

**Park  
Commission**

7200 S. Huron River Drive  
Ypsilanti, MI 48197  
Phone: 734-544-3800  
Fax: 734-544-3888  
www.ytown.org



David Streeter, Chair  
Tajalli Hodge, Vice Chair  
Brad O'Conner, Treasurer  
Jeff Neel, Secretary

Commissioners:  
Brad Hine  
Darrell Kirby  
Star Smith

*Charter Township of Ypsilanti*

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**YPSILANTI TOWNSHIP PARK  
COMMISSION**

**REGULAR MEETING**

Date: Monday, April 5, 2021

Time: 6:30 P.M.

**LOCATION**

Online via Zoom Webinar  
Ypsilanti Township Civic Center  
7200 S. Huron River Drive  
Ypsilanti, Michigan 48197

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*Charter Township of Ypsilanti*

**Charter Township of Ypsilanti  
Public Meeting Notice  
Park Commission Regular Meeting  
April 5, 2021 at 6:30pm**

**PLEASE TAKE NOTICE** that the Charter Township of Ypsilanti Park Commission will hold a Regular Meeting scheduled for April 5, 2021 at 6:30pm. This meeting will be conducted virtually (online and/or by phone), due to health concerns surrounding Coronavirus/COVID-19 under the Governor of Michigan's Executive Orders 2020-15 and 2020- 21.

Public comment will be handled by the "Raise Hand" method as instructed below within Participant Controls.

If you need any assistance due to a disability please contact Mike Hoffmeister at least 48 hours in advance of the meeting at mhoffmeister@ytown.org or 734-544-3515.

**Meeting Information:**

You are invited to a Zoom webinar.  
When: April 5, 2021 06:30 PM Eastern Time (US and Canada)  
Topic: Charter Township of Ypsilanti Park Commission

Please click the link below to join the webinar:  
<https://ytown.zoom.us/j/93936756086>

Webinar ID: 939 3675 6086

Or iPhone one-tap :  
US: +13126266799, 93936756086# or +19292056099, 93936756086#

Or Telephone:  
Dial (for higher quality, dial a number based on your current location):

US: +1 312 626 6799 or +1 929 205 6099 or +1 301 715 8592 or +1 346 248 7799 or +1 669 900 6833 or +1 253 215 8782

International numbers available: <https://ytown.zoom.us/j/aJXjr2xBX>

### **Zoom Instructions for Participants**

#### **To join the conference by phone:**

1. On your phone, dial the teleconferencing number provided above.
2. Enter the Meeting ID number (also provided above) when prompted using your touch- tone (DTMF) keypad.

#### **Before a videoconference:**

1. You will need a computer, tablet, or smartphone with speaker or headphones. You will have the opportunity to check your audio immediately upon joining a meeting.
2. Details, phone numbers, and links to videoconference or conference call is provided below. The details include a link to "Join via computer" as well as phone numbers for a conference call option. It will also include the 9-digit Meeting ID.

#### **To join the videoconference:**

1. At the start time of your meeting, enter the link to join via computer. You may be instructed to download the Zoom application.
2. You have an opportunity to test your audio at this point by clicking on "Test Computer Audio." Once you are satisfied that your audio works, click on "Join audio by computer."

You may also join a meeting without the link by going to [join.zoom.us](https://join.zoom.us) on any browser and entering the Meeting ID provided.

If you are having trouble hearing the meeting, you can join via telephone while remaining on the video conference:

1. On your phone, dial the teleconferencing number.
2. Enter the Meeting ID number (also provided above) when prompted using your touch- tone (DTMF) keypad.
3. If you have already joined the meeting via computer, you will have the option to enter your 2- digit participant ID to be associated with your computer.

**AGENDA OF THE APRIL 5, 2021 REGULAR MEETING**

- I. Call to Order**
- II. Roll Call**
- III. Determination of Quorum**
- IV. Approval of Agenda**
- V. Approval of Minutes**
- VI. Citizens Participation**
- VII. Reports**
  - A. Staff Reports**
  - B. Commissioner Reports**
- VIII. Unfinished Business**
  - A. Dog park – Update
- IX. New Business**
- X. Announcements**
- XI. Recommendations to the Township Board**
- XII. Adjournment**



**CHARTER TOWNSHIP OF YPSILANTI  
PARK COMMISSION  
PROPOSED MINUTES OF THE MARCH 1, 2021 REGULAR MEETING**

*Park Commission Agendas and Minutes are available on the township website at  
<https://ytown.org/park-commission>*

**I. Call to Order**

Commission Chair Streeter called the meeting to order at 6:32 p.m. via virtual public Zoom meeting.

**II. Roll Call**

**Commissioners Present:** Brad Hine, Tajalli Hodge, Darrell Kirby, Jeff Neel, Brad O’Conner, Star Smith, David Streeter

**Commissioners Not Present:** none

**Staff Present:** Mike Hoffmeister, Angela Verges, John Hines, Robin Castle-Hine

**III. Determination of Quorum**

Quorum present

**IV. Approval of Agenda**

Motion to approve the agenda made by Darrell Kirby

Seconded by Star Smith

Motion Carried Unanimously

**V. Approval of Minutes – October 5, 2020 Regular Meeting**

Motion to approve February 1, 2020 minutes made by Darrell Kirby

Seconded by Brad O’Conner

Motion Carried Unanimously

**VI. Citizens Participation**

None

**VII. Reports**

**A. Staff Reports**

Mike Hoffmeister: 1) Loonfeather Park renovation plan will be made available soon. 2) Solomon Diving hired to inspect boat launch at Ford Lake Park - found 5 pipes sticking up and concern about concrete slabs sliding into lake due to voids under slabs. No decision yet about how to proceed. Also looking into adding more boat launches. 3) Hewen’s Creek has largest ironwood tree in state – considering commissioning a plaque to commemorate. Also looking into expanding parking. 4) Investigating installing fence along Harris Road Park baseball fields abutting Amtrack route. There is a meeting on Wednesday with MDOT to explore options and hope is to get this done sometime during the summer. 5) New YMCA MOU moving forward to offer joint programs. 6) The skate park has been officially awarded a Facility Design Award by mParks.

Discussion: Mike Hoffmeister informed participants that the township budgets for maintenance, repair, and upkeep and that is a major source of funding for many projects, along with grants and awards from various agencies.

Angie Verges: Sierra Club will lead nature walks in April and May, more to follow. Applied for \$2500 Archery grant to purchase equipment. Applications being accepted for park rangers and

attendants. Brad O’Conner asked about limitations to events and gatherings at parks due to Covid restrictions. Angie said no new directions yet from governor/state.

Robin Castle: the township needs maintenance workers, park rangers and attendants, and golf grounds workers. Rosie the Riveter festival still on track. Tajalli Hodge asked about numbers of staff needed; varies by job but more is better to cover for vacations, etc.

## **B. Commissioner Reports**

Brad Hine visited all proposed locations for dog parks. Thinks commissioners should visit as a group. Tajalli Hodge mentioned that if quorum (4 of 7) were to meet, it would constitute an official meeting and would need to be publicly posted 2 weeks in advance. David Streeter to investigate regulations.

Tajalli Hodge gave an update on Sugarbrush Park/Native Garden mParks grant for \$2500. Investigating additional grants for this program.

## **VIII. Unfinished Business**

Dog park–Chris Nordstrom: Carlisle Wortman. FAQ document discussion: Noise study, safety, sanitation, and location are main issues. Injuries are rare; dog owners are largely self-policing. Sanitation and run-off into lake are concerns but local dog parks in Saline and Whitmore Lake have not had any problems. Also, there are ways to set up barriers to filter run-off before entering the lake. Heritage, Ford Lake, or Lakeside are currently the 3 top locations. Ford Lake seems the best option due to gated entrance, parking, and facilities. Heritage has sufficient parking but close to residences and major location for sports and playground – and would involve lots of underbrush removal. Lakeside Park has insufficient parking and facility is heavily used by local rowing teams throughout summer and early fall.

Details of plan: <https://en.calameo.com/read/0051076738fb6c2bdb77a>

Web site for community feedback/exposure: <https://www.ytowntdogpark.com/>

Tajalli Hodge expressed concerns about placing too close to roadways. Brad O’Conner asked about water availability; Chris Nordstrom replied water is not required but adds significant cost. Jeff Neel asked about rowing usage at Lakeside: Hoffmeister says heavily used throughout summer and into fall. Brad Hine asked about liability in case of dog bites, etc. Ford Lake is gated so can ensure that dogs are licensed, and prominent signage is extremely important in setting rules, addressing liability issues.

Chris Nordstrom will revisit Board after first survey closes to discuss results.

## **IX. New Business**

Request for Spicer Group to apply on behalf of Ypsilanti Township for a Land and Water Conservation Fund MDNR grant to make improvements to Clubview Park. The tennis courts at Clubview Park have deteriorated to the point they are unsafe for use. The proposed improvements project is consistent with our Parks and Recreation Master Plan.

## **X. Public Hearing**

Public comments regarding the Land and Water Conservation Fund grant application for improvements to Clubview Park. The township applied for two MDNR grants but was only awarded one grant; Spicer Group to help with proposal and application.

Official hearing opened at 7:45 pm

Motion to approve authorization of Spicer to help with application made by Brad O'Conner,  
Supported by Darrell Kirby.  
Passed unanimously

**No citizens in attendance**  
**Hearing closed at 7:47 pm.**

**XI. Announcements**

None

**XII. Recommendations to the Township Board**

Recommendation to adopt a resolution to authorize submittal of a Land and Water Conservation Fund grant through the MDNR for improvements at Clubview Park. The resolution also commits to the required local match. Total project cost is estimated at \$295,000. This grant has a 50% local match requirement, so the grant will fund \$147,500 and will require \$147,500 of local funds.

**XIII. Adjournment**

Motion to adjourn made by Tajalli Hodge  
Seconded by Darrell Kirby  
Motion Carried Unanimously  
Meeting Adjourned at 7:48p.m.

Minutes taken and prepared by Jeff Neel, Secretary





YPSILANTI CHARTER TOWNSHIP

LOONFEATHER POINT PARK  
IMPROVEMENTS



FINAL PLAN SET  
MARCH, 2021  
PROJECT NUMBER: 2075154400



PROJECT LOCATION MAPS  
NOT TO SCALE

CIVIL DRAWING INDEX		
Sheet Description	Sheet Number	Sheet Title
G-001	01	COVER SHEET
G-002	02	GENERAL NOTES, LEGEND, ABBREVIATIONS AND SYMBOLS
C-001	03	OVERALL EXISTING CONDITIONS
C-002	04	OVERALL PROPOSED SITE PLAN
C-100	05	DEMOLITION AND SOIL EROSION CONTROL - NORTH
C-101	06	DEMOLITION AND SOIL EROSION CONTROL - SOUTH
C-300	07	TRAIL PLAN AND PROFILE
C-301	08	TRAIL PLAN AND PROFILE
C-400	09	DETAILED SITE PLAN - ADA CONNECTIONS
C-401	10	DETAILED SITE PLAN - RAIN GARDEN
C-500	11	PROJECT DETAILS I
C-501	12	PROJECT DETAILS II

ARCHITECTURAL DRAWING INDEX		
Sheet Description	Sheet Number	Sheet Title
A-01A	13	FLOOR PLAN - GATEHOUSE
A-01B	14	FLOOR PLAN - RESTROOMS
A-01C	15	FLOOR PLAN - PAVILION A
A-01D	16	FLOOR PLAN - PAVILION B
A-02A	17	ELEVATIONS - GATEHOUSE
A-02B	18	ELEVATIONS - RESTROOMS
A-02C	19	ELEVATIONS - PAVILION A
A-02D	20	ELEVATIONS - PAVILION B
A-02E	21	ELEVATIONS - PAVILION B
A-03	22	INTERIOR ELEVATIONS - RESTROOMS
A-04	23	DETAILS - PAVILION BRACING REPLACEMENT
P-01	24	SPEC AND FIXTURE SCHEDULE



## D

- C

## B

- A

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## 5



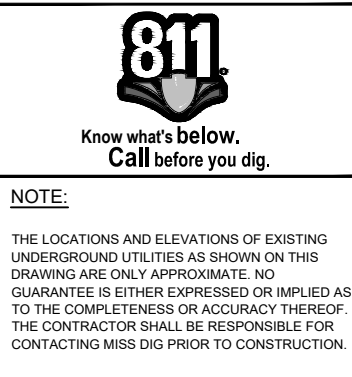
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## Notes

2	FINAL PLANS	CAM	MDP		2021.03.01
	PRELIMINARY SET	CAM	MDP		2021.02.09
Issued		By	Appd		YYYY.MM.DD
	JDA	CAM	Mdp		2020.03.10
File Name: I 54600_G-002	Dwn.	Dsign.	Chkd.		YYYY.MM.DD

Client/Project Logo



LOONFEATHER POINT PARK  
DEVELOPMENT

GENERAL NOTES, LEGEND,  
ABBREVIATIONS AND SYMBOLS

Project No.	Scale
2075154400	

Revision	Sheet	Drawing No.
0	02 of 24	G-002

# G-002



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Notes

1. TOPOGRAPHY DATE: 01/29/2019  
RESOURCE: [HTTPS://CONTOURS.SEMCOG.ORG/](https://contours.semcog.org/)
2. EXISTING UTILITY DATA WITHIN PARK IS BASED ON DATA FROM 1990 AS-BUILT PARK PLANS. UTILITIES MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO DIGGING.

