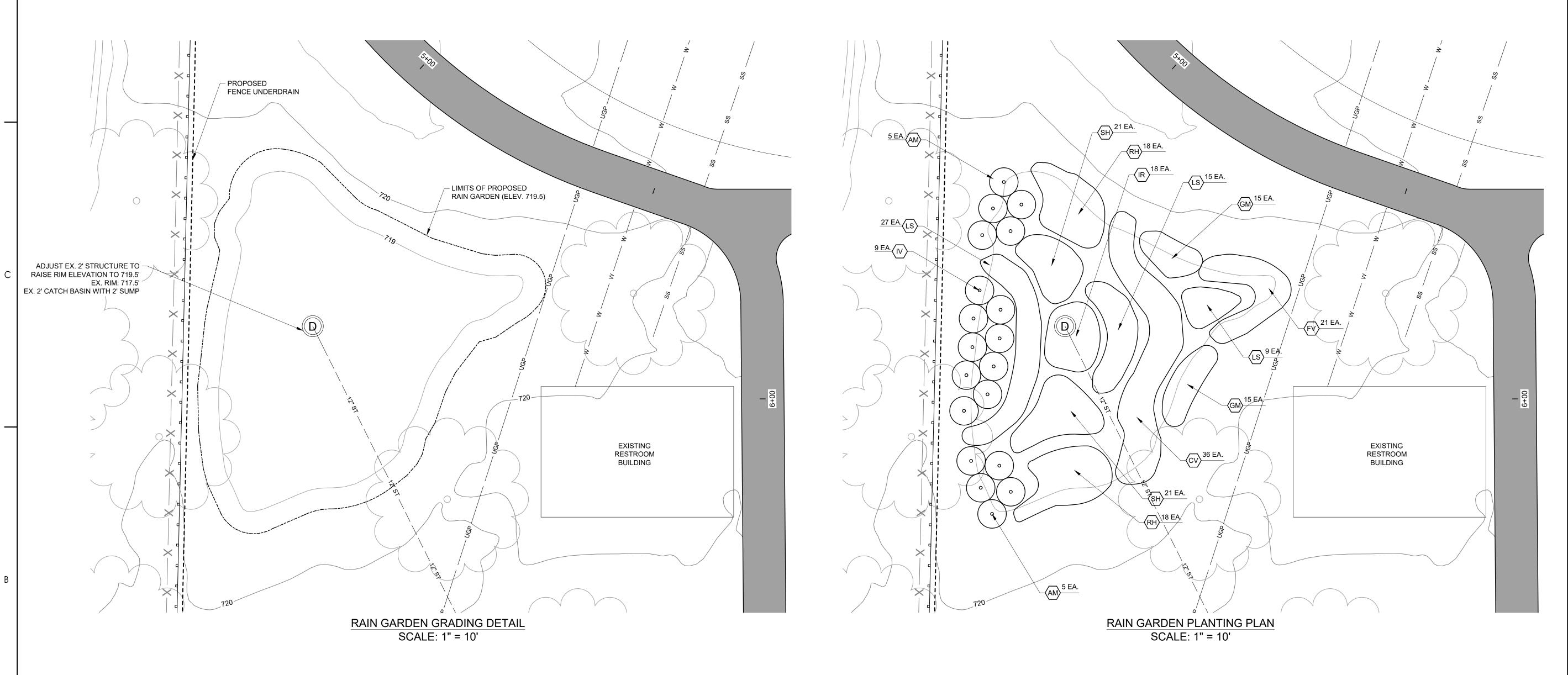
LOONFEATHER POINT PARK DEVELOPMENT

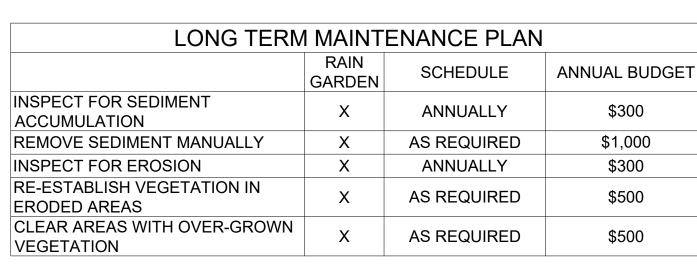
Ypsilanti, Michigan

DETAILED SITE PLAN RAIN GARDEN

Project No. 2075154400 Revision Sheet

Drawing No. 10 of 24





MAINTENANCE OF THE STORMWATER BMP'S WILL BE THE RESPONSIBILITY OF WCWRC

ONLY NO C

DTE:	
CHEMICALS ARE ALLOWED IN STORMWATER FEATURES OF BUFFER ZONES WITH THE FOLLOWING	
CEPTION: INVASIVE SPECIES MAY BE TREATED WITH CHEMICALS BY A CERTIFIED APPLICATOR. MOWING IS	
NLY ALLOWED TWICE PER YEAR.	

	HARDWOOD MULCH	
C	XISTING CULV, L A, 12 INCH, NV. 713.4	
SEDIMENTATION A	RDEN FROM COMPACTION AND FTER CONSTRUCTION WITH SILT FENCE OF CONSTRUCTION IS COMPLETE.	

- EXISTING GRADE

- NATIVE PLANTS

- SHREDDED

LIMITS AS SHOWN ON PLANS

RAIN GARDEN WITH OVERFLOW

NO SCALE

6"-12" TYP. PONDING —

5H:1V SIDE SLOPES MAX, TYP.

FREEBOARD ELEV. 719.9

FLAT BOTTOM EL. 718.75

(30% COMPOST, 70% SAND,

30% SAND MAX. 75% LOAM)

18" AMENDED TOPSOIL

LOAM TOPSOIL MIX,

MIX BOTTOM OF 6" OF -

SUBGRADE

NATIVE SUBGRADE

UNDISTURBED -

EXISTING DR. STRUCTURE, 24 INCH -

TOPSOIL INTO EXISTING

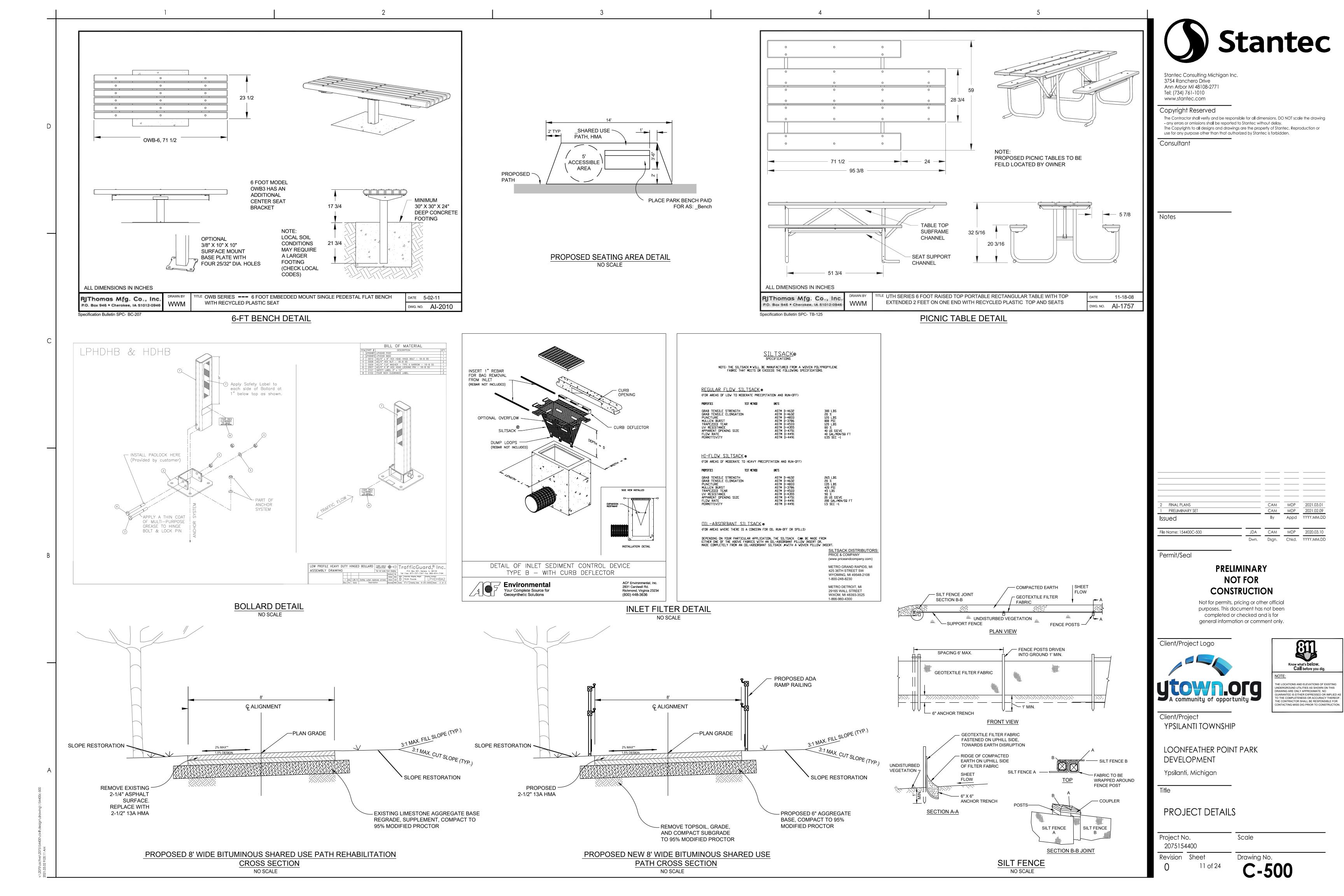
DEPTH ELEV. 719.5

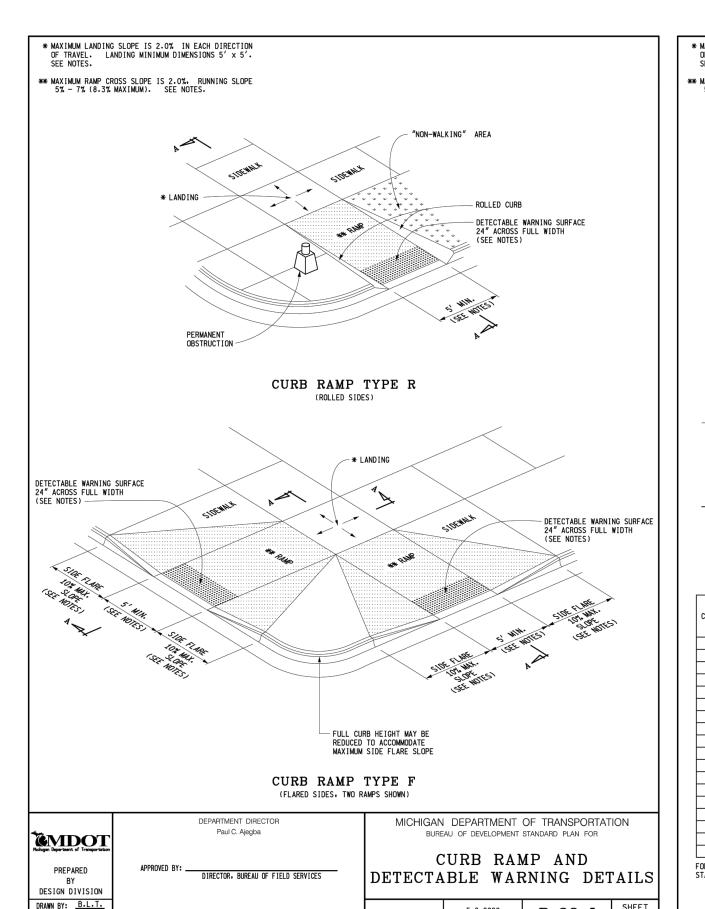
- ADJUSTED DR. STRUCTURE

COVER, TYPE G

KEY QUANT. SCIENTIFIC NAME | COMMON NAME SPECIFICATION SPACING RHUS AROMATICA LOW GROW 18" B&B OR AM 5' O.C. "LOW GROW" SUMAC 5 GAL. POT CARVEX **BROWN FOX** CV 4" POT 18" O.C. **VULIPINOIDES** SEDGE FRAGARIA FV PLUG 12" O.C. VIRGINIANA STRAWBERRY **GERANIUM** WILD GERANIUM GM 4" POT 18" O.C. MACULATUM 18 IRIS VIRGINICA **BLUE FLAG IRIS** 1 GAL. POT 24" O.C. 24" B&B OR RED-TWIG 9 COMUS SERICEA 5' O.C. 5 GAL. POT DOGWOOD 51 LIATRIS SPICATA **BLAZING STAR** 18" O.C. LS PLUG RANUNCULUS SWAMP RH PLUG 12" O.C. HISPIDUS BUTTERCUP ANEMONE MEADOW PLUG 15" O.C. CANADENSIS ANEMONE OVER-SEED RAIN GARDEN AREA WITH A COVER CROP OF ANNUAL RYE AND SEED OATS LOLIUM POUNDS MULTIFLORUM SEED OATS POUNDS 8 AVENA SATIVA

PLANT LIST





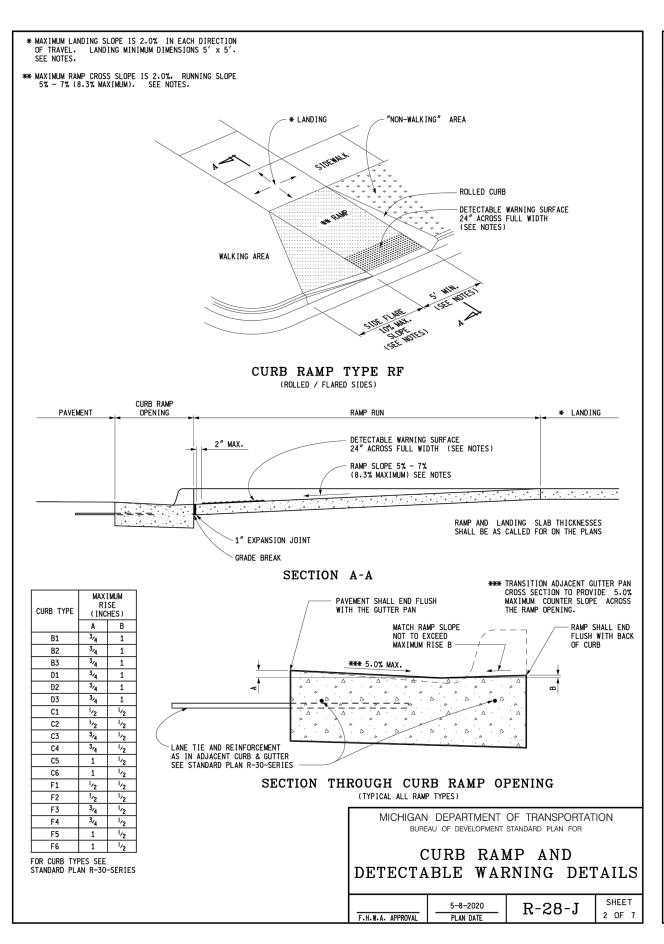
EXTEND RAILING 12" PAST TOP

TYPICAL RAMP ADA HANDRAIL DETAIL

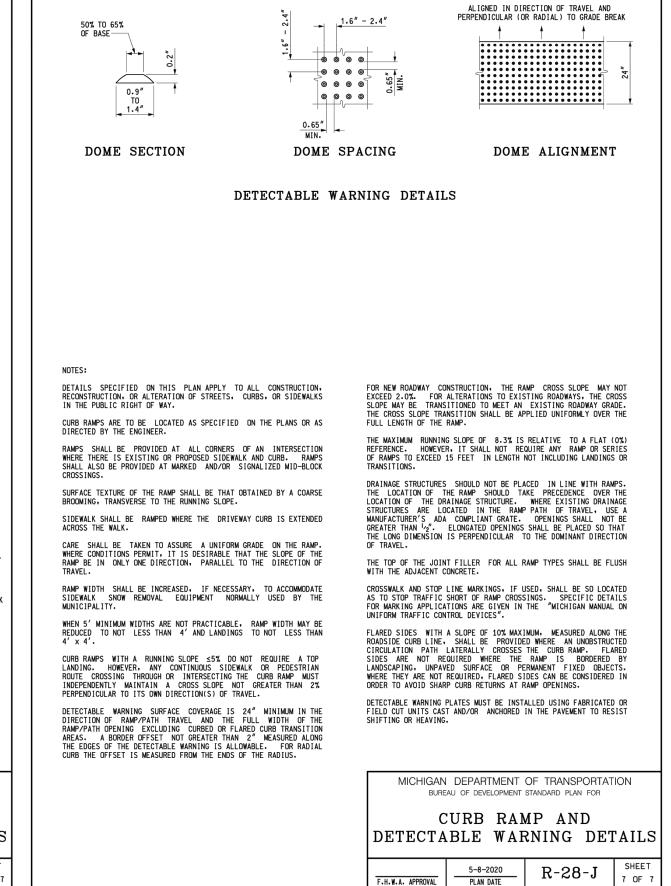
NO SCALE

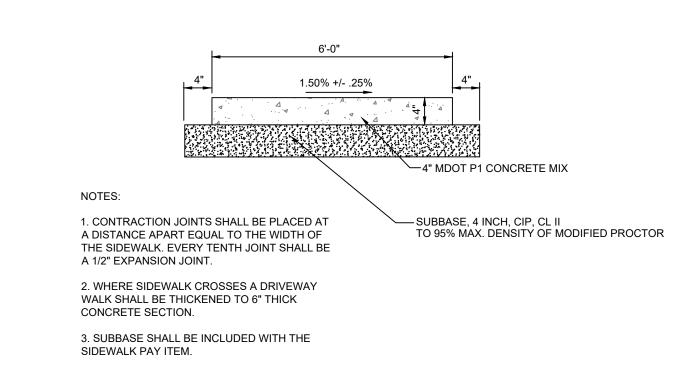
AND BOTTOM OF RAMP

CHECKED BY: W.K.P.