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File Name: 154400C-001		Dwn.	Dgn.	Chkd.
				YYYY.MM.DD

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Client/Project  
YPSILANTI TOWNSHIP

LOONFEATHER POINT PARK  
DEVELOPMENT

Ypsilanti, Michigan

Title

## EXISTING CONDITIONS

Project No.  
2075154400

Revision Sheet  
0 03 of 24

Scale  
0 80' 160'

Drawing No.  
C 001



PLAN VIEW



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Notes

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RESOURCE: [HTTPS://CONTOURS.SEMCOG.ORG/](https://contours.semcog.org/)

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YPSILANTI TOWNSHIP

LOONFEATHER POINT PARK  
DEVELOPMENT

Ypsilanti, Michigan

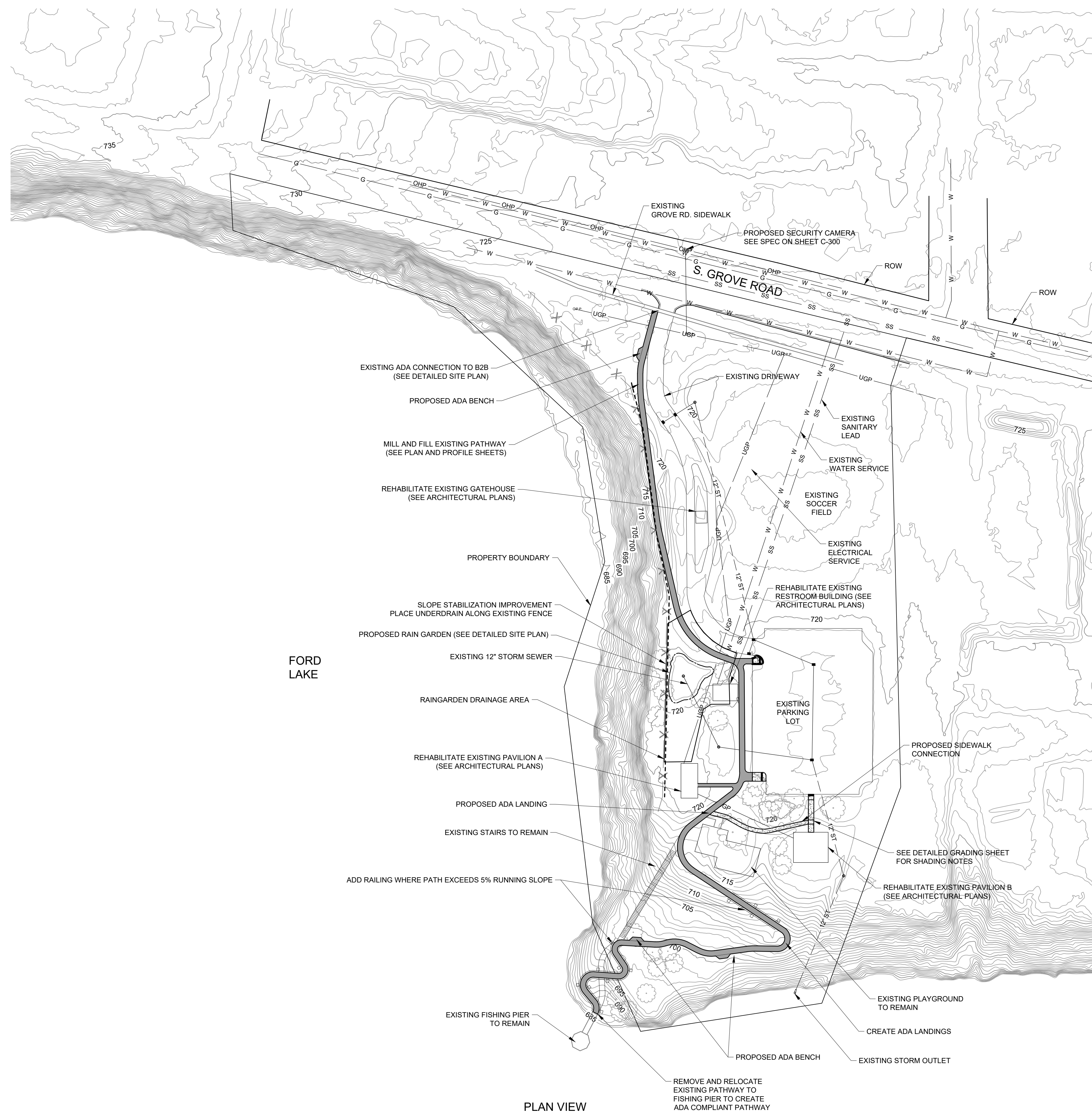
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OVERALL PROPOSED  
SITE PLAN

Project No.  
2075154400

Revision Sheet  
0 04 of 24

Scale  
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Drawing No.  
C 003



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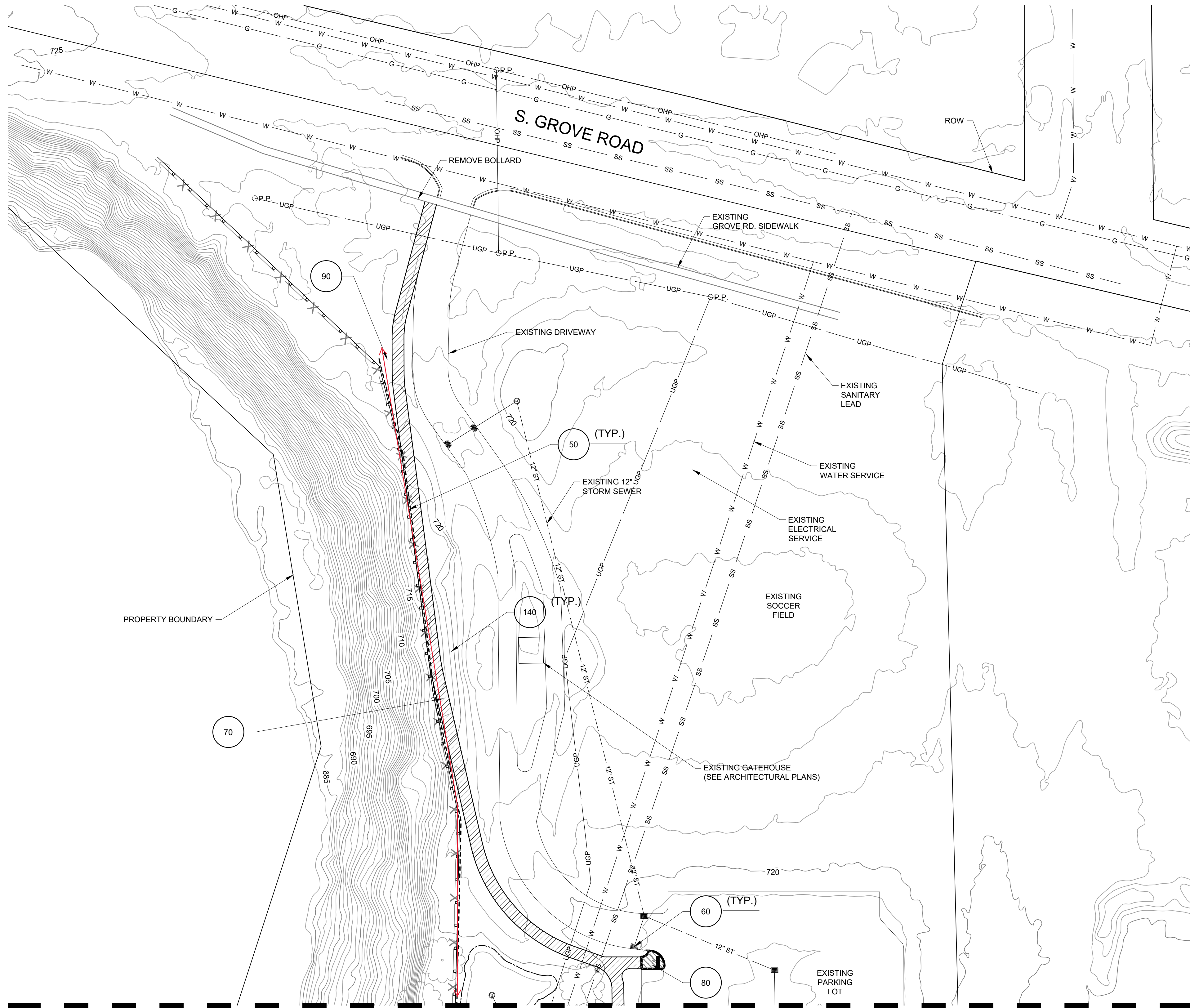


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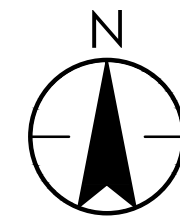
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MATCH LINE - SHEET C-101

PLAN VIEW: NORTH SECTION



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Ann Arbor MI 48108-2771  
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Notes

- 50 SILT FENCE PLACED ALONG EXISTING FENCELINE, SEE DETAIL SHEET C-500
- 60 INLET FILTER, SEE DETAIL SHEET C-500
- 70 REMOVE HMA SURFACE TO EXISTING AGGREGATE BASE, SEE CROSS SECTION SHEET C-500
- 80 REMOVE CONCRETE RAMPS
- 90 REMOVE EXISTING BENCH
- 140 TREE PROTECTION, SEE DETAIL SHEET C-501

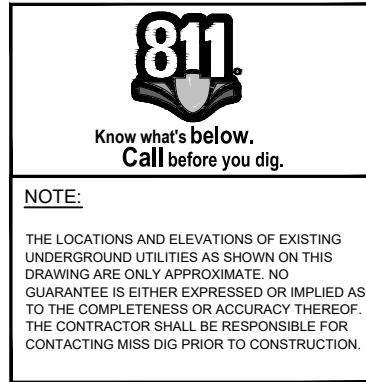
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LOONFEATHER POINT PARK  
DEVELOPMENT

Ypsilanti, Michigan

Title

DEMOLITION AND SOIL EROSION  
CONTROL PLAN

Project No.

2075154400

Revision Sheet

0

05 of 24

Scale

0 40' 80'

Drawing No.