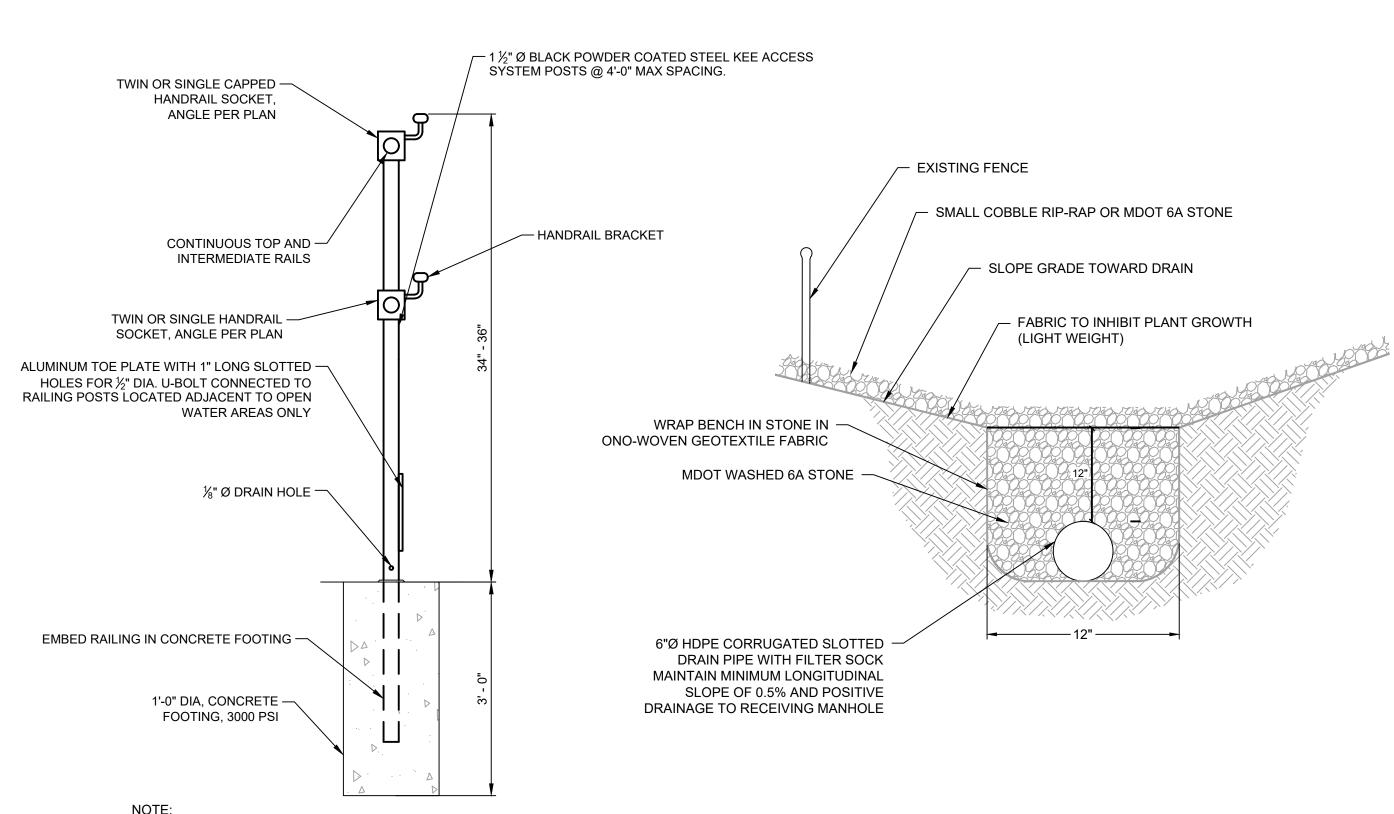
SLOPE STABILIZATION - FENCE UNDERDRAIN DETAIL





TYPICAL CONCRETE SIDEWALK SECTION

NO SCALE

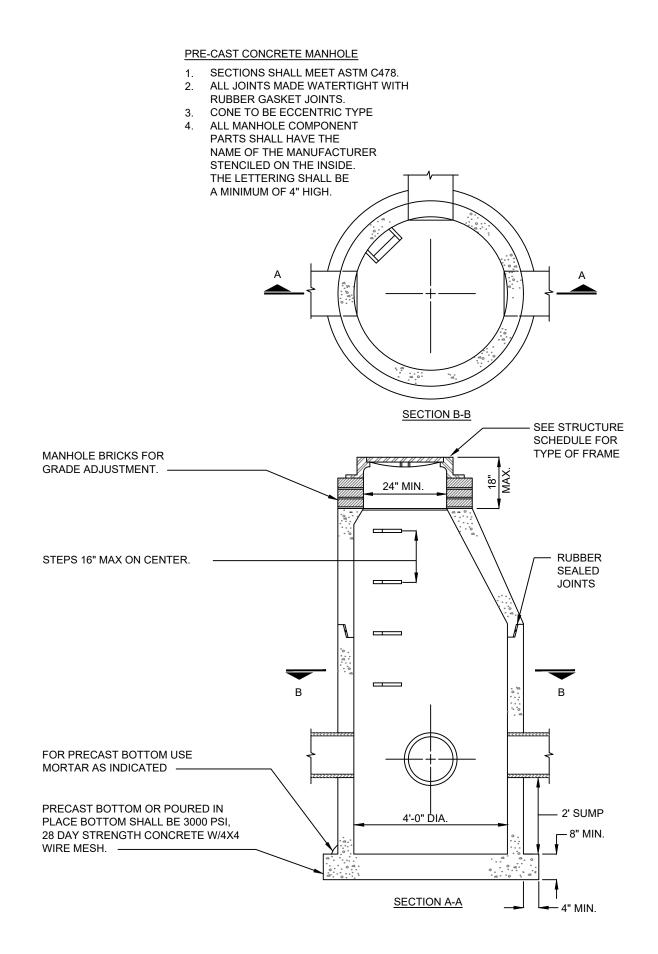


R-28-J

┌ DRIP LINE FENCE SHALL BE LOCATED AT THE OUTER PERIMETER OF THE SPREAD OF THE BRANCHES (DRIP-LINE), OR CLOSER ONLY AT THE DIRECTION OF THE TOWNSHIP. GREEN METAL T-POSTS. STANDARD 48" HIGH ORANGE SNOW OR ORANGE CONSTRUCTION FENCE 1. ALL TREES TO BE REMOVED WILL BE IDENTIFIED BY RED FLAGGING. 2. TREE PROTECTION FENCING IS TO BE ERECTED

PRIOR TO ANY EARTHWORK OR CONSTRUCTION AND IS TO REMAIN IN PLACE UNTIL CONSTRUCTION AND GRADING IS COMPLETE. 3. ALL DEBRIS, FILL, EQUIPMENT OR MATERIAL IS TO BE KEPT CLEAR OF AREA WITHIN PROTECTIVE FENCE. NO CLEANING OF EQUIPMENT OR MATERIAL OR STORAGE OR DISPOSAL OF ANY MATERIAL WITHIN THE DRIP LINE OF ANY TREES TO BE SAVED.

> TREE PROTECTION FENCE DETAIL NOT TO SCALE



4' DIAMETER CATCH BASIN NO SCALE



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Notes

FINAL PLANS Appd YYYY.MM.DD Issued JDA CAM MDP 2020.03.10
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Client/Project YPSILANTI TOWNSHIP

LOONFEATHER POINT PARK DEVELOPMENT

Ypsilanti, Michigan

PROJECT DETAILS II

Project No. 2075154400 Revision Sheet

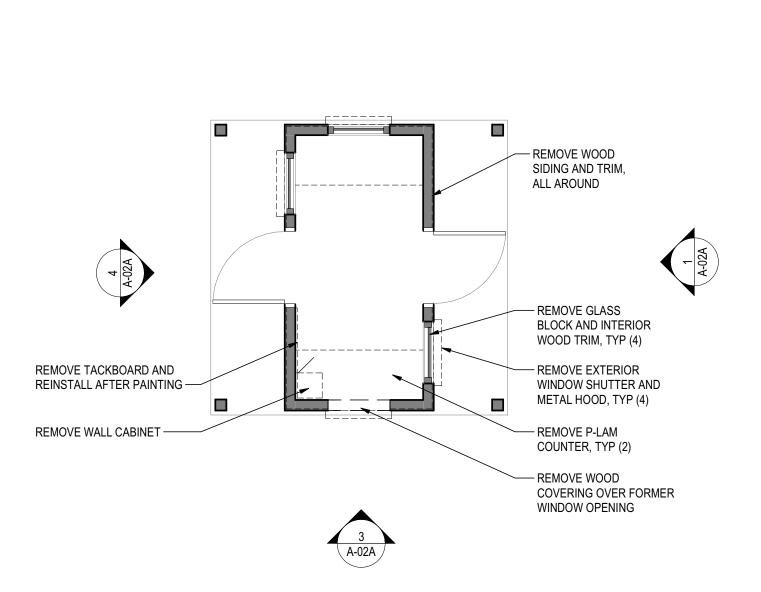
Drawing No.

Scale

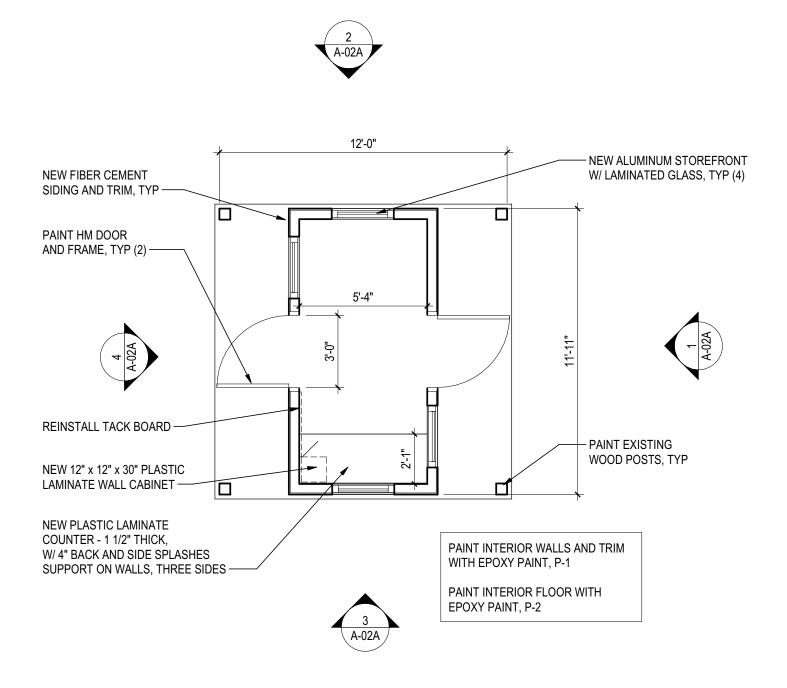
TYPE	DESCRIPTION	LUMEN	DISTRIBUTION	COLOR TEMP	VOLTAGE	WATTAGE	MODEL	MANUFACTURER	COMMENTS
LA	1X2 LED WALL SURFACE MOUNTED WRAP FIXTURE	2500		3500K	120	30	RHL7 SERIES	KENALL	
LAX	SAME AS LA, EXCEPT PROVIDED WITH 1100LM EM BATTERY PACK				120)			
LB	1X4 LED WALL SURFACE MOUNTED WRAP FIXTURE	4600		3500K	120	50	MLRS12 SERIES	KENALL	
LBX	SAME AS LA, EXCEPT PROVIDED WITH 1100LM EM BATTERY PACK				120				
LC	LED WALL PACK WITH LOW PROFILE HOUSING	1372		4000K	120	16	H99 SERIES		PROVIDE WITH LOW PROFILE HOUSING AND SURFACE ADAPTOR FOR SIDE CONDUIT INSTALLATION.
LD	LED WALL PACK WITH LOW PROFILE HOUSING	2800	TYPE 3	4000K	120	24	FN9 SERIES	KENALL	PROVIDE WITH LOW PROFILE HOUSING AND SURFACE ADAPTOR FOR SIDE CONDUIT INSTALLATION.

- EXISTING RECEPTACLES AND COVERPLATES SHALL BE REPLACED WITH NEW GFCI TYPE RECEPTACLES AND STAINLESS STEEL COVERPLATES - REMOVE EXISTING 2' FLUORESCENT LIGHT **EXISTING** REPLACE WITH NEW LED FIXTURE TYPE LAX SOLAR POWERED PROVIDE NEW CONTACTOR, TIMER SWITCH AND MANUAL OVERRIDE SWITCH REFER TO NOTE #2. - REPLACE EXISTING 16 CIRCUIT LOAD CENTER PANEL WITH NEW REFER TO NOTE #1. - EXISTING IN-WALL ELECTRIC HEATER - EXISTING LIGHTNING PROTECTION CABLE TO REMAIN - EXISTING SOLAR POWERED - REMOVE EXISTING 2' FLUORESCENT LIGHT REPLACE WITH NEW LED FIXTURE TYPE LA

GATEHOUSE ELECTRICAL PLAN 1/4" = 1'-0"









ELECTRICAL NOTES

1. EXISTING PANEL SHALL BE REPLACED WITH NEW. COORDINATE WITH ARCHITECTURAL TRADES TO REMOVE EXISTING PANEL AND INSTALL NEW RECESSED PANEL IN PLACE, INCLUDING ALL FEEDER AND BRANCH CIRCUIT RECONNECTIONS. WALL MODIFICATIONS, REPAIRS, PATCHING AND PAINTING SHALL BE INCLUDED IN THE BID. CONTRACTOR SHALL METER EXISTING PANEL PER 220.87, AND REPORT FINDINGS TO ENGINNER. EXISTING PANEL RATINGS SHALL BE INVESTIGATED BY ELECTRICAL CONTRACTOR AND REPORTED TO ENGINEER. NEW PANEL SHALL BE 240/120V 1-PHASE. 18 SPACE PANEL WITH BOLT-ON TYPE CIRCUIT BREAKERS. NEW PANEL SHALL BE FULLY RATED AND SHALL MATCH THE EXISTING PANEL AIC RATING. PROVIDE COPPER BUSSING. PANEL MANUFACTURER BASIS OF DESIGN IS EATON. EXISTING PANEL SHALL BE FIELD VERIFIED TO DETERMINE EXACT BREAKER QUANTITIES AND RATINGS. THE BELOW IS FOR BIDDING PURPOSES ONLY.

- A. (9) 20A 1-POLE BREAKERS B. (1) 20A 2-POLE BREAKER
- C. (3) 15A 1-POLE BREAKERS
- D. (2) SPACES
- 2. NEW CONTACTOR WITH MANUAL OVERRIDE SWITCH TO BE PROVIDED TO INTERCEPT 4 CIRCUIT(S) SERVING THE PAVILIONS. THIS CONTACTOR SHALL BE CONTROLLED VIA TIMER SWITCH AND A MANUAL OVERRIDE FUNCTION. SEQUENCE OF OPERATIONS:
- A. DURING DAY TIME, THE CONTACTOR WILL BE OPEN.
- B. AT DUSK, THE TIMER SWITCH WILL SIGNAL THE CONTACTOR TO CLOSE THE CIRCUITS TO THE PAVILIONS.
- . AFTER A SET TIME (4 HOURS) THE CONTACTOR WILL OPEN THE CIRCUITS, DISCONNECTING POWER TO THE PAVILIONS. D. AT ANY POINT, A MANUAL OVERRIDE SWITCH CAN BE USED TO CHANGE THE STATE OF CONTACTOR / PAVILION POWER.

MATERIAL NOTES

CONCRETE: 3,000 PSI, AIR ENTRAINED. PROVIDE BROOM FINISH ON EXTERIOR SLABS, SMOOTH TROWEL FINISH TO MATCH ADJACENT ON INTERIOR SLABS. SUBMIT MIX DATA.

CONCRETE MASONRY: 6" THICK, WITH BULLNOSE OUTSIDE CORNERS. MORTAR TYPE S.

STEEL TUBE: 50KSI MINIMUM YIELD STRENGTH HSS, GALVANIZED. SUBMIT SHOP DRAWING.

STEEL PLATE: 36KSI MINIMUM YIELD STRENGTH, GALVANIZED. EXPOSED EDGE PROFILE TO BE GROUND TO 1/8" RADIUS. SUBMIT SHOP

DIMENSION LUMBER: SPRUCE PINE-FIR OR HEM-FIR, NO. 1 OR BETTER, PRESSURE TREATED AT PICNIC PAVILIONS OR IN CONTACT WITH

EXTERIOR WALL SHEATHING: APA RATED 1/2" THICK EXTERIOR GRADE PLYWOOD SHEATHING.

INTERIOR WALL SHEATHING: APA PS-1, 1/2" THICK MEDIUM DENSITY OVERLAY PLYWOOD.

WOOD REPAIR: USE WOOD CONSOLIDANT TO HARDEN SOFT WOOD. EPOXY WOOD REPLACEMENT COMPOUND TO FILL HOLES AND SURFACE GOUGES. ABATRON LIQUIDWOOD AND ABATRON WOODEPOX OR SIMILAR. SUBMIT PRODUCT DATA

FIBER CEMENT SIDING AND TRIM: COMPLY WITH ASTM C1186 STANDARD SPECIFICATION FOR FLAT FIBER-CEMENT SHEETS. TYPE A GRADE II. ASTM E136 NON-COMBUSTIBLE. PRODUCT ENGINEERED FOR MICHIGAN CLIMATE ZONE. SIMULATED WOODGRAIN TEXTURE, FACTORY APPLIED PRIME PAINT FOR FIELD APPLIED PAINT. LAP SIDING BASED ON JAMES HARDIE "HARDIE PLANK HZ5 SELECT CEDARMILL", 5 1/4" WITH 4" EXPOSURE. TRIM BOARDS BASED ON JAMES HARDIE "HARDIE TRIM HZ5 BOARDS". SIMULATED WOODGRAIN TEXTURE. 3/2" THICK. INSTALL PER MANUFACTURER'S PRINTED INSTRUCTIONS FOR WOOD FRAME CONSTRUCTION, USING MANUFACTURER'S BACK FASTENED CONCEALED ATTACHMENT TABS AND CORROSION RESISTANT CONCEALED FASTENERS TO THE EXTENT POSSIBLE. COUNTERSINK AND FILL ANY EXPOSED FASTENERS PRIOR TO PAINTING. SEAL BETWEEN ENDS OF SIDING AND TRIM BOARDS AS RECOMMENDED BY MANUFACTURER WITH SINGLE COMPONENT PAINTABLE POLYURETHANE SEALANT. CONFIRM COMPATIBILITY WITH FIBER CEMENT PRODUCT. SUBMIT PRODUCT DATA.

SHEET AIR BARRIER: NON-WOVEN, NON-PERFORATED HOUSEWRAP, BASED ON JAMES HARDIE "HARDIE WRAP", WITH ASSOCIATED JOINT FLASHINGS, SEAM TAPES AND FASTENTERS. SUBMIT PRODUCT DATA.

ASPHALT SHINGLE ROOFING: LAMINATED-STRIP ASPHALT SHINGLES - ASTM D 3161 AND ASTM D 3462. MULTI-PLY OVERLAY CONSTRUCTION. GLASS FIBER REINFORCED, MINERAL-GRANULE SURFACED AND SELF-SEALING - TAMKO HERITAGE WOODGATE. MATCH STYLE AND COLOR OF EXISTING RESTROOM BUILDING. ROOFING UNDERLAYMENT-NON-PERFORATED ASPHALT-SATURATED ORGANIC FELTS, ASTM D 226 OR ASTM D 4869, TYPE I. INSTALL PER MANUFACTURER'S PRINTED INSTRUCTIONS - 30 YEAR NON-PRORATED WARRANTY, 15 YEAR ALGAE-RESISTANT WARRANTY. WIND WARRANTY UP TO 130 MPH. SUBMIT PRODUCT DATA, MATERIAL SAMPLES.

GATEHOUSE WINDOWS: ALUMINUM STOREFRONT FRAMING, 2" X 4 1/2" RECTANGULAR TUBE, CENTER INTERIOR GLAZED, DARK BRONZE ANODIZED - BASED ON KAWNEER TRIFAB VERSAGLAZE 451. GLASS - CLEAR LAMINATED SAFETY GLASS COMPLYING WITH ASTM E1996 LARGE MISSILE IMPACT. COMPOSED OF 1/4" THICK CLEAR OUTER LAYER, 0.60" CLEAR PVB INTERLAYER AND 1/4" THICK CLEAR INNER LAYER. SUBMIT PRODUCT DATA INDICATING IMPACT RESISTANCE.

HOLLOW METAL DOORS AND FRAMES: EXTRA-HEAVY-DUTY DOORS AND FRAMES, SDI A250.8, LEVEL 3. FLUSH DOORS, 1 3/4" THICK, METALLIC-COATED STEEL SHEET FACE, MINIMUM THICKNESS OF 0.053" WITH MINIMUM A40 COATING, MODEL 2 SEAMLESS EDGE CONSTRUCTION, POLYURETHANE CORE. FRAMES - METALLIC COATED STEEL SHEET, MINIMUM THICKNESS OF 0.053", FULLY WELDED. PRIME PAINT FOR FIELD APPLIED FINISH PAINT. CONCEALED ANCHORS. SUBMIT PRODUCT DATA

DOOR HARDWARE: HINGES- HEAVY WEIGHT, NON-FERROUS, BALL BEARING OR OIL IMPREGNATED BEARING, WITH NON-EMOVABLE PINS, 3 HINGES PER FOOR BY BOMMER INDUSTRIES OR MCKINNEY PRODUCTS. DOOR CLOSERS - SURFACE MOUNTED ANSI/BHMA A156.4 GRADE 1 SURFACE MOUNTED, HEAVY DUTY DOOR CLOSERS WITH COMPLETE SPRING POWER ADJUSTMENT. RACK AND PINION TYPE, ONE PIECE CAST IRON BODY CONSTRUCTION WITH ADJUSTABLE BACKCHECK AND SEPARATE NON-CRITICAL VALVES FOR CLOSING SWEE AND LATCH SPEED CONTROL BY LCN CLOSERS - 4111 SERIES. THRESHOLD AND WEATHERSTRIPPING - ALUMINUM SADDLE TYPE, ADA COMPLIANT THRESHOLD WITH NON-CORROSIVE FASTENERS, CONTINUOUS SURFACE APPLIED BOTTOM BRUSH TYPE WEATHERSTRIPPING. LOCKSETS - HEAVY DUTY FULL MORTISE, ANSI/BHMA GRADE 1, PASSAGE FUNCTION WITH DEADBOLT AND LEVER HANDLE, DULL CHROME FINISH. SCHLAGE L-SERIES OR SIMILAR. SALVAGE EXISTING LOCK CORES AT RESTROOM BUILDING. CONFIRM MANUFACTURER AND REINSTALL IN NEW LOCKSET. AT GATEHOUSE, REPLACE KNOBS WITH LEVER HANDLES COMPATIBLE WITH EXISTING LOCKSET. SUBMIT PRODUCT DATA.

PAINTING: FOR PREVIOUSLY PAINTED SURFACES, PREPARE SUBSTRATES TO RECEIVE NEW PAINT - REMOVE AND REPAIR LOOSE WOOD, LOOSE PAINT AND GLOSS FROM FINISH. REMOVE RUST AND COAT BARE METAL WITH ZINC RICH PRIMER. APPLY NEW COATINGS PER MANUFACTURER'S PRINTED INSTRUCTIONS. SUBMIT PRODUCT DATA AND COLOR SAMPLES.

INTERIOR PAINT: EPOXY PAINT, GLOSS FINISH

PAINT FOR FIBER CEMENT SIDING AND TRIM: ACRYLIC LATEX HOUSE PAINT, SATIN FINISH PAINT FOR EXISTING FASCIA TRIM ON GUARDHOUSE AND RESTROOM: ACRYLIC LATEX HOUSE PAINT, SATIN FINISH FINISH FOR PICNIC PAVILION WOOD: WATER-BASED COMBINATION SOLID COLOR STAIN AND SEALANT - OLYMPIC ELITE. PAINT FOR NEW METAL DOORS, FRAMES AND UNPAINTED STEEL: ZINC-RICH PRIMER, EPOXY HIGH-BUILD BASE COAT,

POLYURETHANE FINSH COAT, GLOSS FINISH. PAINT FOR PREVIOUSLY PAINTED DOORS, FRAMES AND PICNIC PAVILION STEEL PLATES: TOUCH UP WITH RUST-RESISTANT PRIMER, TWO COATS POLYURETHANE, GLOSS FINISH

SOLID SURFACE COUNTERS: CORIAN OR EQUAL, COLOR FROM PRICE GROUP 5 AS SELECTED BY OWNER, ON 3/2" MARINE GRADE PLYWOOD SUBSTRATE. SUBMIT PRODUCT SAMPLES.

PLASTIC LAMINATE COUNTER: HIGH PRESSURE LAMINATE, GENERAL PURPOSE TYPE 107, COLOR AS SELECTED BY OWNER, ON 3/2" MARINE GRADE PLYWOOD SUBSTRATE. SUBMIT PRODUCT SAMPLES.

PLASTIC LAMINATE WALL CABINET: FLUSH OVERLAY CONSTRUCTION, 12" WIDE BY NOMINAL 12" DEEP BY 30" HIGH. ONE ADJUSTABLE SHELF. CONCEALED HINGES, 3" BRUSHED CHROME WIRE PULL. PROVIDE FILLER PANEL AT SIDE WALL TO ALLOW DOOR TO OPEN 90 DEGREES.

TOILET PARTITIONS: SOLID PLASTIC (HDPE) PANELS WITH PEBBLE TEXTURED SURFACE AND THROUGH COLOR. STAINLESS STEEL BRACKETS AND HARDWARE. ADA COMPLIANT LATCHES, HANDLES AND SELF-CLOSING HINGES. COLOR AS SELECTED BY OWNER. BASED ON ASI GLOBAL PARTITIONS SUBMIT PRODUCT DATA AND SHOP DRAWINGS.

INFANT CHANGING STATION: CONTINENTAL 8252-H. MOUNT TO EXISTING WOOD STUDS PER MANUFACTURER'S PRINTED INSTRUCTION.

FRAMED MIRROR: ONE-PIECE, ROLL-FORMED 3/4" X 3/4" ANGLE-FRAME. TYPE 304 STAINLESS STEEL WITH SATIN FINISH, CORNERS WELDED, GROUND AND POLISHED SMOOTH, 1/4" THICK NO. 1 GRADE GLASS MIRROR, 15 YEAR SILVER SPOILAGE WARRANTY, GALVANIZED STEEL BACK WITH CONCEALED, THEFT-RESISTANT MOUNTING. 24" W X 36" H BOBRICK B-290 2436 OR SIMILAR.

CHARCOAL GRILL: PILOT ROCK J-20 SERIES. BOLTED POST BASE, STANDARD HIGH TEMPERATURE NON-TOXIC PAINT FINISH. CUT OFF EXISTING POST AT TOP OF SLAB. USE 8" EMBEDDED EPOXY ANCHOR BOLTS. SHIM TO PLUMB AND WELD NUTS IN PLACE AFTER TIGHTENING. PAINT BOLTS AND NUTS WITH ZINC RICH PRIMER AND GLOSS BLACK FINISH COATS. INSTALL IN PAIRS, ONE GRILLE TO HAVE TOP COOKING SURFACE AT 34" OR LESS ABOVE SURROUNDING GRADE.



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Client/Project Ypsilanti Township