C-100



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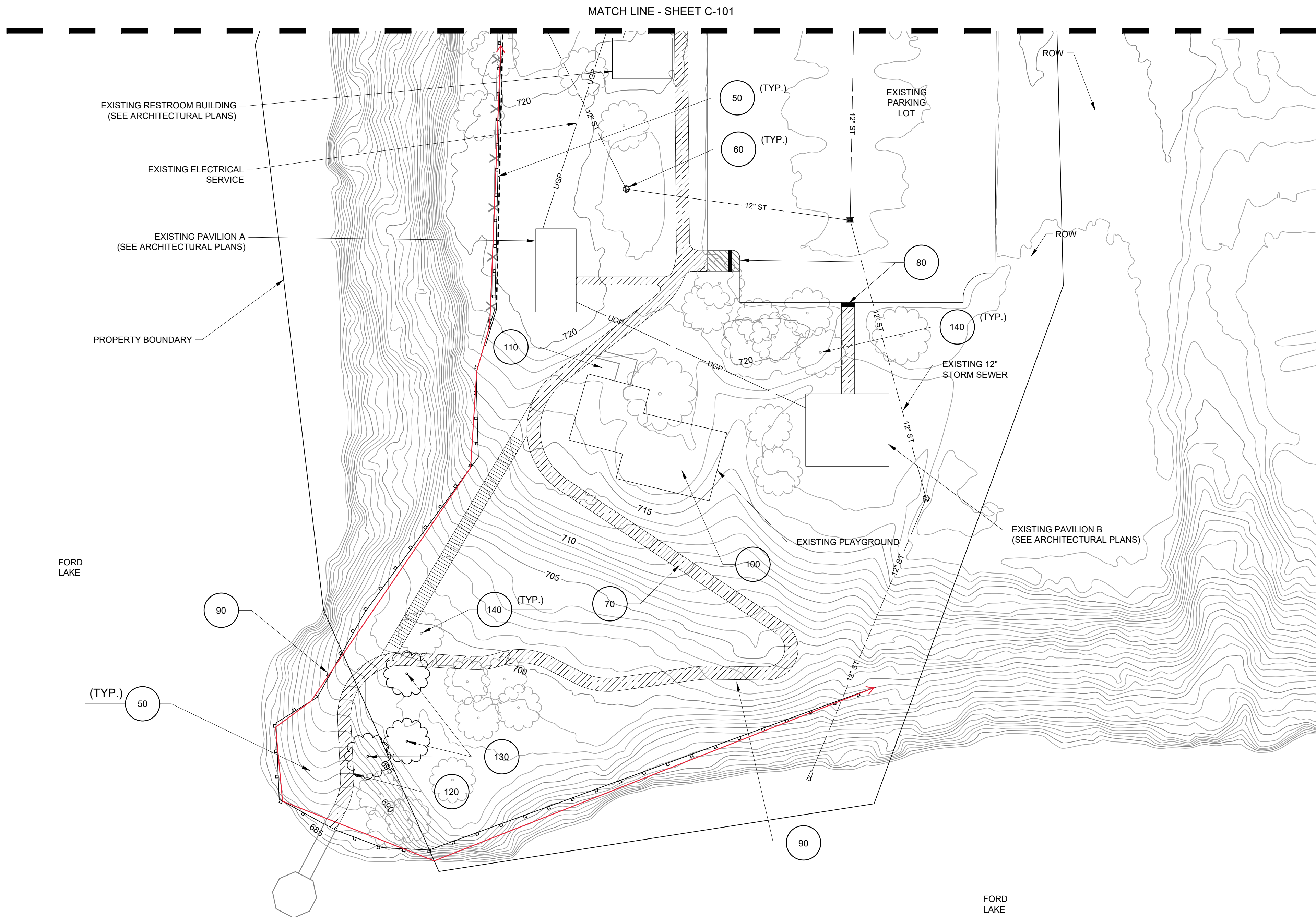
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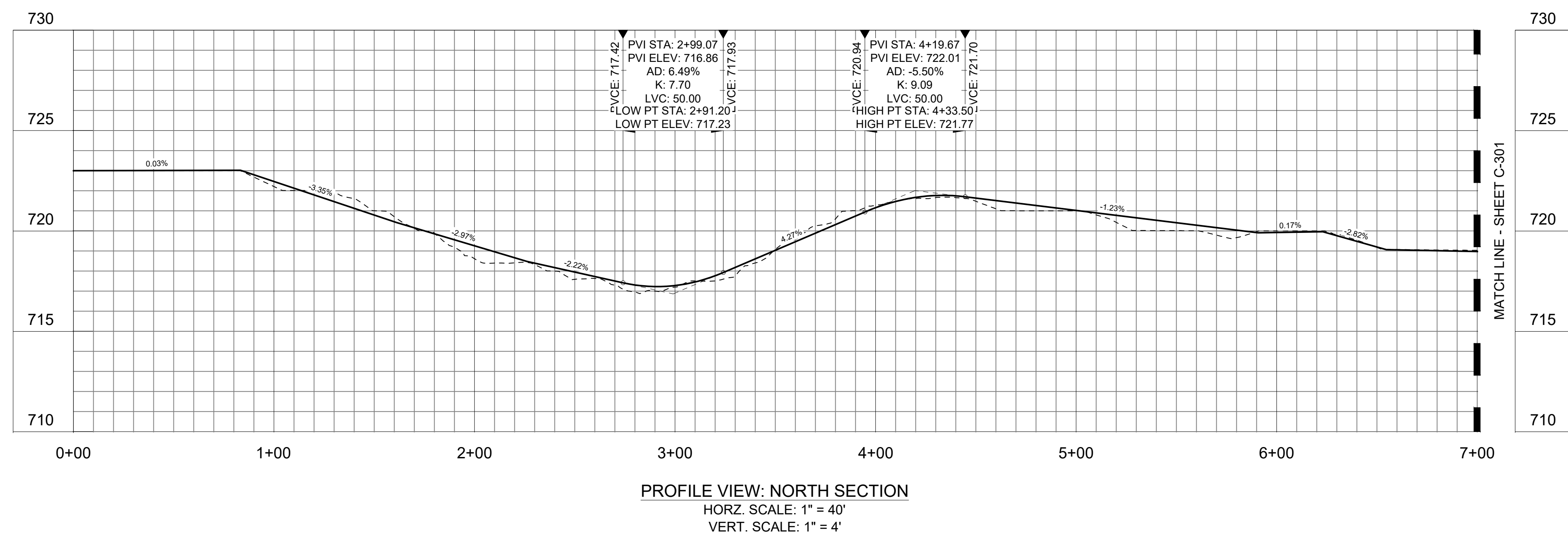


- |      |  |
|------|--|
| 200  | 2-1/2" HMA ON COMPACTED EXISTING AGGREGATE BASE. SUPPLEMENT BASE AS NEEDED, SEE PATH CROSS SECTION SHEET C-500 |
| 201  | SLOPE STABILIZATION: UNDERDRAIN ALONG EXISTING FENCELINE, SEE DETAIL SHEET C-501                               |
| 201A | SLOPE STABILIZATION: UNDERDRAIN OUTLET   |
| 202  | PROPOSED BOLLARD, SEE DETAIL SHEET C-500   |
| 203  | PROPOSED ADA CURB RAMP, SEE DETAIL SHEET C-500   |
| 204  | PROPOSED SECURITY CAMERA   |
| 205  | PROPOSED ADA BENCH, SEE DETAIL SHEET C-500   |

### PROPOSED SECURITY CAMERA SPECIFICATIONS

1. Provide and install CAM-1 mounted security camera with license:
  - Outdoor Avigilon 152-H4A-3MH-180 15 (3 X 5) Mega Pixel resolution, Wide Dynamic Range, 180 degree view.
  - Avigilon ACC7 Enterprise License - ACCENT Programming and Configuration
  - Avigilon Pendant Wall Arm mounting bracket - IPRTX-MNT-Wall1
  - Avigilon Pendant Mount Adapter - HA4MH-AD-Pend1
  - Avigilon pole mount kit for multi-sensor - HA4-MT-POLE1
  - Avigilon clear dome bubble cover - HA4MH-DO-COVVR1
  - Avigilon IR illumination ring - HA4MH-AD-IRL1
  - Avigilon 60W POE++ injector - POE-INJ-60W-NA
  - Hoffman NEMA 4 Enclosure - A-181610CHSCFG
  - Hoffman 18x16x10 steel backplate - A-18P16
  - Hoffman Pole Mount Kit for NEMA - C-PMK16
  - Hoffman NEMA heater kit - D-AH1001A
  - Miscellaneous seal-tite, conduit and banding as required. Electrical outlet with breaker inside NEMA enclosure
  - Coil cable above enclosure.
2. Final connections will be by utility. Coordinate through owner.

PLAN VIEW: NORTH SECTION



2	FINAL PLANS	CAM	MDP	2021.03.01
1	PRELIMINARY SET	CAM	MDP	2021.02.09
<b>Issued</b>		By	Appd	YYYY.MM.DD
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Know what's below.  
Call before you dig.

**NOTE:**  
THE LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED TO THE COMPLETENESS OR ACCURACY OF THE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING MISS DIG PRIOR TO CONSTRUCTION.

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YPSILANTI TOWNSHIP

LOONFEATHER POINT PARK  
DEVELOPMENT

Ypsilanti, Michigan

Title  
TRAIL PLAN AND PROFILE  
STA. 0+00 TO STA. 7+00

Project No.  
2075154400

Scale  
0 40' 80'

Revision	Sheet
0	07 of 24

Drawing No.  
**C 300**

# C-300



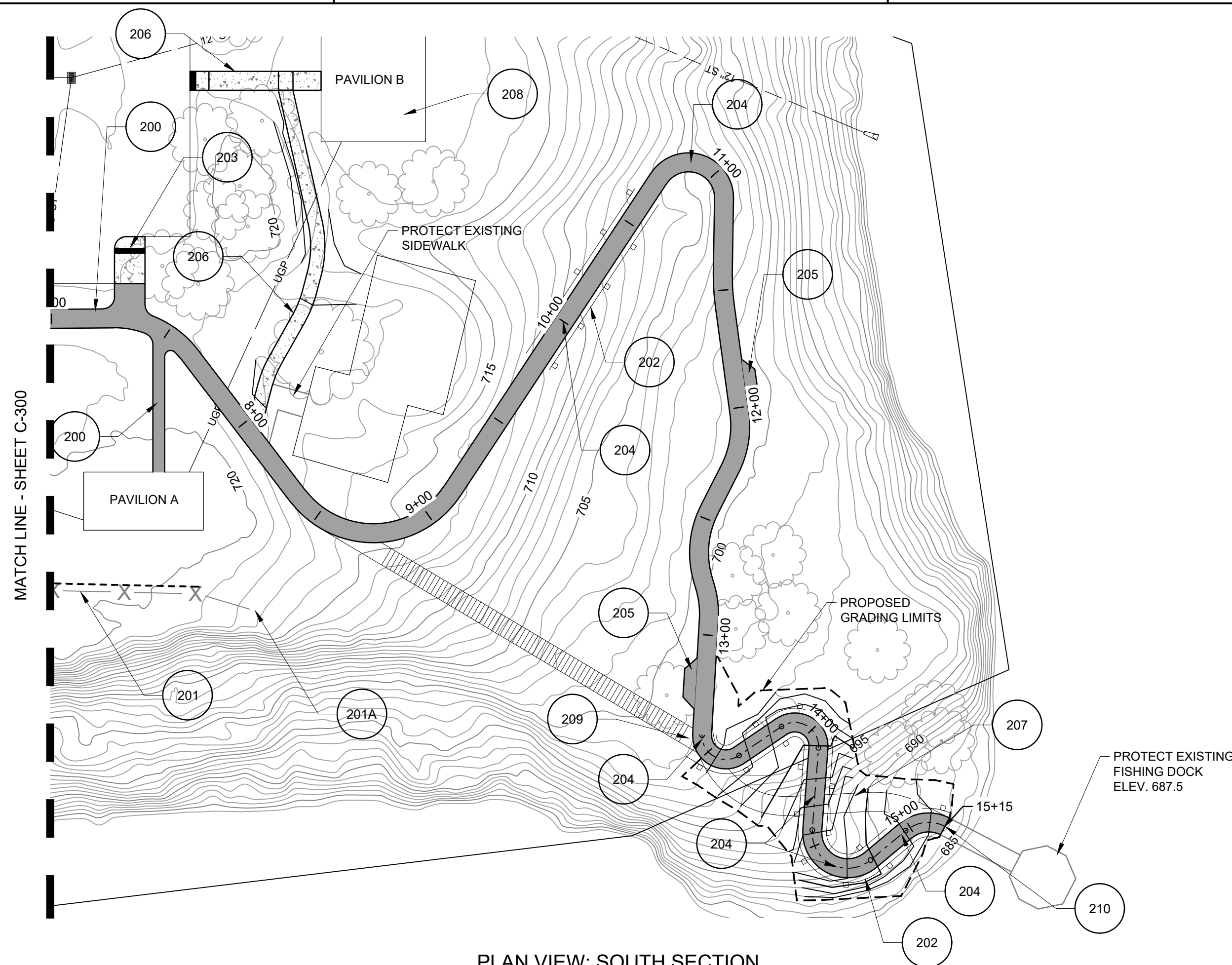
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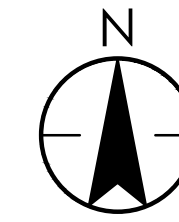
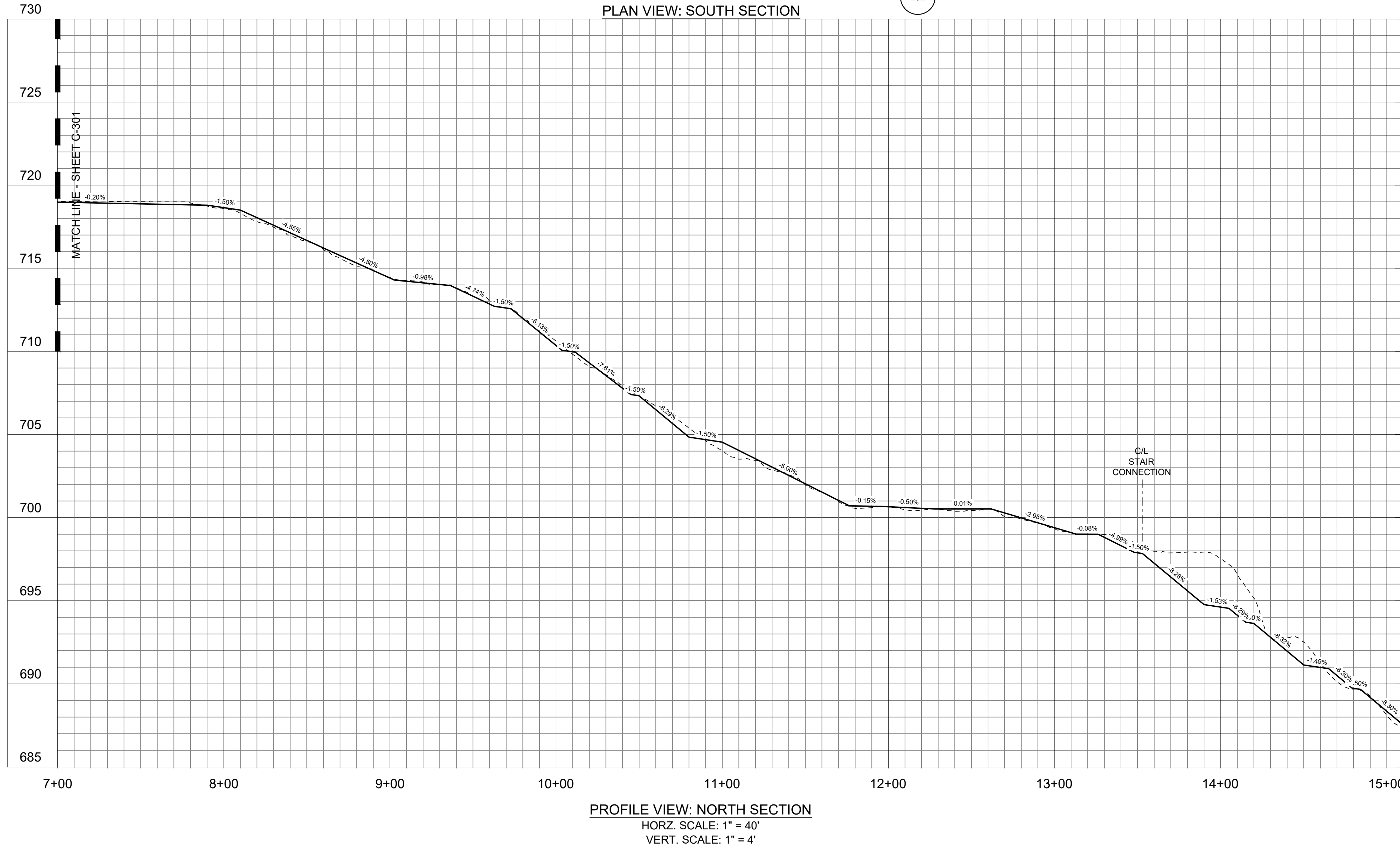
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#### KEY NOTES:

- 200 2-1/2" HMA ON COMPACTED EXISTING AGGREGATE BASE. SUPPLEMENT BASE AS NEEDED, SEE PATH CROSS SECTION SHEET C-500
- 200A PROPOSED NEW PATH. 2-1/2" HMA ON 6" COMPACTED AGGREGATE BASE. REMOVE TOPSOIL, GRADE, AND COMPACT SUBGRADE TO 95% SEE CROSS SECTION SHEET C-500. ENGINEER TO CONFIRM CONTRACTOR LAYOUT AND GRADES OF NEW PATH PRIOR TO PAVING.
- 201 SLOPE STABILIZATION: UNDERDRAIN ALONG EXISTING FENCELINE
- 201A SLOPE STABILIZATION: UNDERDRAIN OUTLET
- 202 PROPOSED RAILING AT SLOPES EXCEEDING 5%
- 203 PROPOSED ADA CURB RAMP
- 204 PROPOSED LEVEL LANDING
- 205 PROPOSED ADA BENCH, SEE DETAIL SHEET C-500
- 206 PROPOSED CONCRETE SIDEWALK, SEE DETAIL C-501
- 207 SLOPE RESTORATION
- 208 PROPOSED PICNIC TABLES, SEE DETAIL SHEET C-500
- 209 MATCH NEW PATHWAY TO EXISTING STAIR LANDING. CONTRACTOR TO CONFIRM EXISTING GRADE PRIOR TO RAMP LAYOUT.
- 210 MATCH NEW PATHWAY TO EXISTING DOCK ELEVATION. CONTRACTOR TO CONFIRM EXISTING GRADE PRIOR TO RAMP LAYOUT.



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#### Consultant

#### GENERAL NOTES:

1. PROFILE BASED ON 2017 WASHTENAW COUNTY GIS DATA. CONTRACTOR TO FIELD VERIFY ADA COMPLIANCE OF PATHWAY AND FILL BASE AS NECESSARY CREATE CROSS SLOPES LESS THAN 2% AND RUNNING SLOPES LESS THAN 5%, UNLESS OTHERWISE INDICATED.

2	FINAL PLANS	CAM	MDP	2021.03.01
1	PRELIMINARY SET	CAM	MDP	2021.02.09
Issued		By	Appd	YYYY.MM.DD
File Name: 15400C-301		JDA	CAM	MDP
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YPSILANTI TOWNSHIP

LOONFEATHER POINT PARK  
DEVELOPMENT

Ypsilanti, Michigan

#### Title

TRAIL PLAN AND PROFILE  
STA. 7+00 TO STA. 15+15

Project No.  
2075154400

Revision Sheet  
0 08 of 24

Scale  
0 40' 80'

Drawing No.  
**C-301**





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GENERAL NOTES:

1. PROFILE BASED ON 2017 WASHTENAW COUNTY GIS DATA. CONTRACTOR TO FIELD VERIFY ADA COMPLIANCE OF PATHWAY AND FILL BASE AS NECESSARY CREATING CROSS SLOPES LESS THAN 2% AND RUNNING SLOPES LESS THAN 5%, UNLESS OTHERWISE INDICATED.

2	FINAL PLANS	CAM	MOP	2021.03.01
1	PRELIMINARY SET	CAM	MOP	2021.02.09
Issued		By	Appd	YYYY.MM.DD
	JDA	CAM	MOP	2020.03.10
File Name: 15440OC-400		Dwn.	Dgn.	Chkd.
				YYYY.MM.DD

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LOONFEATHER POINT PARK  
DEVELOPMENT  
Ypsilanti, Michigan

Title  
DETAILED SITE PLAN  
ADA CONNECTIONS

Project No.  
2075154400

Scale  
0 10' 20'

Drawing No.

## C 400

## C-400

c:\2075\active\207515400\civil\design\drawing\154400c-400  
2021.03.02 9:01:41 AM



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Consultant

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Notes

APPROVAL OF THE FOLLOWING IS REQUIRED BY STAFF AT THE OFFICE OF THE WATER RESOURCE COMMISSIONER (WRC), TO COORDINATE APPROVAL, EMAIL CITE WYRCYAKH AT WYTYG@JCOWASHTENAW.ORG OR CALL AND LEAVE A MESSAGE AT 734-353-1208.

-SURGRADING WILL BE CONFIRMED BY ENGINEER PRIOR TO PLACEMENT OF SOIL MIX. A WRC STAFFMEMBER'S APPROVAL IS REQUIRED ON THE GRADE.

-FINISH GRADE WILL BE CONFIRMED BY ENGINEER PRIOR TO PLACEMENT OF MULCH. A WRC STAFFMEMBER'S APPROVAL IS REQUIRED ON THE GRADE.

-AT THE TIME OF THE MULCH AND INSTALLATION, WRC STAFF MUST APPROVE THE SPECIES, QUANTITY AND PLANTING LOCATIONS OF ALL VEGETATION IN THE STORMWATER FEATURE.

Permit/Seal

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Client/Project Logo



Client/Project  
YPSILANTI TOWNSHIP

LOONFEATHER POINT PARK  
DEVELOPMENT

Ypsilanti, Michigan

Title

### DETAILED SITE PLAN RAIN GARDEN

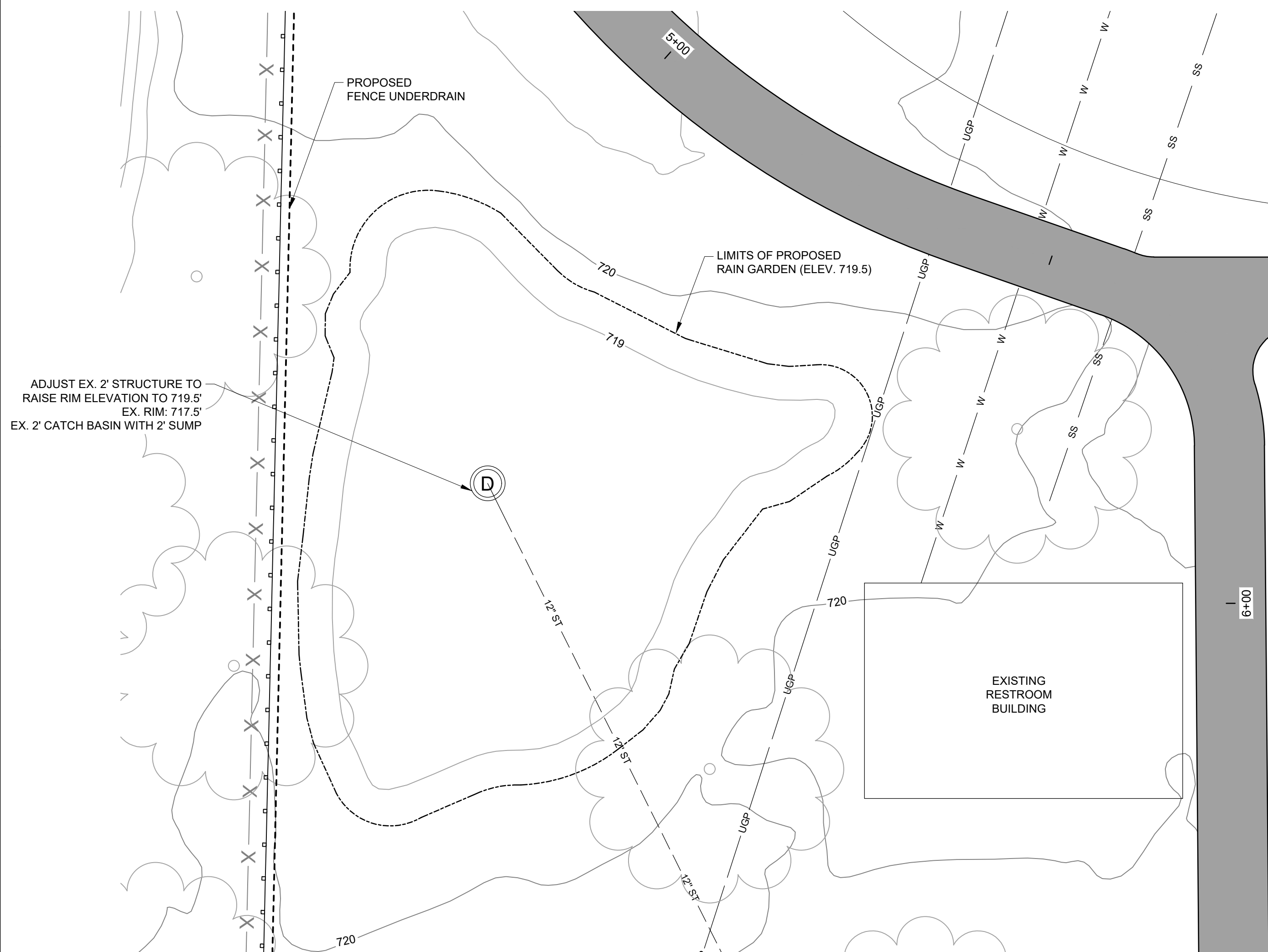
Project No.  
2075154400

Revision Sheet  
0 10 of 24

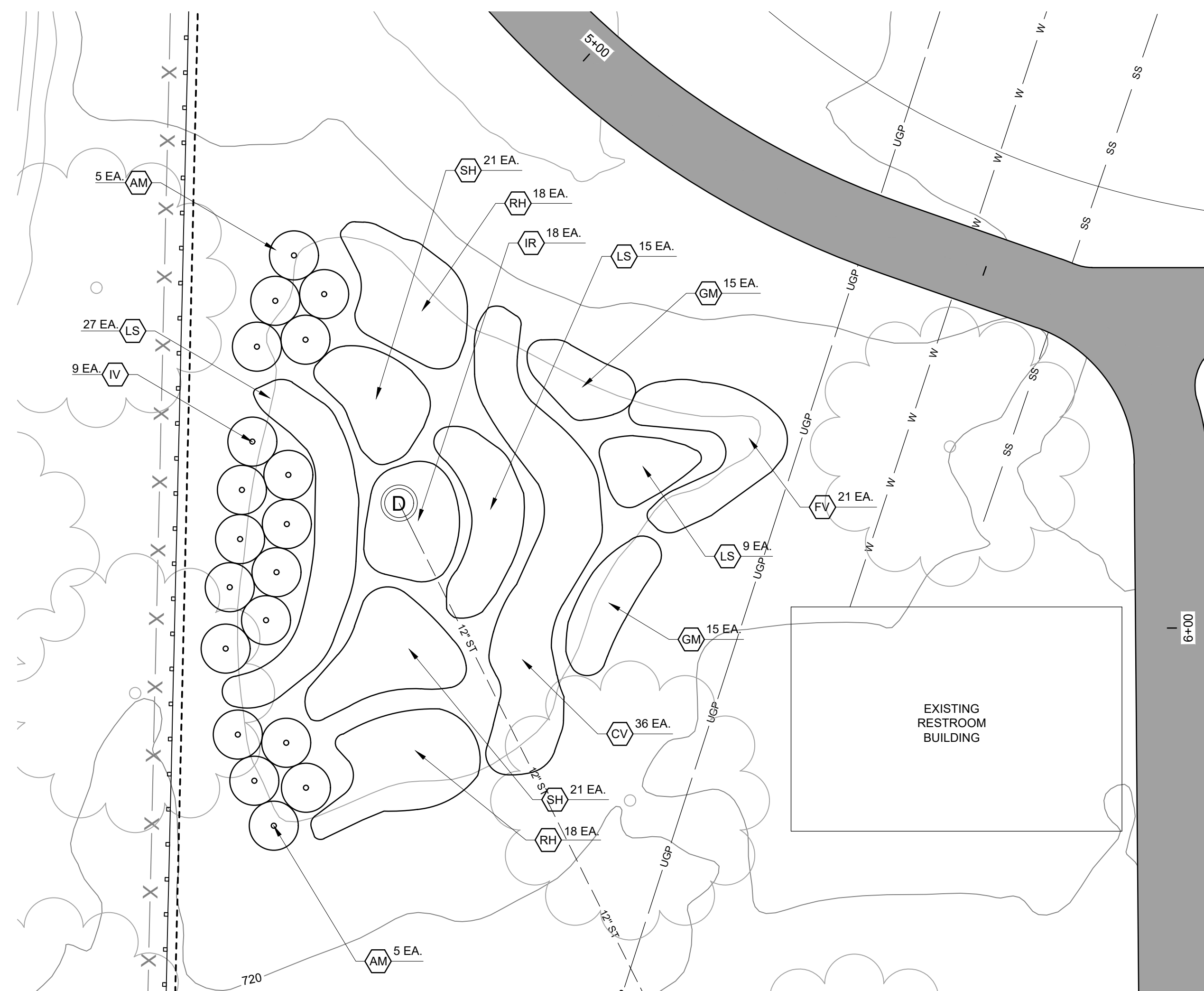
Scale  
0 10' 20'

Drawing No.