Loonfeather Point Park Development

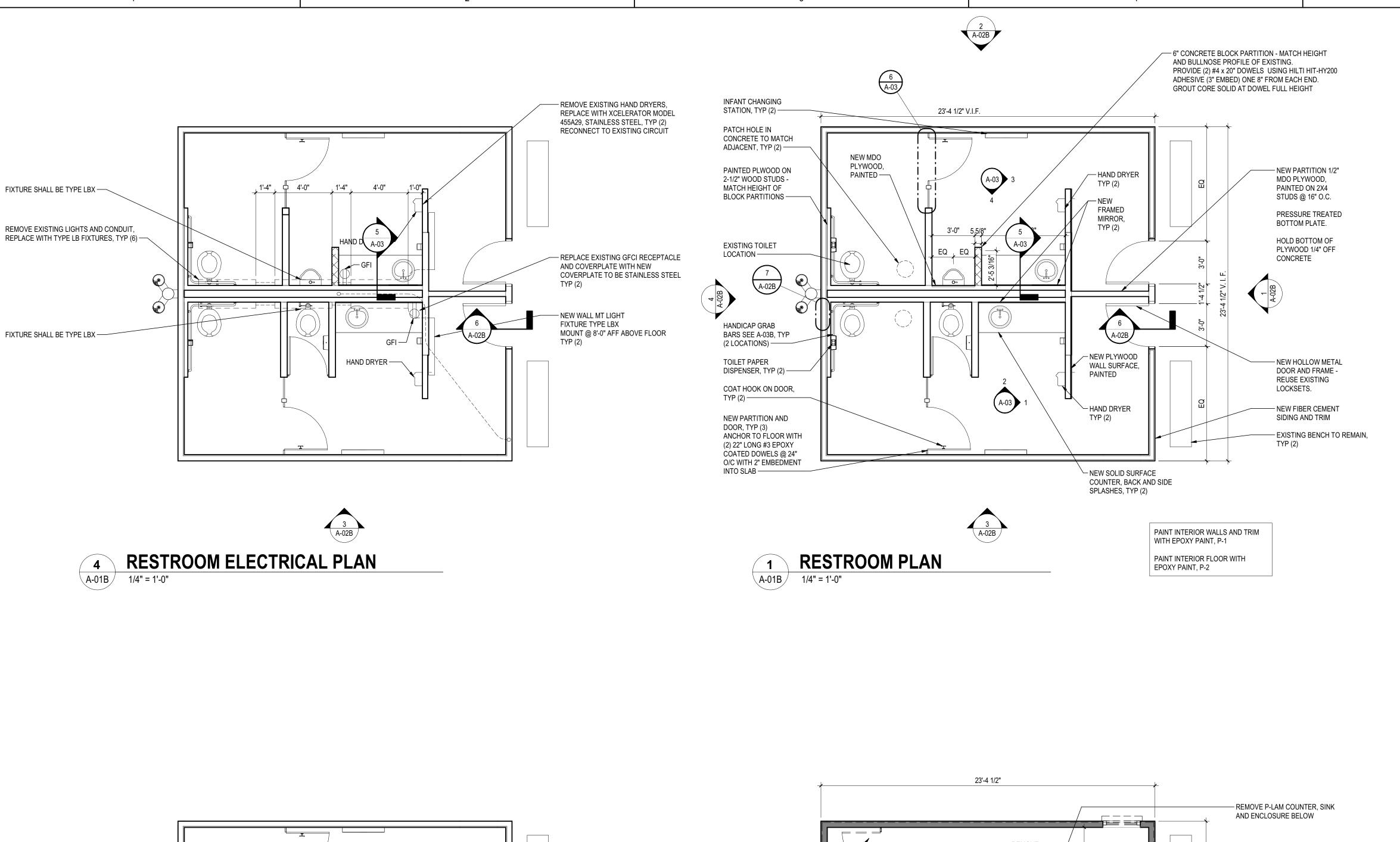
Ypsilanti, MI

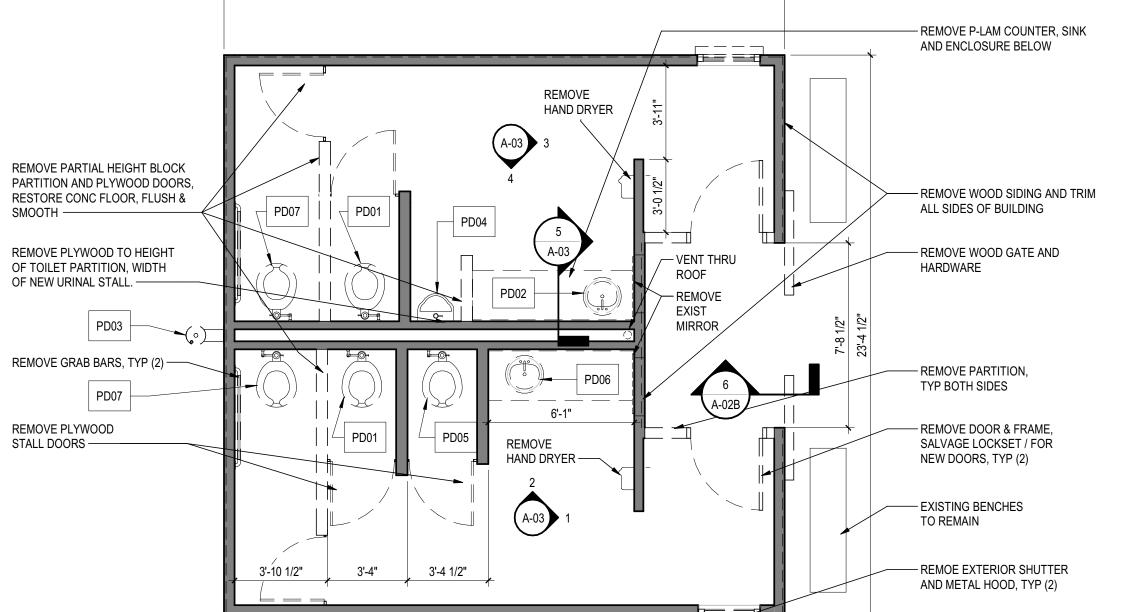
FLOOR PLAN - GATEHOUSE

Project No. Scale 2075154400 1/4" = 1'-0"

Revision Drawing No.

ORIGINAL SHEET - ARCH D







- 1. ANY INTERRUPTIONS OF EXISTING SERVICES OR EQUIPMENT SHALL BE PERFORMED AT A TIME APPROVED IN ADVANCE BY THE OWNER'S REPRESENTATIVE SO AS NOT TO INTERFERE WITH THE BUILDING OPERATION.
- 2. THESE DRAWINGS INDICATE THE GENERAL EXTENT OF WORK. THE EXTENT OF DEMOLITION SHALL BE AS REQUIRED BY THE NEW WORK AND REMOVAL OF MATERIALS/COMPONENTS NOT REQUIRED FOR THE NEW AND RENOVATED SYSTEMS.
- 3. ALL MECHANICAL SYSTEMS TO BE REMOVED SHALL BE REMOVED COMPLETE WITH ALL RELATED ITEMS INCLUDING HANGERS, SUPPORTS, CONTROLS, ETC. CAP ALL OPEN PIPES AND DUCTS. PATCH AND SEAL ALL OPENINGS AS A RESULT OF DEMOLITION IN RATED WALLS TO MAINTAIN EXISTING WALL'S FIRE OR SMOKE RATING AND TO MATCH EXISTING ADJACENT SURFACES.
- 4. ALL ITEMS AND EQUIPMENT REMOVED SHALL REMAIN PROPERTY OF THE OWNER UNLESS POSSISSION RIGHTS ARE WAIVED. CONTRACTOR SHALL MEET WITH OWNER PRIOR TO START OF DEMOLITION TO DETERMINE WHICH ITEMS ARE TO BE SALVAGED. CONTRACTOR SHALL REMOVE REMAINING ITEMS FROM SITE.
- 5. FIELD VERIFY EXACT SIZE AND LOCATION OF ALL EXISTING SERVICES PRIOR TO DEMOLITION.

PLUMBING DEMOLITION KEYED NOTES

- PD01. REMOVE EXISTING FLOOR MOUNTED WATER CLOSET COMPLETE. REMOVE DCW PIPING TO WITHIN WALL, CAP AND COVER WITH ACCESS PLATE. REMOVE EXISTING SANITARY TO BELOW FLOOR, CAP AND REPAIR FLOOR TO MATCH EXISTING CONDITIONS. PD02. REMOVE EXISTING COUNTER MOUNTED LAVATORY
- COMPLETE WITH FAUCET, SUPPLIES, TRAP AND SUPPORTS. PREPARE ASSOCIATED DCW AND SAN PIPING FOR RECONNECTION DURING NEW WORK. PD03. REMOVE EXISTING DRINKING FOUNTAIN COMPLETE
- WITH SUPPORTS. PREPARE EXISTING DCW AND SAN PIPING FOR RECONNECTION DURING NEW WORK. PD04. REMOVE EXISTING WALL HUNG URINAL COMPLETE WITH ASSOCIATED CARRIER AND PIPING. PREPARE ASSOCIATED DCW AND SAN PIPING FOR RECONNECTION
- IN CHASE DURING NEW WORK. PD05. REMOVE EXISTING FLOOR MOUNTED WATER CLOSET COMPLETE WITH ASSOCIATED DCW AND SAN PIPING. PREPARE DCW FOR RECONNECTION IN CHASE DURING NEW WORK. PREPARE SAN PIPING FOR RECONNECTION
- BELOW SLAB DURING NEW WORK. PD06. REMOVE EXISTING COUNTER MOUNTED LAVATORY COMPLETE WITH ASSOCIATED PIPING. REMOVE DCW AND SAN PIPING BACK TO WITHIN CHASE AND PREPARE PIPING
- FOR RECONNECTION DURING NEW WORK. PD07. REMOVE EXISTING FLOOR MOUNTED WATER CLOSET COMPLETE. PREPARE ASSOCIATED DCW AND SAN PIPING AT FLOOR/WALL FOR RECONNECTION DURING NEW WORK.

PLUMBING NEW WORK GENERAL NOTES

- 1. THESE DRAWINGS INDICATE THE GENERAL EXTENT OF WORK BUT ARE NOT FABRICATION DRAWINGS. COORDINATE PLUMBING SYSTEMS WITH WORK OF ALL OTHER TRADES PRIOR TO ANY FABRICATION OR INSTALLATION. PROVIDE ALL FITTINGS, OFFSETS, TRANSITIONS, ETC. AS REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF ALL NEW PLUMBING FIXTURES. 3. ALL PLUMBING RELATED CORING THROUGH FLOORS
- SHALL BE BY PLUMBING CONTRACTOR. 4. COORDINATE ALL NEW LOCATIONS, SIZES AND **ELEVATIONS OF SLEEVES THROUGH** WALLS, SLABS AND FOUNDATIONS WITH STRUCTURAL
- DRAWINGS AND FIELD CONDITIONS. 5. COORDINATE ALL PIPE ROUTING WITH SITE CONDITIONS, EQUIPMENT MANUFACTURER'S RECOMMENDATIONS, AND
- ALL OTHER TRADES TO AVOID INTERFERENCES. 6. ALL DOMESTIC WATER PIPING SHALL BE INSULATED AND LABELED IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROJECT
- SPECIFICATIONS, SCHEDULES, AND ENERGY CODE. 7. ALL PIPING SHALL BE CONCEALED IN WALLS, CEILING
- SPACES OR ARCHITECTURAL SOFFITS. 8. SEAL ALL PENETRATIONS THROUGH WALLS AND FLOORS
- AIR AND WATER TIGHT. 9. RUN ALL SANITARY AND VENT PIPING AT SLOPES COMPLYING WITH THE MICHIGAN PLUMBING CODE LATEST
- 10. PROVIDE WALL CLEANOUT AT THE BASE OF ALL VERTICAL
- SANITARY CONDUCTORS. 11. PROVIDE SHUT-OFF VALVES AT ALL PLUMBING FIXTURES LOCATE ALL PLUMBING SHUT-OFF VALVES IN AN ACCESSIBLE LOCATION ABOVE AN ACCESS PANEL AND NO MORE THAN 24" ABOVE THE CEILING.
- 12. REFER TO PIPING DIAGRAMS, DETAILS, AND SPECIFICATIONS FOR VALVES, FITTINGS, AND OTHER
- 13. REFER TO PLUMBING FIXTURE SCHEDULE ON DRAWINGS FOR MINIMUM REQUIRED PIPE SIZES TO ANY PIPING NOT

PLUMBING NEW WORK KEYED NOTES

- P1. PROVIDE NEW FLOOR MOUNTED WATER CLOSET AND
- CONNECT TO EXISTING DCW AND SAN PIPING. P2. PROVIDE NEW UNDERCOUNTER MOUTED LAVATORY AND CONNECT TO EXISTING DCW AND SAN PIPING IN CHASE
- P3. PROVIDE NEW DUAL HEIGHT DRINKING FOUNTAIN AND CARRIER AND CONNECT TO EXISTING DCW AND SAN
- P4. PROVIDE NEW ADA URINAL AND CARRIER AND CONNECT TO EXISTING DCW AND SAN PIPING LOCATED IN CHASE.
- P5. PROVIDE NEW FLOOR MOUNTED WATER CLOSET AND CARRIER AND CONNECT TO EXISTING DCW AND SAN PIPING. REPAIR FLOOR AND WALL TO MATCH EXISTING
- CONDITIONS DUE TO REVISED LOCATION. P6. PROVIDE NEW UNDERCOUNTER MOUNTED LAVATORY AND CONNECT TO EXISTING DCW AND SAN PIPING LOCATED IN



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Client/Project Ypsilanti Township

Loonfeather Point Park Development

Ypsilanti, MI

FLOOR PLAN - RESTROOMS

Project No. Scale 2075154400 1/4" = 1'-0" Drawing No. Revision

____P6

LAV-1

WC-2

RESTROOM PLUMBING PLAN

RESTROOM DEMO PLAN 1/4" = 1'-0"

ELECTRICAL FIXTURE SCHEDULE **GENERAL NOTES** DESCRIPTION LUMEN DISTRIBUTION COLOR TEMP VOLTAGE WATTAGE MODEL MANUFACTURER COMMENTS REMOVE SHINGLES AND UNDERLAYMENT, TO WOOD DECK. REMOVE LA 1X2 LED WALL SURFACE MOUNTED WRAP FIXTURE 2500 3500K 30 RHL7 SERIES KENALL 120 METAL DRIP EDGE AND TOP COPING. PROVIDE NEW LAX SAME AS LA, EXCEPT PROVIDED WITH 1100LM EM BATTERY PACK ASPHALTSHINGLES OVER 40 LB ROOFING FELTS WITH NEW DARK LB 1X4 LED WALL SURFACE MOUNTED WRAP FIXTURE 4600 3500K 120 50 MLRS12 SERIES KENALL BRONZE COLORED F5 GALVANIZED STEEL DRIP EDGE LBX SAME AS LA, EXCEPT PROVIDED WITH 1100LM EM BATTERY PACK CLEAN, PREP, AND PAINT METAL TIMBER FITTINGS. P-5. SCRAPE AND PROVIDE WITH LOW PROFILE HOUSING AND SAND ALL WOOD SURFACE ADAPTOR FOR SIDE CONDUIT STAIN ALL WOOD MEMBERS WITH SOLID COLOR EXTERIOR WOOD LED WALL PACK WITH LOW PROFILE HOUSING 1372 4000K 16 H99 SERIES KENALL INSTALLATION. STAIN EXCEPT PAINT TO MATCH WHERE CURRENT ACCENT COLORS Consultant PROVIDE WITH LOW PROFILE HOUSING AND SURFACE ADAPTOR FOR SIDE CONDUIT LED WALL PACK WITH LOW PROFILE HOUSING TYPE 3 4000K 24 FN9 SERIES KENALL INSTALLATION. Notes REMOVE AND REPLACE BBQ GRILLS IN SAME LOCATION REMOVE CABLE BRACING. FILL HOLES IN TIMBERS WITH EPOXY WOOD FILLER. INSTALL LATERAL BRACING GUSSET PLATE, TYP ______ NEW LED WALL PACK FIXTURE TYPE LC MOUNTED TO EDGE BEAM BELOW TRUSS ALL NEW CIRCUITING IN THIS SPACE SHALL BE COMPRISED OF SINGLE CONDUCTORS IN RGC TYPE CONDUIT. EXTEND CIRCUITING FROM EXISTING CIRCUIT IN JUNCTION BOX LOCATED IN THE CORNER OF THE CANOPY. PAVILION CIRCUIT WILL BE CONTROLLED FROM CONTACTOR IN GATEHOUSE. TYP (6) — - EXISTING LIGHTNING PROTECTION SYSTEM TO BE REMOVED FROM STRUCTURE. PROVIDE A COMPLETE LIGHTNING PROTECTION SYSTEM WITH A UL LIGHTNING PROTECTION INSPECTION CERTIFICATE CERTIFIED TO UL 96A. _____ Preliminary Design Plans Issued/Revision File Name: N/A REMOVE AND REPLACE 1" DIA STEEL ROD X-BRACING TO MATCH EXISTING IN TRUSS SPACE ABOVE. Permit/Seal RODS, TURNBUCKLES, NUTS, BOLTS, AND WASHERS TO BE GALVANIZED AND PAINTED. **├------**TYPICAL ALL 3 BAYS, VERIFY L----DIMENSIONS IN FIELD. — <u></u> Client/Project FIXTURE TYPE LD MOUNTED AT 18' TYP (4). RUN CONDUIT INSIDE PAVILION. — - REMOVE CABLE BRACING. FILL HOLES IN TIMBERS WITH EPOXY WOOD FILLER. INSTALL **PAVILION A PLAN** LATERAL BRACING GUSSET PLATE, TYP. Ypsilanti, MI Project No. Revision