**C-401**



RAIN GARDEN GRADING DETAIL  
SCALE: 1" = 10'



RAIN GARDEN PLANTING PLAN  
SCALE: 1" = 10'



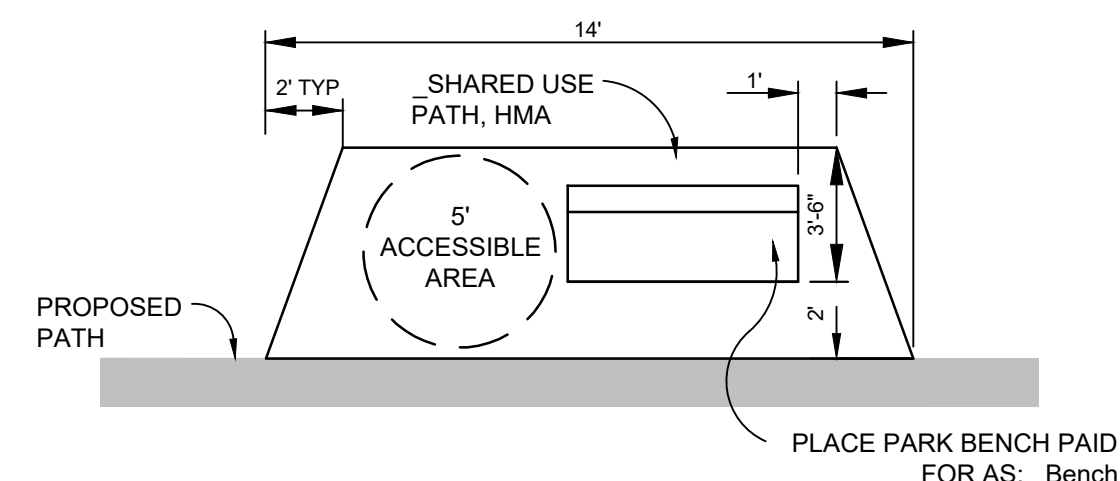
LONG TERM MAINTENANCE PLAN			
	RAIN GARDEN	SCHEDULE	ANNUAL BUDGET
INSPECT FOR SEDIMENT ACCUMULATION	X	ANNUALLY	\$300
REMOVE SEDIMENT MANUALLY	X	AS REQUIRED	\$1,000
INSPECT FOR EROSION	X	ANNUALLY	\$300
RE-ESTABLISH VEGETATION IN ERODED AREAS	X	AS REQUIRED	\$500
CLEAR AREAS WITH OVER-GROWN VEGETATION	X	AS REQUIRED	\$500

MAINTENANCE OF THE STORMWATER BMP'S WILL BE THE RESPONSIBILITY OF WCVRC

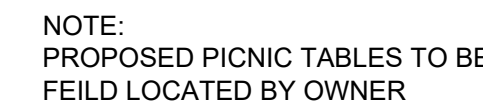
NOTE:  
NO CHEMICALS ARE ALLOWED IN STORMWATER FEATURES OF BUFFER ZONES WITH THE FOLLOWING EXCEPTION: INVASIVE SPECIES MAY BE TREATED WITH CHEMICALS BY A CERTIFIED APPLICATOR. MOWING IS ONLY ALLOWED TWICE PER YEAR.

PLANT LIST						
KEY		QUANT.	SCIENTIFIC NAME	COMMON NAME	SPECIFICATION	SPACING
AM		10	RHUS AROMATICA "LOW GROW"	LOW GROW SUMAC	18" B&B OR 5 GAL. POT	5' O.C.
CV		36	CARVEY VULPINOIDES	BROWN FOX SEEDS	4" POT	18" O.C.
FV		21	FRAGARIA VIRGINIANA	WILD STRAWBERRY	PLUG	12" O.C.
GM		30	GERANIUM MACULATUM	WILD GERANIUM	4" POT	18" O.C.
IR		18	IRIS VIRGINICA	BLUE FLAG IRIS	1 GAL. POT	24" O.C.
IV		9	COMUS SERICEA	RED-TWIG DOGWOOD	24" B&B OR 5 GAL. POT	5' O.C.
LS		51	LIATRIS SPICATA	BLAZING STAR	PLUG	18" O.C.
RH		36	RANUNCULUS HISPIDUS	SWAMP BUTTERCUP	PLUG	12" O.C.
SH		42	ANEMONE CANADENSIS	MEADOW ANEMONE	PLUG	15" O.C.
OVER-SEED RAIN GARDEN AREA WITH A COVER CROP OF ANNUAL RYE AND SEED OATS						
		2	LOLIUM MULTIFLORUM	ANNUAL RYE	POUNDS	
			AVENA SATIVA	SEED OATS	POUNDS	





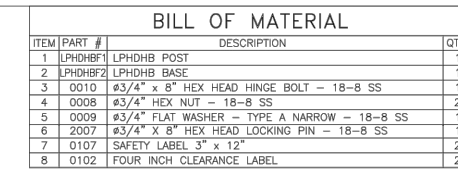
PROPOSED SEATING AREA DETAIL  
NO SCALE



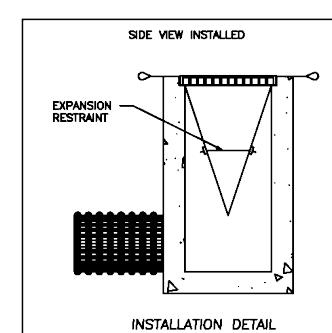
### PICNIC TABLE DETAIL

<b>RJThomas Mfg. Co., Inc.</b> P.O. Box 946 • Cherokee, IA 51012-0946	DRAWN BY <b>WWM</b>	TITLE <b>UTH SERIES 6 FOOT RAISED TOP PORTABLE RECTANGULAR TABLE WITH TOP EXTENDED 2 FEET ON ONE END WITH RECYCLED PLASTIC TOP AND SEATS</b>	DATE <b>11-18-08</b>  DWG. NO. <b>AI-1757</b>
--	------------------------	--	---