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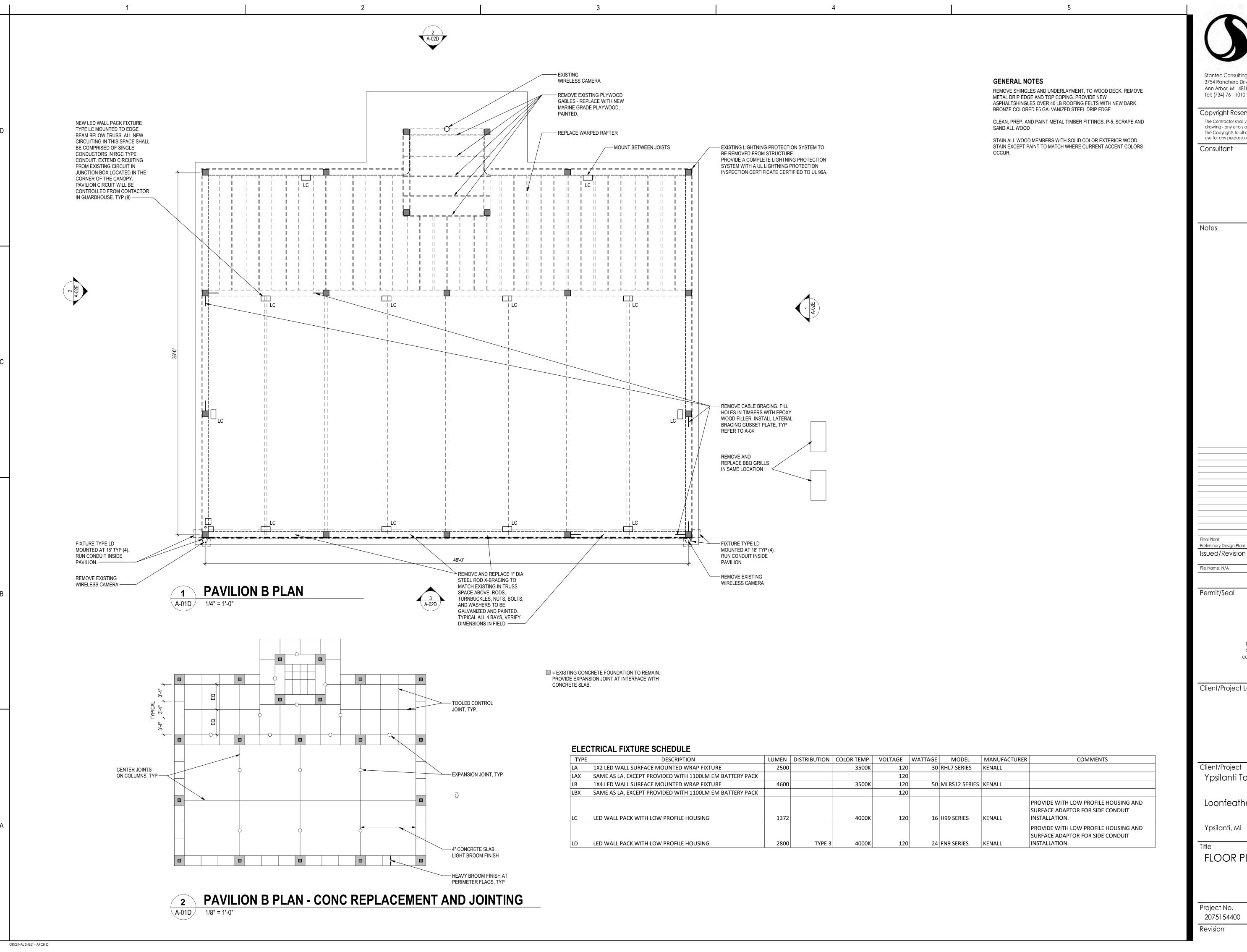
Ypsilanti Township

Loonfeather Point Park Development

FLOOR PLAN - PAVILION A

Scale 1/4" = 1'-0" 2075154400 Drawing No.

ORIGINAL SHEET - ARCH D





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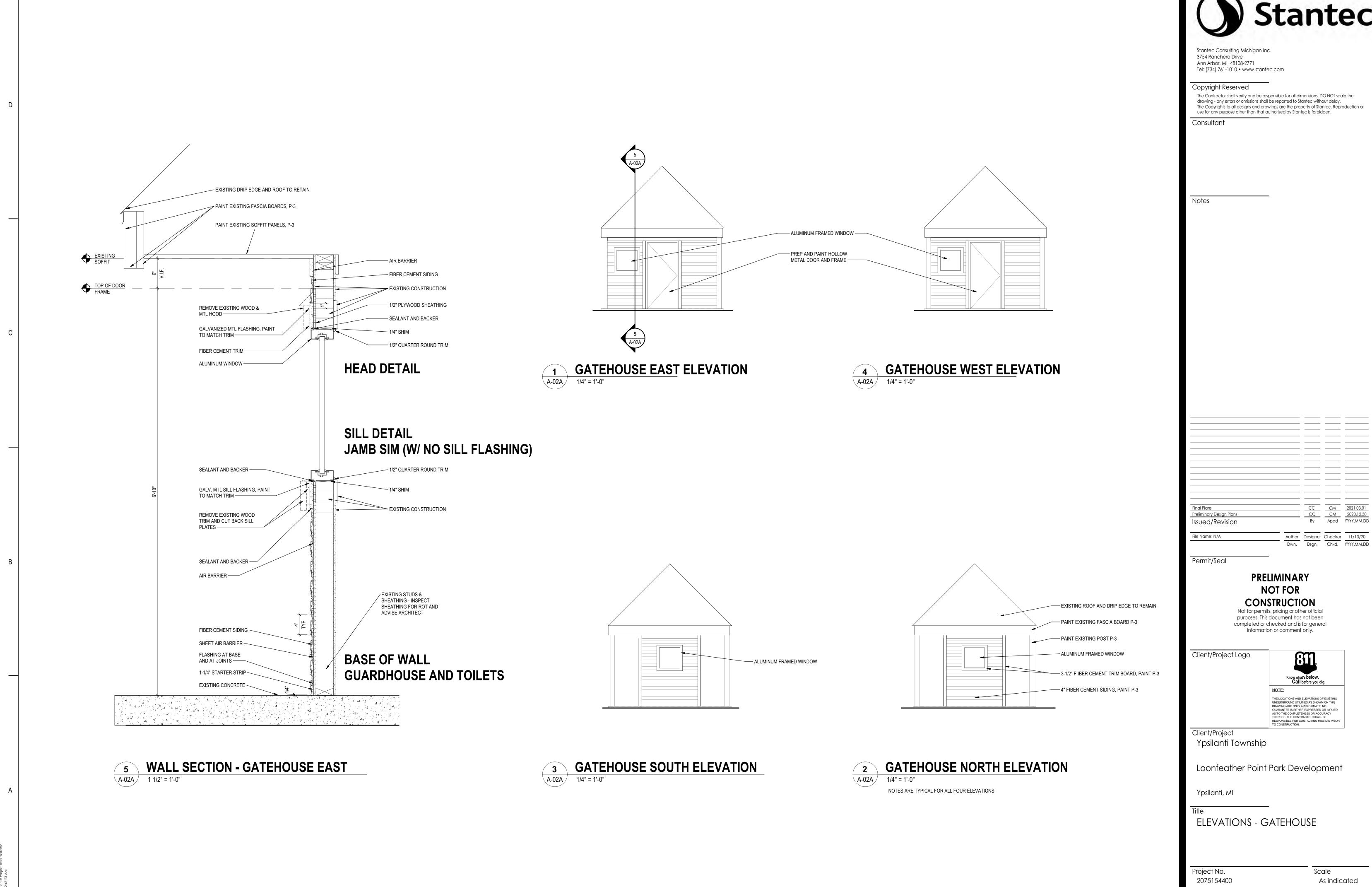
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Ypsilanti Township

Loonfeather Point Park Development

FLOOR PLAN - PAVILION B

Scale 2075154400 As indicated Drawing No.



ORIGINAL SHEET - ARCH D

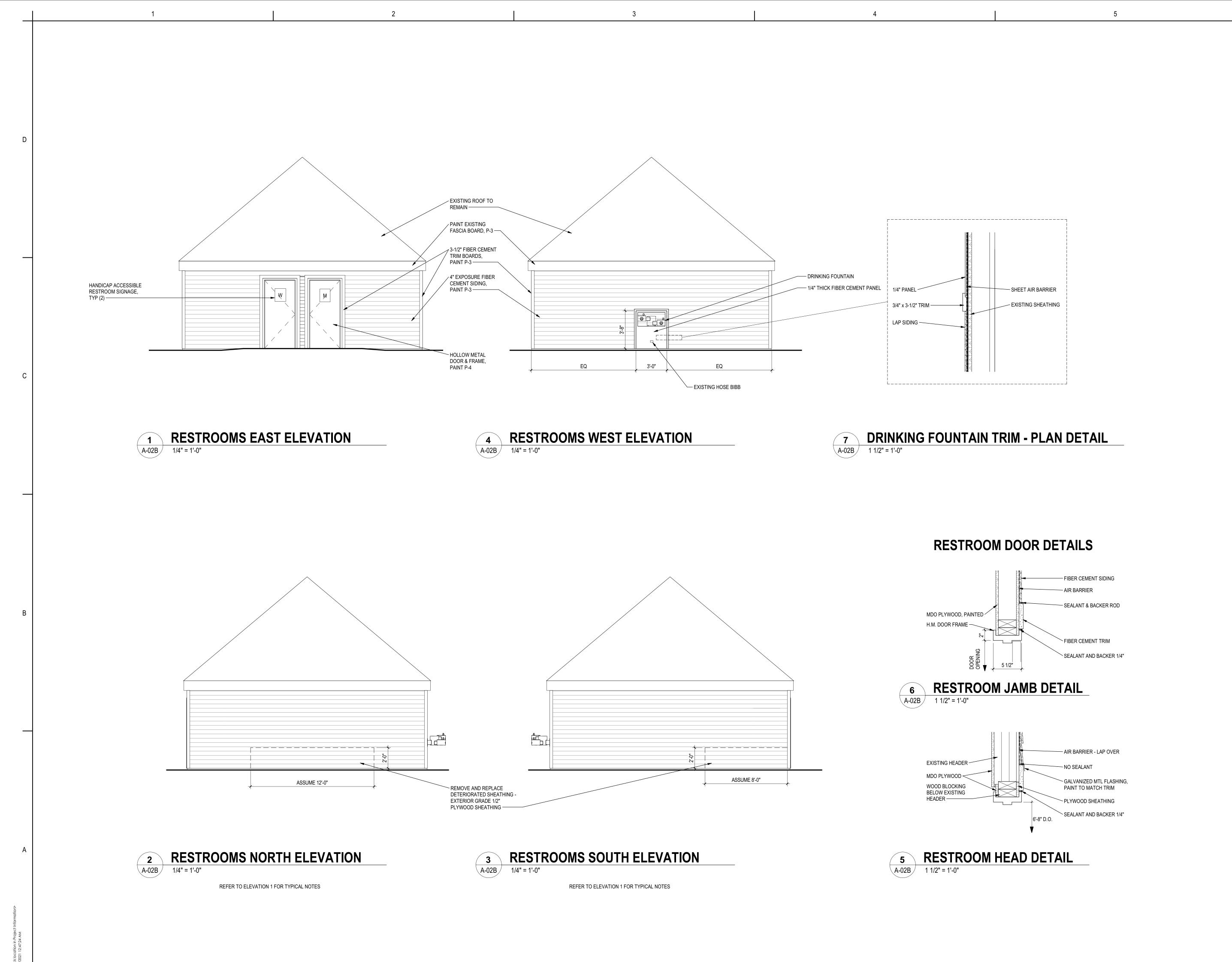
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Loonfeather Point Park Development

Ypsilanti, MI

ELEVATIONS - RESTROOMS

Project No. Scale As indicated 2075154400 Drawing No. Revision

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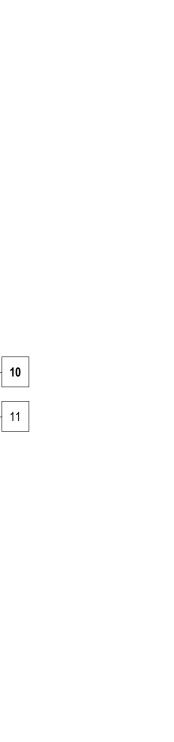
TYPICAL AT ALL

PAVILION A EAST ELEVATION

PAVILION A SOUTH ELEVATION



PAVILION A WEST ELEVATION





PAVILION A NORTH ELEVATION

KEYNOTE LIST

- 1 REPLACE MISSING / BROKEN OR SAGGING LOUVER SLAT
- 2 REPLACE DAMAGED TRIM BOARD
- 3 STRIP SHINGLES, UNDERLAYMENT, & DRIP EDGE. INSTALL NEW ASPHALT SHINGLES, ROOFING FELT, & DRIP EDGE.
- 4 REPAIR LOOSE / DISLODGED LOUVER SLAT
- 5 EPOXY REPAIR OF DETERIORATED WOOD MEMBER
- 6 NEW LIGHTNING PROTECTION AIR TERMINAL
- 7 NEW PREFINISHED GALVANIZED STEEL ROOF EDGE ANGLE - DARK BRONZE
- 8 REMOVE EXISTING PLYWOOD GABLES, REPLACE IN KIND WITH MARINE GRADE PLYWOOD AND WOOD TRIM, PAINTED
- 9 PREP AND PAINT STEEL CONNECTION PLATE ASSEMBLIES
- 10 FILL SPLIT WITH EPOXY WOOD FILLER
- 11 LATERAL BRACING GUSSET PLATE REFER TO DETAIL ON A-02E
- 12 REMOVE EXISTING PAVILION NUMBER
- 13 NEW PAINTED CAST ALUMINUM PAVILION NUMBER, 18" HIGH, SCREW MOUNTED TO PLYWOOD.
- 14 REMOVE EXISTING EXTERIOR CAMERA/LIGHTS
- 15 NEW FIXTURE TYPE LD MOUNTED AT 18' TYP



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Client/Project Ypsilanti Township

Loonfeather Point Park Development

Ypsilanti, MI

ELEVATIONS - PAVILION A

Scale Project No. 1/4" = 1'-0" 2075154400 Drawing No.

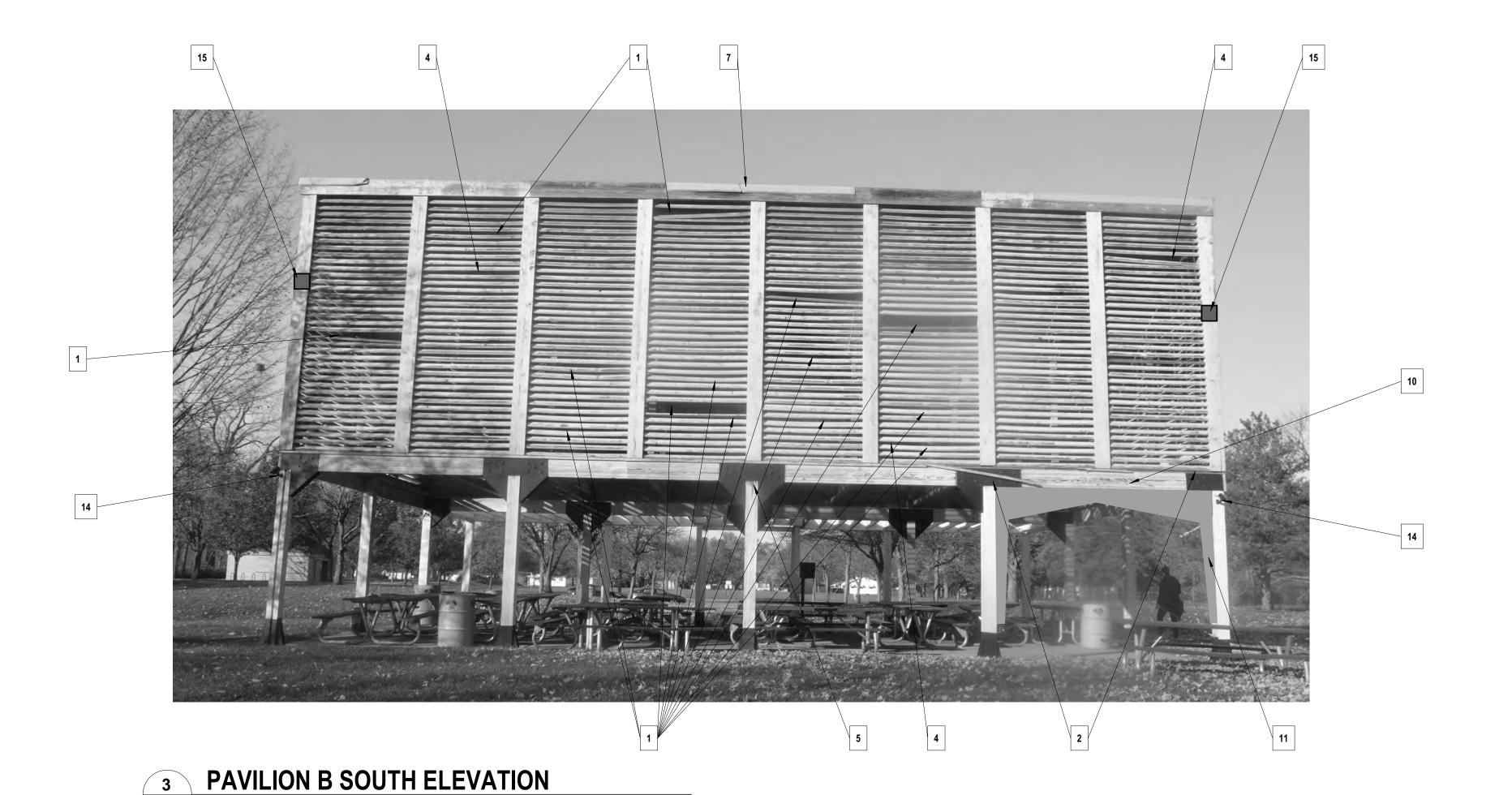
ORIGINAL SHEET - ARCH D

A-02C 1/4" = 1'-0"