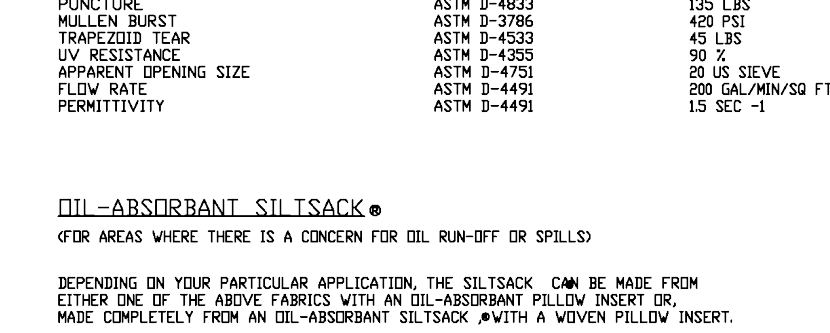
### 6-FT BENCH DETAIL



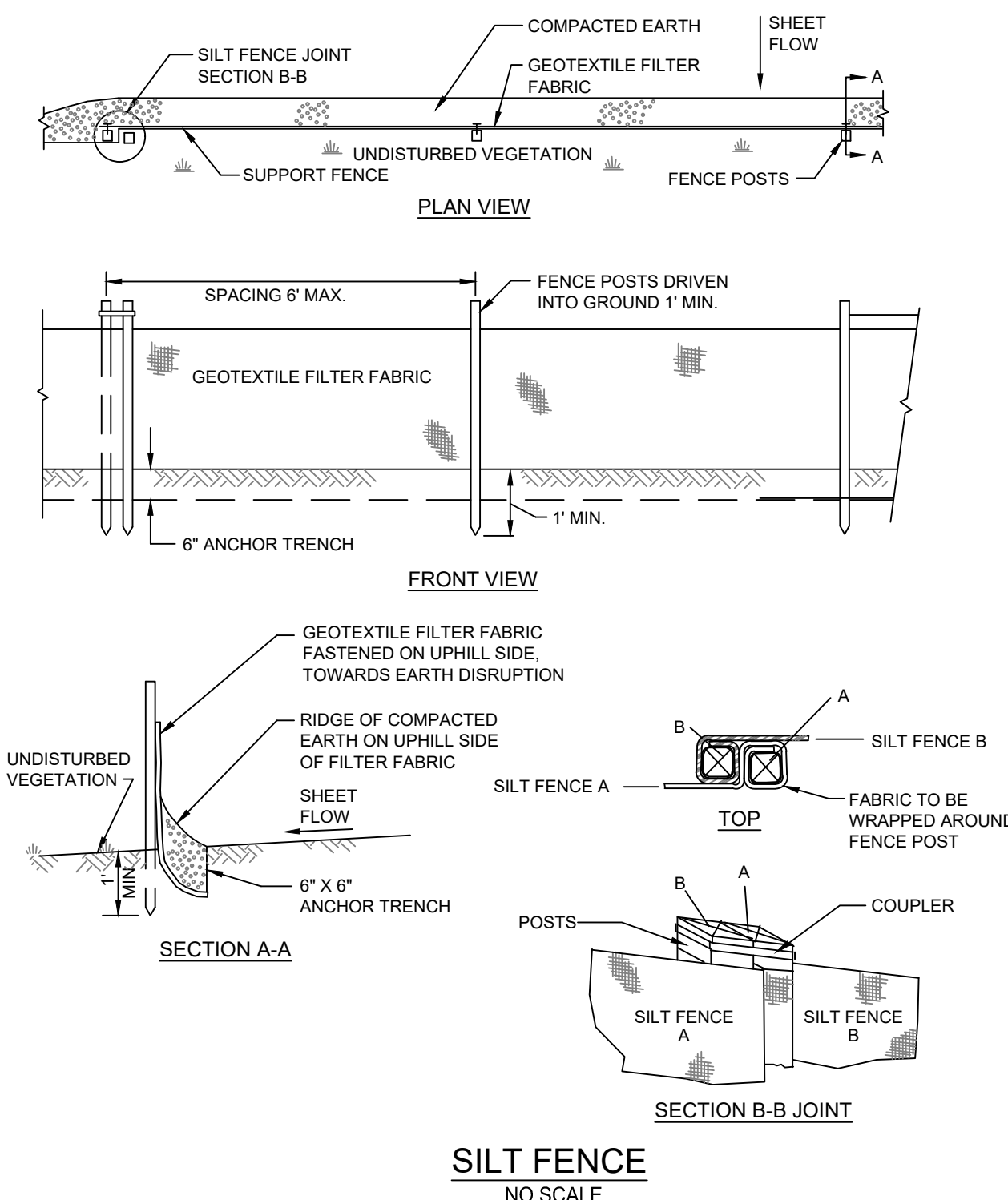
**BOLLARD DETAIL**  
NO SCALE



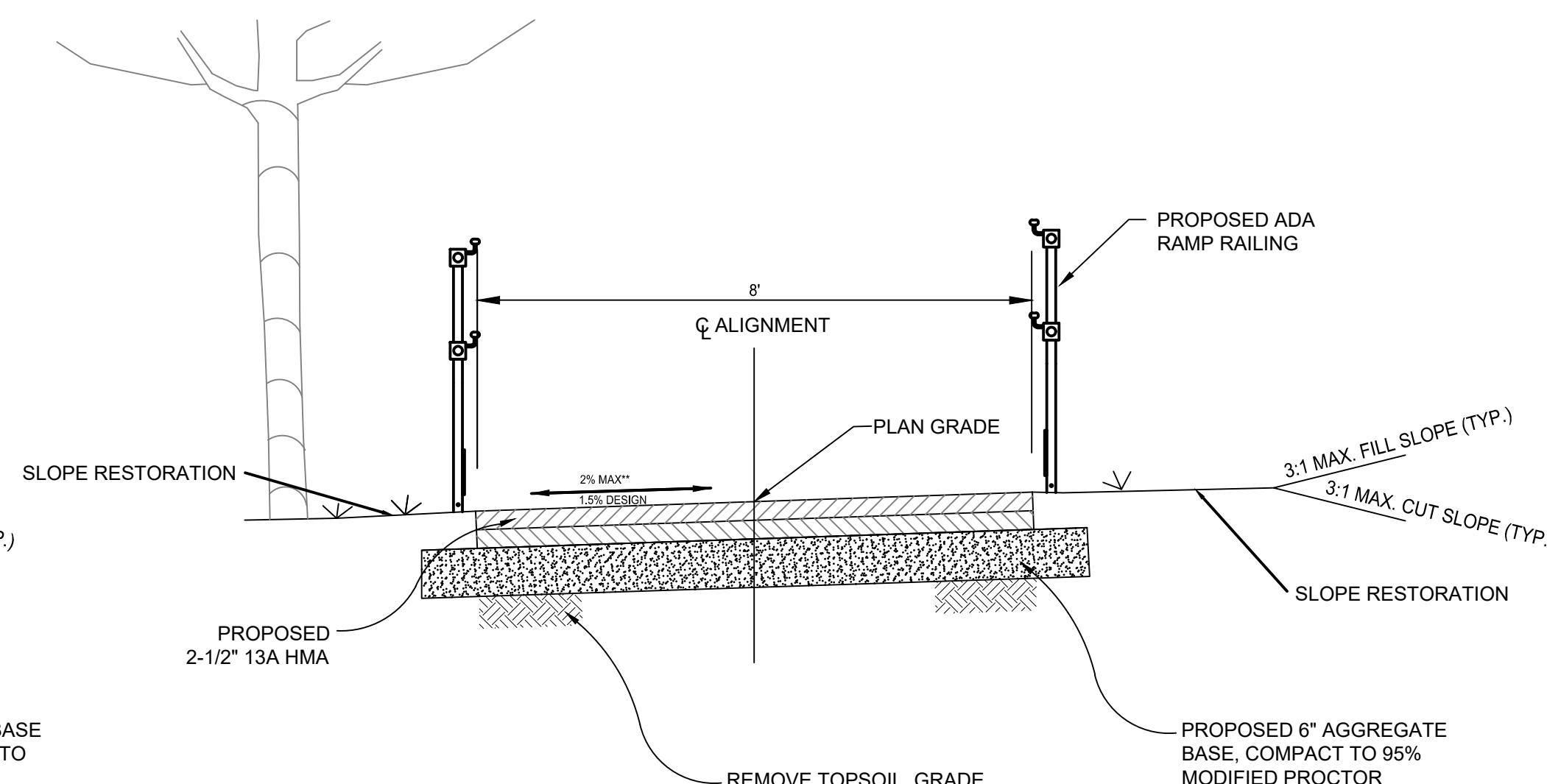
DETAIL OF INLET SEDIMENT CONTROL DEVICE  
TYPE B - WITH CURB DEFLECTOR



- All



SILT FENCE  
NO SCALE



PROPOSED 8' WIDE BITUMINOUS SHARED USE PATH REHABILITATION  
CROSS SECTION  
NO SCALE

PROPOSED NEW 8' WIDE BITUMINOUS SHARED USE  
PATH CROSS SECTION  
NO SCALE











PLUMBING DEMOLITION GENERAL NOTES

- ANY INTERRUPTIONS OF EXISTING SERVICES OR EQUIPMENT SHALL BE PERFORMED AT A TIME APPROVED IN ADVANCE BY THE OWNER'S REPRESENTATIVE SO AS NOT TO INTERFERE WITH THE BUILDING OPERATION. THESE DRAWINGS INDICATE THE GENERAL EXTENT OF WORK. THE EXTENT OF DEMOLITION SHALL BE AS REQUIRED BY THE NEW WORK AND REMOVAL OF MATERIALS/COMPONENTS NOT REQUIRED FOR THE NEW AND RENOVATED SYSTEMS.
- ALL MECHANICAL SYSTEMS TO BE REMOVED SHALL BE REMOVED COMPLETE WITH ALL RELATED ITEMS INCLUDING HANGERS, SUPPORTS, CONTROLS, ETC. CAP ALL OPEN PIPES AND DUCTS. PATCH AND SEAL ALL OPENINGS AS A RESULT OF DEMOLITION IN RATED WALLS TO MAINTAIN EXISTING WALL'S FIRE OR SMOKE RATING AND TO MATCH EXISTING ADJACENT SURFACES.
- ALL ITEMS AND EQUIPMENT REMOVED SHALL REMAIN PROPERTY OF THE OWNER UNLESS POSSESSION RIGHTS ARE WAIVED. CONTRACTOR SHALL MEET WITH OWNER PRIOR TO START OF DEMOLITION TO DETERMINE WHICH ITEMS ARE TO BE SALVAGED. CONTRACTOR SHALL REMOVE REMAINING ITEMS FROM SITE.
- FIELD VERIFY EXACT SIZE AND LOCATION OF ALL EXISTING SERVICES PRIOR TO DEMOLITION.

PLUMBING DEMOLITION KEYED NOTES

- PD01. REMOVE EXISTING FLOOR MOUNTED WATER CLOSET COMPLETE. REMOVE DOW PIPING TO WITHIN WALL, CAP AND COVER WITH ACCESS PLATE. REMOVE EXISTING SANITARY TO BELOW FLOOR, CAP AND REPAIR FLOOR TO MATCH EXISTING CONDITIONS.
- PD02. REMOVE EXISTING COUNTER MOUNTED LAVATORY COMPLETE WITH FAUCET, SUPPLIES, TRAP AND SUPPORTS. PREPARE ASSOCIATED DOW AND SAN PIPING FOR RECONNECTION DURING NEW WORK.
- PD03. REMOVE EXISTING DRINKING FOUNTAIN COMPLETE WITH SUPPORTS. PREPARE EXISTING DOW AND SAN PIPING FOR RECONNECTION DURING NEW WORK.
- PD04. REMOVE EXISTING WALL HUNG URINAL COMPLETE WITH ASSOCIATED CARRIER AND PIPING. PREPARE ASSOCIATED DOW AND SAN PIPING FOR RECONNECTION IN CHASE DURING NEW WORK.
- PD05. REMOVE EXISTING FLOOR MOUNTED WATER CLOSET COMPLETE WITH ASSOCIATED DOW AND SAN PIPING. PREPARE DOW FOR RECONNECTION IN CHASE DURING NEW WORK. PREPARE SAN PIPING FOR RECONNECTION BELOW SLAB DURING NEW WORK.
- PD06. REMOVE EXISTING COUNTER MOUNTED LAVATORY COMPLETE WITH ASSOCIATED PIPING. REMOVE DOW AND SAN PIPING BACK TO WITHIN CHASE AND PREPARE PIPING FOR RECONNECTION DURING NEW WORK.
- PD07. REMOVE EXISTING FLOOR MOUNTED WATER CLOSET COMPLETE. PREPARE ASSOCIATED DOW AND SAN PIPING AT FLOOR/WALL FOR RECONNECTION DURING NEW WORK.

PLUMBING NEW WORK GENERAL NOTES

- THESE DRAWINGS INDICATE THE GENERAL EXTENT OF WORK BUT ARE NOT FABRICATION DRAWINGS. COORDINATE PLUMBING SYSTEMS WITH WORK OF ALL OTHER TRADES PRIOR TO ANY FABRICATION OR INSTALLATION. PROVIDE ALL FITTINGS, OFFSETS, TRANSITIONS, ETC. AS REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF ALL NEW PLUMBING FIXTURES.
- ALL PLUMBING RELATED CORING THROUGH FLOORS SHALL BE BY PLUMBING CONTRACTOR.
- COORDINATE ALL NEW LOCATIONS, SIZES AND ELEVATIONS OF SLEEVES THROUGH WALLS, SLABS AND FOUNDATIONS WITH STRUCTURAL DRAWINGS AND FIELD CONDITIONS.
- COORDINATE ALL PIPE ROUTING WITH SITE CONDITIONS, EQUIPMENT MANUFACTURER'S RECOMMENDATIONS, AND ALL OTHER TRADES TO AVOID INTERFERENCES.
- ALL DOMESTIC WATER PIPING SHALL BE INSULATED AND LABELED IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROJECT SPECIFICATIONS, SCHEDULES, AND ENERGY CODE.
- ALL PIPING SHALL BE CONCEALED IN WALLS, CEILING SPACES OR ARCHITECTURAL SOFFITS.
- SEAL ALL PENETRATIONS THROUGH WALLS AND FLOORS AIR AND WATER TIGHT.
- RUN ALL SANITARY AND VENT PIPING AT SLOPES COMPLYING WITH THE MICHIGAN PLUMBING CODE LATEST EDITION.
- PROVIDE WALL CLEANOUT AT THE BASE OF ALL VERTICAL SANITARY CONDUCTORS.
- PROVIDE SHUT-OFF VALVES AT ALL PLUMBING FIXTURES. LOCATE ALL PLUMBING SHUT-OFF VALVES IN AN ACCESSIBLE LOCATION ABOVE AN ACCESS PANEL AND NO MORE THAN 24" ABOVE THE CEILING.
- REFER TO PIPING DIAGRAMS, DETAILS, AND SPECIFICATIONS FOR VALVES, FITTINGS, AND OTHER ACCESSORIES.
- REFER TO PLUMBING FIXTURE SCHEDULE ON DRAWINGS FOR MINIMUM REQUIRED PIPE SIZES TO ANY PIPING NOT LABELED.

PLUMBING NEW WORK KEYED NOTES

- P1. PROVIDE NEW FLOOR MOUNTED WATER CLOSET AND CONNECT TO EXISTING DOW AND SAN PIPING.
- P2. PROVIDE NEW UNDERCOUNTER MOUNTED LAVATORY AND CONNECT TO EXISTING DOW AND SAN PIPING IN CHASE.
- P3. PROVIDE NEW DUAL HEIGHT DRINKING FOUNTAIN AND CARRIER AND CONNECT TO EXISTING DOW AND SAN PIPING.
- P4. PROVIDE NEW ADA URINAL AND CARRIER AND CONNECT TO EXISTING DOW AND SAN PIPING LOCATED IN CHASE.
- P5. PROVIDE NEW FLOOR MOUNTED WATER CLOSET AND CARRIER AND CONNECT TO EXISTING DOW AND SAN PIPING. REPAIR FLOOR AND WALL TO MATCH EXISTING CONDITIONS DUE TO REVISED LOCATION.
- P6. PROVIDE NEW UNDERCOUNTER MOUNTED LAVATORY AND CONNECT TO EXISTING DOW AND SAN PIPING LOCATED IN CHASE.

RESTROOM ELECTRICAL PLAN

1/4" = 1'-0"

RESTROOM PLAN

1/4" = 1'-0"

RESTROOM PLUMBING PLAN

1/4" = 1'-0"

RESTROOM DEMO PLAN

1/4" = 1'-0"

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Notes

TYPE	DESCRIPTION	LUMEN	DISTRIBUTION	COLOR TEMP	VOLTAGE	WATTAGE	MODEL	MANUFACTURER	COMMENTS
LA	1X2 LED WALL SURFACE MOUNTED WRAP FIXTURE	2500		3500K	120	30	RHL7 SERIES	KENALL	
LAX	SAME AS LA, EXCEPT PROVIDED WITH 1100LM EM BATTERY PACK				120				
LB	1X4 LED WALL SURFACE MOUNTED WRAP FIXTURE	4600		3500K	120	50	MLRS12 SERIES	KENALL	
LBX	SAME AS LA, EXCEPT PROVIDED WITH 1100LM EM BATTERY PACK				120				
LC	LED WALL PACK WITH LOW PROFILE HOUSING	1372		4000K	120	16	H99 SERIES	KENALL	PROVIDE WITH LOW PROFILE HOUSING AND SURFACE ADAPTOR FOR SIDE CONDUIT INSTALLATION.
LD	LED WALL PACK WITH LOW PROFILE HOUSING	2800	TYPE 3	4000K	120	24	FN9 SERIES	KENALL	PROVIDE WITH LOW PROFILE HOUSING AND SURFACE ADAPTOR FOR SIDE CONDUIT INSTALLATION.

REMOVE SHINGLES AND UNDERLAYMENT, TO WOOD DECK. REMOVE METAL DRIP EDGE AND TOP COPING. PROVIDE NEW ASPHALT SHINGLES OVER 40 LB ROOFING FELTS WITH NEW DARK BRONZE COLORED F5 GALVANIZED STEEL DRIP EDGE

STAIN ALL WOOD MEMBERS WITH SOLID COLOR EXTERIOR WOOD  
STAIN EXCEPT PAINT TO MATCH WHERE CURRENT ACCENT COLORS  
OCCUR.



A 01

**A-01C**

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Notes

Final Plans	CC	CM	2021.03.01
Preliminary Design Plans	CC	CM	2020.12.31
Issued/Revision	By	Appd	YYYY.MM.DD

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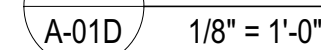
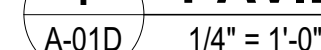
**NOTE:**

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Title  
FLOOR PLAN - PAVILION B

Scale  
As indicated

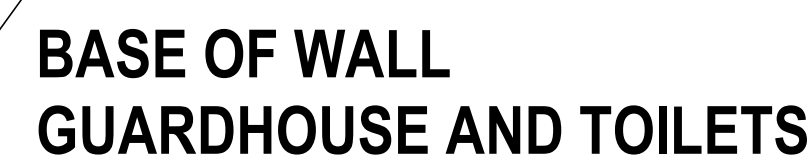
**A-01D**



TYPE	DESCRIPTION	LUMEN	DISTRIBUTION	COLOR TEMP	VOLTAGE	WATTAGE	MODEL	MANUFACTURER	COMMENTS
LA	1X2 LED WALL SURFACE MOUNTED WRAP FIXTURE	2500		3500K	120	30	RHL7 SERIES	KENALL	
LAX	SAME AS LA, EXCEPT PROVIDED WITH 1100LM EM BATTERY PACK				120				
LB	1X4 LED WALL SURFACE MOUNTED WRAP FIXTURE	4600		3500K	120	50	MLRS12 SERIES	KENALL	
LBX	SAME AS LA, EXCEPT PROVIDED WITH 1100LM EM BATTERY PACK				120				
LC	LED WALL PACK WITH LOW PROFILE HOUSING	1372		4000K	120	16	H99 SERIES	KENALL	PROVIDE WITH LOW PROFILE HOUSING AND SURFACE ADAPTOR FOR SIDE CONDUIT INSTALLATION.
LD	LED WALL PACK WITH LOW PROFILE HOUSING	2800	TYPE 3	4000K	120	24	FN9 SERIES	KENALL	PROVIDE WITH LOW PROFILE HOUSING AND SURFACE ADAPTOR FOR SIDE CONDUIT INSTALLATION.

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## Notes



**3 GATEHOUSE SOUTH ELEVATION**  
A-02A 1/4" = 1'-0"



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Scale  
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## ELEVATIONS - RESTROOMS

Scale  
As indicated

Drawing No.

**A-02B**



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[illegible]

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The 811 logo features the number '811' in a large, bold, black font inside a black shield-like shape. Below the logo, the text 'Know what's below. Call before you dig.' is written in a black, sans-serif font. Underneath this text is a rectangular box with a black border. Inside the box, the word 'NOTE:' is written in a bold, black, sans-serif font. Below 'NOTE:', there is a paragraph of text in a smaller, black, sans-serif font: 'THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING MISS DIG PRIOR TO CONSTRUCTION.'

Title  
ELEVATIONS - PAVILION A

Scale  
1/4" = 1'-0"







Stantec Consulting Michigan Inc.  
3754 Ranchero Drive  
Ann Arbor, MI 48108-2771  
Tel: (734) 761-1010 • [www.stantec.com](http://www.stantec.com)

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## Consultant

## Notes

## KEYNOTE LIST

- 1 REPLACE MISSING / BROKEN OR SAGGING LOUVER SLAT
- 2 REPLACE DAMAGED TRIM BOARD
- 3 STRIP SHINGLES, UNDERLAYMENT, & DRIP EDGE. INSTALL NEW ASPHALT SHINGLES, ROOFING FELT, & DRIP EDGE.
- 4 REPAIR LOOSE / DISLODGED LOUVER SLAT
- 5 EPOXY REPAIR OF DETERIORATED WOOD MEMBER
- 6 NEW LIGHTNING PROTECTION AIR TERMINAL
- 7 NEW PREFINISHED GALVANIZED STEEL ROOF EDGE ANGLE - DARK BRONZE
- 8 REMOVE EXISTING PLYWOOD GABLES, REPLACE IN KIND WITH MARINE GRADE PLYWOOD AND WOOD TRIM, PAINTED
- 9 PREP AND PAINT STEEL CONNECTION PLATE ASSEMBLIES
- 10 FILL SPLAT WITH EPOXY WOOD FILLER
- 11 LATERAL BRACING GUSSET PLATE - REFER TO DETAIL ON A-02E
- 12 REMOVE EXISTING PAVILION NUMBER
- 13 NEW PAINTED CAST ALUMINUM PAVILION NUMBER, 18" HIGH, SCREW MOUNTED TO PLYWOOD.
- 14 REMOVE EXISTING EXTERIOR CAMERALIGHTS
- 15 NEW FIXTURE TYPE LD MOUNTED AT 18° TP



## 2 PAVILION B NORTH ELEVATION

A-02D  $1/4" = 1'-0"$



### 3 PAVILION B SOUTH ELEVATION

A-02D  $1/4" = 1'-0"$

[illegible]


Final Plans	CC	CM	2021.03.0
Preliminary Design Plans	CC	CM	2020.12.3
Issued/Revision	By	Appd	YYYY.MM.

File Name: N/A	Author	Designer	Checker	11/13/2
	Dwn.	Dsgn.	Chkd.	YYYY.MM.

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Client/Project Logo	
	<p><b>Know what's below. Call before you dig.</b></p>
	<p><b><u>NOTE:</u></b></p> <p>THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING MISS DIX PRIOR TO CONSTRUCTION.</p>

Client/Project  
Ypsilanti Township

## Loonfeather Point Park Development

Ypsilanti, MI

Title  
ELEVATIONS - PAVILION B

Project No. 2075154400	Scale 1/4" = 1'-0"
Revision	Drawing No. <b>A 025</b>

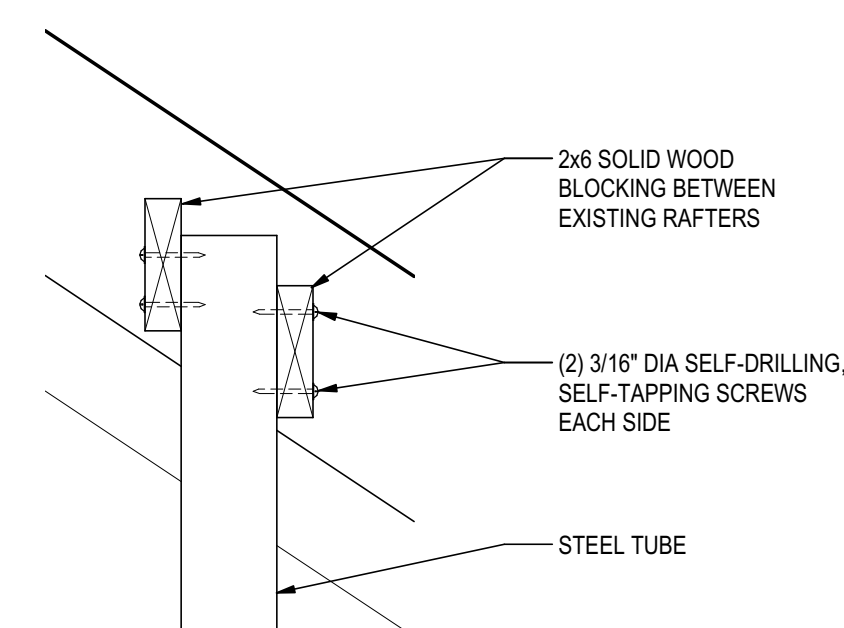
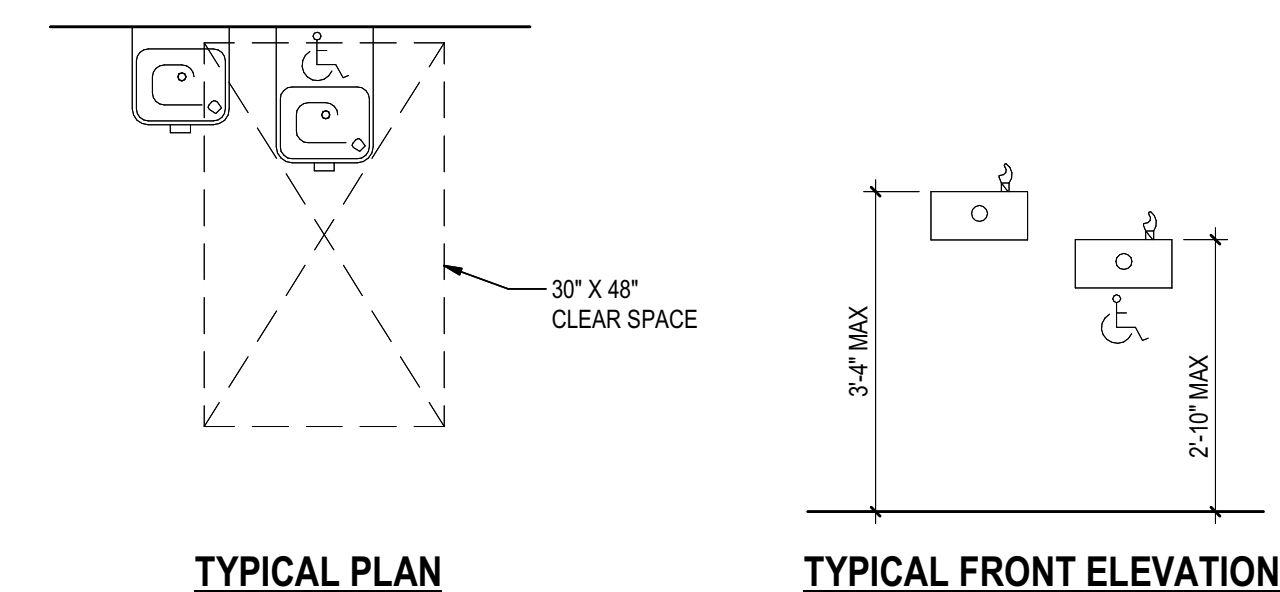
**A-02D**