Revision

A-02C

PAVILION B NORTH ELEVATION



KEYNOTE LIST

- 1 REPLACE MISSING / BROKEN OR SAGGING LOUVER SLAT
- 2 REPLACE DAMAGED TRIM BOARD
- 3 STRIP SHINGLES, UNDERLAYMENT, & DRIP EDGE. INSTALL NEW ASPHALT SHINGLES, ROOFING FELT, & DRIP EDGE.
- 4 REPAIR LOOSE / DISLODGED LOUVER SLAT
- 5 EPOXY REPAIR OF DETERIORATED WOOD MEMBER
- 6 NEW LIGHTNING PROTECTION AIR TERMINAL
- 7 NEW PREFINISHED GALVANIZED STEEL ROOF EDGE ANGLE - DARK BRONZE
- REPLACE IN KIND WITH MARINE GRADE PLYWOOD AND WOOD TRIM, PAINTED

8 REMOVE EXISTING PLYWOOD GABLES,

ASSEMBLIES 10 FILL SPLIT WITH EPOXY WOOD FILLER

9 PREP AND PAINT STEEL CONNECTION PLATE

- 11 LATERAL BRACING GUSSET PLATE REFER TO DETAIL ON A-02E
- 12 REMOVE EXISTING PAVILION NUMBER
- 13 NEW PAINTED CAST ALUMINUM PAVILION NUMBER, 18" HIGH, SCREW MOUNTED TO PLYWOOD.
- 14 REMOVE EXISTING EXTERIOR CAMERA/LIGHTS
- 15 NEW FIXTURE TYPE LD MOUNTED AT 18' TYP



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Client/Project Ypsilanti Township

Loonfeather Point Park Development

Ypsilanti, MI

ELEVATIONS - PAVILION B

Project No. Scale 1/4" = 1'-0" 2075154400 Drawing No.

Revision

A-02D

ORIGINAL SHEET - ARCH D





PAVILION B WEST ELEVATION

1/4" = 1'-0"

KEYNOTE LIST

- 1 REPLACE MISSING / BROKEN OR SAGGING LOUVER SLAT
- 2 REPLACE DAMAGED TRIM BOARD
- 3 STRIP SHINGLES, UNDERLAYMENT, & DRIP EDGE. INSTALL NEW ASPHALT SHINGLES, ROOFING FELT, & DRIP EDGE.
- 4 REPAIR LOOSE / DISLODGED LOUVER SLAT
- 5 EPOXY REPAIR OF DETERIORATED WOOD MEMBER
- 6 NEW LIGHTNING PROTECTION AIR TERMINAL
- 7 NEW PREFINISHED GALVANIZED STEEL ROOF EDGE ANGLE - DARK BRONZE
- 8 REMOVE EXISTING PLYWOOD GABLES, REPLACE IN KIND WITH MARINE GRADE PLYWOOD AND WOOD TRIM, PAINTED
- 9 PREP AND PAINT STEEL CONNECTION PLATE ASSEMBLIES
- 10 FILL SPLIT WITH EPOXY WOOD FILLER
- 11 LATERAL BRACING GUSSET PLATE REFER TO DETAIL ON A-02E
- 12 REMOVE EXISTING PAVILION NUMBER
- 13 NEW PAINTED CAST ALUMINUM PAVILION NUMBER, 18" HIGH, SCREW MOUNTED TO PLYWOOD.
- 14 REMOVE EXISTING EXTERIOR CAMERA/LIGHTS
- 15 NEW FIXTURE TYPE LD MOUNTED AT 18' TYP



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Notes

 Final Plans
 CC
 CM
 2021.03.01

 Preliminary Design Plans
 CC
 CM
 2020.12.30

 Issued/Revision
 By
 Appd
 YYYY.MM.DD

 File Name: N/A
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 Chkd.
 YYYY.MM.DD

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Client/Project
Ypsilanti Township

Loonfeather Point Park Development

Ypsilanti, Ml

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ELEVATIONS - PAVILION B

Project No. 2075154400

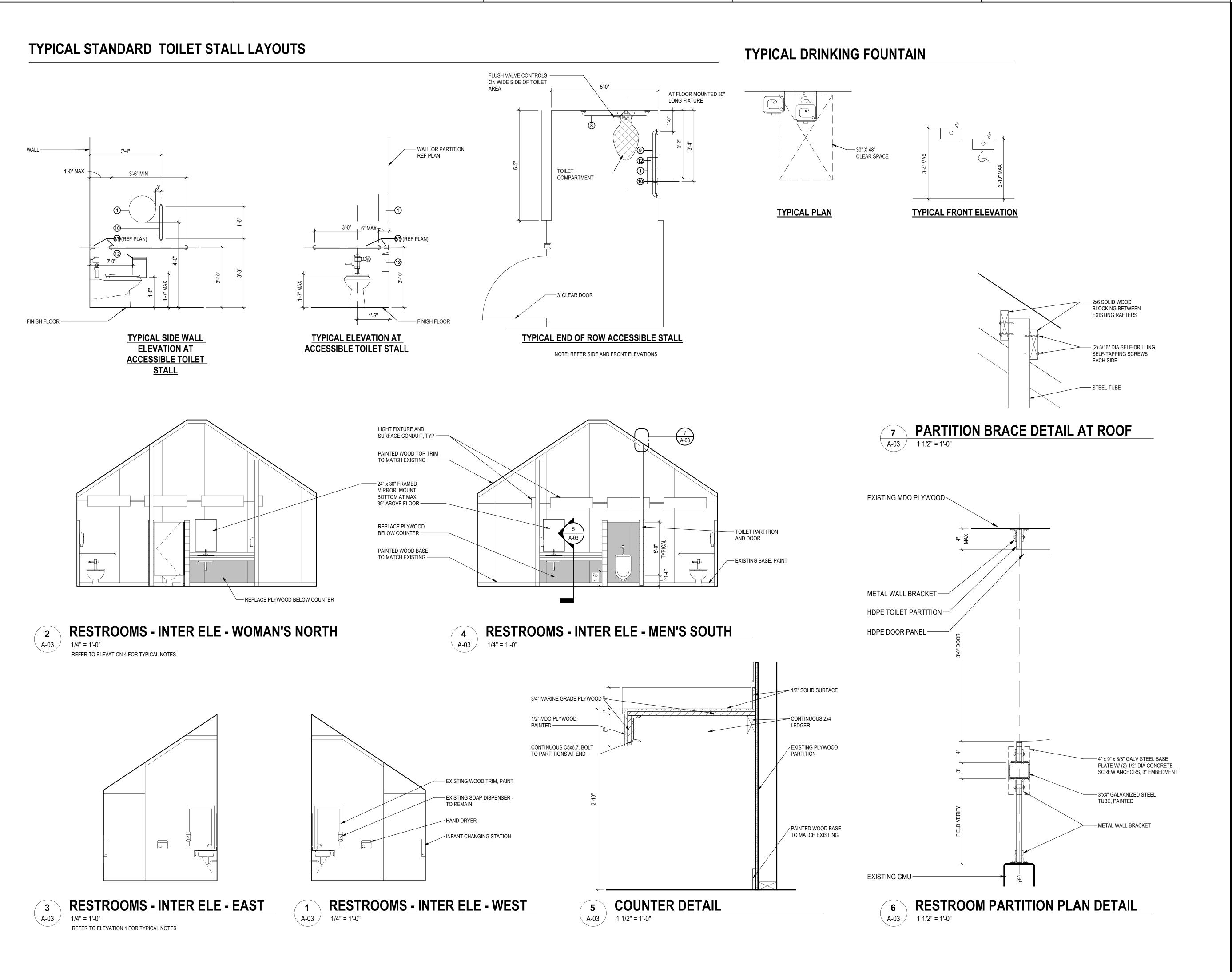
Revision Drawing No.

1/4" = 1'-0" **A-02E**

Scale

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ORIGINAL SHEET - ARCH D





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Client/Project Ypsilanti Township

Loonfeather Point Park Development

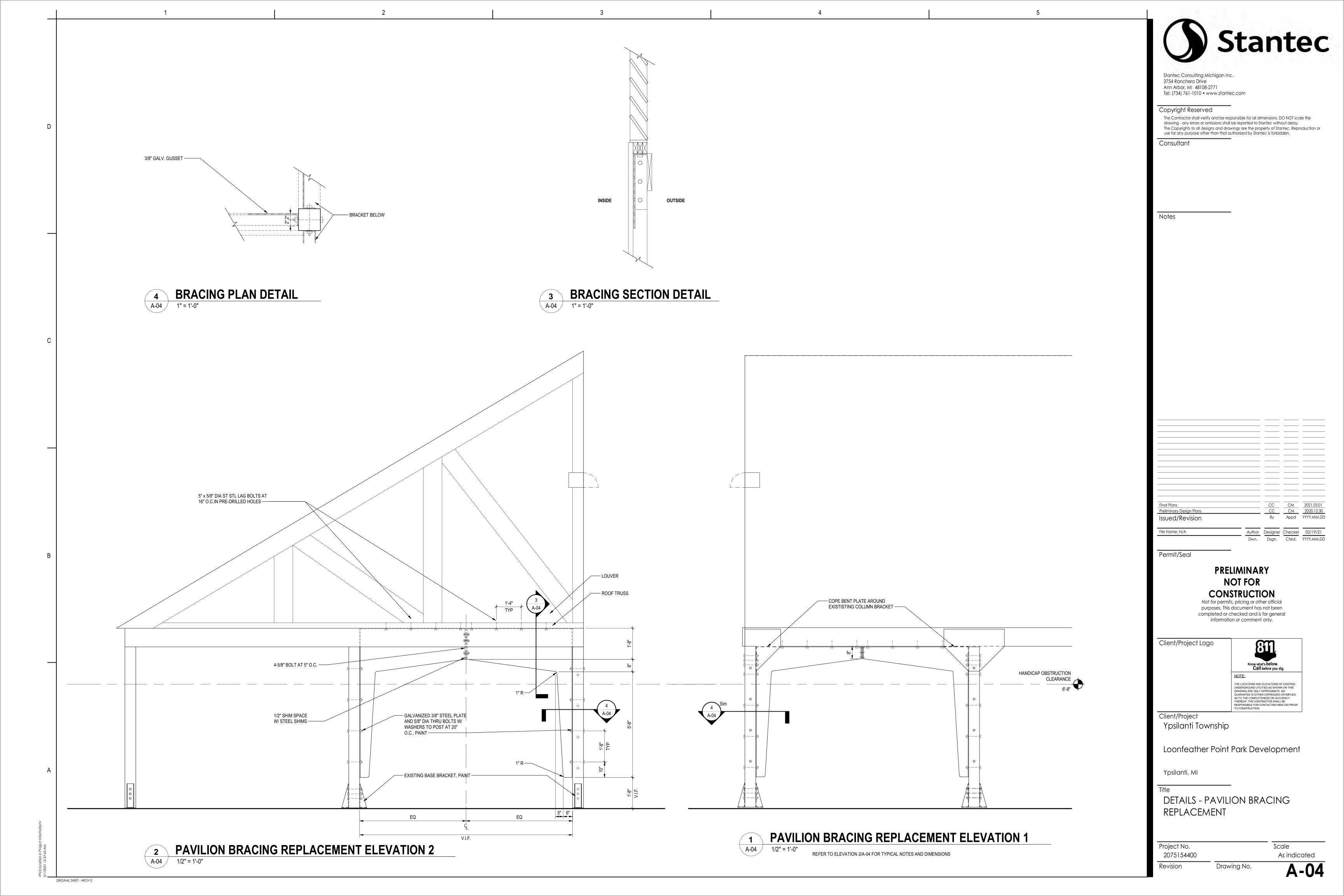
Ypsilanti, MI

INTERIOR ELEVATIONS - RESTROOMS

Project No. Scale 2075154400 As indicated Revision

ORIGINAL SHEET - ARCH D

Drawing No.



OBTAIN AND PAY FOR ALL PERMITS (TEMPORARY AND PERMANENT), FEES, AND INSPECTIONS AS REQUIRED BY ANY APPLICABLE LAWS AND ORDINANCES. POST SUCH PERMITS AND INSPECTION CERTIFICATES IN A PROMINENT PLACE ADJACENT TO THE WORK. DELIVER ALL CERTIFICATES OF FINAL INSPECTION OR APPROVAL TO THE ARCHITECT/ENGINEER. DO NOT COVER ANY CONCEALED WORK UNTIL FINAL INSPECTION HAS BEEN MADE AND APPROVAL CERTIFICATES OBTAINED. 8. DELIVER PIPES AND TUBES WITH FACTORY-APPLIED END CAPS. MAINTAIN END CAPS THROUGH SHIPPING, STORAGE, AND HANDLING TO PREVENT PIPE END DAMAGE AND TO PREVENT ENTRANCE OF DIRT, DEBRIS, AND MOISTURE. STORE PLASTIC PIPES PROTECTED FROM DIRECT SUNLIGHT. SUPPORT PIPING AND TO PREVENT SAGGING AND PROVIDE ALL CUTTING, PATCHING, AND RESTORATION OF WALLS, FLOORS, AND PARTITIONS AS REQUIRED TO COMPLETE THE MECHANICAL SCOPE OF WORK. ALL ROOF WORK SHALL BE COORDINATED AND PAID FOR BY THE CONTRACTOR TO MAINTAIN EXISTING WARRANTIES.

IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO STUDY THE ARCHITECTURAL, STRUCTURAL, ELECTRICAL, AND MECHANICAL DRAWINGS, CONFERRING WITH THE VARIOUS TRADES INVOLVED AND CHECKING WITH THE SUPPLIER OF EQUIPMENT IN ORDER TO PROPERLY ROUGH-IN ALL EQUIPMENT. 14. ALL MATERIAL AND EQUIPMENT SHALL BE NEW AND OF THE BEST QUALITY USED FOR THE PURPOSE IN GOOD COMMERCIAL PRACTICE. THE MATERIAL AND EQUIPMENT MUST MEET THE APPROVAL OF STATE AND LOCAL CODES IN THE AREA IT IS BEING USED. 15. NO MATERIALS CONTAINING ASBESTOS IN ANY FORM SHALL BE ALLOWED. NO SOLDER OR FLUX CONTAINING LEAD SHALL BE USED. ALL VALVES AND FIXTURES SHALL

COMPLY WITH NSF LEAD-FREE REQUIREMENTS. 16. CONTRACTOR SHALL GUARANTEE ALL WORK INSTALLED BY THEM OR THEIR SUBCONTRACTORS TO BE FREE FROM DEFECT IN MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE OF THE WORK, UNLESS A LONGER PERIOD IS STIPULATED UNDER A SPECIFIC SECTION. CONTRACTOR SHALL REPAIR OR REPLACE AT NO ADDITIONAL COST TO THE OWNER, ANY MATERIAL OR EQUIPMENT DEVELOPING DEFECTS AND SHALL ALSO MAKE GOOD ANY DAMAGE CAUSED BY SUCH DEFECTS OR THE CORRECTION OF DEFECTS. REPAIRS OR REPLACEMENTS SHALL BEAR ADDITIONAL GUARANTEE, AS ORIGINALLY CALLED FOR, AND DATED FROM THE FINAL ACCEPTANCE OF THE REPAIR OR REPLACEMENT. THIS REQUIREMENT SHALL BE BINDING EVEN THOUGH IT WILL EXCEED PRODUCT GUARANTEES NORMALLY FURNISHED BY SOME MANUFACTURERS. CONTRACTOR SHALL SUBMIT HIS OWN AND EACH EQUIPMENT MANUFACTURERS WRITTEN CERTIFICATES, WARRANTING THAT EACH ITEM OF THE EQUIPMENT FURNISHED COMPLIES WITH ALL REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS. NOTE THAT GUARANTEE SHALL RUN FROM DATE OF FINAL ACCEPTANCE OF THE WORK, NOT FROM THE DATE OF INSTALLATION OF A DEVICE OR PIECE OF EQUIPMENT.

PROVIDE ONE YEAR WARRANTY ON ALL LABOR AND MATERIALS UNLESS NOTED OTHERWISE PLUMBING CONTRACTOR SHALL NOT KNOWINGLY INSTALL WORK THAT IS IN ERROR. CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING PROPOSAL AND EXAMINE AND VERIFY EXISTING CONDITIONS. ADDITIONAL CHARGES WILL NOT BE ALLOWED DUE TO FAILURE TO COMPLETE SITE VISIT OR TO INCLUDE NECESSARY MATERIALS AND LABOR TO COMPLETE THE WORK. PROPOSAL BEING SUBMITTED IMPLIES SITE VISIT HAS OCCURRED AND CONTRACTOR UNDERSTANDS THE CONDITIONS WHICH THE WORK WILL BE CONDUCTED. 20. ANY CONFLICT WITHIN THE DOCUMENTS SHALL BE INCLUDED WITH THE HIGHEST COST.

PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY THAT SYSTEMS CAN BE INSTALLED AS DESIGNED WITHOUT TRAPPING OR INTERFERING WITH COLUMNS, BEAMS, PIPING, FIXTURES, ETC. NOTIFY THE ENGINEER OF ANY NECESSARY MAJOR DEVIATION FOR ADJUSTMENT, AT NO INCREASE IN CONTRACT PRICE. UPON DETERMINATION OF EQUIPMENT TO BE PROVIDED FOR THE JOB, THE CONTRACTOR SHALL VERIFY AND COORDINATE THE DIMENSIONS WITH ALL OTHER TRADES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CHANGE AS NECESSARY (THROUGH THE ENGINEER) ALL REQUIRED OPENINGS SUCH THAT CURBS, ELECTRICAL SUPPORT STEEL, ETC. WILL FIR THE EQUIPMENT. ANY ADDITIONAL COSTS WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. IF ADDITIONAL WIRING, PIPING CONTROLS, ETC. ARE REQUIRED FOR EQUIPMENT, THIS CONTRACTOR SHALL INCLUDE THE COST IN THEIR PRICE. DIMENSIONS, ELEVATIONS, AND RELATIVE LOCATIONS OF EXISTING EQUIPMENT, PIPES, DUCTS, FIXTURES, ETC. AS SHOWN ON DRAWINGS ARE TAKEN FROM AS-BUILT AND RECORD DRAWINGS AND ARE DEEMED RELIABLE AS GENERAL LAYOUT IS CONCERNED. THESE DIMENSIONS SHALL NOT BE USED FOR LAYOUT DRAWINGS FOR DETAILING OF COMPONENTS. THE CONTRACTOR SHALL PROVIDE ALL MEASUREMENTS, DETERMINATION OF EXACT ELEVATION OF LOCATIONS, ASCERTAINING ACCURACY OF ALL GIVEN ELEVATIONS AND DIMENSIONS TO INSURE PROPER COORDINATION OF ALL EQUIPMENT, DUCTWORK, PIPING, ETC.

22. CONTRACTOR SHALL PROVIDE FIELD TESTING, CHECK-OUT AND SYSTEM DEMONSTRATION TO OWNER TO ASSURE PROPER PERFORMANCE AND ADJUSTMENT OF ITEMS PROVIDED UNDER THE CONTRACT. REMOVE ALL DEBRIS CREATED BY THE CONSTRUCTION WORK AND CLEAN ALL EQUIPMENT, AIR DEVICES, ETC. INSIDE AND OUTSIDE. PROVIDE HARDBOUND BINDER WHICH INCLUDES COPIES OF EACH SHOP DRAWING, PREVENTATIVE MAINTENANCE PROCEDURES, OPERATION AND INSTRUCTION MANUALS, LITERATURE SUPPLIED WITH EQUIPMENT, AND A LIST OF ALL CONTRACTOR'S PURCHASE ORDER WITH SUPPLIERS, NAMES, ADDRESSES AND PHONE NUMBERS, FOR ALL MATERIALS, PROVIDE AT LEAST 2 HOURS OF INSTRUCTION TO PERSONNEL SELECTED BY THE OWNER, TO FAMILIARIZE THEM WITH THE LOCATION OF SIGNIFICANT EQUIPMENT, TRAIN THEM ON EQUIPMENT FUNCTIONS, REVIEW MAINTENANCE PROCEDURES AND COORDINATE INFORMATION AVAILABLE IN THE CLOSE-OUT BINDER.

INSTALL VALVES WHERE INDICATED ON THE DRAWINGS. VALVES SHALL COMPLY WITH NSF 61 AND NSF 372 FOR POTABLE WATER SYSTEMS. GENERAL DUTY VALVES SHALL BE SUBJECT TO COMPLIANCE WITH REQUIREMENTS AND SHALL BE ONE OF THE FOLLOWING MANUFACTURERS: APOLLO, NIBCO, OR

BRONZE BALL VALVES SHALL BE MSS SP-110, TWO-PIECE, FULL PORT, WITH STAINLESS STEEL TRIM. HOSE END DRAIN VALVES SHALL BE MSS SP-110, FULL-PORT BALL VALVES WITH 400 PSIG MINIMUM CWP, ¾ INCH.

HANGERS AND SUPPORTS HANGER AND SUPPORT INSTALLATION SHALL COMPLY WITH MSS SP-69 AND MSS SP-89 (MANUFACTURERS STANDARDIZATION SOCIETY FOR THE VALVE AND FITTINGS INDUSTRY INC).

THE USE OF "C" CLAMPS AND BEAM CLAMPS OF A "C" PATTERN AND ANY MODIFICATION THEREOF IS PROHIBITED FOR 2-1/2 INCHES AND LARGER. STEEL PIPE HANGERS AND SUPPORTS: COMPLY WITH MSS SP-58, TYPES 1 THROUGH 58, FACTORY FABRICATED COMPONENTS. STEEL PIPE HANGERS AND SUPPORTS SHALL BE SUBJECT TO COMPLIANCE WITH REQUIREMENTS AND SHALL BE ONE OF THE FOLLOWING MANUFACTURERS: B-LINE SYSTEMS, GRINNELL CORP., ERICO/MICHIGAN HANGER COMPANY, PHD MANUFACTURING, OR PHS INDUSTRIES. 4. TRAPEZE PIPE HANGERS: COMPLY WITH MSS SP-69, TYPE 59, SHOP- OR FIELD-FABRICATED PIPE-SUPPORT ASSEMBLY MADE FROM STRUCTURAL-STEEL SHAPES WITH

MSS SP-58 HANGER RODS, NUTS, SADDLES, AND U-BOLTS. METAL FRAMING SYSTEMS: COMPLY WITH MFMA-3 SHOP- OR FIELD-FABRICATED PIPE-SUPPORT ASSEMBLY MADE OF STEEL CHANNELS AND OTHER COMPONENTS WITH FACTORY STANDARD FINISH OR COPPER PLATED WHEN SUPPORT ELEMENTS WILL BE IN CONTACT WITH COPPER PIPING. METAL FRAMING SYSTEMS SHALL BE SUBJECT TO

6. THERMAL-HANGER SHIELD INSERTS: 100-PSIG-MINIMUM. COMPRESSIVE-STRENGTH INSULATION INSERT ENCASED IN SHEET METAL SHIELD. INSULATION INSERT MATERIAL FOR COLD WATER PIPING SHALL BE WATER-REPELLENT TREATED, ASTM C 533, TYPE 1 CALCIUM SILICATE OR ASTM C522, TYPE II CELLULAR GLASS WITH VAPOR BARRIER. INSULATION INSERT MATERIAL FOR HOT WATER PIPING SHALL BE WATER-REPELLENT TREATED, ASTM C 533, TYPE 1 CALCIUM SILICATE OR ASTM C522, TYPE II CELLULAR GLASS. TRAPEZE AND CLAMPED SYSTEMS SHALL HAVE INSERT AND SHIELD COVER ENTIRE CIRCUMFERENCE OF THE PIPE. CLEVIS AND BAND HANGERS SYSTEMS

COMPLIANCE WITH REQUIREMENTS AND SHALL BE ONE OF THE FOLLOWING MANUFACTURERS: B-LINE SYSTEMS, ERICO/MICHIGAN HANGER COMPANY, OR UNISTRUT

SHALL HAVE INSERT AND SHIELD COVER 180 DEGREES OF THE PIPE. THE INSERT LENGTH SHALL EXTEND TWO INCHES BEYOND THE SHEET METAL SHIELD. MECHANICAL-EXPANSION ANCHORS SHALL BE INSERT-WEDGE-TYPE STAINLESS STEEL, FOR USE IN HARDENED PORTLAND CEMENT CONCRETE WITH PULL-OUT, TENSION, AND SHEAR CAPACITIES APPROPRIATE FOR SUPPORTED LOADS AND BUILDING MATERIALS WHERE USED. FASTENER SYSTEMS SHALL BE SUBJECT TO COMPLIANCE WITH REQUIREMENTS AND SHALL BE ONE OF THE FOLLOWING MANUFACTURERS: B-LINE SYSTEMS, HILTI, MKT FASTENING, OR POWERS FASTENERS.

MECHANICAL INSULATION

ALL INSULATION SHALL COMPLY WITH NFPA 90A AND B. INSULATION INSTALLED INDOORS SHALL HAVE A FLAME-SPREAD INDEX OF 25 OR LESS AND A SMOKE-DEVELOPED INDEX OR 50 OR LESS. INSULATION INSTALLED OUTDOORS SHALL HAVE A FLAME-SPREAD INDEX OF 75 OR LESS AND A SMOKE-DEVELOPED INDEX OR 150 OR LESS. INSULATION THICKNESS SHALL COMPLY WITH ASHRAE/IES STANDARD 90.1 CURRENT CODE ENFORCED EDITION.

ALL INSULATED SYSTEMS SHALL BE INSULATED COMPLETELY INCLUDING THROUGH PENETRATIONS, VALVE BODIES, AND AREAS OF EQUIPMENT NOT PROVIDED WITH

FACTORY INSTALLED INSULATION. PIPING INSULATION: PIPING INSULATION: MINERAL-FIBER, PREFORMED PIPE INSULATION SHALL BE MINERAL OR GLASS FIBERS BONDED WITH A THERMOSETTING RESIN. COMPLYING WITH ASTM C547, TYPE I, GRADE A, WITH A FACTORY-APPLIED ASJ-SSL JACKET. THERMAL CONDUCTIVITY RANGE OF 0.22-0.28 (BTU*IN)/(H*FT^2°F). INSULATION SHALL BE SUBJECT TO COMPLIANCE WITH REQUIREMENTS AND SHALL BE ONE OF THE FOLLOWING MANUFACTURERS UNLESS OTHERWISE NOTED: FIBREX

INSULATIONS (COREPLUS 1200), JOHNS MANVILLE (MICRO-LOK), KNAUF INSULATION (1000-DEGREE PIPE INSULATION, MANSON INSULATION (ALLEY-K), OR OWENS INSULATION JACKETS A. PIPING LOCATED WITHIN MECHANICAL ROOMS OR EXPOSED IN FINISH SPACES SHALL HAVE PVC JACKETS MANUFACTURED FROM HIGH-IMPACT, GLOSS WHITE, UV-RESISTANT POLYVINYL. MINIMUM JACKETING THICKNESS SHALL BE 20 MIL FOR INDOOR APPLICATIONS. PVC JACKETS SHALL BE JOHNS MANVILLE "ZESTON 2000 PVC",

OR APPROVED EQUAL. PIPING LOCATED EXTERIOR SHALL BE INSTALLED PER MECHANICAL DETAILS. EXTERIOR PIPING SHALL HAVE ALUMINUM JACKETS FIELD OR FACTORY APPLIED. SEALED, AND MADE OF 0.016 INCH THICK SHEET, SMOOTH FINISH, WITH LONGITUDINAL SLIP JOINTS AND 2" LAPS, DIE SHAPED FITTING COVERS WITH FACTORY ATTACHED PROTECTIVE LINER.

ALL PIPING AND JOINING METHODS SHALL BE PROVIDED AS SPECIFIED. ALL PIPING SHALL BE TESTED IN ACCORDANCE TO APPLICABLE CODES. ALL PIPING SHALL NOT BE CONCEALED OR INSULATED UNTIL APPROPRIATE INSPECTIONS BY AUTHORITIES HAVING JURISDICTION HAVE BEEN COMPLETED.

SANITARY AND VENT PIPING: SANITARY, VENT, STORM, AND STORM OVERFLOW PIPING SHALL COMPLY WITH ASTM A 888 OR CISPI 301. PIPE SHALL BE CAST VERTICALLY OR BY CENTRIFUGAL PROCESS AND THE INSIDE AND OUTSIDE DIAMETERS SHALL BE CONCENTRIC, SMOOTH, AND FREE FROM CRACKS, SAND HOLES, AND OTHER DEFECTS. SHIELD COUPLINGS SHALL BE A ASTM C 1277 ASSEMBLY OF 304 STAINLESS-STEEL SHIELD, STAINLESS-STEEL BANDS AND TIGHTENING DEVICES, AND ASTM C 564, RUBBER SLEEVE. COUPLINGS 4 INCHES IN SIZE AND SMALLER SHALL CONSIST OF A 3 INCH WIDE SHIELD WITH 4 CLAMPS. COUPLINGS 5 INCHES THROUGH 10 INCHES IN SIZE SHALL CONSIST OF 4 INCH WIDE SHIELD WITH 6 CLAMPS. FLEXIBLE, NONPRESSURE PIPE COUPLINGS SHALL COMPLY WITH ASTM C 1173, ELASTOMERIC, SLEEVE-TYPE, REDUCING OR TRANSITION PATTERN. INCLUDE SHEAR RING, ENDS OF SAME SIZES AS PIPING TO BE JOINED, AND CORROSION-RESISTANT-METAL TENSION BAND AND

TIGHTENING MECHANISM ON EACH END INSTALL CAST-IRON SOIL PIPING ACCORDING TO CISPI'S "CAST IRON SOIL PIPE AND FITTINGS HANDBOOK," CHAPTER IV, "INSTALLATION OF CAST IRON SOIL PIPE AND FITTINGS." INSTALL ENCASEMENT ON UNDERGROUND PIPING ACCORDING TO ASTM A 674 OR AWWA C105.

INSTALL PIPING WITH 1 PERCENT SLOPES IN THE DIRECTION OF FLOW UNLESS OTHERWISE NOTED UTILIZING APPROPRIATE BRANCH AND BENDS PROVIDING

PROVIDE SLEEVE AND MECHANICAL SLEEVE SEALS AT ALL EXTERIOR AND SLAB ON GRADE PENETRATIONS. DOMESTIC COLD WATER PIPING:

ABOVEGROUND DOMESTIC WATER PIPING, NPS 4 AND SMALLER, SHALL BE HARD COPPER TUBE, ASTM B 88, TYPE L; WROUGHT-COPPER SOLDER-JOINT FITTINGS; AND SOLDERED JOINTS. DRINKING FOUNTAIN DRAIN PIPING:

EQUIPMENT DRAIN PIPING SHALL BE TYPE DWV, DRAWN-TEMPER COPPER TUBING, WROUGHT-COPPER FITTINGS, AND SOLDERED JOINTS. DOMESTIC WATER PIPING SPECIALTIES:

DOMESTIC WATER PIPING DEVICES AND SPECIALTIES SHALL BE SUBJECT TO COMPLIANCE WITH REQUIREMENTS AND SHALL BE ONE OF THE FOLLOWING MANUFACTURERS: BELL & GOSSETT OR TACO. FLEXIBLE CONNECTORS SHALL BE STAINLESS STEEL BELLOW TYPE WITH A CWP RATING OF 150 PSIG AND A MAXIMUM OPERATING TEMPERATURE OF 250 DEGREES.