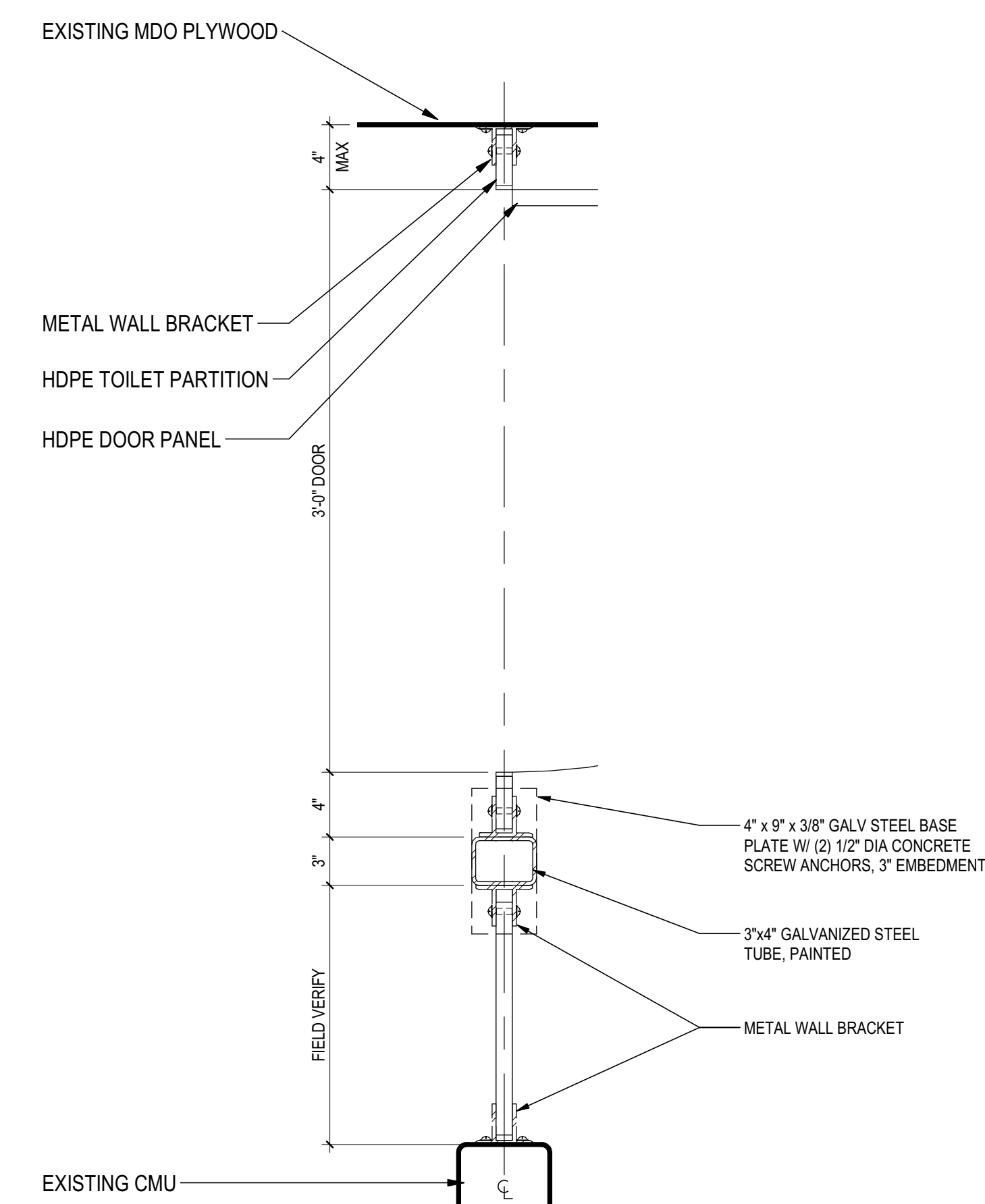




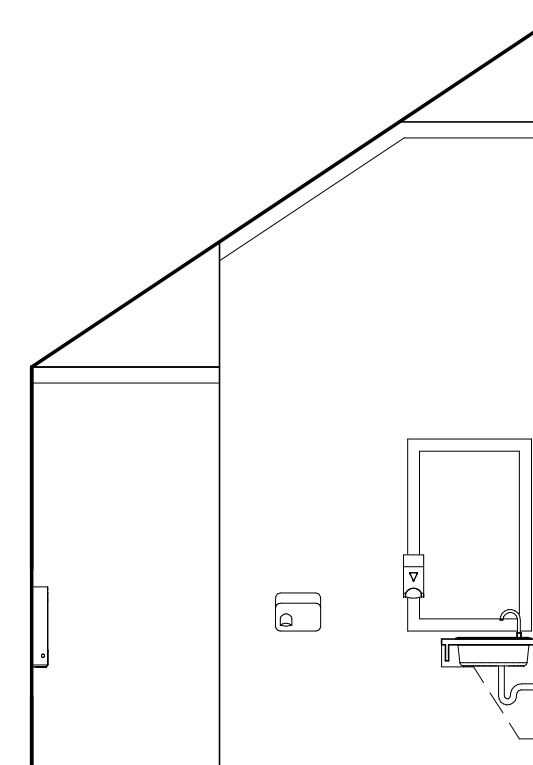
## TYPICAL DRINKING FOUNTAIN



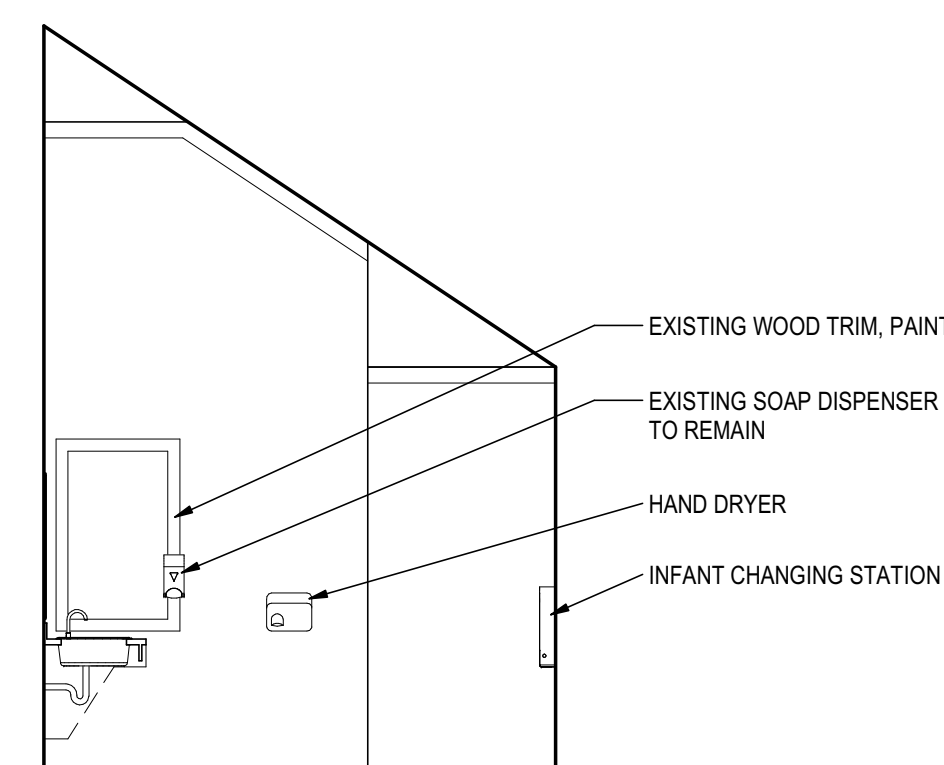
A-03	1 1/2" = 1'-0"
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**2 RESTROOMS - INT**  
A-03 1/4" = 1'-0"  
REFER TO ELEVATION 4 FOR TYPICAL NOTES

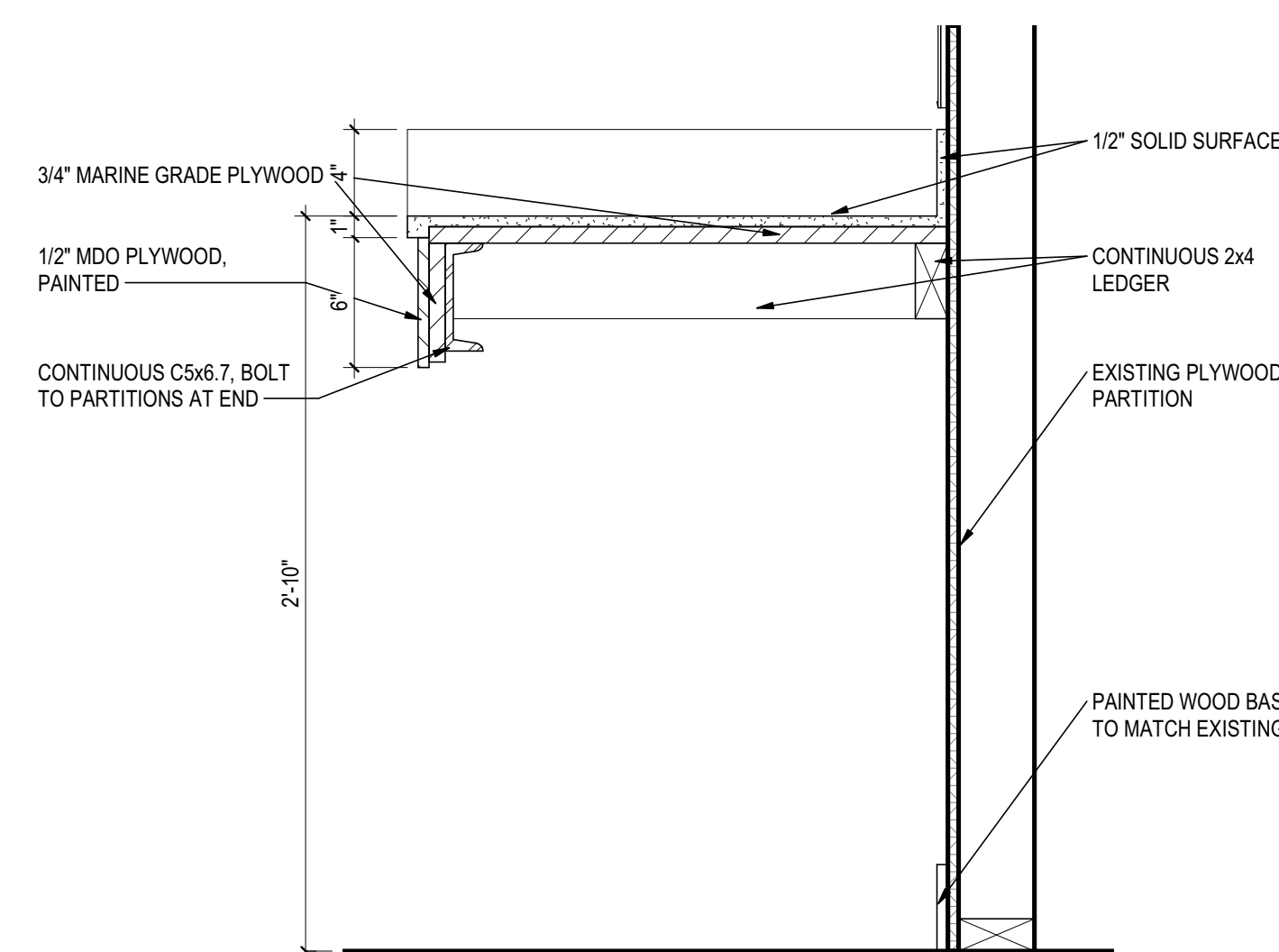


3 RESTROOMS - INT  
A-03 1/4" = 1'-0"  
REFER TO ELEVATION 1 FOR TYPICAL NOTES



1	REST
A-03	1/4" = 1'-0"

**4** REST  
A-03  $1/4" = 1'-0"$

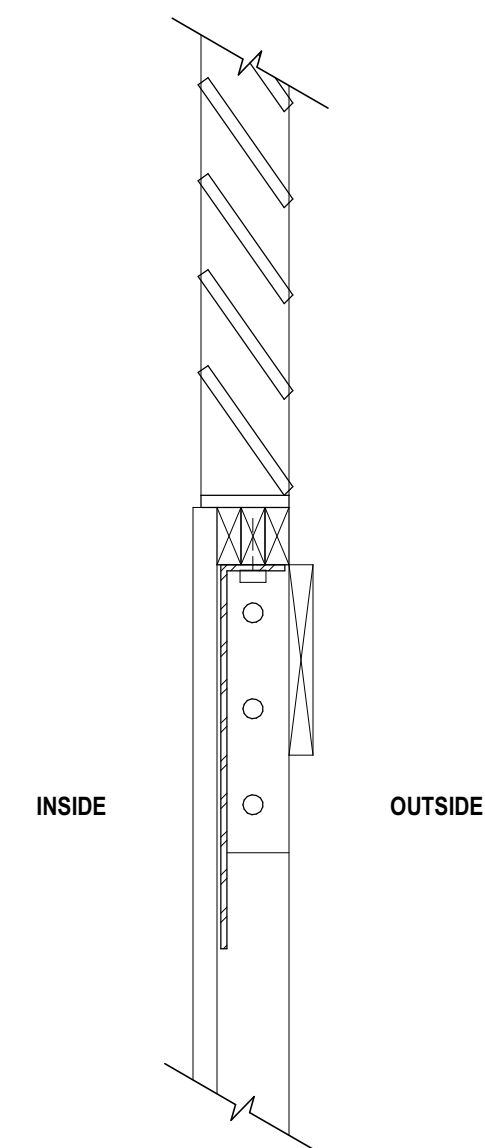


5  
A-03

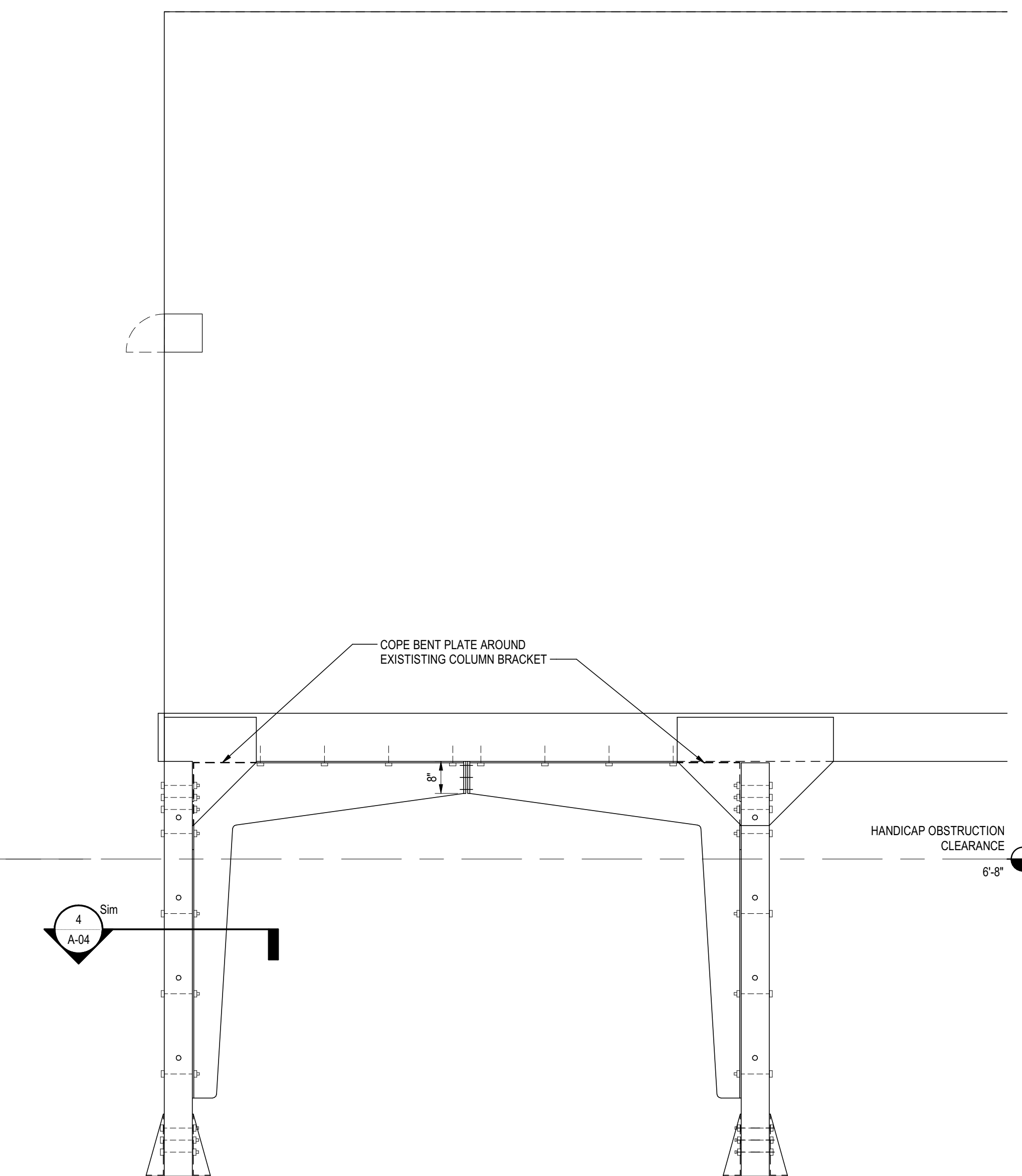
6	RESULT
A-03	1 1/2" = 1'-0"

The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay.  
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## Notes



### 3 BRACING SECTION DETAIL



# 1 PAVILION BRACING REPLACEMENT ELEVATION 1 A-04 1/2" = 1'-0" REFER TO ELEVATION 2/A-04 FOR TYPICAL NOTES AND DIMENSIONS

REFER TO ELEVATION 2/A-04 FOR TYPICAL NOTES AND DIMENSIONS

**NOTE:**

THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING MISS DIG PRIOR TO CONSTRUCTION.

Revision	Drawing No.
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**A-04**