PLUMBING FIXTURES

ALL URINALS SHALL COMPLY WITH ASME A112.19.2/CSA B45.1 AND ASME A112.19.5. PROVIDE VITREOUS CHINA, SIPHON JET, WALL HUNG, BACK OUTLET TOP SPUD URINAL AND WASTE FITTING COMPLYING WITH ASME A 112.18.2 AND ASME A112.6.1M, TYPE I, URINAL CARRIER WITH FIXTURE SUPPORT PLATES AND COUPLING WITH SEAL AND FIXTURE BOLTS AND HARDWARE MATCHING FIXTURE. SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY ONE OF THE FOLLOWING: AMERICAN STANDARD, KOHLER, OR ZURN. WATER CLOSETS

A. ALL WATER CLOSETS SHALL COMPLY WITH ASME A112.19.2/CSA B45.1 AND ASME A112.19.5. PROVIDE VITREOUS CHINA, SIPHON JET, ELONGATED WATER CLOSET WITH TOP SPUD AND BOWL TO DRAIN CONNECTION FITTING COMPLYING WITH ASME A 112.4.3. REFER TO FIXTURE SCHEDULE FOR HEIGHT. SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY ONE OF THE FOLLOWING: AMERICAN STANDARD, KOHLER, OR ZURN.

WATER CLOSET FLUSH VALVE EXPOSED, LEVER-HANDLE, CHROME PLATED, BRASS BODY, CORROSION RESISTANT FLUSH VALVE SHALL COMPLY WITH ASME ASSE1037, HAVE A MINIMUM PRESURE RATING OF 125 PSIG AND FEATURE INTEGRAL CHECK STOP AND BACKFLOW PREVENTION DEVICE AND MINIMUM NSP 1 INLET AND NPS 1-1/4 OUTLET. SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY ONE OF THE FOLLOWING: AMERICAN STANDARD, KOHLER, SLOAN, OR ZURN.

URINAL FLUSH VALVE A. EXPOSED, LEVER-HANDLE, CHROME PLATED, BRASS BODY, CORROSION RESISTANT FLUSH VALVE SHALL COMPLY WITH ASME ASSE1037, HAVE A MINIMUM PRESURE RATING OF 125 PSIG AND FEATURE INTEGRAL CHECK STOP AND BACKFLOW PREVENTION DEVICE AND MINIMUM NSP 3/4 INLET AND NPS 3/4 OUTLET. SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY ONE OF THE FOLLOWING: AMERICAN STANDARD, KOHLER, SLOAN, OR ZURN.

A. SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY ONE OF THE FOLLOWING: AMERICAN STANDARD, BEMIS MANUFACTURING, CENTOCO, CHURCH SEATS, KOHLER, OR ZURN.

LAVATORIES

ALL FAUCETS SERVING POTABLE WATER SHALL BE NSF 372 RATED.

FAUCETS SHALL BE MANUAL METERING-TYPE, WITH SOLID BRASS VALVE AND INCLUDE COLD WATER INDICATOR. FAUCET WILL COMPLY WITH ASME A112.18.1 AND UL 1951. THE ELECTRICAL COMPONENTS AND ACCESSORIES WILL BE LISTED AND LABELED AS DEFINED IN NFPA 70, BY A QUALIFIED TESTING AGENCY, AND MARKED FOR INTENDED LOCATION AND APPLICATION. CONTRACTOR WILL COORDINATE SUPPLIES AND FIXTURE HOLE PUNCHINGS WITH BASIN

BASIN WILL BE VITREOUS CHINA, OVAL UNDERMOUNT SINK WITH DRAIN LOCATION NEAR BACK OF COMPARTMENT AND FRONT OVERFLOW. SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY ONE OF THE FOLLOWING: AMERICAN STANDARD, KOHLER, OR ZURN. SUPPLY FITTINGS WILL BE CHROME PLATES BRASS COMPRESSION STOP WITH INLET CONNECTION MATCHING WATER SUPPLY PIPING TYPE AND SIZE, LOOSE KEY OPERATION, NPS 1/2 RISERS, AND COMPLY WITH ASME A112.18.1.

WASTE FITTINGS WILL BE 1-1/2" CHROME PLATED, TWO PIECE, CAST BRASS TRAP AND GROUND JOINT SWIVEL ELBOW WITH 0.032 INCH THICK BRASS TUBE TO WALL AND CHROME PLATED BRASS OR STEEL WALL FLANGE AND WILL COMPLY WITH ASME A112.18.2. PROVIDE GRID TYPE DRAIN WITH NPS 1-1/2 OFFSET AND STRAIGHT TAILPIECE.

INSTALL WALL FLANGES OR ESCUTCHEONS AT PIPING WALL PENETRATIONS IN EXPOSED, FINISHED LOCATIONS. USE DEEP-PATTERN ESCUTCHEONS IF

REQUIRED TO CONCEAL PROTRUDING FITTINGS. SEAL JOINTS BETWEEN LAVS AND COUNTERS, FLOORS, AND WALLS USING SANITARY-TYPE, ONE-PART, MILDEW-RESISTANT SILICONE SEALANT. MATCH SEALANT COLOR TO FIXTURE COLOR. H. INSTALL WATER-SUPPLY PIPING WITH STOP ON EACH SUPPLY TO EACH SINK FAUCET. INSTALL STOPS IN LOCATIONS WHERE THEY CAN BE EASILY

INSTALL PROTECTIVE SHIELDING PIPE COVERS AND ENCLOSURES ON EXPOSED SUPPLIES AND WASTE PIPING OF ACCESSIBLE SINKS. SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY ONE OF THE FOLLOWING: TRUEBRO OR ZURN. WHERE INSTALLING PIPING ADJACENT TO FIXTURES, ALLOW SPACE FOR SERVICE AND MAINTENANCE.

DRINKING FOUNTAINS SHALL BE SUBJECT TO COMPLIANCE WITH REQUIREMENTS AND SHALL BE ONE OF THE FOLLOWING MANUFACTURERS UNLESS OTHERWISE NOTED: ELKAY, HALSEY TAYLOR, OR HAWS.

DRINKING FOUNTAINS SHALL COMPLY WITH ASME A112.19.3/CSA B45.4, NSF 61, AND NSF 372. PROVIDE ONE BUBBLER WITH ADJUSTABLE STREAM REGULATOR ON EACH CABINET DECK WITH PUSH BUTTON CONTROL. PROVIDE WITH DRAIN TUBE AND HOSE END DRAIN DOWN VALVE. PROVIDE COMPLETE WITH SUPPLY, DRAIN AND WASTE FITTING AND ASME A112.6.1M, TYPE III LAVATORY CARRIER.

OPERATE AND ADJUST FIXTURES AND CONTROLS. REPLACE DAMAGED AND MALFUNCTIONING FIXTURES, FITTINGS, AND CONTROLS.

FIELD QUALITY CONTROL

PERFORM THE FOLLOWING TESTS AND INSPECTIONS:

A. PIPING INSPECTIONS: A. DO NOT ENCLOSE, COVER, OR PUT PIPING INTO OPERATION UNTIL IT HAS BEEN INSPECTED AND APPROVED BY AUTHORITIES HAVING

DURING INSTALLATION, NOTIFY AUTHORITIES HAVING JURISDICTION AT LEAST ONE DAY BEFORE INSPECTION MUST BE MADE. PERFORM TESTS SPECIFIED BELOW IN PRESENCE OF AUTHORITIES HAVING JURISDICTION. ROUGHING-IN INSPECTION: ARRANGE FOR INSPECTION OF PIPING BEFORE CONCEALING OR CLOSING IN AFTER ROUGHING IN AND BEFORE SETTING FIXTURES. 2) FINAL INSPECTION: ARRANGE FOR AUTHORITIES HAVING JURISDICTION TO OBSERVE TESTS SPECIFIED IN PIPING TESTS SUBPARAGRAPH

BELOW AND TO ENSURE COMPLIANCE WITH REQUIREMENTS. REINSPECTION: IF AUTHORITIES HAVING JURISDICTION FIND THAT PIPING WILL NOT PASS TESTS OR INSPECTIONS, MAKE REQUIRED

CORRECTIONS AND ARRANGE FOR REINSPECTION. REPORTS: PREPARE INSPECTION REPORTS AND HAVE THEM SIGNED BY AUTHORITIES HAVING JURISDICTION.

FILL DOMESTIC WATER PIPING. CHECK COMPONENTS TO DETERMINE THAT THEY ARE NOT AIR BOUND AND THAT PIPING IS FULL OF WATER. TEST FOR LEAKS AND DEFECTS IN NEW PIPING AND PARTS OF EXISTING PIPING THAT HAVE BEEN ALTERED, EXTENDED, OR REPAIRED. IF TESTING IS PERFORMED IN SEGMENTS, SUBMIT A SEPARATE REPORT FOR EACH TEST, COMPLETE WITH DIAGRAM OF PORTION OF PIPING TESTED. LEAVE NEW, ALTERED, EXTENDED, OR REPLACED DOMESTIC WATER PIPING UNCOVERED AND UNCONCEALED UNTIL IT HAS BEEN TESTED AND APPROVED. EXPOSE WORK THAT WAS COVERED OR CONCEALED BEFORE IT WAS TESTED.

CAP AND SUBJECT PIPING TO STATIC WATER PRESSURE OF 50 PSIG ABOVE OPERATING PRESSURE, WITHOUT EXCEEDING PRESSURE RATING IF PIPING SYSTEM MATERIALS. ISOLATE TEST SOURCE AND ALLOW IT TO STAND FOR 4 HOURS. LEAKS AND LOSS IN TEST PRESSURE CONSTITUTI DEFECTS THAT MUST BE REPAIRED.

REPAIR LEAKS AND DEFECTS WITH NEW MATERIALS, AND RETEST PIPING OR PORTION THEREOF UNTIL SATISFACTORY RESULTS ARE OBTAINED.

F. PREPARE REPORTS FOR TESTS AND FOR CORRECTIVE ACTION REQUIRED. DOMESTIC WATER PIPING WILL BE CONSIDERED DEFECTIVE IF IT DOES NOT PASS TESTS AND INSPECTIONS.

PREPARE TEST AND INSPECTION REPORTS.

CLEANING

CLEAN AND DISINFECT POTABLE DOMESTIC WATER PIPING AS FOLLOWS: PURGE NEW PIPING AND PARTS OF EXISTING PIPING THAT HAVE BEEN ALTERED, EXTENDED, OR REPAIRED BEFORE USING. USE PURGING AND DISINFECTING PROCEDURES PRESCRIBED BY AUTHORITIES HAVING JURISDICTION; IF METHODS ARE NOT PRESCRIBED, USE PROCEDURES DESCRIBED IN EITHER AWWA C651 OR AWWA C652 OR FOLLOW PROCEDURES DESCRIBED BELOW

FLUSH PIPING SYSTEM WITH CLEAN, POTABLE WATER UNTIL DIRTY WATER DOES NOT APPEAR AT OUTLETS. FILL AND ISOLATE SYSTEM ACCORDING TO FITHER OF THE FOLLOWING:

FILL SYSTEM OR PART THEREOF WITH WATER/CHLORINE SOLUTION WITH AT LEAST 50 PPM OF CHLORINE. ISOLATE WITH VALVES AND ALLOW TO STAND FOR 24 HOURS FILL SYSTEM OF PART THEREOF WITH WATER/CHLORINE SOLUTION WITH AT LEAST 200 PPM OF CHLORINE. ISOLATE AND ALLOW TO STAND FLUSH SYSTEM WITH CLEAN, POTABLE WATER UNTIL NO CHLORINE IS IN WATER COMING FROM SYSTEM AFTER THE STANDING TIME.

REPEAT PROCEDURES IF BIOLOGICAL EXAMINATION SHOWS CONTAMINATION. SUBMIT WATER SAMPLES IN STERILE BOTTLES TO AUTHORITIES HAVING JURISDICTION.

PREPARE AND SUBMIT REPORTS OF PURGING AND DISINFECTING ACTIVITIES. INCLUDE COPIES OF WATER SAMPLE APPROVALS FROM AUTHORITIES HAVING JURISDICTION CLEAN INTERIOR OF DOMESTIC WATER PIPING SYSTEM. REMOVE DIRT AND DEBRIS AS WORK PROGRESSES.

FIXTURE CLEANING AND PROTECTION AFTER COMPLETING INSTALLATION OF FIXTURES, INSPECT AND REPAIR DAMAGED FINISHES.

CLEAN FIXTURES, FAUCETS, AND OTHER FITTINGS WITH MANUFACTURERS' RECOMMENDED CLEANING METHODS AND MATERIALS.

PROVIDE PROTECTIVE COVERING FOR INSTALLED FIXTURES AND FITTINGS. DO NOT ALLOW USE OF FIXTURES FOR TEMPORARY FACILITIES UNLESS APPROVED IN WRITING BY OWNER.

			P	LUM	BING FIXTURES SCHEDULE			
FIXTURE	CONNECTION SIZES			ES	NOTES			
FIXTORE	SAN	VENT	TRAP DCW		NOTES			
DRINKING FOUNTAIN (DF-1)	1-1/2"	1-1/2'	1-1/2'	1/2"	ELKAY MODEL LK4406 BI-LEVEL, NON-FILTERED, NON-REFRIGERATED, VANDAL RESISTANT, HEAVY DUTY 316 STAINLESS STEEL DRINKING FOUNTAIN WITH STANDARD FINISH COLOR DETERMINED BY ARCHITECT. PROVIDE WITH IN WALL CARRIER, 1-1/2" TRAP, AND 3/4" SUPPLY STOP.			
LAVATORY (LAV-1)	1-1/2"	1-1/2"	1-1/2"	1/2"	AMERICAN STANDARD UNDERMOUNT VITREOUS CHINA LAVATORY "OVALYN" MODEL 3461,001 WITH CHICAGO FAUCET 0.5 GPM METERED FAUCET MODEL 333-E2805-665PSHAB. PROVIDE GRII DRAIN, 1-1/2" TAILPIECE, P-TRAP, AND QUARTER TURN ANGLE SUPPLIES.			
ADA URINAL (UR-1)	3"	1-1/2"	INTEGRAL	3/4"	AMERICAN STANDARD WALL HUNG VITREOUS CHINA "WASHBROOK FLOWISE" MODEL 6590.001EC 1.0 GPF URINAL SLOAN ROYAL 186-1.0 CHROME PLATED URINAL FLUSHVALVE. PROVIDE IN WALL CARRIER. MOUNT AT ADA HEIGHT.			
WATER CLOSET (WC-1)	4"	2"	INTEGRAL	1-1/2"	AMERICAN STANDARD VITREOUS CHINA STANDARD HEIGHT FLOOR MOUNTED WATER CLOSET "MADERA" MODEL 3451,001 WITH SLOAN ROYAL 111-1.6 CHROME PLATED WATER CLOSET FLUSHVALVE. PROVIDE CENTOCO MODEL 500STSCC TOILET SEAT.			
ADA WATER CLOSET (WC-2)	4"	2"	INTEGRAL	1-1/2"	AMERICAN STANDARD VITREOUS CHINA ADA HEIGHT FLOOR MOUNTED WATER CLOSET "MADERA" MODEL 3461.001 WITH SLOAN ROYAL 111-1.6 CHROME PLATED WATER CLOSET FLUSHVALVE. PROVIDE CENTOCO MODEL 500STSCC TOILET SEAT.			

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Client/Project Logo



THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY
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Client/Project Ypsilanti Township

Loonfeather Point Park Development

Ypsilanti, Ml

SPEC AND FIXTURE SCHEDULE

Project No. 2075154400

Drawing No. Revision

Scale